

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

2021 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51070  
 ASSIGNED  
 INSPECTOR: MM

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Proposed Setached Garage for Mr. & Mrs. Davis

Street Address: 657 Gilbert Ave Pearl River NY 10965

Tax Map Designation:

Section: 69.16 Block: 4 Lot(s): 68

Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:

On the right side of Gilbert, approximately 100 feet from \_\_\_\_\_ of the intersection of Sickl Town Rd, in the Town of ORANGETOWN in the hamlet/village of Pear River.

Acreage of Parcel _____	Zoning District <u>R-15</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Orangetown</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)  
Proposed Detached Garage as per attached plans.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
 Date: 2/17/21 Applicant's Signature: Robert Davis



# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If special permit, list special permit use and what the property will be used for.

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### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there streams on the site? If yes, please provide the names. \_\_\_\_\_

Are there wetlands on the site? If yes, please provide the names and type: \_\_\_\_\_

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### Project History:

Has this project ever been reviewed before? \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**  
20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: February 17, 2021

Applicant: Davis

Address: 657 Gilbert Ave, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 4 Max FAR 20% w/ 29.9% proposed.  
One variances required

Section: 69.18 Block: 4 Lot: 68

Dear Davis:

Please be advised that the Building Permit Application, which you submitted on

February 4, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

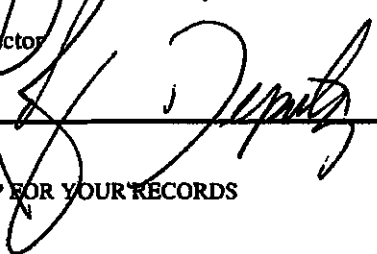
**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

  
Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

**APPLICATION FOR BUILDING / DEMOLITION PERMIT  
TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-1S</u> <u>(CMT)</u>	OFFICIAL USE ONLY	ACREAGE: <u>1.28</u>
Inspector: <u>Mike</u>	Date App Received: <u>2-4-2021</u>	Received By: <u>[Signature]</u>
Permit No. <u>51070</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>\$ 870.-</u>	Ck# <u>325</u>	Paid By <u>Davis</u>
GIS Fee: <u>\$ 20.-</u>	Ck# <u>326</u>	Paid By " "
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1 <sup>st</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2 <sup>nd</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application,  
**PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

Property Location: 657 Gilbert Ave Pearl River NY 10965

Section: 69.18 Block: 4 Lot: 68

Property Owner: Mr. & Mrs. Davis

Mailing Address: 657 Gilbert Ave Pearl River NY 10965

Email: Robert.Davis@pfizer.com Phone #: 845-664-0886

Lessee (Business Name): N/A

Mailing Address: N/A

Email: N/A Phone #: N/A

Type of Business /Use: Residential

Contact Person: Karl Ackermann, AIA Relation to Project: Architect

Email: Karlarch159@gmail.com Phone#: 845-661-0893

Architect/Engineer: Karl Ackermann, AIA NYS Lic # 027393

Address: 159 E Central Avenue, Pearl River NY 10965 Phone#: 845-661-0893

Builder/General Contractor: TBD RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Plumber: TBD RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Electrician: TBD RC Lic #: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Heat/Cooling: TBD RC Lic#: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Existing use of structure or land: Existing Single Family Residence

Proposed Project Description: Proposed Detached Garage as per attached plans.

Proposed Square Footage: 418 s.f. Estimated Construction Value (\$): 41,000.

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR:

Chapter 43, Table 3.1B, Column R-1S Detached, Column 2 Group M,  
Column 3 Single family detached residence, Column 4 Maximum Height  
20% with 29.9% proposed. One Variance required.

[Signature]

FOR OFFICE  
USE ONLY

SECTION

BLOCK

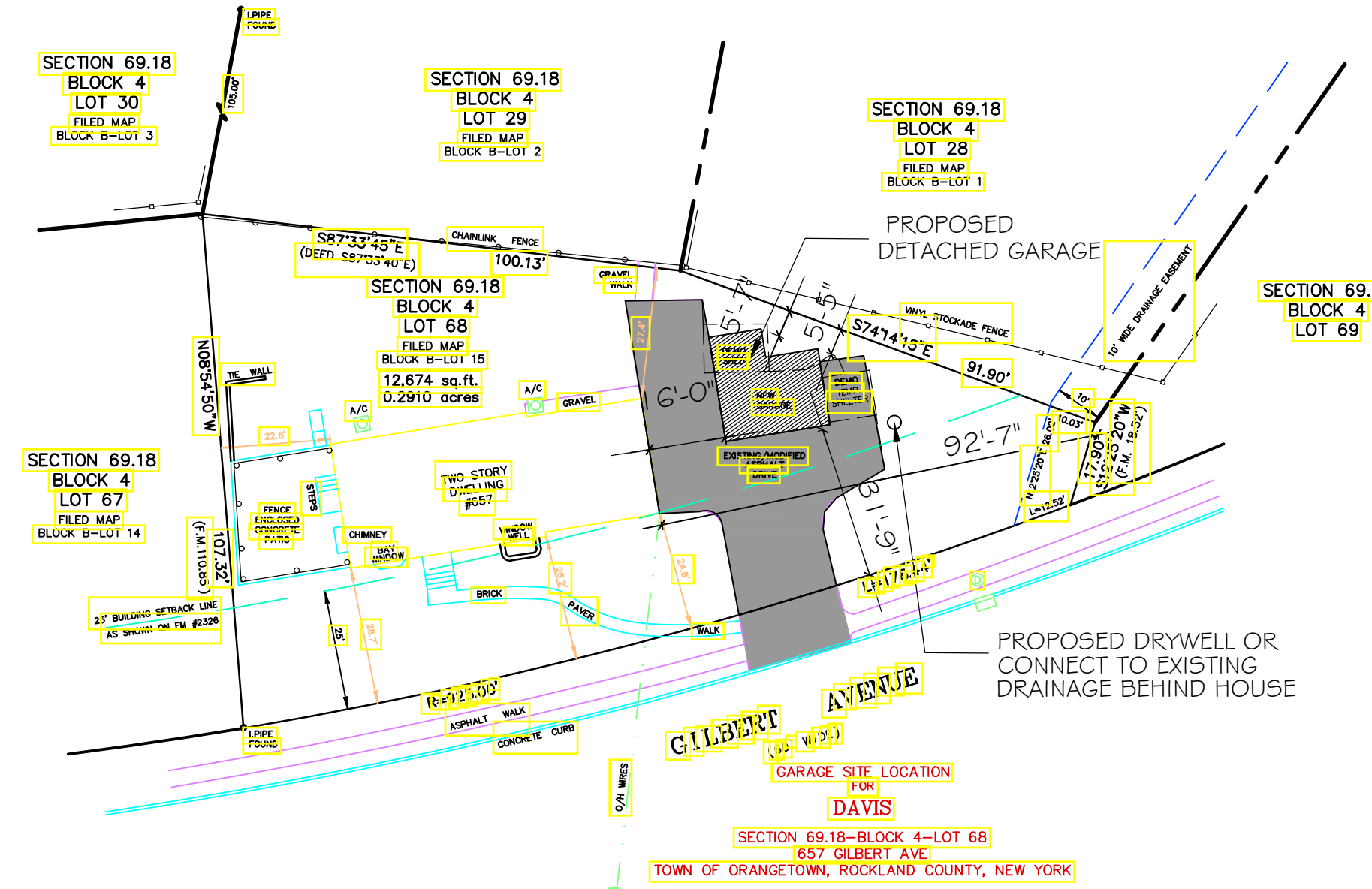
LOT

NAME

PERMIT#

VIS	PRINT KEY	NAME	ADDRESS
2489	69.18-4-25	Roy Nilsen	132 So Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-26	Kathleen Kushner	140 S Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-27	James Solesky	19 Sickletown Rd,Pearl River, NY 10965
2489	69.18-4-28	James B Ferraro	145 S Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-29	John J Aris	137 So Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-30	Joshua Bologh	131 S Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-31	Brian W Casse	123 S Nauraushaun Rd,Pearl River, NY 10965
2489	69.18-4-66	Mark Mestousis	635 Gilbert Ave,Pearl River, NY 10965
2489	69.18-4-67	Rosemary Flynn	647 Gilbert Av,Pearl River, NY 10965
2489	69.18-4-68	Robert Davis	657 Gilbert Ave,Pearl River, NY 10965
2489	69.18-4-69	County Of Rockland	Rockland County Office Bldg,New City, NY 10956
2489	69.18-4-70	Patrick M Toal	638 Gilbert Av,Pearl River, NY 10965

**SITE LOCATION PLAN**



**SITE LOCATION PLAN**  
 THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY JAMES G. SCHEUERMANN, N.Y.S.L.S.  
 THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.  
 SCALE: 1"=30'-0"

**GENERAL NOTES**

GENERAL NOTE: (SEE SPECIFICATIONS)

1. All work and materials shall conform to all local, county and New York State Codes.
2. Contractor to consider all dimensions approximate pending field verification, prior to construction, consult architect as required.
3. Contractor to furnish and provide all labor materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner, job shall be ready for occupancy in a good workmanship manner with all work done as shown or reasonable intended on documents. It shall include but not limited to:
  - A. Building permit
  - B. Certificate of Insurance
  - C. Demolition as required
  - D. Excavation
  - E. Masonry
  - F. Carpentry
  - G. Roofing and Flashing
  - H. Siding
  - I. Caulking/Sealant
  - J. Gutters and leaders
  - K. Insulation
  - L. Gypsum board and taping
  - M. Painting and Finishing
  - N. Trim work
  - O. N/A
  - P. Electrical
  - Q. N/A
4. Contractor shall furnish and install interior paint and exterior paint as specified.
5. All framing lumber to be #2 Douglas Fir or better. All new work and materials unless otherwise specified shall match existing construction.
6. All materials shall be installed in strict accordance with manufacturers specifications.
7. All windows are to be "ANDERSEN Windows" as shown on the drawings. Pricing to include grilles and screens. Contractor to also include interior extension jambs for 4/6" stud walls additional extensions required shall be field installed and casing to match existing house trim. Contractor to also include hand lift hardware. Contractor to consult owner for window finish.
8. Electrical contractor shall provide a complete system as per plans that meets energy star requirements and NYS State Codes. See spec and electrical allowance plans.
9. See specifications for additional notes & information

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his stamp the seal of the altering architect, and shall indicate the date of such alteration, and a specific description of the alteration.

**BULK TABLE**

**SITE DATA ZONING BULK TABLE**

EXISTING - NON CONFORMING - Chapter 43, Section 5.21 (c,e), Undersized Group M Lot  
 657 Gilbert Ave - PEARL RIVER NY 10965  
 TAX MAP - SECTION 69.18, BLOCK 4, LOT 68 - R-15 ZONE

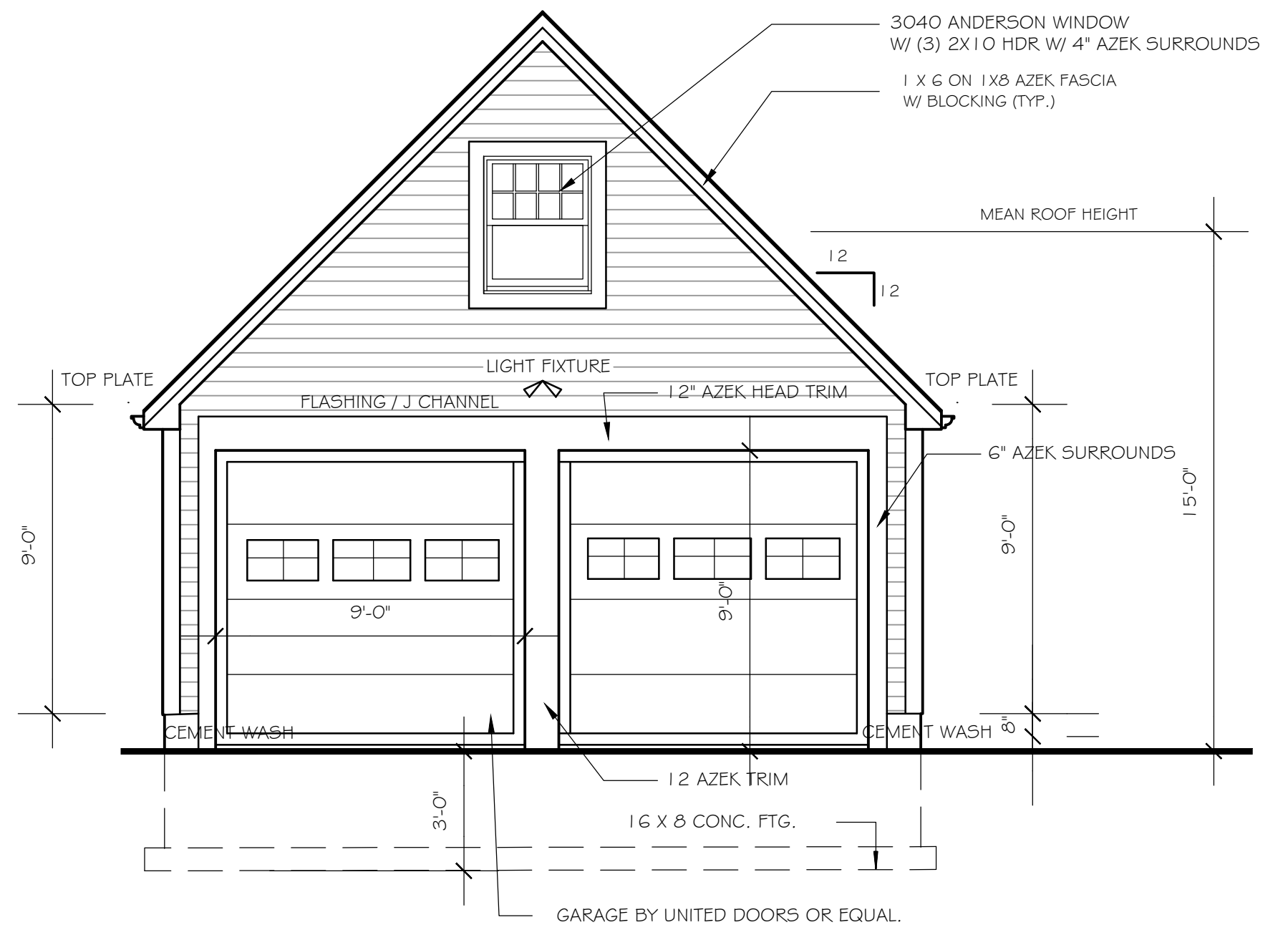
EXISTING	PROPOSED	REMARKS
LOT REQUIRED 15,000 S.F.	EXISTING LOT AREA= 12,674 SQ. FT.	EXISTING LOT AREA= 12,674 SQ. FT. (ENC)
FAR - .20 (20%)	EXISTING FAR - 3,326 / 12,674 = .2624 (26.24%)	PROPOSED FAR - 3,790 / 12,674 = .2990 (29.90%) (VARIANCE)
FRONT YARD SET BACK: 30'-0"	FRONT YARD SET BACK: 24.8'	FRONT YARD SET BACK: 24.8' (ENC)
SIDE YARD SET BACK: 30'-0" (15'-0" allowed reduction 5.21 c)	SIDE YARD SET BACK: 22'-8" (15'-0" allowed reduction 5.21 c)	SIDE YARD SET BACK: 22'-8" (15'-0" allowed reduction 5.21 c)
COMBINED SIDE YARD SET BACK: 50'-0" (30'-0" allowed reduction 5.21 c)	COMBINED SIDE YARD SET BACK: 115.25' (30'-0" allowed reduction 5.21 c)	COMBINED SIDE YARD SET BACK: 115.25' (30'-0" allowed reduction 5.21 c)
REAR YARD SET BACK: 35'-0"	REAR YARD SET BACK: 27.4'	REAR YARD SET BACK: 27.4' (ENC)
LOT WIDTH: 100'-0"	LOT WIDTH: 190.96'	LOT WIDTH: 190.96'
STREET FRONTAGE: 75'-0"	STREET FRONTAGE: 190.96'	STREET FRONTAGE: 190.96'
20'-0" (5.21 e 20'-0" Max.)	EXISTING	EXISTING / PROPOSED GARAGE 15' TO MEAN ROOF

**EXISTING F.A.R. DATA**

EXISTING FIRST AND SECOND FLOOR - 3,326 S.F.  
 EXISTING FAR - 3,326 / 12,674 = .2624 (26.24%)

**PROPOSED F.A.R. DATA**

PROPOSED FIRST AND SECOND FLOOR AND GARAGE - 3,790 S.F.  
 PROPOSED FAR - 3,790 / 12,674 = .2990 (29.90%)



**FRONT ELEVATION & REAR SIMILAR W/ OUT DOOR**  
 SCALE: 1/4"= 1'-0"

**Karl Ackermann, AIA NCARB**  
 Architect

159 East Central Avenue  
 Pearl River, New York 10965  
 (845) 734-3932 karl@ackermann.com  
 Residential & Commercial Architecture and Green Design  
 New York & New Jersey Licensed Architect



**Proposed Garage for Mr. & Mrs. Davis**  
 657 Gilbert Avenue, Pearl River NY 10965

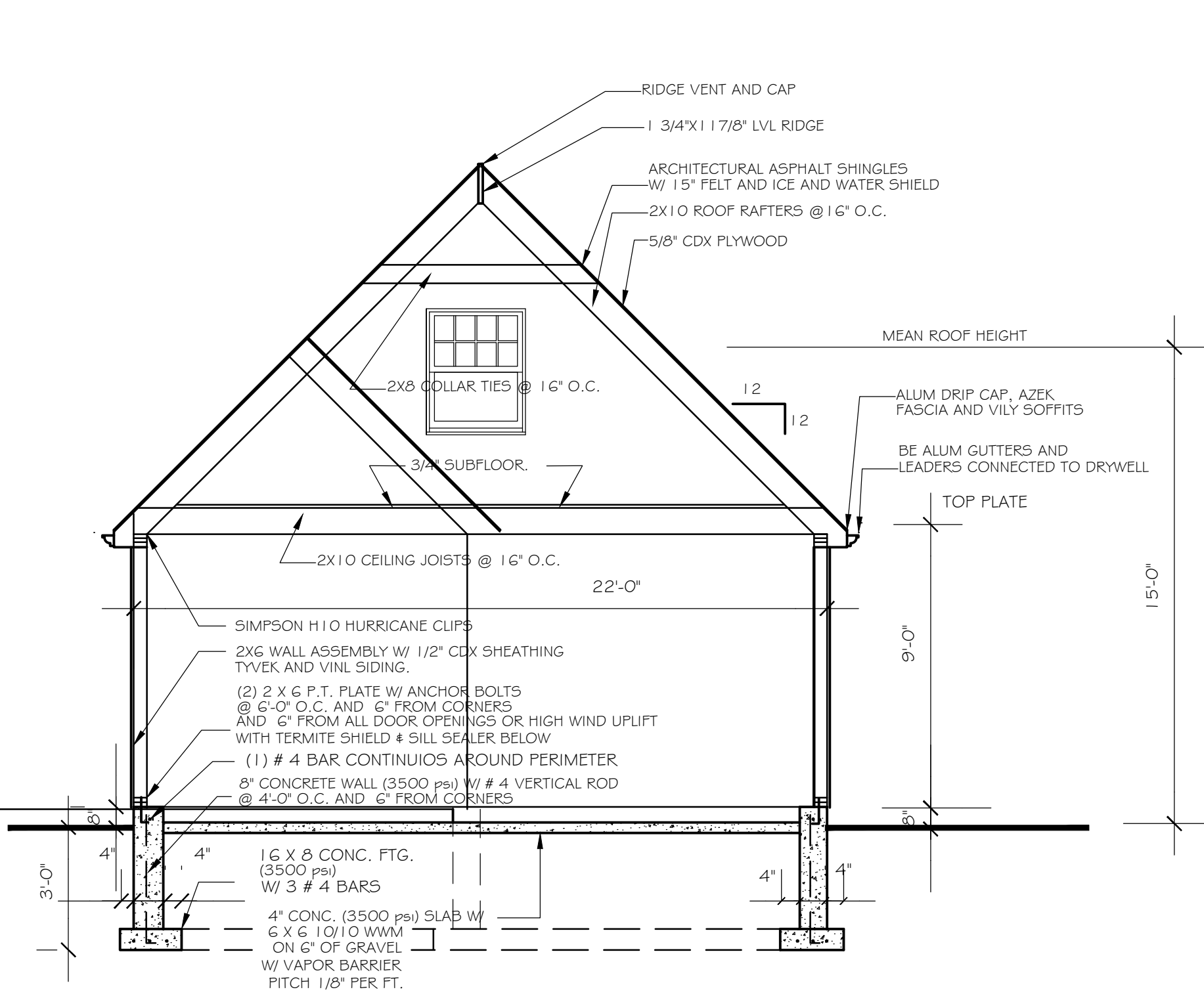
Issue Date: 12/19/20

Revisions
1 PERMIT 1/30/21
2
3

Sheet No.

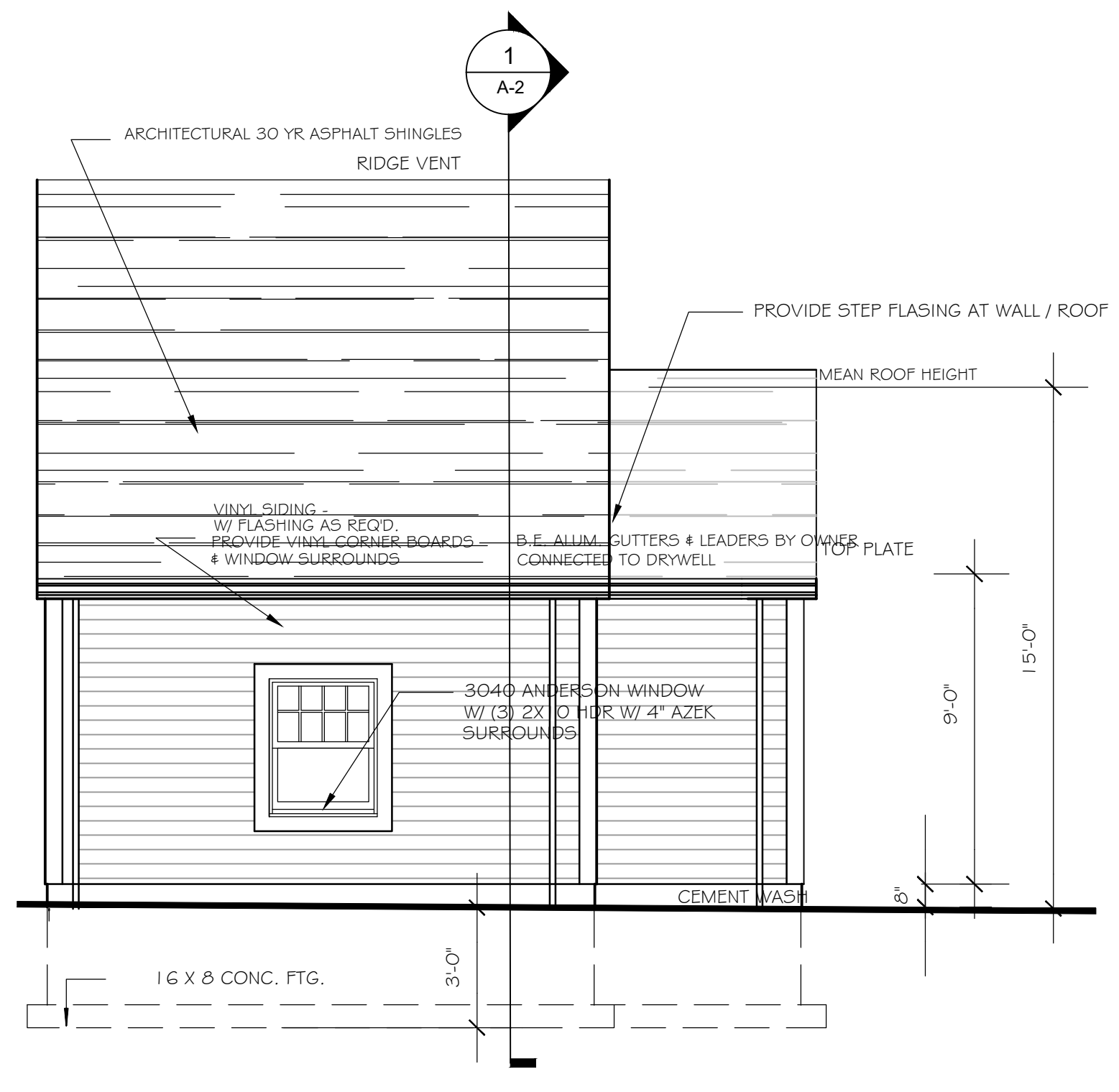
**A-1**





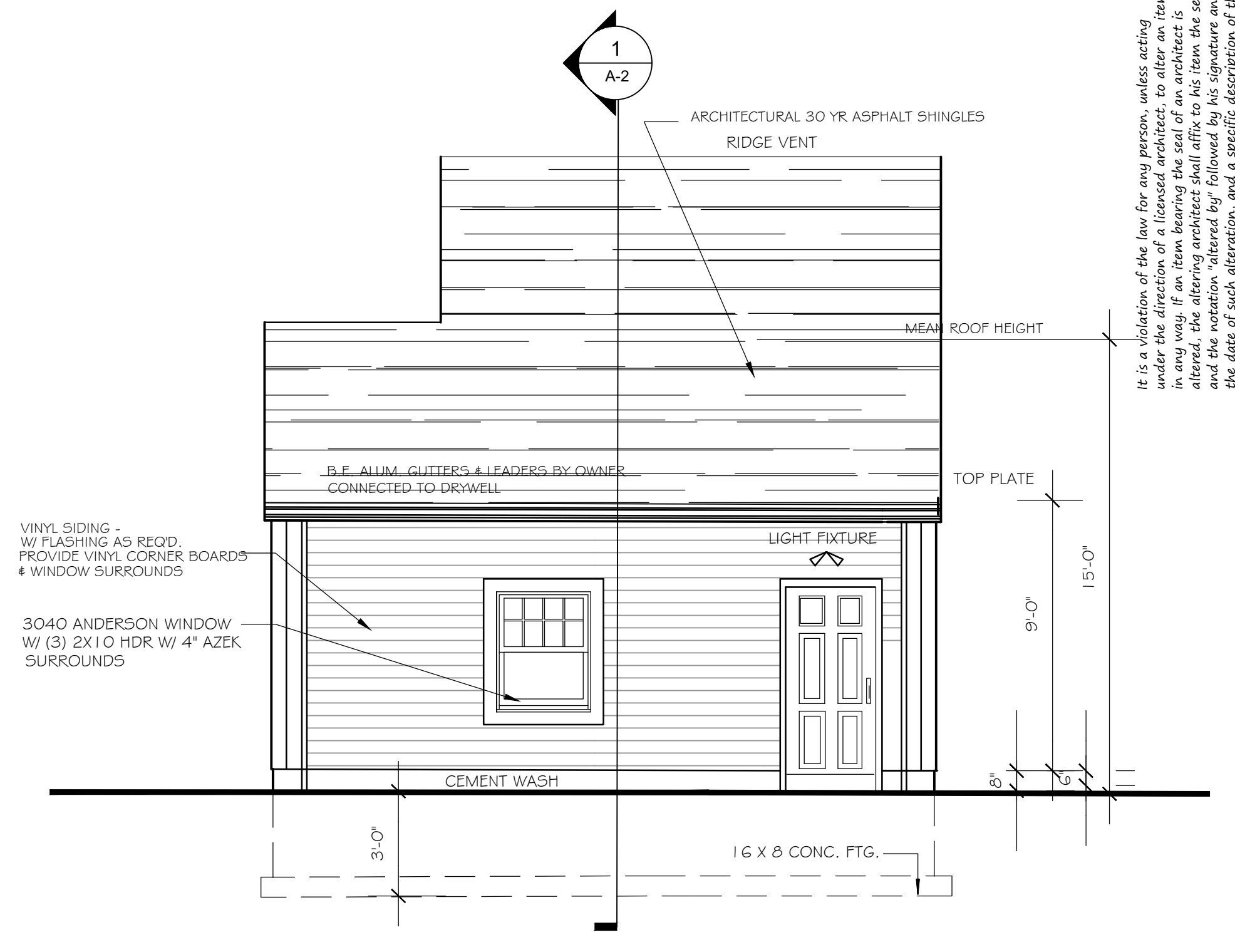
**SCHEMATIC SECTION**

SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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Karl Ackermann, AIA NCARB  
 Architect  
 159 East Central Avenue  
 Pearl River, New York 10965  
 (845) 732-9792 karl@karlackermann.com  
 Residential & Commercial Architecture and Green Design  
 New York & New Jersey Licensed Architect  
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1  
A-2

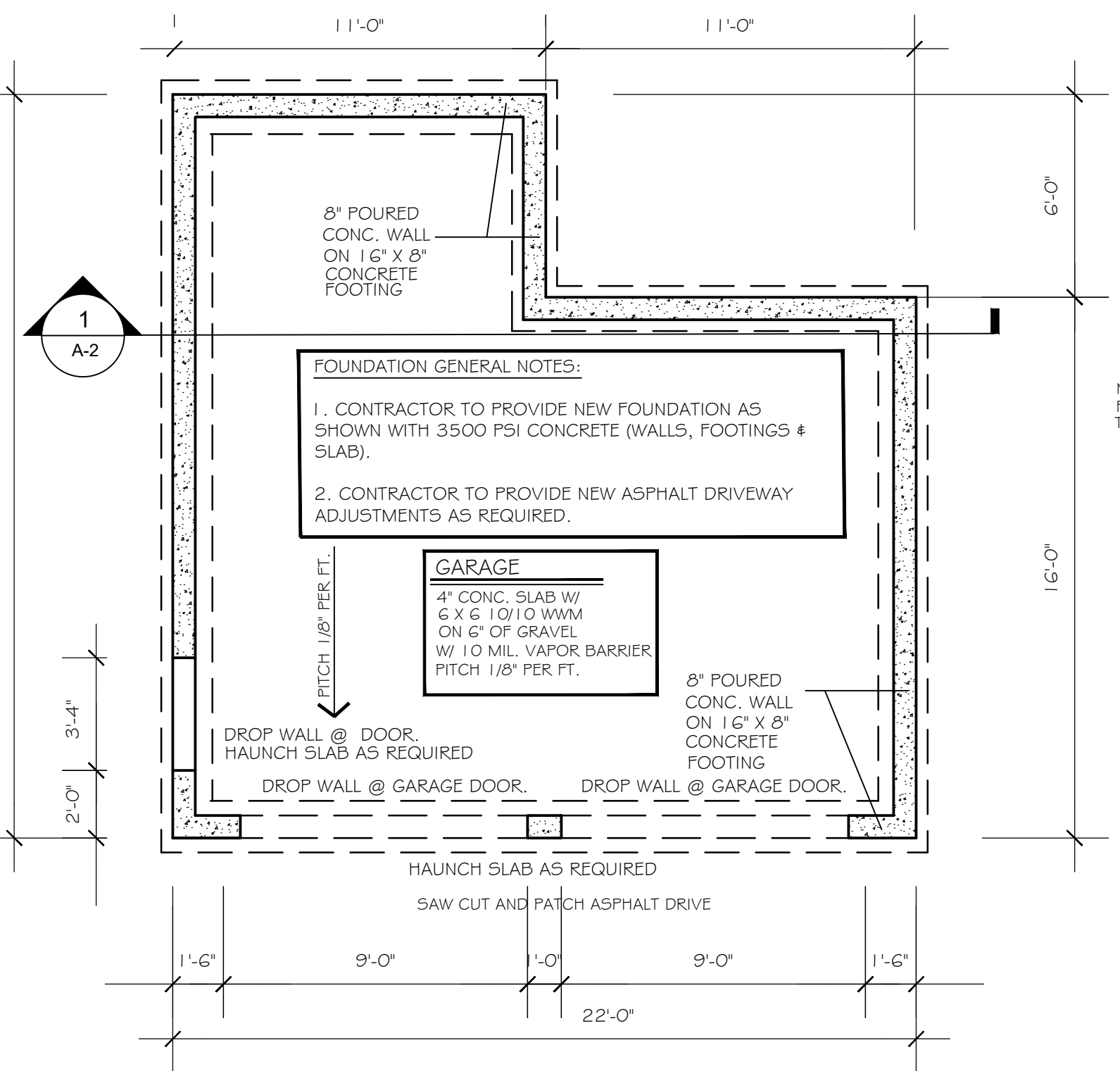
1  
A-2

1  
A-2

**Electrical Fixture Schedule**

NOTE: FINAL LOCATION OF ALL FIXTURES TO BE LOCATED IN FIELD WITH OWNER  
 NOTE: ALL OUTLETS, PHONE AND CABLE JACKS TO BE MARKED 18" X 4" X 4" UNLESS NOTED  
 NOTE: ALL SWITCHES AND OUTLETS AT COUNTERS (EXCEPT A.F.F.)

Symbol	Fixture Type
1	GARAGE - LED STRIP LIGHT
1/4	WALL SWITCH
1/4 <sup>3</sup>	3 WAY SWITCH
1/4	DUPLEX RECEPTACLE

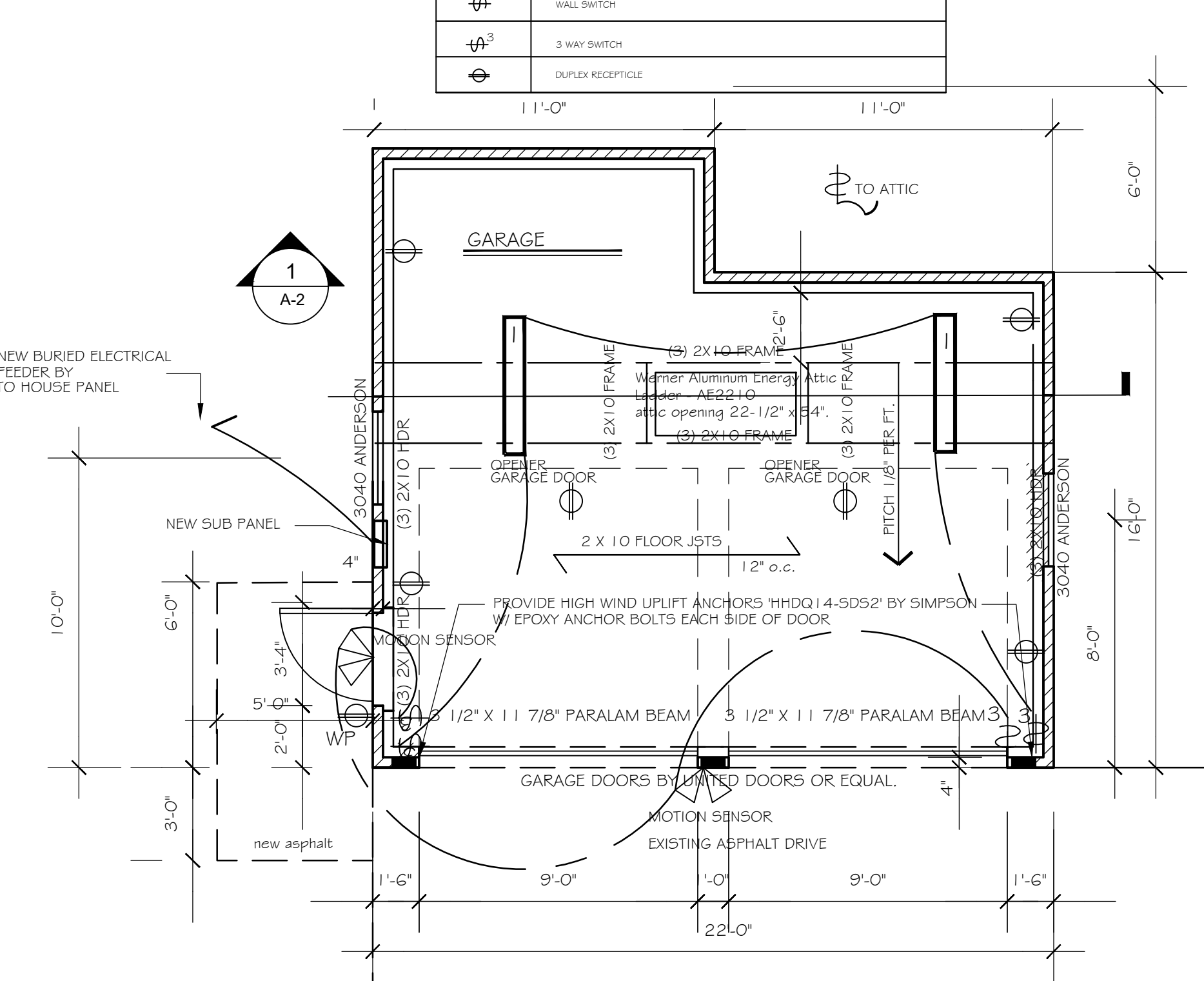


**FOUNDATION LEGEND**

NEW CONCRETE FOUNDATION WALL

**GARAGE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

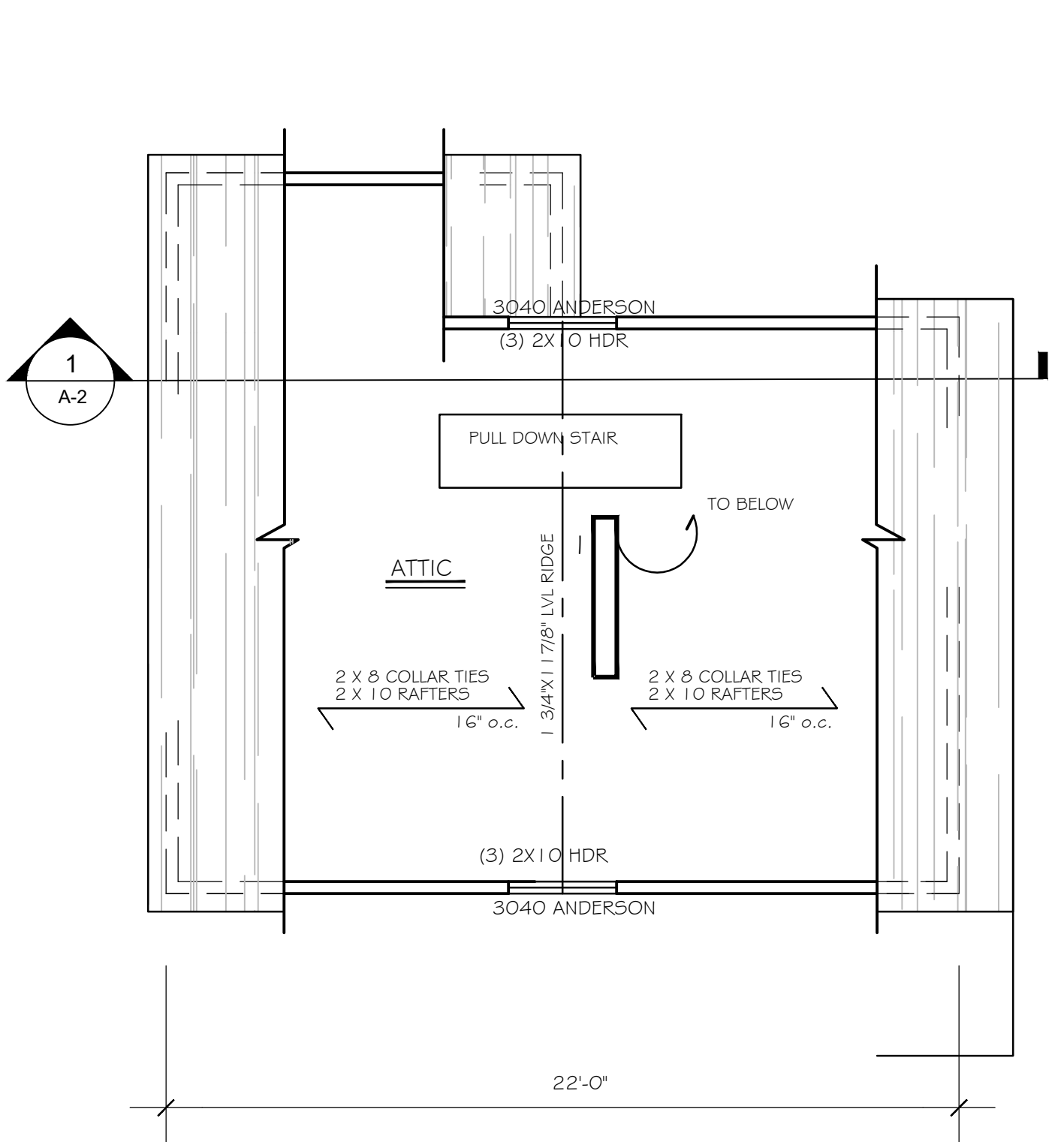


**CONSTRUCTION LEGEND**

NEW STUD WALL  
 2 X BUILT UP WOOD POST EQUAL IN WIDTH TO BEAM ABOVE

**GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**CONSTRUCTION LEGEND**

NEW STUD WALL  
 2 X BUILT UP WOOD POST EQUAL IN WIDTH TO BEAM ABOVE

**GARAGE ATTIC PLAN**

SCALE: 1/4" = 1'-0"

Proposed Garage for  
**Mr. & Mrs. Davis**  
 657 Gilbert Avenue, Pearl River NY 10965

Issue Date: 12/19/20

Revisions	Date
1	PERMIT 1/30/21
2	
3	

Sheet No.

**A-2**



GENERAL CONSTRUCTION SPECIFICATIONS  
DIVISION 1 - GENERAL CONDITIONS

1.1 **Scope of Work:** Contractor shall furnish and install all labor, materials and equipment required to complete all work shown on drawings and work required for a complete project. All materials and workmanship shall be of the best quality and shall meet all applicable codes. Drawings and specifications shall serve as general limits and minimum standards for scope of work. Contractors, sub-contractors and vendors shall abide by and provide for residential or commercial industry standards as well as adhering to building code requirements.

1.2 **Code Compliance & Building Standards:** All work and materials shall conform and comply with all local codes, ordinances and the following authorities as applicable:

- 2020 NYS RESIDENTIAL BUILDING CODE
- 2020 NYS Energy Conservation Construction Code
- 2020 NYS FIRE BUILDING CODE
- 2020 NYS FUEL GAS BUILDING CODE
- 2020 NYS Existing Building Code
- 2014 National Electric Code
- National Fire Underwriter Code

1.3 **Permits:** The contractor is responsible for filing for any and all permits including the general permit from the local building department. The Owner shall pay the permit fee. Each construction trade shall be responsible for obtaining permits relevant to their respectable trades, as well as all required inspections, (i.e. UL-electrical permits and inspection; plumbing permits and inspections if applicable). Final payments shall be subject to the contractor providing the Owner with a Certificate of Occupancy upon completion of the job.

1.4 **Certificates and Inspections:** The Contractor shall schedule and perform all required inspections. Contractor shall coordinate the required municipality inspections with the local code enforcement official. Contractor shall furnish Owner with a Certificate of Occupancy from the permitting agency. Contractor shall furnish all other warranties and documentation listed in specification before project completion and final payment. If a residential structure/addition uses truss type floor and or roof construction the residence shall have the approved signage affixed to the electrical panel and mounted on the exterior of the residence as per NYS Code. Signage shall be installed as per standards described in the NYS Code.

1.5 **Certificate of Insurance:** Contractors shall furnish Owner copies of insurance policies required by permitting agency including workers compensation, naming Owner and Architect as certificate holders.

1.6 **Licenses:** General Contractor and each trade shall be licensed as required by the State of New York, Westchester County or the municipality governing the proposed work. Contractor shall furnish a copy of license certificate of all trades who will be working on the project to the Owner.

1.7 **GUARANTEE:** The General Contractor shall provide a one year guarantee for all workmanship and material from date of substantial completion as established by the Architect. General Contractor shall furnish all other documentation, manuals and warranties before project completion and receipt of final payment.

1.8 **Contract:** Contractor shall execute a contract with Owner using an AIA document or agreement approved by both parties. The Architect shall prepare the AIA contract.

1.9 **Contract Set of Prints:** If required by article of construction contract, the Contractor and owner shall sign a set of contract documents (drawings & specifications) which shall serve as the contract scope of work for the project. Additional agreed upon items shall be written and approved by both parties and become a part of the contract.

1.10 **Allowances:** Shall be included in the contractors Scope of Work. The allowances are to be applied toward the purchase of a pre-contract schedule of items created by the Owner, Architect and Contractor. Installation of all allowance items shall included in the general contract Scope of Work.

1.11 **SUBSTITUTIONS:** In general, equal or better product substitutions are permitted where specific esthetic desires or requirements are not in question. Proposed alternative submittal documents shall include a side by side comparison to the specified product's submittal document(s).

DIVISION 3 - CONCRETE

3.1 **Poured Concrete:**

A. **MATERIALS:** For basement walls, foundations, exterior walls, footings and interior floor slabs (not garage floor slab); concrete shall be 3,000 psi, air-entrained (total air content, % by volume of concrete, shall be not less than 5% or more than 7%) and batched at a central plant. For garage floor slab, porches and steps exposed to weather; concrete shall be 3,500 psi, air-entrained and batched at a central plant. Concrete shall be steel trowel finish. No slab shall be less than 3 1/2" thick as per R506.1.

B. **SUBMITTALS:** Product data, batch tickets and test results for 28-day compression tests

C. **EXECUTION:**

- No work with materials containing water shall be carried out during unreasonably cold weather.
- Work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken: Water shall be heated and kept warm. Sand shall be heated and kept warm. An anti-freeze such as "Evo" made by Euclid Chemical Co. "Tri-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer. Material shall be placed as soon as possible and shall not be permitted to get too cold. No material containing ice or frozen parts shall be used. All footings and trenches when exposed must be dewatered and protected from freezing.

3. Work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.

4. Contraction joints shall be provided by placing plastic inserts or grooves into the fresh concrete to a depth of 1/4 the thickness of the slab or with saw cuts. Saw cuts shall be made the same day that the concrete is cast.

Contraction joint spacing for interior concrete of 4" thickness shall be 16'-0" max on center and for interior concrete of 5" thickness shall be 20'-0" max on center.

5. Isolation joints shall be provided between the slab edge and the foundation wall, except as otherwise indicated. Isolation joints shall be provided around steel column connections to footings. Isolation joints shall be provided on the concrete slab if it exceeds 100'-0" in any dimension.

6. Do not overwork the concrete surface to avoid crazing cracks.

7. Do not add mix water to concrete beyond the amount for proper slumps.

8. Spray a curing compound on fresh concrete immediately after the final finishing operation. Ensure the coverage rate meets the manufacturer's recommendation.

3.2 **Steel Reinforcing:**

- A. **MATERIALS:** A36 or A307 steel reinforcing in concrete walls and footings with a minimum yield strength of 60,000 psi.
- B. **SUBMITTALS:** Certificate identifying steel type and strength
- C. **EXECUTION:** Bars in walls must be tied to footing bars.

3.3 **WELDED WIRE Mesh Reinforcing:**

- A. **MATERIALS:** 6x6-W4, 6x4-W4, 6x4-W4 welded wire mesh (WWM) reinforcing
- B. **SUBMITTALS:** Submit manufacturer's product data
- C. **EXECUTION:** Comply with the manufacturer's specifications and installation instructions. Place WWM reinforcing between a 1/3 to a 1/2 of the depth of the slab from the top.

DIVISION 4 - MASONRY

4.2 **CONCRETE BLOCK:**

A. **MATERIALS:**

- BELOW GRADE BLOCK:** Standard 60% solid, 8" high x 16" long units in widths indicated on drawings. Blocks shall extend from top of footings to 8" above finished grade or as indicated on drawings.
- ABOVE GRADE BLOCK:** Standard 60%, 8" high x 16" long units in widths indicated on drawings.

A. **SUBMITTALS:** Submit manufacturer's product data

B. **EXECUTION:**

- Comply with the manufacturer's specifications and installation instructions.
- Provide square finished end blocks at ends of block walls above grade.
- Block shall be laid in running bond, reinforced every second course with 9 gage galvanized wire dur-o-wall reinforcing.
- Provide a raked joint at exposed concrete block, unless otherwise noted.
- Fill first two courses top and bottom of wall with grout and coordinate with anchor bolt layout and footing bars.
- Where two block wythe walls exist, provide a dead man course every (3) courses high x 4' high.

DIVISION 5 - METALS

5.1 **METAL FABRICATIONS:**

A. **MATERIALS:**

- general:** For metal fabrications exposed to view in the completed Work, provide materials with smooth, flat surfaces without blemishes. Do not use materials with exposed pitting, seam marks, roller marks, rolled trade names or roughness.
- steel plates, shapes, & bars:** ASTM A-36 or A-36M.
- steel columns:** ASTM A-36 with welded steel plates at top and bottom
- welding rods and bare electrodes:** Select according to AWS specifications for metal alloy welded.
- primer for interior steel:** Shop paint with modified oil-alkyd primer, Tnemec 88-559 or 10-1009 or equivalent. Primer shall be compatible with finish paint.
- primer for galvanized steel:** Shop paint with polyamide epoxy primer, Tnemec F.C. Typoxy Series 27, or equivalent. Primer shall be compatible with finish paint.
- fasteners:** Provide Type 304 or 316 stainless-steel fasteners for exterior use and zinc-plated fasteners with coating complying with ASTM B633, Class Fe/Zn 5, where built into exterior walls, except as otherwise noted. Select fasteners for type, grade, and class required.
- anchor bolts:** ASTM F 1554, Grade 36. Anchor bolts shall be rated for contact to 'ACQ' pressure treated material.
- bolts and nuts:** Regular hexagon-head bolts, ASTM A-307, Grade A, with hex nuts, ASTM A-563 and flat washers. Bolts, nuts and washers shall be rated for contact to 'ACQ' pressure treated material.
- machine screws:** ASME B1.8.6.3
- Lag bolts:** ASME B1.8.2.1
- wood screws:** Flat head, carbon steel, ASME B1.8.6.1
- PLATE WASHERS:** Round, carbon steel, ASME B1.8.22.1
- lock washers:** Helical, spring type, carbon steel, ASME B1.8.21.1
- expansion anchors:** Carbon-steel components zinc-plated to comply with ASTM B-633, Class Fe/Zn 5. Anchor bolt and sleeve assembly of material indicated below with capability to sustain, without failure, a load equal to six times the load imposed when installed in masonry and equal to four times the load imposed when installed in concrete, by testing per ASTM E 488.
- Anchor Components for Portal Wall Bracing:** Provide anchor components with 'Portal Wall System' as manufactured by 'Simpson Strong-tie'.

B. **SUBMITTALS:** For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications and installation manual.

- product data:** for Paint products
- shop drawings:** Detail fabrication and erection of each metal fabrication indicated. Include plans, elevations, sections and details with their connections. Show anchorage and accessory items.
- Welding certificates:** Copies of certificates for welding procedures and personnel. Certify each welder has passed the AWS qualification tests for welding processes involved and, if pertinent, has undergone recertification.

C. **EXECUTION:**

- For each product indicated, comply with the manufacturer's specifications and installation instructions.
- Anchor bolts shall be galvanized steel 1/2" diameter anchor bolts, with a minimum embedment of 12" in foundation wall and 3" hook. Bolts shall be spaced a maximum 6'-0" O.C., a minimum of two bolts in each plate with bolts located not more than 12" or less than seven bolt diameters from each end of the plate. All bolts must have washer and nut securely fastened.

5.2 **cold-formed metal framing:**

A. **MATERIALS:** Standard C-shaped steel studs, punched with stiffened flanges, 0.0329" min base-metal thickness, 1-5/8" flange width. U-shaped steel track, unpunched with unstiffened flanges. An acceptable manufacturer is Dietrich Metal Framing.

B. **SUBMITTALS:** For each product indicated, submit manufacturer's product data, and installation manual.

C. **EXECUTION:** For each product indicated, comply with the manufacturer's specifications and installation instructions.

DIVISION 6 - WOOD

6.1 **Rough Carpentry:**

A. **Materials:**

- Framing Lumber:** All first floor sill plates shall be construction grade, "S.Y.P." pressure treated minimum Fb=1550 psi. All other framing shall be construction grade "Doug. Fir", No. 2 and better, with a minimum Fb of 1000 psi and a maximum moisture content of 19%.
- Cross bracing:** "Doug. Fir" No. 2 and better construction grade, 5/4 x 3, 8' maximum O.C. in all floor and roof framing.
- Subfloor:** Sheathing shall be Advantech 3/4" T&G Flooring - AT1.05 23/32" glued and screwed to floor joists.
- water resistant sheathing:** Sheathing shall be 5/8" CDX, marine-grade plywood on low slope roof and under-deck conditions. Sheathing shall have a panel span rating of 32/16.

Wall Sheathing: Sheathing shall be Advantech 1 1/2" R-sheathing for walls - 'Zip System' with built in water resistive barrier and R-6. All seams must be sealed with 'Zip' system tape. Panel span rating of 32/16 and panel grade shall be APA rated 'Sturd-I-Floor' for subfloors. Contractor must use nail gun attachment to prevent nail penetration beyond manf. Recommendations.

Roof sheathing: Sheathing shall be Advantech 5/8" T&G sheathing for Roofing - 'Zip System' with built in water resistive barrier. All seams must be sealed with 'Zip' system tape. Panel span rating of 32/16 and panel grade shall be APA rated. Contractor must use nail gun attachment to prevent nail penetration beyond manf. Recommendations.

- Engineered Lumber:** Final Engineered Lumber' use and design shall be the product of submitting the architectural framing drawings to a selected Engineered Lumber Manufacturer for the purpose of reviewing and refining the design and its components to better suit each manufacturer's unique products. The overall deflection and performance intent reflected in the framing plans shall be incorporated into the manufacturer's final design and confirmed on the shop drawing submittal. Where specific performance standards are not reflected in the initial design layouts, all span and deflection performance shall meet or exceed building code requirements. Furnish and install as per selected manufacturers shop drawings and plans. The initial design was based on 'Weyerhaeuser i-level/truss Joist System'. Other accepted manufacturers shall include 'Georgia Pacific', 'Boise' or other pre-approved equal. Provide all connections, hangers etc. for installation as specified by manufacturer.
- Roof tie-down:** Roof tie down straps and anchors shall be identified in contractors bid. The tie downs shall be based on 'High wind truss/rafter tie-downs' as manufactured by 'Simpson Strong-Tie'.

A. **Submittals:** submit manufacturer's product data, shop drawings, warranty

B. **Execution:**

- For each product indicated, comply with the manufacturer's specifications and installation instructions.
- All partitions to have single shoe and double cap plates and shall have overlapped corners. Double studding around all openings, at corners and properly trussed across all openings. Corners for all rooms to be framed solid for interior finish. Wood cats shall be placed between studs in all bearing partitions and those over 8' high. Beams and girders: Three inches (3") minimum bearing over all supports. All headers and tail beams not supported by wood ledgers shall rest on metal hangers, "Simpson Strong-Tie", "Teco" or pre-approved equal. Splice only over supports. Joists shall have a minimum of 1 1/2" bearing.
- Provide solid post or solid studding below all beams and girders at bearing points.
- Provide single jack studs at all openings to support headers, unless otherwise noted.
- Set all beams, girders and joists and rafters with natural crown up.
- All wood plates and sills in contact with concrete shall be pressure treated, S.Y.P.
- Face grain of plywood to be perpendicular to joists and studding, with staggered joints. Provide clips where necessary.
- Nailing: All penmeter (exterior) walls and interior bearing walls studs, jack studs and posts, shall be toe-nailed to sill, bottom and top plates with three 16 penny nails, one nail on one side and two on opposite. Double end nailing is permitted to set partitions and can remain on non-bearing interior walls only. All nailing shall conform to the New York State Residential Building Code.
- Cutting or notching of framing members in walls or walls shall be as per code. Contractor shall follow code or manufacturer's requirements for engineered lumber.

6.1 **Finish Carpentry:** Contractor to furnish and install the following but not limited to:

A. **Materials:**

- VINYL SIDING:** Siding by Certainteed or equal, Double 7" exposure.
- Exterior soffits:**
  - Vinyl Vented at typical overhangs.
  - Azek T&G at front porch.
  - Exterior trim / vinyl window and door surrounds:
- Including windows, doors, bases, corner boards, rakes and fascias shall be 1x and 5/4x widths, as indicated on drawings and shall be manufactured by James Hardie in color to match/coordinate with siding colors/as selected by the Architect. Where specific profiles are not available through James Hardie, Azek trim pieces shall be selected by Architect. Submit all trim components to Architect for review and approval.
- Including windows, doors, bases, corner boards, rakes and fascias shall be 1x and 5/4x widths, as indicated on drawings and shall be manufactured by TruExterior Trim by Boral. Paint as selected by the Architect. Where specific profiles are not available through TruExterior Trim, Azek trim pieces shall be selected by Architect. Submit all trim components to Architect for review and approval.
- Interior trim: Provide interior trim around all doors and windows. Provide chair rails, crowns, base and etc. as indicated in the drawings, or where not indicated, as selected by the Owner and Architect. Misc. trim moldings shall be in size profiles and model numbers as indicated on drawings or where not indicated, as selected by the Architect or Owner. Profiles are based on 'Interstate Lumber'. Material shall be finger-jointed material (Poplar or other pre-approved material) or composite material. Do not deliver or store interior trim to project site until HVAC system is fully operational. Do not store trim on the site or garage or other exterior climate. Acclimate all wood trim to interior climate for one week prior to installation. Interior trim shall have a maximum moisture content of 15%.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 **below grade waterproofing:**

A. **MATERIALS:** Provide a fluid-applied waterproofing membrane system, 40 mils thickness, single component, and polymer-modified asphalt emulsion designed for below-grade applications with 8 feet of hydrostatic head resistance on block of concrete. An acceptable product is Tuff N Dn' H&B spray-on membrane as manufactured by Tremco Barrier Solutions with a 30-year warranty. System shall include protection boards as required by manufacturer's system standards or as indicated on the drawings for insulation purposes. In any circumstance, waterproofing shall not be backfilled or un-protected.

B. **SUBMITTALS:** For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, installation manual and warranty.

C. **EXECUTION:** For each product indicated, comply with the manufacturer's specifications and installation instructions. Material shall be applied from bottom of footing to top of wall in order to apply the protection/drainage/insulation board.

7.2 **PROTECTION/DRAINAGE/INSULATION BOARD:**

A. **MATERIALS:** Un-faced rigid fiber glass board 'Warm N Dn' protection board as manufactured by Owens Corning.

B. **SUBMITTALS:** For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, installation manual.

C. **EXECUTION:** For each product indicated, comply with the manufacturer's specifications and installation instructions.

7.3 **VAPOR RETARDER BARRIER:**

A. **MATERIALS:** 6 mil polyethylene film vapor barrier for under slab applications with water vapor permeance of 0.018 perms, 1456 grams of puncture resistance. An acceptable product is 'Stego Industres' Class C Vapor retarder or equal.

B. **SUBMITTALS:** Submit manufacturer's product data, product test reports performed by a qualified testing agency.

C. **EXECUTION:** For each product indicated, comply with the manufacturer's specifications and installation instructions. Install over the sand topping with 6" lap at joints and tape all seams.

7.4 **Thermal Insulation:**

A. **MATERIALS:**

- Glasswool 'Batt' Insulation:** Bio-based materials that contains no phenol, formaldehyde, acrylics or artificial colors. A minimum of 30% post-consumer recycled bottle glass and shall be certified to meet Greenguard's indoor air quality criteria. Unfaced batt meets ASTM C 665, Class A. An acceptable product is Ecobatt Insulation as manufactured by Knauf. Provide Knauf's High Density insulation for reduced thermal cavity depths where the standard insulation cannot meet the thermal requirement. Provide Knauf's QuietTherm for sound attenuation batt, especially if metal stud framing is used. Provide Knauf's Staple-Free kraft-faced batts as standard insulation if stud cavity widths are no more than 16" on center, which can also be used for sound attenuation.
  - Rigid Insulation Board:** Extruded polystyrene insulation, closed-cell structure, R-5/inch, compressive strength of 25 psi, water absorption of 0.1 %, water vapor permeability of 1.1 perms max, no water capillarity, flame spread at 5, smoke developed at 45-175. An acceptable product is Foamular 250 rigid foam insulation as manufactured by Owens Corning.
  - Closed Cell Spray Polyurethane Foam:** Bio-based, 1.7 lbs/cu ft min, a two-part product with an R-5.9/in, compressive strength of 23 psi, flame spread less than 25, smoke development index less than 450, pass for fungi resistance, water vapor permeability of 2 perms for 1" thick foam and water absorption of 0.2% and shall be certified to meet Greenguard's indoor air quality criteria. An acceptable product is BioBased I701s Insulation as manufactured by BioBased Technologies.
- B. **SUBMITTALS:** For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, and installation manual.
- C. **EXECUTION:** For each product indicated, comply with the manufacturer's specifications and installation instructions. Comply with the Energy Code's performance thermal values as listed in this spec.

any alteration, unless acting as the architect, to alter an item under the architect's control in any way, if an alteration is altered, the architect shall allow to his from the seal the date of such alteration, and a specific description of the alteration.

Karl Ackermann, AIA NCARB  
Architect

159 East Central Avenue  
Pearl River, New York 10965  
(845) 742-1912 karl@karlackermann.com  
Residential & Commercial Architecture and Green Design  
New York & New Jersey Licensed Architect

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Proposed Garage for  
**Mr & Mrs. Davis**  
657 Gilbert Avenue, Pearl River NY 10965

Issue Date:	12/19/20
Revisions	
1	PERMIT 1/30/21
2	
3	

Sheet No.  
**A-3**



7.5 Roofing:

A. MATERIALS:

1. Fiberglass Asphalt Shingles:

Timberline GAF architectural shingles or equal, Class A fire, Class F Wind - 110 mph wind warranty, lifetime limited warranty, 10-year protection, 250-270lbs/square, 5-5/8" exposure, Provide starter shingles and hip/ridge, starter shingles to be installed along eave edges and rake edges with sealant closest to the outside edge. Fastening shall be done with (4) fasteners per shingle of sufficient depth to penetrate 3/4" or thru decking. Nails are to be 12 gauge, corrosion-resistant roofing nails with 3/8" heads. The recommended application method is the 'Five-Course Diagonal Method' found on each bundle of shingles. In this method, shingle course offsets are 6" and 11". Instructions also may be obtained from GAF. Shingle color to be Weathered Wood.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, applicable Energy Star label, installation manual and warranty. For standing seam metal roof, provide detail drawings for each type of roof condition.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

7.6 Aluminum Flashing: 0.032"aluminum flashing including hips, valleys, projections through roof, intersections of roof and vertical surfaces, including drip and rake edges, counter flashing and any other conditions shown on the drawings or required flashing. Finished surfaces shall have a white baked enamel finish or as otherwise indicated on drawings. Permanent waterproof air/vapor seal, high-tack, pressure-sensitive adhesive combined with a three-ply, cross-linked tear and puncture resistant poly facer film as manufactured by Protecto Wrap Co. Do not allow aluminum flashing to contact copper materials or any other non-aluminum metal.

7.7 COPPER CHIMNEY SHROUD: 16 oz lead coated copper chimney shroud shall be custom built. Submit shop drawings. Install to ensure a water-tight and wind-resistant condition.

7.8 self-adhered flashing: Pro-Flashing (peel & stick) as manufactured by James Hardie. Install around windows and doors. Flex flashing as manufactured by James Hardie. Submit manufacturer's product data. Install around custom shapes. Comply with the manufacturer's specifications and installation instructions.

7.9 THRU-WALL FLASHING: Soft-tempered copper permanently coated and bonded between (2) layers of asphalt-saturated glass fabric, Copper Fabric, 7 oz, as manufactured by Hohmann & Barnard. Width as determined by field conditions with corners and asphalt mastic as manufactured by Hohmann & Barnard. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.10 water resistant underlayment: Rooter's Select high performance underlayment as manufactured by CertainTeed. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. One Layer of DiamondDeck underlayment (option)

7.11 waterproofing underlayment: WinterGuard HT waterproofing underlayment as manufactured by CertainTeed. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.12 Sealants: Silicized polyether advanced polymer formula with no solvents, temperature application range of -35 degrees to 140 degrees, 30 minutes of tooling time, full cure time of 24 hours, for exterior use on fiber cement, siding, trim and windows, paintable, +/- 25% total joint movement, less than 1% VOCs. An acceptable sealant is Side Winder Advanced Polymer Siding and Window Sealant as manufactured by DAP. Advanced Polymer, temperature application range of -35 degrees to 140 degrees, 20 minutes of tooling time, full cure time of 24 hours, all-purpose sealant for indoor/outdoor, paintable, and low VOC. An acceptable sealant is 3.0 Advanced All-Purpose Sealant with Kwik Dry Technology as manufactured by DAP. Advanced Polymer, temperature application range of -35 degrees to 140 degrees, 20 minutes of tooling time, full cure time of 24 hours, self-leveling concrete and mortar sealant for concrete, masonry and stone surfaces, paintable, and low VOC. An acceptable sealant is 3.0 Advanced Self-Leveling Concrete Sealant with Kwik Dry Technology as manufactured by DAP. Provide sealant according to the Energy Conservation Construction Code as listed in this spec. Provide sealant around all doors, windows and other openings for a watertight condition. Provide sealant at concrete slab isolation joints. Color to match adjacent material; unless multiple material colors or other issues, then color to be selected by Architect. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.13 Ridge vents: ShingleVent II (SVII) ridge vent as manufactured by Air Vent, Inc. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. Install SVII continuous along length of the ridge from end to end; even though vent opening may be less. Install shingles along it top to conceal ridge vent that match roof shingles.

7.14 Soffit Vents: Continuous Soffit Vent as manufactured by Air Vent. Model VS201 WH is 0.014" aluminum, 2" wide & 8" long with white finish. Soffit vents shall be continuous across entire lengths of soffits. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.15 Aluminum Gutters and Leaders: In profiles as indicated on drawings. Gutters shall be single one length. Material shall be Aluminum, properly secured to structure. All leaders shall be piped underground in separate system to drywells. (See roof plan for selected locations). Gutters shall be 'K' style profile with ties to fascia and leaders. Provide a leader boot transition fitting from Aluminum leaders to sub-surface drainage components.

Boot shall be black plastic, tie new piping to existing underground system to daylight.

7.16 Sill seal with termite shield: Provide 'Mite-out' as manufactured by Hohmann & Barnard. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.17 sill seal: Flexible polyethylene gasketing strip. An acceptable product is Styrofoam's Sill Seal as manufactured by Dow. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. Sill seal shall be as wide as sill/bottom plates.

DIVISION 8 - DOORS AND WINDOWS

8.1 Interior Doors:

A. MATERIALS:

- 1. PANEL: Prehung, 1 3/8" thick solid wood two panel doors with square 'Shaker' sticking, as manufactured by Simpson. Provide 1 1/2 pair hinges on each door up to 7'-0" in height, 2 pair hinges on doors over 7'-0" in height to 8'-0" in height. All hinges to be 4-1/4" x 4-1/4". Owner or Architect to select model, finish and color.
2. FIRE-RATED DOOR: MDF or metal panel, 3-panel, 45 minute fire rating, insulated, with self-closing device, model #312 with Type 'E' sticking as manufactured by 'Supadoor'. Hinges to match interior doors.

B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

8.2 Exterior Doors:

A. MATERIALS:

- 1. GLASS AND PANEL DOOR: Exterior 2-panel douglas fir wood door with thermal sash, square sticking, stain grade, Traditional Series as manufactured by 'Simpson'.
2. STEEL PANEL INSULATED: Exterior 2-panel steel insulated door, 0.16 U-factor, with air-sealed weather stripping as manufactured by 'Jeld Wen'.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, installation manual and warranty.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Seal all spaces around windows with low expansion foam.

8.3 HARDWARE: Provide a 'Hardware Allowance' in bid proposal of \$ \_\_\_\_\_. Final selections and schedule to be provided by Owner and Architect. Include installation of all door and bath hardware and accessories in bid proposal. General hardware functions/finishes are indicated on door schedule/drawing. Provide deadbolts at all exterior doors. Basement doors shall be keyed alike. The front door shall be a combination lock with its own key system.

8.1 Windows:

A. MATERIALS:

- 1. WINDOW: Sizes and types as shown on the drawings with standard muntin bars. All glazing shall be tempered where within 18" of floor, 36" of a door and at windows directly adjacent to stairs. Units shall be as manufactured by Andersen as per window schedule. with Low E argon gas to provide a U-factor and SHGC values equal or better than the Energy Star qualification criteria for residential windows. For North-Central climate zone the U-factor shall be 0.32 or better and the SHGC shall be 0.40 or better. Units shall be equipped with screens and hardware for locking and operation. Finish shall selected by architect. All windows must meet energy star and bear a National Fenestration Rating Council (NFRC) label indicating compliance. Seal all spaces around windows with low expansion foam.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, applicable Energy Star label, shop drawings for windows based on actual rough openings in field, installation manual and warranty.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

8.2 Overhead Doors:

A. MATERIALS: Provide (purchase and install) four (4) section alum. Panels. Provide complete track operating system and remote opening and keyed entry pad for each door. Door opener for each door with 3/4 HP motor model #2595 chain drive Elite series as manufactured by LiftMaster (United Overhead spec). All garage doors to have motion safety sensor features. Glazing if desired shall be tempered. Garage door as manufactured by Artisan, Dutchess Overhead, or Designer Door. All garage doors shall meet UL325. Include 2 garage door remotes in bid proposal.

A. SUBMITTALS: For each product indicated, submit manufacturer's product data, shop drawings, color charts, installation manual and warranty.

B. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

DIVISION 9 - FINISHES

Scope of Work: Contractor shall furnish and install all labor, material and equipment required to complete all finish work as shown on plans. Finishes shall meet flame spread and smoke index requirements as per N.Y.S. Building Code or as noted on drawings.

9.1 Wall & specialty Board:

A. Materials: (ALTERNATE PRICE)

- 1. Fire Rated Type 'X' gypsum board: 5/8" thick (or unless otherwise noted) with tapered edges as manufactured by United States Gypsum. Installed (1) layer 5/8" Type 'X' on both garage and house side of wall and on garage ceiling. All columns and beams supporting space above garage shall be finished with 5/8" Type 'X' gypsum board.

B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Furnish and install a (3) three coat compound and sanding finish over all gypsum board per manufacturer specifications to receive paint or other finishes. Installation shall be secured, nailed (and glued where specified or required) using methods in accordance with manufacturers instructions.

9.2 Painting and Staining:

A. MATERIALS:

- 1. Interior: Provide two (2) coats of paint over (1) coat primer to all unfinished surfaces inside the building. Interior trim around doors and windows, and base trim shall receive (2) coats of semi-gloss latex paint over primer. Sand trim between each coat. Colors of paint shall be selected by Owner/Architect. Paint shall be 'BeNY'Samin Moore' 'Eco-Advantage' and 'Eco-Spec' products. Final paint schedule shall be provided by Owner and Architect. Confirm painting scope and assumptions in bid-proposal.
2. Exterior: Exterior wood trim, moldings and ornamental wood accessories on structure shall reviewed one (1) coat of exterior wood primer, 'BeNY'Samin Moore Moorwhite' Primer No. 100. Unless otherwise specified, exterior stain shall be Moorwood solid and/or semitransparent color exterior stain as manufactured by 'BeNY'Samin Moore', Cabots stains, or approved equal. Stain of trim, doors, windows, fascias, soffits, columns, railings, shall be selected by the Architect.
3. Exterior: Exterior Azek trim, Azek sheet goods, Azek soffits, PVC moldings and ornamental Azek accessories on structure shall receive one (1) coat of exterior acrylic latex primer 'BeNY'Samin Moore -sure seal (Q27)', (2) coats acrylic exterior latex paint 'BeNY'Samin Moore -Aura (634)'. All nail holes must be filled and sanded smooth with acrylic based caulk. In addition, any exposed wood (Rafters) shall be primed and painted accordingly.
4. Flooding and Stairs: Interior wood finish flooring shall receive (1) coat of stain (1) coat of sealer, (2) coats of polyurethane. Interior oak steps and handrails will receive (1) coat of stain, (2) coats of polyurethane. Stain and polyurethane finishes shall be selected by Owner/Architect.

B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. EXECUTION:

- 1. Contractor shall furnish and lay drop cloths in all areas where painting is done and shall protect floors and other work from damage during the process of this work. Oily rags and waste must be removed from the building at the end of each work day. Upon completion of work, the painter shall clean off all paint spots from glass, hardware and other items not to be painted, and clean the windows thoroughly.
2. Painting Contractor is responsible for all putty work and finish sanding of wallboard surfaces - ready to receive finish.

DIVISION 26 - ELECTRICAL

26.1 Electrical Scope: Contractor shall furnish and install a complete utility service as coordinated with utility company and complete distribution system as per project requirements and as previously noted under section 2.8 Electric Service. Electrical service and distribution system must meet N.Y.S. Building Code, UL Codes, NFPA and utility company requirements.

26.2 Fixtures, Bulbs, Fans: Provide a Lighting Fixture, Light Bulb/Lamps, Exhaust Fan and Kitchen Hood Exhaust allowance of \$ \_\_\_\_\_. Include installation of these items in bid proposal. At Owner's discretion, accessories may be purchased by Owner and delivered to site for installation by contractor. Contractor shall deduct all or portions of allowance incurred directly by owner from the contract sum.

26.3 Utility Service: Provide service requirements commensurate with the size and scope of the proposed project and as coordinated with the utility shall be established in coNYsunction with the electrical sub-contractor. The service capacity shall be based on industry standards, code requirements and as required by other agencies having jurisdiction or referenced standards applied to the work. The complete system shall include a sub-surface service feed from the utility interface to the electrical panel(s). Contractor to provide alternate price line item in bid proposal for whole house lighting protection.

- a. Provide all sub Panels individual 'cut off' switches as required by industry standards and code requirements.
b. Bonding as required by code.
Grounding as required by code.

26.4 Power & Lighting Distribution System: Contractor to furnish and install complete distribution system including wiring, back boxes and all devices and fixtures as specified by Owner.

- a. Provide all sub Panels individual 'cut off' switches as required by industry standards and code requirements.
b. Provide GFCI devices at all locations required by code.
c. Provide 'Type B' duplex receptacles as indicated on the drawings. Provide 'Quick Switched' or other specialty types as indicated or as required to meet code for general, switches, receptacles, face plates, etc. shall be white and of standard profiles (round face, toggle switches). Provide an alternate line item in bid proposal for 'Decora' style switches and receptacles.
d. Provide dedicated appliance outlets and breakers as per code.
e. All outdoor and accessory structure outlets shall have GFCI protection and if devices are exposed to elements they shall have in-use covers.
f. Provide lighting locations and installation as indicated in the drawings. Coordinate roughing box requirements with final fixture schedule.

26.5 Certificates and Inspections: Contractor shall supply certificates of inspection and compliances to Owner upon completion of project as required.

DIVISION 31 - EARTHWORK (Including site utility infrastructure scope)

31.1 Scope of Work: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.

31.2 Ordinances, Inspections: Contractor shall contact "call before you dig" as per state and local codes to locate all underground utility services prior to excavations. All work shall be in conformance with all applicable codes, ordinances.

31.3 EXCAVATION: Excavate and/or remove rock for basement, trenches and all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times. Existing rock surfaces below footings and new walls shall be scanned and approved by project Geo-Technical engineer before proceeding. Where provided, refer to Geo-Technical engineering documents for additional notes and information. Dewater as required. All footings shall be excavated to minimum depths shown on drawings or to depths required for all footings to be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F. Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal. Remove all excess material from site, not to be reused for backfill. See Backfilling, Section 2.9.

31.4 Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level (not to exceed 10% slope) and kept free of standing water at all times. All footings shall be excavated to minimum depths shown on drawings. All footings shall be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F. Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.

31.5 Site Drainage: Contractor to furnish and install site surface and sub-surface drainage components as indicated in the drawings and specifications prepared by the architect, civil engineer, other owner engaged consultant and/or State of New York, Westchester County or local municipal standards or requirements. All leaders shall be terminated with a prefabricated splash block or connected to a sub-surface system. Where all leaders do not connect to a sub-surface system, assure leader run-off is directed away from the foundation via drainage swales, flowing in an uninterrupted path to on-site drainage collection and/or disbursement.

31.8 Backfilling: Backfill is to be comprised of clean earth, free from any wood or debris. Backfill and sub-grades below slabs shall be placed in 6" lifts and shall be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift. Do not backfill against foundation walls until the concrete has achieved design strength and is braced and/or until first floor framing is secured. At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or floor beams and joists are installed. Backfill may also require crushed stone lifts and beds as depicted in the drawings. Utility, cable tv and telephone service trenches may also require a mixture of backfill material based on utility or vendor standards. Confirm specific backfill requirements with utility and all other infrastructure vendors.

31.9 Rock Outcropping/Sub-surface Rock: Notify Owner and Architect upon discovery. The Contractor shall expose all areas clearly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.

31.10 Finish Grade: Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. Where lot lines or other physical barriers prohibit this slope, then the final grade shall slope away from the foundation at a minimum slope of 5 % and the water shall be directed to drains or swales. Swales and impervious surfaces shall be sloped a minimum of 2% when located within 10 feet of the building foundation.

31.12 Termite and pest control: Upon the discovery of termites, borers, rodents and other pests, the Contractor shall notify the Architect and the Owner immediately.

Karl Ackermann, AIA NCARB Architect
159 East Central Avenue
Pearl River, New York 10965
(845) 742-9792
karl@karlackermann.com
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect



Proposed Garage for Mr & Mrs. Davis
657 Gilbert Avenue, Pearl River NY 10965
Issue Date: 12/19/20
Revisions
1 PERMIT 1/30/21
2
3
Sheet No. A-4