



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: November 15, 2021

Applicant: Lykokas

Address: 11 Tweed Blvd, Nyack, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-22 District, Column 2 Group I, Column 3 SFR, Column 4 FAR 20% w/ 28.32% proposed, Column 8 Front Yard 40' Required w/ 30' proposed, Section 5.21(e) max height 20' w/ 36.17' proposed

Three Variance required

ENC Lot Area and Lot Width

Section: 71.09

Block: 1

Lot: 52

Dear Lykokas:

Please be advised that the Building Permit Application, which you submitted on August 11, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

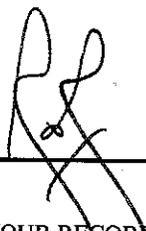
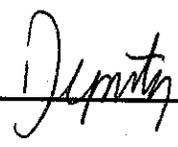
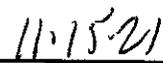
**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

  
  
  
Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**Referral to the Planning Board**

Date: October 21, 2020 Section: 71.09 Block: 1 Lot: 52

Applicant: Lykokas

Address: 11 Tweed Blvd., Nyack, NY

RE: Application Made at: same

Referred For: **Chapter 43, Section 10.223 Paragraph G-1.**

Applications for a permit shall be made to the Inspector on forms provided by him and shall contain the following information:

(g) Applications for permit within designated critical environmental area.

[1] Applications for a permit for new construction, additions or exterior modifications within the designated critical environmental area of Upper Grandview and environs shall be accompanied by a plot plan which shows the existing contours (at two-foot intervals), all existing trees (as hereinafter specified), construction limit lines, all proposed construction and site alterations, drainage calculations and soils data as required by the Inspector. Said applications shall be referred by the Inspector to the Planning Board for site plan approval.

Comments: New home. Also Variance FAR, Front Yard, and Height as per Chpt 43, Section 5.21 (b) (e)

Width, lot area = ENC

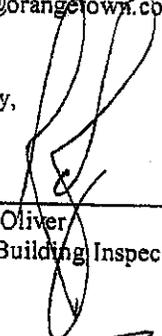
Need to put Bulk on Plan w/ revised info.

Pool on roof now. Is cost increase ???

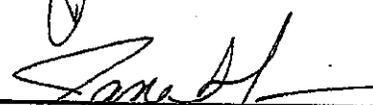
Dear Lykokas:

Please be advised that the Building Permit Application, which you submitted on September 11, 2020, has been referred to the Orangetown Planning Board. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for referral. The Clerk to the Planning Board, Cheryl Coopersmith, will assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4330 or CCoopersmith@orangetown.com

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

10/21/2020

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
8-12-20-CCC

10-21-2020

Date  
CC: Liz Decort  
Cheryl Coopersmith

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: August 13, 2021

TO: OBAPAE

Environmental Management and Engineering

~~Rockland County Sewer District #1~~

~~New York State Dept. of Transportation~~

Palisades Interstate Park Commission

Orange and Rockland Utilities

Orangetown Highway

Fire Prevention (Performance Standards)

~~Rockland County Drainage~~

~~Rockland County Health~~

~~Rockland County Planning~~

~~Rockland County Highway~~

Review of Plans: 11 Tweed Boulevard, Upper Grandview, NY  
Section 71.09 Block 1 Lot 52 R-22 zone

This matter is scheduled for:

Chapter 43, R-22 District, Group I, Column 4 (Floor Area Ratio: .20 permitted, .283 proposed),  
8 (Front Yard: 40' required, 30' proposed); Section 5.21 Undersized lot applies: (Building  
Height: 20' permitted, 36.17' proposed) and from Section 5.221 (Unroofed steps and terraces not  
exceeding 16 sq. ft. in area nor projecting more than 4 feet from the exterior wall are permitted:  
the upper patio is proposed with 347 sq. ft. within the 20' side yard setback at an average of 6  
feet above the grade and stairs down to lower patio) for the construction a new single-family  
residence.

Please review the information enclosed and provide comments. These comments may be mailed,  
e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending  
back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: October 20, 2021**

- Comments attached
- No Comments at this time
- No future correspondence from this agency does not have
- This project is out of scope

for review.  
Agency. Plans reviewed and  
further comments.

This project is before the  
**your completed review**

**2021**. Kindly forward

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_

Signature: \_\_\_\_\_

*ADD  
to Board  
Packages  
&  
Denises  
Also*

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.  
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangetown, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: L-22 (LMD) OFFICIAL USE ONLY ACREAGE: .74  
 Inspector: MIKE Date App Received: 8/11/2020 Received By: CC  
 Permit No. 50417 Date Issued: \_\_\_\_\_  
 CO No. \_\_\_\_\_ Date Issued: \_\_\_\_\_  
 Permit Fee: \$12732 Ck# 102 Paid By: GRV EURO ELECTRIC CORP  
 GIS Fee: \$70 Ck# 101 Paid By: \_\_\_\_\_  
 Stream Maintenance Fee Ck # \_\_\_\_\_ Paid By: \_\_\_\_\_  
 Additional Fee: \_\_\_\_\_ Ck# \_\_\_\_\_ Date Paid \_\_\_\_\_ Paid By: \_\_\_\_\_  
 1<sup>st</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By: \_\_\_\_\_  
 2<sup>nd</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By: \_\_\_\_\_

RECEIVED

AUG 11 2020

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application. PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 11 TWIGG BLVD - NYACK NY - 10960  
 Section: 71.09 Block: 1 Lot: 52  
 Property Owner: NIKOS LYKOKAS  
 Mailing Address: 342 RIVARDALE DR. - FORT LEE NJ - 07024  
 Email: tatianna.lykokas@gmail.com Phone #: (646) - 773 - 1828  
 Lessee (Business Name): N/A  
 Mailing Address: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Type of Business /Use: ONE FAMILY DWELLING  
 Contact Person: NIKOS LYKOKAS Relation to Project: OWNER  
 Email: \_\_\_\_\_ Phone #: 646-773-1828  
 Architect/Engineer: VCA GROUP LLC NYS Lic # 027919  
 Address: 467 SYLVAN AVE - ENGLEWOOD CLIFFS NJ Phone #: (646) - 208 - 6457  
 Builder/General Contractor: YNG SERVICE RENOVATION RC Lic # \_\_\_\_\_  
 Address: 16 SEATON AVE PORT WASHINGTON NY Phone #: (718) - 606 - 1134  
 Plumber: MYRTO PLUMBING & HVAC CORP RC Lic # 2220  
 Address: 14-52 28<sup>th</sup> AVE - ASTORIA NY 11102 Phone #: (718) - 606 - 1134  
 Electrician: GRV EURO ELECTRIC CORP RC Lic # \_\_\_\_\_  
 Address: 18-02 26<sup>th</sup> RD - ASTORIA NY 11102 Phone #: (646) - 773 - 1828  
 Heat/Cooling: MYRTO PLUMBING & HVAC CORP RC Lic #: 2220  
 Address: 14-52 28<sup>th</sup> AVE - ASTORIA NY 11102 Phone #: (718) - 606 - 1134  
 Existing use of structure or land: VACANT LAND  
 Proposed Project Description: NEW ONE FAMILY DWELLING

Proposed Square Footage: 5,323 Estimated Construction Value (\$): \$700,600.00

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR:

Chapter 43, Section 10.203, Paragraph 6.1, requires Planning Board Approval.

[Signature] 10/21/2020

[Signature] 10-21-2020

FOR OFFICE USE ONLY

SECTION 71.09 BLOCK 1

LOT 52

NAME

Lykokas

PERMIT#

50417

C  
R  
I  
T  
I  
C  
A  
L  
  
E  
N  
C  
L  
  
I  
P  
O  
N

**Rockland County**  
 Ed Day, Rockland County Executive

*Lykokas*

**DEPARTMENT OF PLANNING**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building T  
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

**Douglas J. Schuetz**  
Acting Commissioner

**Helen Kenny Burrows**  
Deputy Commissioner

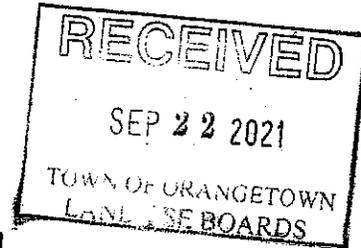
September 22, 2021

Orangetown Zoning Board of Appeals  
21 Greenbush Road  
Orangeburg, NY 10962

Tax Data: 71.09-1-52

Re: **GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M

Map Date: 8/3/2021



Date Review Received: 8/16/2021

Item: **11 TWEED BOULEVARD (O-2405B)**

Variances to permit the construction of a 2,057 SF single-family dwelling located on 0.74 acres in the R-22 zoning district and Critical Environmental Area. The required variances include lot area, front yard, building height, side yard, total side yard, size of the patio, and floor area ratio. A variance for lot width was previously granted.

East side of Tweed Boulevard, approximately 768 feet south of Clausland Mountain Road

**Reason for Referral:**

Tweed Boulevard (CR 5), US Route 9W, Clausland Mountain Park

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

***\*Recommend the following modifications***

- 1 A review of the August 3, 2021 site plan must be completed by the Rockland County Highway Department. In addition, the applicant must comply with the comments made in their letter of June 17, 2021.
- 2 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and any required permits obtained.
- 3 A review must be completed by the County of Rockland Division of Environmental Resources and any concerns addressed.
- 4 Since the parcel is located in a Critical Environmental Area, a review shall be completed by the New York State Department of Environmental Conservation and all required permits obtained.

**11 TWEED BOULEVARD (O-2405B)**

5 The bulk table on the site plan provided by the V.C.A. Group indicates a variance for lot area is not required. However, the Krypton Engineering Slope Analysis (Sheet C-001, dated August 3, 2021) specifies that 26,938 SF of the lot area has steep slopes over 25 percent in grade. Only half the land on the site with slopes greater than 25 percent may be counted toward the minimum lot area. The "Counted Lot Area" on the bulk table includes the required reductions. As the net lot area is less than the required 22,500 SF, a variance is required from this standard.

6 The above mentioned bulk table indicates variances are required for side yard and total side yard due to the patio along the western side of the building. These variances are not noted on the letter from the Building Inspector or the cover letter. If variances are required due to the location of the patio, they must be noted on all application materials. If not required, reference to these variances must be removed from the bulk table. The public hearing notice must be corrected and reissued if it did not include all required variances.

7 The following additional comment is offered strictly as an observation and is not part of our General Municipal Law (GML) review. The board may have already addressed this point or may disregard it without any formal vote under the GML process:

7.1 Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed NYS Professional Engineer.

  
\_\_\_\_\_  
Douglas J. Schuetz  
Acting Commissioner of Planning

- cc: Supervisor Teresa Kenny, Orangetown
- Rockland County Department of Highways
- Rockland County Department of Health
- Rockland County Division of Environmental Resources
- New York State Department of Environmental Conservation
- New York State Department of Transportation
- V.C.A. Group
- Krypton Engineering

*\*NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

*In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.*

*Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.*

*Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.*



# Rockland County

Ed Day, Rockland County Executive

**HIGHWAY DEPARTMENT**  
23 New Hempstead Road  
New City, New York 10956  
Phone: (845) 638-5060 Fax: (845) 638-5037  
Email: highway@co.rockland.ny.us

**Charles H. "Skip" Vezzetti**  
*Superintendent of Highways*

August 19, 2021

Ms. Deborah Arbolino  
The Zoning Board of Appeals  
Town of Orangetown  
20 South Greenbush Road  
Orangeburg, NY 10962

**RE: Site Plan Review for New One-Family Dwelling  
11 Tweed Boulevard in Upper Grandview, NY  
Tax Lot #71.09-1-52; R-22 Zoning District**



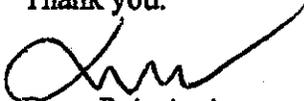
Dear Ms. Arbolino:

The Rockland County Highway Department ("RCHD") was in receipt of the referenced site plan prepared by Krypton Engineering, last updated on 08.03.21, along with other details as part of the GML review process. The review has been complete now and our comments are as follows:

1. The applicant shall make sure that the proposed driveway locations have sufficient sight distance for traffic movements.
2. A right of way permit shall be obtained from the Rockland County Highway Department prior to starting any construction activities in the site if the request is approved by the Town.

We appreciate you for the opportunity to review this site plan. Please feel free to contact us at 845 638 5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham  
Engineer III

CC: Rockland County Department of Planning  
Krypton Engineering – Consulting Engineers

 **Rockland County**  
HEALTH

**CENTER FOR ENVIRONMENTAL HEALTH**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building D  
Pomona, New York 10970  
Phone: (845) 364-2608 Fax: (845) 364-2025



**Public Health**  
Prevent. Promote. Protect.

**EDWIN J. DAY**  
County Executive

**PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP**  
Commissioner of Health

**SAMUEL RULLI, PE**  
Director, Environmental Health

September 16, 2021

Ms. Deborah Arbolino  
Town of Orangetown Zoning Board of Appeals  
20 Greenbush Road  
Orangetown, NY 10962

Re: 11 Tweed Boulevard  
Variances for a Single-Family Dwelling  
Tax lot 71.09-1-52



Dear Ms. Arbolino:

We have received an application and plans as prepared by Krypton Engineering, revised through August 3, 2021, for the above referenced project. Comments are as follows:

1. The proposed septic system requires approval from this office. Engineered plans have been submitted to this office for review and are under review.
2. This property will require a private well for water service. Approval is required from this office. Note that all wells must meet the minimum separation distances set by the New York State Department of Health in Subpart 5-1 Standards for Water Wells.
3. Application is to be made to the RCDOH for review of the storm water management system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,

Elizabeth Mello, P.E.  
Senior Public Health Engineer  
(845) 364-2616

cc: Helen Kenny-Burrows, Rockland County Department of Planning  
Krypton Engineering  
James Torres., P.E., RCDOH (via email)  
Jeremy Erlich, RCDOH (via email)

ZONING BOARD OF APPEALS  
Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

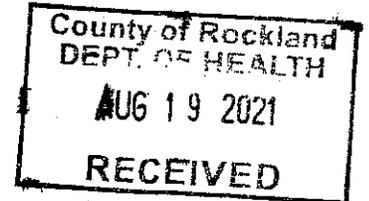
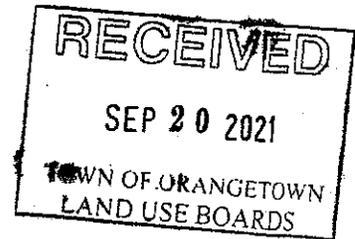
Date: August 13, 2021

TO: OBAPAE

Environmental Management and Engineering  
✓ Rockland County Sewer District #1  
✓ New York State Dept. of Transportation  
Palisades Interstate Park Commission  
Orange and Rockland Utilities  
Orangetown Highway  
Fire Prevention (Performance Standards)

✓ Rockland County Drainage  
✓ Rockland County Health  
✓ Rockland County Planning  
✓ Rockland County Highway

Review of Plans: ~~12 Tweed Boulevard~~ Upper Grandview, NY  
Section 71.09 Block 1 Lot 52 R-22 zone



This matter is scheduled for:

Chapter 43, R-22 District, Group I, Column 4 (Floor Area Ratio: .20 permitted, .283 proposed), 8 (Front Yard: 40' required, 30' proposed); Section 5.21 Undersized lot applies: (Building Height: 20' permitted, 36.17' proposed) and from Section 5.221 (Unroofed steps and terraces not exceeding 16 sq. ft. in area nor projecting more than 4 feet from the exterior wall are permitted: the upper patio is proposed with 347 sq. ft. within the 20' side yard setback at an average of 6 feet above the grade and stairs down to lower patio) for the construction a new single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: October 20, 2021**

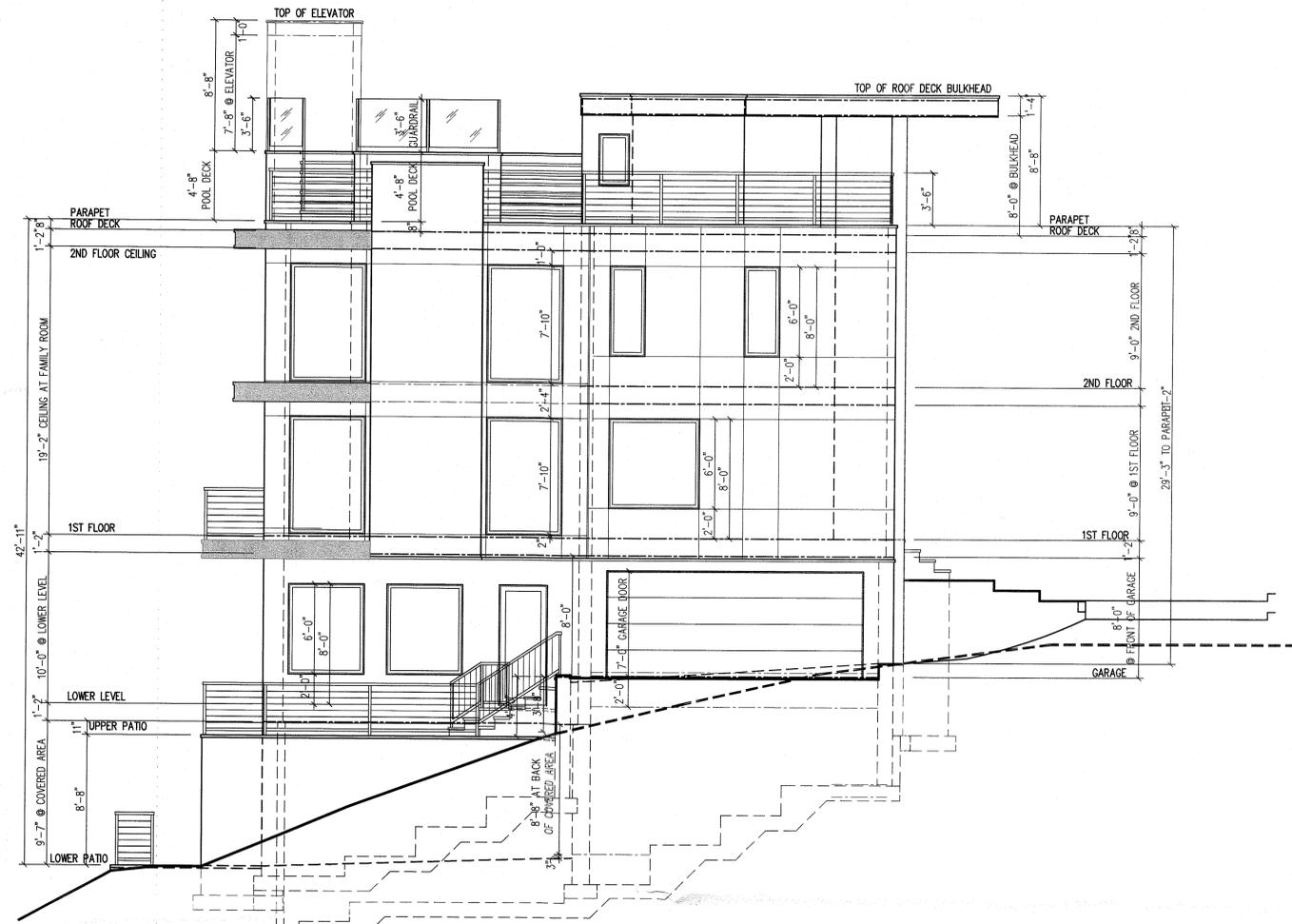
- Comments attached  
 No Comments at this time. Please send future correspondence for review.  
 No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.  
 This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, October 20, 2021**. Kindly forward your completed review to this office by **October 20, 2021**.

Reviewing Agency Rockland County Health Dept

Name Liz Mello date: 9/16/21

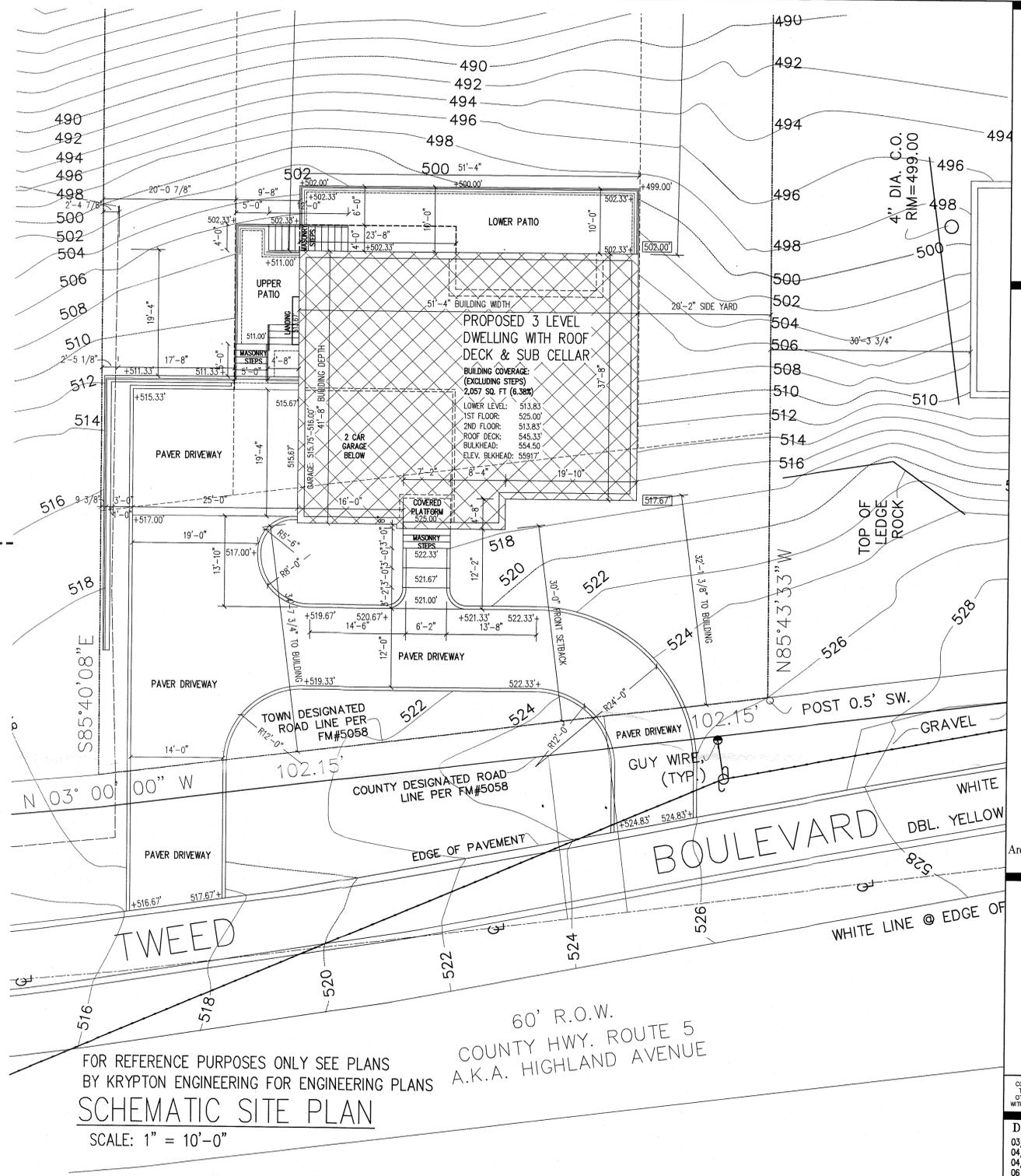
Signature:



LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



FOR REFERENCE PURPOSES ONLY SEE PLANS  
BY KRYPTON ENGINEERING FOR ENGINEERING PLANS  
SCHEMATIC SITE PLAN  
SCALE: 1" = 10'-0"

V.C.A. GROUP  
VASSILIOS COCOROS ARCHITECT  
V.C.A.GROUP, LLC  
467 SYLVAN AVENUE  
ENGLWOOD CLIFFS, NEW JERSEY  
TEL. 201.541.6595  
FAX. 201.541.6596

JAN 6 2022

Nikos Lykokas  
LYKOS  
Residence  
Architect shall not be responsible for the means & methods  
of construction and or site maintenance & safety

PROJECT:  
Proposed:  
New  
One Family  
Dwelling  
Located at:  
11 Tweed Boulevard  
Upper Grandview  
Orangeburg, New York  
Tax Lot Section: 71.09  
Block: 1 Lot: 52

Date	Item
03/25/20	CLIENT REVIEW
04/18/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REVISED SCHEMATIC PLANS & ELEVATIONS
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REVISED ZONING - NEW POOL LOCATION
05/15/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/02/21	REVISED ZONING BOARD SUBMISSION

DRAWING TITLE:  
ELEVATIONS AND SITE PLAN

SCALE: AS NTD. DATE: 2/17/20

DESIGNED BY: VC PROJECT#: RSN-20-01

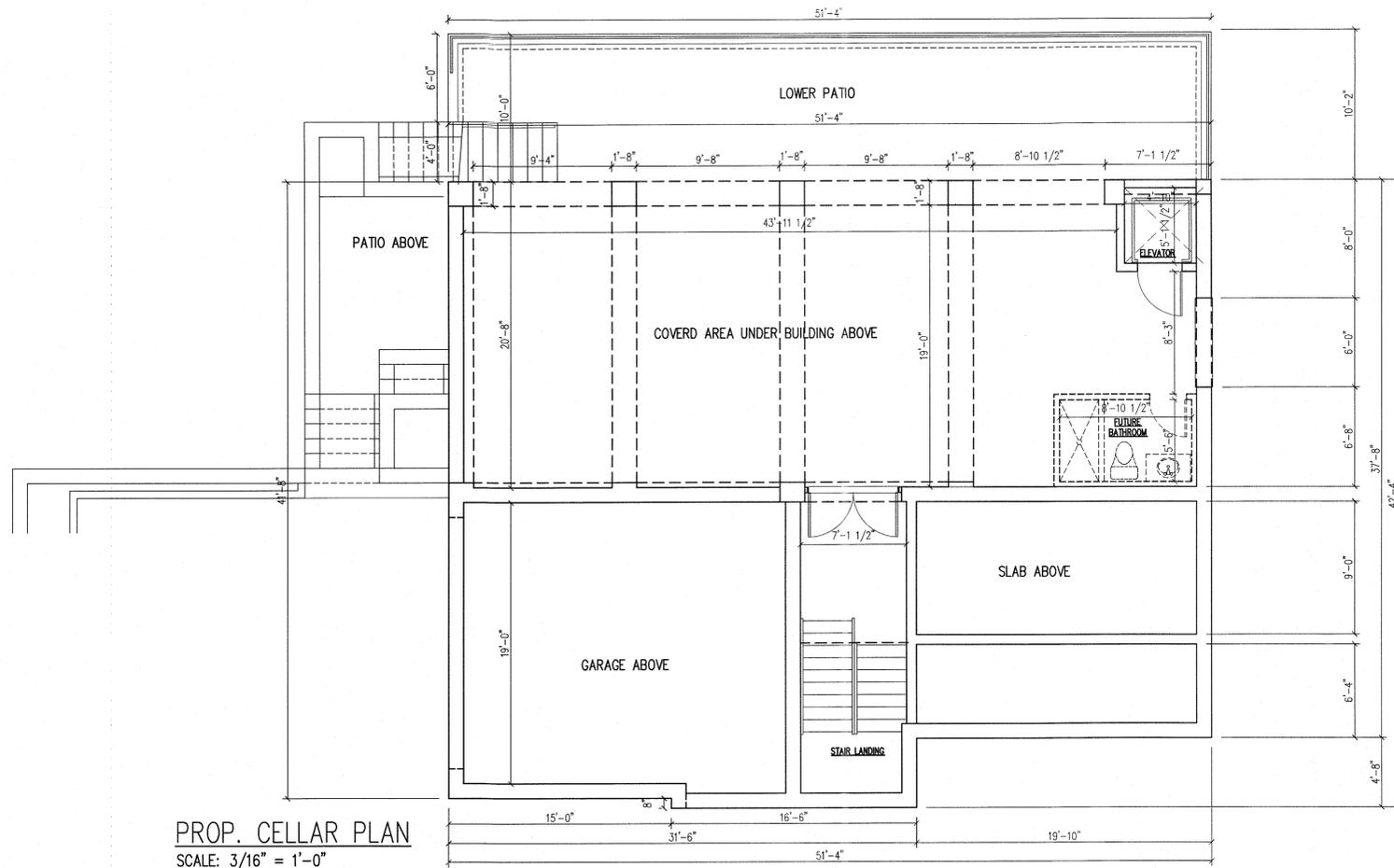
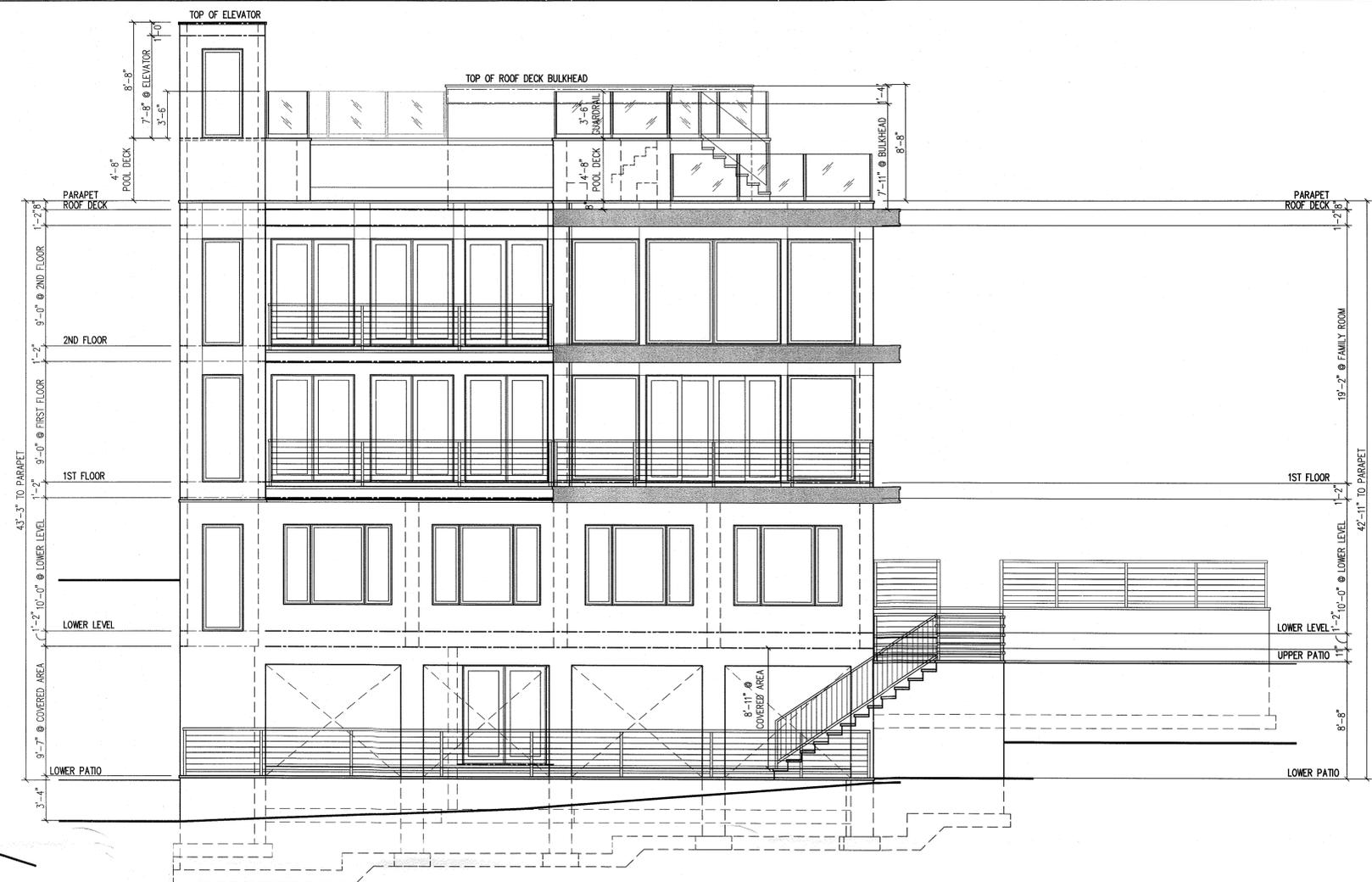
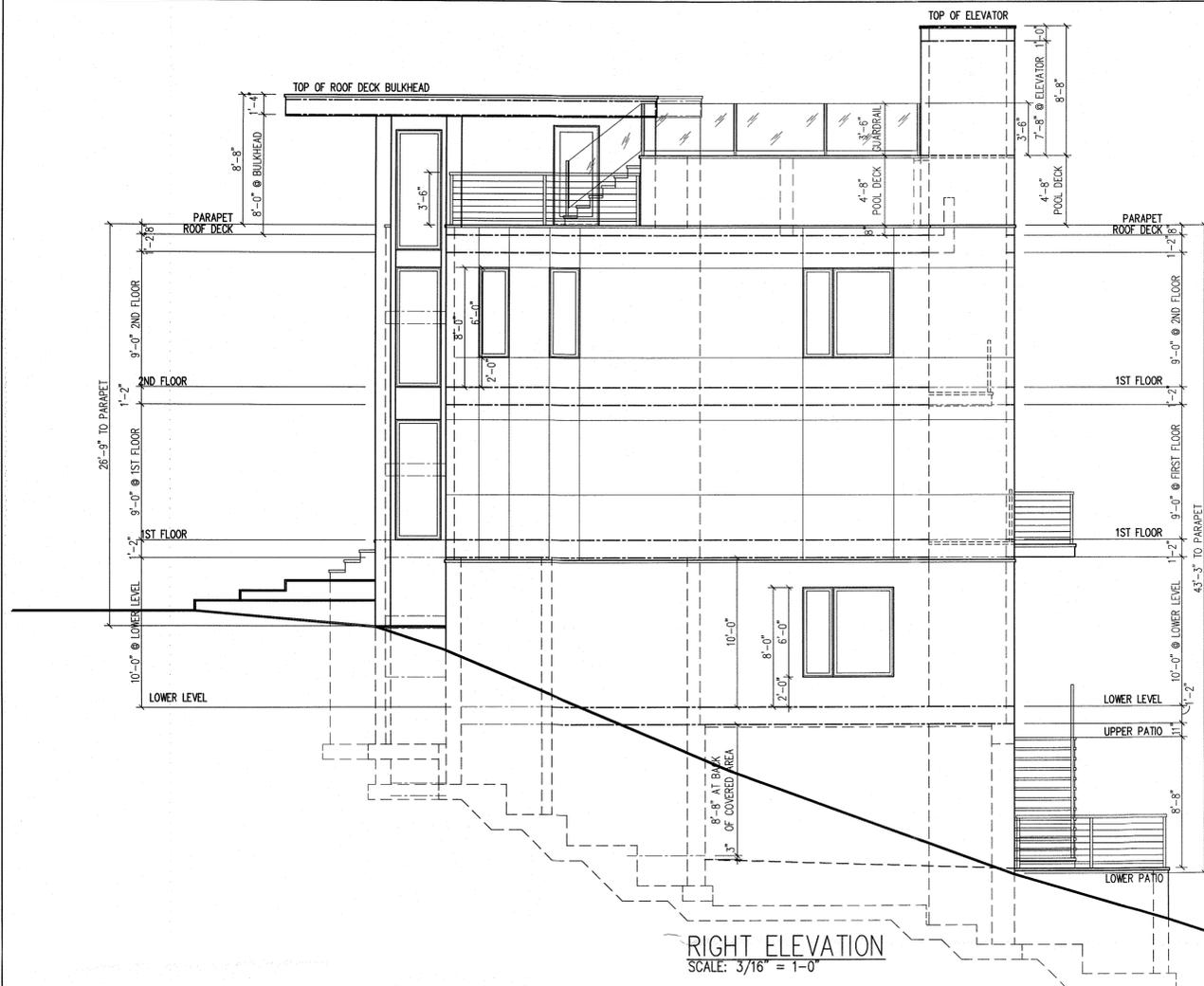
DRAWN BY: VC CAD FILE:

CHECKED BY: VC DRAWING #:

PROFESSIONAL SEAL: DRAWING:

A1

VASSILIOS COCOROS, RA  
N.Y. LIC. # 027919-1 SHEET #: 1 OF 3



Nikos Lykocas  
LYKOS  
Residence

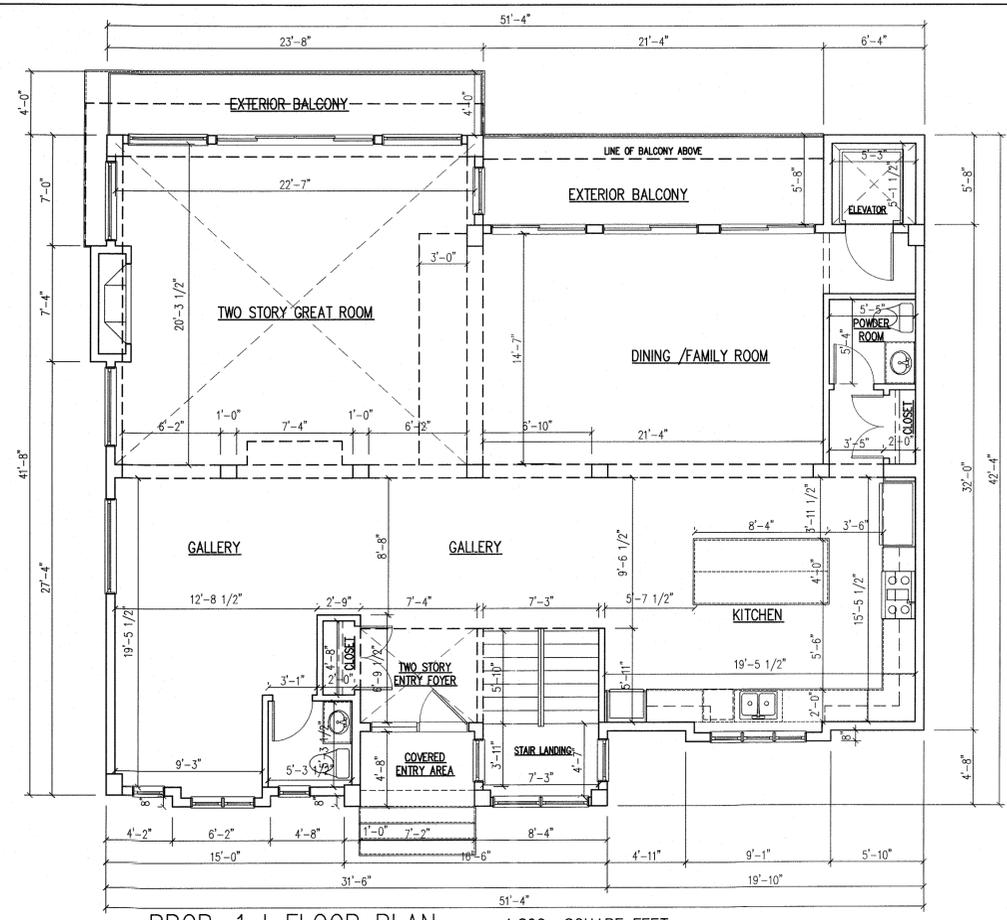
Architect shall not be responsible for the means & methods of construction and of site maintenance & safety

<p><b>V.C.A. GROUP</b></p> <p>VASSILIOS COCOROS ARCHITECT</p> <p>V.C.A.GROUP, LLC 467 SYLVAN AVENUE LOWER LEVEL ENGLEWOOD CLIFFS, NEW JERSEY TEL. 201.541.6595 FAX. 201.541.6596</p>	Date	Item
	03/25/20	CLIENT REVIEW
	04/08/20	CLIENT REVIEW
	04/17/20	SCHEMATIC PLANS & ELEVATIONS
	06/24/20	REVISED SCHEMATIC PLANS & ELEVATIONS
	08/10/20	INITIAL ZONING REVIEW
	09/30/20	REVISED ZONING REVIEW PLANS
	04/21/21	REVISED ZONING - NEW POOL LOCATION
	05/18/21	REVISED ZONING SUBMISSION
	07/28/21	APPROVED BY PLANNING FOR ZONING BOARD
08/03/21	REVISED ZONING BOARD SUBMISSION	
11/02/21	REVISED ZONING BOARD SUBMISSION	

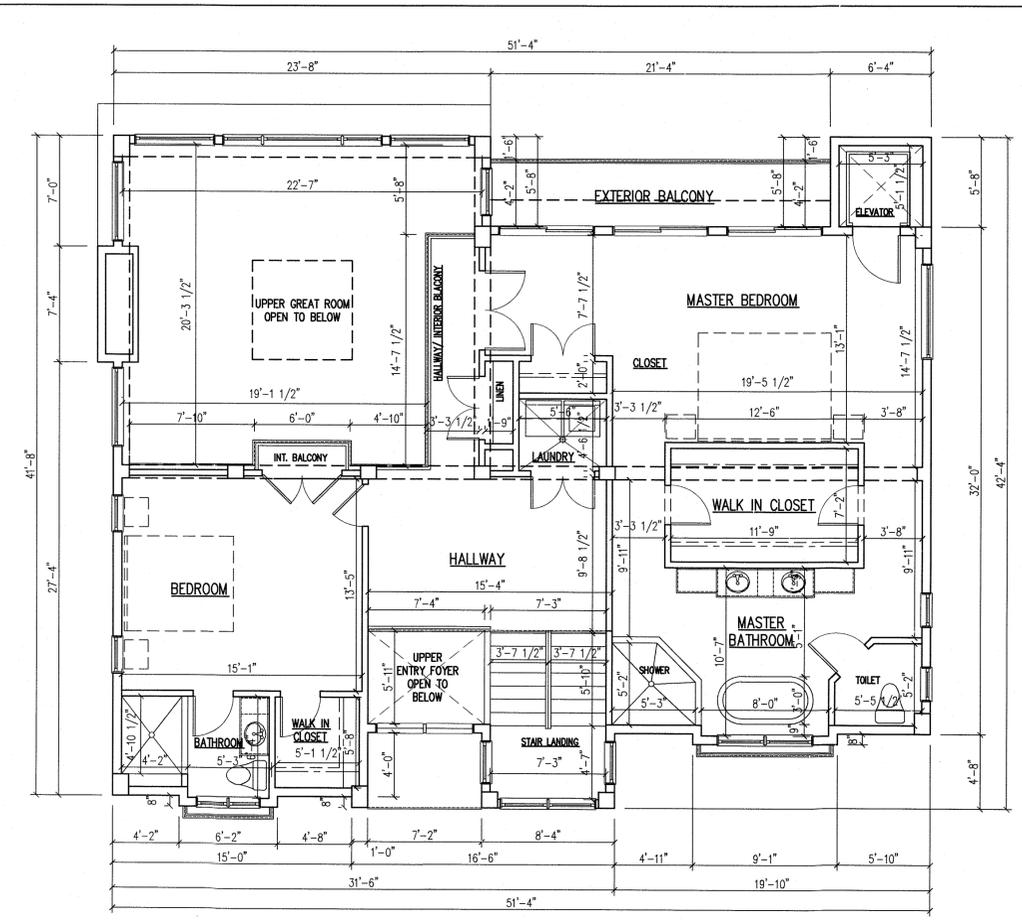
**PROJECT:**  
Proposed:  
**New One Family Dwelling**  
Located at:  
**11 Tweed Boulevard**  
**Upper Grandview**  
**Orangeburg, New York**  
**Tax Lot Section: 71.09**  
**Block: 1 Lot: 52**

DRAWING TITLE: ELEVATIONS AND SITE PLAN			
SCALE:	AS NTD.	DATE:	2/17/20
DESIGNED BY:	VC	PROJECT#:	RSN-20-01
DRAWN BY:	VC	CAD FILE:	
CHECKED BY:	VC	DRAWING #:	
PROFESSIONAL SEAL:	DRAWING:		
	A2		
SHEET #:			2 OF 3

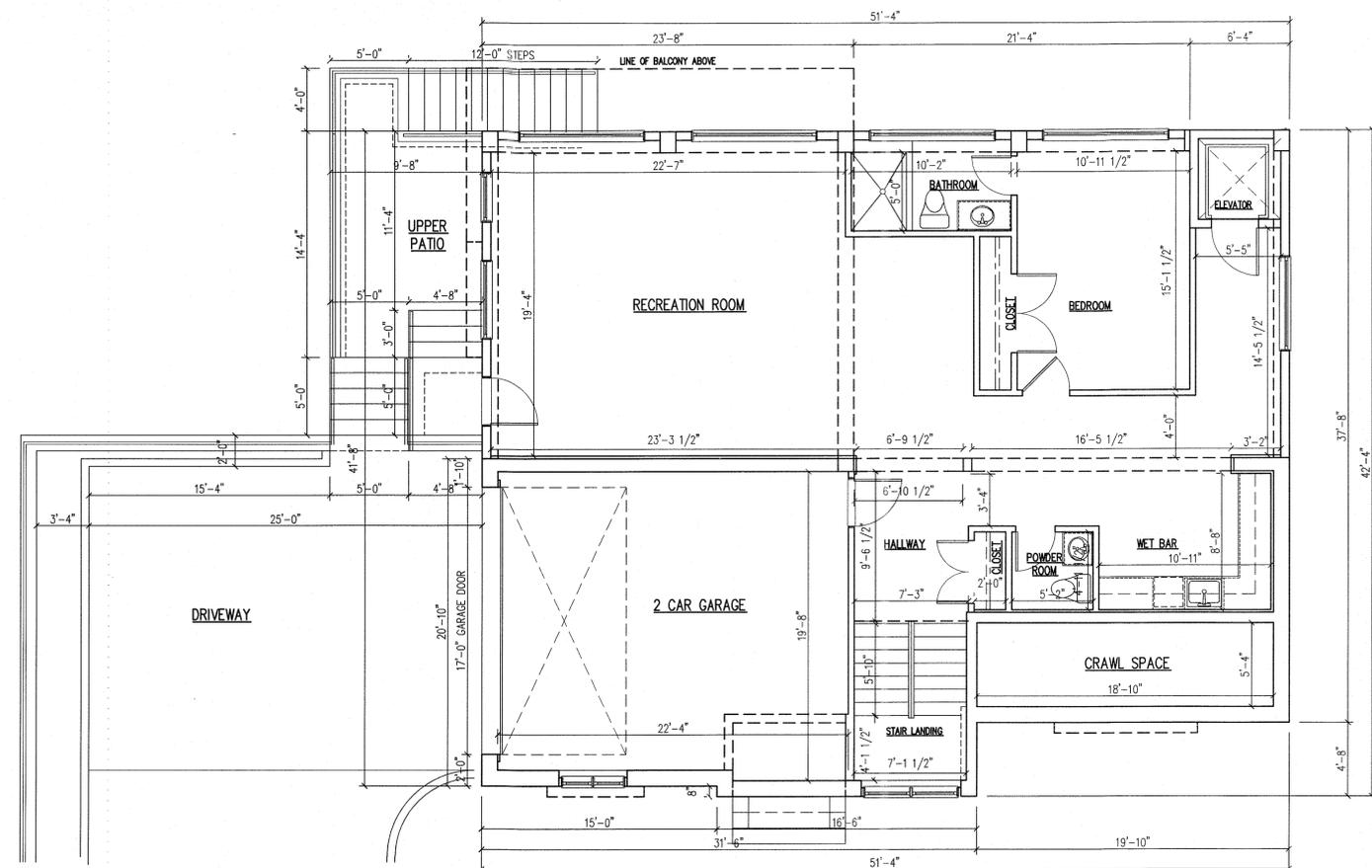
COPYRIGHT © 2019, VASSILIOS COCOROS ARCHITECT - ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THERE OF FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED WITHOUT WRITTEN PERMISSION OF VASSILIOS COCOROS ARCHITECT IS PROHIBITED.



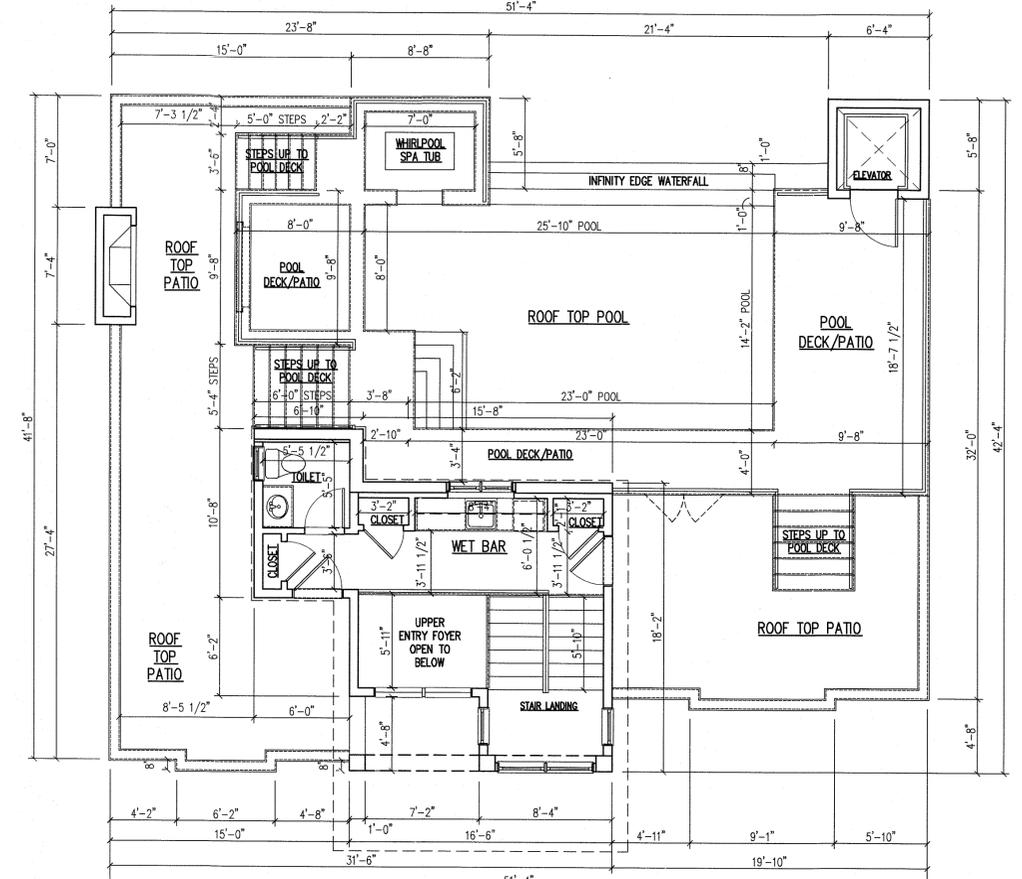
PROP. 1st FLOOR PLAN 1,890 SQUARE FEET  
 SCALE: 3/16" = 1'-0"



PROP. 2nd FLOOR PLAN 1,344 SQUARE FEET  
 SCALE: 3/16" = 1'-0"



PROP. LOWER LEVEL PLAN 1,923 SQUARE FEET  
 SCALE: 3/16" = 1'-0"



PROP. ROOF PLAN 166 SQUARE FEET  
 SCALE: 3/16" = 1'-0"

Nikos Lykokas  
 LYKOS  
 Residence

Architect shall not be responsible for the means & methods of construction and or site maintenance & safety

PROJECT:  
 Proposed:  
**New One Family Dwelling**  
 Located at:  
**11 Tweed Boulevard**  
**Upper Grandview**  
**Orangeburg, New York**  
**Tax Lot Section: 71.09**  
**Block: 1 Lot: 52**

COPYRIGHT © 2019, VASSILIOS COCOROS ARCHITECT - ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED WITHOUT WRITTEN PERMISSION OF VASSILIOS COCOROS ARCHITECT IS PROHIBITED.

Date	Item
03/25/20	CLIENT REVIEW
04/08/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
05/24/20	REVISED SCHEMATIC PLANS & ELEVATIONS
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REVISED ZONING - NEW POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING FOR ZONING BOARD
08/03/21	FOR ZONING BOARD
11/02/21	REVISED ZONING BOARD SUBMISSION

DRAWING TITLE:  
**ELEVATIONS AND SITE PLAN**

SCALE:	AS NTD.	DATE:	2/17/20
DESIGNED BY:	VC	PROJECT#:	RSN-20-01
DRAWN BY:	VC	CAD FILE:	
CHECKED BY:	VC	DRAWING #:	

PROFESSIONAL SEAL: 

DRAWING: **A3**

VASSILIOS COCOROS, RA  
 N.Y. LIC. # 027919-1

SHEET #: 3 OF 3

**CONSTRUCTION NOTES:**

- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS, PRIVATE RECORDS AS SUPPLIED BY THE OWNER, OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION ACCORDINGLY.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING.
- ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST PAVING JOINT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL, SUCH AS ASBESTOS REMOVAL, SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY.
- THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM THE STRUCTURE(S) TO BE DEMOLISHED SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ADJUTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

**TOWN NOTES:**  
THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

**SITE/CIVIL CONSTRUCTION SEQUENCING:**

- INSTALL SILT FENCE, EROSION CONTROL, AND CONSTRUCTION FENCE
- PERFORM DEMOLITION AS PER SPECIFICATIONS
- REMOVE ALL DEBRIS AS PER SPECIFICATION
- INSTALL ALL ADDITIONAL EROSION CONTROL AND STABILIZATION OF DEMO AREAS
- REMOVE CONSTRUCTION FENCINGS, ENSURE PROPER MAINTENANCE OF SILT FENCING
- INSTALL SUBSURFACE UTILITIES (SEPTIC SYSTEM) & ROUGH SITEWORK (MINOR REGRADING) PROVIDE TEMP. SEEDING / SOODING & EROSION CONTROL MEASURES
- CONSTRUCTION OF SURFACE SITE STRUCTURES, MANHOLES & UTILIZATION OF TEMPORARY STAGING AREA
- REMOVE EXISTING PARKING / STAGING AREA
- INSTALL SITE WALLS & PERFORM FINISH GRADING
- REMOVE TEMP. EROSION CONTROL MEASURES, INSTALL NEW PAVEMENT & PERMANENT LANDSCAPING. SITE STABILIZATION (80% UNIFORM DENSITY OF VEGETATION) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.

**DRAWING LIST**

TITLE PAGE AND NOTES
C001 SITE PLAN
C110 PLANTING PLAN
C200 SEPTIC DETAILS
C210 CIVIL DETAILS
C300 STORMWATER MANAGEMENT
C400 EROSION CONTROL DETAILS

**SANITARY SEWER LINE REQUIREMENTS**

- CLEANOUTS SHALL BE PROVIDED ON SEWER LINES WHEREVER A GRADE CHANGE OR ALIGNMENT CHANGE IS MADE. (SEE CLEANOUT DETAIL FOR MORE INFO)
- SEWER LINES SHALL BE SEPARATED FROM POTABLE WATER LINES BY A MINIMUM OF 10' HORIZONTAL.
- SEWER LINES CROSSING POTABLE WATER LINES MUST BE LAID A MINIMUM OF 18" BELOW WATER LINES. WATER LINE JOINTS MUST BE MINIMUM 10' FROM POINT OF CROSSING. SEWER LINES ARE TO BE CONSTRUCTED TO STANDARDS EQUIVALENT TO WATER MAIN SPECIFICATIONS AND SHALL BE PRESSURE TESTED PRIOR TO BACKFILLING.
- GRAVITY LINES SHALL BE A MINIMUM OF 4" Ø
- LINES MUST BE OF CAST-IRON PIPE FOR A MINIMUM DISTANCE OF 2' BEYOND FOUNDATION WALL.
- GRAVITY LINES TO BE PITCHED MINIMUM 1/4" VERTICAL PER 1' HORIZONTAL. TRENCHES ARE TO BE FIRMLY TAMPED BY HAND ABOUT THE PIPE.

**SCOPE OF WORK**

THE SCOPE OF WORK IS TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENTIAL DWELLING ON THE EXISTING UNDEVELOPED LOT AT THE REFERENCED ADDRESS. SANITARY SEPTIC SYSTEM, STORMWATER RETENTION & INFILTRATION MANAGEMENT SYSTEM, SEDIMENT & EROSION CONTROL, AND SITE GRADING DESIGNS HAVE BEEN PREPARED.

AREA OF DISTURBANCE: 12,500 SF

**SURVEY INFORMATION**  
SURVEY DATED: FEBRUARY 5, 2020  
FILE # YB-2415  
PREPARED BY:  
SPARACO & YOUNGBLOOD, PLLC  
18 NORTH MAIN ST  
P.O. BOX 818  
HAFFRIMAN, NY 10926  
945 782 8843  
WDYLS1@GMAIL.COM

**PROPERTY AND OWNER INFORMATION**

OWNER: NIKOS LYKOKAS

SECTION: 71.09  
BLOCK: 1  
LOT: 52

LOT AREA: 0.67 ACRES  
ZONE: R-22  
GROUP: 1 - SINGLE FAMILY DETACHED RESIDENCES  
USE: SINGLE FAMILY DETACHED RESIDENCE

**LEGEND:**

	PROPOSED SEPTIC COMPONENT
	PROPOSED BED SYSTEM
	IMPERVIOUS ROOF
	BUILDING FOOTPRINT
	GRASS YARD
	EXISTING SITE STRUCTURE
	STORM CATCH BASIN
	ADJACENT BUILDING
	SEWER CLEANOUT
	PROPERTY LINE
	STORM LINE
	MAJOR TOPO CONTOUR
	MINOR TOPO CONTOUR
	PROPOSED TOPO CONTOUR
	10' OFFSET FROM COMPONENT
	AREA OF WORK (12,500 SF)
	5' OFFSET
	12' Maple
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	STRAW BALES
	SILT FENCE
	STOCKPILED SOIL
	GRAVEL APRON FOR STABILIZED CONSTRUCTION ENTRANCE
	DRIVEWAY STATION

**COUNTY OF ROCKLAND HEALTH DEPARTMENT REQUIREMENTS**

- Inspection fee to be made out to the Rockland County Commissioner of Finance
- This department must be contacted to inspect the excavation prior to the installation of the select fill.
- Copies of the material delivery tickets for the select fill are to be submitted, showing the mix, quantity and with the correct property address.
- This department must be contacted to inspect the installation prior to when the system elements are covered over, including the piping and all joints.
- The department must witness the testing of the pump system, including an alarm test and dosing of the bed.
- As-built review. The applicant's contractor must submit a line drawing, triangulating the location of the system elements to the main house and other permanent structures.

**STORM WATER SYSTEM CLEANING AND MAINTENANCE:**

STORM WATER SYSTEM SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACTOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMP SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

**ENGINEERED FILL**

BANKRUN SAND & GRAVEL SHALL BE OBTAINED FROM AN APPROVED COMMERCIAL MANUFACTURER AND SHALL HAVE A PERCOLATION RATE OF LESS THAN 5 MIN / INCH & GREATER THAN 1 MIN / INCH. THE SUPPLIER SHALL PROVIDE A WRITTEN ANALYSIS AND CERTIFY TO THE ROCKLAND COUNTY HEALTH DEPARTMENT AND TO THE DESIGN ENGINEER THAT THE MATERIAL DELIVERED TO THIS SITE HAS BEEN MANUFACTURED BY THEM AND MEETS THE DESIGN ENGINEER'S SPECIFICATION FOR BANKRUN SAND & GRAVEL. THE CONTRACTOR SHALL EXCAVATE THE ABSORPTION BED AREA TO DESIGN DEPTH AND HAVE THE EXCAVATION INSPECTED AND APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT PRIOR TO PLACEMENT OF THE BANKRUN SAND & GRAVEL.

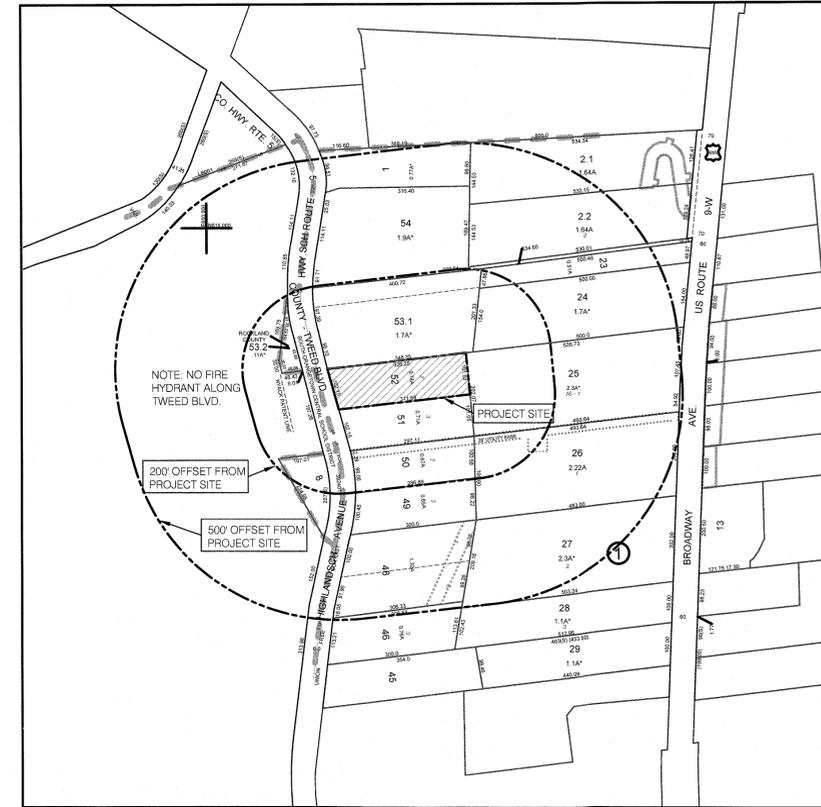
**SEPTIC CONSTRUCTION NOTES**

- HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT OUTSIDE THE PROPOSED BOTTOM AREA OF THE BED
- THE REQUIRED BED BOTTOM AREA IS EXCAVATED AS LEVEL AS PRACTICAL. THE BOTTOM AND SIDES OF THE EXCAVATION ARE HAND RAKED TO REDUCE SOIL SMEARING
- AFTER EXCAVATIONS A SIX-INCH LAYER OF AGGREGATE BELOW PIPE AND COVERED WITH AGGREGATE TO A LEVEL TWO INCHES ABOVE THE TOP OF THE PIPE
- THE ENTIRE AREA IS TO BE COVERED WITH A PERMEABLE GEOTEXTILE

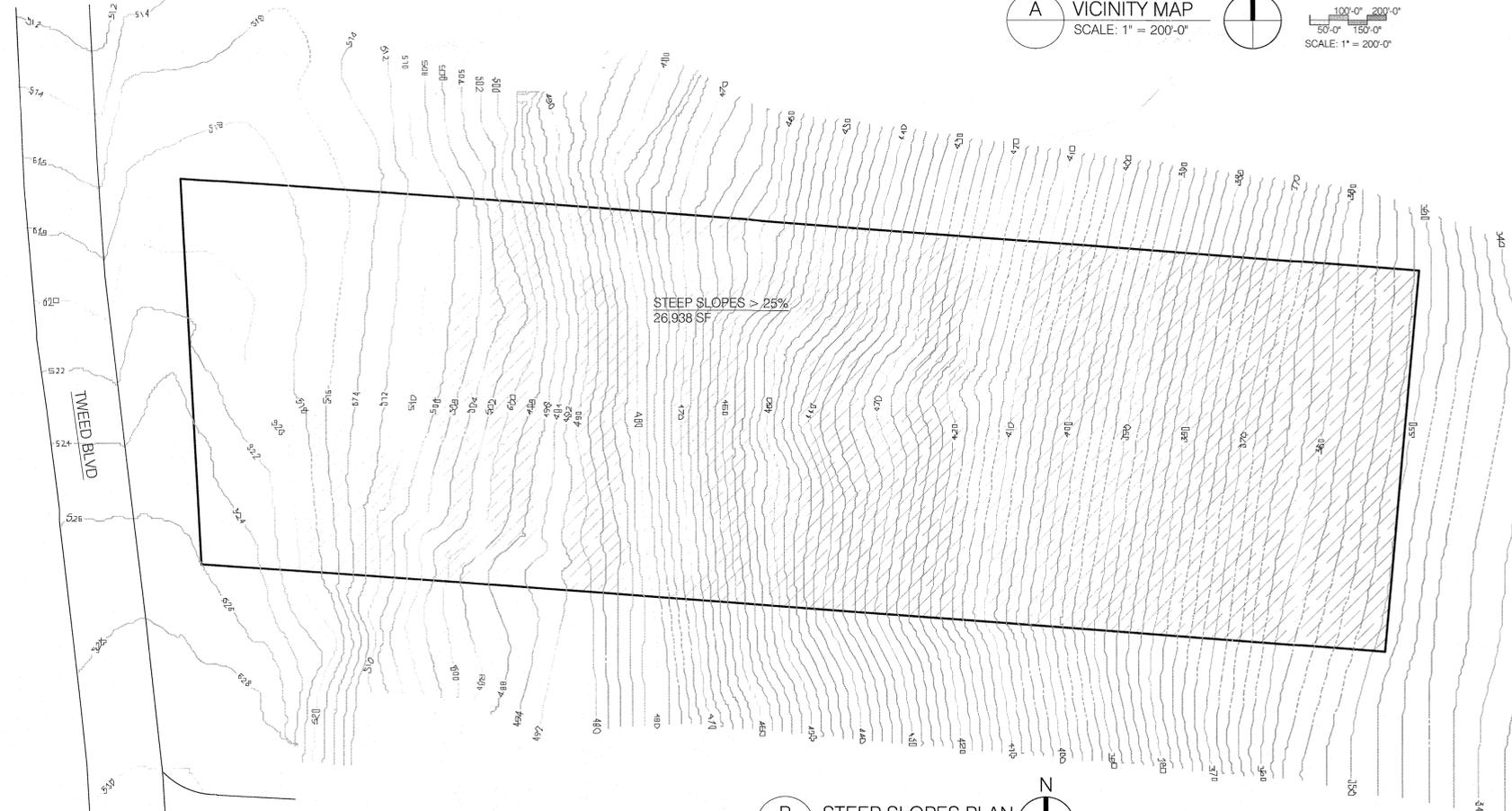
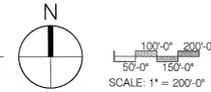
**ZONING INFORMATION: 11 TWEED BOULEVARD - R22 ZONE**

CATEGORY:	REQUIRED/ALLOWED:	PROPOSED:	VARIANCE:
LOT SIZE (EXISTING):	22,500 SQUARE FEET	32,268 SQUARE FEET	-
LOT WIDTH (EXISTING):	125.00 FEET	101.00 FEET	YES (1)
LOT FRONTAGE (EXISTING):	75.00 FEET	102.15 FEET	NO
AREA OF SLOPES > 25%	-	26,938 SQUARE FEET	-
COUNTED LOT AREA	22,500 SQUARE FEET	18,799 SQUARE FEET	YES
FLOOR AREA RATIO	20.00% 3,759.8 SQ FT	28.32 % 5,323 SQ FT	YES
BUILDING COVERAGE (BUILDING):	-	2,021 SQUARE FEET	-
IMPERVIOUS COVERAGE (2)	-	5,603 SQUARE FEET	-
FRONT YARD:	40.00 FEET (3)	30.00 FEET	YES
LEFT SIDE YARD:	20.00 FEET MIN. (4)	20.07	NO
RIGHT SIDE YARD:	20.00 FEET MIN. (4)	20.17 FEET	NO
COMBINED SIDEYARDS:	40.00 FEET (6)	40.24 EET	NO
REAR YARD:	45.00 FEET	244.50 FEET	NO
MAX BUILDING HEIGHT:	20.00 FEET (7)	36.17 FEET (5)	YES
PARKING	2.00 SPACES	2.00 SPACES	NO

- VARIANCE WAS GRANTED BY ZONING BOARD 5-01-2002 (ZBA# 10-53)
- INCLUDES BUILDING COVERAGE
- AS PER CH 43, 5.111 & COUNTY
- ADJUSTED IN ACCORDANCE WITH 5.21 (b)
- MEASURED TO ELEVATOR BULKHEAD
- ADJUSTED IN ACCORDANCE WITH 5.21 (b) 60.00 FT REQUIREMENT REDUCED BY 20 FT TO 40 FT
- ADJUSTED IN ACCORDANCE WITH 5.21 (e)



**A VICINITY MAP**  
SCALE: 1" = 200'-0"

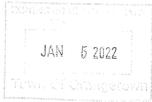


**B STEEP SLOPES PLAN**  
SCALE: 1" = 20'-0"



**REVISIONS:**

03/25/20	CLIENT REVIEW
04/8/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD



**PROJECT:**  
11 TWEED BLVD.  
UPPER GRANDVIEW, NY

**NOTES & SLOPE ANALYSIS**

**SEAL & SIGNATURE:**

JOREL J. VACCARO  
NY PE 093362

DATE: 8/3/2021  
PROJECT #: 20001  
DRAWN/CHECKED: JJV  
SCALE: NOTED  
PAGE: 01 OF 07



**PLANTING & LANDSCAPING NOTES**

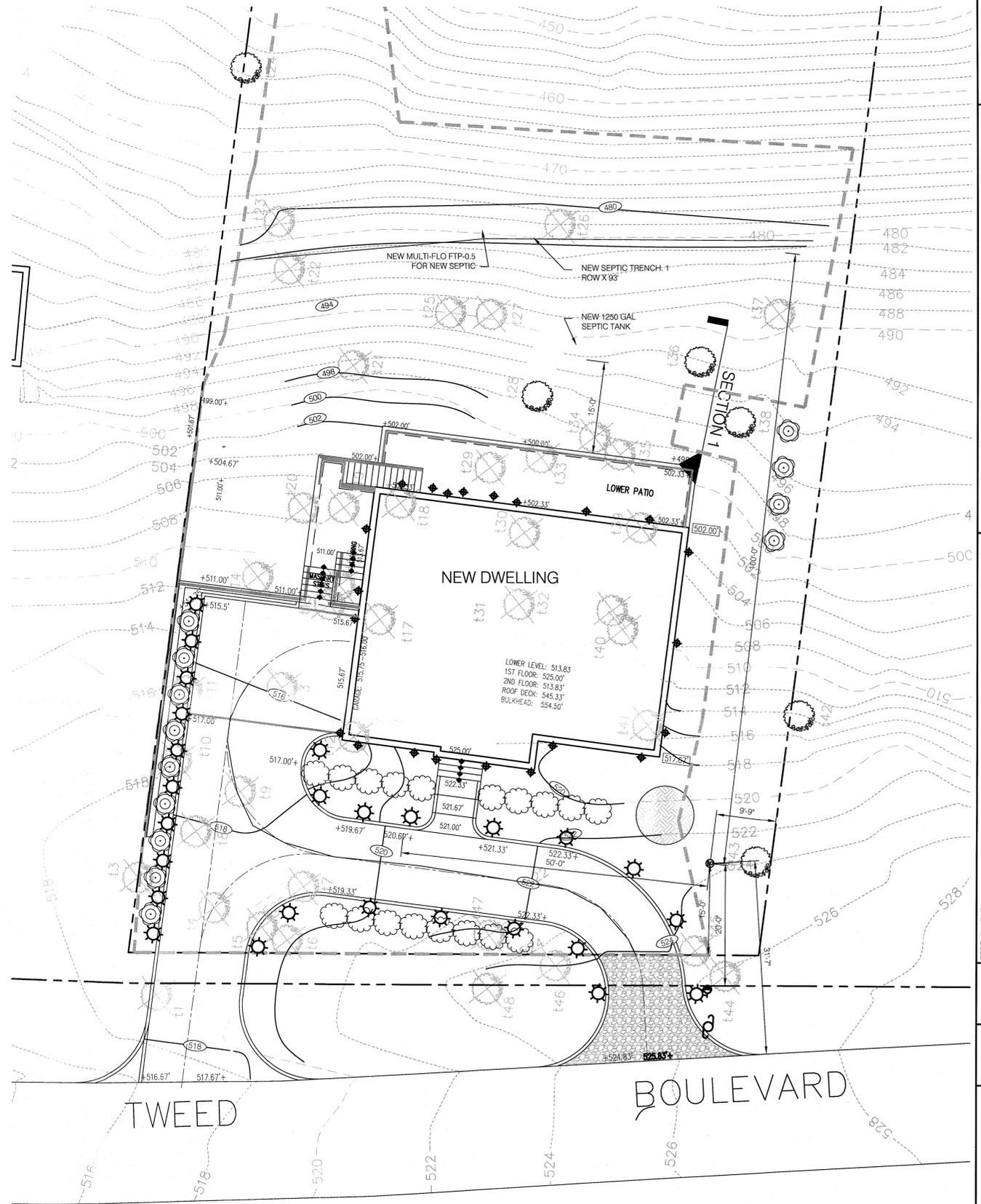
- All planting shall be placed under the direction of the Design Professional. Give 48 hours' notice before planting. Final configuration upon review and coordination with neighboring property owner.
- All plants shall be nursery-grown plants and workmanship shall conform to the American Association of Nurserymen Standards and shall be subject to the approval of the Design Professional before and after planting.
- Guarantee all plants and workmanship for a period of two planting seasons. (One full year)
- Place 4" of topsoil on all lawn areas and all areas not paved or built upon.
- Plant pits shall be 36" wider for trees (minimum of two times root ball diameter) and 24" wider for shrubs, and as deep as the root ball. Set plants at same level as originally grown on base of undisturbed soil. The trunk flare and root collar shall be visible at the top of the plant bed at the time of final inspection. Remove all existing soil from plant pit and backfill with a mixture of one part peat humus, one part dehydrated cow manure, and four parts topsoil. Fertilize all plants with 2 to 3 oz. per foot of shrub height and 2 to 3 lbs. per inch of tree trunk of 5-10-5 fertilizer. For evergreen planting, add 1 lb. Per 100 square feet of plant bed each of ammonium sulfate and superphosphate. Loosen soil around edges of plant pit.
- Fertilize areas before seeding or sodding with 15 lbs. per 1000 square feet of 10-20-10 fertilizer or approved equivalent. Repeat after 8 weeks.
- Mulch all plants and planted areas with a 4" depth of shredded pine, oak bark or other shredded bark, treated for fire repellency. Do not place mulch against tree or shrub trunk. The trunk flare and root collar shall be visible at the top of the plant bed with no mulch against trunk. Do not create mound of mulch around tree. Finish grade to be same as originally grown.
- Lawn areas shall be seeded at 5 lbs. per 1000 square feet with the following seed mixture: 20% Jamestown II Chewings Fescue, 60% Baron Kentucky Bluegrass, and 20% Palmer II Perennial Rye, or approved equivalent. Mulch newly seeded lawn at 80 lbs. per 1000 square feet with hay or straw mulch.
- The contractor is responsible to plant the total quantities of all plants shown on the planting plan. The quantities of planting shown graphically on the plan shall govern.
- Existing trees shown on this plan are to remain undisturbed. All existing trees shown to remain are to be protected with a 6-foot high wooden fence with posts placed at the drip line of the branches or at 8 feet minimum from the tree trunk. Any existing tree shown to remain that is removed during construction shall be replaced by a 4" caliper shade tree as directed by the Design Professional. When an area of existing trees is shown to be saved, and an area of such trees has been removed, a 2 1/2" - 3" cal. shade tree shall be replaced for each 200 square feet of area disturbed.

**PLANTING SCHEDULE:**

NAME	GREEN GIANT ARBORVITAE
SYMBOL	
SCIENTIFIC NAME	(THUJA STANDISHII X PLICATA)
SPACING	PLANTED IN SINGLE ROW, 6 FT ON CENTER
HEIGHT	5 FT IN HEIGHT
QUANTITY	12
NAME	WINTERGREEN BOXWOOD SHRUB
SYMBOL	
SCIENTIFIC NAME	(BUXUS SINICA VAR. INSULARIS WINTERGREEN)
SPACING	PLANTED IN SINGLE ROW, 4 FT ON CENTER
HEIGHT	3 FT IN HEIGHT
QUANTITY	15

**LIGHTING SCHEDULE:**

TYPE	SYMBOL
LOW VOLTAGE PATH & DRIVE LIGHT	
WALL WASHER	
UNDER-TREAD RISER LIGHTING	



**REVISIONS:**

03/25/20	CLIENT REVIEW
04/8/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 148 FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, TO ALTER THIS DRAWING IN ANY WAY.  
THE ENTIRE CONTENTS OF THIS DOCUMENT INCLUDING ALL SKETCHES, PLANS, NOTES, SPECIFICATIONS, SCHEDULES, AND SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF KRYPTON ENGINEERING, P.L.L.C. NO DOCUMENTS OR INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF KRYPTON ENGINEERING, P.L.L.C. ORIGINAL SHEET SIZE: A4X6

PROJECT:  
**11 TWEED BLVD.  
UPPER GRANDVIEW, NY**

**LANDSCAPING &  
LIGHTING PLAN**

SEAL & SIGNATURE:



JOREL J. VACCARO, PE  
NY PE 093362

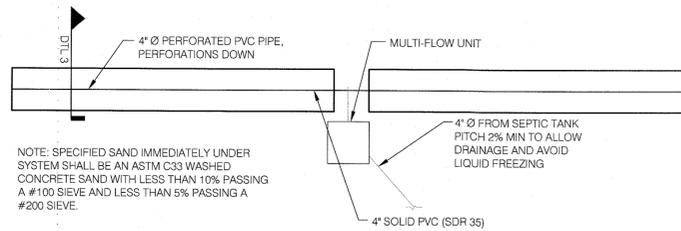
TO THE BEST OF THE DESIGN PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MUNICIPAL BUILDING CODES.

DATE:	8/3/2021
PROJECT #:	20001
DRAWN/CHECKED:	JJV
SCALE:	NOTED
PAGE:	03 OF 07

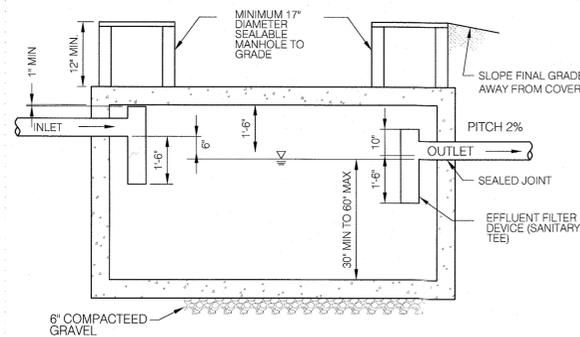
**B SITE PART PLAN**  
SCALE: 1" = 10'-0"



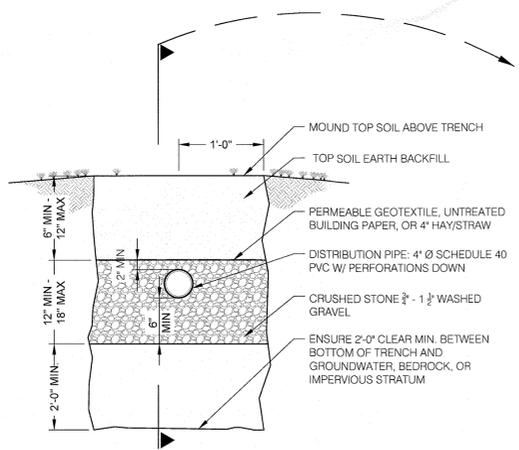
SCALE: 1" = 10'-0"  
5'-0" 10'-0"  
2'-6" 7'-6"



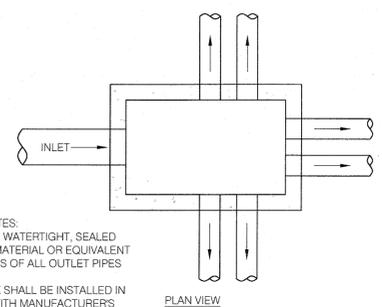
**1 TRENCH SYSTEM PLAN**  
SCALE: 1/4" = 1'-0"



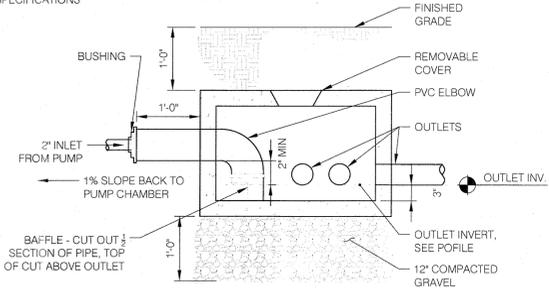
**2 TYPICAL SEPTIC TANK SECTION**  
SCALE: 3/8" = 1'-0"



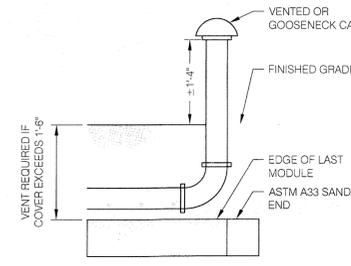
**3 ABSORPTION TRENCH DETAIL**  
SCALE: NTS



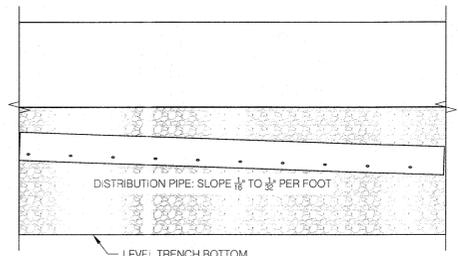
- DISTRIBUTION BOX NOTES:**
1. PIPE JOINTS TO BE WATERTIGHT, SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT
  2. INVERT ELEVATIONS OF ALL OUTLET PIPES MUST BE EQUAL
  3. DISTRIBUTION BOX SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS



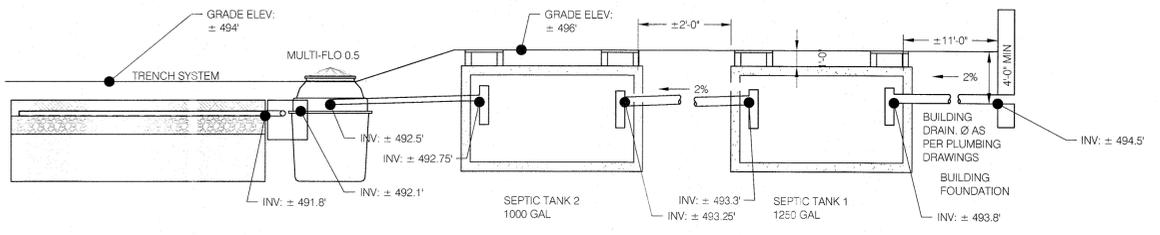
**4 DISTRIBUTION BOX**  
SCALE: NTS



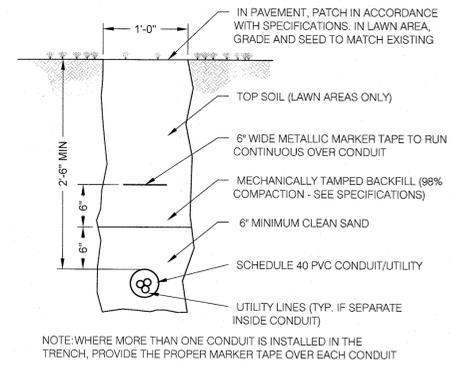
**5 VENT DETAIL**  
SCALE: NTS



- NOTE:**
1. WORK THIS DETAIL IN CONJUNCTION WITH NYS DESIGN HANDBOOK RESIDENTIAL ON-SITE WASTEWATER TREATMENT SYSTEMS FIGURE 17
  2. 4 MIN SEPARATION BETWEEN TRENCHES (6' C-C SPACING)
  3. PERCOLATION RATE: 1-60 MINUTES / INCH
  4. 15% TRANSVERSE SLOPE MAX.

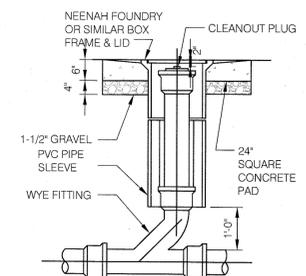


**6 SYSTEM PROFILE**  
SCALE: NTS

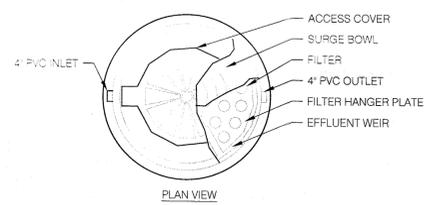


**NOTE:** WHERE MORE THAN ONE CONDUIT IS INSTALLED IN THE TRENCH, PROVIDE THE PROPER MARKER TAPE OVER EACH CONDUIT

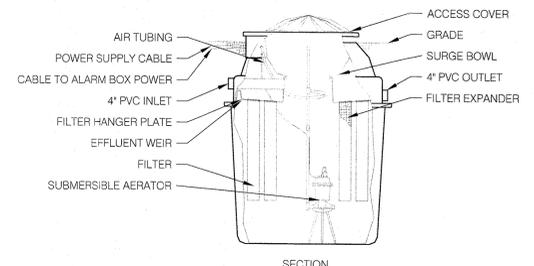
**7 TRENCH DETAIL**  
SCALE: NTS



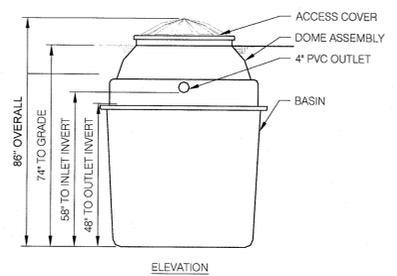
**8 CLEANOUT**  
SCALE: NTS



**NOTE:**  
MULTI-FLO FTP-0.5  
BY CONSOLIDATED TREATMENT SYSTEMS, INC.  
1 937 746 2727 WWW.MULTI-FLO.COM



**9 MULTI-FLO DETAILS**  
SCALE: 3/8" = 1'-0"



**MULTI-FLO SYSTEM DESIGN**  
3 BEDROOMS  
MULTI-FLO TABLE 4:  
REQUIRED CAPACITY: 500 GPD  
TABLE 1 -> MODEL FTB-0.5

**DAILY FLOW RATE:**  
110 (NEW CONST) \* 3 BEDROOMS  
= 330 GPD

**PERC. RATE ENGINEERED FILL:**  
1'-5"

**ABSORPTION TRENCH**  
APDX 75-A, TABLE 4A  
138 FT \* 67% = 93 FEET

**REVISIONS:**

03/25/20	CLIENT REVIEW
04/8/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 145 FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, TO ALTER THIS DRAWING IN ANY MANNER.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SHEETS, PLANS, FIGURES, DRAWINGS, SPECIFICATIONS, AND ALL COPYRIGHTS THEREIN, ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF KRYPTON ENGINEERING, PLLC. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KRYPTON ENGINEERING, PLLC. ORIGINAL SHEET SIZE: 24X36

**PROJECT:**  
**11 TWEED BLVD.**  
**UPPER GRANDVIEW, NY**

**SEPTIC DETAILS**

SEAL & SIGNATURE:



**JOREL J. VACCARO, PE**  
NY PE 093362

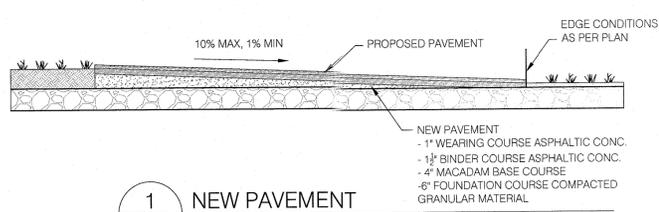
**DATE:** 8/3/2021

**PROJECT #:** 20001

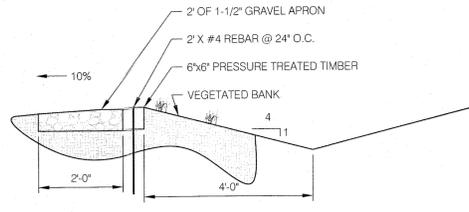
**DRAWN/CHECKED:** JJV

**SCALE:** NOTED

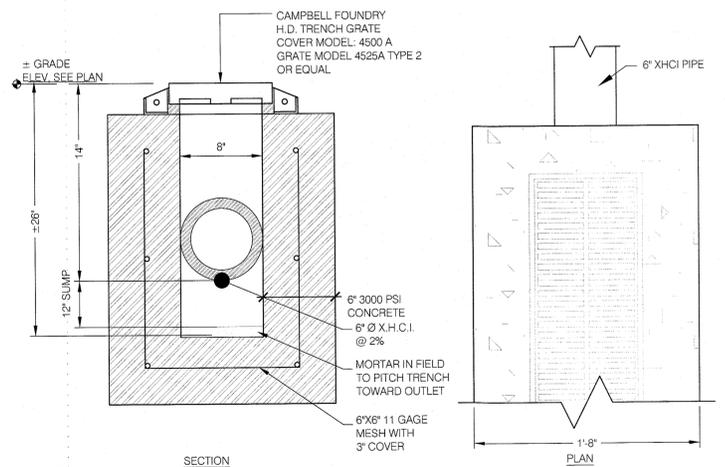
**PAGE:** 04 OF 07



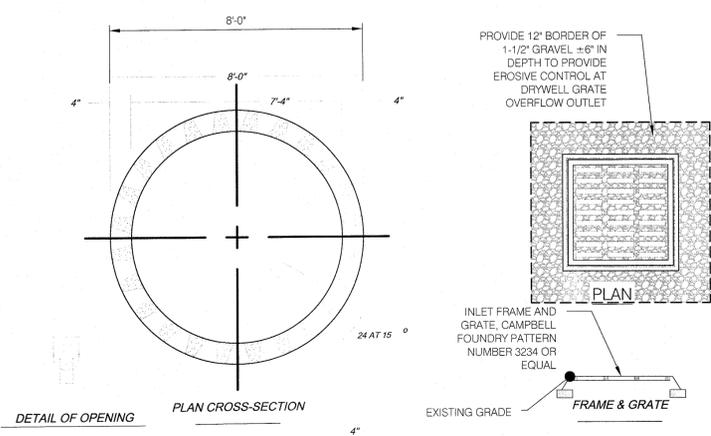
**1 NEW PAVEMENT**  
SCALE: 1/2" = 1'-0"



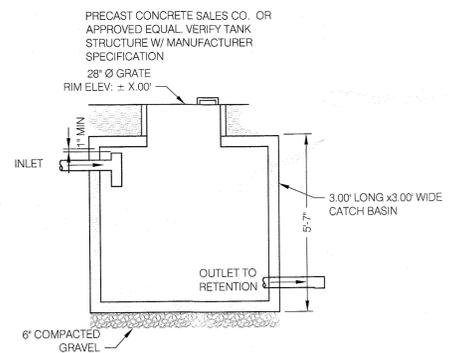
**5 LEVEL SPREADER**  
SCALE: 1/2" = 1'-0"



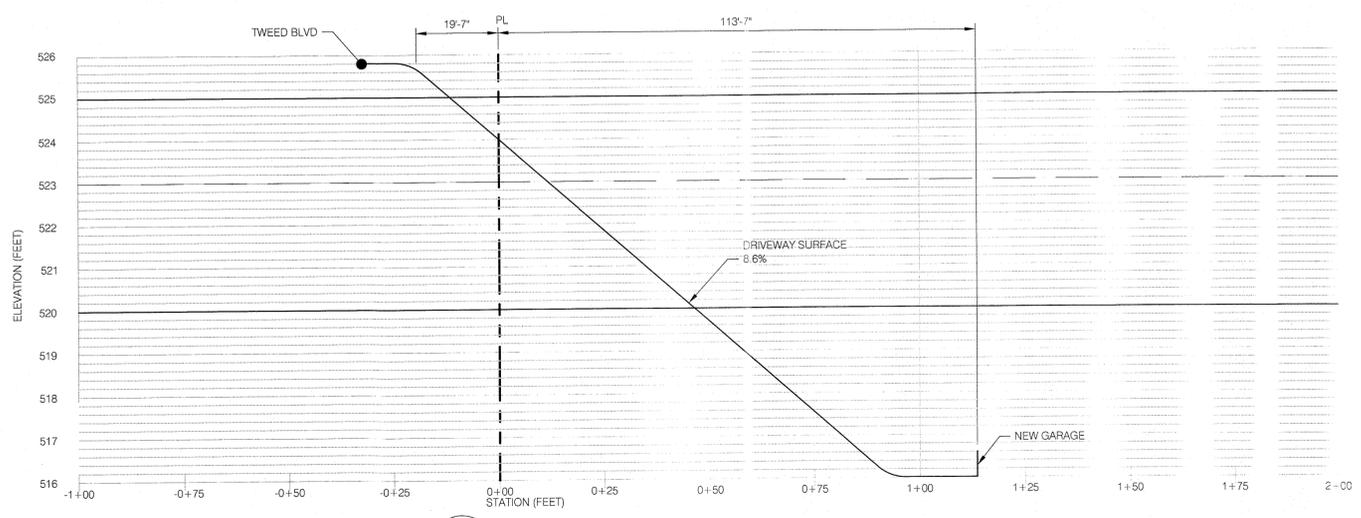
**2 TRENCH DRAIN**  
SCALE: NTS



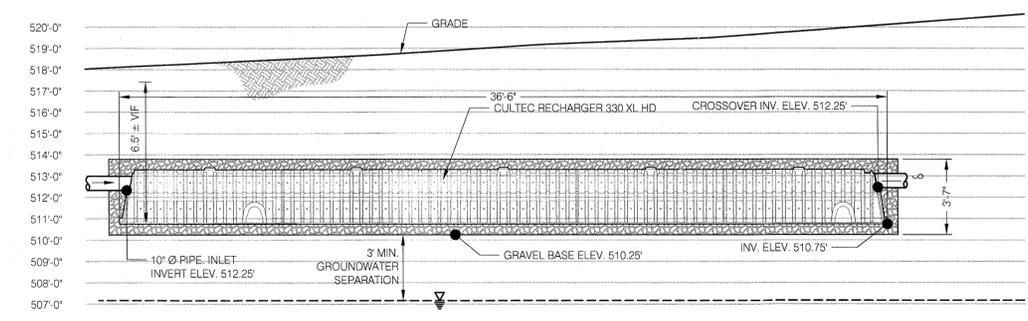
**6 TYP. CATCH BASIN**  
SCALE: 3/8" = 1'-0"



**3 TYP. CATCH BASIN**  
SCALE: 3/8" = 1'-0"



**4 DRIVEWAY PROFILE**  
SCALE: 1" = 20'-0"



**7 STORMWATER INFILTRATION**  
CROSS-SECTION  
SCALE: 1/4" = 1'-0"

**TREE REMOVAL / PROTECTION LIST**

NO.	DIAMETER	SPECIES	
T1	12"	HICKORY	
T2	14"	CHERRY	
T3	12"	ASH	
T4	12"	OAK	
T5	6"	CHERRY	
T6	8"	HICKORY	
T7	6"	CHERRY	
T8	18"	OAK	
T9	12"	HICKORY	
T10	6"	HICKORY	
T11	8"	CHERRY	
T12	12"	HICKORY	
T13	6"	CHERRY	
T14	18"	OAK	
T15	6"	CHERRY	
T16	8"	HICKORY	
T17	8"	HICKORY	
T18	6"	HICKORY	
T19	12"	OAK	
T20	8"	HICKORY	
T21	14"	HICKORY	
T22	12"	MAPLE	
T23	40"	OAK	
T24	10"	MAPLE	TO REMAIN
T25	10"	MAPLE	
T26	36"	OAK	TO REMAIN
T27	6"	HICKORY	
T28	24"	OAK	
T29	30"	OAK	
T30	8"	HICKORY	
T31	16"	OAK	
T32	10"	CHERRY	
T33	16"	OAK	
T34	12"	HICKORY	
T35	10"	OAK	
T36	24"	OAK	
T37	16" QUAD	MAPLE	
T38	8" TWIN	OAK	TO REMAIN
T39	8"	BASSWOOD	
T40	16"	OAK	
T41	12" TWIN	BASSWOOD	
T42	14"	ELM	TO REMAIN
T43	12"	HICKORY	TO REMAIN
T44	18" TWIN	CHERRY	
T45	8"	HICKORY	
T46	18"	HICKORY	
T47	5"	OAK	
T48	12"	CHERRY	

NOTE: ALL TREES LISTED ARE TO BE REMOVED OTHER THAN THOSE NOTED TO REMAIN. REMAINING TREES TO BE PROTECTED

REVISIONS:

03/25/20	CLIENT REVIEW
04/08/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, TO ALTER THIS DRAWING IN ANY MANNER.

THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SKETCHES, PLANS, SPECIFICATIONS, SCHEDULES, AND NOTATIONS, ARE THE SOLE AND EXCLUSIVE PROPERTY OF KRYPTON ENGINEERING, PLLC. THE DOCUMENT AND ITS CONTENTS MAY NOT BE USED, REPRODUCED OR REPRODUCED DIGITALLY, ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF KRYPTON ENGINEERING, PLLC. ORIGINAL SHEET SIZE: 24"X36"

PROJECT:  
**11 TWEED BLVD.  
UPPER GRANDVIEW, NY**

**STORMWATER  
DETAILS**

SEAL & SIGNATURE:

JOREL J. VACCARO  
NY PE 093362

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

DATE: 03/2021  
PROJECT #: 2001  
DRAWN/CHECKED: JJV  
SCALE: NOTED  
PAGE: 05 OF 07

**CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS**

**GENERAL**  
CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

**CHAMBER PARAMETERS**

1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT, USA. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES (775 mm) TALL, 52 INCHES (1321 mm) WIDE AND 8.5 FEET (2.59 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES (600 mm) HDPE.
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES (267 mm) HIGH BY 11.5 INCHES (292 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES (298 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 CF/FT (0.663 m³/m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT (1.478 m³ / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
12. THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
17. THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
18. THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER SHALL HAVE A 6 INCH (152 mm) DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m).
25. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

**CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS**

**GENERAL**  
CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 330XLHD STORMWATER CHAMBERS.

**CHAMBER PARAMETERS**

1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMED.
5. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
7. THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
8. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
9. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.

**CULTEC NO. 410™ NON-WOVEN GEOTEXTILE**

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

**GEOTEXTILE PARAMETERS**

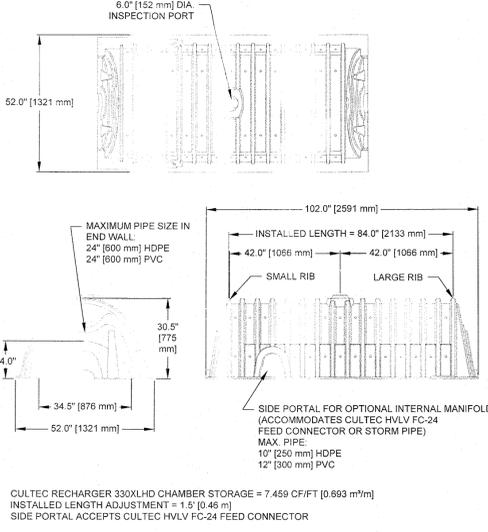
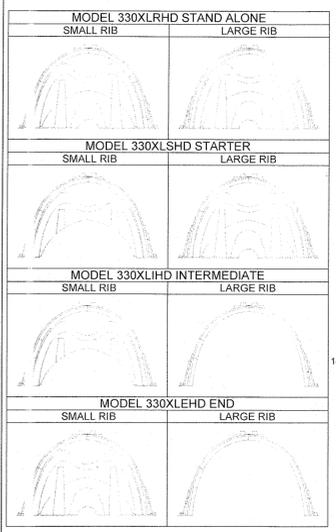
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M)
4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3766 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SQ M) PER ASTM D4913 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.

**CULTEC NO. 4800™ WOVEN GEOTEXTILE**

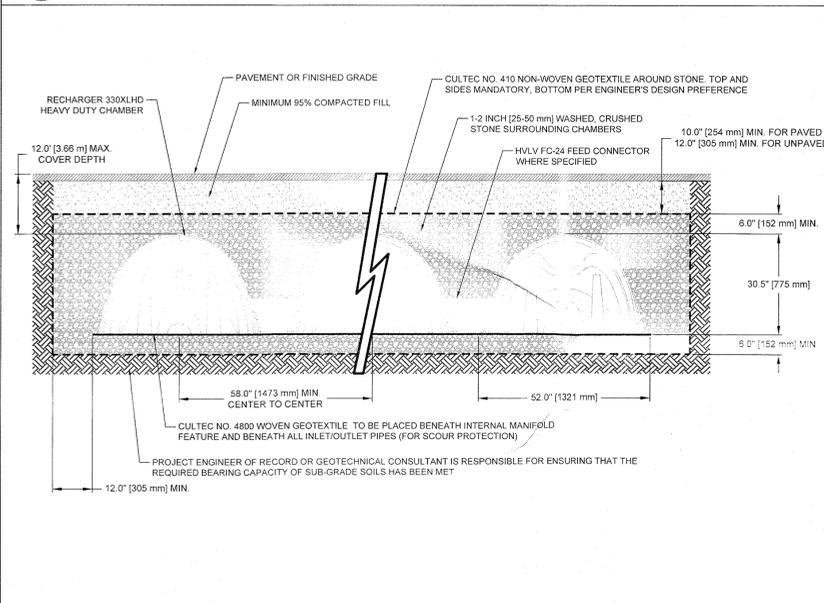
CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

**GEOTEXTILE PARAMETERS**

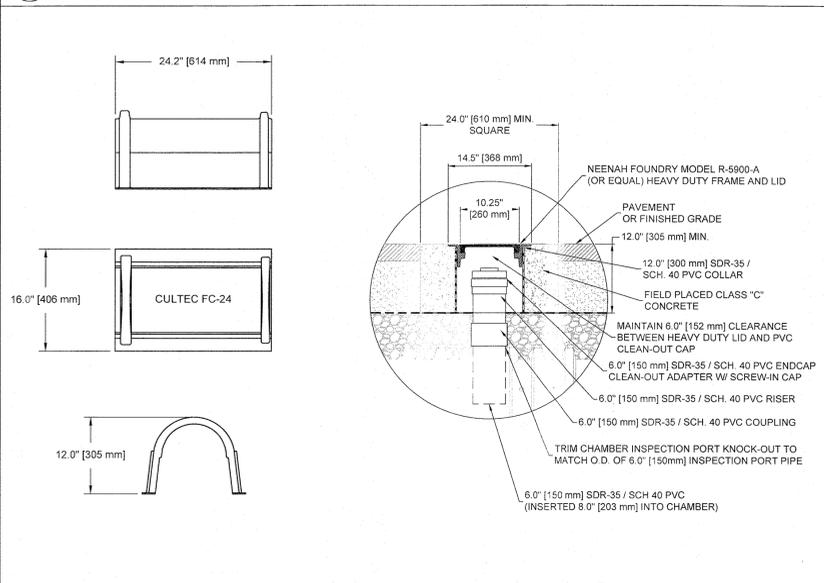
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 560 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,540 N) PER ASTM D6241 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT² (470 LPM/M²) PER ASTM D4913 TESTING METHOD.
14. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.



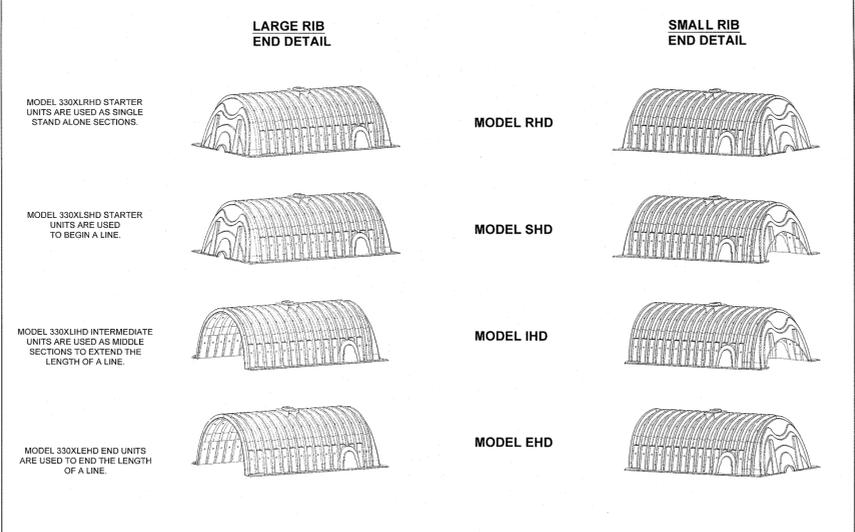
**CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW**



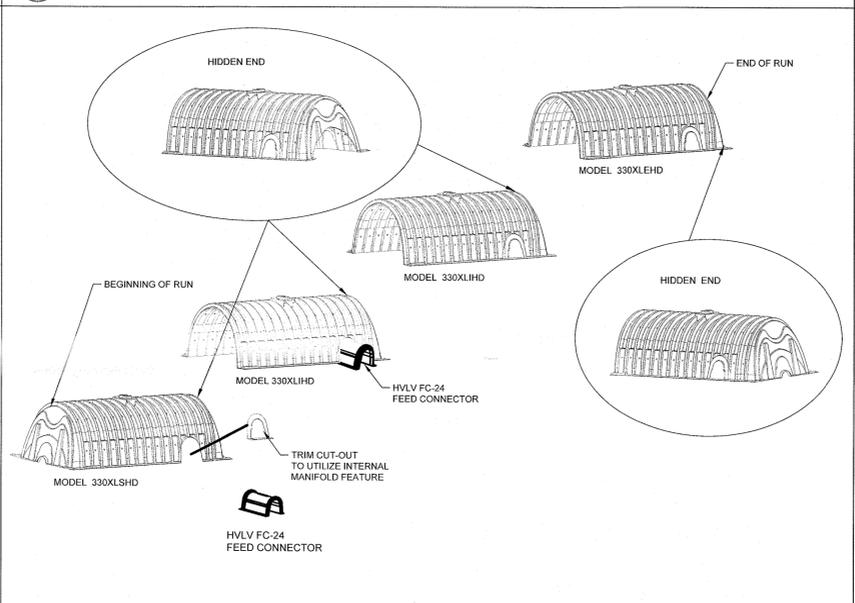
**CULTEC RECHARGER 330XLHD HEAVY DUTY CROSS SECTION**



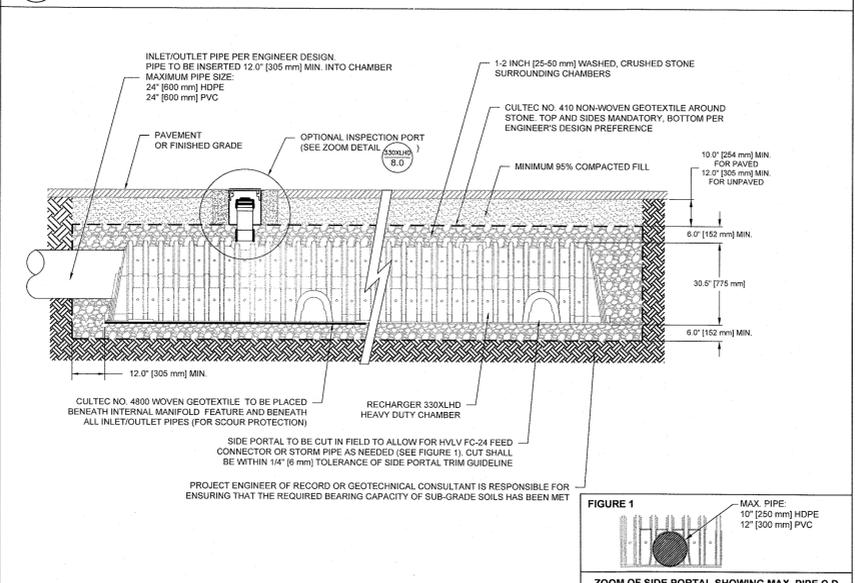
**CULTEC HVLV FC-24 FEED CONNECTOR THREE VIEW**



**RECHARGER 330XLHD HEAVY DUTY END INFORMATION**

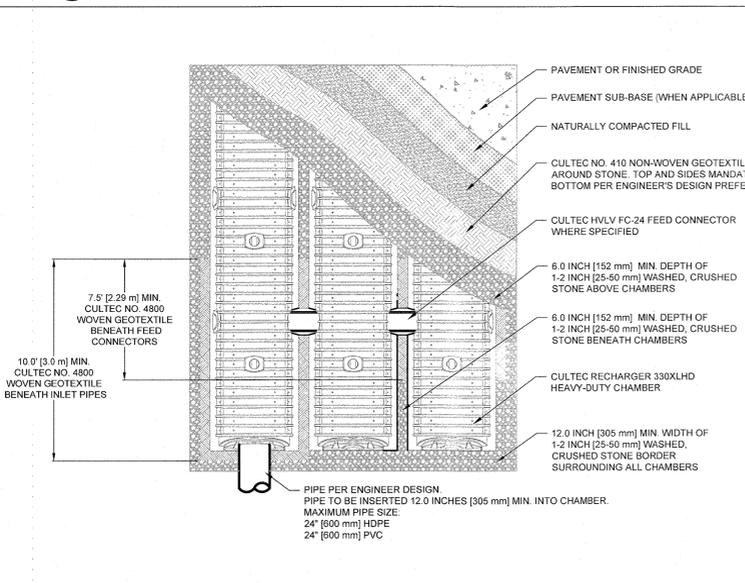


**RECHARGER 330XLHD HEAVY DUTY TYPICAL INTERLOCK**



**INTERNAL MANIFOLD-INSPECTION PORT DETAIL**

**GENERAL NOTES**



**CULTEC RECHARGER 330XLHD HEAVY DUTY STAND VIEW**

**REVISIONS:**

03/25/20	CLIENT REVIEW
04/8/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 145 FOR ANY PERSON, FIRM OR ENTITY TO ACT AS AN ENGINEER OR ARCHITECT WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT IN THE STATE OF NEW YORK.

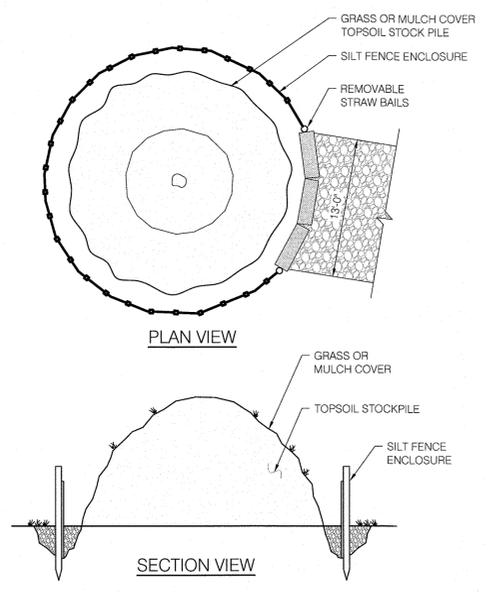
**PROJECT:**  
11 TWEED BLVD.  
UPPER GRANDVIEW, NY

**CULTEC DETAILS**

**SEAL & SIGNATURE:**

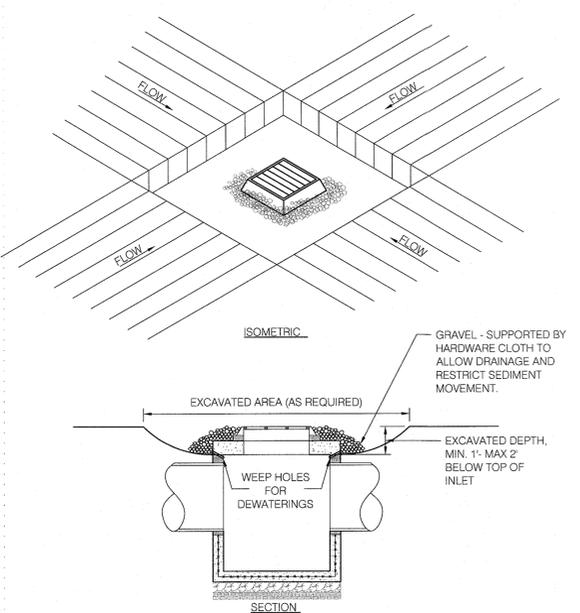
JOREL J. VACCARO  
NY PE 093362

**DATE:** 8/3/2021  
**PROJECT #:** 20001  
**DRAWN/CHECKED:** JUV  
**SCALE:** AS NOTED  
**PAGE:** 06 OF 07



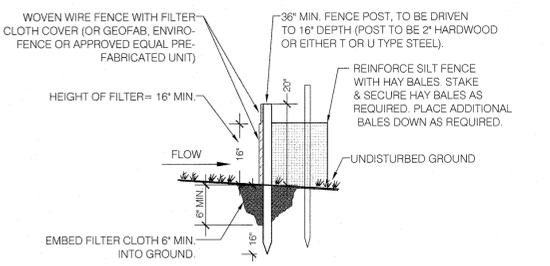
- NOTES:  
 1-TOPSOIL REMOVED DURING SITE PREPARATION SHALL BE STOCKPILED ON-SITE FOR FUTURE USE IN SITE RECLAMATION AND REVEGETATION.  
 2- SOIL STOCKPILE SHALL BE ENCIRCLED WITH SILT FENCING WITH PASSAGEWAY PROVIDED FOR EQUIPMENT ACCESS.  
 3- PROVIDE TEMPORARY GRASS OR MULCH COVER IF STOCKPILE IS TO REMAIN UNDISTURBED FOR THIRTY DAYS OR MORE. TEMPORARY COVER SHALL CONSIST OF ONE OF THE FOLLOWING MEASURES:  
 - GRASS SEED: 1/2 LB. RYE GRASS /1000S.F  
 - MULCH: 100LBS OF STRAW OR HAY/1000S.F

**DETAIL - SOIL STOCKPILE**



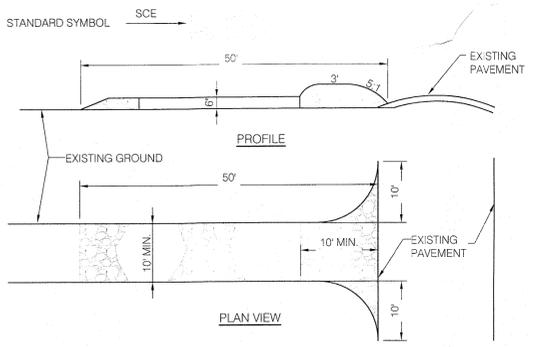
- CONSTRUCTION SPECIFICATIONS  
 1- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.  
 2- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.  
 3- WEEP HOLES SHALL BE PROTECTED BY GRAVEL.  
 4- UPON STABILIZATION OF CONSTRUCTION DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT SOIL PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

**DROP INLET PROTECTION DETAIL**



- NOTES:  
 1- POST SPACING TO BE 10' MAX. O.C.  
 2- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.  
 3- WOVEN WIRE FENCE TO BE 14 GA. MIN., 6" MAX. SPACING.  
 4- FILTER CLOTH TO BE FILTER X, MIRAFI 100XOR APPROVED EQUAL.  
 5- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH WIRE TIES SPACED EVERY 24" AT TOP AND MID SECTION.  
 6- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED OR TIED TO A POST (PROVIDE POST AT SPLICE).  
 7- MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.  
 8- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.  
 9- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.  
 10- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2 TO 2" INTO THE GROUND AND FLUSH WITH THE BALE.  
 11- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.  
 12- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

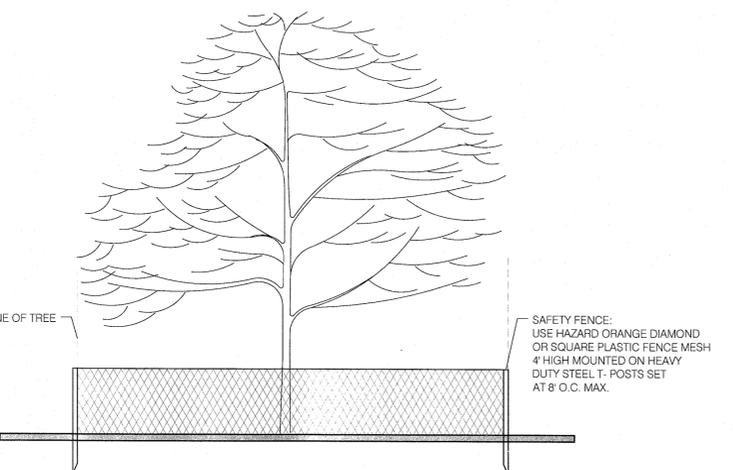
**DETAIL - SILT FENCE**



- CONSTRUCTION SPECIFICATIONS:  
 1- STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
 2- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).  
 3- THICKNESS - NOT LESS THAN (6) INCHES.  
 4- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.  
 5- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.  
 6- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPE WILL BE PERMITTED.  
 7- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.  
 8- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 9- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**

- EROSION CONTROL:**
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN STATE STANDARDS AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
  - ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECTED TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO NY STANDARDS.
  - STABILIZATION SPECIFICATIONS:
    - TEMPORARY SEEDING AND MULCHING:
      - LIME - 90 LBS / 1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS / 1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
      - SEED - PERENNIAL RYE GRASS 40 LBS./ACRE (1 LB / 1,000 SF) OR OTHER APPROVED SEEDS, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
      - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
    - PERMANENT SEEDING AND MULCHING:
      - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
      - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS / 1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4"
      - SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 15.
      - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
  - SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
  - STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A STRAW BALE SEDIMENT BARRIER AND/OR SILT FENCE.
  - A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
  - MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  - DRIVEWAYS MUST BE STABILIZED WITH 1" - 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
  - ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
  - CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH NY STANDARDS.
  - STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
  - DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH NY STANDARDS.
  - DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH NY STANDARDS.
  - TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH NY STANDARDS.
  - THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
  - ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
  - A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
  - SILT FENCING SHALL BE ADJUSTED IN FIELD AND NOT ENCROACH ONTO EXISTING TREES TO REMAIN AND SHALL ENCOMPASS LIMITS OF DISTURBANCE INCLUDING SEEPAGE PIT LOCATIONS.
  - THE TREE PROTECTION AND PRESERVATION WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
    - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
    - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
    - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
    - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
      - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
      - DRIP LINE OF THE TREE CANOPY.
 THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
      - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
      - LIGHT IMPACT ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE CONTRACTOR SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE DRAWINGS PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK. THE ENGINEER SHALL BE NOTIFIED IN ADVANCE TO INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
  - ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE.
  - ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
  - IF THE CONTRACTOR, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREA, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD. THE CONTRACTOR MAY SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION.
  - THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE MUNICIPALITY.
  - PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.



- THE PROJECT DEVELOPER SHALL TAKE REASONABLE PRECAUTION TO SAVE SPECIMEN QUALITY TREES IN AREAS NOTED ON THE PLANS FOR CLEARING. WHEN POSSIBLE, THE DEVELOPER SHALL PROTECT INDIVIDUAL SPECIMEN TREES THROUGH THE INSTALLATION OF SAFETY FENCING AROUND THE DRIP LINE PERIMETER OF THE TREE.
- SAFETY FENCING SHALL BE INSTALLED AT THE ONSET OF SITE CONSTRUCTION TO PREVENT VEHICLE TRAFFIC FROM COMPACTING THE SOILS IN THE VICINITY OF THE TREE ROOT STRUCTURE.

REVISIONS:

03/25/20	CLIENT REVIEW
04/18/20	CLIENT REVIEW
04/17/20	SCHEMATIC PLANS & ELEVATIONS
06/24/20	REV'D SCHEMATIC PLANS & ELEV
08/10/20	INITIAL ZONING REVIEW
09/30/20	REVISED ZONING REVIEW PLANS
04/21/21	REV'D ZONING - POOL LOCATION
05/18/21	REVISED ZONING SUBMISSION
07/28/21	APPROVED BY PLANNING
08/03/21	FOR ZONING BOARD
11/11/21	FOR ZONING BOARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, TO ALTER THIS DRAWING IN ANY WAY.  
 THE ENTIRE CONTENTS OF THIS DOCUMENT, INCLUDING ALL SKETCHES, PLANS, NOTES, DRAWINGS, SPECIFICATIONS, AND REVISIONS, ARE THE PROPERTY OF KRYPTON ENGINEERING, P.C. THE DOCUMENTS AND THEIR CONTENTS MAY NOT BE USED, REPRODUCED OR REPRODUCED ELECTRONICALLY OR IN ANY OTHER MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF KRYPTON ENGINEERING, P.C. ORIGINAL SHEET SIZE: A&C.

PROJECT:  
 11 TWEED BLVD.  
 UPPER GRANDVIEW, NY

**SEDIMENT & EROSION CONTROL DETAILS**

SEAL & SIGNATURE:

JOREL J. VACCARO  
 NY PE 093362

TO THE BEST OF THE SIGNER'S PROFESSIONAL KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES.  
 DATE: 8/3/2021  
 PROJECT #: 20001  
 DRAWN/CHECKED: JUV  
 SCALE: 1" = 10'-0"  
 PAGE: 07 OF 07