

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: February 21, 2020

TO: OBAPAE

Environmental Management and Engineering
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Orangetown Highway
Fire Prevention (Performance Standards)

Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway

Review of Plans: Michael Maroney, 21 Duhaime Road, Pearl River, NY
Section 69.10 Block 1 Lot 36 R-15 zone

This matter is scheduled for:

Chapter 43, R-15 District, Section 3.12, Group M, Columns 4 (Floor Area Ratio: .20 permitted, .26 proposed) and 12 (Building Height: 20' permitted, 27' proposed) (Section 5.21 e undersize lot applies) for an addition to an existing single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: April 1, 2020

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on Wednesday, April 1, 2020. Kindly forward your completed review to this office by April 1, 2020.

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino

RECEIVED

FEB 21 2020

DEPT. OF PLANNING

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
 ASSIGNED _____
 INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

RECEIVED

Project Name: MORONEY FEB 21 2020

Street Address: 21 DUHAIME RD
PEARL RIVER, NY 10965 DEPT. OF PLANNING

Tax Map Designation:
Section: 69.10 Block: 1 Lot(s): 36
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the WEST side of DUHAIME RD, approximately
170 feet NORTH of the intersection of S. PELD DR, in the
Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel _____	Zoning District _____
School District _____	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
TEAR DOWN EXISTING HOME AND REMOVE SLAB. EXCAVATE FULL FOUNDATION AND ERECT NEW SINGLE FAMILY HOME, WHILE MAINTAINING EXISTING DETACHED GARAGE.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2/19/20 Applicant's Signature: Michael Moroney

APPLICATION REVIEW FORM

Applicant: MICHAEL MORONEY Phone # (914) 393-3133

Address: 5 SUNRISE LANE PEARL RIVER NY 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: SHARON & MICHAEL MORONEY Phone # (914) 393-3133

Address: 5 SUNRISE LN PEARL RIVER NY 10965
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: P. Douglas Siebentler Phone # (845) 623-0346

Address: PO BOX 9243 BAERONIA NY 10954
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: MICHAEL MORONEY Phone # (914) 393-3133

Address: 5 SUNRISE LN PEARL RIVER NY 10965
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____ NO

Are there **streams** on the site? If yes, please provide the names. _____ NO

Are there **wetlands** on the site? If yes, please provide the names and type: _____ NO

Project History:

Has this project ever been reviewed before? _____ NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO ZONING BOARD OF APPEALS

Date: January 13, 2020

Applicant: Moroney

Address: 21 Duhaime Rd, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12

Column 1 R-15, Column 2 Group 2. Column 3 SFR, Column 4 Max FAR 20% with 26% proposed,
 Column 12 Height, per Section 5.21(e) max height 20' with 27' proposed

Existing Non-Conforming
 Lot Area, Lot Width, Street Frontage.

Section: 69.10 Block: 1 Lot: 36

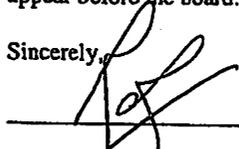
Dear Moroney:

Please be advised that the Building Permit Application, which you submitted on
January 7, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find
 at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
 Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
 determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
 appear before the board.

Sincerely,

 1/13/2020

Richard Oliver
 Deputy Building Inspector

 1-17-2020

Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino

*ACABOR REVIEW/APPROVAL ALSO REQUIRED
 AFTER ZBA APPROVAL OBTAINED.



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

ARCHITECTURE AND COMMUNITY APPEARANCE BOARD OF REVIEW
REFERRAL LETTER

Moroney
21 Duhaime Rd
Pearl River, NY
sbl 69.10-1-36, prnt 49684

Date: January 13, 2020

Re: _____

Chapter 2, Section 2-4

Requires A.C.A.B.O.R.

Approval

** ZBA APPROVAL
 REQUIRED PRIOR
 TO ACABOR SUBMITTAL*

Dear Moroney:

Please be advised that the Building Permit Application, which you submitted on January 7, 2020, has been denied to appear before the A.C.A.B.O.R.. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the A.C.A.B.O.R., Cheryl Coopersmith, can assist you in the preparation necessary to appear before the board. Please contact her 845-359-8410 ext 4330 or ccoopersmith@orangetown.com

Sincerely,

[Signature]
1/13/2020

Richard Oliver
 Deputy Building Inspector

[Signature]
1-17-2020

Signature of Director

Date

NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

CC: Rosanna Sfraga
 Liz DeCort
 Cheryl Coopersmith

0, 707. /

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. 20.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT
TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-15</u>		OFFICIAL USE ONLY		ACREAGE: <u>.124</u>	
Inspector: <u>G</u>	Date App Received: <u>1-7-2020</u>	Received By: <u>[Signature]</u>			
Permit No. <u>49684</u>		Date Issued: _____			
CO No. _____		Date Issued: _____			
Permit Fee: <u>\$5,964.-</u>	Ck# <u>2706</u>	Paid By <u>Moroney</u>			
GIS Fee: <u>\$20.00</u>	Ck# <u>2705</u>	Paid By <u>Moroney</u>			
Stream Maintenance Fee	Ck # _____	Paid By _____			
Additional Fee: _____	Ck# _____	Date Paid _____	Paid By _____		
1 st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____	Paid By _____		
2 nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____	Paid By _____		

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must be signed by the applicant.

Property Location: 21 DUHAINE RD, PEARL RIVER, NY 10965
Section: 69.10 Block: 1 Lot: 310

Property Owner: MICHAEL AND SHARON MORONEY
Mailing Address: 5 SUNRISE LN, PEARL RIVER, NY 10965
Email: MIKEN3BOYS@HOTMAIL.COM Phone #: 914-393-3133

Lessee (Business Name): _____
Mailing Address: _____
Email: _____ Phone #: _____

Type of Business / Use: _____

* Contact Person: MICHAEL MORONEY Relation to Project: SELF
Email: MIKEN3BOYS@HOTMAIL.COM Phone#: 914-393-3133

Architect/Engineer: PAUL DOUGLAS SIEBENALER NYS Lic # 015517
Address: PO BOX 9243, BAEDONIA, NY 10954 Phone#: (845) 623-0346

Builder/General Contractor: TBD RC Lic # _____
Address: _____ Phone#: _____

Plumber: _____ RC Lic # _____
Address: _____ Phone#: _____

Electrician: _____ RC Lic # _____
Address: _____ Phone#: _____

Heat/Cooling: _____ RC Lic#: _____
Address: _____ Phone#: _____

Existing use of structure or land: SINGLE FAMILY HOME w/ DETACHED GARAGE

Proposed Project Description: TEAR DOWN EXISTING HOME BUT LEAVE DETACHED GARAGE. REPLACE EX HOME WITH NEW 2 STORY HOME WITH FULL BASEMENT IN LINE WITH SIMILAR HOMES ACROSS STREET AND IN WITHIN

Proposed Square Footage: 2753, 83 Estimated Construction Value (\$): 324,000

BUILDING DEPARTMENT COMPLETES BELOW

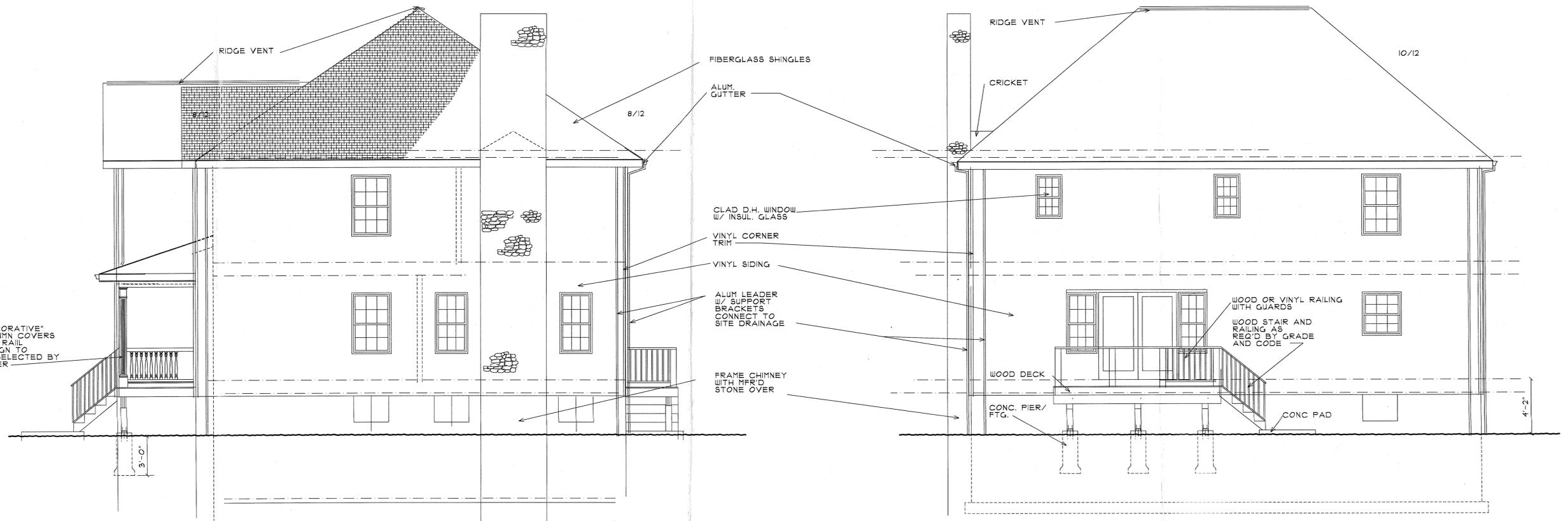
PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

ACORN - Chapter 7, Section 2-4. Requires DCR Approval.
ZB - Chapter 43, Table 3.12, Col 1 R-15, Col 2 Group M, Col 3 PER Col 4
max FAR 20% w/ 26% proposed, Col 2 Height per Section 5.21 (C)(c)
max height 20' w/ 27' proposed.

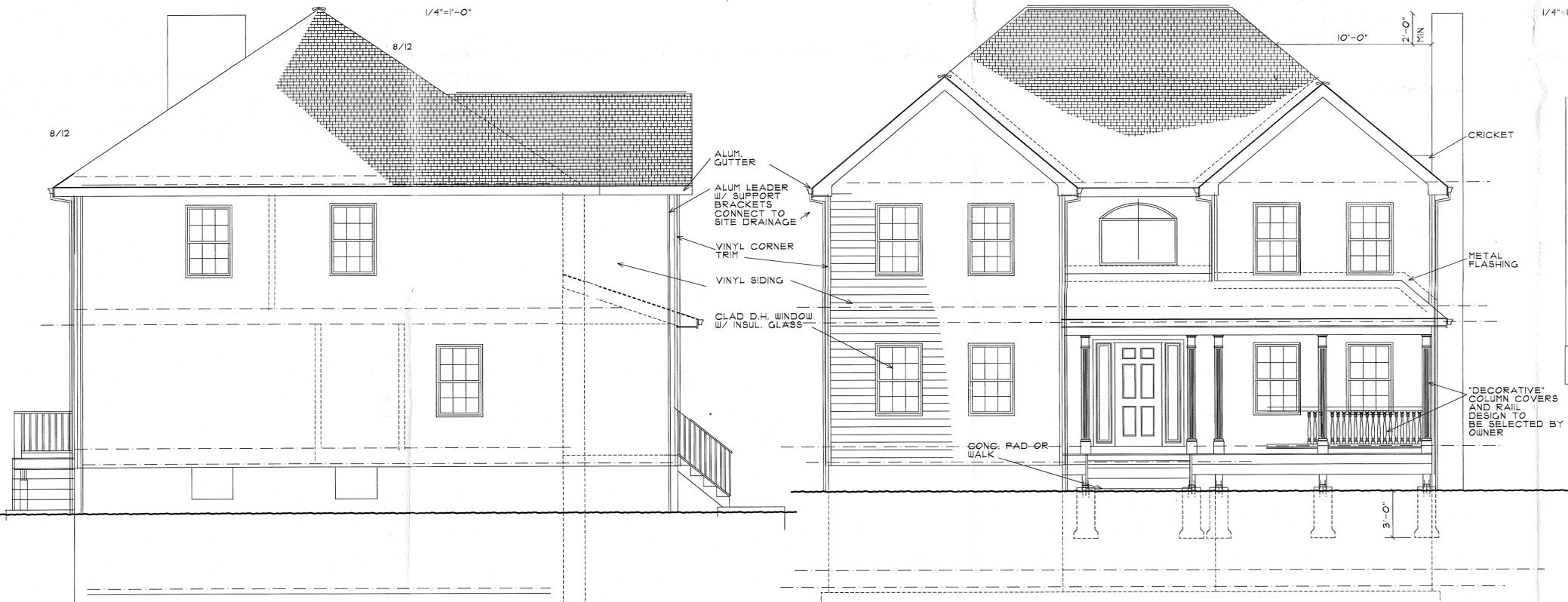
Existing Non-Conforming Lot Area, Lot Width, Street Frontage. Page 1
1/17/2020

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#



NORTH (RIGHT) ELEVATION
1/4"=1'-0"

WEST (REAR) ELEVATION
1/4"=1'-0"



SOUTH (LEFT) ELEVATION
1/4"=1'-0"

EAST (FRONT) ELEVATION
1/4"=1'-0"

TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE/FENESTRATION ZONE	U-FACTOR ^a	SOLAR HTG. GAIN COEFFICIENT ^b	GLAZED FENESTRATION SHGC ^c	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB ^d R-VALUE	CEILING SPACE WALL R-VALUE
1 (Marine)	0.15	0.00	0.40	5	20 or 13 + 5 ^e	13/17	50 ^f	10/13	10, 2, 8	10/13
2 (Marine)	0.15	0.00	0.40	5	20 or 13 + 5 ^e	13/17	50 ^f	10/13	10, 2, 8	10/13
3 (Marine)	0.15	0.00	0.40	5	20 or 13 + 5 ^e	13/17	50 ^f	10/13	10, 2, 8	10/13
4 (Marine)	0.15	0.00	0.40	5	20 or 13 + 5 ^e	13/17	50 ^f	10/13	10, 2, 8	10/13

FIG. 501.1.1 (R302.1.1) PROTECTION OF EXPOSED FOUNDATION INSULATION (WHEN INSTALLED)
 Insulation applied to the exterior of basement walls, crawlspace walls and the perimeter of slab-on-grade floors shall have a rigid, opaque and weather-resistant protective covering to prevent the degradation of the insulation's thermal performance. The protective covering shall cover the exposed exterior insulation and extend not less than 6 inches (152 mm) below grade.

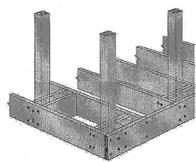
PLANS TO COMPLY WITH THE 2015 IRC 2ND EDITION WITH NEW YORK STATE SUPPLEMENTS (2016 UBC)

SCALE IN FEET 1/4"=1'-0"

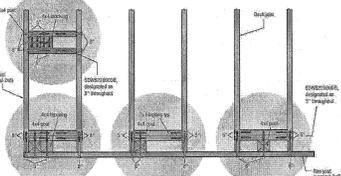
CLIENT: PROPOSED NEW RESIDENCE FOR THE MORONEY'S 21 DUHAIME ROAD PEARL RIVER NY.		DRAWING NO.	
DRAWING TITLE: ELEVATIONS, ENERGY CODE DATA		OF 3 SHEETS	
ARCHITECT: PAUL DOUGLAS SIEBENALER ARCHITECT NY LICENSE NO.015517 P.O. BOX 9243 BARDONA, NEW YORK 10954 (845)623-0346		DATE AS NOTED	
DESIGNED BY: PDS	CHECKED BY:	SCALE AS NOTED	DATE AS NOTED
REVISIONS:		PROJECT NO. 1910-05	

UNAUTHORIZED REPRODUCTION, ALTERATION, OR REMOVAL OF ANY PORTION OF THIS DRAWING WILL CONSTITUTE A THEFT OF SERVICES

DECK RAILING POST CONNECTION
NO SCALE

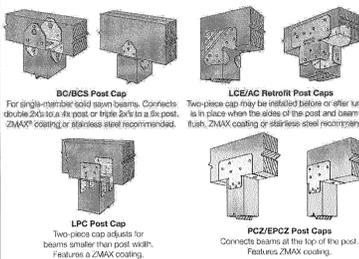


Internal Guard Post Installations Using Strong-Drive SDWS Timber Screws



Plan View Showing Details of Four Connections Using Strong-Drive SDWS Timber Screws (Other connection practices not shown for clarity)

Simpson Strong-Tie® Solutions



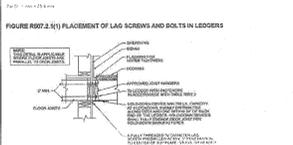
POST CAPS
NO SCALE

TABLE R403.4.1 PLACEMENT OF LAG BOLTS AND BOLTS IN DECK LEDGERS AND BIRD JOISTS

Member	Species	Fastener	Spacing	Notes
Ledger	SPC	Lag Bolt	16" O.C.	See Note R403.4.1.1
			24" O.C.	
Bird Joist	SPC	Lag Bolt	16" O.C.	See Note R403.4.1.1
			24" O.C.	

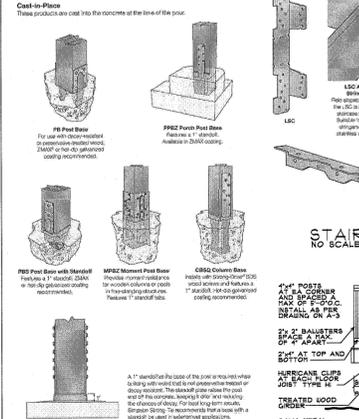
Lateral-Load Connection

For decks that are partially supported by an adjacent structure such as a house, the connection between the deck and the structure shall be a continuous member. A continuous member is a member that is attached to the structure and extends the full length of the deck. The continuous member shall be attached to the structure and the deck in a manner that provides lateral resistance. The continuous member shall be attached to the structure and the deck in a manner that provides lateral resistance. The continuous member shall be attached to the structure and the deck in a manner that provides lateral resistance.

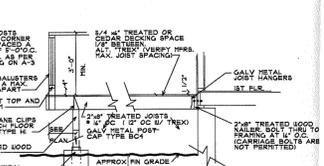


LEDGER/NAILER CONNECTION
NO SCALE

Simpson Strong-Tie® Solutions



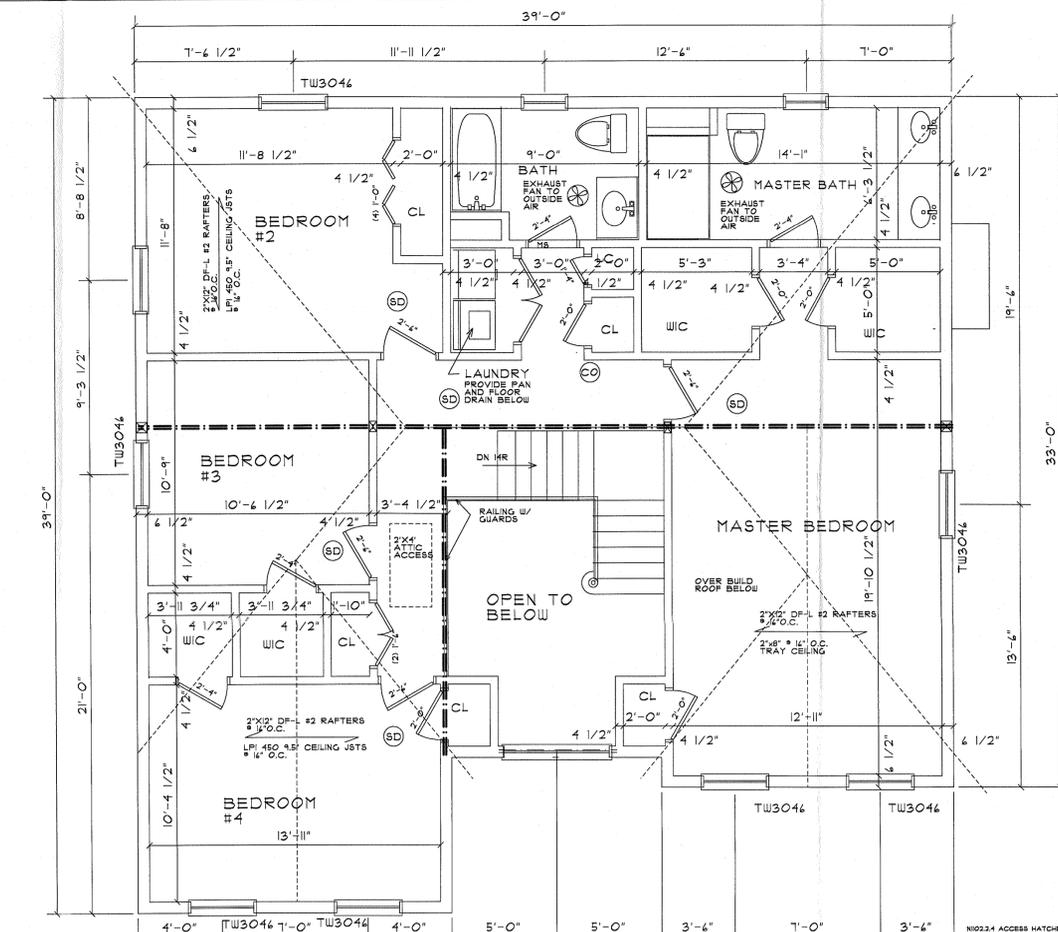
STAIR CONNECTIONS
NO SCALE



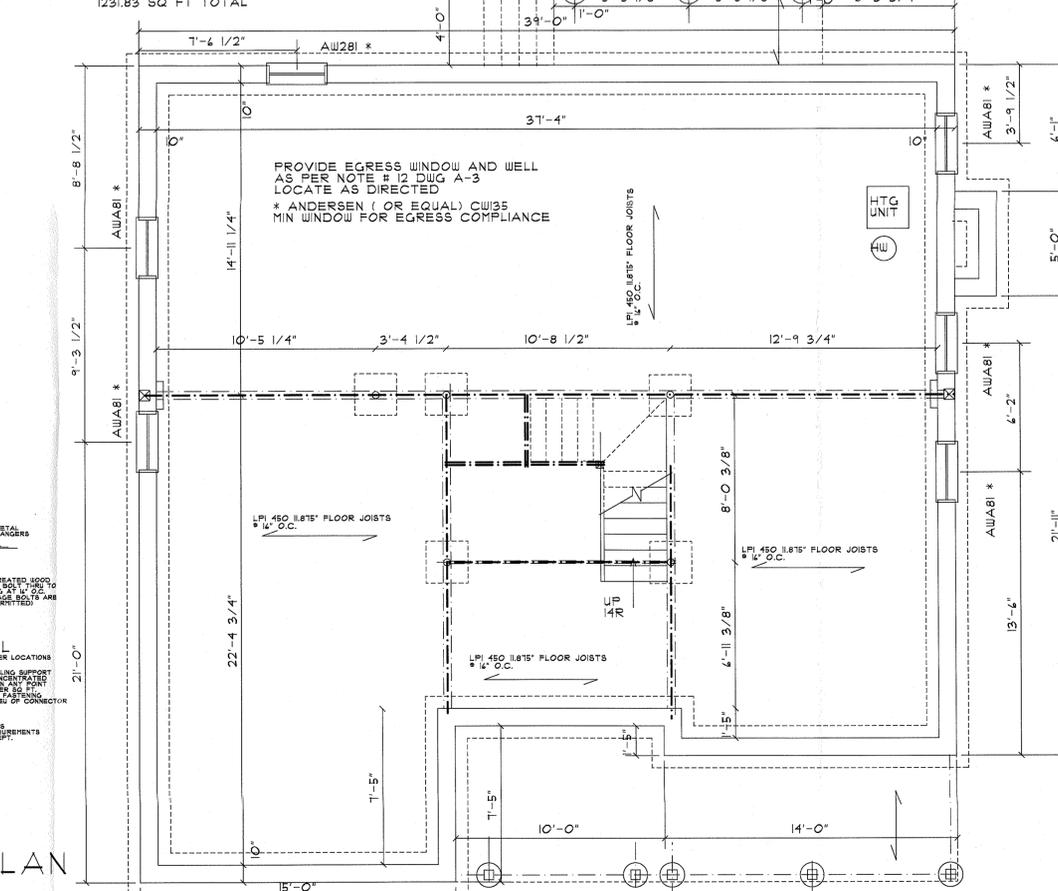
DECK DETAIL
NO SCALE



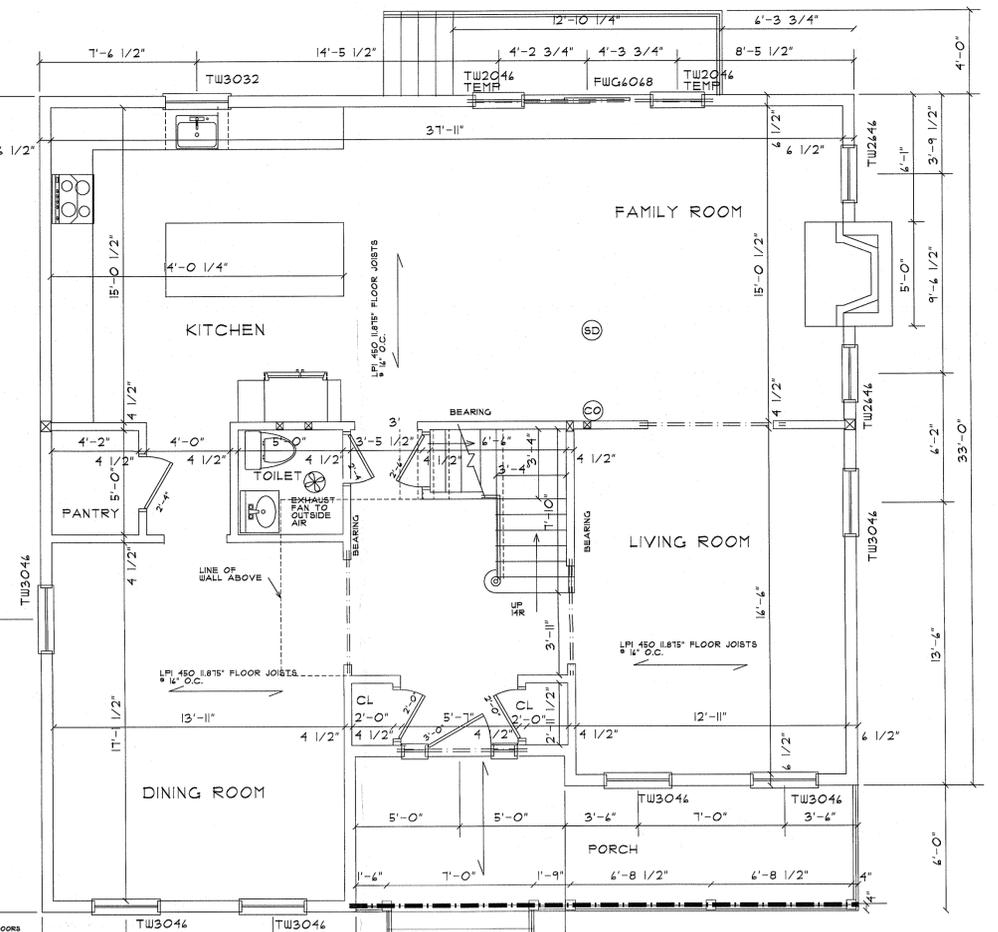
POST BASE
NO SCALE



SECOND FLOOR PLAN
1/4"=1'-0" 1343.83 SQ FT - 132 SQ FT OPEN TO BELOW
1231.83 SQ FT TOTAL



BASEMENT PLAN
1/4"=1'-0"



FIRST FLOOR PLAN
1/4"=1'-0" 1343.83 SQ FT / PORCH W/ ROOF 158.161 SQ FT

MECHANICAL CONTRACTOR TO PROVIDE THE FOLLOWING SUBMITTALS:
MECHANICAL SYSTEM DESIGN CRITERIA, MECHANICAL AND SERVICE WATER HEATING SYSTEM AND EQUIPMENT TYPES, SIZES AND EFFICIENCIES.
EQUIPMENT AND SYSTEM CONTROLS.
DUCT SEALING, DUCT AND PIPE INSULATION AND LOCATION.
AIR SEALING DETAILS.
R312 WINDOW FALL PROTECTION.
R312 WINDOW PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1 AND R312.2.
R312.1 WINDOW BILLS.
R312.2 WINDOW SILLS.
R312.3 WINDOW HEADS.
R312.4 WINDOW OPERABLE UNITS.
R312.5 WINDOW OPERABLE UNITS.
R312.6 WINDOW OPERABLE UNITS.
R312.7 WINDOW OPERABLE UNITS.
R312.8 WINDOW OPERABLE UNITS.
R312.9 WINDOW OPERABLE UNITS.
R312.10 WINDOW OPERABLE UNITS.
R312.11 WINDOW OPERABLE UNITS.
R312.12 WINDOW OPERABLE UNITS.
R312.13 WINDOW OPERABLE UNITS.
R312.14 WINDOW OPERABLE UNITS.
R312.15 WINDOW OPERABLE UNITS.
R312.16 WINDOW OPERABLE UNITS.
R312.17 WINDOW OPERABLE UNITS.
R312.18 WINDOW OPERABLE UNITS.
R312.19 WINDOW OPERABLE UNITS.
R312.20 WINDOW OPERABLE UNITS.

CLIENT:
PROPOSED NEW RESIDENCE
FOR THE MORONYS
21 DUHAIME ROAD
PEARL RIVER NY.

DRAWING TITLE:
FLOOR PLANS, NOTES AND DECK DETAILS

DRAWING NO.:
A2

PAUL DOUGLAS SIEBENALER ARCHITECT
P.O. BOX 9243
BARDONA, NEW YORK 10954
18451623-0346

NY LICENSE NO.015517

OF 3 SHEETS

DRAWN BY: PDS
CHECKED BY: PDS
SCALE: AS NOTED
DATE: 11-05-2010
PROJECT NO.: 110-05

PLANS TO COMPLY WITH THE 2015 IRC 2ND EDITION WITH NEW YORK STATE SUPPLEMENTS (2016 UBC)

STRUCTURAL SAFETY

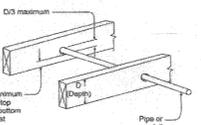


FIG. 30. 1 inch = 25.4 mm

BORED HOLES IN JOISTS



NOTCHES AT ENDS OF JOISTS



SHORING AND BRACING



STUD WALLS



FOUNDATION WALLS AS FOLLOWS:

8" POURED WALLS 1/2" DIA. OC HORIZ.
 12" POURED WALLS 1/2" DIA. OC HORIZ.
 10" POURED WALLS 1/2" DIA. OC HORIZ.
 8" POURED WALLS 1/2" DIA. OC HORIZ.
 6" POURED WALLS 1/2" DIA. OC HORIZ.
 4" POURED WALLS 1/2" DIA. OC HORIZ.
 2" POURED WALLS 1/2" DIA. OC HORIZ.
 1" POURED WALLS 1/2" DIA. OC HORIZ.

FOOTING SCHEDULE

FT1 FOOTING SIZE: 2.0 FT X 2.0 FT X 12.00 IN REINFORCEMENT: 3 #4 BARS EL.
 FT2 FOOTING SIZE: 2.4 FT X 2.4 FT X 12.00 IN REINFORCEMENT: #4 BARS # 4.12 IN. O.C. E/W / (7) MIN.
 FT4

ALLOWABLE SOIL BEARING PRESSURE: QS = 3000 PSF
 CONCRETE COMPRESSIVE STRENGTH: F'c = 3000 PSI
 REINFORCING STEEL YIELD STRENGTH: F'y = 40000 PSI
 CONCRETE REINFORCEMENT COVER: C = 3 IN
 EFFECTIVE DEPTH TO TOP LAYER OF STEEL: D = 8.25 IN
 COLUMN TYPE: STEEL
 COLUMN WIDTH: M = 4 IN
 COLUMN DEPTH: N = 4 IN
 BASEPLATE WIDTH: BSL = 4 IN
 BASEPLATE LENGTH: BSL = 4 IN

FASTENER SCHEDULE NO SCALE NO SCALE

NO.	DESCRIPTION	QUANTITY	UNIT
1	2x4 TREATED WOOD SILL W/ SILL SEALER AND TERMITE SHIELD	1	EA
2	1/2" DIA. x 1'-4" LONG ANCHOR BOLTS SET 1'-0" OC AND A MAX. OF 12" FROM CORNERS AND PLATE ENDS	2	EA
3	1/2" CEM. FARGE. W/ C.M.U.	1	EA
4	2 COATS OF RUB-B-R-WALL DAMPROOFING (BELOW GRADE)	1	EA
5	2"x4" SHEAR KEY	1	EA
6	4" DIA. POROUS PIPE IN GRAVEL BED W/ FILTER FABRIC OVER PITCH TO SITE DRAINAGE INSTALL WHERE SLAB IS BELOW GRADE	1	EA
7	20"x10" DEEP CONT. CONC. FOOTING W/ (2) #4 CONT. WITH 8" OR 10" MIN. WALL SET 3'-0" MIN. BELOW FIN GRADE	1	EA

WALL FASTENER SCHEDULE NO SCALE NO SCALE

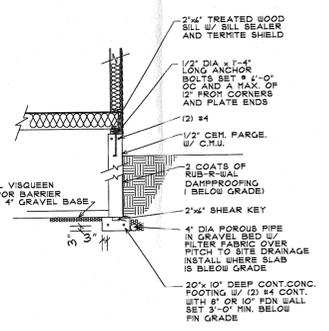
NO.	DESCRIPTION	QUANTITY	UNIT
1	2x4 TREATED WOOD SILL W/ SILL SEALER AND TERMITE SHIELD	1	EA
2	1/2" DIA. x 1'-4" LONG ANCHOR BOLTS SET 1'-0" OC AND A MAX. OF 12" FROM CORNERS AND PLATE ENDS	2	EA
3	1/2" CEM. FARGE. W/ C.M.U.	1	EA
4	2 COATS OF RUB-B-R-WALL DAMPROOFING (BELOW GRADE)	1	EA
5	2"x4" SHEAR KEY	1	EA
6	4" DIA. POROUS PIPE IN GRAVEL BED W/ FILTER FABRIC OVER PITCH TO SITE DRAINAGE INSTALL WHERE SLAB IS BELOW GRADE	1	EA
7	20"x10" DEEP CONT. CONC. FOOTING W/ (2) #4 CONT. WITH 8" OR 10" MIN. WALL SET 3'-0" MIN. BELOW FIN GRADE	1	EA

WALL FASTENER ATTACHMENT TO SILL W/ SILL SEALER

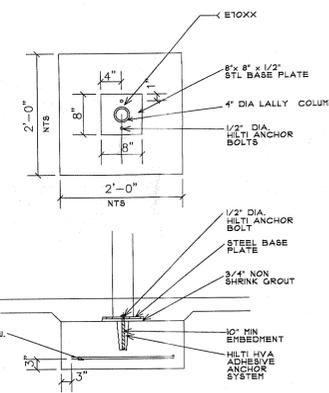
NO.	DESCRIPTION	QUANTITY	UNIT
1	2x4 TREATED WOOD SILL W/ SILL SEALER AND TERMITE SHIELD	1	EA
2	1/2" DIA. x 1'-4" LONG ANCHOR BOLTS SET 1'-0" OC AND A MAX. OF 12" FROM CORNERS AND PLATE ENDS	2	EA
3	1/2" CEM. FARGE. W/ C.M.U.	1	EA
4	2 COATS OF RUB-B-R-WALL DAMPROOFING (BELOW GRADE)	1	EA
5	2"x4" SHEAR KEY	1	EA
6	4" DIA. POROUS PIPE IN GRAVEL BED W/ FILTER FABRIC OVER PITCH TO SITE DRAINAGE INSTALL WHERE SLAB IS BELOW GRADE	1	EA
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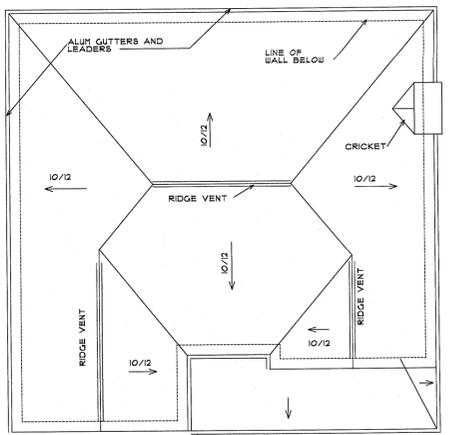


FOUNDATION DETAIL 1/4"=1'-0"
 SEE SECTION AND DIG A-2 FOR REINFORCING AND FOOTING SIZE

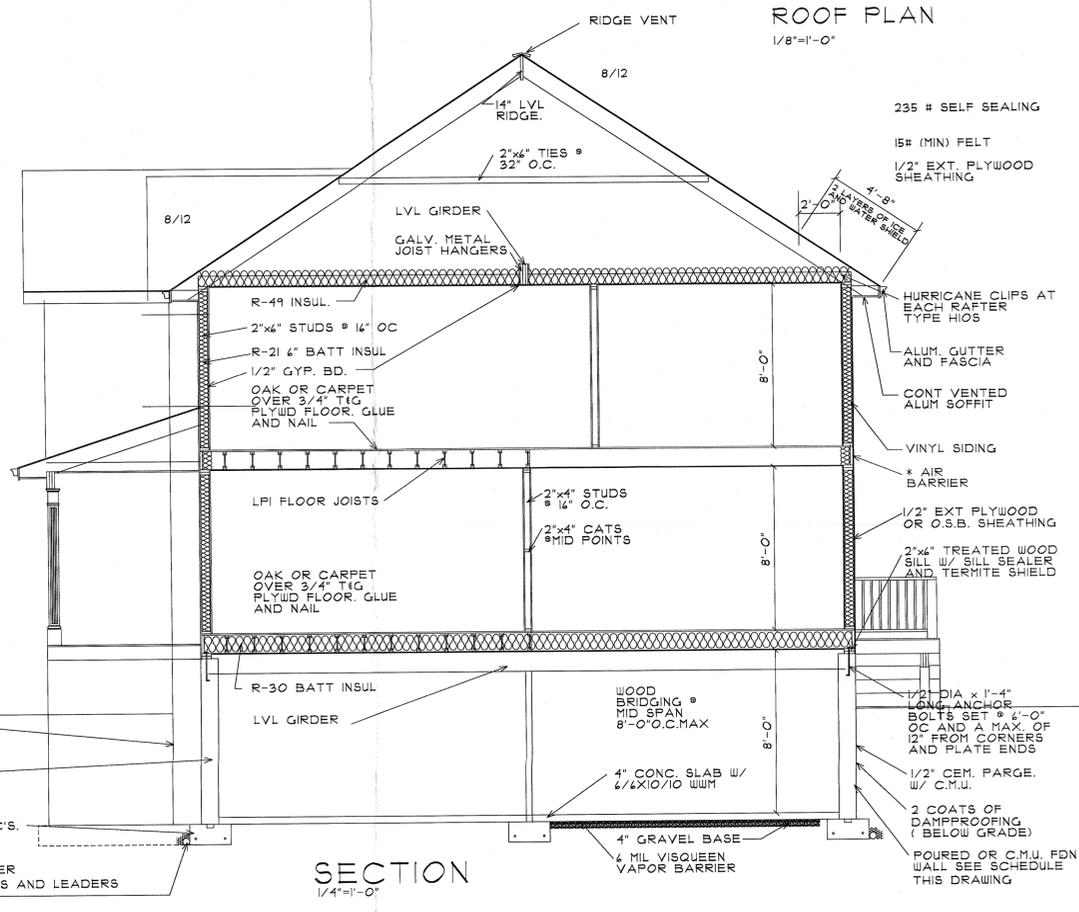


SPREAD FOOTING DETAIL 1/2"=1'-0"

2 COATS OF DAMPROOFING (BELOW GRADE)
 POURED OR C.M.U. FDN WALL SEE SCHEDULE THIS DRAWING
 CONT. CONC. FTG SEE SCHEDULE THIS DRAWING FOR SPEC'S.
 4" DIA. POROUS PIPE WITH FILTER FABRIC OVER CONNECT FOOTING DRAINS AND LEADERS TO SITE DRAINAGE.



ROOF PLAN 1/8"=1'-0"



SECTION 1/4"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL ACQUAINT HIM / HERSELF WITH AND VERIFY ALL CONDITIONS AND MEASUREMENTS AND BE RESPONSIBLE FOR THE SAME BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES IN THE PLANS, DETAILS OR SPECIFICATIONS ARE TO BE CALLED TO THE ARCHITECT'S ATTENTION IN WRITING BEFORE PROCEEDING WITH WORK.
- BACKFILL PLACEMENT AS PER SECTION R301.1 BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE ALL WORK IS TO CONFORM TO THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- ALL WORK IS TO CONFORM TO THE 2015 I.R.C. WITH NEW YORK SUPPLEMENTS.
- SHOCK ALARMS, CARBON MONOXIDE AND AUTOMATIC SPRINKLER SYSTEMS (WHERE APPLICABLE) ARE TO BE INSTALLED AS PER SECTION R313.R314 AND R315.
- ALL LUMBER TO BE No 1 DOUGLAS FIR LARCH (DF) F5 1000% Fv 75 psf . WHERE USED MINIMUM SPAN STANDARDS APPLY AS PER SECTIONS R302 AND R302 OF TITLE 19 FOR WOOD FLOOR, CEILING AND ROOF CONSTRUCTION.
- DOUBLE JOISTS BELOW PARTITIONS PARALLEL TO JOISTS.
- DOUBLE ALL TRIMMERS AND HEADERS UNLESS OTHERWISE NOTED.
- LVL'S, LP-LVL'S ETC. ARE TO BE INSTALLED AS PER HFR'S SPEC'S. DRILLING HOLES ARE PERMITTED ONLY IF APPROVED BY A STRUCTURAL ENGINEER AND HFR.
- ALL GIRDERS AND HEADERS TO BEAR ON POSTS OR SOLID STUDS EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING.
- ALL LUMBER EXPOSED TO DAMP OR WET CONDITIONS IS TO TREATED LUMBER RATED FOR GROUND CONTACT.
- EMERGENCY ESCAPE AND RESCUE OPENINGS (BASEMENTS WITH HABITABLE SPACE AND SLEEPING AREAS) SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING AS FOLLOWS:
 A) WINDOW OPENINGS TO BE A MAXIMUM OF 44" (MIN 8") ABOVE FINISHED FLOOR.
 B) A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT (GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT.)
 C) MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" D) MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" E) BASEMENTS AS PER SECTION R310
- ALL WINDOWS TO HAVE INSULATED GLASS.
- NATURAL LIGHT (8% OF FLOOR AREA) AND NATURAL VENTILATION (4% OF FLOOR AREA) TO BE PROVIDED IN ALL LIVABLE SPACES EXCEPT BATH ROOMS, BASEMENT, OR GARAGE.
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- STAIRS TO HAVE A MINIMUM WIDTH OF 3'-0". MAXIMUM RISE HEIGHT OF 8-1/4" AND A MINIMUM TREAD DEPTH OF 1'-1/4" ON STAIRS WITH SOLID RISERS. STAIRS WITH OPEN RISERS ARE TO HAVE A GUARD PREVENTING THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIA. RAILINGS TO BE INSTALLED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. RAILINGS SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38" MEASURED AT STAIR NOBING. GUARDS AND WINDOW FALL PROTECTION AS PER SECTION R312
- HANDRAIL GRIP SIZE AS PER SECTION R31.1.2
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED 30" OR MORE ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT. OPEN SIDES OF A STAIR WITH A TOTAL RISE OF 30" OR MORE ABOVE THE GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOBING OF THE TREADS.
 A) GUARDS TO HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER.
- EXTERIOR DECKS TO BE INSTALLED AS PER SECTION 301
- ALL DOOR STYLES TO BE SELECTED BY CLIENT UNLESS NOTED OTHERWISE ON THE PLAN
- ALL DOORS OPENING IN TO AN UNHEATED SPACE ARE TO INSULATED OR ARE TO HAVE STORM DOORS. CONTRACTOR IS TO SUPPLY SPECIFICATIONS FOR COMPLIANCE WITH CHAPTER II OF THE 2015 IRC WITH NEW YORK SUPPLEMENTS
- GARAGE (ATTACHED TO RESIDENCE)
 A) DOORS OPENING IN TO GARAGE ARE TO BE A 45 MIN. RATED DOOR ASSEMBLY WITH A SELF CLOSING DEVICE. AS PER SECTION 302.2
 B) HORIZONTAL AND VERTICAL SURFACES SHALL BE 3/4" HR RATED ASSEMBLY. WALLS AND CEILING TO RECEIVE 5/8" TYPE 'X' GYPSUM BOARD. WALLS COITON WITH THE GARAGE ARE TO RECEIVE 1/2" TYPE 'X' GYPSUM BOARD ON THE INTERIOR SURFACES AS PER SECTION 302.1
 C) CARPORTS AS PER SECTION R302.
- ALL BATT INSULATION IS TO BE INSTALLED WITH THE VAPOR BARRIER TOWARDS THE HEATED SPACE. PROVIDE A MIN. OF 2" CLEARANCE ABOVE THE INSULATION IN CATHEDRAL CEILINGS (WHEN PROVIDED) FOR VENTILATION.
- WALLS AND CEILINGS TO BE TAPED, SPLICED, AND RECEIVE ONE COAT OF PRIMER AND TWO COATS OF PAINT. OR AS PER CONTRACT BETWEEN OWNER AND CONTRACTOR.
- INTERIOR WOOD TRIMS, SURFACES TO BE CLEANED BEFORE APPLICATION OF PAINT OR STAIN. APPLY FINISHES AS DIRECTED BY MANUFACTURER. LIGHTLY SAND BETWEEN COATS.
- PROVIDE CLOTHES RODS AND SHELF IN ALL CLOSETS. PROVIDE 5 ADJUSTABLE SHELVES IN LINEN CLOSET. OR AS PER CONTRACT BETWEEN OWNER AND CONTRACTOR.
- DECORATIVE EXTERIOR TRIMS (PYPON, FOCAL POINT OR EQUAL) WHEN INSTALLED ARE TO BE INSTALLED AND PAINTED AS PER HFR'S SPECIFICATIONS. VERIFY STYLES AND AVAILABILITY PRIOR TO ORDERING
- CONTRACTOR TO VERIFY COMPARABILITY BETWEEN DISSIMILAR MATERIALS. GUES, FLASHING AND COATINGS PRIOR TO INSTALLATION.
- PREPLACES (WHEN INSTALLED) ARE TO HAVE TEMPERED GLASS DOORS. COMBUSTION AIR VENT (TO OUTSIDE AIR) AS PER SECTION R101 THRU R 102. INSTALL HEARTH AND FIRE STOPPING AS REQUIRED BY CODE.
- NEW WATER HEATER AND BOILER TO COMPLY WITH SECTION N2001 THRU SECTION N2801 AND SECTION N301 THRU N303.
- H.V.A.C. SUB-CONTRACTOR SHALL VERIFY LOAD REQUIREMENTS FOR HEATING, VENTILATING, AND AIR-CONDITIONING AND COMPLY WITH CHAPTER 14 THRU 1801 AND CHAPTER II
- ELECTRIC FIXTURES, OUTLETS AND SWITCHES ARE TO BE SELECTED BY THE CLIENT AND INSTALLED AS PER CHAPTERS 34 ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF NFPA TO LATEST EDITION) AND ALL OTHER STATE AND LOCAL CODES. ELECTRICAL CONTRACTOR SHALL FURNISH ALL TEMPORARY POWER AND LIGHTING SYSTEMS AS NECESSARY TO COMPLY WITH OSHA REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE ALLOWANCES FOR FLOORING, KITCHEN CABINETS AND APPLIANCES, BATHROOMS (TILE AND FIXTURES), LIGHTING FIXTURES ETC. IF NOT SELECTED PRIOR TO CONTRACT BETWEEN OWNER AND CONTRACTOR.

DESIGN DATA

WOOD: DOUGLAS FIR No 1 OR BETTER
 GFLAM, MICROGLAM'S ETC. SEE MANUFACTURERS SPECIFICATIONS
 DESIGN LOADS: DECK 40 psf LIVE
 FIRST AND SECOND FLOOR 40psf LIVE 15 psf DEAD
 SECOND FLOOR IF USED FOR SLEEPING ONLY 30 psf LIVE 15 psf DEAD
 ROOF (GROUND SNOW LOAD) 45 psf 20 psf DEAD
 ATTIC (WITH STORAGE) 20 psf LIVE 15 psf DEAD
 (WITHOUT STORAGE) 10 psf LIVE 10 psf DEAD
 STRUCTURAL STEEL: TUBE COLUMNS, SHAPES AND PLATES ASTM-A500, GRADE B
 ANCHOR BOLTS: ASTM-A36
 HIGH STRENGTH BOLTS: ASTM-A325
 WELDING ELECTRODES- SERIES E70
 CONCRETE * DAYS 1"= 3000psf * 28 DAYS
 REINFORCING BARS: ASTM-A615, GRADE 40

GENERAL STRUCTURAL NOTES

- SEE PLANS FOR REMAINDER OF NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IRC WITH NEW YORK SUPPLEMENTS
 - CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED CONDITIONS BEFORE PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY COORDINATION BETWEEN ALL TRADES. LOCATE BOLTS, SLEEVES AND TRENCHES AS REQUIRED FOR MECHANICAL TRADES, AND PROVIDE AND/OR INSTALL VARIOUS ITEMS NOT SHOWN ON THESE DRAWINGS BUT AS REQUIRED BY THE VARIOUS TRADES.
 - CONCRETE: ALL FOOTINGS ARE DESIGNED FOR MAXIMUM ALLOWABLE BEARING LOAD OF 3 K.S.F.
 ALL FOOTINGS ARE TO BE ON UNDISTURBED VIRGIN SOIL AND THE EXCAVATION SHALL BE FREE OF WATER BEFORE POURING CONCRETE.
 ALL CONCRETE WORK (BOTH MATERIALS AND CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACI STANDARD 318, LATEST EDITION.
 CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 3000 psf AT 28 DAYS (U.O.N.)
 REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE WITH ASTM A415, GRADE 40. ALL DETAILING OF REINFORCING SHALL BE ACCORDANCE WITH ACI STANDARD 318.
 ALL EXPOSED EDGES OF CONCRETE ABOVE FINISHED FLOOR SHALL HAVE A 3/4" X 3/4" CHAMFER.
 CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE.
 CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 SLABS: 3/4"
 BEAMS AND COLUMNS: 1 1/2"
 PIERS, PLASTERS AND PEDESTALS: 1 1/2"
 INSIDE FACE OF WALLS: 1"
 CONCRETE POURED ON GROUND: 5"
 EXTERIOR FACE OF WALLS (AGAINST EARTH): 2"
 - ENGINEERED LUMBER (LVL, PSL, TJI, LP-LVL) SEE PLAN FOR STRUCTURAL NOTES:
 PROVIDE BEAM POCKETS WHERE BEARING ON CONCRETE OR MASONRY WALLS PROTECT WOOD FROM CONTACT.
 PROVIDE A 8" X 8" X 1/2" BEARING PLATE WHERE BEARING ON CONCRETE OR MASONRY WALLS) UNLESS NOTED OTHERWISE. DO NOT BEAR DIRECTLY ON CONCRETE OR MASONRY.
 REINFORCE CONCRETE/MASONRY WALLS BELOW BEARING WITH A MIN OF (4) #5 REBARS VERTICAL AND 3 TIES @ 8" O.C. UNLESS NOTED OTHERWISE.
 PROTECT AND STORE MATERIAL AWAY FROM DAMP OR WET CONDITIONS. UNITS ARE NOT TO BE PLACED IN DIRECT CONTACT WITH CONCRETE OR MASONRY UNLESS APPROVED BY THE MANUFACTURER.
 BOLT MULTIPLE PSL, LVL UNITS AS PER MANUFACTURERS SPECIFICATIONS.
 INSTALL AS PER MANUFACTURERS SPECIFICATIONS.
 DO NOT NOTCH OR DRILL HOLES THROUGH ENGINEERED MATERIAL UNLESS APPROVED BY THE MANUFACTURER.
 DO NOT NOTCH, DRILL OR CUT TOP/BOTTOM FLANGES OF TJI/GPI (OR EQUAL) MATERIAL. HOLES MAY BE DRILLED THROUGH WEB IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 INSTALL SQUASH BLOCKS, STIFFENERS, AND BRIDGING WHEN TJI/GPI MATERIAL IS INSTALLED AND WHERE REQUIRED BY MANUFACTURER.
 SOME SHRINKAGE WILL OCCUR BETWEEN DIMENSIONAL LUMBER AND LVL/ PSL MATERIAL. CONTRACTOR TO ALLOW FOR SHRINKAGE WHEN INSTALLING FLUSH GRIDDERS, HEADERS, AND BEAMS TO LIMIT THE UNEVENNESS OF FLOOR SURFACE DIRECTLY ABOVE THE LVL, PSL MATERIAL.

SCALE IN FEET 1/8"=1'-0"

ALL HANGERS, ANCHORS AND CONNECTORS TO BE SIMPSON STRONG TIE OR EQ. ANCHORS AND CONNECTORS TO BE RATED FOR INDICATED APPLICATION
 AIR BARRIER TAPE ALL JOINTS AND PENETRATIONS APPROVED BY THE MANUFACTURER. STAPLES OR OPTION AIR BARRIER MAY BE DELETED.
 ZIP SYSTEM SHEATHING AND TAPE ARE INSTALLED ATTACHMENTS TO BE AS SPECIFIED BY MFR. AND MUST BE STAINLESS STEEL OR GALVANIZED MATERIAL.

CLIENT: PROPOSED NEW RESIDENCE FOR THE MCORNEY'S 21 DUHAME ROAD PEARL RIVER NY.

DRAWING TITLE: SECTION, NOTES AND DETAILS

PAUL DOUGLAS SIEBENALER ARCHITECT NY LICENSE NO.015517 P.O. BOX 8248 BARDONA, NEW YORK 10854 (845)623-0346

PROJECT NO. 1910-05

OF 3 SHEETS

DATE AS NOTED 1910-05

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