

1 Demolition Plan - Lower Level
Scale: 3/16" = 1'-0"

Total Areas for Bulk Calculations	
Proposed Addition	= 855 SF
Existing House	= 1,946 SF
Existing Deck	= 76 SF
Existing Garage	= 443 SF
Total Existing	= 2,495
Total SF Proposed	= 3,350 SF

GENERAL NOTES:

1. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE TOWN OF ORANGETOWN BUILDING CODE, THE NEW YORK STATE RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.

3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFCI OUTLETS IN KITCHEN & BATHS, AS REQ'D TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.

4. UPGRADE ALL PLUMBING SUPPLY LINES, PROVIDE VENTING AND MAINTAIN CONSTANT SLOPE IN ALL WASTE LINES. UPGRADE HEATING SYSTEM TO PROVIDE ADEQUATE HEATING THROUGHOUT. PROVIDE NEW RADIANT FLOOR HEAT AND HOT-WATER BASEBOARD RADIATORS (REVIEW W/ OWNER) TIED INTO EXISTING SYSTEM TO MEET STANDARD HEATING REQUIREMENTS. ALL PLUMBING WORK TO BE PERFORMED TO MEET ALL APPLICABLE CODES BY A PLUMBING CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING. REPAIR, LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS, THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

SMOKE DETECTOR NOTES:

1. PROVIDE SMOKE DETECTORS IN KITCHEN AND HALLWAYS (TO EXTENT POSSIBLE WITHIN SCOPE OF CONSTRUCTION). SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED AND INSTALLED PER MFR'S SPECIFICATIONS AND TO MEET ALL APPLICABLE CODES.
2. UNITS SHALL BE LOCATED ON OR NEAR THE CEILING. CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MINIMUM OF 4" AWAY FROM ANY WALLS. WALL MOUNT - CLOSEST EDGE SHALL BE A MINIMUM OF 4" AWAY FROM THE CEILING.
3. PROVIDE (1) COMBINATION CARBON MONOXIDE & SMOKE DETECTOR PER DWELLING

ENERGY NOTES:

1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30; CLOSED CELL SPRAY FOAM IN ROOF FRAMING = R-49 (R-30 IF PLATE IS COMPLETELY COVERED).
4. WHEREVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R-VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE .32 U-VALUE OR LOWER WITH LOW E 2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE MARVIN, OR APPROVED EQUAL.
6. PROVED THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R402 OF THE ENERGY CODE.

CONSTRUCTION NOTES:

1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
3. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI MIN., FV = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
5. ALL FRAMING MEMBERS (LEDGERS, SILL PLATES, ETC.) THAT TIE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
6. INSTALL FIRE-BLOCKING WHEREEVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
9. ALL **STRUCTURAL LUMBER** AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304.9.1 OF THE IBC, LATEST EDITION.
10. **ROOF SHEATHING** SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE I. LAY FACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
11. INSTALL NEW WINDOWS & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS; PATCH/REPAIR/PROOF EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS, U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION AT AREAS TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD paneled DOORS TO MATCH EXISTING AS CLOSELY AS POSSIBLE. HARDWARE TO MATCH EXISTING, REVIEW WITH OWNER.
15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
17. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.
18. ALL NEW WINDOWS TO HAVE WHITE HARDWARE AND SCREENS.

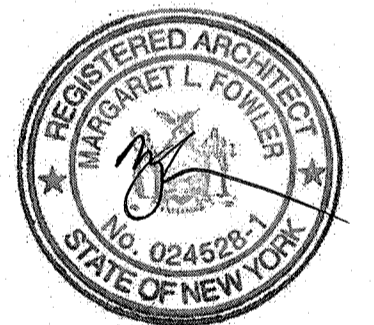
LIST OF DRAWINGS

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- A-3.1 Roof Plan
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- A-4.2 South & East Elevations
- A-5.1 Building Section Looking East
- A-5.2 Building Section Looking North
- A-6.1 Interior Elevations - Kitchen
- A-7.1 Wall Sections

additions and alterations to
Kennedy Residence
 815 Route 9W
 Nyack, NY 10960
 Town of Orangetown
 County of Rockland

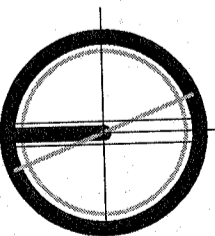
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notes:



03/01/21 revised per PB comments

issue for Board Approval
 date 03/25/2020
 scale as noted



Lower Level Demolition Plan & General Notes

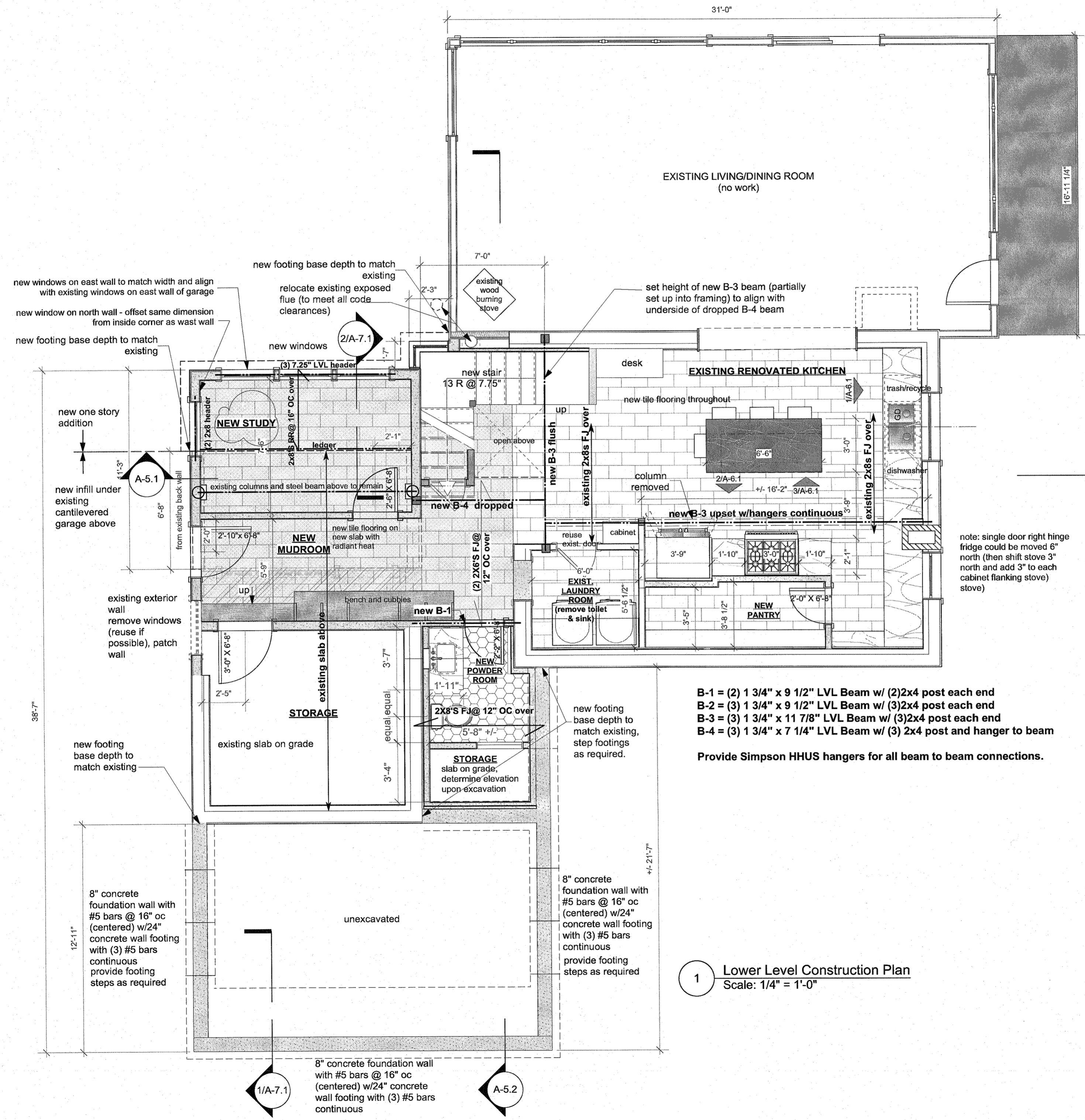
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A-0.0

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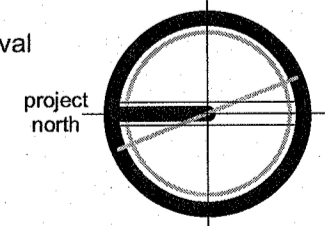
- B-1 = (2) 1 3/4" x 9 1/2" LVL Beam w/ (2)2x4 post each end
 - B-2 = (3) 1 3/4" x 9 1/2" LVL Beam w/ (3)2x4 post each end
 - B-3 = (3) 1 3/4" x 11 7/8" LVL Beam w/ (3)2x4 post each end
 - B-4 = (3) 1 3/4" x 7 1/4" LVL Beam w/ (3) 2x4 post and hanger to beam
- Provide Simpson HHUS hangers for all beam to beam connections.

1 Lower Level Construction Plan
 Scale: 1/4" = 1'-0"



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Lower Level
 Construction Plan

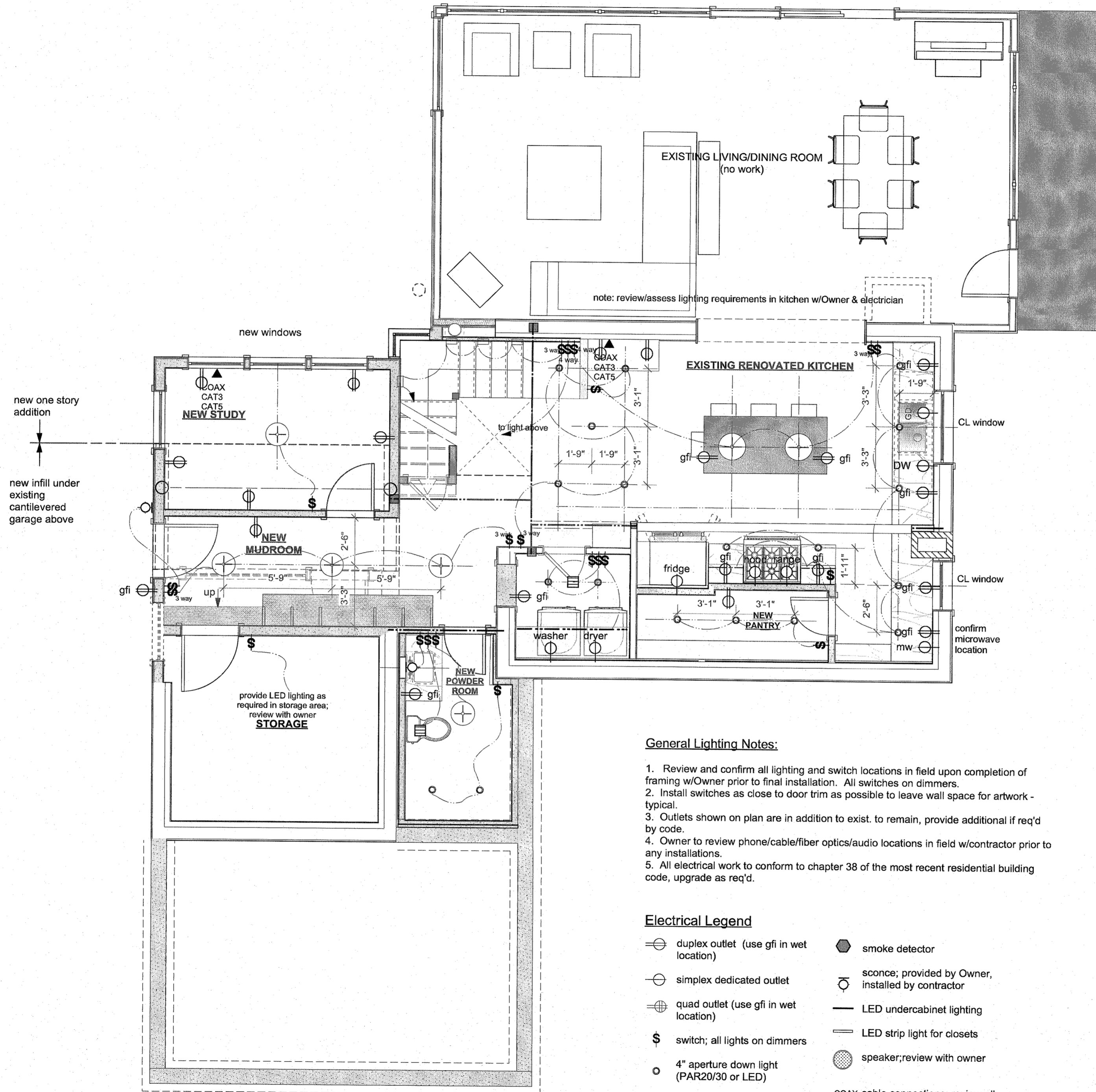
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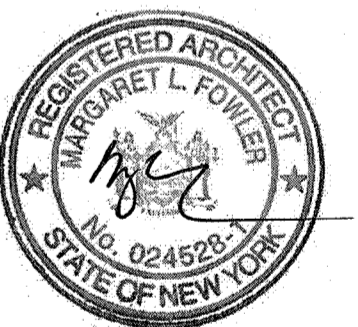
General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist. to remain, provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Electrical Legend

- | | |
|---|---|
| ⊕ duplex outlet (use gfi in wet location) | ⬢ smoke detector |
| ⊖ simplex dedicated outlet | ⊖ sconce; provided by Owner, installed by contractor |
| ⊕ quad outlet (use gfi in wet location) | — LED undercabinet lighting |
| Ⓢ switch; all lights on dimmers | — LED strip light for closets |
| ⊙ 4" aperture down light (PAR20/30 or LED) | ⊙ speaker; review with owner |
| ⊕ pendant or ceiling mtd. fixture; provided by Owner, installed by contractor | ⚡ COAX cable connections; review all locations with Owner prior to rough wiring |

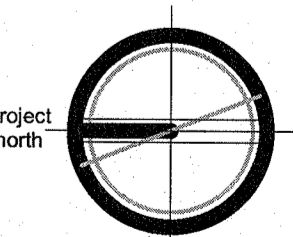
1 Lower Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"



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Lower Level Power & Lighting Plan

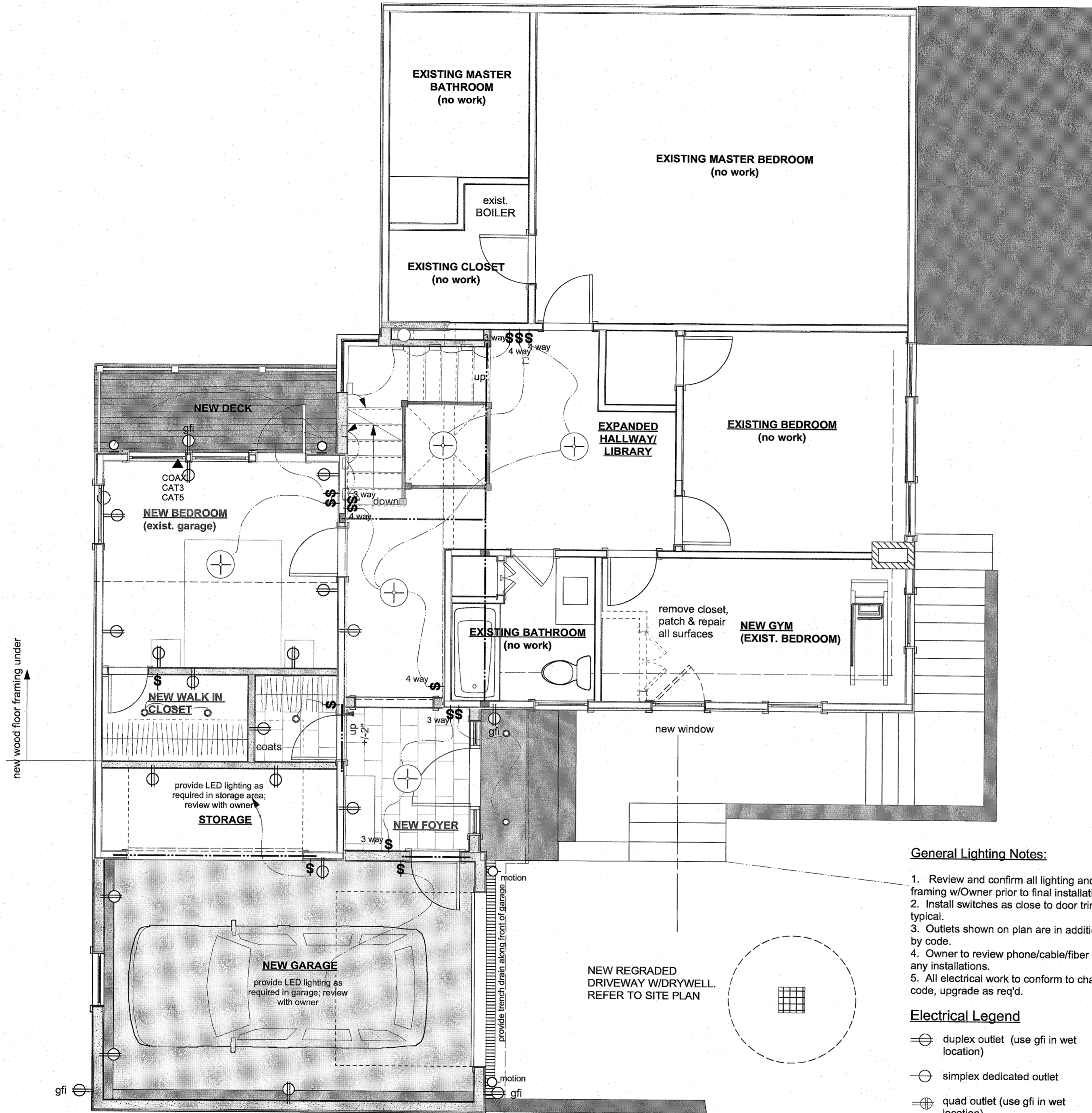
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A-0.2

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notes:



new wood floor framing under

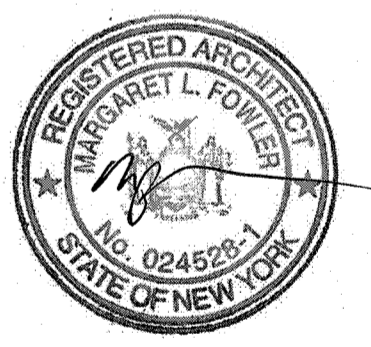
General Lighting Notes:

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2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist. to remain, provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Electrical Legend

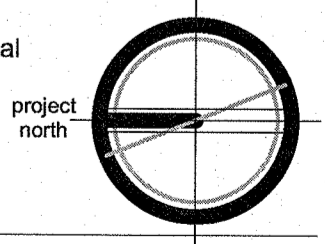
- ⊖ duplex outlet (use gfi in wet location)
- ⊖ simplex dedicated outlet
- ⊖ quad outlet (use gfi in wet location)
- ⌘ switch; all lights on dimmers
- 4" aperture down light (PAR20/30 or LED)
- ⊕ pendant or ceiling mtd. fixture; provided by Owner, installed by contractor
- ⬢ smoke detector
- ⊖ sconce; provided by Owner, installed by contractor
- LED undercabinet lighting
- LED strip light for closets
- ⊙ speaker; review with owner
- ⊖ COAX CAT3 CAT5 cable connections; review all locations with Owner prior to rough wiring
- ⬇ tread lighting in stringer

1 Main Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"



03/01/21 revised per PB comments

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Main Level Power & Lighting Plan

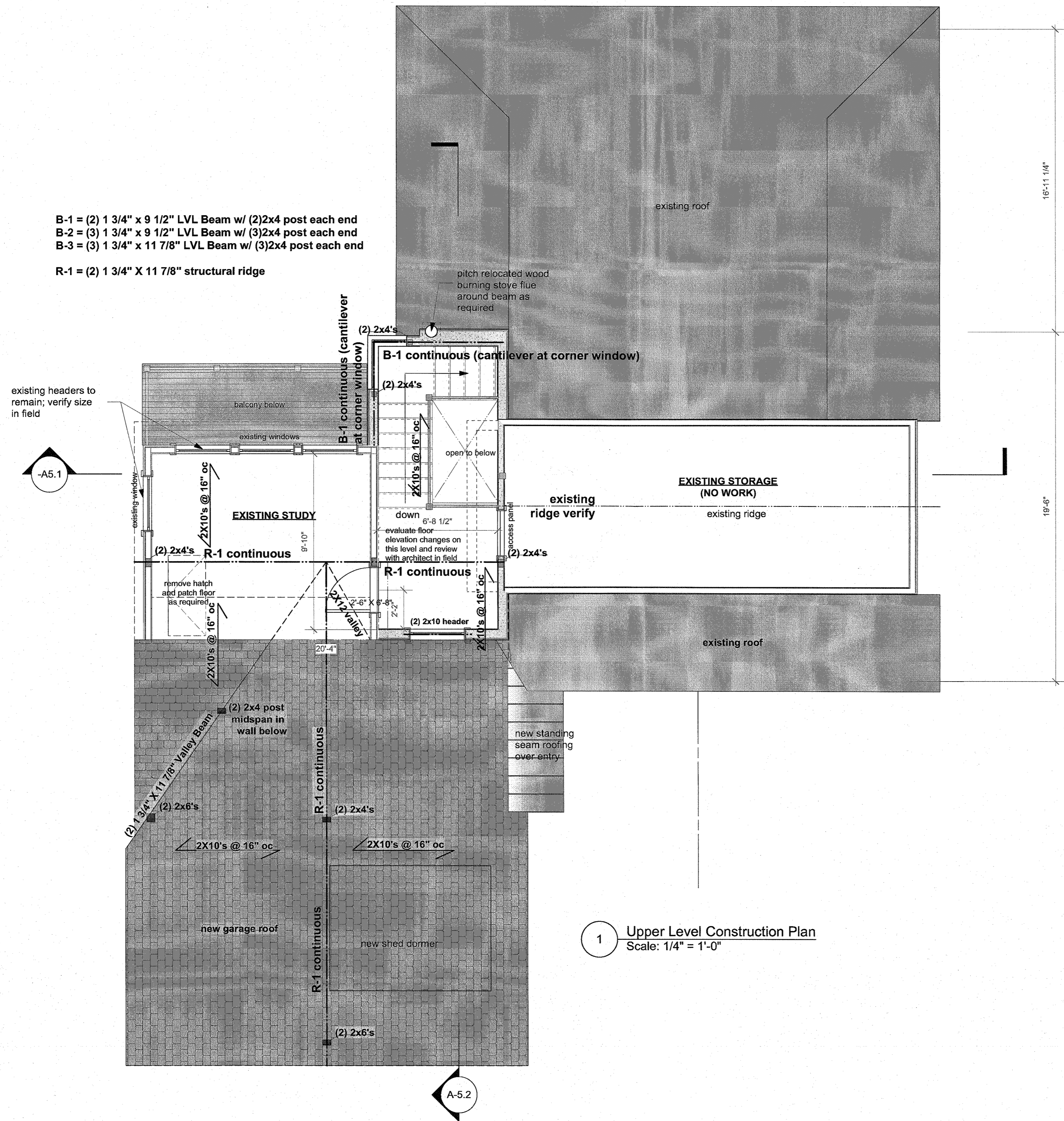
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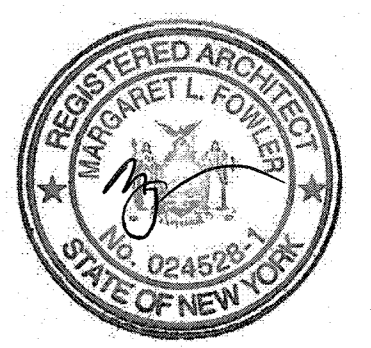
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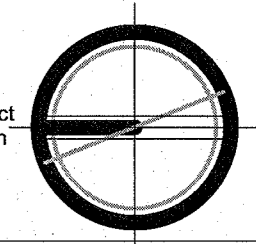


1 Upper Level Construction Plan
 Scale: 1/4" = 1'-0"



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 date 03/25/2020
 scale as noted



Upper Level Construction I

drawing number

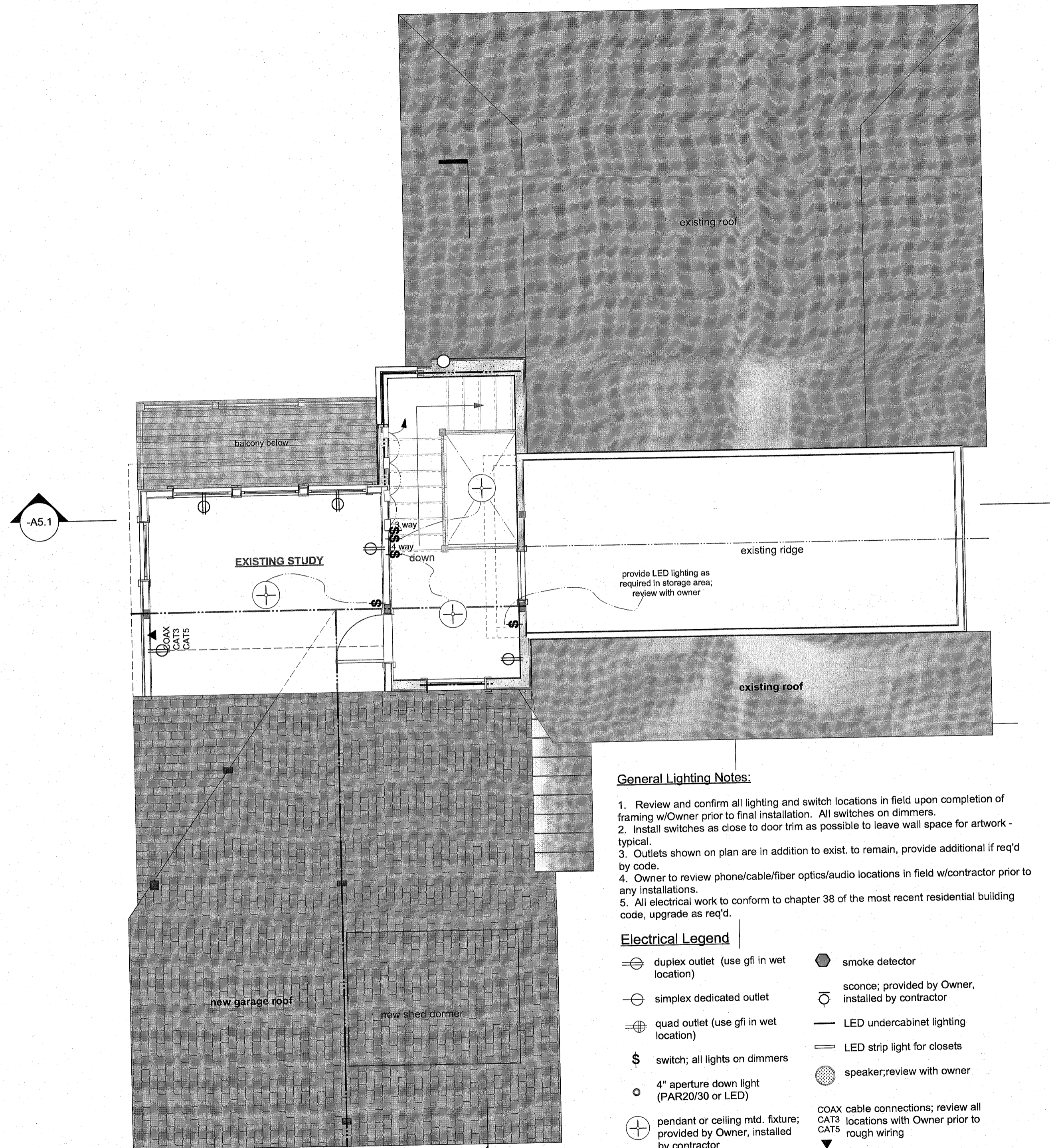
A-2.1

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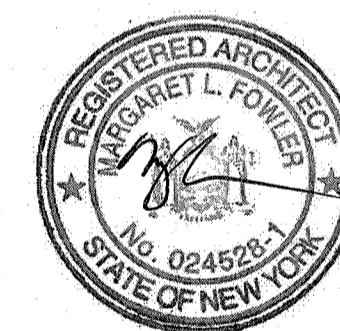
General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist. to remain, provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Electrical Legend

- | | | | |
|---|---|---|---|
| ⊖ | duplex outlet (use gfi in wet location) | ⬠ | smoke detector |
| ⊙ | simplex dedicated outlet | ⊖ | sconce; provided by Owner, installed by contractor |
| ⊕ | quad outlet (use gfi in wet location) | — | LED undercabinet lighting |
| ⌘ | switch; all lights on dimmers | — | LED strip light for closets |
| ⊙ | 4" aperture down light (PAR20/30 or LED) | ⊙ | speaker; review with owner |
| ⊕ | pendant or ceiling mtd. fixture; provided by Owner, installed by contractor | ⬇ | COAX CAT3 CAT5 locations with Owner prior to rough wiring |
| | | ⬇ | tread lighting in stringer |

1 Upper Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"

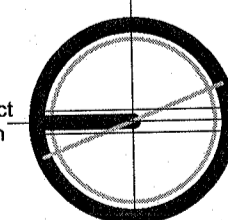


03/01/21 revised per PB comments

issue for Board Approval

date 03/25/2020
 scale as noted

project north



Upper Level Power & Lighting Plan

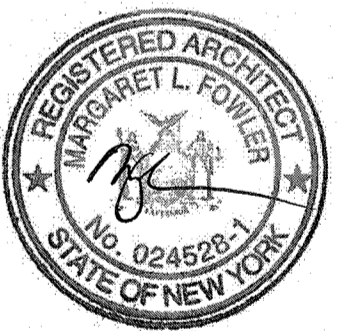
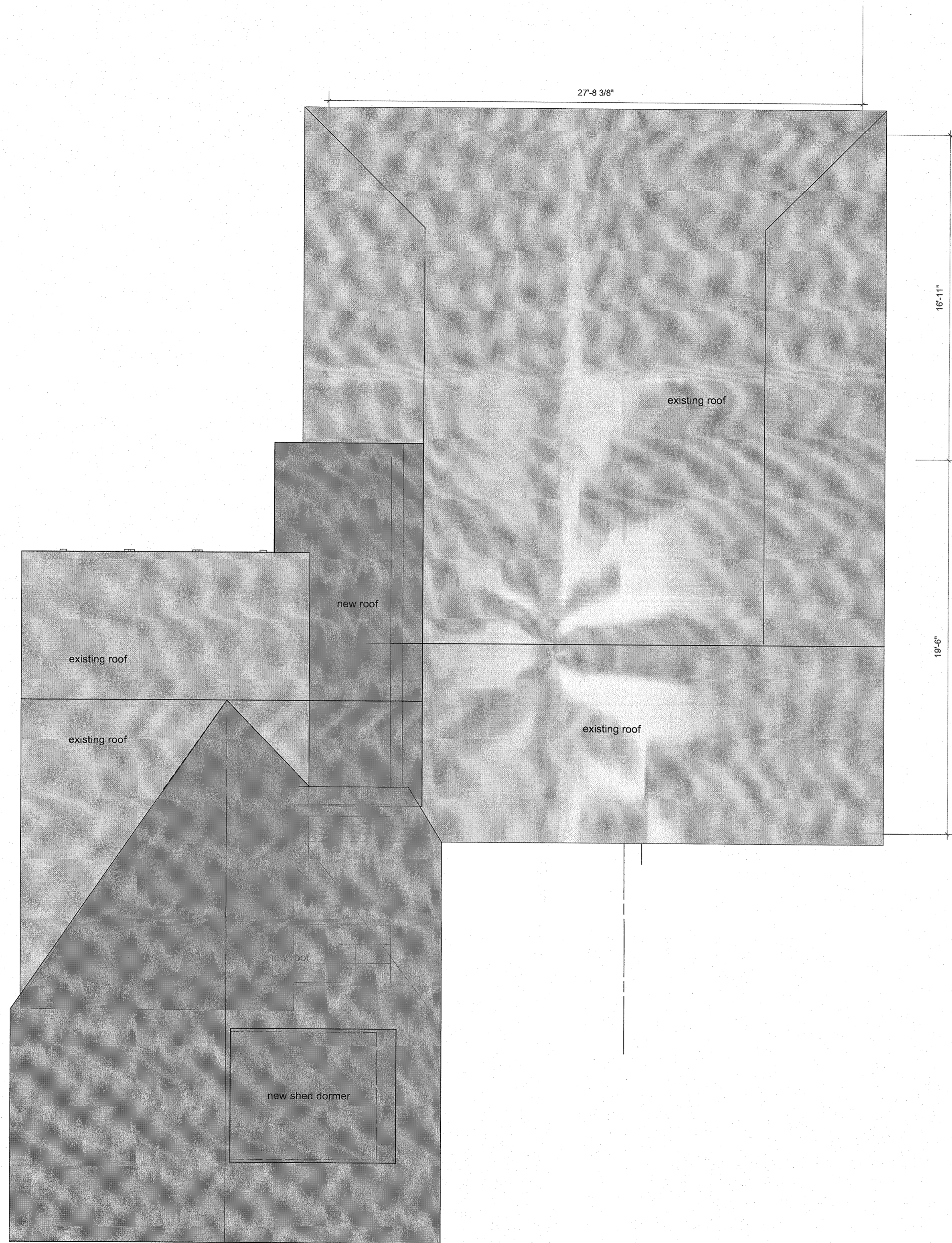
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A-2.2

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County of Rockland

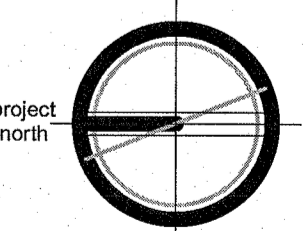
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notes:



03/01/21 revised per PB comments

issue
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date
03/25/2020
scale
as noted



Roof Construction Plan

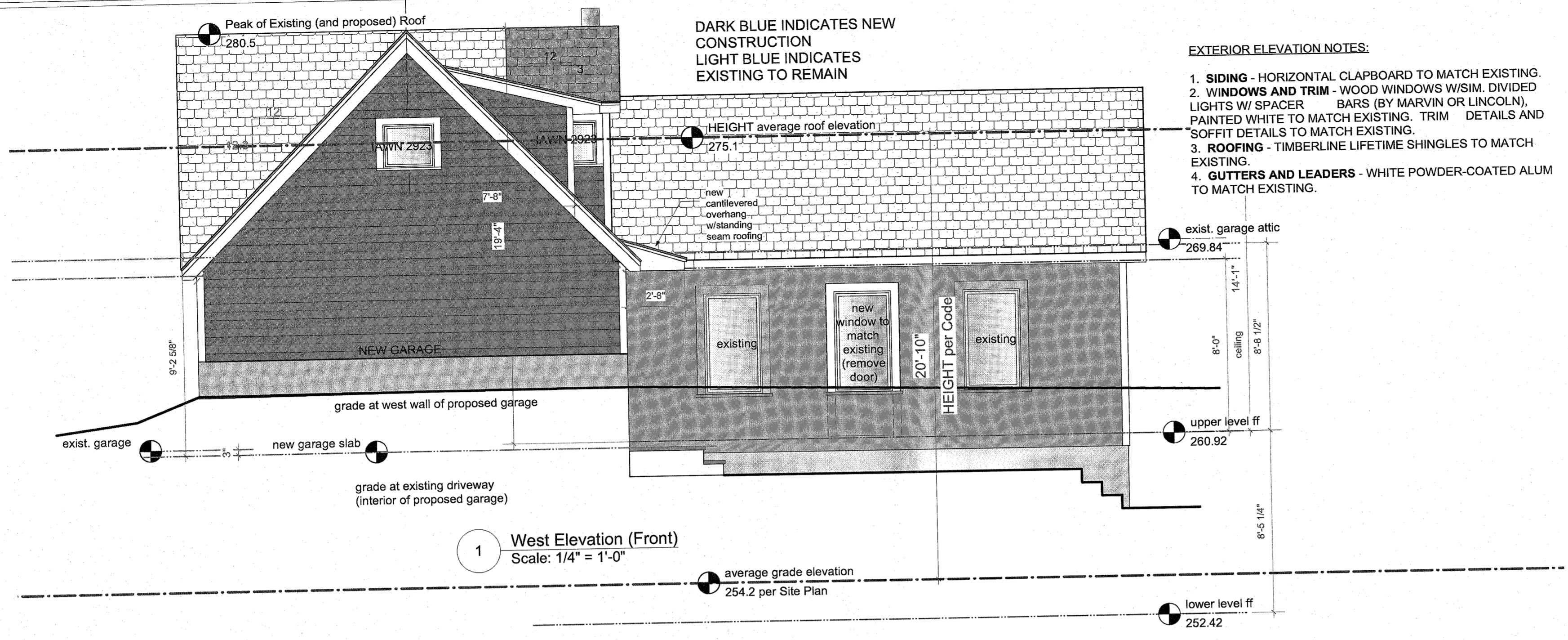
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A-3.1

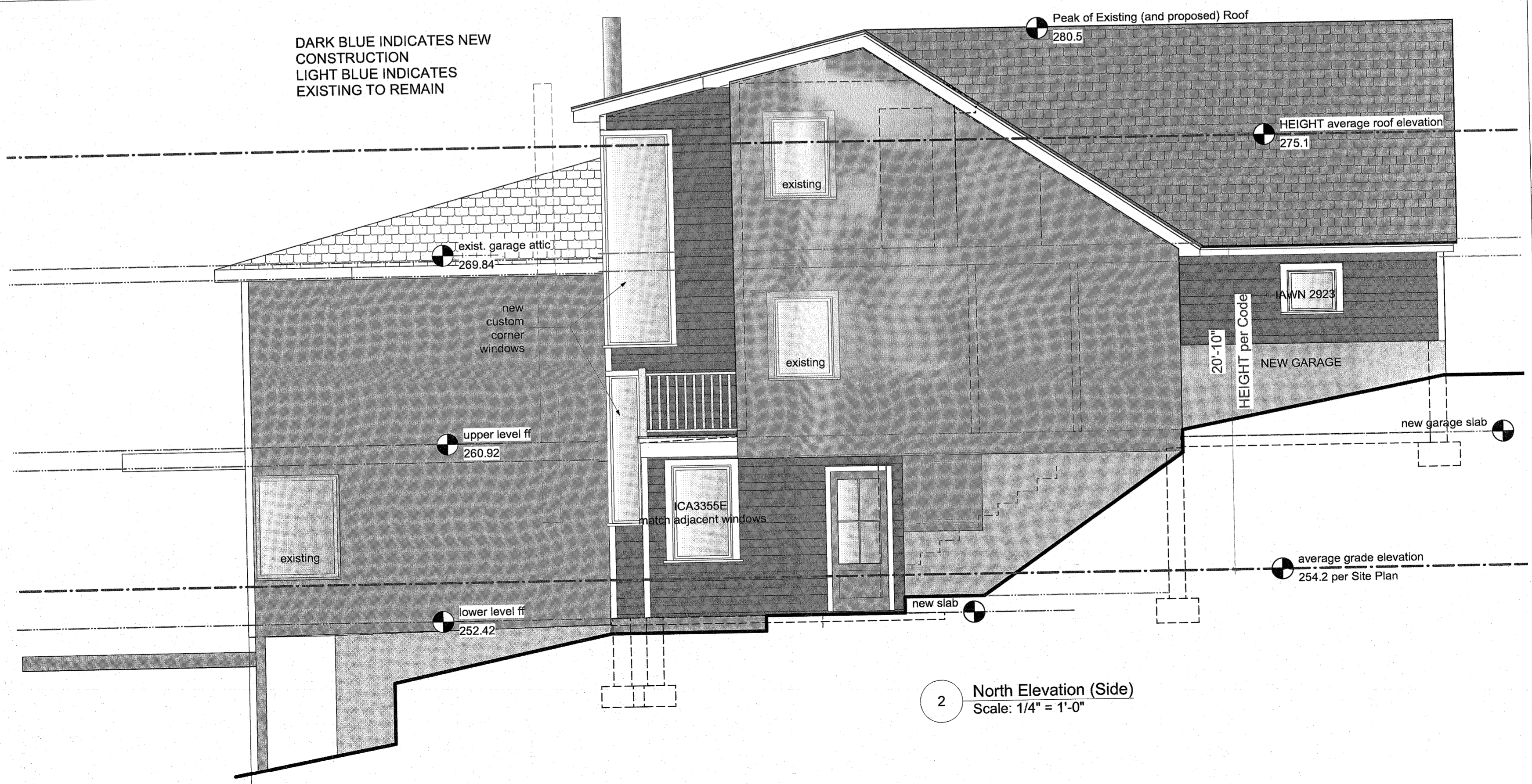
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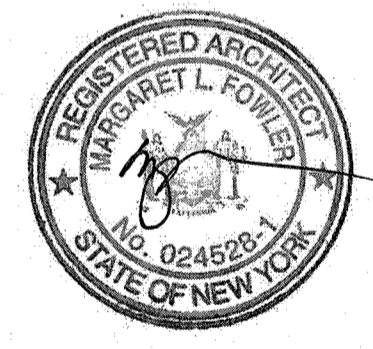
notes:



1 West Elevation (Front)
 Scale: 1/4" = 1'-0"

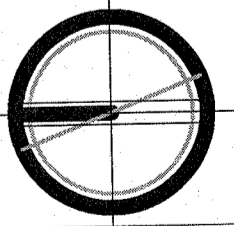


2 North Elevation (Side)
 Scale: 1/4" = 1'-0"



03/01/21, revised per PB comments

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 date 03/25/2020
 scale as noted
 project north



Exterior Elevations - West & North

drawing number

A-4.1

REFERENCES:
 ALL BOUNDARY & TOPOGRAPHY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY R. CLEMENTANO DATED FEBRUARY 21, 2018. PROVIDED BY OWNER.

BULK REQUIREMENTS ZONE: R-22

USE	MINIMUM LOT AREA (S.F.)	MINIMUM LOT FRONT (FEET)	MINIMUM LOT DEPTH (FEET)	MINIMUM LOT WIDTH (FEET)	MINIMUM LOT AREA (S.F.)	MINIMUM LOT FRONT (FEET)	MINIMUM LOT DEPTH (FEET)	MINIMUM LOT WIDTH (FEET)	MINIMUM LOT AREA (S.F.)
LOT	22,500	125	40	24	60	45	75	75	20
EXIST 50 FT	20,958.29	124*	30.5*	24.0	95.9	176.8	123.97	20.9	0.12
EXIST 50 FT	20,958.29	124*	30.5*	24.0	95.9	176.8	123.97	20.9	0.12
PROJ 50 FT	124*	174**	82.3**	80.1	176.8	123.97	20.9	0.16	

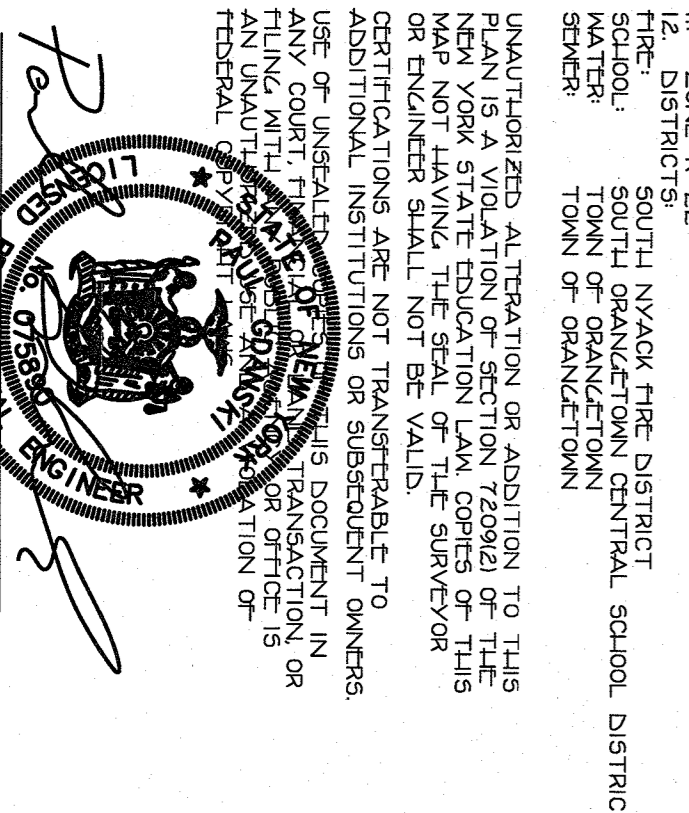
NOTE: * PRE-EXISTING CONDITION ** VARIANCE REQUIRED
 FLOOR AREA RATIO: ARCA=30961.29 SF - 20.20% (MAX) PER ARCA=3590 SF (20958.29 SF) AREA=20958.29 SF

NOTE: CHAPTER 43, SECTION 9.2 (B) (1) UNDERZONED LOT APPLIES WITH REGARD TO SITE YARD & HEIGHT.

NOTES CONT'D:

- AREA OF DISTURBANCE-4000 SF
- NO TREES ARE TO BE REMOVED.
- NO WATER SUPPLY IMPROVEMENTS ARE NECESSARY.
- ALL UTILITIES INCLUDING WATER, GAS, SEWER, AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND IN THE MANNER SPECIFIED BY SECTION 239 L & M OF THE GENERAL ELEVATION DATUM IS 250 FEET.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP & HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L & M OF THE GENERAL ELEVATION DATUM IS 250 FEET.
- THE PROPOSED ADDITION IS REFLECTING EXISTING INTERVIOUS SURFACES AND GRAVEL. THEREFORE NO DRYWELL IS PROPOSED FOR THE ADDITION.
- ALL CONSTRUCTION IS SLAB ON GRADE AND DOESN'T A FOOTING DRAIN.

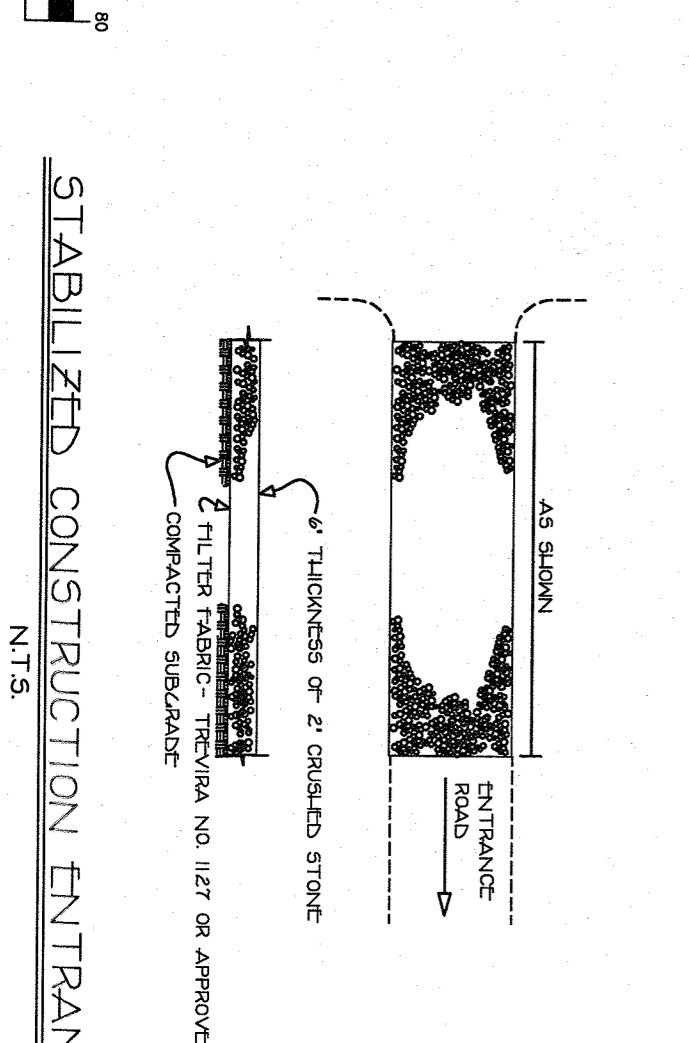
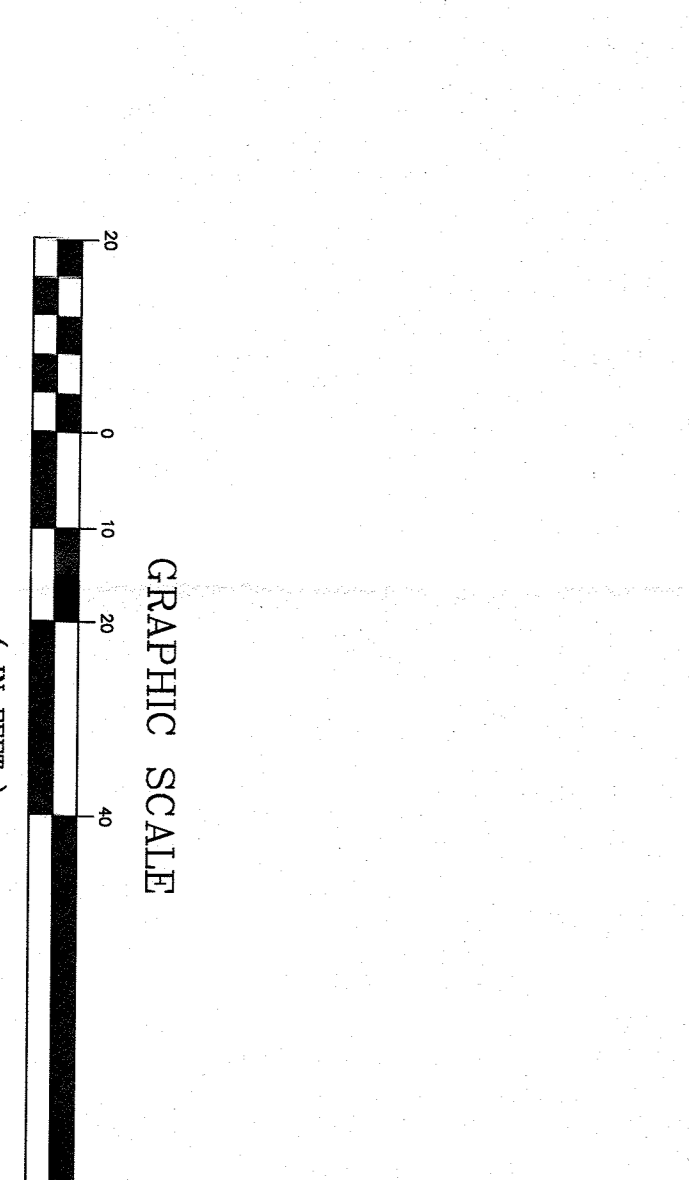
COVERABLE CALCULATION:
 EXISTING: 4000 SF CARPARK & 04-1808 SF
 CARPARK: 4000 SF
 STAIRS: 1808 SF
 TOTAL: 5808 SF
 PROPOSED:
 DECKING: 1000 SF CARPARK & 04-1808 SF
 STAIRS: 1808 SF
 TOTAL: 5808 SF



PAUL CZABAN
 LICENSE NO. 12345
 STATE OF NEW YORK
 PROFESSIONAL ENGINEER

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 2209(2) OF THE EPL AND IS PROHIBITED. THE CONTRACTOR SHALL CALL THE LOCAL UTILITY LOCATOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY NOT SHOWN ON THIS DRAWING IS THE RESPONSIBILITY OF THE CONTRACTOR.

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UTILITY LOCATOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY NOT SHOWN ON THIS DRAWING IS THE RESPONSIBILITY OF THE CONTRACTOR.

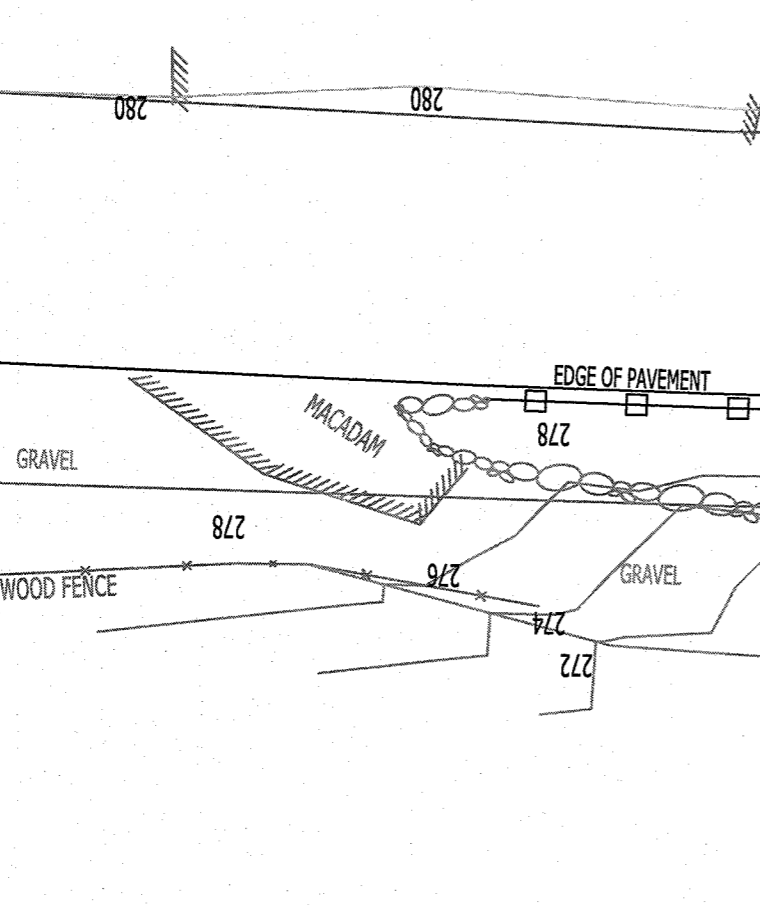


STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.

3. 2/26/21 REVISE PER COMMENTS
 2. 1/19/21 REVISE PER COMMENTS
 1. 12/10/20 REVISE PER COMMENTS

PAUL CZABAN, PE, PLLC
 633 WOODMONT LANE
 SAITSBURY, NY 10974-01
 TEL: (917) 418-0999

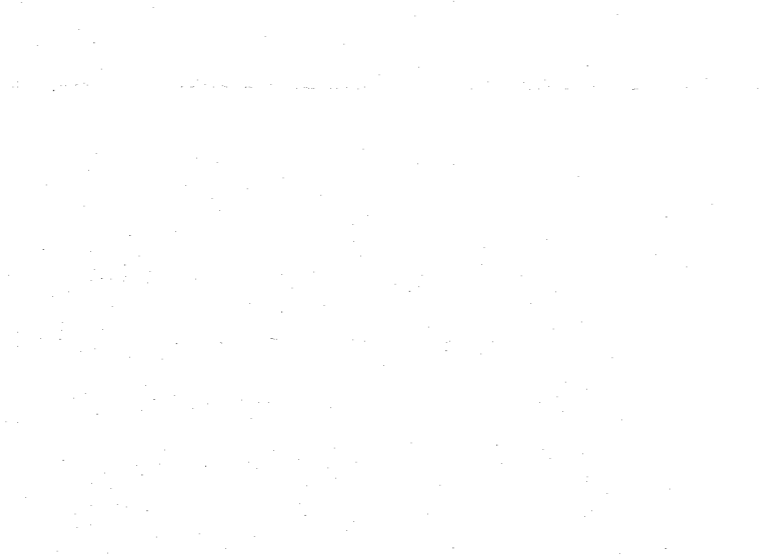
1. AREA OF DISTURBANCE-4000 SF
 2. NO TREES ARE TO BE REMOVED.
 3. NO WATER SUPPLY IMPROVEMENTS ARE NECESSARY.
 4. ALL UTILITIES INCLUDING WATER, GAS, SEWER, AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND IN THE MANNER SPECIFIED BY SECTION 239 L & M OF THE GENERAL ELEVATION DATUM IS 250 FEET.
 5. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP & HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L & M OF THE GENERAL ELEVATION DATUM IS 250 FEET.
 6. THE PROPOSED ADDITION IS REFLECTING EXISTING INTERVIOUS SURFACES AND GRAVEL. THEREFORE NO DRYWELL IS PROPOSED FOR THE ADDITION.
 7. ALL CONSTRUCTION IS SLAB ON GRADE AND DOESN'T A FOOTING DRAIN.



STRAW BALE DIKE
 N.T.S.

CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE LAYED AT THE TOP OF A SLOPE OR ON THE CORNER AND IN A ROW WITH TIGHT TIGHTLY ADJACENT BALES.
2. EACH BALE SHALL BE PROBED IN THE SOIL A MINIMUM OF (4) INCHES, AND 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY FIRMS TWO STAPLES OR REINFORCING BARS ON THE BALE. THE STAPLES OR REINFORCING BARS SHALL BE DRIVEN THROUGH THE BALE TO THE SOIL AND SHALL BE DRIVEN FLUSH WITH THE BALE. THE STAPLES OR REINFORCING BARS SHALL BE DRIVEN THROUGH THE BALE TO THE SOIL AND SHALL BE DRIVEN FLUSH WITH THE BALE. THE STAPLES OR REINFORCING BARS SHALL BE DRIVEN THROUGH THE BALE TO THE SOIL AND SHALL BE DRIVEN FLUSH WITH THE BALE.
4. ANCHORS SHALL BE REINFORCED AND BARS SPACING SHALL BE MADE AS NOT TO ROCK OR MOVE FROM TOWARD DRAINAGE.
5. BALES SHALL BE REMOVED WHEN THEIR USEFULNESS IS OVER.

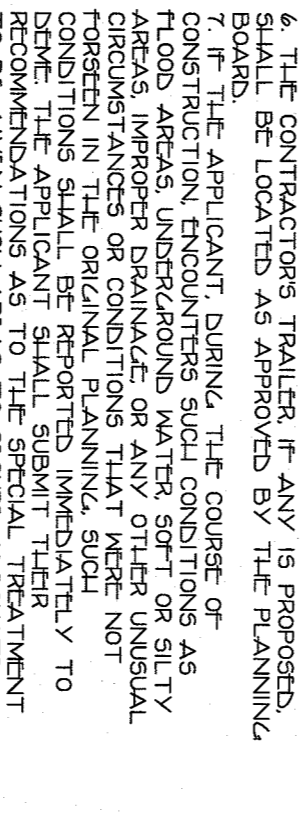


SILT FENCE
 N.T.S.

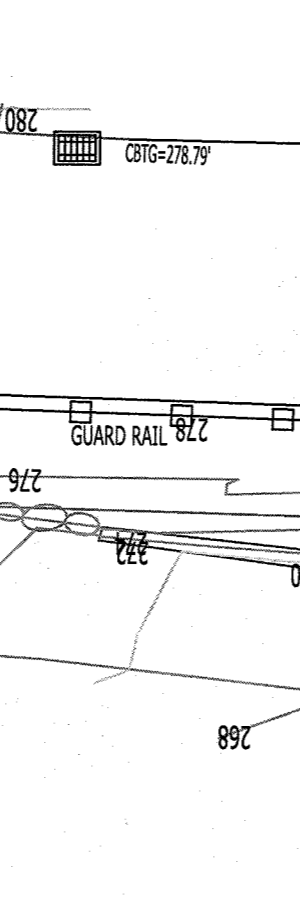
STANDARD DETAIL
 TERMINATE DETAIL

TAX MAP SECTION 73.05
 BLOCK 1 LOT 7.1
 SITE PLAN FOR ADDITION
 FOR
KENNEDY
 815 ROUTE 9M
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

JOSEPH KENNEDY, OWNER



VICINITY MAP
 1" = 200'



SILT FENCE
 N.T.S.

STANDARD DETAIL
 TERMINATE DETAIL

1. BALES SHALL BE LAYED AT THE TOP OF A SLOPE OR ON THE CORNER AND IN A ROW WITH TIGHT TIGHTLY ADJACENT BALES.
 2. EACH BALE SHALL BE PROBED IN THE SOIL A MINIMUM OF (4) INCHES, AND 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY FIRMS TWO STAPLES OR REINFORCING BARS ON THE BALE. THE STAPLES OR REINFORCING BARS SHALL BE DRIVEN THROUGH THE BALE TO THE SOIL AND SHALL BE DRIVEN FLUSH WITH THE BALE. THE STAPLES OR REINFORCING BARS SHALL BE DRIVEN THROUGH THE BALE TO THE SOIL AND SHALL BE DRIVEN FLUSH WITH THE BALE.

3. 2/26/21 REVISE PER COMMENTS
 2. 1/19/21 REVISE PER COMMENTS
 1. 12/10/20 REVISE PER COMMENTS

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CONSTRUCTION NOTES:

1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
3. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI, MIN. FV = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
5. ALL FRAMING MEMBERS (LEDGERS, SILL PLATES, ETC.) THAT THE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
6. INSTALL FIRE-BLOCKING WHEREVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
9. ALL STRUCTURAL LUMBER AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304.9.1 OF THE IBC, LATEST EDITION.
10. ROOF SHEATHING SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE I, LAY FACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
11. INSTALL NEW WINDOWS & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS. PATCH/REPAIR/ROOF EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS. U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD PANELED DOORS TO MATCH EXISTING AS CLOSELY AS POSSIBLE. HARDWARE TO MATCH EXISTING. REVIEW WITH OWNER.
15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
17. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.
18. ALL NEW WINDOWS TO HAVE WHITE HARDWARE AND SCREENS.

GENERAL NOTES:

1. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE TOWN OF ORANGETOWN BUILDING CODE, THE NEW YORK STATE RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFCI OUTLETS IN KITCHEN & BATHS, AS READ TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.
4. UPGRADE ALL PLUMBING SUPPLY LINES, PROVIDE VENTING AND MAINTAIN CONSTANT SLOPE IN ALL WASTE LINES. UPGRADE HEATING SYSTEM TO PROVIDE ADEQUATE HEATING THROUGHOUT. PROVIDE NEW RADIANT FLOOR HEAT AND HOT-WATER BASEBOARD RADIATORS (REVIEW W/ OWNER) TIED INTO EXISTING SYSTEM TO MEET STANDARD HEATING REQUIREMENTS. ALL PLUMBING WORK TO BE PERFORMED TO MEET ALL APPLICABLE CODES BY A PLUMBING CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

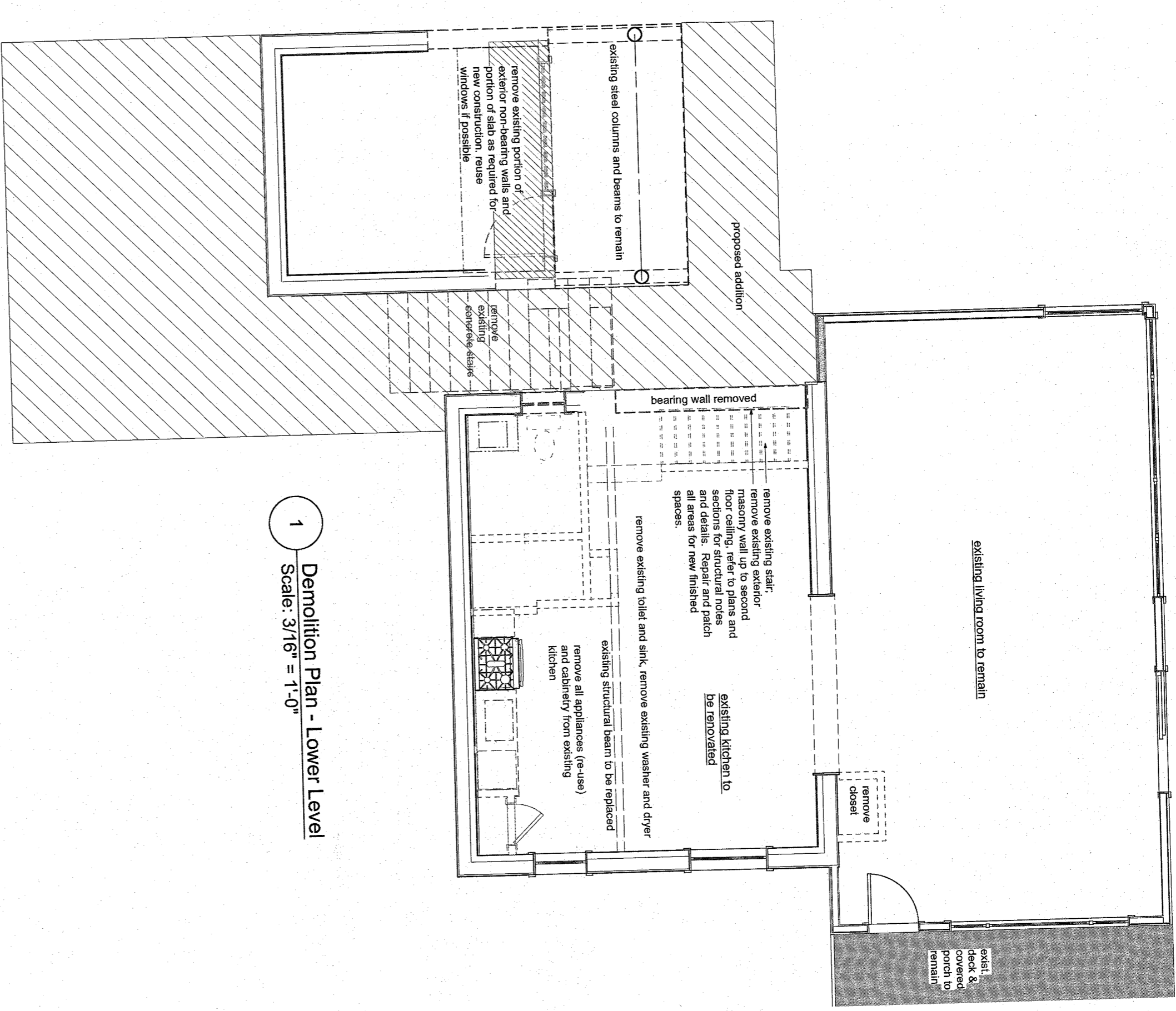
1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING, REPAIR LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS, THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

SMOKE DETECTOR NOTES:

1. PROVIDE SMOKE DETECTORS IN KITCHEN AND HALLWAYS (TO EXTENT POSSIBLE WITHIN SCOPE OF CONSTRUCTION). SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED AND INSTALLED PER MFR'S SPECIFICATIONS AND TO MEET ALL APPLICABLE CODES.
2. UNITS SHALL BE LOCATED ON OR NEAR THE CEILING, CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MINIMUM OF 4" AWAY FROM ANY WALLS. WALL MOUNT - CLOSEST EDGE SHALL BE A MINIMUM OF 4" AWAY FROM THE CEILING.
3. PROVIDE (1) COMBINATION CARBON MONOXIDE & SMOKE DETECTOR PER DWELLING.

ENERGY NOTES:

1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30. CLOSED CELL SPRAY FOAM IN ROOF FRAMING = R-49 (R-30 IF PLATE IS COMPLETELY COVERED).
4. WHEREVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R-VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS.
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE .32 U-VALUE OR LOWER WITH LOW E 2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE MARVIN, OR APPROVED EQUAL.
6. PROVIDE THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R402 OF THE ENERGY CODE.



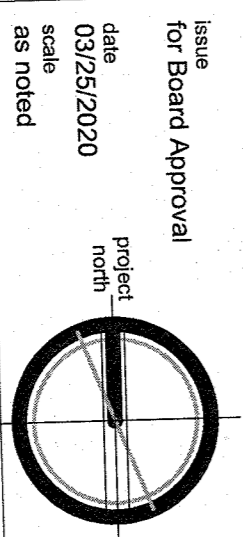
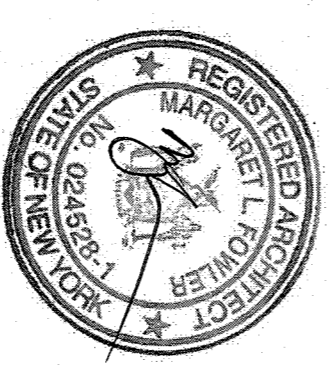
1 Demolition Plan - Lower Level
Scale: 3/16" = 1'-0"

Total Areas for Bulk Calculations

Proposed Addition	= 865 SF
Existing House	= 1,946 SF
Existing Deck	= 76 SF
Existing Garage	= 443 SF
Total Existing	= 2,495
Total SF Proposed	= 3,360 SF

LIST OF DRAWINGS

A-0.0	LL Demolition Plans & General Notes
A-0.1	Lower Level Construction Plan
A-0.2	Lower Level - Power & Lighting
A-1.0	Main Level Construction Plan
A-1.1	Main Level - Power & Lighting
A-2.0	Upper Level Construction Plan
A-2.1	Upper Level - Power & Lighting
A-3.1	Roof Plan
A-4.1	West & North Elevations
A-4.2	South & East Elevations
A-5.1	Building Section Looking East
A-5.2	Building Section Looking North
A-6.1	Interior Elevations - Kitchen
A-7.1	Wall Sections



Issue for Board Approval
date 03/25/2020
scale as noted
project north

03/01/21, revised per FB comments

Lower Level Demolition Plan & General Notes

drawing number
A-0.0

additions and alterations to

Kennedy

Residence

815 Route 9W
Nyack, NY 10960
Town of Orangetown
County of Rockland

Architect

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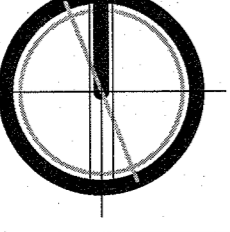
megfowlerarchitect@gmail.com

notes:



03/01/21, revised per PB comments

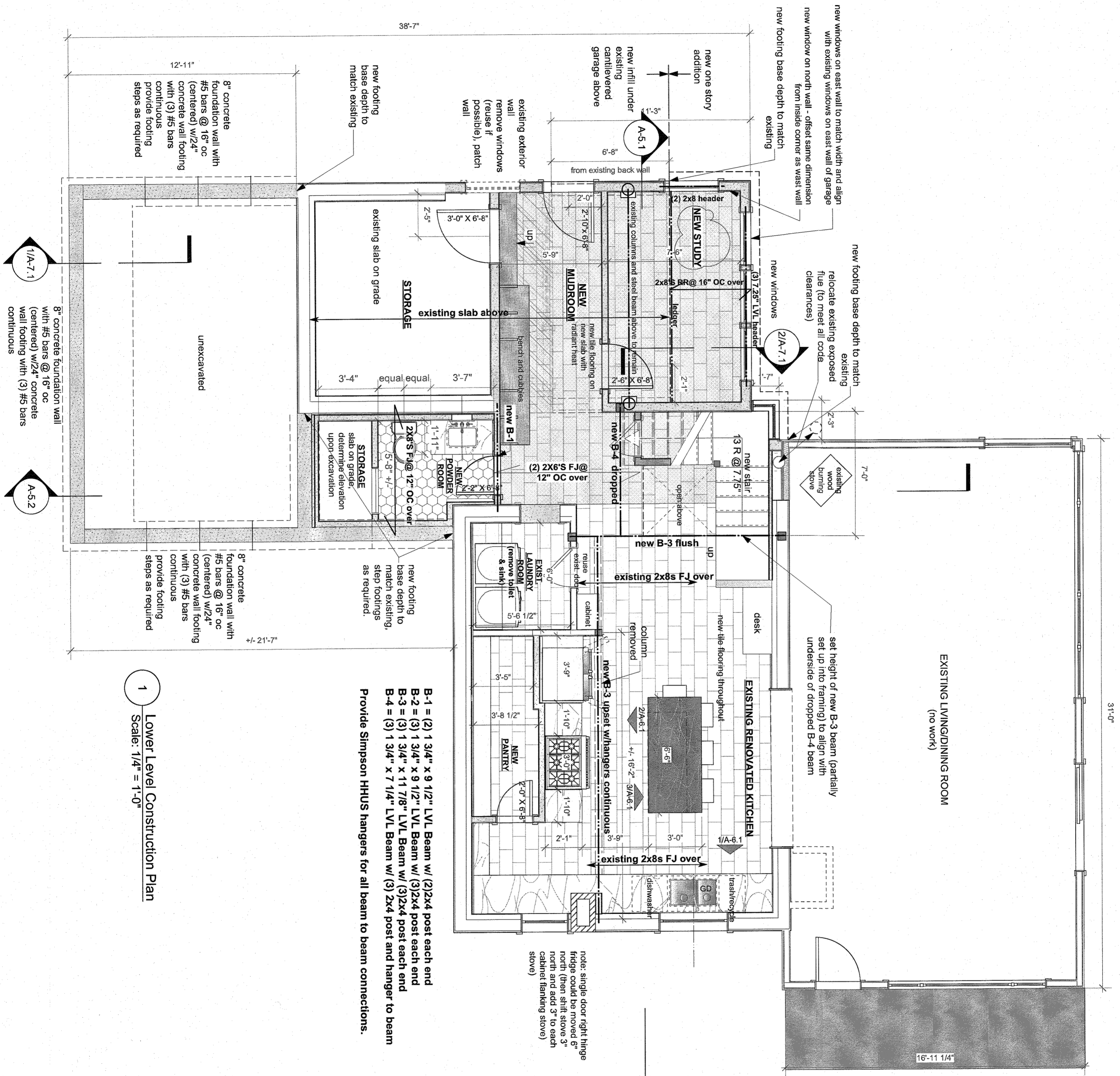
Issue for Board Approval
date 03/25/2020
scale as noted



Lower Level Construction Plan

drawing number

A-0.1



1 Lower Level Construction Plan
Scale: 1/4" = 1'-0"

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Nyack, NY 10960

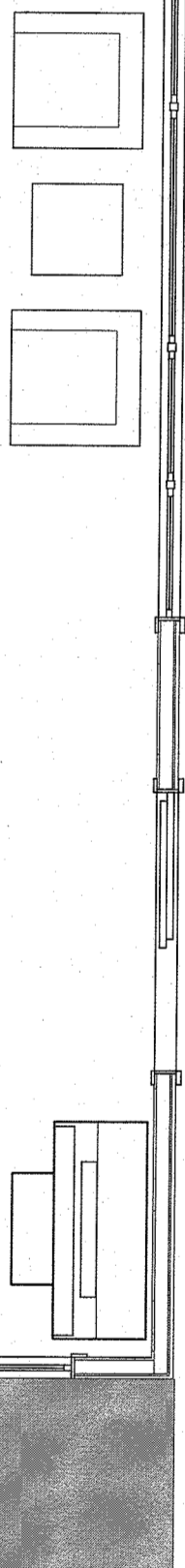
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notes:



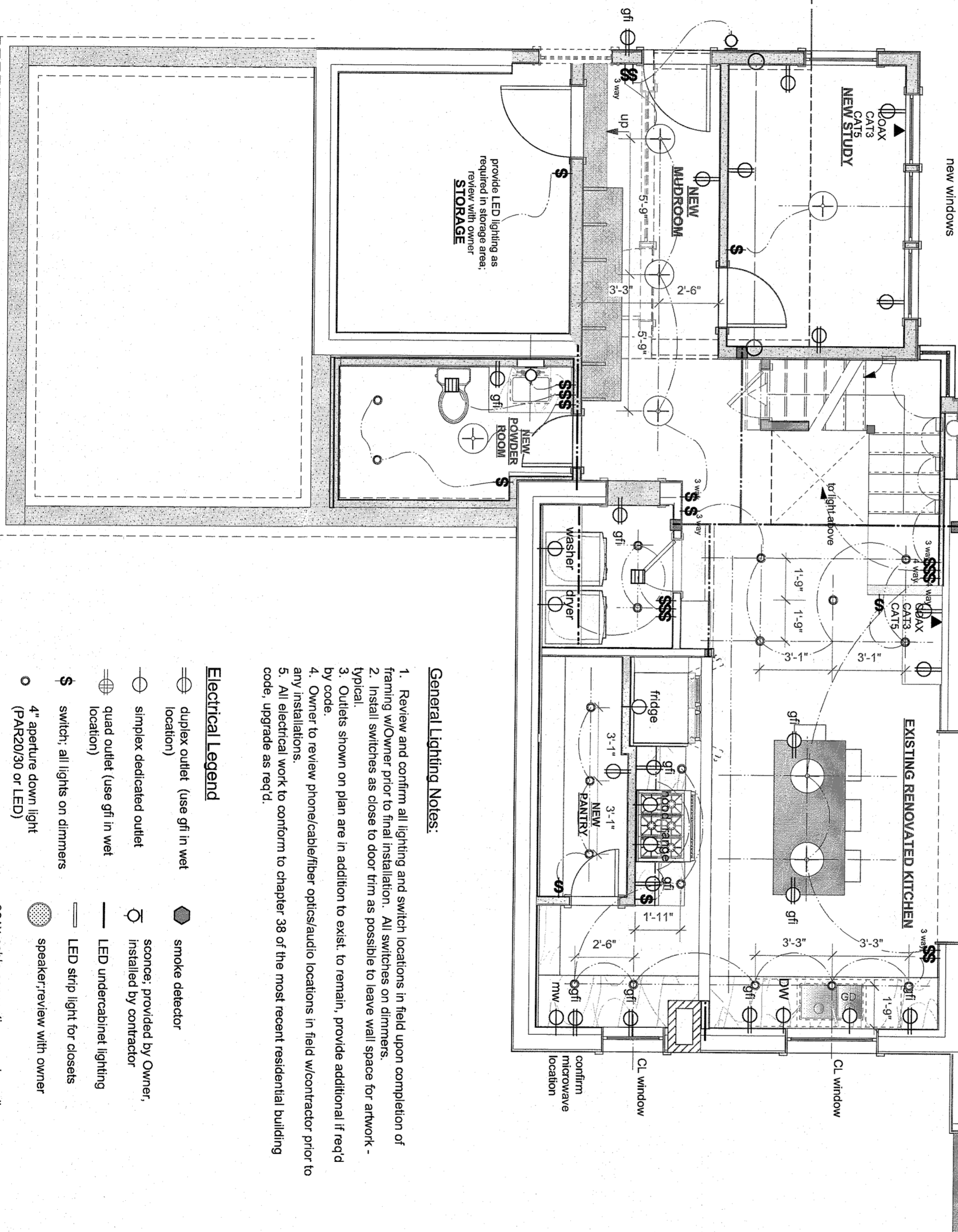
EXISTING LIVING/DINING ROOM
(no work)

note: review/assess lighting requirements in kitchen w/owner & electrician

new windows

new one story addition

new infill under existing cantilevered garage above



General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist. provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

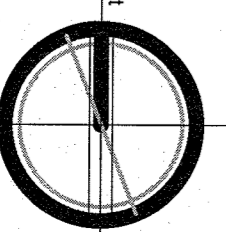
Electrical Legend

- ⊖ duplex outlet (use gfi in wet location)
- ⊖ simplex dedicated outlet
- ⊖ quad outlet (use gfi in wet location)
- \$ switch; all lights on dimmers
- 4" aperture down light (PAR20/30 or LED)
- ⊕ pendant or ceiling mid. fixture; provided by Owner, installed by contractor
- ⬢ smoke detector
- ⊖ sconce, provided by Owner, installed by contractor
- LED undercabinet lighting
- LED strip light for closets
- ⊖ speaker; review with owner
- ⊖ COAX cable connections; review all CAT3 locations with Owner prior to rough wiring

1 Lower Level Power & Lighting Plan
Scale: 1/4" = 1'-0"



Issue for Board Approval
date 03/25/2020
scale as noted



Lower Level Power & Lighting Plan

drawing number

A-0.2

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County of Rockland

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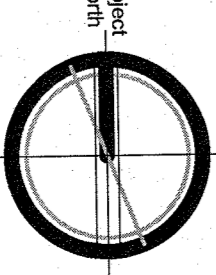
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notes:



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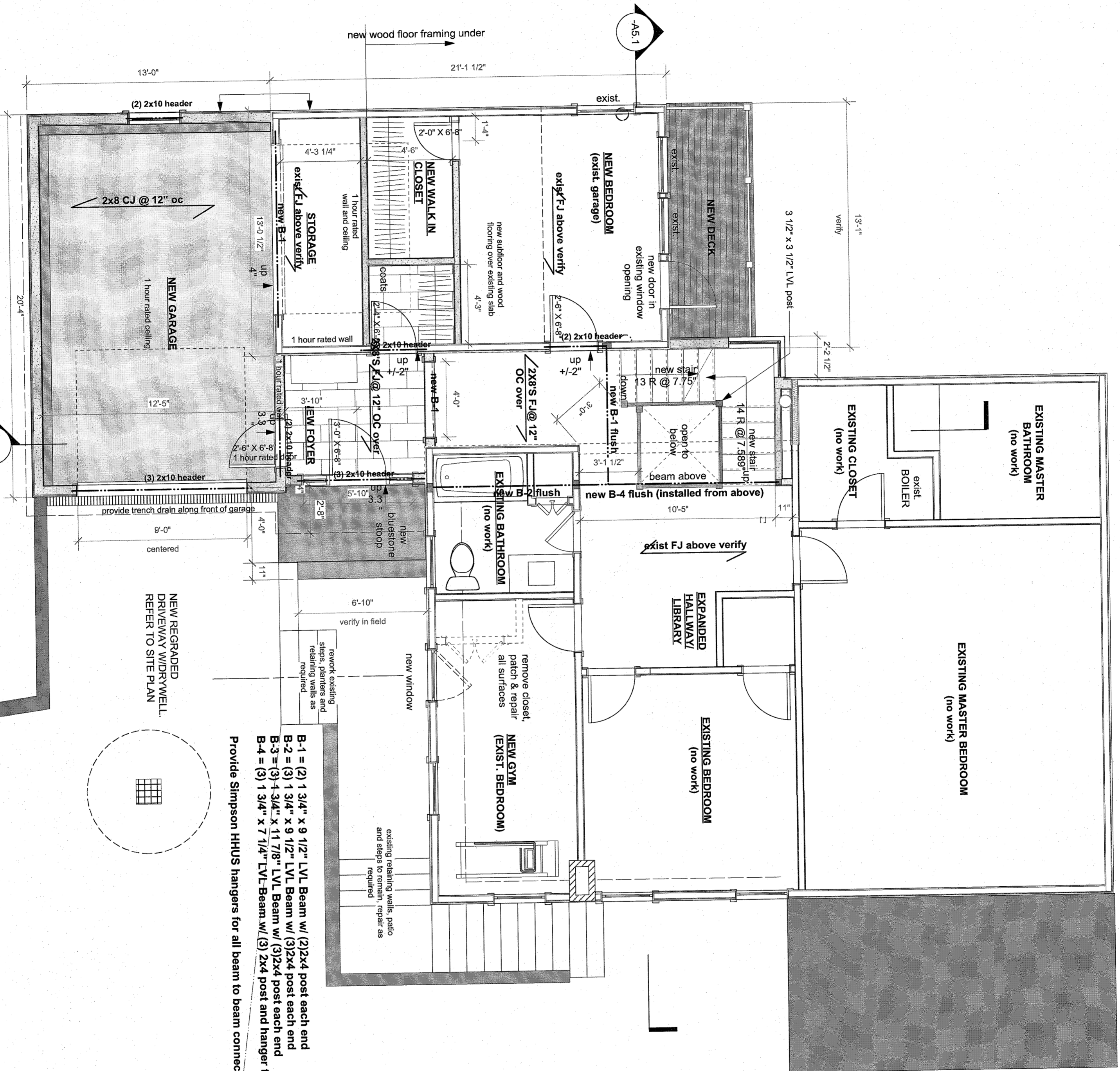
Issue for Board Approval
date 03/25/2020
scale as noted



Main Level Construction Plan

drawing number

A-1.1



B-1 = (2) 1 3/4" x 9 1/2" LVL Beam w/ (2) 2x4 post each end
B-2 = (3) 1 3/4" x 9 1/2" LVL Beam w/ (3) 2x4 post each end
B-3 = (3) 1 3/4" x 11 7/8" LVL Beam w/ (3) 2x4 post each end
B-4 = (3) 1 3/4" x 7 1/4" LVL Beam w/ (3) 2x4 post and hanger to beam
Provide Simpson HHUS hangers for all beam to beam connections.

1 Main Level Construction Plan
Scale: 1/4" = 1'-0"

additions and alterations to
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Residence
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 Town of Orangetown
 County of Rockland

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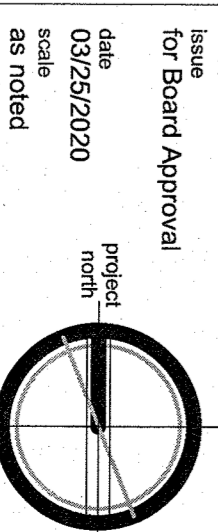
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notes:



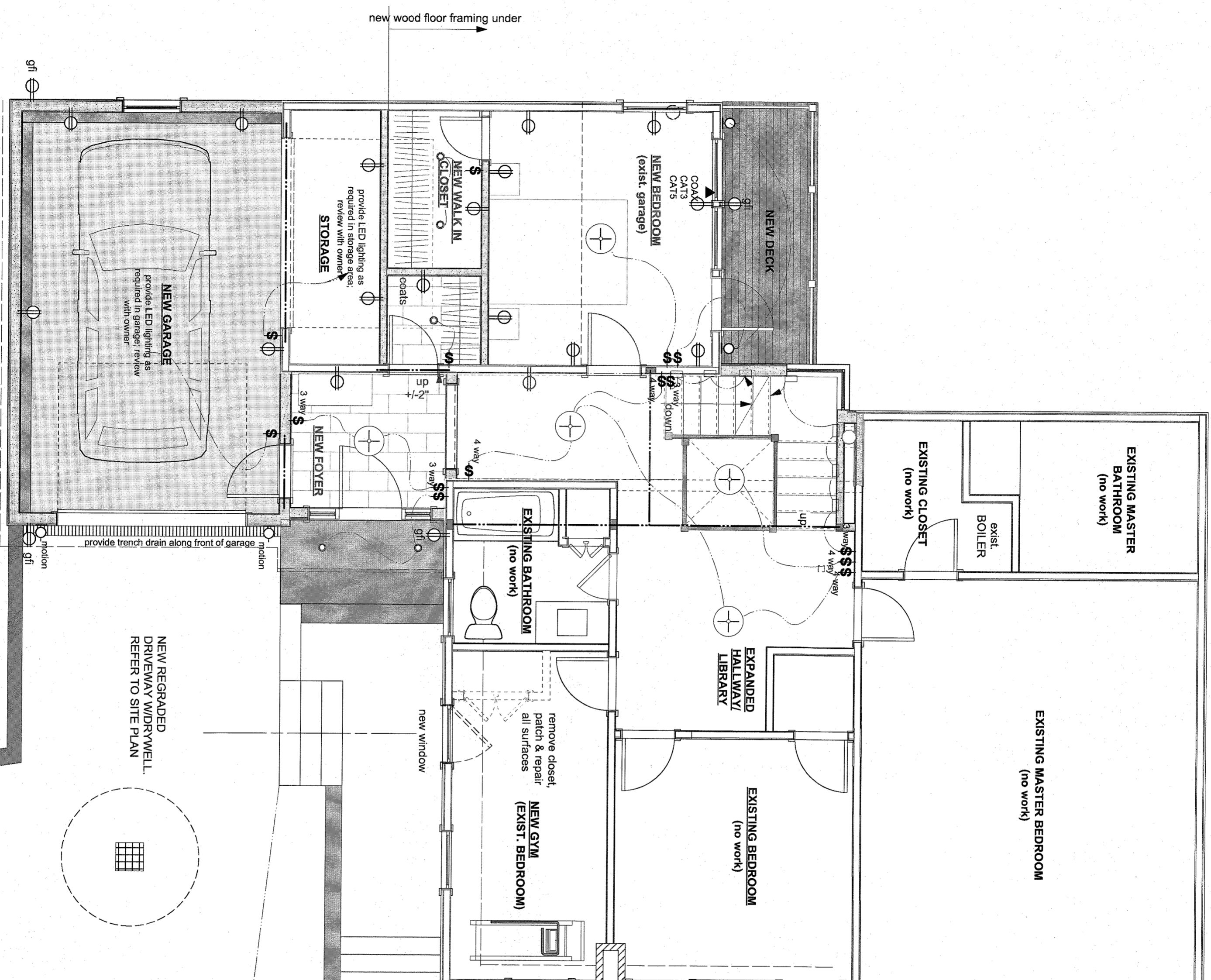
03/01/21 revised per PB comments



Issue for Board Approval
 date 03/25/2020
 scale as noted

drawing number

A-1.2



General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist. to remain, provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Electrical Legend

- duplex outlet (use gfi in wet location)
- simplex dedicated outlet
- quad outlet (use gfi in wet location)
- switch; all lights on dimmers
- 4" aperture down light (PAR20/30 or LED)
- pendant or ceiling mtd. fixture; provided by Owner, installed by contractor
- smoke detector
- sconce; provided by Owner, installed by contractor
- LED undercabinet lighting
- LED strip light for closets
- speaker; review with owner
- COAX cable connections; review all CAT3 locations with Owner prior to rough wiring
- tread lighting in stringer

1 Main Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"

additions and alterations to

Kennedy

Residence

815 Route 9W

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notes:

- B-1 = (2) 1 3/4" x 9 1/2" LVL Beam w/ (2) 2x4 post each end
- B-2 = (3) 1 3/4" x 9 1/2" LVL Beam w/ (3) 2x4 post each end
- B-3 = (3) 1 3/4" x 11 7/8" LVL Beam w/ (3) 2x4 post each end
- R-1 = (2) 1 3/4" X 11 7/8" structural ridge



1 Upper Level Construction Plan
Scale: 1/4" = 1'-0"



03/01/21, revised per PB comments

Issue for Board Approval

date 03/25/2020 project north

scale as noted

Upper Level Construction

drawing number
A-2.1

additions and alterations to
Kennedy
Residence
 815 Route 9W
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notes:



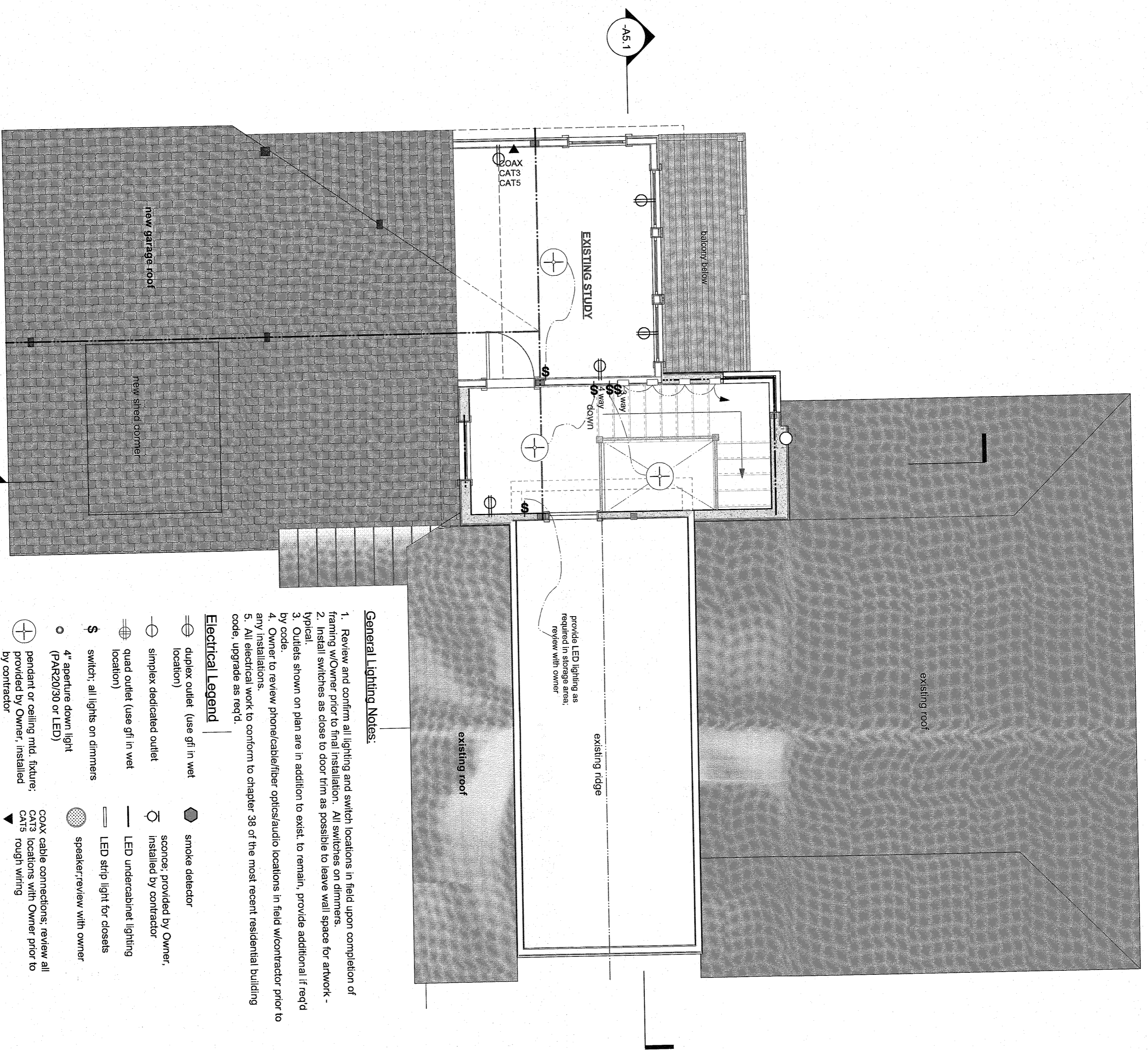
03/01/21 revised per PB comments

Issue for Board Approval
 date 03/25/2020 project north
 scale as noted

Upper Level Power & Lighting Plan

drawing number

A-2.2



General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
3. Outlets shown on plan are in addition to exist; to remain, provide additional if req'd by code.
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

Electrical Legend

- | | | | |
|--|---|--|--|
| | duplex outlet (use gfi in wet location) | | smoke detector |
| | simplex dedicated outlet | | sconce, provided by Owner, installed by contractor |
| | quad outlet (use gfi in wet location) | | LED undercabinet lighting |
| | switch; all lights on dimmers | | LED strip light for closets |
| | 4" aperture down light (PAR20/30 or LED) | | speaker; review with owner |
| | pendant or ceiling mtd. fixture; provided by Owner, installed by contractor | | COAX cable connections; review all CAT3 locations with Owner prior to rough wiring |
| | tread lighting in stringer | | |

1 Upper Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"

additions and alterations to

Kennedy

Residence
815 Route 9W

Nyack, NY 10960
Town of Orangetown
County of Rockland

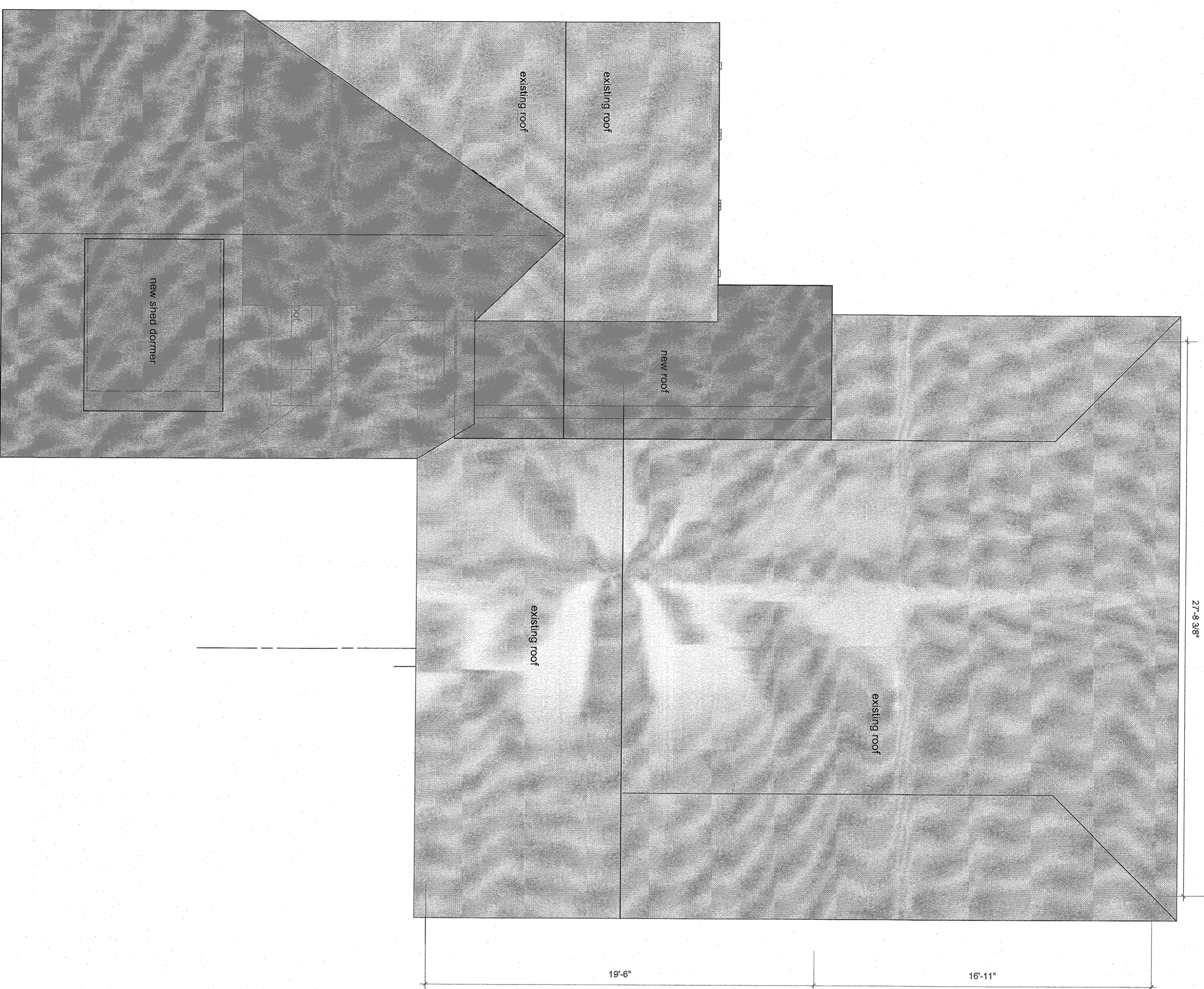
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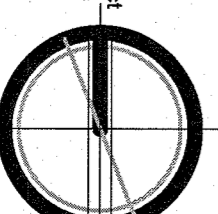
megfowlerarchitect@gmail.com

notes:



03/01/21, revised per PB comments

Issue for Board Approval
date 03/25/2020 project north
scale as noted



Roof Construction Plan

drawing number

A-3.1

additions and alterations to

Kennedy

Residence

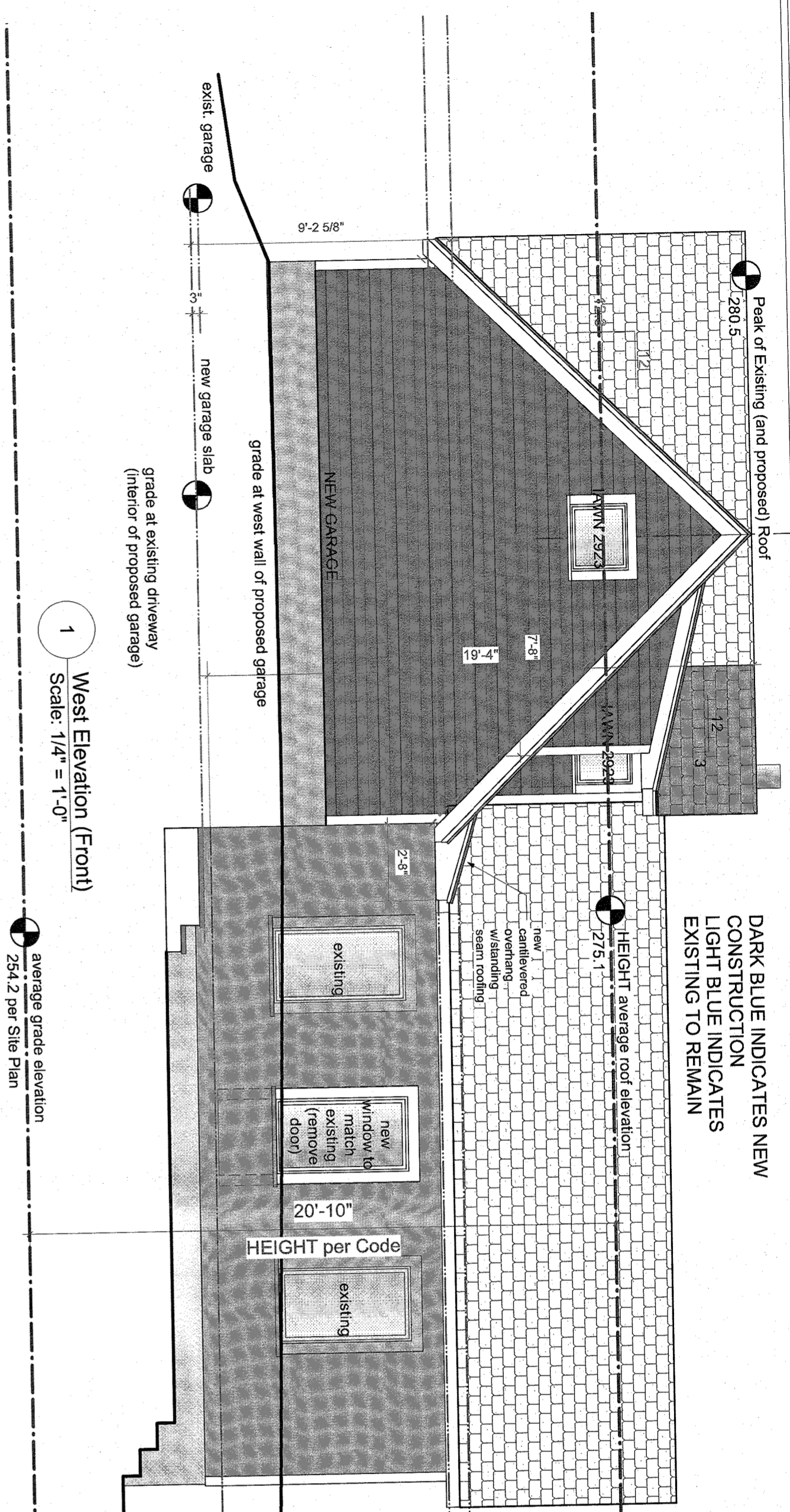
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Nyack, NY 10960
Town of Orangetown
County of Rockland

Architect
Margaret Fowler Architect, LLC

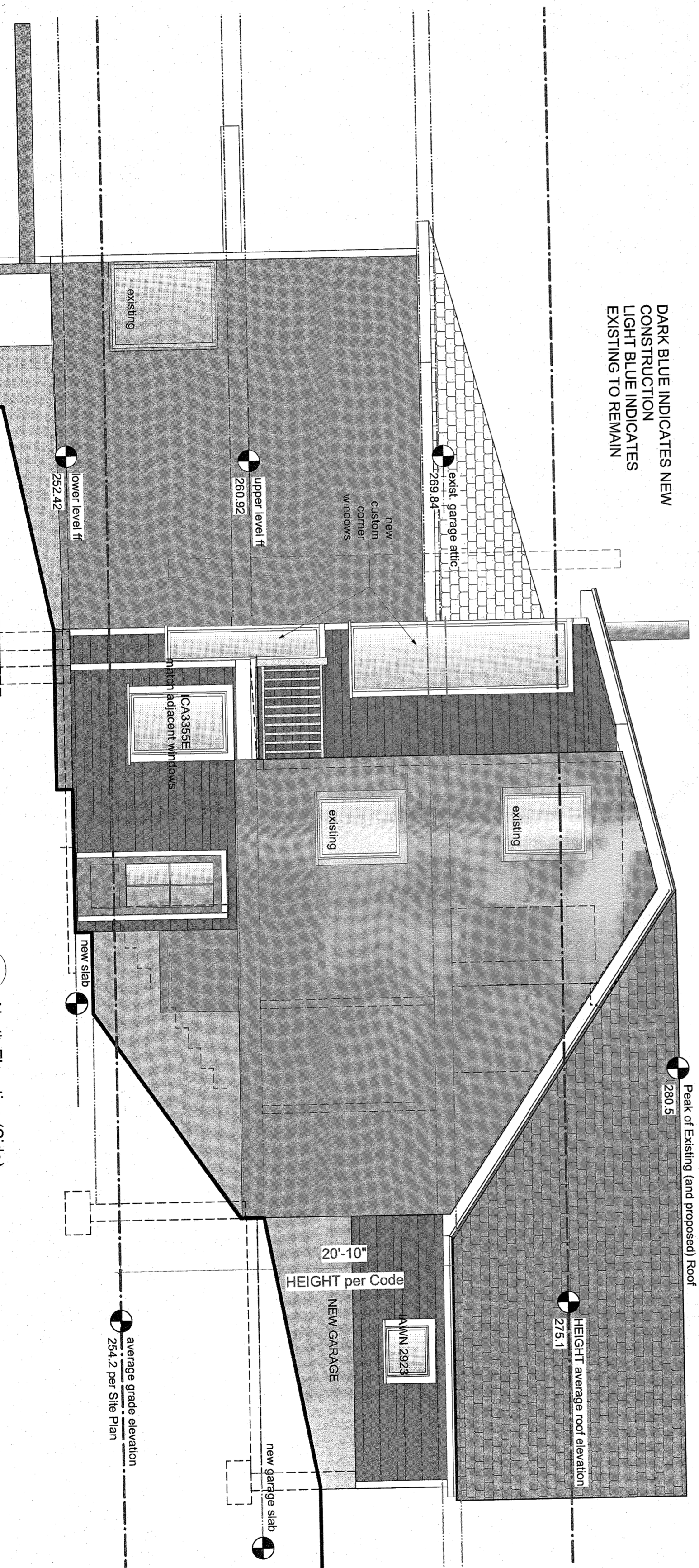
NYS License # 024528-1
500 North Broadway
Upper Nyack, New York 10960
t: (845) 680-9475
megfowlerarchitect@gmail.com

notes:

- EXTERIOR ELEVATION NOTES:**
1. SIDING - HORIZONTAL CLAPBOARD TO MATCH EXISTING.
 2. WINDOWS AND TRIM - WOOD WINDOWS (S/M, DIVIDED LIGHTS W/ SPACER BARS (BY MARVIN OR LINCOLN)), PAINTED WHITE TO MATCH EXISTING. TRIM DETAILS AND SOFFIT DETAILS TO MATCH EXISTING.
 3. ROOFING - TIMBERLINE LIFETIME SHINGLES TO MATCH EXISTING.
 4. GUTTERS AND LEADERS - WHITE POWDER-COATED ALUM TO MATCH EXISTING.

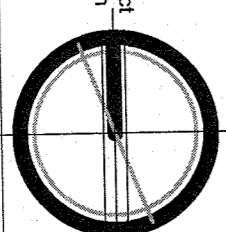


DARK BLUE INDICATES NEW CONSTRUCTION
LIGHT BLUE INDICATES EXISTING TO REMAIN



03/01/21, revised per PB comments

Issue for Board Approval
date 03/25/2020 project north
scale as noted



Exterior Elevations - West & North

drawing number

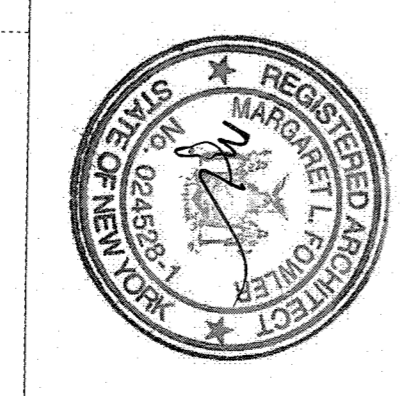
A-4.1

additions and alterations to
Kennedy
Residence
 815 Route 9W
 Nyack, NY 10960
 Town of Orangetown
 County of Rockland

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notes:



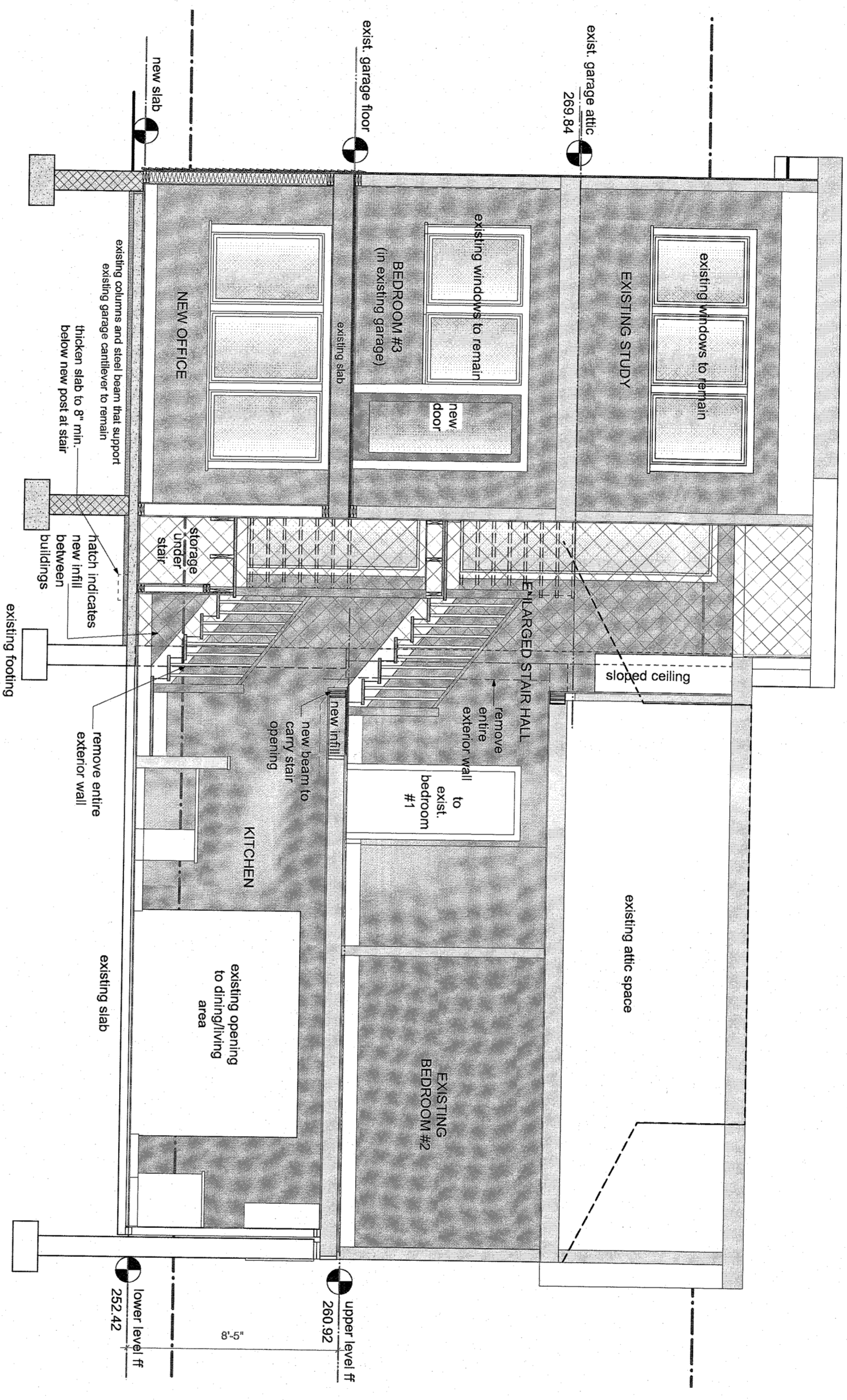
03/01/21, revised per P.B. comments

Issue for Board Approval
 date 03/25/2020
 project north
 scale as noted

Building Section
 Looking East

drawing number

A-5.1

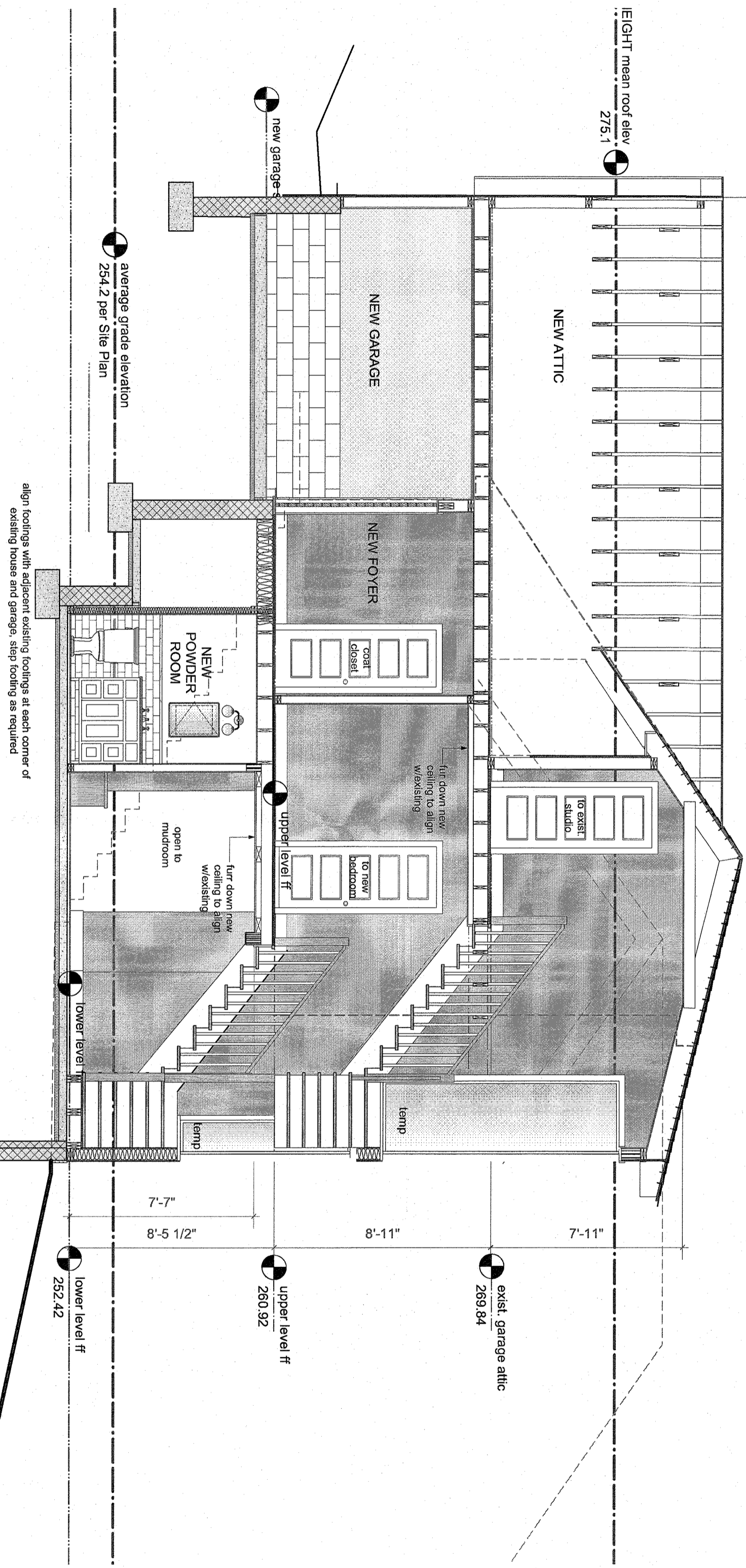


1 Section Looking East
 Scale: 1/4" = 1'-0"

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notes:



03/01/21 revised per PB comments

Issue for Board Approval
 date 03/25/2020
 project north
 scale as noted

Building Section
 looking North

drawing number

A-5.2

additions and alterations to

Kennedy

Residence

815 Route 9W

Nyack, NY 10960

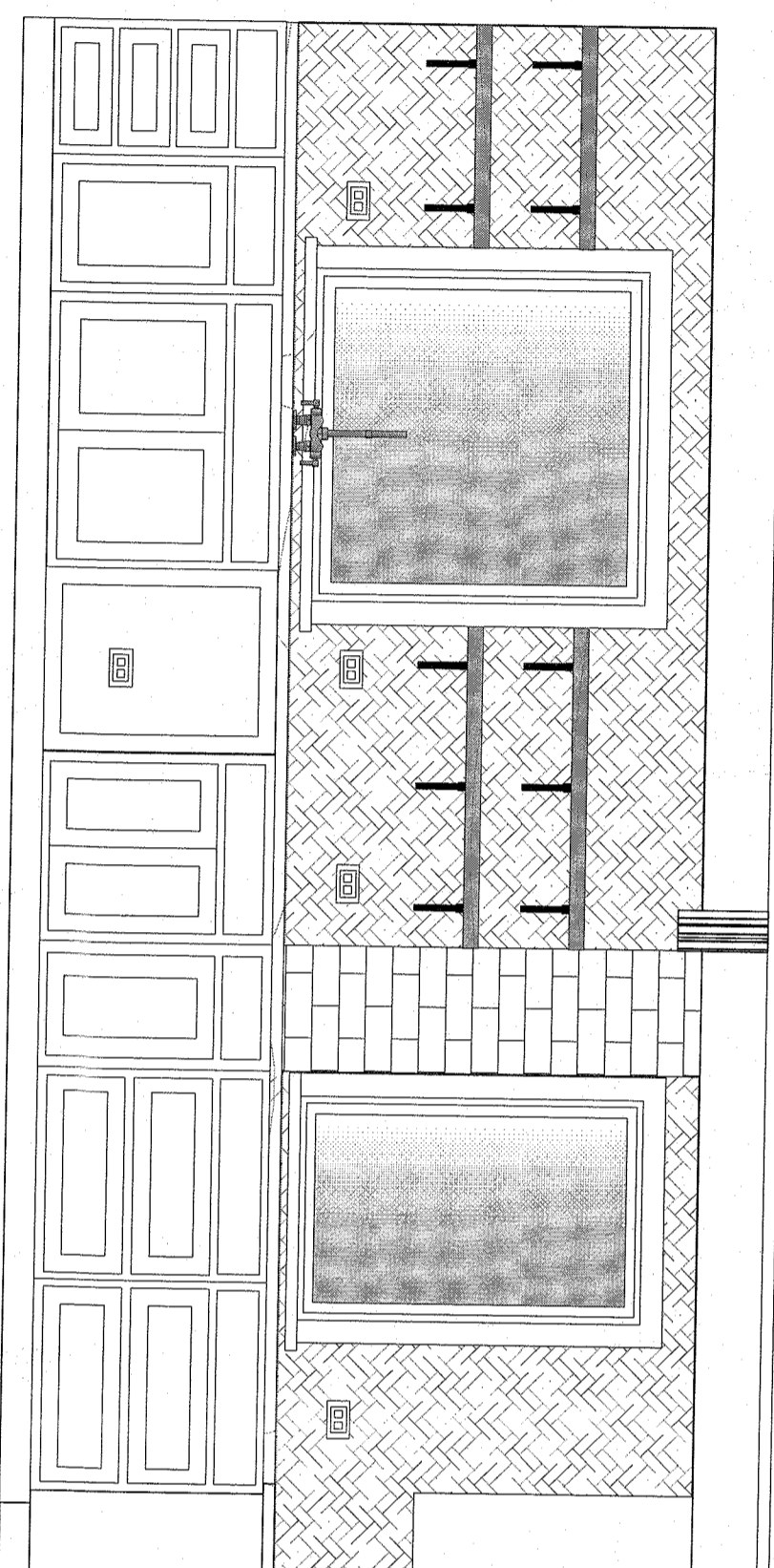
Town of Orangetown

County of Rockland

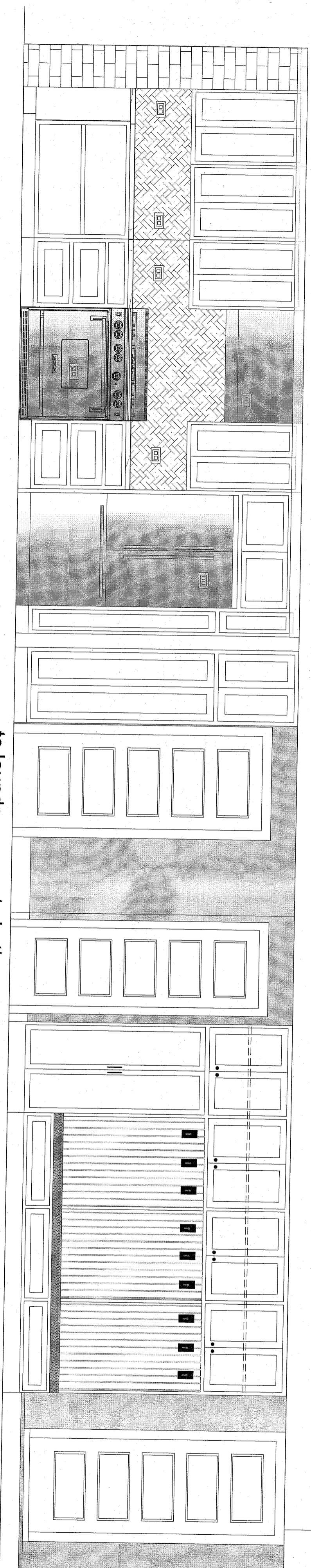
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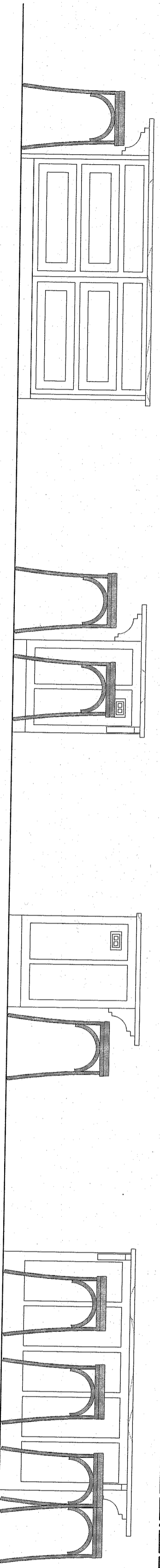
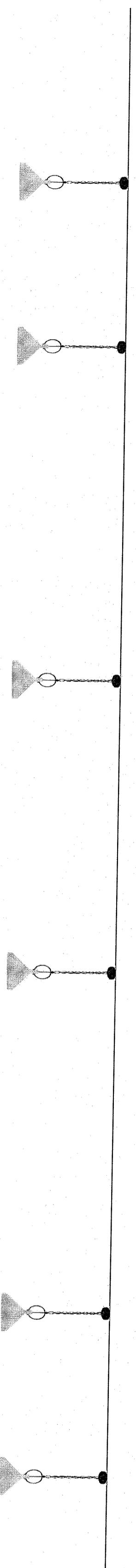
notes:



1 kitchen elevation south
Scale: 1/2" = 1'-0"



2 kitchen/mudroom elevation west
Scale: 1/2" = 1'-0"

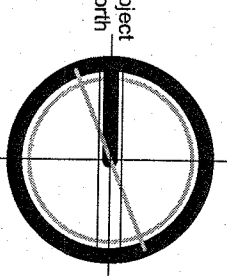


3 kitchen island elevations
Scale: 1/2" = 1'-0"



03/01/21 revised per PB comments

Issue for Board Approval
date 03/25/2020
project north
scale as noted



Interior elevations -
Kitchen & mudroom

drawing number

A-6.1

additions and alterations to

Kennedy

Residence

815 Route 9W

Nyack, NY 10960

Town of Orangetown
existing exterior wall/ckland

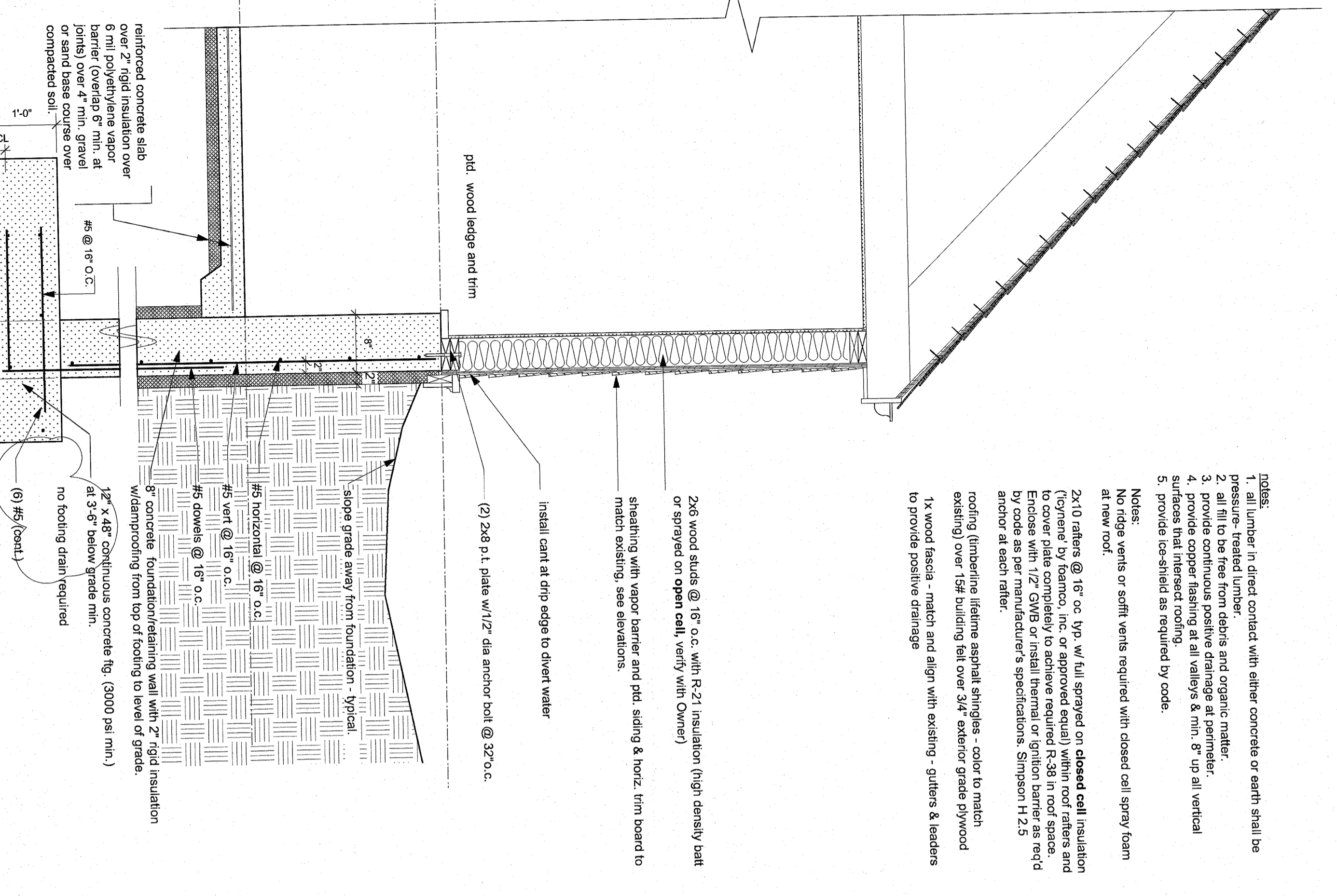
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notes:

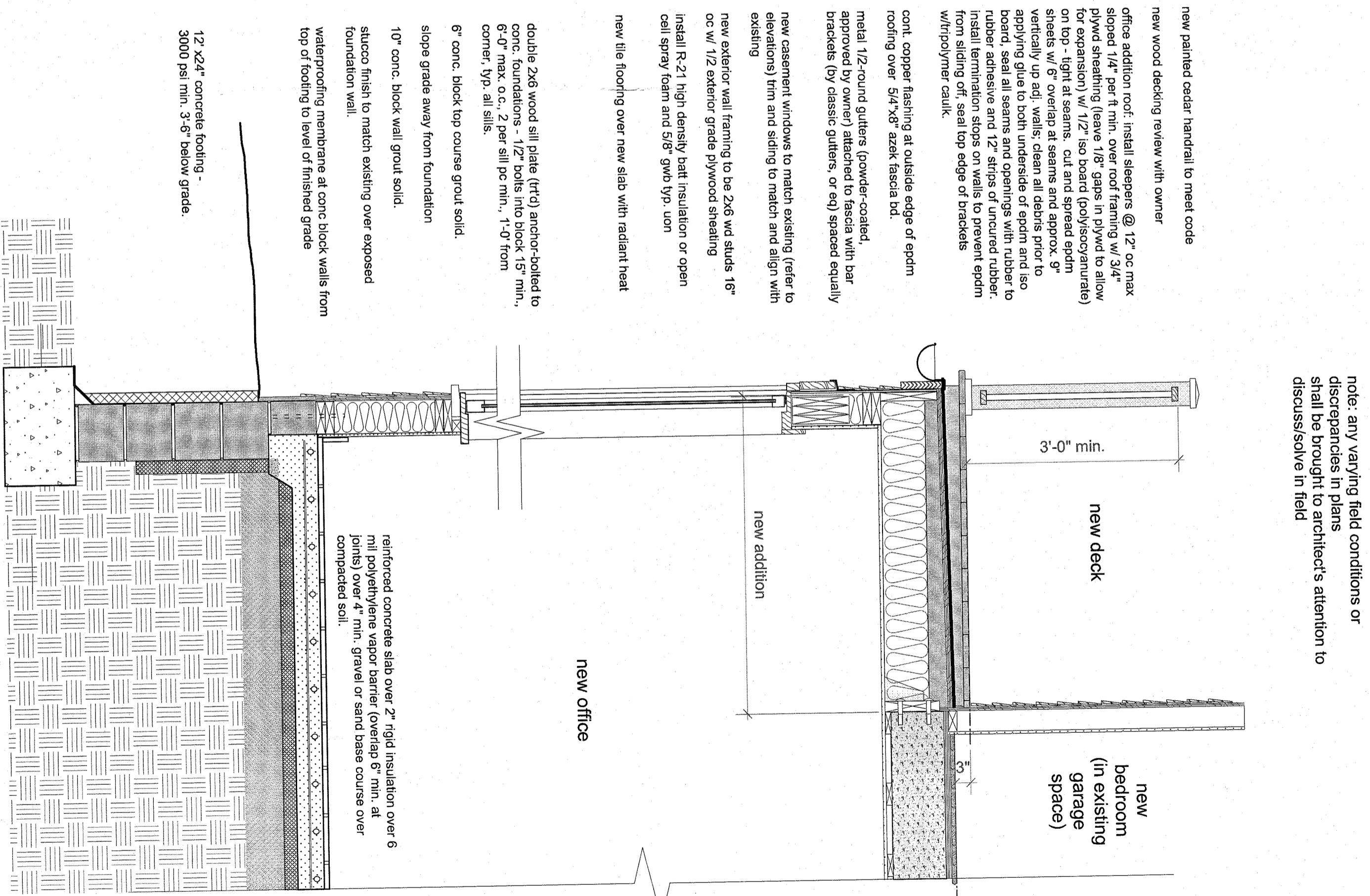
fur down slab to align gwb ceilings

note: any varying field conditions or discrepancies in plans shall be brought to architect's attention to discuss/solve in field



1 wall section - garage
Scale: 3/4" = 1'-0"

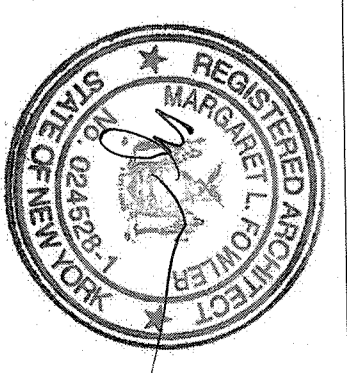
- Notes:
1. all lumber in direct contact with either concrete or earth shall be pressure-treated lumber.
 2. all fill to be free from debris and organic matter.
 3. provide continuous positive drainage at perimeter.
 4. provide copper flashing at all valleys & min. 8" up all vertical surfaces that intersect roofing.
 5. provide ice-shield as required by code.
- Notes:
- No ridge vents or soffit vents required with closed cell spray foam at new roof.
- 2x10 rafters @ 16" o.c. typ. w/ full sprayed on closed cell insulation (icynene) by foamco, inc. or approved equal) within roof rafters and to cover plate completely to achieve required R-38 in roof space. Enclose with 1/2" GWB or install thermal or ignition barrier as req'd by code as per manufacturer's specifications: Simpson H 2.5 anchor at each rafter.
- roofing (timberline lifetime asphalt shingles - color to match existing) over 15# building felt over 3/4" exterior grade plywood
- 1x wood fascia - match and align with existing - gutters & leaders to provide positive drainage



2 wall section - study
Scale: 3/4" = 1'-0"

- new painted cedar handrail to meet code
- new wood decking review with owner
- office addition roof: install sleepers @ 12" oc max sloped 1/4" per ft min. over roof framing w/ 3/4" plywood sheathing (leave 1/8" gaps in plywood to allow for expansion) w/ 1/2" iso board (polyisocyanurate) on top - tight at seams, cut and spread epdm sheets w/ 6" overlap at seams and approx. 9" vertically up adj. walls; clean all debris prior to applying glue to both underside of epdm and iso board; seal all seams and openings with rubber to rubber adhesive and 12" strips of uncured rubber. install termination stops on walls to prevent epdm from sliding off; seal top edge of brackets w/ polyurethane caulk.
- cont. copper flashing at outside edge of epdm roofing over 5/4"x8" azek fascia bd.
- metal 1/2"-round gutters (powder-coated, approved by owner) attached to fascia with bar brackets (by classic gutters, or eq) spaced equally
- new casement windows to match existing (refer to elevations) trim and siding to match and align with existing
- new exterior wall framing to be 2x6 wd studs 16" oc w/ 1/2" exterior grade plywood sheathing
- install R-21 high density batt insulation or open cell spray foam and 5/8" gwb typ. upon
- new tile flooring over new slab with radiant heat

- double 2x6 wood sill plate (tr'd) anchor-bolted to conc. foundations - 1/2" bolts into block 15" min., 6'-0" max. o.c. 2 per sill pc min., 1'-0" from corner, typ. all sills.
- 6" conc. block top course grout solid.
- slope grade away from foundation
- 10" conc. block wall grout solid.
- stucco finish to match existing over exposed foundation wall.
- waterproofing membrane at conc block walls from top of footing to level of finished grade
- 12' x 24" concrete footing - 3000 psi min. 3'-6" below grade.



03/01/21 revised per PB comments

issue for Board Approval

date 03/25/2020

scale as noted

project north

Wall Sections

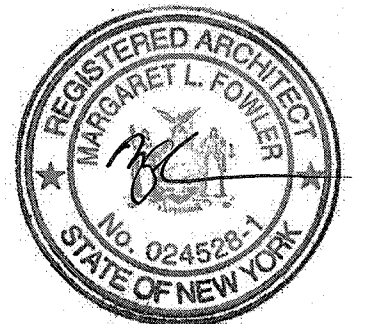
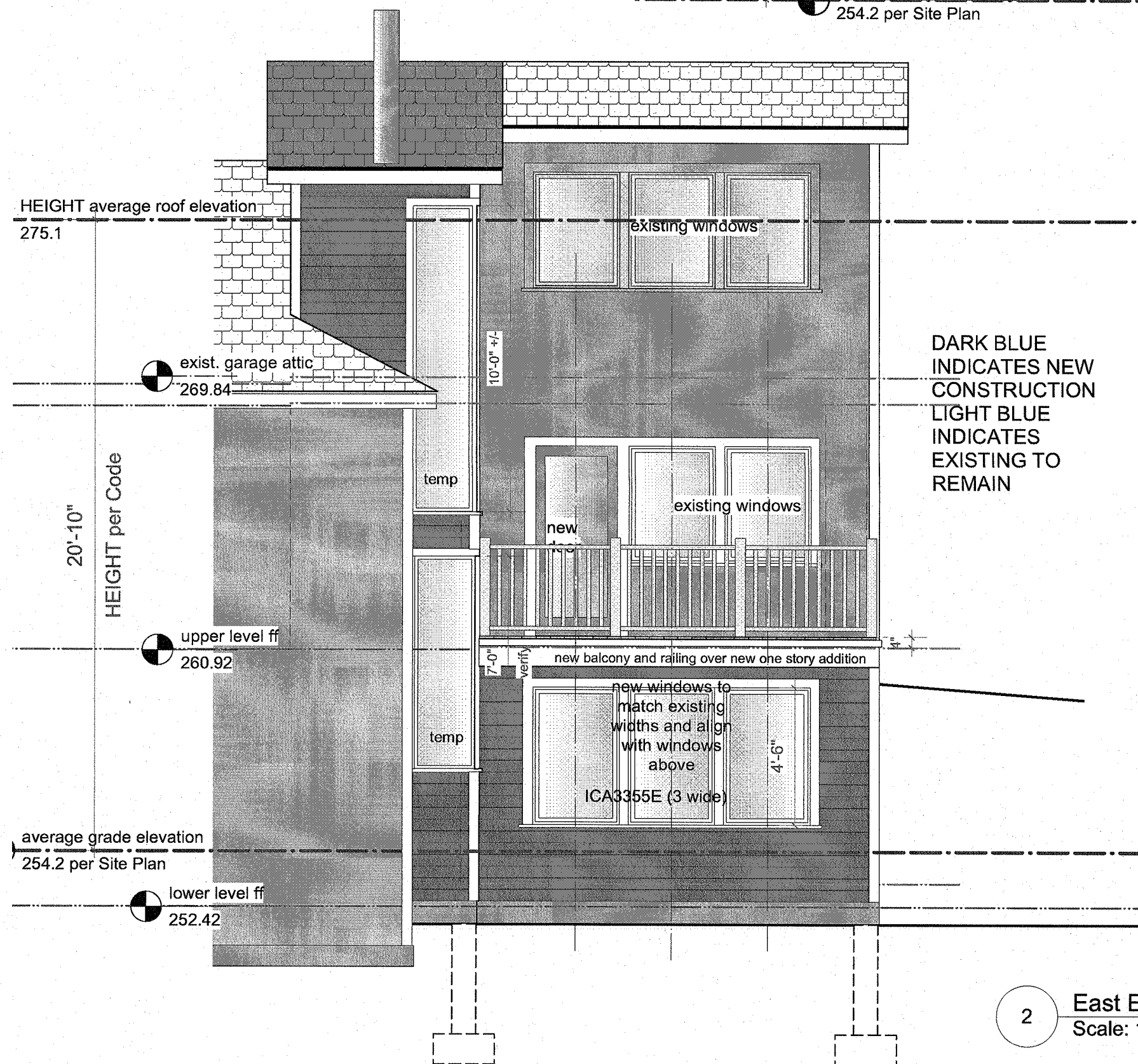
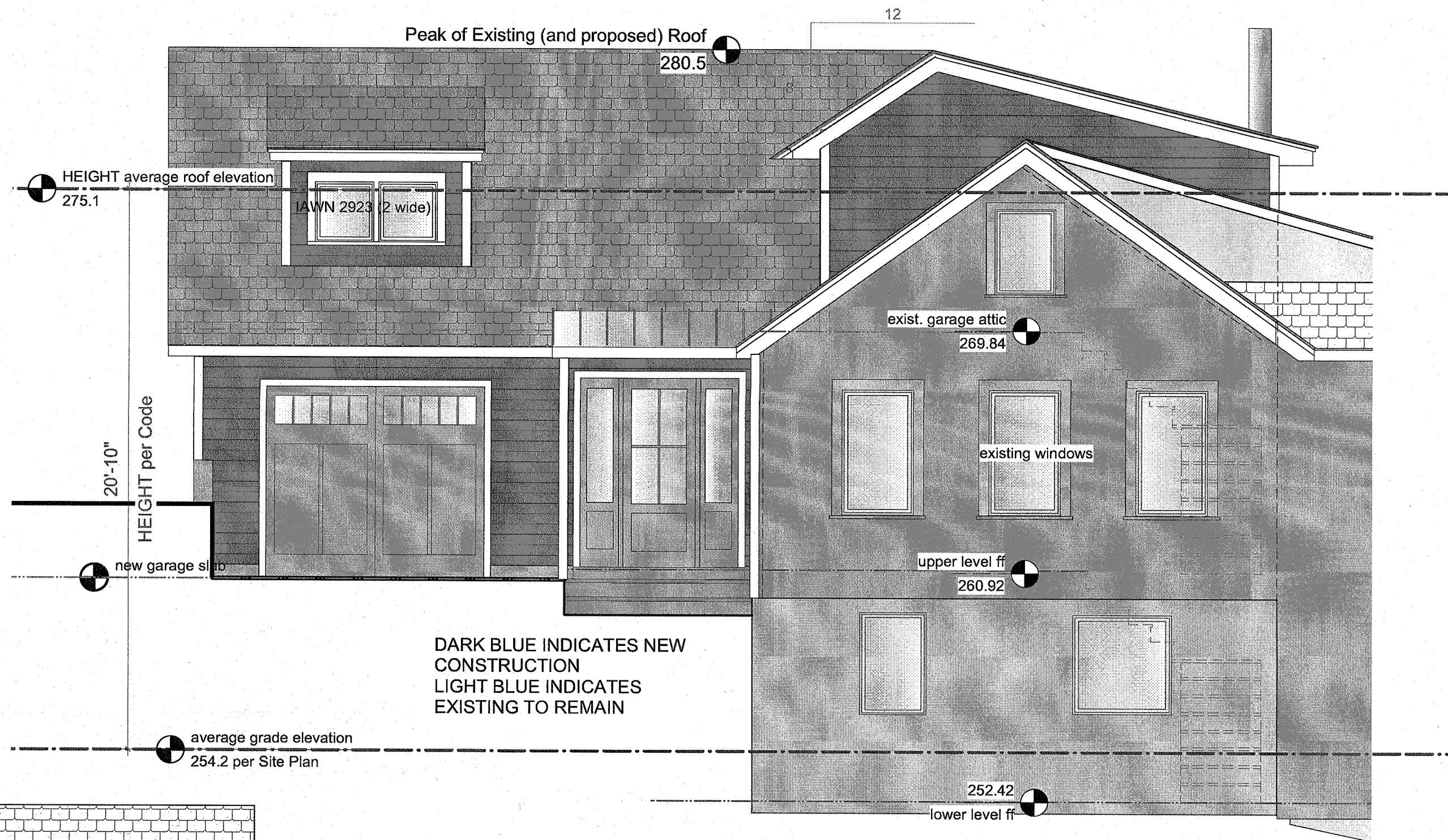
drawing number

A-7.1

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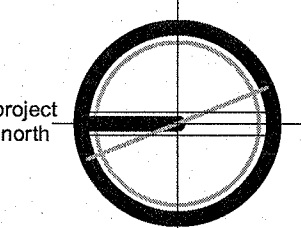
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notes:



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Exterior Elevation -
 South and East

drawing number

A-4.2