

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
ASSIGNED
INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: BCH Realty, LLC - Del Arte

Street Address: 20 E. Mountain Ave.
Orangeburg, NY 10962

Tax Map Designation:
Section: 74.07 Block: 1 Lot(s): 27
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the west side of South Mountain Ave., approximately
300 feet west of the intersection of Route 303, in the
Town of ORANGETOWN in the hamlet/village of Orangeburg.

Acreage of Parcel <u>5.815</u>	Zoning District <u>LI & CC</u>
School District <u>South Orangetown</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Orangeburg</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Revision to create additional parking spaces for the extension of the restaurant

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 7/21/20 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Yes, Corp of Engineers

Project History:

Has this project ever been reviewed before? _____ No _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

January 25, 2021

PROJECT NARRATIVE:

The owner of the property operates a successful restaurant at the site, Del' Arte, and is planning to expand his operation in an adjacent space.

This change requires additional parking spaces. The owner now proposes to build the required spaces.

DB/rb



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962**

**Jane Slavin, RA
Director**

(845) 359-8410

Fax: (845) 359-8526

Date: May 18, 2020

**To: Cheryl Coopersmith, Chief Clerk
Planning Board**

**From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.**

**Subject: BCH Realty, LLC Site Plan
Prepreliminary/Preliminary Site Plan
and SEQRA Review
20 Mountainview Avenue, Orangeburg
74.07/1/27; LI & CC zoning districts**



PB #20-16

Submission Reviewed:

Proposed site plan for BCH Realty, LLC, as prepared by Sparaco & Youngblood, PLLC
Dated January 28, 2020.

The applicant is proposing to take over the adjacent tenant space to expand an existing restaurant and expand the existing parking lot. The use is an existing non-conforming use in the LI district.

- 1) The applicant must make application to the Zoning Board of Appeals per Chapter 43, Article IX, section 9.34 Extension or enlargement. *A nonconforming use shall not be extended except as follows: To the extent the district bulk regulations permit, and on application of the Board of Appeals, any use, except a sign, first permitted by right or by special permit, in any district, may be extended up to but not exceeding an aggregate increase of 50% in its floor area or of its land area occupancy if a nonbuilding use. However, this provision may be used only once for each such use.*
- 2) Applicant proposes parking in the front yard; 50' required with 11.4' proposed, side yard; 50' required and +/-4.6' proposed, and rear yard; 50' required and 18.7' proposed. Per Chapter 43, Table 3.11, LI District, Column 7, number 8, *No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be granted at the time of site review or as the time of the approval of a commercial subdivision.*

- 3) Per Chapter 43, Article IV, section 6.34, *Size of spaces, a parking space shall be considered a space nine feet wide and 18 long.* The 10 proposed spaces in the rear of the property are indicated at 8' in width. This must be revised to 9'.
- 4) All existing overhead door locations shall be shown. There are currently four (4) loading berth areas, is the intent to eliminate them?
- 5) The basement area must be provided and included in the calculations.
- 6) Plans indicate, "retaining wall as designed by others." Engineering drawings, details and specifications must be provided for the proposed retaining wall, which ranges in height from 2.5 feet to 7.5 feet.
- 7) ACABOR review and approval is required.
- 8) The SEAF appears to be in order.

**PB #20-16: BCH Realty, LLC Site Plan
Preliminary Site Plan Approval
Subject to Conditions/ Neg. Dec.**

Permit #45277

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**TO: Donald Brenner, 4 Independence Avenue, Tappan, New York
FROM: Orangetown Planning Board**

RE: BCH Realty Site Plan: The application of Concaro, LLC, applicant, for BCH Realty, LLC, owner, for Prepreliminary/ Preliminary Site Plan Review at a site to be known as "BCH Realty Site Plan", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27, in the LI & CC zoning districts.

Heard by the Planning Board of the Town of Orangetown at a Virtual meeting held **Wednesday, May 27, 2020**, the Board made the following determinations:

Steven Sparaco, John Carollo and Donald Brenner appeared and testified. The Board received the following communications:

1. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., Director, dated May 18, 2020.
2. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated March 23, 2020.
3. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated May 27, 2020.
4. Letters from the Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated March 10, 2020 and Michael Kezner, dated February 26, 2020.
5. Letters from the Rockland County Department of Health, signed by Elizabeth Mello, P.E., Senior Public Health Engineer, dated March 16, 2020.
6. A letter from the Rockland County Highway Department, signed by Dyan Rajasingham, dated February 20, 2020.
7. A letter from the Rockland County Sewer District No. 1, signed by Joseph LaFindra, Engineer I, dated March 19, 2020.
8. An interdepartmental memorandum from the Bureau of Fire Prevention, Town of Orangetown, signed by Michael Bettmann, Chief Fire Inspector, dated March 10, 2020.
9. A letter from the Town of Orangetown Zoning Board of Appeals, signed by Trish Castelli, Acting Chairman, dated February 19, 2020.

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10. A letter from Suez, signed by Bill Prehoda, dated March 9, 2020.
11. A Short Environmental Assessment Form, signed by Carollo, dated February 13, 2020.
12. Site Plans prepared by Sparaco & Youngblood dated January 28, 2020, and revised as noted:
Drawing 1 of 5: Site Plan/ Planimetric Plan
Drawing 2 of 5: Grading & Utility and Erosion & Sediment Control Plan
Drawing 3 of 5: Landscape & Lighting Plan
Drawing 4 of 5: Existing Conditions, revised October 21, 2019
Drawing 5 of 5: Detail Sheet
13. Drainage Report prepared by Sparaco & Youngblood, dated January 28, 2020, signed by Steven Sparaco, P.E. .
14. Amended Building Permit Referral dated April 11, 2016, amended January 28, 2020.

The Board reviewed the plans. The hearing was then opened to the Public.

There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Stephen Sweeney and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

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After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely Sparaco & Youngblood and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Health, Rockland County Sewer District No.1, Rockland County Department of Highways, Rockland County Department of Planning, and having reviewed a proposed Site plan by prepared by Sparaco & Youngblood dated January 28, 2020, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

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On motion by Michael Mandel and seconded by Andrew Andrews and carried as follows Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Approval Subject to the Following Conditions:**

1. The following note shall be placed on the subdivision plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. The applicant is proposing to take over the adjacent tenant space to expand an existing restaurant and expand the existing parking lot. The use is an existing non-conforming use in the LI district.
 - 1) The applicant must make application to the Town of Orangetown Zoning Board of Appeals per Chapter 43, Article IX, section 9.34 Extension or enlargement. A nonconforming use shall not be extended except as follows: To the extent the district bulk regulations permit, and on application of the Board of Appeals, any use, except a sign, first permitted by right or by special permit, in any district, may be extended up to but not exceeding an aggregate increase of 50% in its floor area or of its land area occupancy if a non-building use. However, this provision may be used only once for each such use.
 - 2) Applicant proposes parking in the front yard; 50' required with 11.4' proposed, side yard; 50' required and +/-4.6' proposed, and rear yard; 50' required and 18.7' proposed. Per Chapter 43, Table 3.11, LI District, Column 7, number 8, No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be granted at the time of site review or as the time of the approval of a commercial subdivision.

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Continuation of Condition #3...

- 3) Per Chapter 43, Article IV, section 6.34, Size of spaces, a parking space shall be considered a space nine feet wide and 18 long. The 10 proposed spaces in the rear of the property are indicated at 8' in width. This must be revised to 9'.
 - 4) All existing overhead door locations shall be shown. There are currently four (4) loading berth areas, is the intent to eliminate them?
 - 5) The basement area must be provided and included in the calculations.
 - 6) Plans indicate, "retaining wall as designed by others." Engineering drawings, details and specifications must be provided for the proposed retaining wall, which ranges in height from 2.5 feet to 7.5 feet.
 - 7) The applicant shall appear at the Town of Orangetown Architecture and Community Appearance Board of Review for review.
 - 8) The Short Environmental Assessment Form appears to be in order.
4. The total area of disturbance (a.o.d.) shall be listed and shown graphically on the plans, as well as mentioned (in table form) in the introductory narrative of the drainage calculations. A full SWPPP MAY be required if a.o.d. is over 1 acre. The a.o.d. shall include all proposed work (e.g. new parking area, utility installation, retaining wall construction, modification to existing detention basin and outlet structure, installation of pretreatment facilities, installation of construction access path to detention basin, etc. all of this shall be listed in tabular form in the drainage calculations.)
5. The drainage calculations supplied are under review. Labeled separation tabs shall be added to the drainage calculations. The calculations supplied mention "pretreatment" oil/water separators, but their location and total number to be installed is not shown on the drawings. This shall be corrected. Details for said oil/water separators shall be added to the plans.
6. Additional drainage facilities (catch basins and possible increased drainage pipe size) shall be added to collect stormwater runoff from the new paved/ parking areas. The drainage calculations shall include an analysis of the existing stormwater infrastructure piping and its capacity to accept, or not accept, the proposed increase in flow from the new parking areas.

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7. A proposed drainage plan shall be added to the drawing set. It shall show all existing and proposed stormwater facilities (with top and invert elevations.) Also, pre and post construction cross sections through the existing stormwater basin, shall be added to the plans.
8. A stabilized, permanent construction/ maintenance access path to the existing detention basin shall be shown including a stabilized maintenance path (12 foot minimum width) around the basin to reach the outlet structure, emergency spillway (see comment #6 below) with erosion control around it. This disturbance shall be added to the overall a.o.d. and "counted" in the table requested in Condition #4 of this decision. This path shall also be included in the tabulation of total new impervious area.
9. The proposed grading around the existing detention basin is in error. Proposed grade 82 is "tied" to existing grade 84. This shall be corrected. Also, no revised grade 84 is shown. This too shall be corrected.
10. An emergency spillway shall be added to the detention basin which is to be expanded in capacity. A detail for same shall be added to the drawings.
11. The proposed improvements shall extend where the current fencing is around the detention basin. This shall not only be labeled as to be removed, but also relocated around the new extents of the basin. This shall be clearly shown on the drawings.
12. The detention basin plan and details are hard to identify. A "blow-up" of the ungraded/ modified stormwater basin shall be provided on the drawings. Cross-sections, storage volume vs. elevation vs design storm, outlet structure details (with elevations), underdrain details, profiles with elevations, outlet pipe details, 12 foot wide maintenance path (that reaches the forebay/ main pool/ outlet structure/ emergency spillway), permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc., shall also be provided in the blow-up section and on the drawings.
13. The design of the proposed retaining wall shall be included with the drawings.
14. Profiles for all existing and proposed drainage piping and the upgraded/ modified stormwater basin shall be provided on the drawings.
15. The New York State Department of Environmental Conservation's number for the Sparkill Creek, as well as its classification, shall be given on the plan.

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16. A post construction stormwater maintenance agreement, in accordance with NYSDEC Phase II regulations, for the proposed stormwater systems (catch basins, oil/ water separators, piping, detention basin, etc.), shall be submitted to DEME and the Orangetown Town Attorney's Office for review and approval. Said agreement shall include a maintenance and management schedule, inspection checklist, contact person with a telephone number, yearly report to be submitted to DEME, etc.

17. The soil erosion and sediment control plans and details are under review by DEME. However, a construction entrance shall be added to the Site Plan/ SESC plan to access the detention basin.

18. The previous supplied drawings had a detail for the proposed stone retaining wall, along Mountainview Avenue at the entrance to the site. This detail was remove. The detail shall be placed back on the drawings.

19. The reference source benchmark (FEMA mon. 230 – note #5, drawing #1) shall be shown on the plans.

20. All existing and proposed easements and dedications shall be shown on the plan, including page and liber or instrument number, intent/ purpose and ownership.

21. Copies of all correspondence, including any and all approvals, with the NYS Department of Environmental Conservation, U.S. Army Corps of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning Board and DEME, prior to signing the map.

22. Drainage Consultant Recommendation- Brooker Engineering

The application has provided sufficient information that demonstrates that potential significant adverse impacts with respect to drainage will be mitigated by modifying the existing basin. The Drainage Consultant recommends that the BCH Site Plan be approved for drainage subject to the following comments.

Project Description

This is the third drainage review report for this project; the last review was dated January 16, 2019. The property is located at the south side of Mountainview Avenue, approximately 330 feet west of Route 303. There is an existing commercial building in the front of the site. The outdoor storage area previously proposed has been removed from the application. The application currently proposes an expansion of the parking areas in the front and west wide of the building, resulting in an increase of approximately 0.34 acres of new impervious area. Increases in stormwater runoff from the new impervious surface will be directed to the existing stormwater maintenance facility, which will be enlarged as part of the application.

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Continuation of Condition #22...

Portions of the Sparkill Creek floodplain are located on the east side of the parcel. No work is proposed in the floodplain or area regulated by the Rockland County Drainage Agency.

Project Comments

1. Maintenance schedule and responsibilities of the stormwater management basin shall be clearly stated on the site plans.
 2. The spillway weir at elevation 80.49 has an unobstructed depth of 18 inches; the weir calculations shall be adjusted to include the obstruction.
 3. Provide a section through the pond with side slopes, outlet structure, and 100-year floodplain.
 4. Provide a detail of the emergency overflow weir.
- 23. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:**
- A review must be completed by the Rockland County Drainage Agency, and any required permits obtained.
 - A review must be completed by the Rockland County Department of Health, any comments or concerns addressed, and any required permits obtained
 - A lighting plan shall must demonstrate that the intensity of the candle lumens is less than 0.1 at the property line, specifically along the northwestern edge of the site.
 - Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed professional engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed professional engineer.
 - Prior to any grading or construction on the site, a soil and erosion control plan shall be developed that meets the New York State Guidelines for Urban Erosion and Sediment Control.
 - There shall be no net increase in the peak rate of discharge from the site at all design points
- 24. The Rockland County Department of Health (RCDOH), Environmental Health Program reviewed the submission provided the following comments:**
- The applicant is to contact RCDOH to discuss what, if any amendments to the existing food permit for the restaurant is required. Jeanne Longo can be reached at 845-364-2601.
 - Should the Board require amendments/ additions to the existing stormwater management system to remediate the increase in impervious coverage, application is to be made to the Rockland County Department of Health for review of the Stormwater Management system for compliance with the County Mosquito Code.

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25. The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District and request no future correspondence for this site.

26. The Town of Orangetown Rockland County Department of Health (RCDOH), Environmental Health Program reviewed the submission provided the following comment:

- Locations of the fire lanes will include all paved areas other than approved parking spaces shown on the site plan and will be stripped and signed per NYS Fire and Town fire Code.

27. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Rockland County Sewer District No. 1
- Rockland County Department of Health
- Rockland County Department of Planning
- Town of Orangetown Zoning Board of Appeals

28. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans prior to signing the final plans.

29. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

30. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Subdivision Plan Approval pursuant to Town Code §21A and §6A.

31. TREE PROTECTION: The following note shall be placed on the Subdivision Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- No construction equipment shall be parked under the tree canopy.
- There will be no excavation or stockpiling of earth underneath the trees.
- Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.
- The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:

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Continuation of Condition #31...

- One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:
 - Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
 - Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.
- The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

32. All landscaping shown on the subdivision plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

33. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

34. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

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35. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

36. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

37. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

38. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: May 27, 2020
Cheryl Coopersmith
Chief Clerk Boards and Commissions
Town of Orangetown Planning Board



attachment

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**State Environmental Quality Review Regulations
NEGATIVE DECLARATION
Notice of Determination of Non-Significance**

**BCH Realty, Site Plan
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.**

**Town of Orangetown Planning Board Decision
May 27, 2020**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

NAME OF ACTION: BCH Realty, LLC Site Plan

SEQR STATUS: Type I _____ Unlisted XXXXXX
CONDITIONED NEGATIVE DECLARATION: Yes _____ No XXXXXX

**DESCRIPTION OF ACTION: Preliminary Site Plan Subject to Conditions/
Neg. Dec.**

LOCATION: The site is located at 20 Mountainview Avenue, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 27; in the LI & CC zoning districts.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed development. The proposed action is consistent with the Town of Orangetown Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning
Administration and Enforcement; Town of Orangetown; 20 Greenbush Road
Orangeburg, NY 10962; Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant
- Involved Agencies

TOWN CLERK'S OFFICE
2020 JUN 18 A 11:29
TOWN OF ORANGETOWN

LEGEND		
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
○	○	SAN SEWER MANHOLE
○	○	CLEAN-OUT
○	○	DRAINAGE MANHOLE
○	○	CATCH BASIN
○	○	MATER VALVE
○	○	GAS VALVE
○	○	UTILITY POLE
○	○	OVERHEAD ELECTRIC
○	○	LIGHT POLE
○	○	PAVEMENT (PARKING)
○	○	PAVEMENT (ROAD)

NOTES CONTINUED:

- ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
- DRIP LINE OF TREE CANOPY: THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT.
 - LIGHT TO HEAVY IMPACTS - MIN. OF 8" OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4" OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
 THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED THE FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED BY MORE THAN 6" TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED, AND/OR PRESERVED IN A RAISED BED WITH THE TREE WELL A RADIUS OF 3' LARGER THAN THE TREE CANOPY.
- ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND PLANNING (DEM) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEM AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE CONTRACTORS TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT DURING THE COURSE OF CONSTRUCTION ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION, THE APPLICANT SHALL IMMEDIATELY NOTIFY THE DEM AND THE PLANNING BOARD. THE APPLICANT SHALL BE GIVEN SUFFICIENT TIME TO CORRECT THE CONDITIONS TO SATISFACTORY CONSTRUCTION. DEM SHALL INVESTIGATE THE CONDITIONS AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEM, OR IN THE EVENT OF SIGNIFICANT CHANGE RESULTING IN THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE APPLICANT WITH JURISDICTION IN THAT AREA (IE WETLANDS-US ARMY CORPS OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND THE PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THE DEM AND THE PLANNING BOARD SHALL BE AWARE OF THE PROPOSED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REF USE CONTROL.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR DIVISION OF SEWERS.
- CLEARING LIMIT AREAS MUST BE MARKED IN THE FIELD PRIOR TO ANY GRADING OR CONSTRUCTION SITE TO AVOID ANY ENCROACHMENTS INTO THE WETLAND AREA.
- ALL EXISTING CATCH BASINS TO BE RETROFITTED WITH ENVIRONMENTAL. SEE DETAIL ON SHEET 5 OF 5.

TOWN FIRE PREVENTION NOTES:

- INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM MAINTAINED ACCORDING TO NFPA 25.
- INSTALL AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 44-C CONTROL WITH AMBER AND RED STROBES AS PER ORANGETOWN CODE.
- INSTALL PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
- INSTALL EMERGENCY LIGHTING AS PER NEC.
- INSTALL KEY BOX.
- APPLY FOR AND MAINTAIN CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH FIRE INSPECTOR'S OFFICE.
- IF LIGHTWEIGHT TRUSSES ARE USED, A SIGN MUST BE PLACED ON THE EXTERIOR OF THE BUILDING FACING MAIN ENTRANCE.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

PARKING CALCULATIONS (LOT #1):

UNIT	USE	GROSS FLOOR AREA	ONE SPACE REQUIRED PER 200 SF OF GROSS FLOOR AREA	1975/200-10 SPACES REQUIRED
UNIT 20A	BAKERY			
UNIT 20B	FRAME SHOP			
UNIT 20C	JANITORIAL CLEANING SERVICE			
UNIT 20D	PROPOSED RESTAURANT			
UNIT 20E	RESTAURANT			
UNIT 20G	FIT BODY BOOT CAMP			
UNIT 20H	SIGN SHOP			
110 TOTAL SPACES REQUIRED				
51 SPACES EXISTING				
59 SPACES TO BE REMOVED				
76 NEW SPACES PROPOSED				
-123 TOTAL SPACES PROVIDED INCLUDING 4 LIC SPACES				

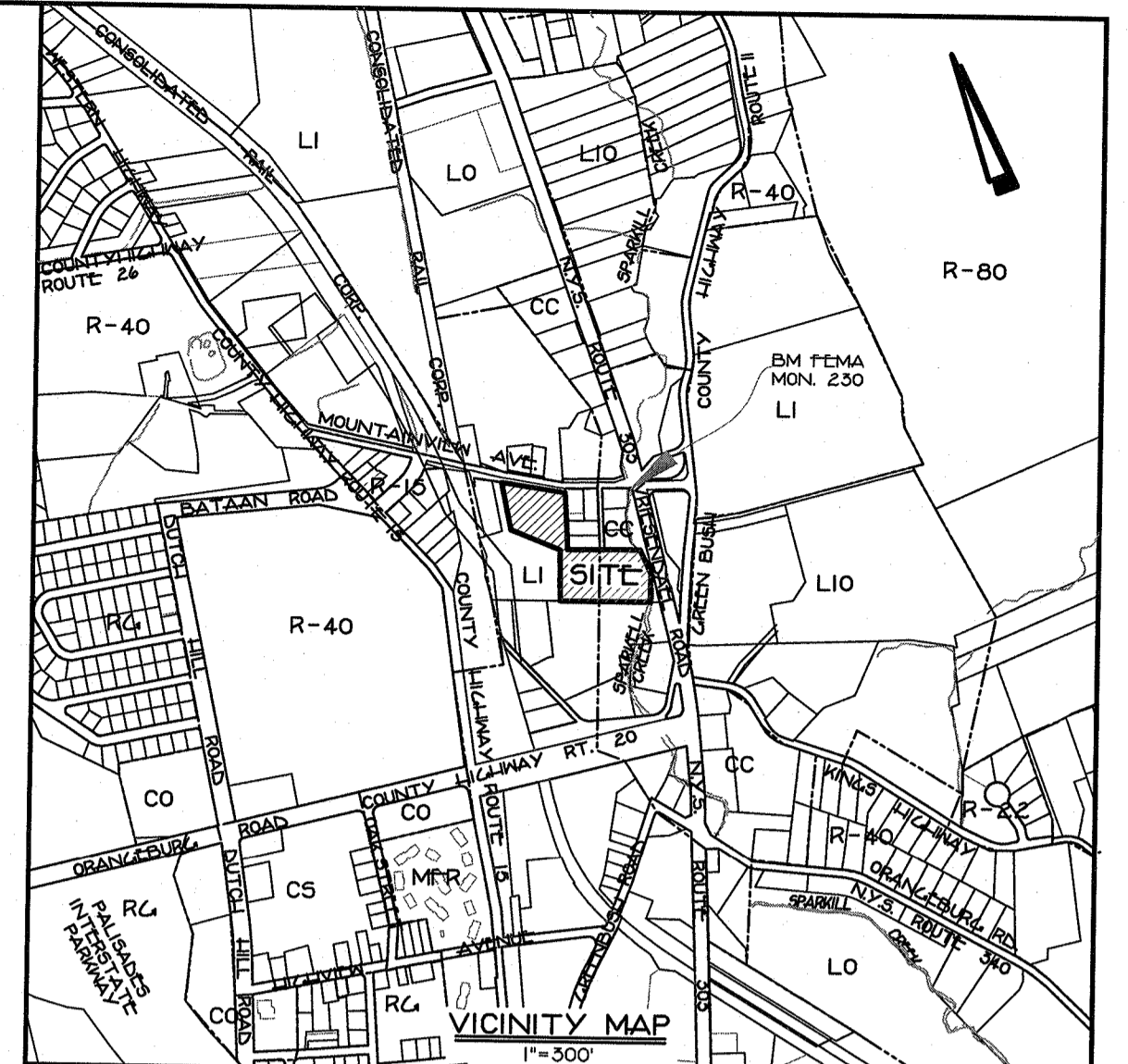
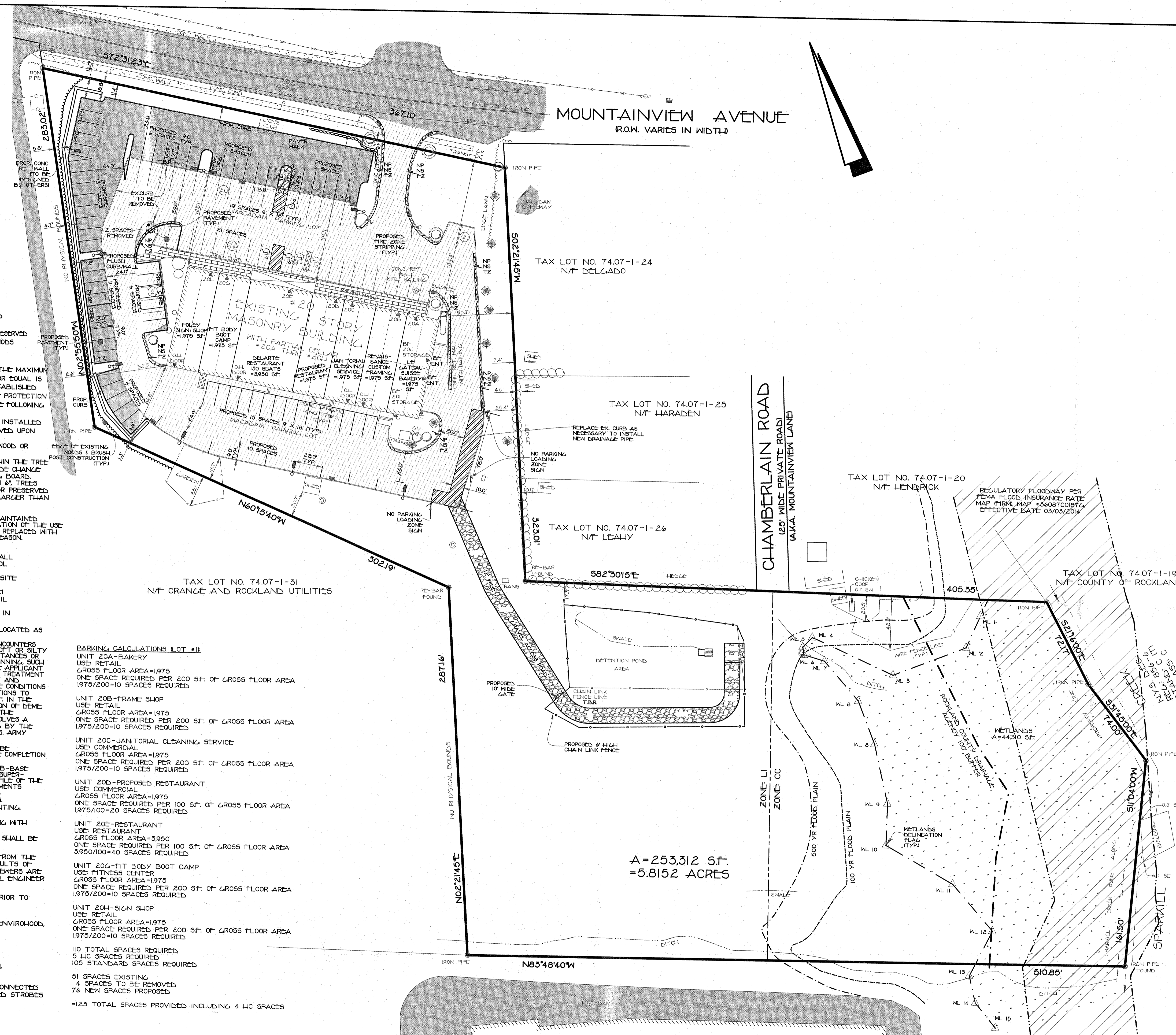
BULK TABLE

LI	MINIMUM LOT AREA	LOT WIDTH (FEET)	STREET FRONTAGE (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	FLOOR AREA RATIO	PARKING	BUILDING HEIGHT (FEET)
REQUIRED	871.20	150	150	50	50	100	50	.50	110	22.5
EXISTING	253.312	352	367.10	52.2 PARKING 119.3 CANOPY	55.7	118	66.8	.08	51*	22.5
PROPOSED	253.312	352	367.10	*16 PARKING 119.3 CANOPY	55.7	118	66.8	.08	123	22.5

*EXISTING NON-CONFORMING
**VARIANCE REQUIRED FOR PARKING IN FRONT YARD

FLOOR AREA RATIO CALCULATIONS:
FOOTPRINT=15,800 SF;
18,985/253.312=0.075

IMPERVIOUS SURFACE CALCULATIONS:
EXISTING IMPERVIOUS SURFACE=59,447 SF; / 253.312 SF = 235.2
PROPOSED IMPERVIOUS SURFACE=77,945 SF; / 253.312 SF = 308.2



NOTES:

- THIS IS A SITE PLAN OF LOT 27, BLOCK 1, SECTION 74.07 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
- AREA OF TRACT: =253,312 SF. =5.8152 AC.
- ZONE: LI & CC
- PROPOSED USE: COMMERCIAL
- DATUM: SOURCE BM FEMA MON. 230, LOCATED AT THE SW CORNER OF MOUNTAINVIEW AVE. & N.Y.S. RT. 303. SOURCE DATUM NGVD29: 76.88' CONVERTED TO NAVD83: 75.9' USING CORPSCON
- RECORD OWNER AND APPLICANT: BCH REALTY, LLC
20 E MOUNTAINVIEW AVENUE
ORANGETOWN, NY 10962
- FIRE DISTRICT: ORANGETOWN
- SCHOOL DISTRICT: ORANGETOWN SCHOOL DISTRICT
- FIRE DISTRICT: ORANGETOWN FIRE DISTRICT
- WATER DISTRICT: ORANGETOWN WATER DISTRICT
- LIGHTING DISTRICT: ROCKLAND AND ORANGE
- SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.16M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES

REVISIONS

REV. PER TOWN COMMENTS -	DATE	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NY. ON THE DAY OF 6/15/20 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE OR MODIFICATION OR REVISION OF THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL. SIGNED THIS DAY OF 20
REV. PER TOWN COMMENTS -	8/18/20	

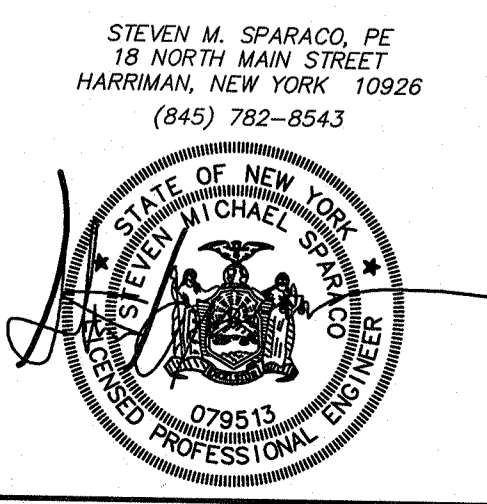
SITE PLAN PLANIMETRIC PLAN FOR BCH REALTY, LLC
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE: 40 20 0 40 80 120

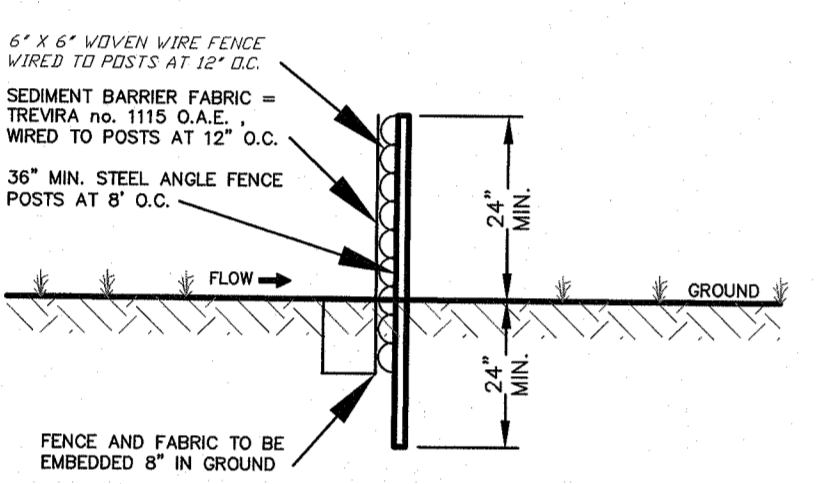
SPARACO & YOUNGLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING
SITE PLANNING

18 NORTH MAIN STREET
P.O. BOX 810
HARRIMAN, NY 10926
TEL: (845) 782-6543
FAX: (845) 782-9901
SPARACO.STEVE@SELBY.COM WDL51@GMAIL.COM

FILE # SP-4042
DATE JAN. 28, 2020
SCALE 1" = 40'
DWG 1 OF 7



EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	GAS MAIN
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	DRAINAGE MANHOLE
---	---	CATCH BASIN
---	---	UTILITY POLE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	LIGHT POLE
---	---	PAVEMENT (PARKING)
---	---	PAVEMENT (ROAD)
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	WALL & CURB ELEV.
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CATCH BASIN WITH PROTECTION



- NOTES:**
1. THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
 2. MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
 3. REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
 4. FENCE SYMBOL ON PLAN

SEDIMENT BARRIER FENCE

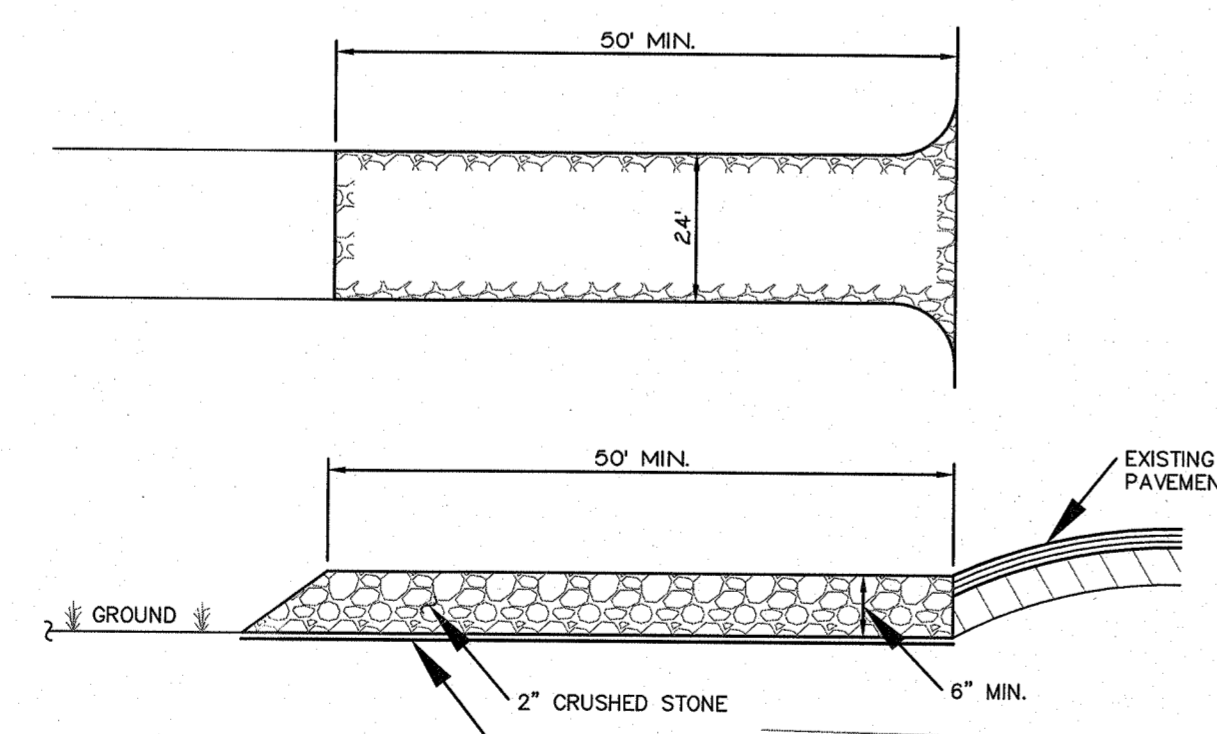
N.T.S.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIR TO ANY DAMAGE.
3. ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
5. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTORS RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
7. CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
8. ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS ARE TO BE INSTALLED UNDERGROUND.
9. THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
10. ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE BASED UNLESS OTHERWISE SPECIFIED.
11. ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
12. CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.

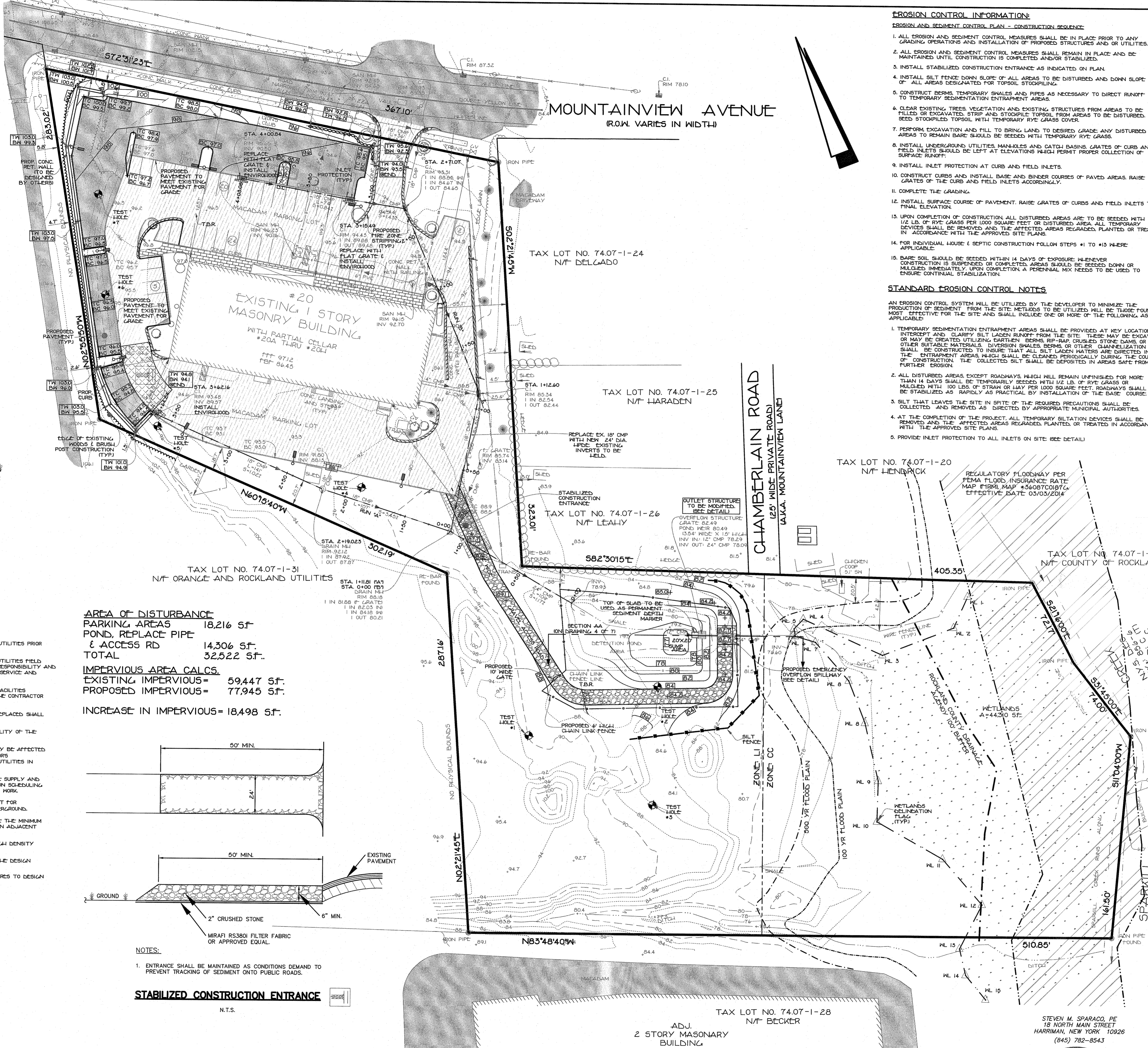
AREA OF DISTURBANCE
 PARKING AREAS 18,216 SF
 POND, REPLACE PIPE & ACCESS RD 14,306 SF
 TOTAL 32,522 SF.

IMPERVIOUS AREA CALCS.
 EXISTING IMPERVIOUS = 59,447 SF.
 PROPOSED IMPERVIOUS = 77,945 SF.
 INCREASE IN IMPERVIOUS = 18,498 SF.



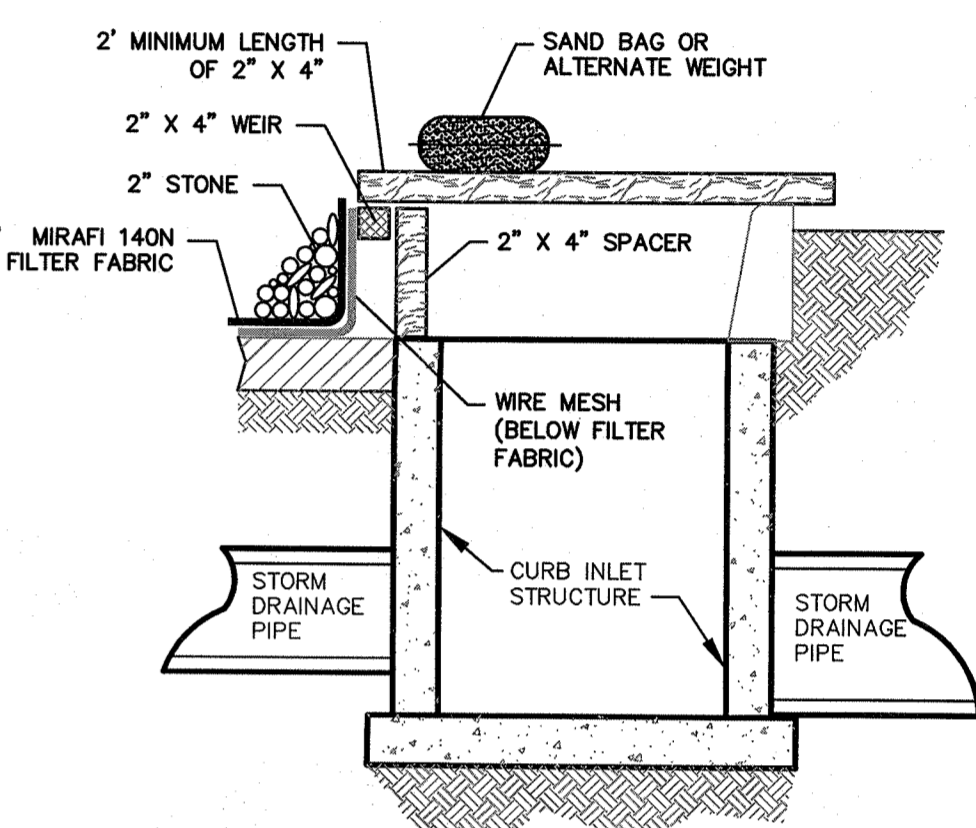
STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



- EROSION CONTROL INFORMATION:**
- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND UTILITIES.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 4. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPIILING.
 5. CONSTRUCT BERMS, TEMPORARY SHALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
 6. CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 7. PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDDED WITH TEMPORARY RYE GRASS.
 8. INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS, GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 9. INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 10. CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
 11. COMPLETE THE GRADING.
 12. INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
 13. UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDDED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OF DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 14. FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #15 WHERE APPLICABLE.
 15. BARE SOIL SHOULD BE COVERED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHOULD BE SEEDDED DOWN OR ENHANCED IMMEDIATELY UPON COMPLETION. A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

- STANDARD EROSION CONTROL NOTES**
- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR OR SUBSIDIARY MATERIALS SUCH AS RIP-RAP, CRUSHED STONE, SAND BAGS OR SHALL BE CONSTRUCTED TO INVERTION SHALES, BERMS OR OTHER CHANNELIZATION DEVICES TO INURE THAT ALL SILT LADEN WATER BE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 2. ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MELDED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS PRACTICALLY AS POSSIBLE BY INSTALLATION OF THE BASE COURSE.
 3. SILT THAT LEAVES THE SITE IN SITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 5. PROVIDE INLET PROTECTION TO ALL INLETS ON SITE (SEE DETAILS).



- NOTES:**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
 4. THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SAND BAGS OR ALTERNATE WEIGHTS.
 6. SYMBOL

CURB INLET PROTECTION DETAIL

N.T.S.

D.F.C. NOTES:
 SPARKHILL CREEK
 REGULATION 606-6
 STANDARD (C7)
 CLASSIFICATION C

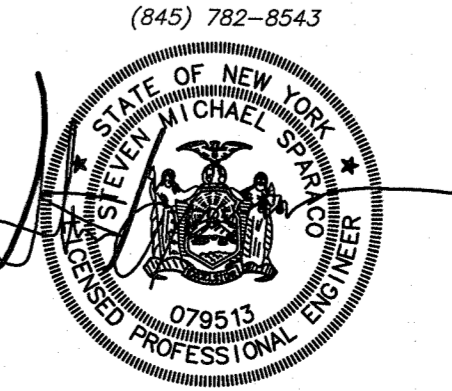
REVISIONS

- REV. PER TOWN COMMENTS - 6/15/20
 REV. PER TOWN COMMENTS - 8/18/20

SITE PLAN
 GRADING, UTILITY AND EROSION & SEDIMENT CONTROL
 OVERALL PLAN FOR
BCH REALTY, LLC
 LOCATED IN

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 GRAPHIC SCALE

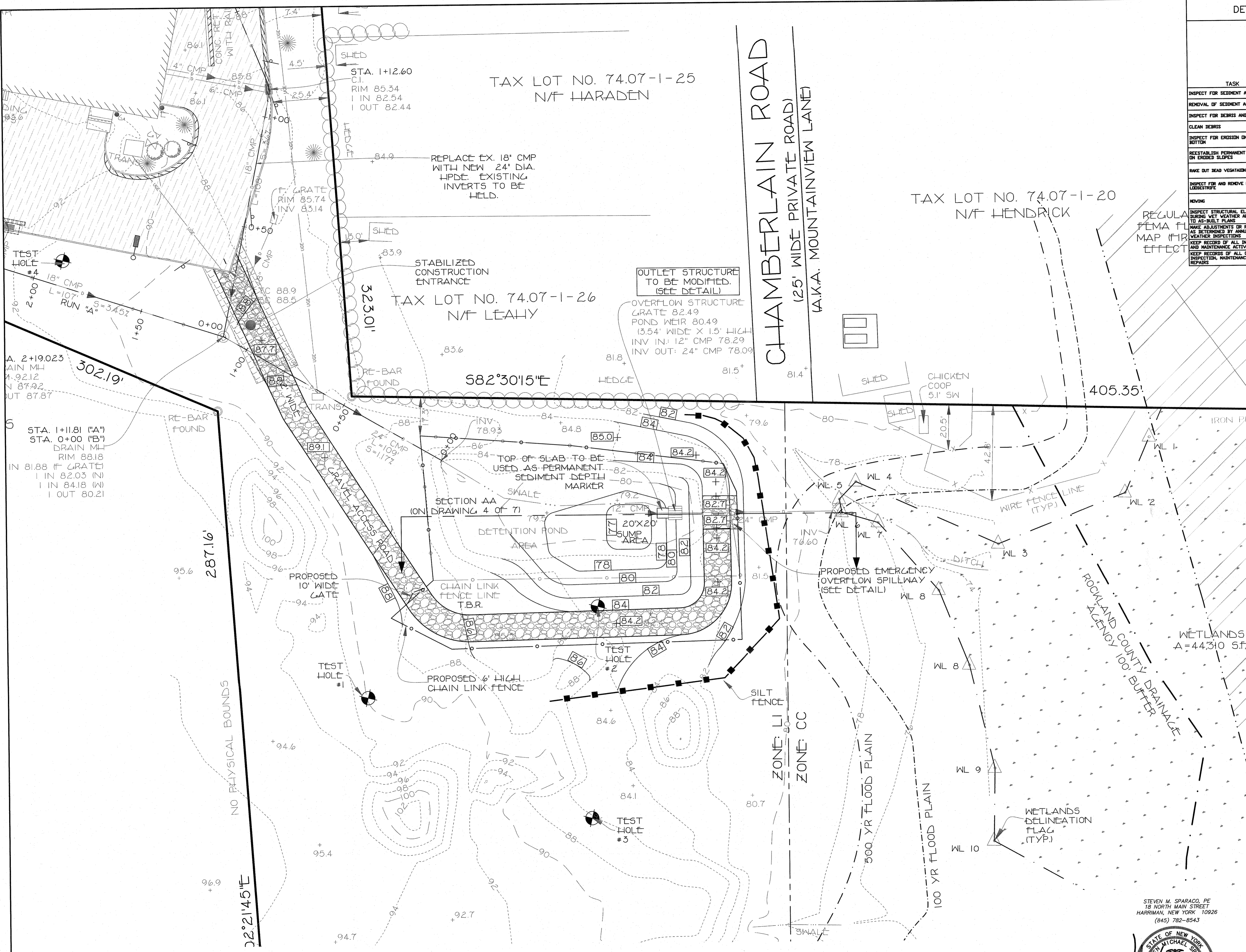
SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING * LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 918
 LARAIMAN, NY 10926
 TEL: (845) 782-8543
 FAX: (845) 782-5001
 WWW.SPARACOANDYOUNGBLOOD.COM WYLS1@GMAIL.COM



ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

DIG SAFELY NEW YORK
 1-800-962-7962

FILE # SP-4042
 DATE JAN. 28, 2020
 SCALE 1" = 40'
 SHEET 2 OF 7



DETENTION MAINTENANCE TASKS AND SCHEDULE

TASK	DETENTION BASIN SIDE-SLOPE	DETENTION BASIN BOTTOM	DETENTION BASIN INLETS	DETENTION BASIN OUTLET OR OUTLET STRUCTURE	CATCH BASIN INLETS	CATCH BASIN	STORM SEWER SYSTEM	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	•	•	•	•	•	•	•	ANNUALLY
REMOVAL OF SEDIMENT ACCUMULATION	•	•	•	•	•	•	•	EVERY 5-10 YEARS AS NEEDED
INSPECT FOR DEBRIS AND TRASH	•	•	•	•	•	•	•	EARLY SPRING, FALL AND AFTER MAJOR STORMS
CLEAN DEBRIS	•	•	•	•	•	•	•	AS NEEDED
INSPECT FOR EROSION ON BANKS AND BOTTOM	•	•	•	•	•	•	•	EARLY SPRING, FALL AND AFTER MAJOR STORMS
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	•	•	•	•	•	•	•	AS NEEDED
MAKE OUT DEAD VEGETATION	•	•	•	•	•	•	•	ANNUALLY - EARLY SPRING
INSPECT FOR AND REMOVE PURPLE LODGEPOLE	•	•	•	•	•	•	•	ANNUALLY - JULY
MOWING	•	•	•	•	•	•	•	1 TO 2 TIMES A YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS	•	•	•	•	•	•	•	ANNUALLY
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTIONS	•	•	•	•	•	•	•	AS NEEDED
KEEP RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES	•	•	•	•	•	•	•	ANNUALLY
KEEP RECORDS OF ALL COST FOR INSPECTION, MAINTENANCE AND REPAIRS	•	•	•	•	•	•	•	ANNUALLY

NOTE: THE OWNER OF THIS SITE IS RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT BASIN.

REVISIONS

- REV: PER TOWN COMMENTS - 6/15/20
- REV: PER TOWN COMMENTS - 6/16/20

**SITE PLAN
GRADING & UTILITY
AND EROSION & SEDIMENT CONTROL PLAN FOR
BCH REALTY, LLC
LOCATED IN**

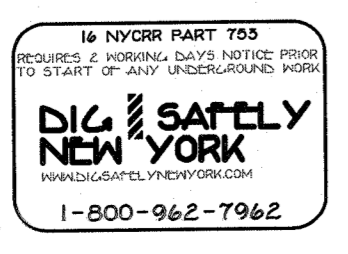
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

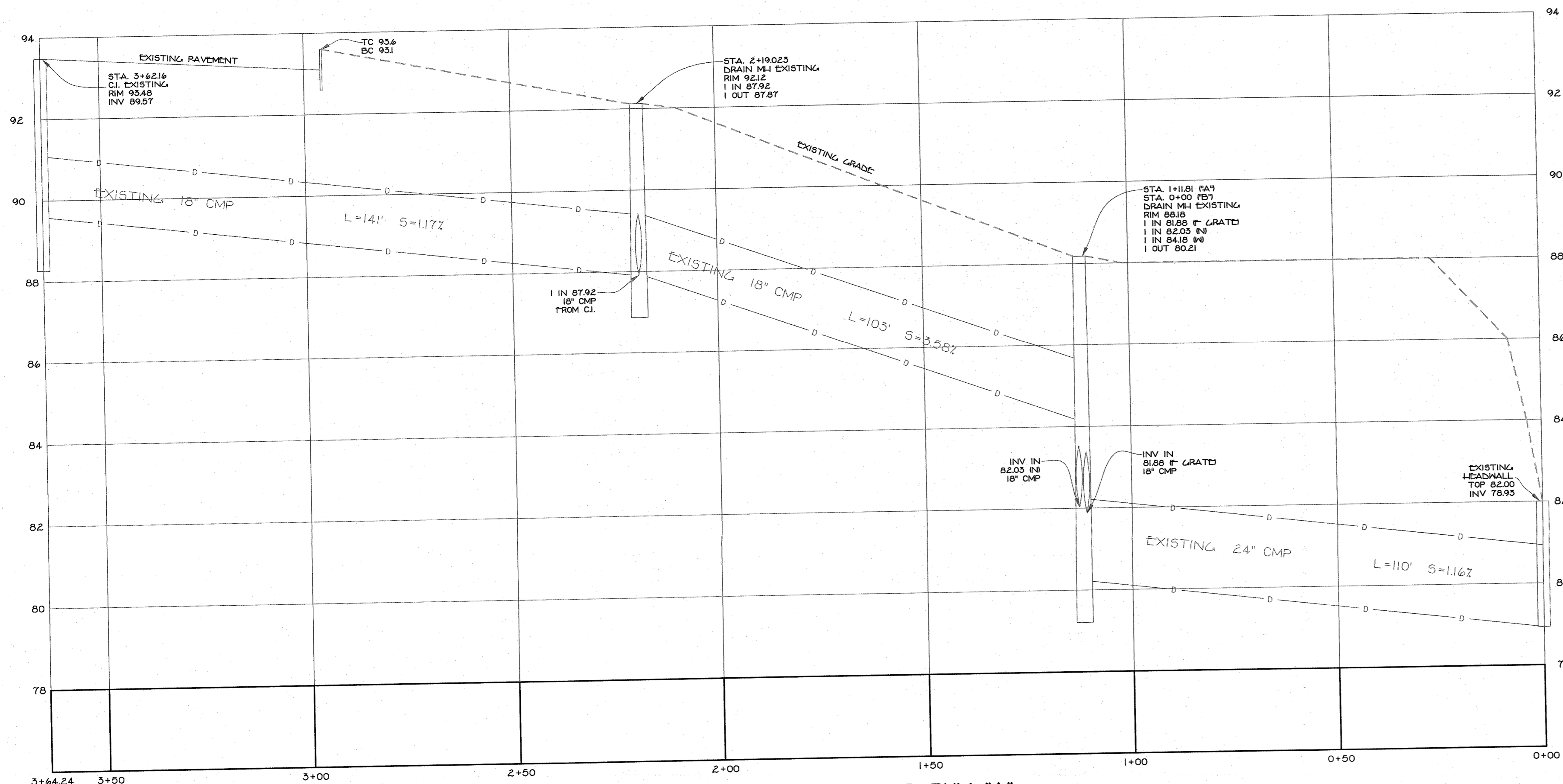
SPARACO & YOUNGLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING
SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 918
HARRIMAN, NY 10926
TEL: (845) 782-8543
FAX: (845) 782-5901
WWW.SPARACOENGINEERS.COM



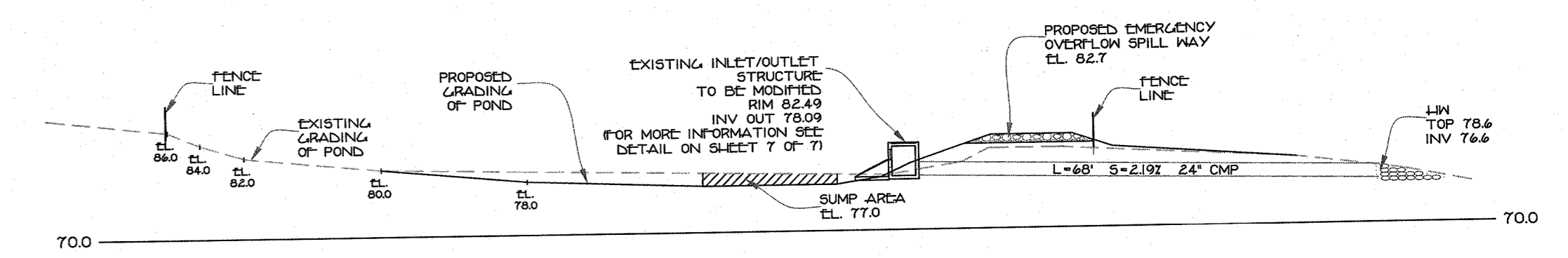
FILE #	SP-4042
DATE	JAN 28, 2020
SCALE	1" = 20'
SHEET #	3 OF 7

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

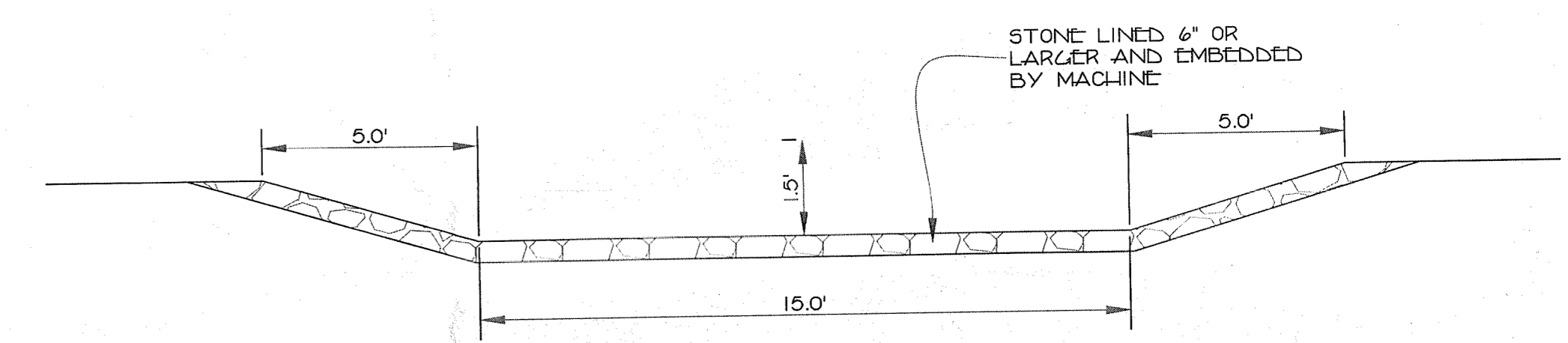




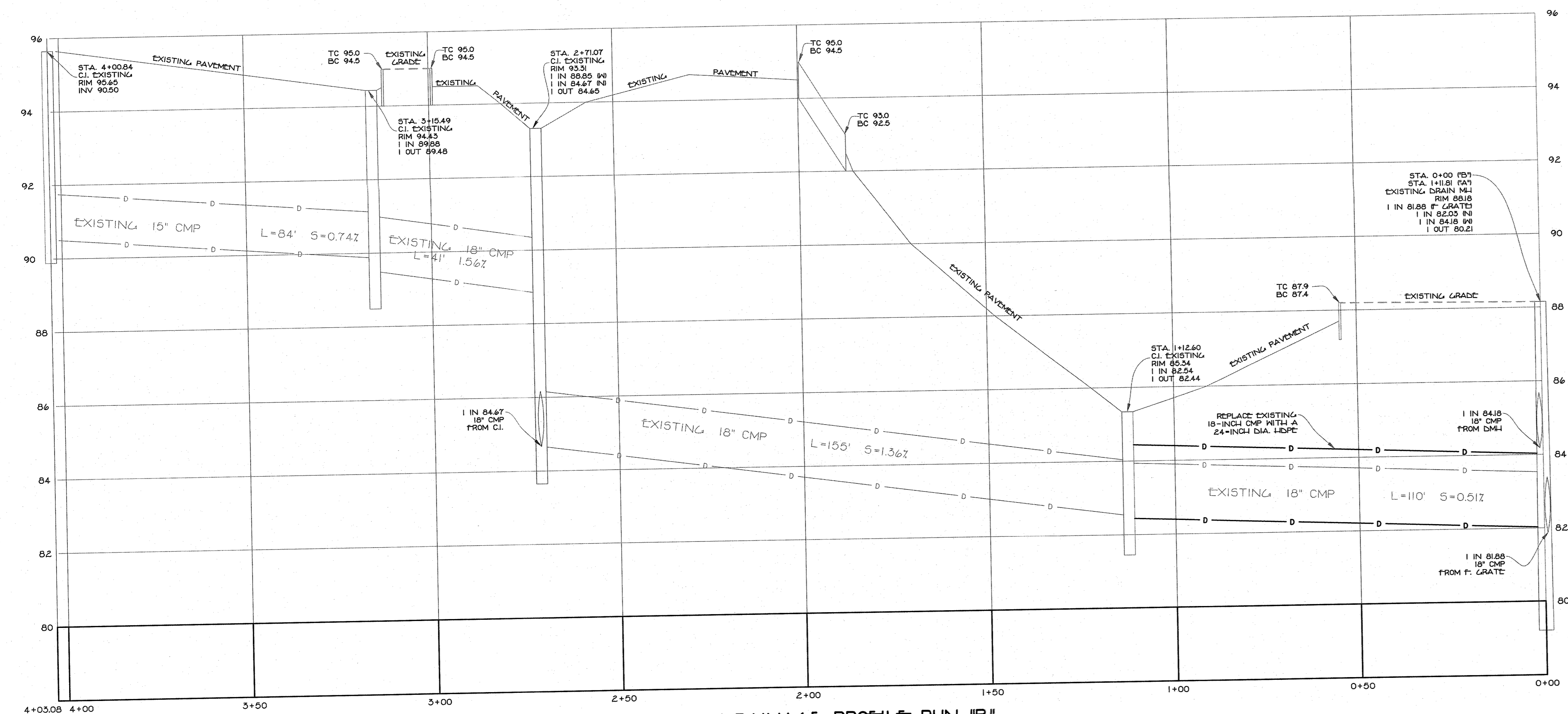
EXISTING DRAINAGE PROFILE RUN "A"
SCALE: H-1"=20' V-1"=2'



SECTION AA
SCALE: H-1"=20' V-1"=2'



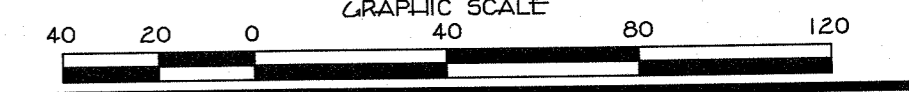
EMERGENCY OVERFLOW SPILLWAY DETAIL
N.T.S.



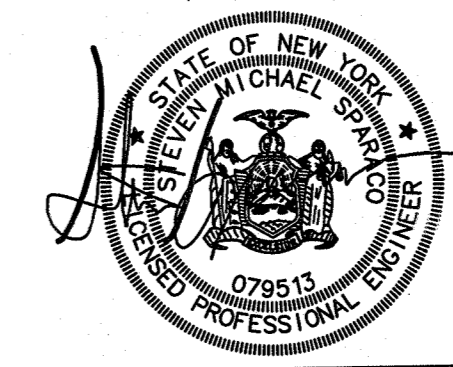
EXISTING DRAINAGE PROFILE RUN "B"
SCALE: H-1"=20' V-1"=2'

REVISIONS	
REV. PER TOWN COMMENTS -	6/15/20
REV. PER TOWN COMMENTS -	8/18/20

SITE PLAN
EXISTING DRAINAGE PROFILES
FOR
BCH REALTY, LLC
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
GRAPHIC SCALE



STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
HARRIMAN, NEW YORK 10926
(845) 782-8543



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FAX: (845) 782-9901
SPARACO.STEVE@SELSNY.COM WDWLS1@GMAIL.COM

FILE #	SP-4042
DATE	JAN. 28, 2020
SCALE	AS SHOWN
DWG #	4 OF 7

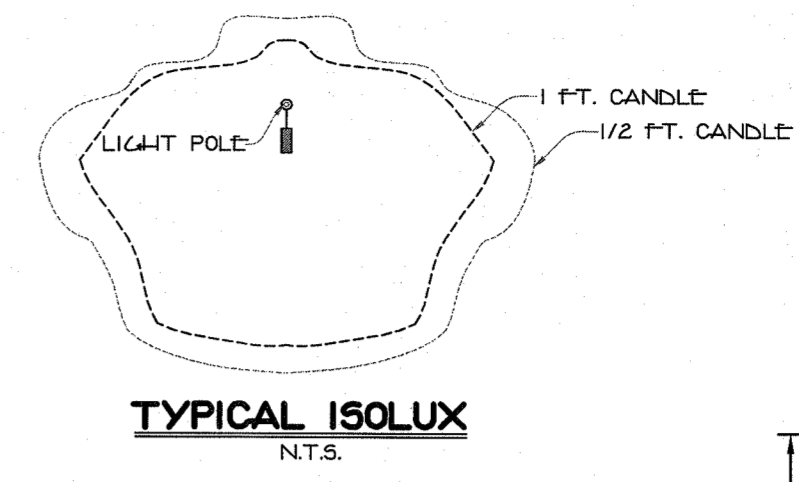
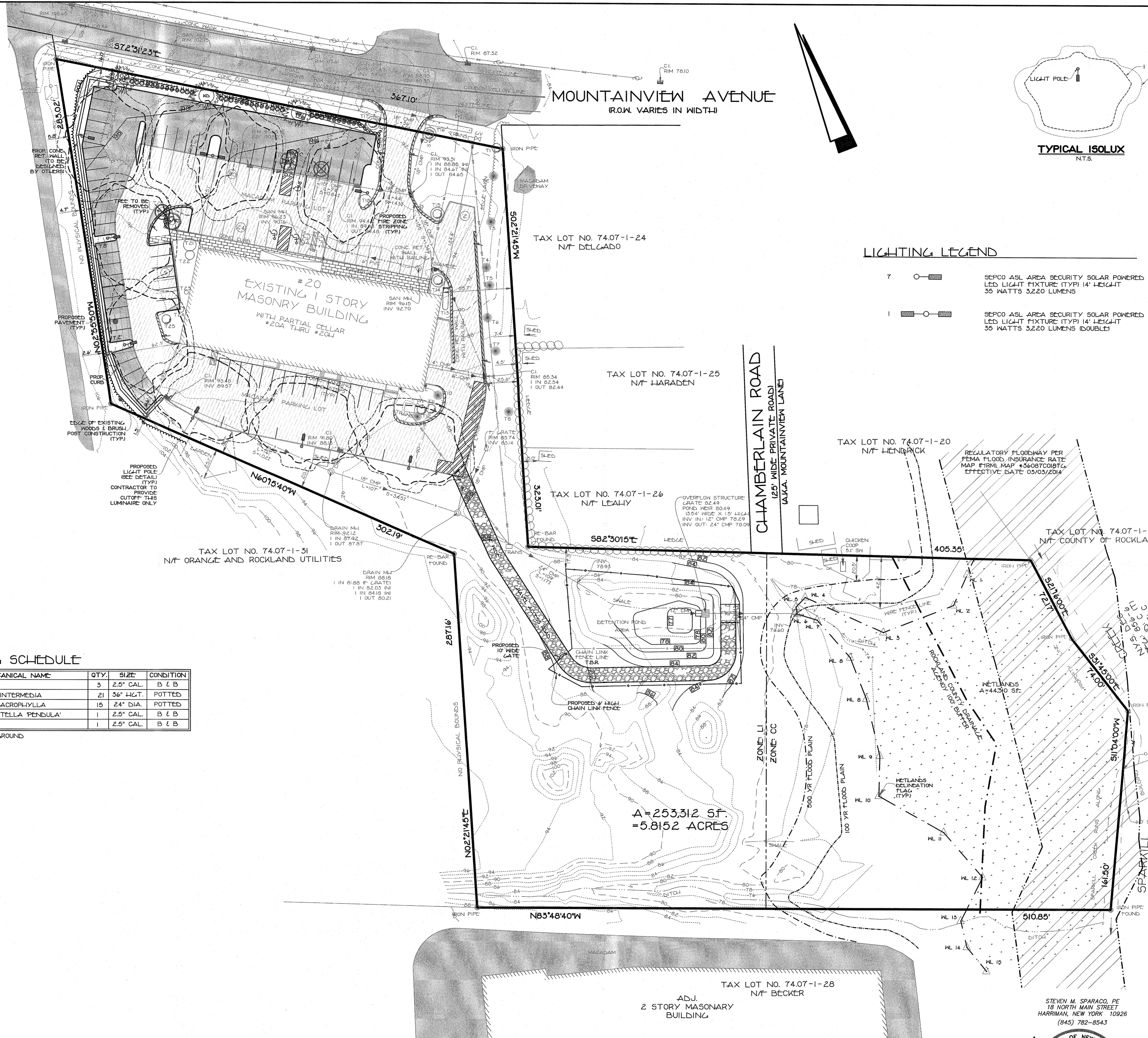
EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	GAS MAIN
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	DRAINAGE MANHOLE
---	---	CATCH BASIN
---	---	UTILITY POLE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	LIGHT POLE
---	---	PAVEMENT (PARKING)
---	---	PAVEMENT (ROAD)
---	---	10' CONTOUR INTERVAL
---	---	2' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	WALL & CURB ELEV.
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CATCH BASIN WITH PROTECTION

NO.	DIA.	SPECIES
T1	26"	OAK
T2	30"	PINE
T3	24"	PINE
T4	14"	PINE
T5	20"	PINE
T6	20"	PINE
T7	18"	PINE
T8	20"	PINE
T9	18"	PINE
T10	16"	PINE
T11	12"	ELM
T12	14" TWIN	AILANTHUS
T13	4"	JUNIPER BUSH
T14	24"	OAK W/ JUNIPER RING
T15	24"	MARLE W/ JUNIPER RING
T16	24"	OAK W/ JUNIPER RING
T17	30"	OAK W/ JUNIPER RING
T18		JUNIPER BUSH
T19	24"	OAK
T20	18"	OAK
T21	10"	JUNIPER BUSH
T22	7"	JUNIPER BUSH
T23	3"	JUNIPER BUSH
T24	4"	JUNIPER BUSH
T25	20"	OAK

PLANTING SCHEDULE

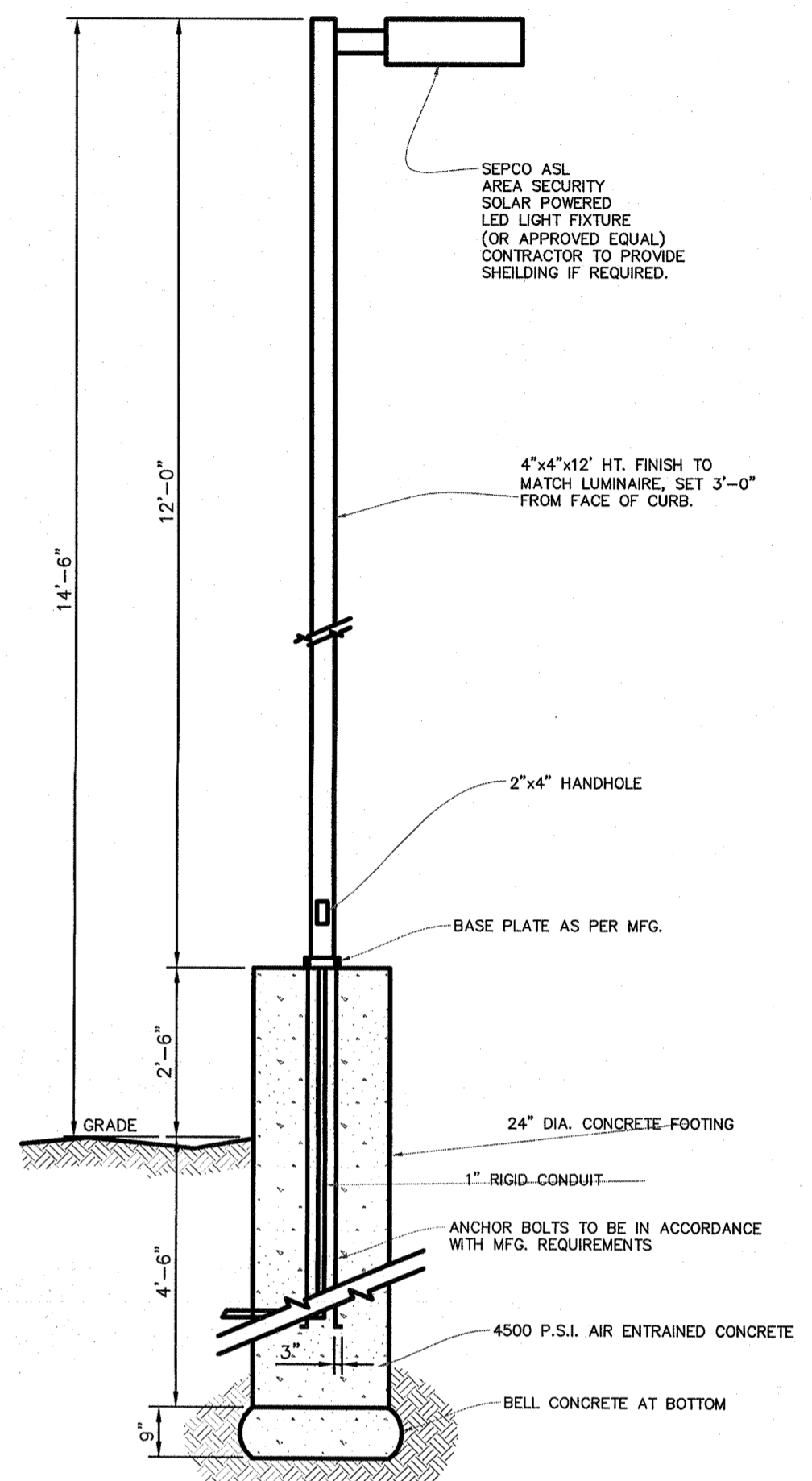
KEY	COMMON NAME	BOTANICAL NAME	QTY.	SIZE	CONDITION
KD	KOUSA DOGWOOD	CORNACEAE	3	2.5" CAL.	B & B
FS	FORSYTHIA	FORSYTHIA X INTERMEDIA	21	36" HGT.	POTTED
H	HYDRANGEA	HYDRANGEA MACROPHYLLA	15	24" DIA.	POTTED
WC	WEeping CHERRY	PRUNUS SUBHIRTELLA 'PENDULA'	1	2.5" CAL.	B & B
CRM	RED MAPLE	ACER RUBRUM	1	2.5" CAL.	B & B

NOTE: ALL TREES TO BE LIMBED TO 8' ABOVE GROUND



LIGHTING LEGEND

- 7 (Symbol) SEPCO ASL AREA SECURITY SOLAR POWERED LED LIGHT FIXTURE (TYP) 14' HEIGHT 35 WATTS 3,220 LUMENS
- 1 (Symbol) SEPCO ASL AREA SECURITY SOLAR POWERED LED LIGHT FIXTURE (TYP) 14' HEIGHT 35 WATTS 3,220 LUMENS (DOUBLE)



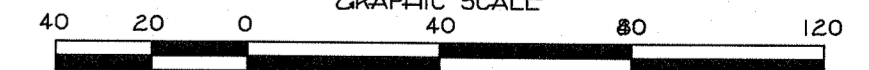
12' LUMINAIRE DETAIL
N.T.S.
NOTE: LIGHT HEADS SHALL BE ADJUSTED AND CUT-OFFS INSTALLED TO PREVENT LIGHT FROM PROJECTING ON TO NEIGHBORING PROPERTIES AND R.O.W.

REVISIONS

- REV: PER TOWN COMMENTS - 6/15/20
- REV: PER TOWN COMMENTS - 8/18/20

**SITE PLAN
LANDSCAPE & LIGHTING PLAN
FOR
BCH REALTY, LLC
LOCATED IN**

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
GRAPHIC SCALE



SPARACO & YOUNGBLOOD, PLLC
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HARRISMAN, N.Y. 10926
TEL: (845) 752-8543
FAX: (845) 752-5901
SPARACO.STEVE@SELSNY.COM WYLS18@GMAIL.COM

FILE # SP-4042
DATE JAN. 28, 2020
SCALE 1" = 40'
DWG # 5 OF 7

STEVEN M. SPARACO, PE
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HARRISMAN, NEW YORK 10926
(845) 752-8543

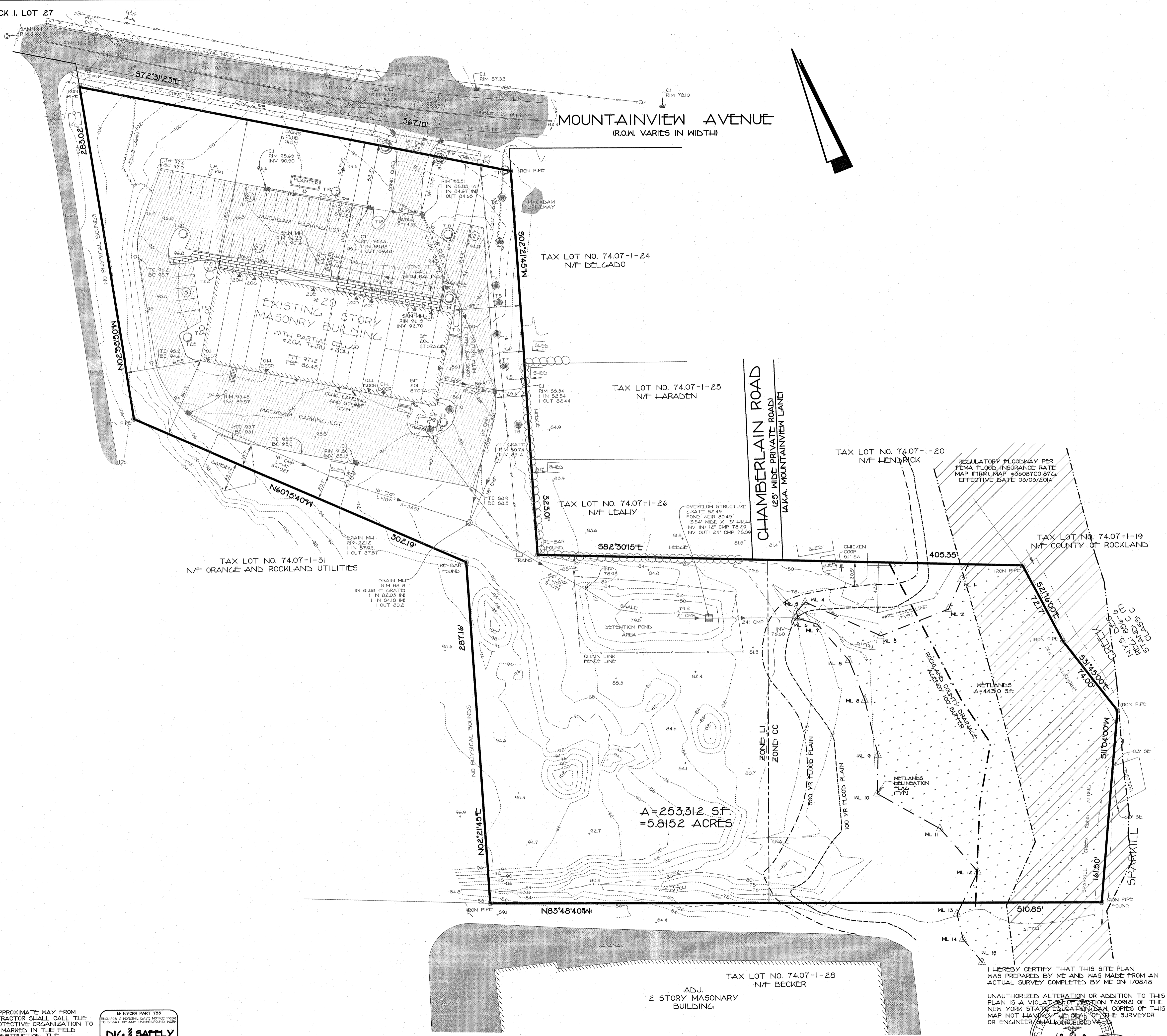


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14 NYCRR PART 755
DESIGNER'S RESPONSIBILITY LIMITED TO THE DATE OF THE DRAWING
DIG SAFELY
NEW YORK
1-800-962-7962

TAX LOT SECTION 74.07, BLOCK I, LOT 27

- DEED REFERENCES:**
 L 841 / P. 724
 L 1073 / P. 8
 L 738 / P. 1155
 L 610 / P. 242
 L 515 / P. 512
 L 1077 / P. 962
 L 511 / P. 16
 L 1003 / P. 857
 L 876 / P. 155
 L 981 / P. 1065
 L 500 / P. 516
 L 383 / P. 8



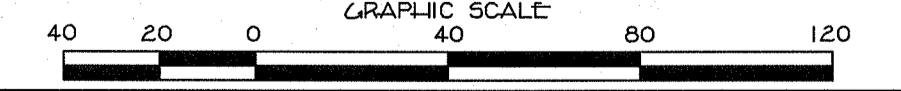
TREE LIST		
NO.	DIA.	SPECIES
T1	26"	OAK
T2	30"	PINE
T3	24"	PINE
T4	14"	PINE
T5	20"	PINE
T6	20"	PINE
T7	18"	PINE
T8	20"	PINE
T9	18"	PINE
T10	16"	PINE
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T19	24"	OAK
T20	18"	OAK
T21	10"	JUNIPER BUSH
T22	7"	JUNIPER BUSH
T23	3"	JUNIPER BUSH
T24	4"	JUNIPER BUSH
T25	20"	OAK

REVISIONS

- REV: ADDITIONAL PARKING - 10/21/19
- REV: PER TOWN COMMENTS - 6/15/20
- REV: PER TOWN COMMENTS - 8/18/20

EXISTING CONDITIONS
 FOR
BCH REALTY, LLC
 LOCATED IN

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK



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 SPARACO.STEVE@SUNY.COM WYLS1@GMAIL.COM

FILE # SP-4042
 DATE JAN. 28, 2020
 SCALE 1"=40'
 SHEET 6 OF 7

I HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON 1/08/18

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT BEARING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL BE CONSIDERED VOID.



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16 NYCRR PART 705
 PROVIDES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

DIG SAFELY NEW YORK
 1-800-962-7962

A=253,312 SF.
 =5.8152 ACRES

TAX LOT NO. 74.07-1-24
 N/F DELGADO

TAX LOT NO. 74.07-1-25
 N/F HARADEN

TAX LOT NO. 74.07-1-20
 N/F HENDRICK

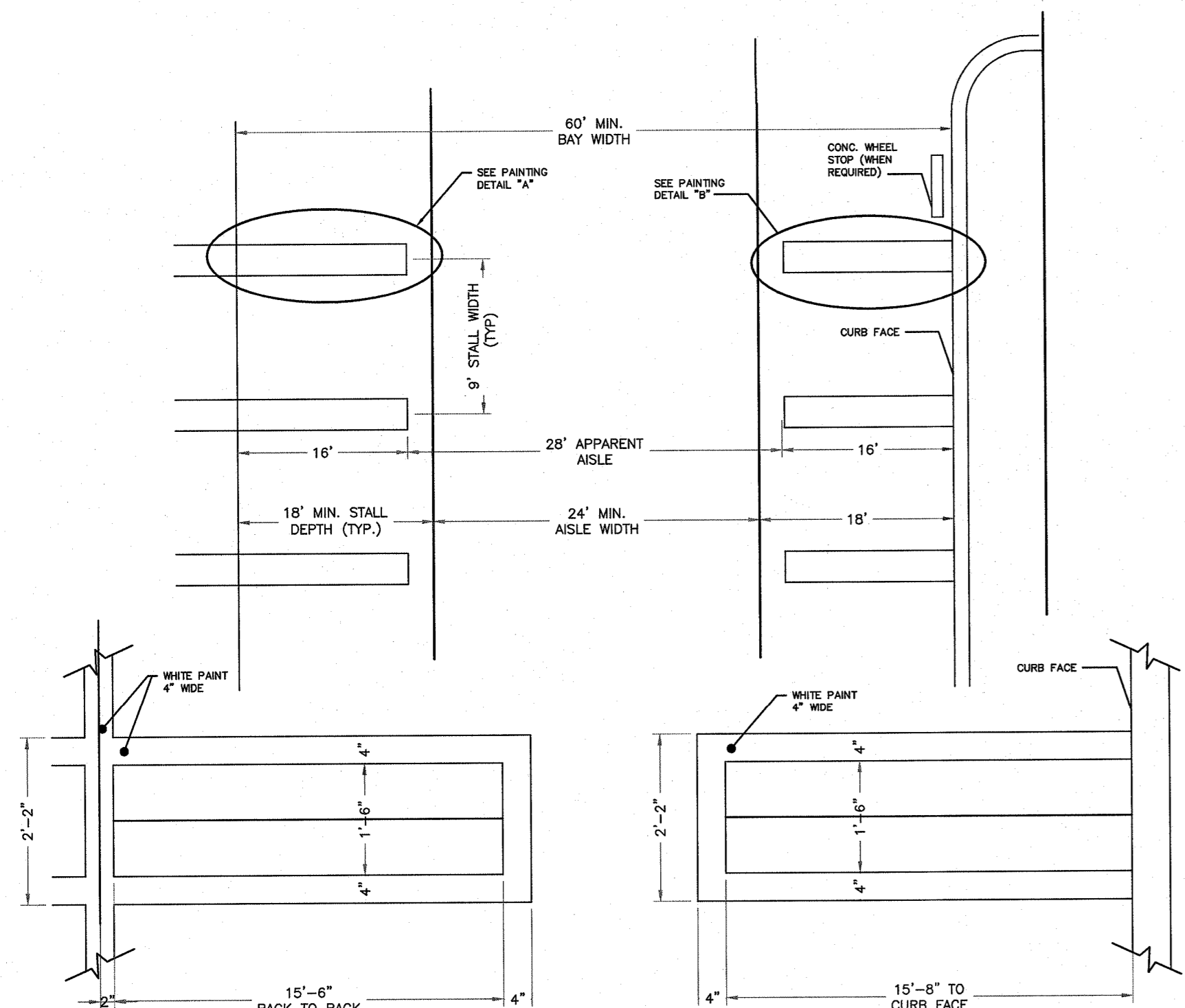
TAX LOT NO. 74.07-1-26
 N/F LEAHY

TAX LOT NO. 74.07-1-19
 N/F COUNTY OF ROCKLAND

TAX LOT NO. 74.07-1-31
 N/F ORANGE AND ROCKLAND UTILITIES

TAX LOT NO. 74.07-1-28
 N/F BECKER

ADJ.
 2 STORY MASONRY BUILDING

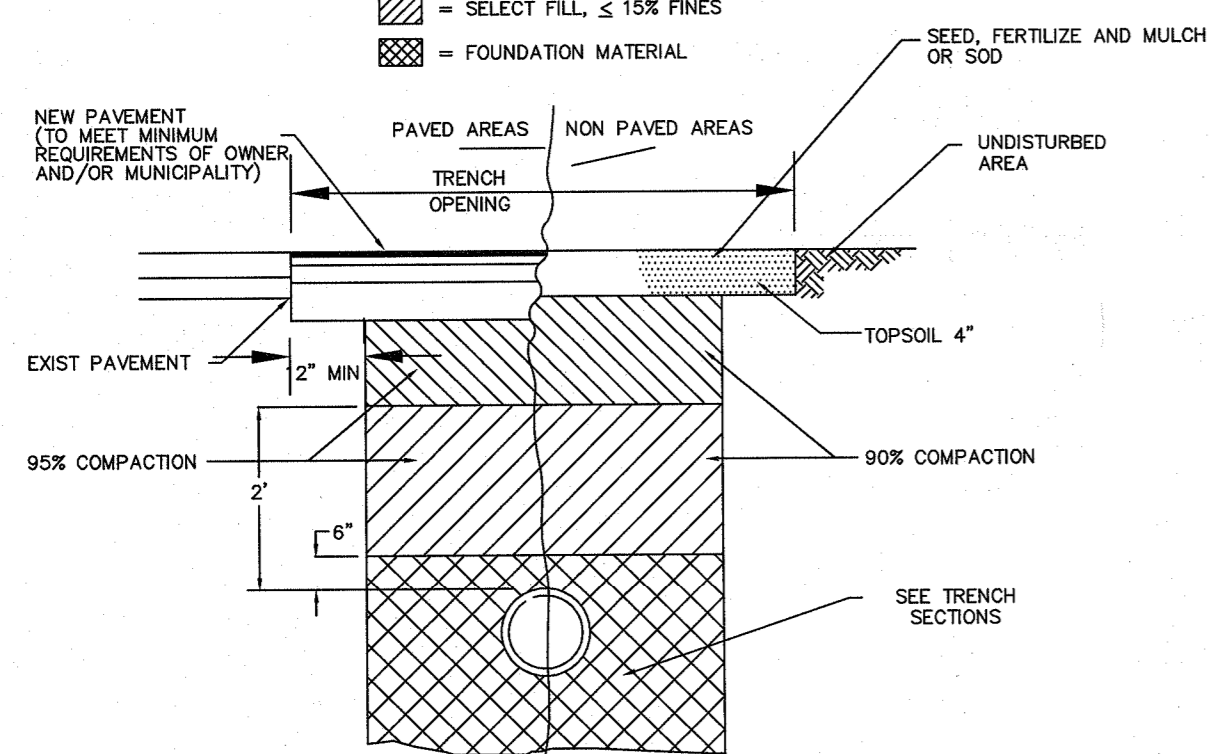


DETAIL "A"

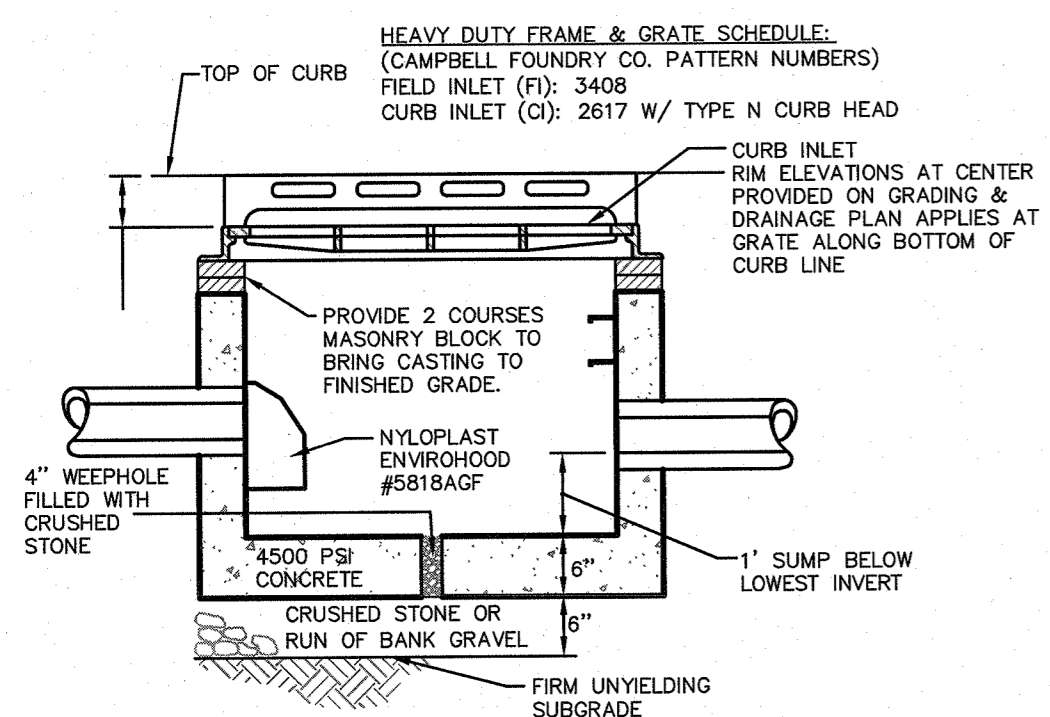
PARKING AND STRIPING DETAIL
N.T.S.

DETAIL "B"

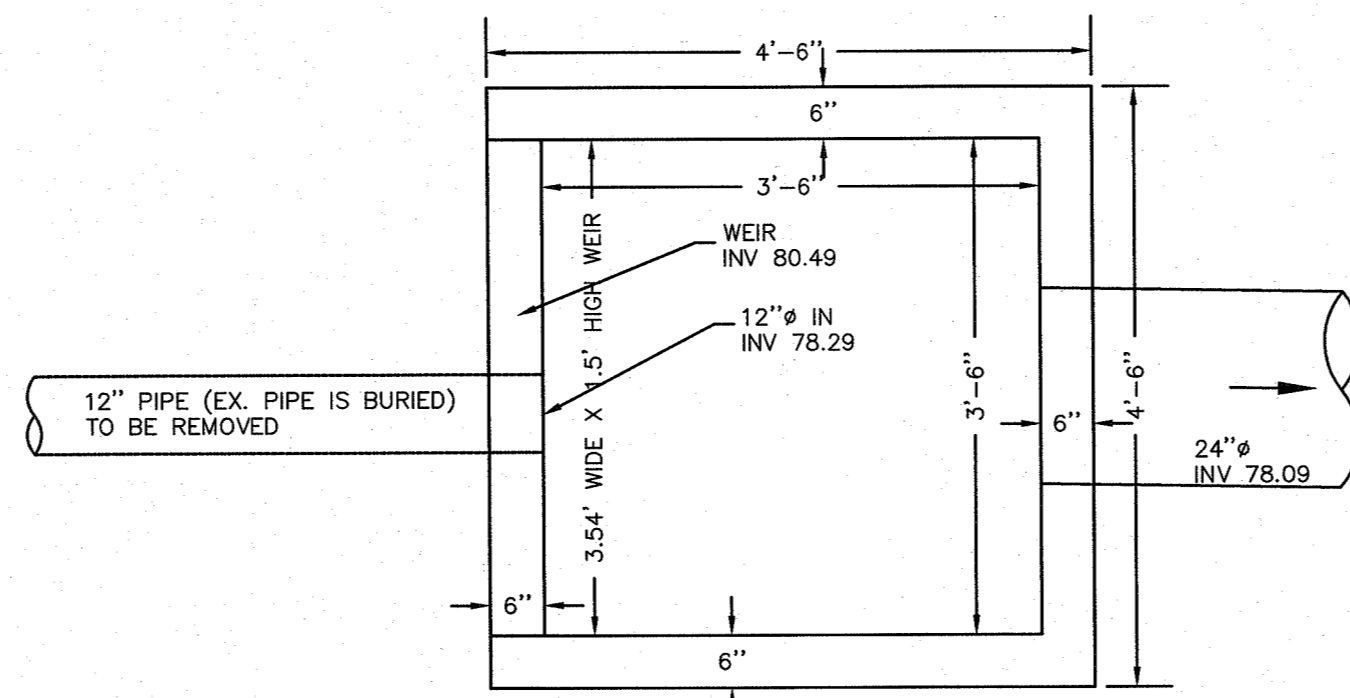
- = BACKFILL, ≤ 25% FINES
- = SELECT FILL, ≤ 15% FINES
- = FOUNDATION MATERIAL



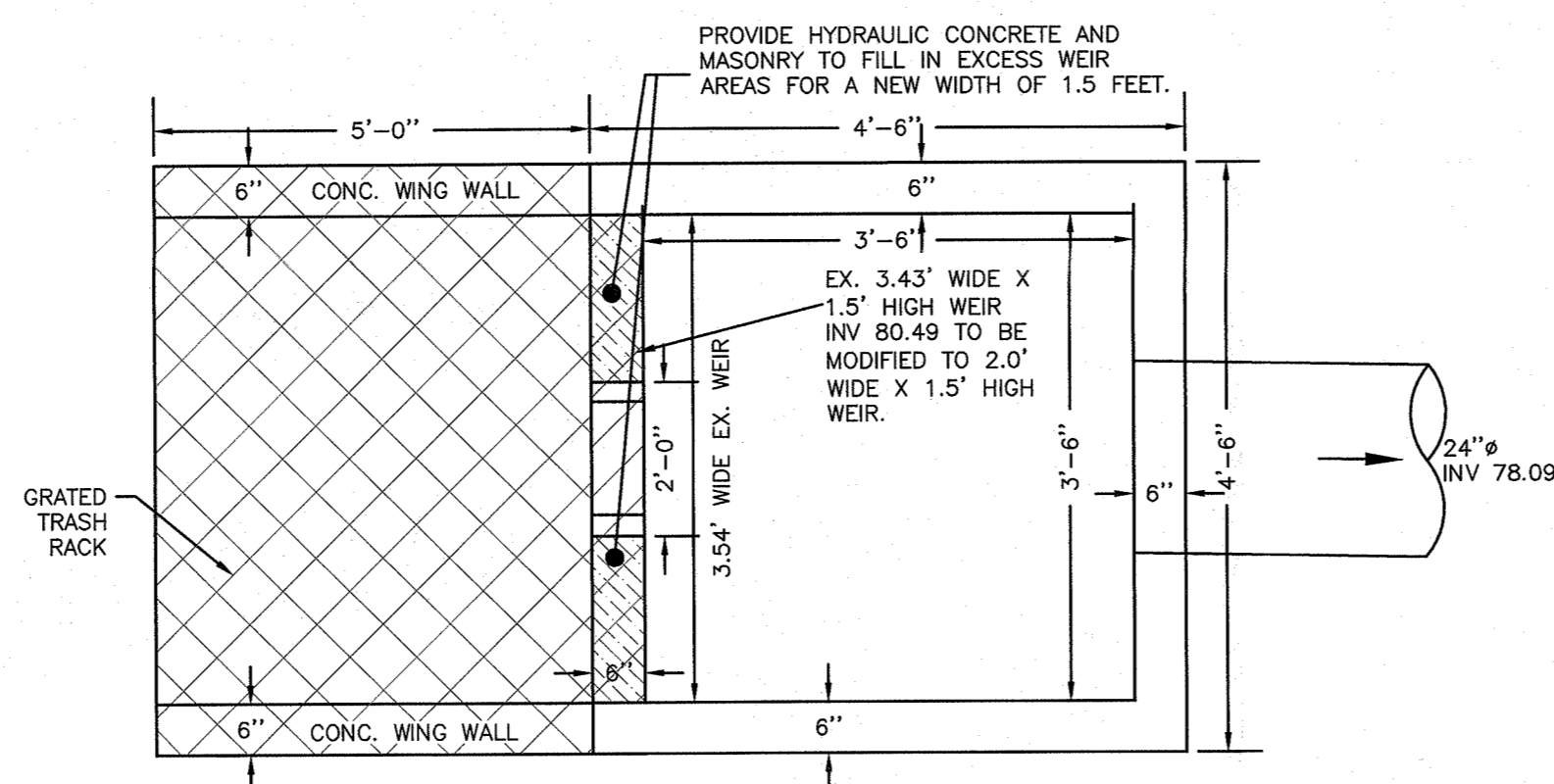
PIPE TRENCH BACKFILL DETAIL
N.T.S.



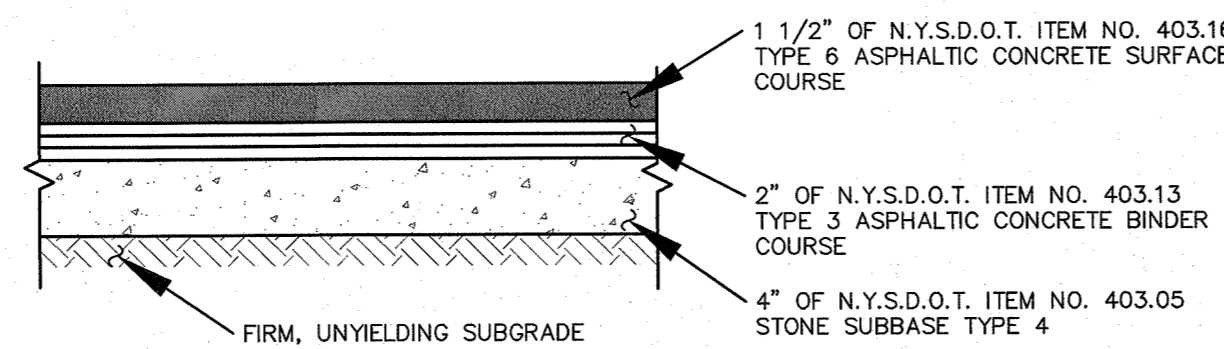
CATCH BASIN, CURB INLET (CI) WITH TYPE N HEAD & FIELD INLET (FI) DETAIL
N.T.S.



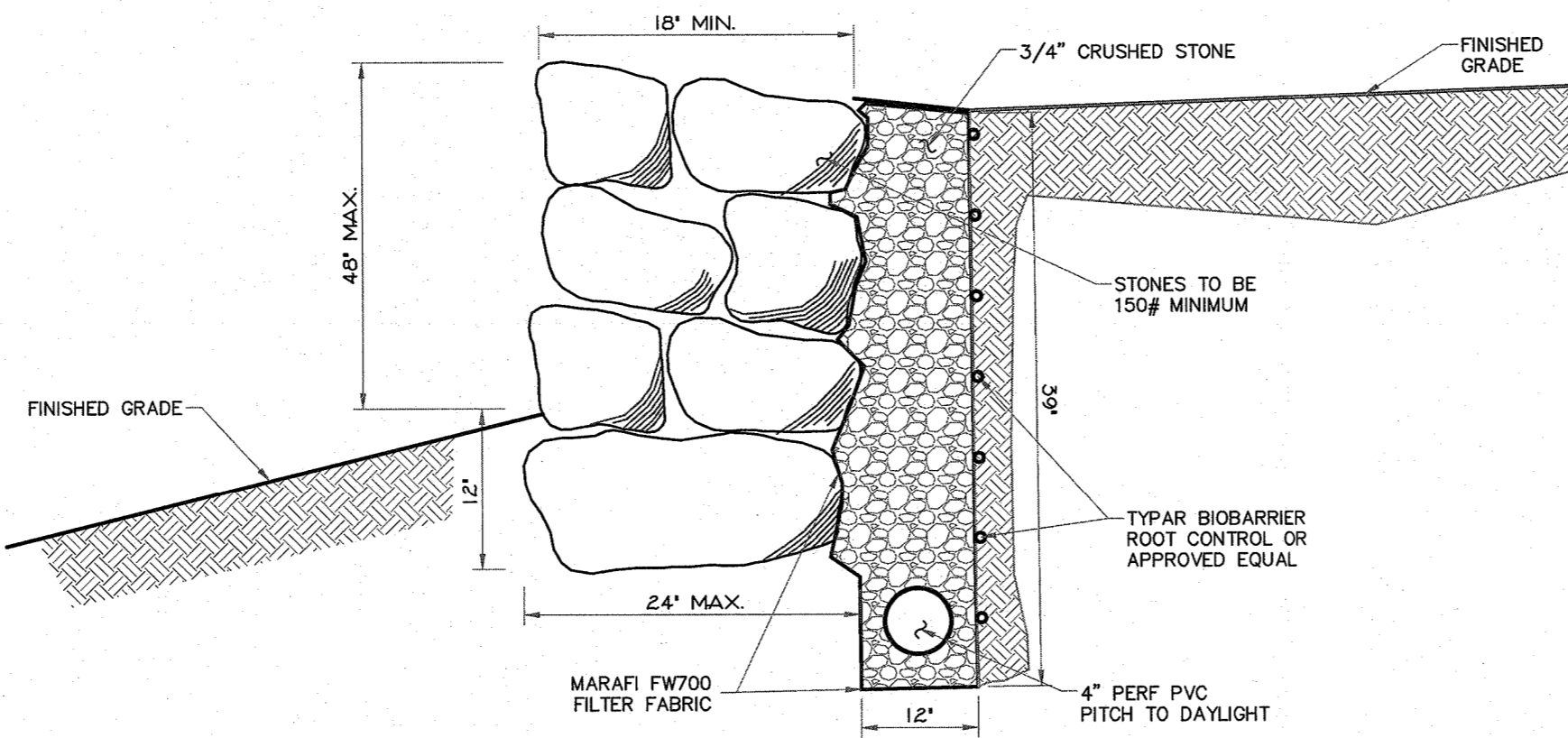
EXISTING PLAN VIEW



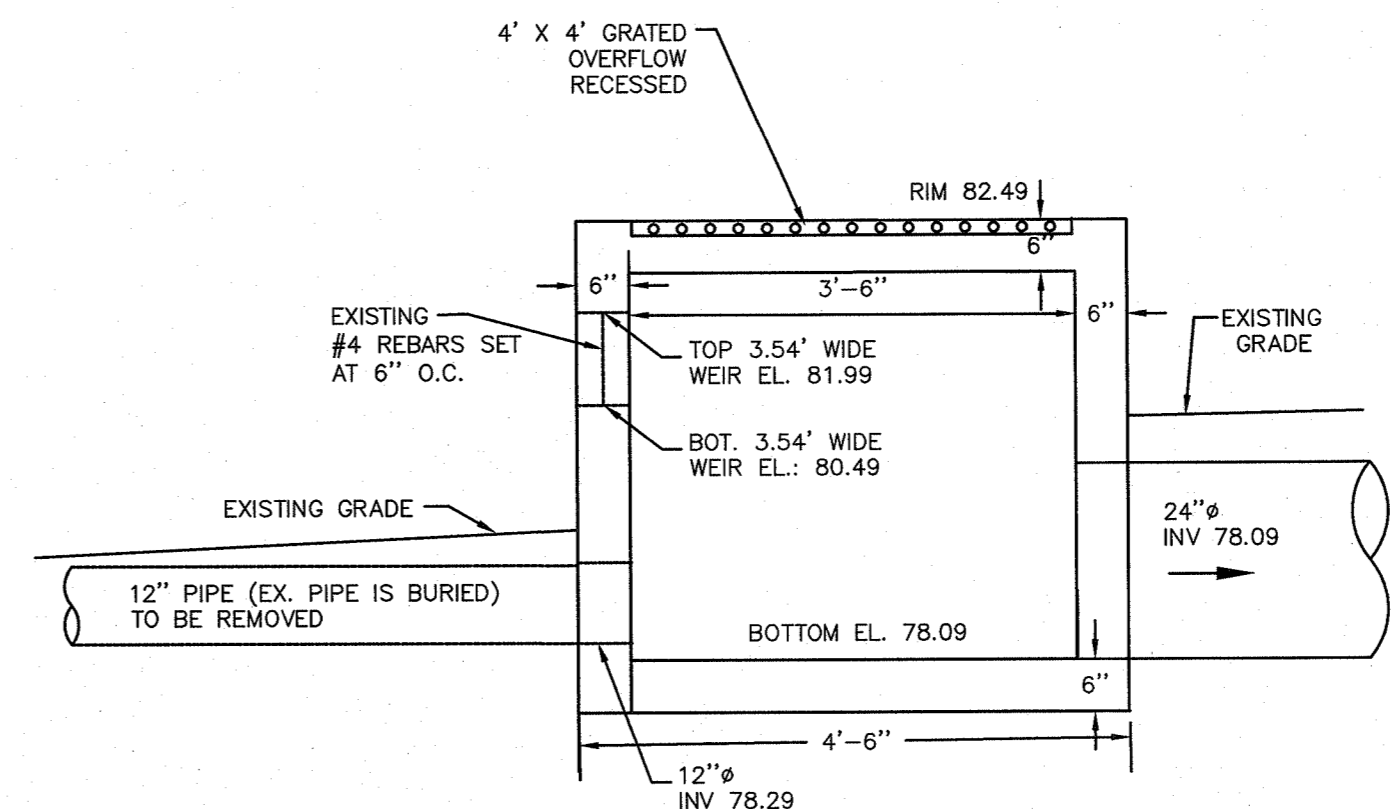
MODIFICATION PLAN VIEW



PAVEMENT SECTION: PARKING LOT
N.T.S.

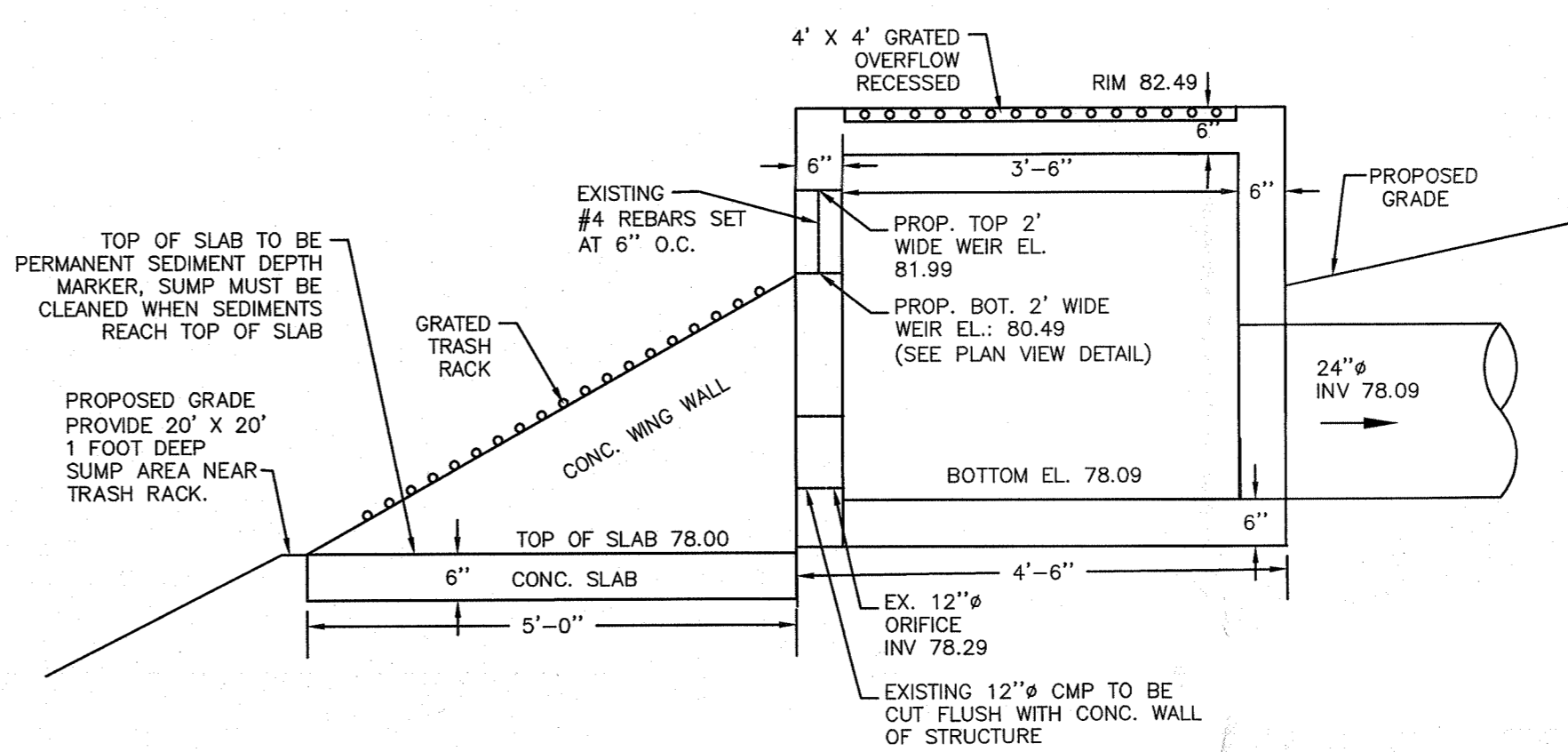


STONE RETAINING WALL DETAIL
N.T.S.



EXISTING PROFILE VIEW

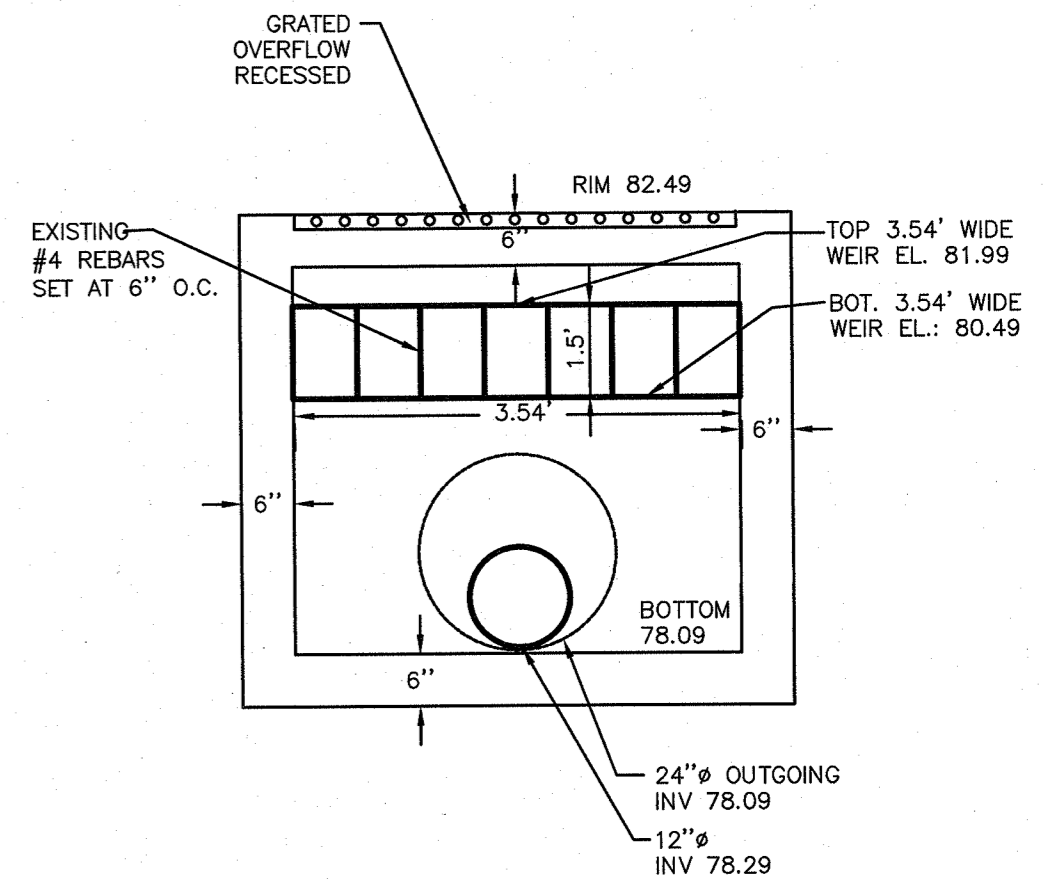
EXISTING DETENTION SYSTEM INLET/OUTLET STRUCTURE DETAIL
N.T.S.



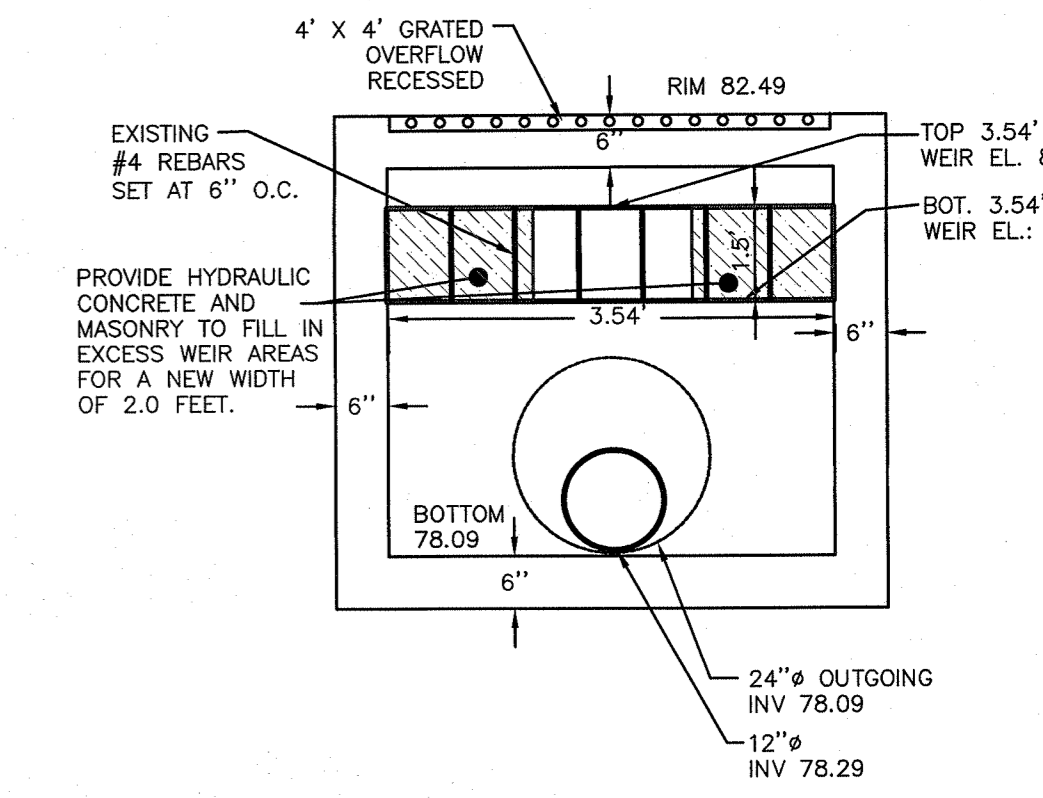
MODIFICATION PROFILE VIEW

EXISTING DETENTION SYSTEM INLET/OUTLET STRUCTURE PROPOSED MODIFICATION DETAIL
N.T.S.

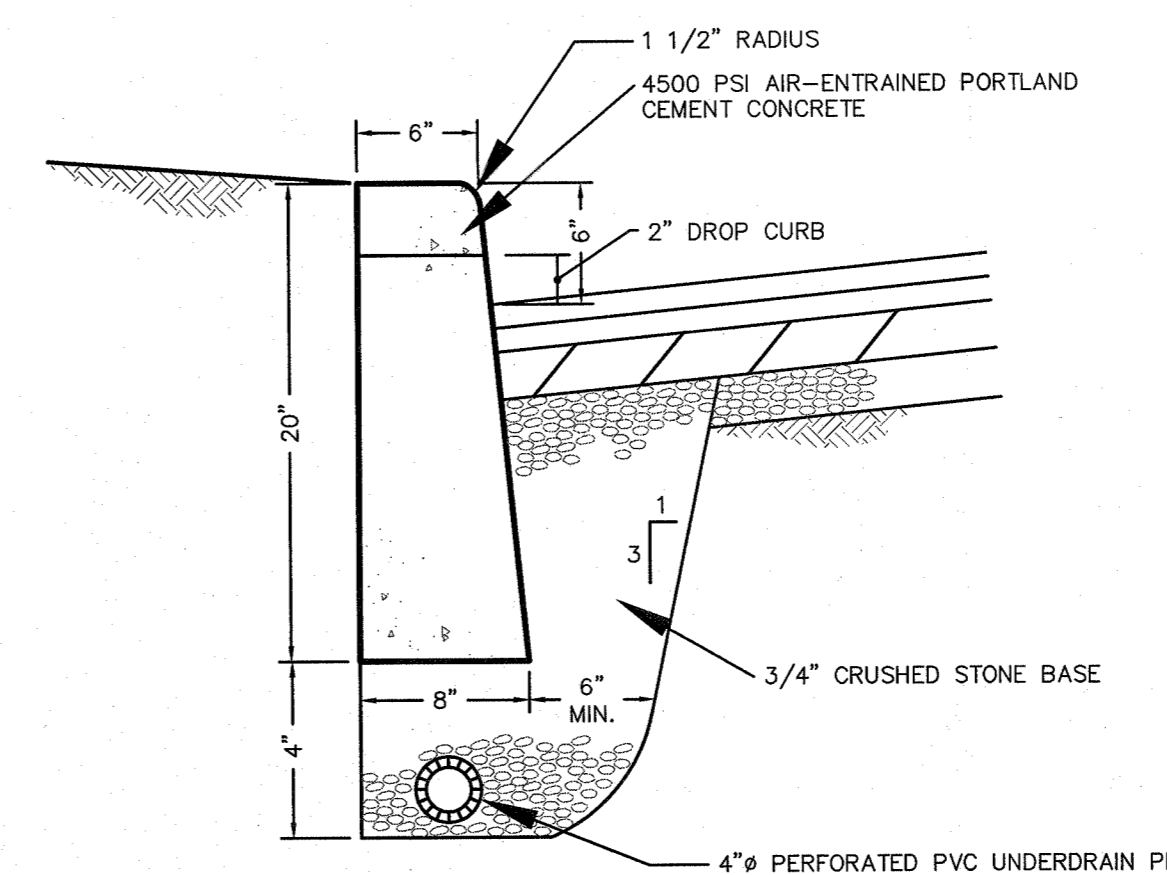
NOTES:
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ANY CHANGES TO DESIGN ENGINEER FOR APPROVAL BEFORE MANUFACTURING/MODIFICATIONS.



EXISTING X-SECT VIEW



MODIFICATION X-SECT VIEW



CURB DETAIL: CONCRETE
N.T.S.

1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS, TO FULL DEPTH OF CURB.
3. UNDERDRAIN MAY BE ELIMINATED IN PARKING LOTS AND OTHER NON-PUBLIC FACILITIES.



REVISIONS	
REV: PER TOWN COMMENTS - 6/15/20	
REV: PER TOWN COMMENTS - 8/18/20	

DETAILS (SHEET 1 OF 11)
FOR
BCH REALTY, LLC
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

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SP-4042
JAN. 28, 2020
A5 NOTED
7 OF 7