

**Historical Areas Board of Review(HABR)**

Town of Orangetown Building Department  
 20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 42 Closter Rd., Palisades, NY 10964 Section/Block/Lot: 80.06/1/1

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Slate	Asphalt Shingles	GAF (match existing)
Siding:	Benjamin Moore: CC900	Painted Cedar	Natural wood materials (match existing)
Decorative Siding:	N/A	N/A	N/A
Soffits & Fascia:	White	Painted Pine	Natural wood materials (match existing)
Gutters & Leaders:	White	Aluminum	Alcoa
Windows:	White	Vinyl Clad	Andersen
Trim:	White	Painted Pine	Natural wood materials (match existing)
Shutters:	N/A	N/A	N/A
Front Door:	Black/White	Steel	Existing door to remain as-is
Back Door:	White	Steel	Existing door to remain as-is
Garage Door(s):	White	Wood	Coplay
Other Door(s):	White	Vinyl Clad	Andersen (reinstall existing - see photo)
Lighting:	Bronze	Copper	Reinstall existing - see photo
Lighting:	N/A	N/A	N/A
Stone or Rock being used on Structure:	N/A	N/A	N/A
Stone or Rock being used on walkway(s):	N/A	N/A	N/A (Existing to remain as is)
Other:			

RECEIVED

MAY 21 2024

TOWN OF ORANGETOWN  
 LAND USE BOARDS

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

**PERMIT#:** BLDR-5145-24  
**ASSIGNED**  
**INSPECTOR:** Glenn

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Pedroli-Tiegreen

Street Address: 42 Closter Road, Palisades, New York 10964-1529

Tax Map Designation:

Section: 80.06 Block: 1 Lot(s): 1

Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:

On the East side of Closter Road, approximately 750 feet South of the intersection of Oak Tree Road, in the Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel <u>.67</u>	Zoning District <u>R-40</u>
School District <u>South Orangetown CSD</u>	Postal District <u>Palisades</u>
Ambulance District <u>South Orangetown Ambulance Corps</u>	Fire District <u>Sparkill</u>
Water District <u>Veolia Water</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Front Addition to family room (4' x 14')

Raise rear sliding door and build step over existing paver patio

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 05/20/2024 Applicant's Signature: \_\_\_\_\_

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:** N/A

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:** N/A

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit,** list special permit use and what the property will be used for.

N/A  
\_\_\_\_\_

**Environmental Constraints:** N/A

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type:  
\_\_\_\_\_

**Project History:** N/A

Has this project ever been reviewed before? No \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.  
\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

80.06/1/1  
\_\_\_\_\_  
\_\_\_\_\_



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW**

Date: May 7, 2024 Section: 80.06 Block: 1 Lot: 1

Applicant: Tiegreen

Address: 42 Closter Rd, Palisades, NY

RE: Application Made at: same


Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

Comments: Front steps, rear addition  
\_\_\_\_\_  
\_\_\_\_\_

Dear Tiegreen :

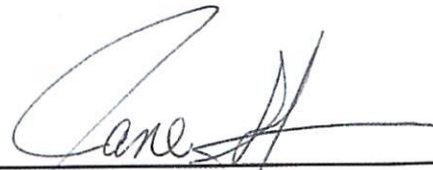
Please be advised that the Building Permit Application # 5145-24, which you submitted on April 30, 2024, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or [darbolino@orangetown.com](mailto:darbolino@orangetown.com)

Sincerely,

  
\_\_\_\_\_  
Richard Oliver  
Deputy Building Inspector

5/7/24



  
\_\_\_\_\_  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
1-30-2023 JSA

5/13/24

Date  
Liz DeCort  
Debbie Arbolino

February 12, 2024

Hubert Pedroli and Mary Tiegreen  
42 Closter Road  
Palisades, NY 10964-1529



**Re: Authorization to Act on Property Owner's Behalf**  
Historical Areas Board of Review  
Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962  
(845) 359-8410, ex 4331  
www.orangetown.com

Dear Historical Areas Board of Review,

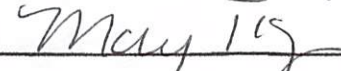
We authorize the following person to act as our agent to apply for, sign, and file the documents to obtain a permit for our project located at the above address.

**Name of Authorized Agent:** Glen Lumia, President | CEO  
Creative Design Construction, Inc.  
**Address of Authorized Agent:** 204 Livingston Street  
Northvale, New Jersey 07647  
**Phone Number of Authorized Agent:** (201) 768-5813

We declare under penalty of perjury that we are the property owners of the address listed above, and we filled out the above information and certify its accuracy.

Property Owner's Signature: \_\_\_\_\_ 

Date: 04-03-2024 Property Owner: Hubert Pedroli

Property Owner's Signature: \_\_\_\_\_ 

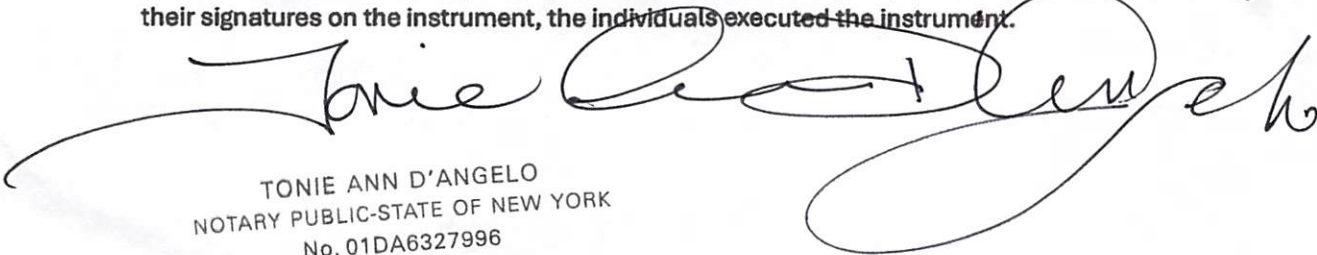
Date: 04/03/2024 Property Owner: Mary Tiegreen

**New York Notary Acknowledgement Certificate**

State of New York

County of Rockland )  
 )ss

On the 3<sup>rd</sup> [DAY] day of April [Month] in the year 2024 before me, the undersigned, personally appeared Hubert Pedroli and Mary Tiegreen personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals executed the instrument.



TONIE ANN D'ANGELO  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DA6327996  
Qualified in Rockland County  
My Commission Expires 07-27-2027

<u>VIS</u>	<u>PRINT KEY</u>	<u>NAME</u>	<u>ADDRESS</u>
2489	78.17-2-26	Charles Hyun Choi	P.O. Box 54,Palisades, NY 10964
2489	78.17-2-38	Carol Anne Knudson	35 Closter Rd,Palisades, NY 10964
2489	78.17-2-39	Laraine Slavitt	41 Closter Rd,Palisades, NY 10964
2489	78.17-2-40	Keith Buterbaugh	47 Closter Rd,Palisades, NY 10964
2489	78.18-2-23	Yutaka Matsumoto	32 Closter Rd,Palisades, NY 10964
2489	80.05-1-20	Christopher M Andrianos	46 Closter Rd,Palisades, NY 10964
2489	80.05-1-21	James E Graney	P.O. Box 617,Palisades, NY 10964
2489	80.05-1-22	Walter A Scott	P.O. Box 654,Palisades, NY 10964
2489	80.05-1-24	Colin Maki	223 E 80th St Apt 6,New York, NY 10075
2489	80.05-1-25	Enterprises Demento	2 Justin Ct,Palisades, NY 10964
2489	80.06-1-1	Hubert Pedrolì	42 Closter Rd,Palisades, NY 10964
2489	80.06-1-2	Wayne Garrison	34 Closter Rd,Palisades, NY 10964
2489	80.06-1-3	Joseph Pecorino	1 Justin Ct,Palisades, NY 10964
2489	80.06-1-4	Robert F Griffin	2 Justin Ct,Palisades, NY 10964
2489	80.06-1-5	Michael Hrynenko	P.O. Box 50,Palisades, NY 10964
2489	80.06-1-6	Susan Essman	4 Justin Ct,Palisades, NY 10964



Pedroli-Tiegreen

Picture of existing area before Family Room addition



Proposed after model of Family Room addition



Town of Orangetown  
MEETING OF:

JUN 11 2024

HISTORICAL AREAS  
BOARD OF REVIEW

Rear Andersen door & coach lights to be raised & reinstalled



**DECISION**  
**EMERGENCY GENERATOR APPROVED AS PRESENTED**

TO: Hubert and Mary Pedroli  
42 Closter Road  
Palisades, New York 10964

HABR #20-09  
September 8, 2020  
Permit #50247

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#20-09: Application of Hubert Pedroli for review of an emergency generator at a single-family residence. The premises are located at 42 Closter Road, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4(A), Historical Areas Board of Review.

Tax Map Designation: 80.06 / 1 / 1; R-40 zoning district.

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, September 8, 2020 at which time the Board made the following determination:

Hubert and Mary Pedroli appeared.

The following documents were presented:

1. Site plan showing where the generator will be installed.
2. Generator specs.

Hubert Pedroli stated that they are planning to install the emergency generator because they have been left with out power often; that the generator will installed in back of t house behind the garage and will not be seen from the street; that it will be about 100 feet away from the house other south and about 150 feet away from the house to the rear; and that they will add screening when they determine where it would go to meet the specifications required for the generator.

**PUBLIC COMMENT:**

No public comment.

TOWN OF ORANGETOWN  
2020 SEP 15 A 10:01  
TOWN CLERK'S OFFICE



**FINDINGS OF FACT:**

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed emergency generator:

1. The 22 kW Generac Guardian Series ; tan on the outside.

**THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR**

**MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.**

**\*\* PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.**

**PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:**

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

**IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.**

TOWN OF ORANGETOWN  
2020 SEP 15 A 10:01  
TOWN CLERK'S OFFICE

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports ( if any), the application for the 22 kW Generac Guardian Series Aluminum Bisque is APPROVED AS SUBMITTED.

The foregoing resolution to approve the 22 kW Generac Guardian Series Aluminum Bisque for Hubert and Mary Pedroli for property located at 42 Closter Road, Palisades, HABR#20-09, as submitted; was presented and moved by Larry Bucciarelli seconded by Thano Schoppel; and carried as follows: William Walther, aye; Thano Schoppel, aye; Margaret Raso, aye; Scott Wheatley, aye; Carol Schelin, aye; Loren Plotkin, aye; and Larry Bucciarelli, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: September 8, 2020

HISTORICAL AREAS BOARD OF REVIEW  
TOWN OF ORANGETOWN

BY: Deborah Arbolino  
Deborah Arbolino, Administrative Aide

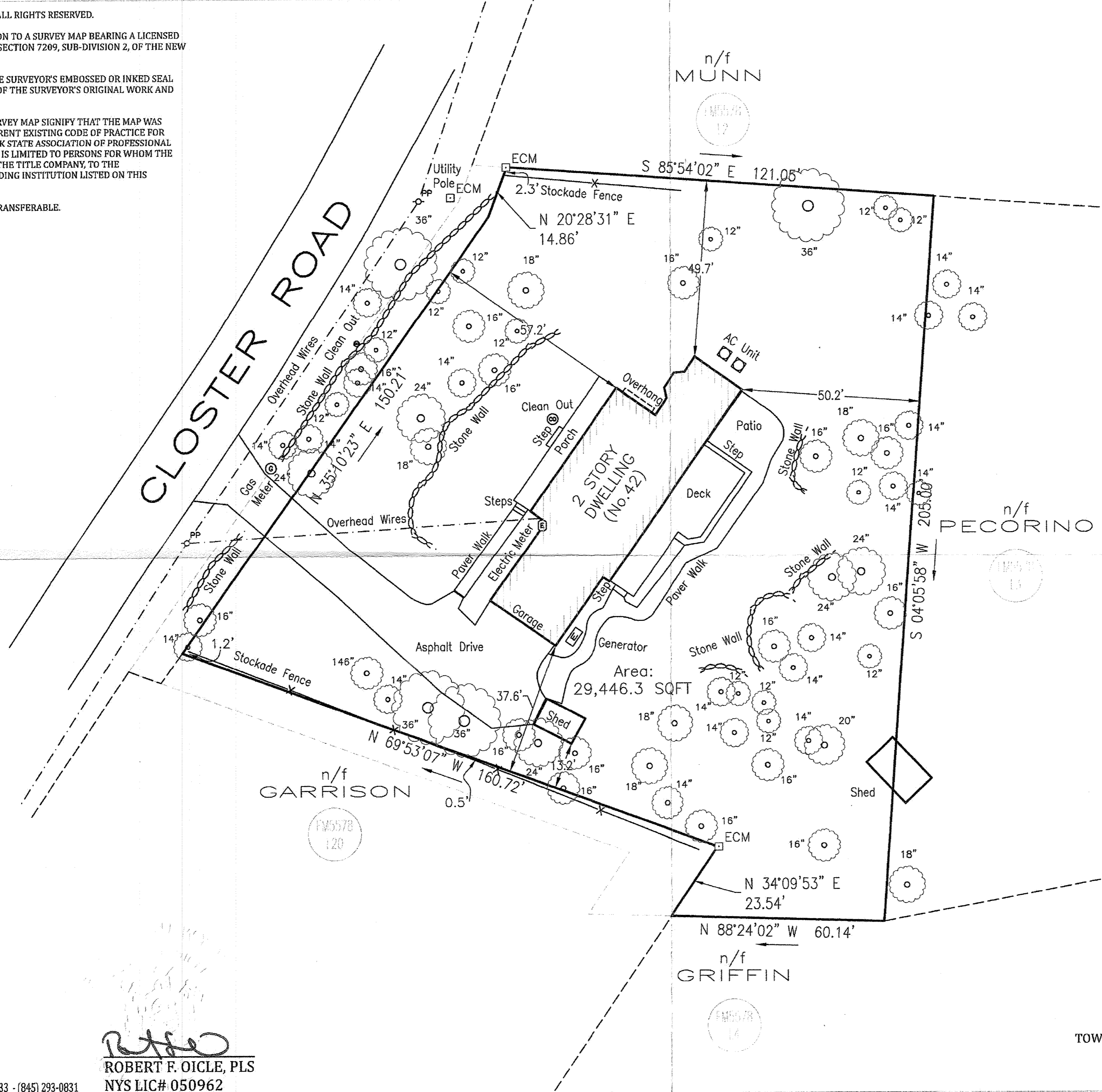
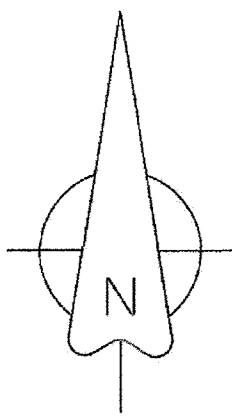
DISTRIBUTION:

APPLICANT  
TOWN BOARD MEMBERS  
HABR MEMBERS  
SUPERVISOR  
TOWN ATTORNEY  
DEPUTY TOWN ATTORNEY  
OBZPAE  
BUILDING INSPECTOR-G.M.

TOWN CLERK  
HIGHWAY DEPARTMENT  
TOWN HISTORIAN  
DEPT. OF ENVIRONMENTAL  
ENGINEERING  
HABR, PB, FILE  
PB, ZBA, ACABOR CHAIRMAN

TOWN OF ORANGETOWN  
2020 SEP 15 A 10: 01  
TOWN CLERK'S OFFICE

1. COPYRIGHT © ICLE LAND SURVEYING, PC ALL RIGHTS RESERVED.
2. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED OR INKED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
4. CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
5. THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.



SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH

EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD

UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION

UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES

Town of Orangetown  
MEETING OF:  
JUN 11 2024  
HISTORICAL AREAS  
BOARD OF REVIEW

RECEIVED  
MAY 21 2024  
TOWN OF ORANGETOWN  
LAND USE BOARDS



*Robert F. Oicle*  
ROBERT F. OICLE, PLS  
NYS LIC# 050962

54 Saddle Ridge Drive, Hopewell Junction, NY 12533 - (845) 293-0831

SURVEY OF PROPERTY  
PREPARED FOR  
HUBERT PEDROLI AND MARY TIEGREEN  
TOWN OF ORANGETOWN, COUNTY OF ROCKLAND, STATE OF NEW YORK  
SECTION 80.06 BLOCK 1 LOT 1  
SCALE: 1" = 30'  
SURVEY DATE: 2020-10-09

Project: 20186

**1. GENERAL NOTES**

A. BUILDING DATA:  
CONSTRUCTION TYPE: 5B-COMBUSTIBLE, UNPROTECTED

DESIGN LOADS (UNLESS NOTED OTHERWISE ON DRAWINGS):  
VERTICAL LOADS:  
ROOF: SNOW LOAD 30 PSF  
FLOORS: LIVE LOAD 40 PSF LIVING AREAS  
LIVE LOAD 30 PSF SLEEPING AREAS  
LIVE LOAD 20 PSF ATTIC STORAGE  
DECKS & BALCONIES: LIVE LOAD 50 PSF

LATERAL LOADS:  
WIND: BASIC WIND SPEED 112 MPH, EXPOSURE "B"  
SEISMIC: DESIGN CATEGORY "C"

APPLICABLE CODES:  
INTERNATIONAL RESIDENTIAL CODE 2021, NEW YORK STATE EDITION  
NATIONAL ELECTRICAL CODE 2020  
NATIONAL STANDARD PLUMBING CODE 2021  
INTERNATIONAL ENERGY CONSERVATION CODE 2019, (ASHRAE 90.1)  
INTERNATIONAL MECHANICAL CODE 2021, NEW YORK STATE EDITION  
INTERNATIONAL FUEL GAS CODE 2021

B. THE ARCHITECT HAS NOT BEEN RETAINED TO PROVIDE CONSTRUCTION ADMINISTRATION. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO WORK INDICATED, DETAILED, OR SPECIFIED ON THESE DRAWINGS. THE G.C. SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY PROPOSED MODIFICATIONS AND/OR SUBSTITUTIONS IN WRITING FOR HIS REVIEW AND OWNER APPROVAL.

C. MATERIALS AND EQUIPMENT SPECIFIED HEREIN ARE OF A CERTAIN BRAND OR MANUFACTURER. IT IS INTENDED THAT THESE ITEMS SHALL REPRESENT A CERTAIN HIGH LEVEL OF QUALITY AND ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE OWNER MAY USE MATERIALS OR EQUIPMENT OTHER THAN THAT SPECIFIED IF THE SUBSTITUTION MEETS OR EXCEEDS IN ALL ASPECTS THE REQUIREMENTS OF THE SPECIFICATION.

D. PROVIDE ALL TEMPORARY CONSTRUCTION BARRIERS AS REQUIRED DURING CONSTRUCTION TO PROTECT THE PUBLIC AND WORKERS. COMPLY WITH ALL LOCAL ORDINANCES AND REGULATIONS AFFECTING THE WORK.

E. ALL SUB-CONTRACTORS SHALL SUBMIT COMPLETE SHOP DRAWINGS, MANUFACTURER'S BROCHURES, AND SAMPLES OF ALL WORK TO THE OWNER FOR REVIEW AND APPROVAL BEFORE FABRICATION OR ORDERING EQUIPMENT.

F. ALL WORK SHALL CONFORM TO THE 2021 RESIDENTIAL CODE OF NEW YORK STATE AND ITS REGULATIONS, WHICH SHALL TAKE PRECEDENCE OVER ANYTHING NOTED ON THESE DRAWINGS.

G. THE CONTRACTOR SHALL CHECK ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH WORK. ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING WITH THE WORK IN QUESTION.

H. BEDROOM EGRESS WINDOWS ARE TO HAVE A CLEAR OPENING OF 5.7 SQUARE FEET WITH MIN. CLEAR HEIGHT OF 24" AND A MIN. CLEAR WIDTH OF 20" AND A MAX. SILL HEIGHT OF 44". WINDOWS SHALL BE INSTALLED AND FLUSHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

I. ALL GLAZING IN DOORS, TUB OR SHOWER ENCLOSURES, AND OTHER HAZARDOUS LOCATIONS TO BE APPROVED SAFETY GLASS.

J. THE G.C. SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

K. ALL SITE WORK, UNLESS NOTED AND DETAILED ON DRAWINGS, IS TO BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT), INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, LANDSCAPING, SITE RETAINING WALLS, AND SITE DRAINAGE.

L. THE G.C. SHALL OBTAIN AND PAY FOR ALL REQUIRED BUILDING PERMITS. IF REQUIRED, HE SHALL SUBMIT ADDITIONAL MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND/OR SPECIFICATIONS THAT MAY BE REQUIRED BY THE BUILDING INSPECTOR. THE ARCHITECT HAS NOT BEEN RETAINED TO DESIGN ELECTRICAL OR MECHANICAL SYSTEMS FOR THIS PROJECT. THESE SERVICES WILL BE PROVIDED AS REQUIRED BY THE OWNER. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR SUPERVISING THE INSTALLATION OF THESE SYSTEMS.

M. ANY EXISTING OR NEW FINISHES AND/OR EQUIPMENT SOILED OR DAMAGED, INDICATED TO REMAIN, SHALL BE CLEANED, REPAIRED AND/OR REPLACED TO MATCH EXISTING ADJACENT FINISHES.

N. THE G.C. AND ALL SUB-CONTRACTORS SHALL VERIFY THE LOCATION OF ALL UTILITIES, EQUIPMENT, AND AFFECTED DEVICES NECESSARY TO BE REMOVED, RELOCATED OR REPLACED.

O. THE G.C. SHALL USE ONLY PORTIONS OF THE SITE FOR STAGING WORK AS APPROVED BY THE OWNER, AND THE G.C. SHALL RESTORE ANY/ALL LANDSCAPING DAMAGED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.

P. THE G.C. SHALL SUBMIT BIDS TO THE OWNER FOR WORK WITH SEPARATE COSTS FOR "ALTERNATES" NOTED ON DRAWINGS AND A TOTAL CONSTRUCTION COST WITH AND WITHOUT ALTERNATES. ALL BIDS SHALL INDICATE THEY MUST BE HONORED FOR A MIN. OF 90 DAYS FROM THE DATE OF SUBMISSION TO THE OWNER.

Q. THE BUILDING SHALL MEET OR EXCEED THE 2019 NEW YORK STATE ENERGY CONSERVATION CODE AND THE 2019 SUPPLEMENT TO THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

**2. FOUNDATIONS**

A. EXCAVATE ALL FOOTINGS AND FOUNDATION WALLS TO ELEVATIONS INDICATED ON DRAWINGS. ALL FOUNDATIONS ARE TO BEAR ON SOIL CAPABLE OF SAFELY SUSTAINING A BEARING PRESSURE OF 2000 PSF WITHOUT EXCESSIVE DEFORMATION. A QUALIFIED SOILS ENGINEER MUST VERIFY THE ALLOWABLE BEARING PRESSURE.

B. ALL EXTERIOR FOOTINGS ARE TO BE A MIN. OF 3'-0" BELOW GRADE. ALL FOOTINGS IN CRAWL SPACE ARE TO BE A MIN. OF 1'-6" BELOW CRAWL SPACE SLAB.

**3. CONCRETE**

A. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI UNLESS OTHERWISE INDICATED ON DRAWINGS. ALL EXTERIOR CONCRETE SHALL HAVE 5-7 AIR-ENTRAGEMENT.

**4. MASONRY**

A. CONCRETE BLOCK SHALL CONFORM TO ASTM-C-90, FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS. USE SOLID UNITS, ASTM-C-145, WHERE REQUIRED. ALL MASONRY SHALL CONFORM TO ACI 530/ASCE 5/TMS 402, OR OTHER APPROVED STRUCTURAL STANDARDS.

B. OPENINGS IN BLOCK WALLS TO HAVE 4"x8" BLOCK LINTELS, ONE FOR EACH 4" OF THICKNESS. USE ONE 3"x3"x5/16" ANGLE FOR EACH 4" OF BRICK OR STONE THICKNESS, UNLESS OTHERWISE NOTED.

**5. METALS**

A. MISC. STEEL SHALL BE FABRICATED OF ASTM A-36 STEEL TO LENGTHS AND PROFILES DETAILED AND VERIFIED IN FIELD. ALL STEEL SHALL RECEIVE A SHOP COAT OF RED LEAD PRIMER.

B. REINFORCING BARS SHALL CONFORM TO ASTM-A-615, GRADE 60. WELDED WIRE FABRIC TO CONFORM TO ASTM-A-185, UNLESS OTHERWISE NOTED.

**6. WOOD & PLASTICS**

A. ALL ROUGH FRAMING LUMBER, JOISTS, BEAMS, STUDS, ETC., SHALL BE CONSTRUCTION GRADE HEM-FIR OR DOUGLAS FIR, WITH A MIN. FINER STRESS IN BENDING "FB" OF 1150 PSI AND MODULUS OF ELASTICITY "E" OF 1,400,000 PSI UNLESS NOTED OTHERWISE.

B. WHERE REQUIRED, MICRO-LAM LVL, PARALLAM PSL, AND TIMBERSTRAND LSL BEAMS OR HEADERS, AND T.J.I. WOOD I-JOISTS, SHALL BE AS MANUFACTURED BY "LEVEL" (FORMERLY TRUS JOIST MACMILLAN OF BOISE, IDAHO). THESE JOISTS AND/OR BEAMS SHALL BE PROVIDED AND INSTALLED WITH SERIES AND SPACING INDICATED ON THE PLANS, IN STRICT ACCORDANCE WITH "LEVEL DESIGN MANUAL" AND "INSTALLATION GUIDE". THE CONTRACTOR MAY SUBSTITUTE JOISTS AND/OR BEAMS OF EQUAL OR GREATER CAPACITY FROM OTHER MANUFACTURERS BY SUBMITTING PRODUCT SPECIFICATIONS FOR REVIEW AND APPROVAL BY THE ARCHITECT.

C. ALL HEADERS OVER NEW DOORS, WINDOWS AND WALL OPENINGS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.

D. JOISTS UNDER PARALLEL BEARING PARTITIONS SHALL BE DOUBLED, OR A BEAM AS NOTED TO SUPPORT THE LOAD SHALL BE PROVIDED.

**7. WINDOWS AND DOORS**

A. WINDOWS AND DOORS WITH SPECIFIC MODEL NUMBERS ON PLANS REPRESENT "ANDERSEN" 400 SERIES DOOR AND WINDOW SIZES. VERIFY COLORS AND ACCESSORIES WITH OWNER.

B. ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO ORDERING.

C. ALL WINDOWS SHALL BE INSTALLED WITH WINDOW HEAD HEIGHT TO MATCH EXISTING WINDOWS ON THE SAME FLOOR U.O.N.

D. ALL WINDOWS AND DOORS SHALL BE INSTALLED AND SUPPORTED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

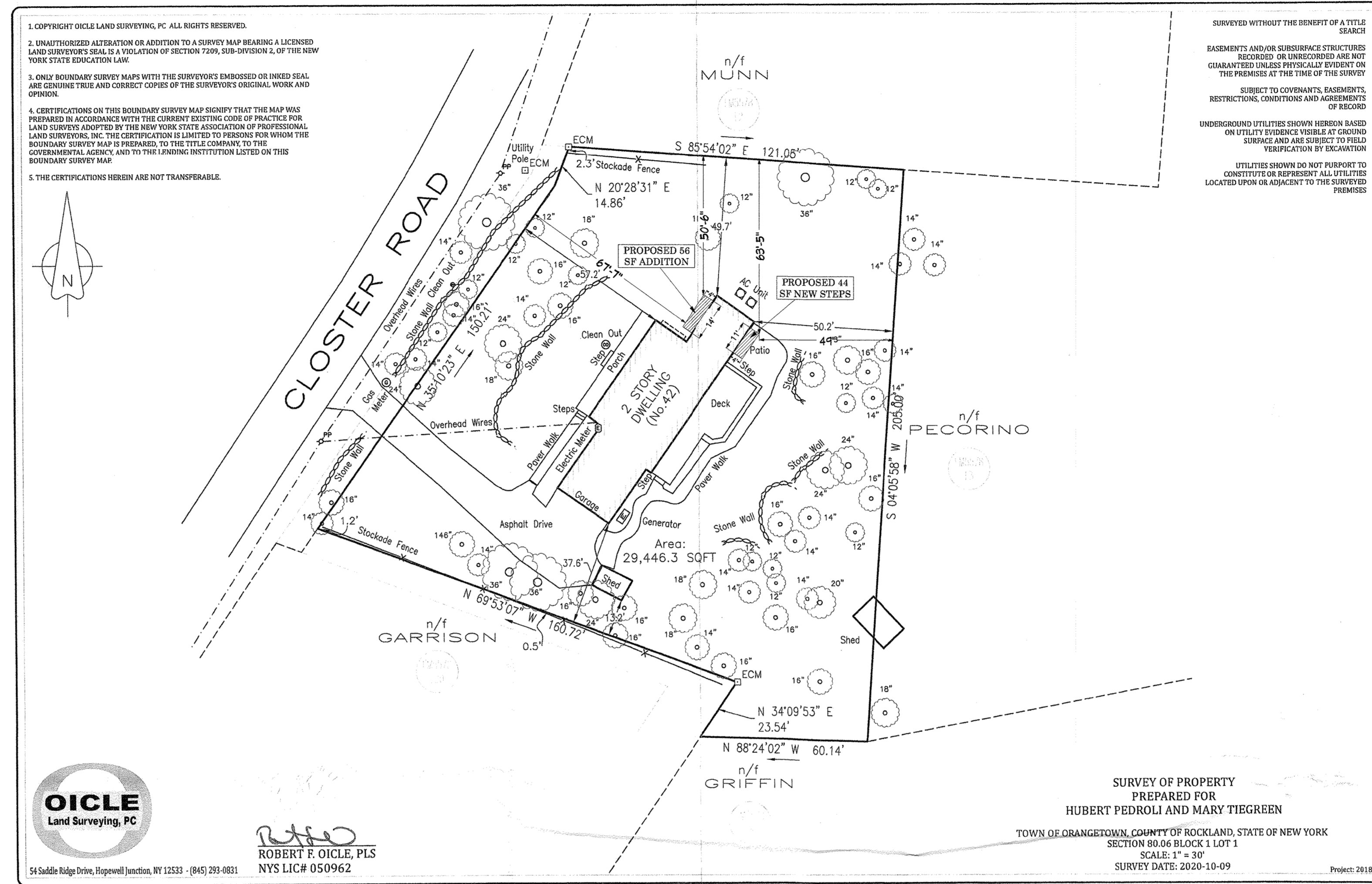
**8. MECHANICAL & ELECTRICAL NOTES**

A. ALL MECHANICAL WORK AND SYSTEMS SHALL COMPLY WITH ALL STATE, CITY, AND LOCAL CODES AND ORDINANCES GOVERNING WORK OF THIS CHARACTER. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE 2017, NEW YORK STATE MECHANICAL CODE 2021, INTERNATIONAL FUEL GAS CODE 2021, MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, AND OTHER REGULATING BODIES.

B. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2021 AND THE NEW YORK STATE PLUMBING CODE 2020. CONTRACTOR SHALL VERIFY ALL CONDITIONS, EQUIPMENT, AND FIXTURE INSTALLATION PRIOR TO PROCEEDING WITH THE WORK. CUTTING OR NOTCHING OF STUDS OF JOISTS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE 2021. PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES.

C. INTERCONNECTED HARD-WIRED SMOKE DETECTORS AND CO DETECTORS WITH BATTERY BACK-UP SHALL BE INSTALLED - ONE ON EVERY LEVEL. SMOKE DETECTOR ONLY TO BE INSTALLED IN EACH BEDROOM.

D. ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2021, THE NATIONAL ELECTRIC CODE 2020, AND OTHER REGULATING BODIES.



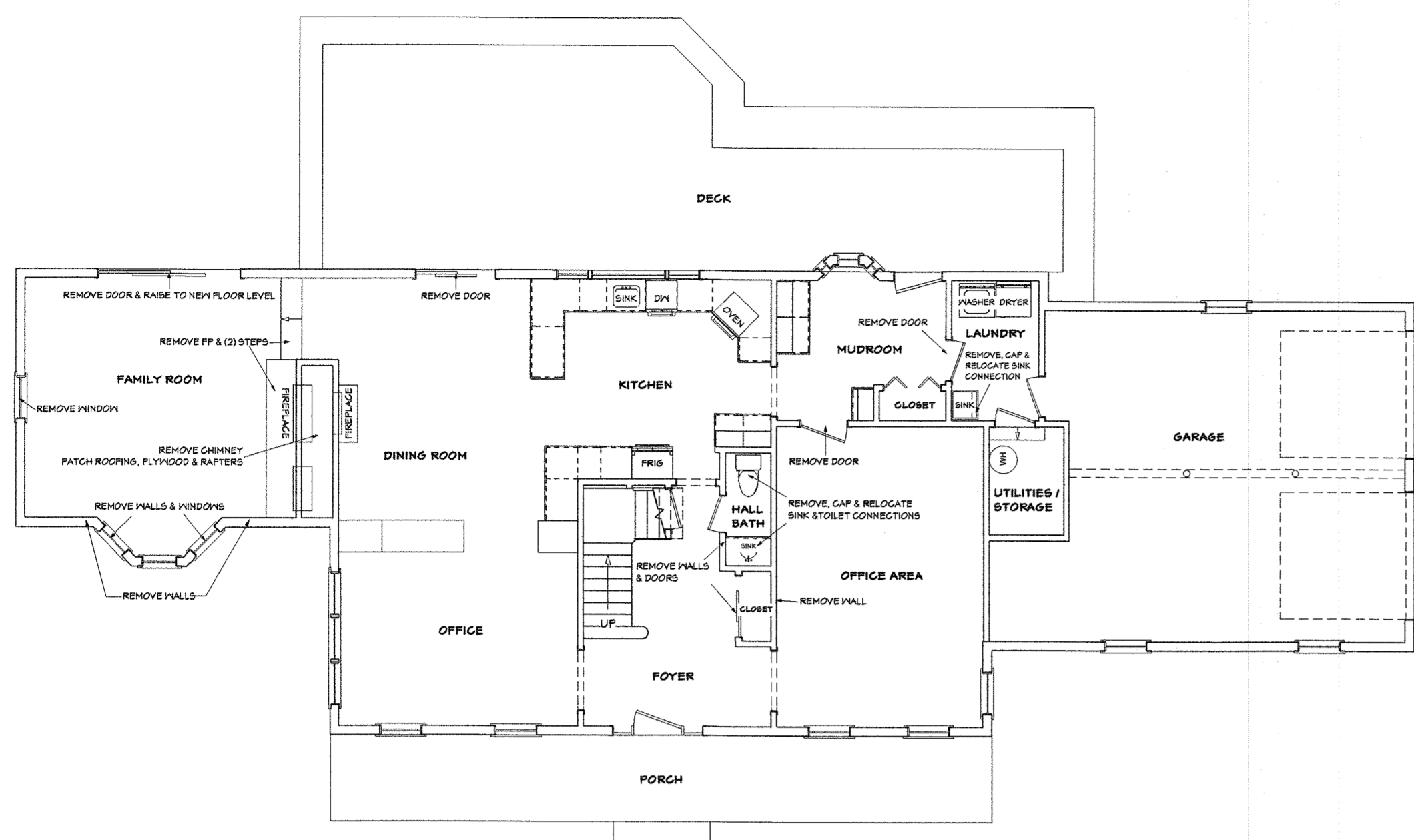
**PROPERTY SURVEY COMPLETED BY OICLE LAND SURVEYING, PC**  
**SCALE: 1" = 30'**

Pedroli-Tiegreen Residence					
42 Closter Road, Palisades NY (Orangetown)					
R-40					
	REQUIRED	EXISTING	PROPOSED	VARIANCE	
A	MAXIMUM FLOOR AREA RATIO	15%	10.2%	10.3%	NO
B	MINIMUM LOT AREA (SF)	40,000 SF	30,270 SF	NO CHANGE	NO
C	MINIMUM LOT WIDTH (FT)	150'	165.07'	NO CHANGE	NO
D	MINIMUM STREET FRONTAGE (FT)	100'	165.07'	NO CHANGE	NO
E	REQUIRED FRONT YARD (FT)	50'	57.2'	NO CHANGE	NO
F	REQUIRED SIDE YARD (FT)	30'	37.6'	NO CHANGE	NO
G	TOTAL SIDE YARD (FT)	80'	49.7'/37.6'=87.3'	NO CHANGE	NO
H	REQUIRED REAR YARD (FT)	50'	50.2'	NO CHANGE	NO
I	MAXIMUM BUILDING HEIGHT	8"/FT from lot line	30'	NO CHANGE	NO

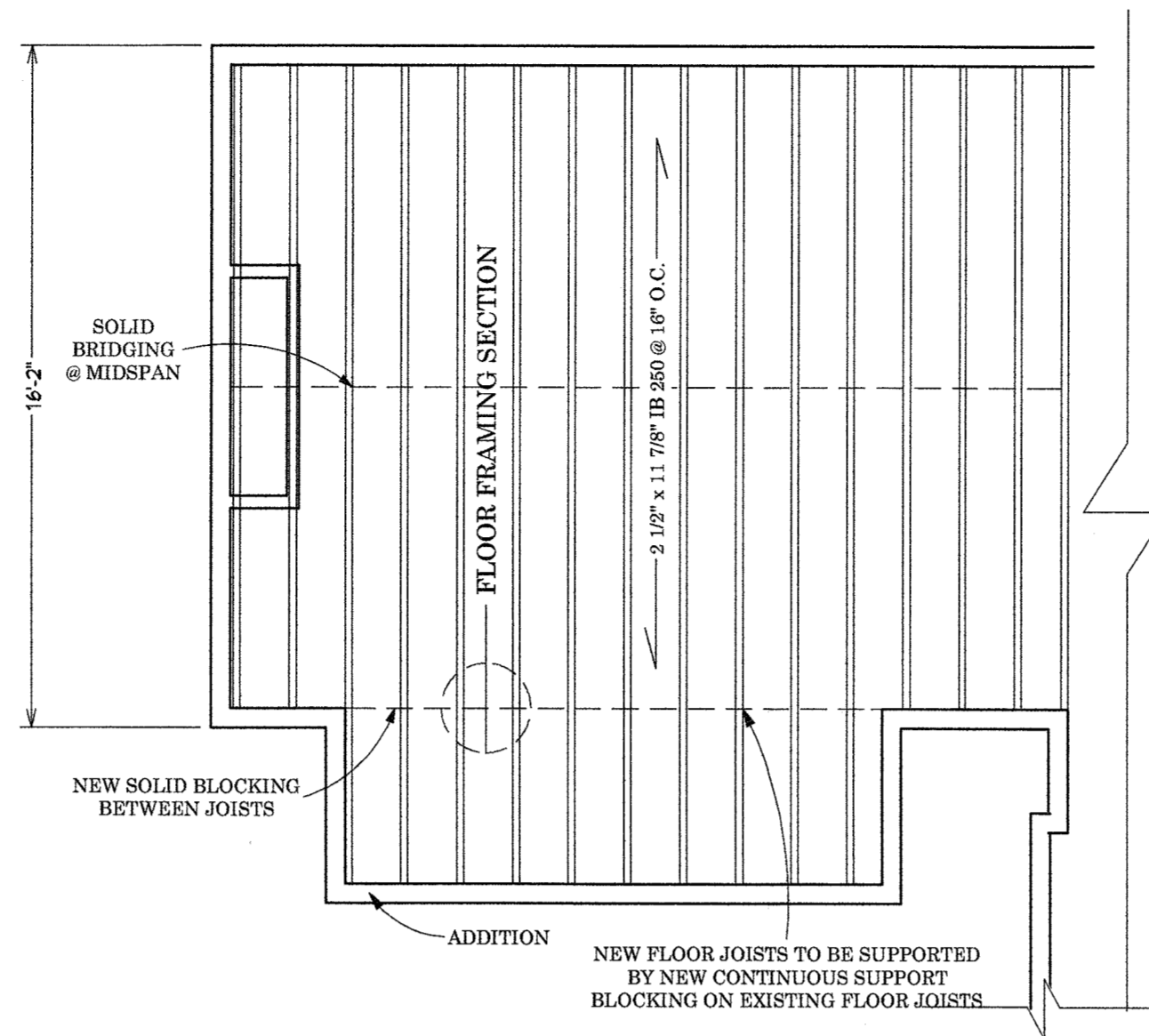


PROJECT: ADDITION / 2ND FLOOR BEDROOM & BATHROOM ALTERATIONS		
PEDROLI-TIEGREEN 42 Closter Road Palisades, NY 10964		
ROBERT MURPHY ARCHITECT PLLC 1841 HAMBURG TRKE, SUITE 2-6, WAYNE, NJ 07470 NJ LIC. AI 14126 / NY LIC. AI 23097, (201) 207 6537	DRAWN: V. PACENZA DATE: 2/16/24	SHEET No. <b>A-1</b> 1 OF 4
DWG. TITLE: GENERAL NOTES, PROPERTY SURVEY & ZONING CALCULATIONS		

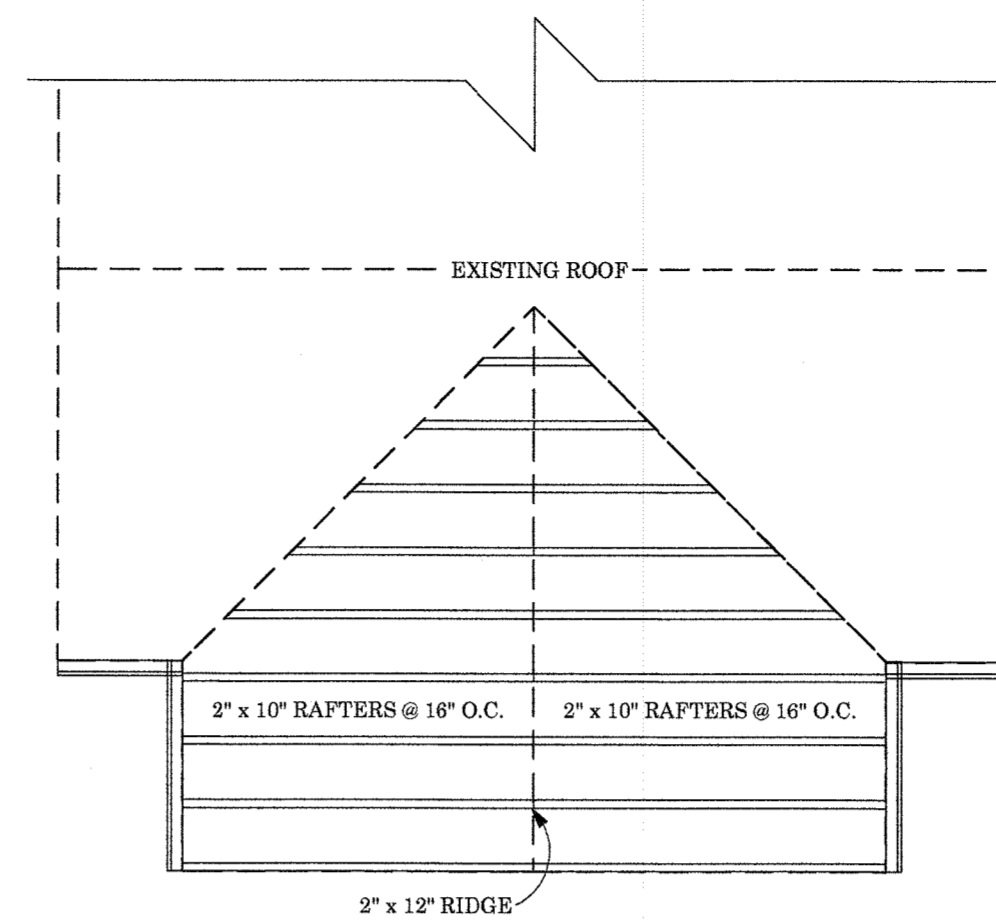
Town of Orangetown  
MEETING OF:  
JUN 11 2024  
HISTORICAL AREA  
BOARD OF REVIEW  
**RECEIVED**  
MAY 21 2024  
TOWN OF ORANGETOWN  
LAND USE BOARDS



**EXISTING CONDITIONS: FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

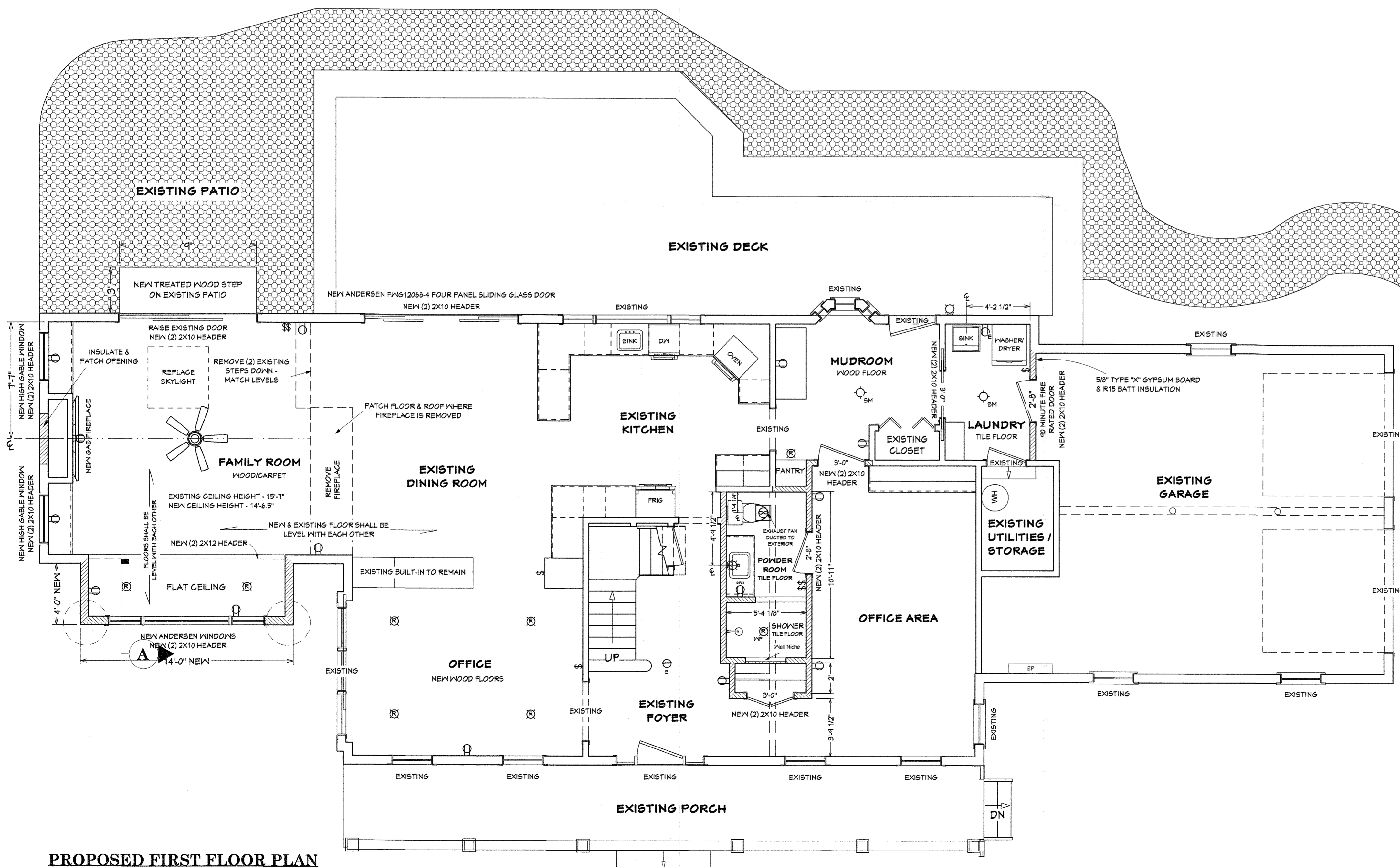


**PROPOSED FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING MOUNTED RECESSED LIGHT FIXTURE
	CEILING MOUNTED SURFACE LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	110V DUPLEX RECEPTACLE
	110V GFCI RECEPTACLE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	CEILING MOUNTED VENTILATION FAN
	CEILING MOUNTED SMOKE DETECTOR
<b>E</b>	DENOTES "EXISTING"



**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

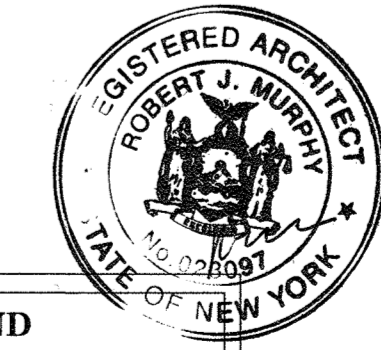
WALL LEGEND	
	EXISTING
	REMOVED
	NEW

**PRODUCT SPECIFICATIONS**  
WDV600 ECHELON Direct Vent Fireplace System

**GLASS VIEWING AREA**  
47-718" W x 14-1/4" H (682 sq.in.)

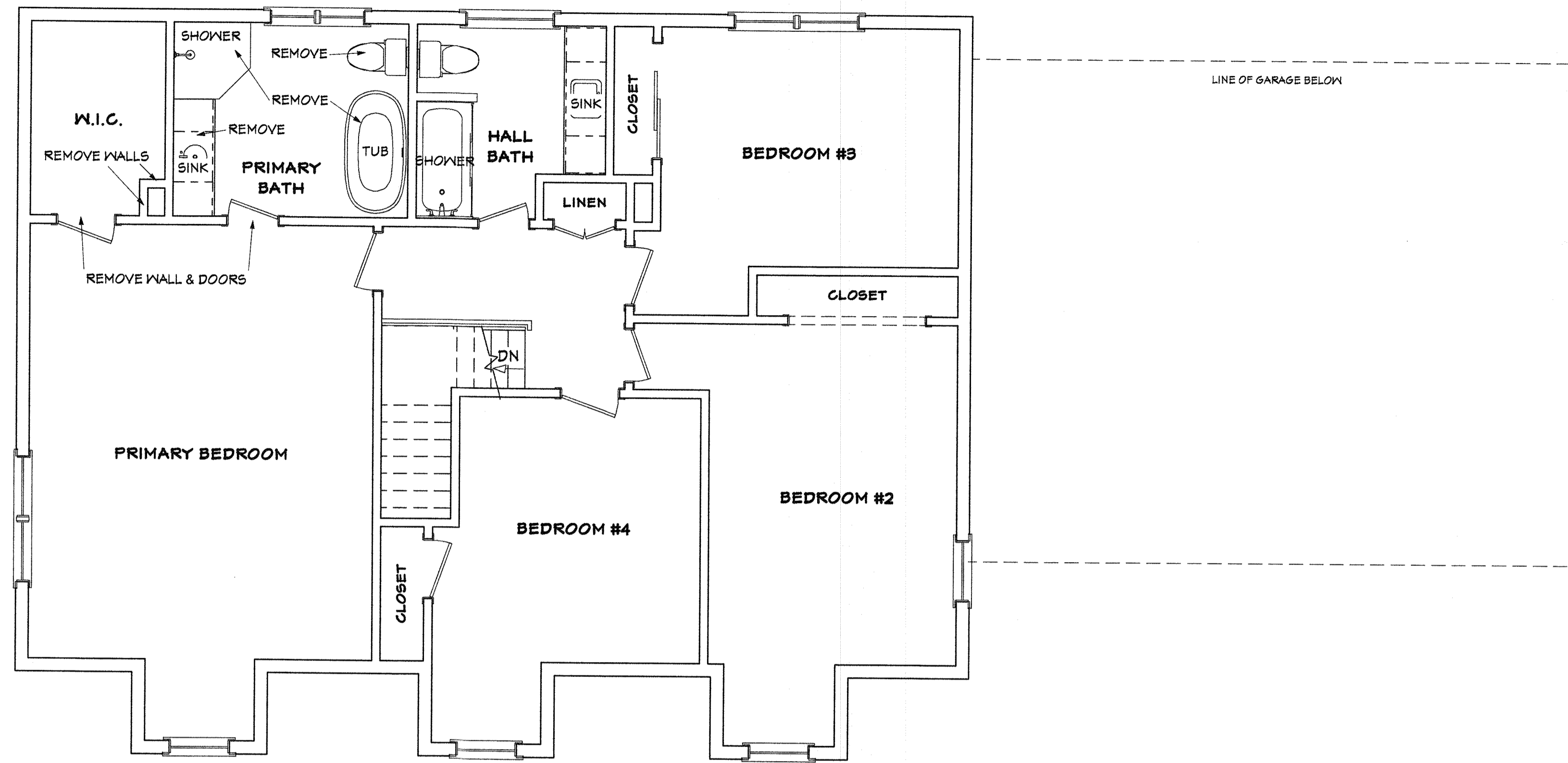
**TECHNICAL INFORMATION**  
Highly featured contemporary unit with compact design for ease of installation  
Max. Btu Input: 45,000 BTU/HR NG; 40,000 BTU/HR LP  
Ignition System: Total Signature Command System  
Comes with RFSC hand-held remote  
Gas Type: Natural or LP  
Top venting only with 5" x 8" direct vent pipe (requires 12" rise before 90 degree elbow for horizontal runs)  
18" flex line with On/Off shut-off valve included  
Contemporary bronze glass beads and natural stone kit included  
Anti-reflective ceramic glass door with quick latch system for easy access  
Contemporary glass illumination light system  
Black Porcelain Liner Kit standard  
CSA Design Certified

**FIELD INSTALLED ACCESSORIES**  
Trim Kits: Black Texture Inside Fit Trim Kit (WDV600TKB)  
Signature Command System Forced Air Blower, 160 cfm. (BLTDLVDVSC)  
Contemporary Stainless Steel Face (WDV600UCSS)  
Contemporary Textured Black Face (WDV600QFTB)  
Contemporary Iron Age Face (WDV600IFA)  
Aged Driftwood Log Set (ADW500)  
Stainless Steel Curved Face (WDV500FSS)  
Aged Driftwood Log Set (ADW500)

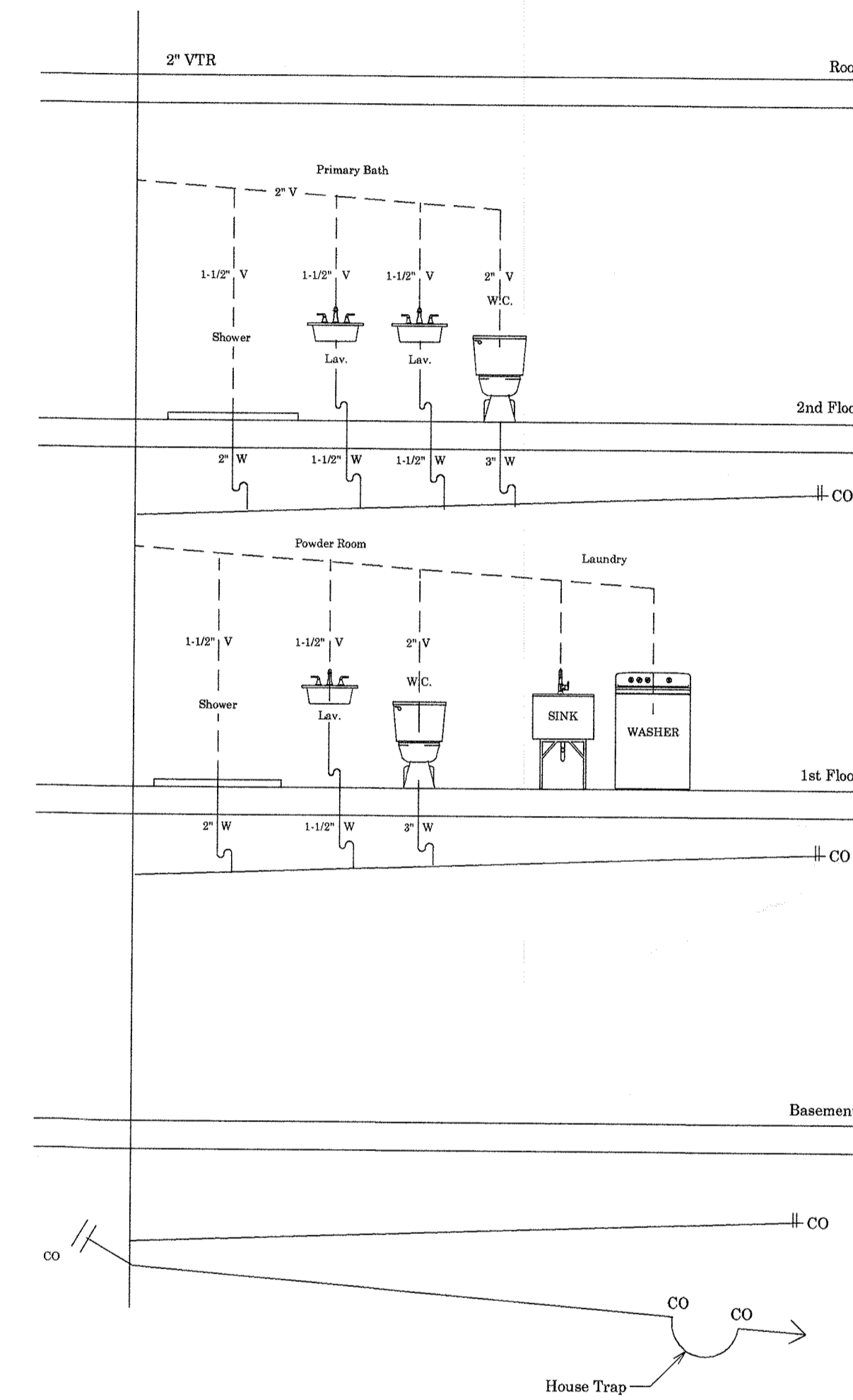


PROJECT:		ADDITION / 2ND FLOOR BEDROOM & BATHROOM ALTERATIONS	
		PEDROLL-TIEGREEN 42 Closter Road Palisades, NY 10964	
ROBERT MURPHY ARCHITECT PLLC 1341 HAMBURG TPKE, SUITE 2-6, WAYNE, NJ 07470 NJ LIC. AT 14128 / NY LIC. AT 23097; (201) 207 5537	DRAWN: V. PACENZA	DATE: 2/16/24	SHEET No.
DWG. TITLE: FIRST FLOOR EXISTING CONDITIONS, PROPOSED FIRST FLOOR PLAN, PROPOSED FLOOR & ROOF FRAMING PLANS, FIREPLACE SPECS & LEGENDS	SCALE: AS NOTED	2 OF 4	

**A-2**



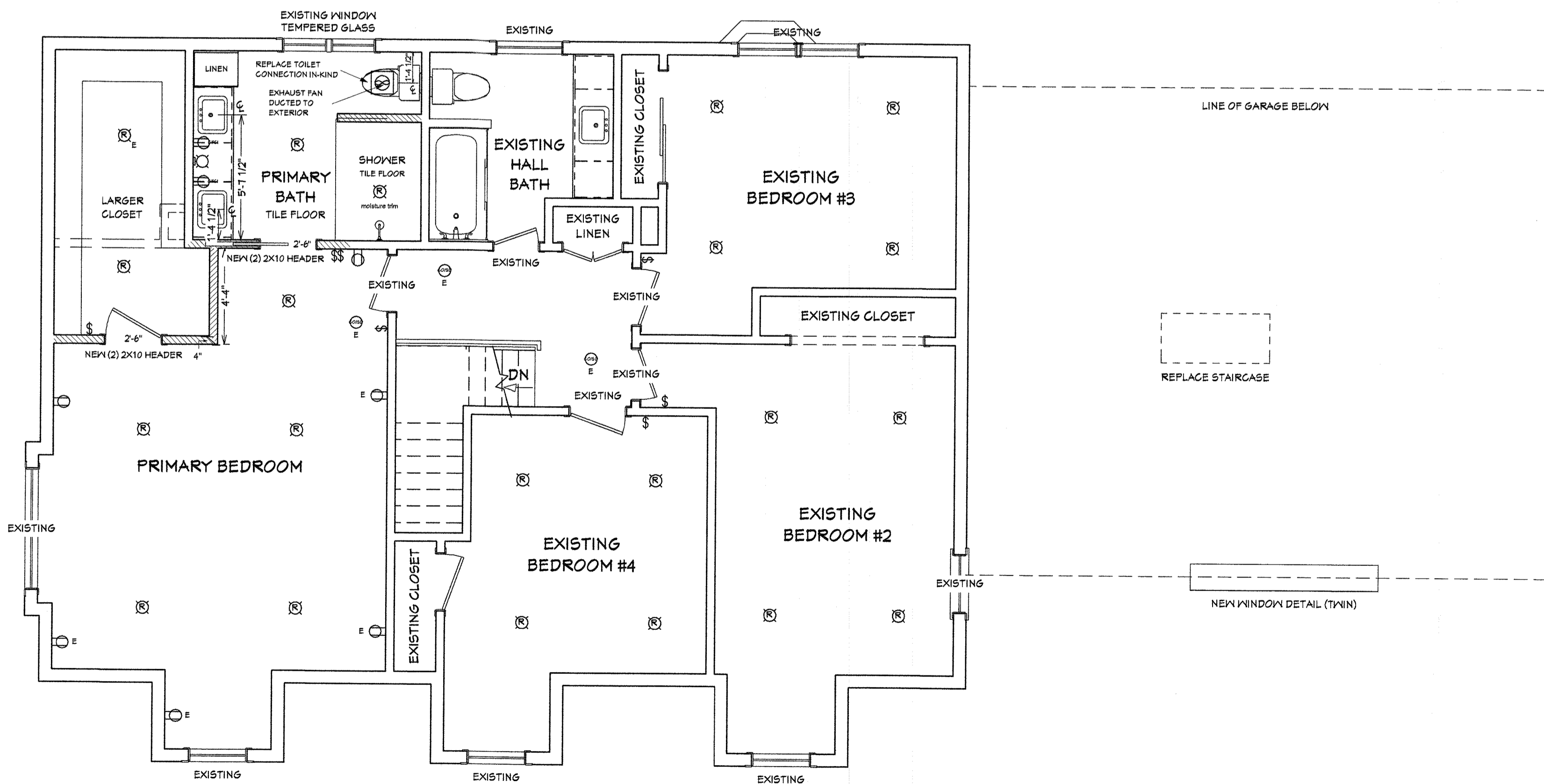
**EXISTING CONDITIONS: SECOND FLOOR**  
**SCALE: 1/4" = 1'-0"**



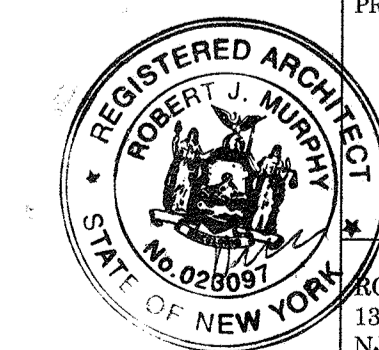
**PLUMBING RISER DIAGRAM**  
**SCALE: N.T.S.**

WALL LEGEND	
	EXISTING
	REMOVED
	NEW

ELECTRICAL LEGEND	
	CEILING MOUNTED RECESSED LIGHT FIXTURE
	CEILING MOUNTED SURFACE LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	110V DUPLEX RECEPTACLE
	110V GFCI RECEPTACLE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	CEILING MOUNTED VENTILATION FAN
	CEILING MOUNTED SMOKE DETECTOR
<b>E</b>	DENOTES "EXISTING"

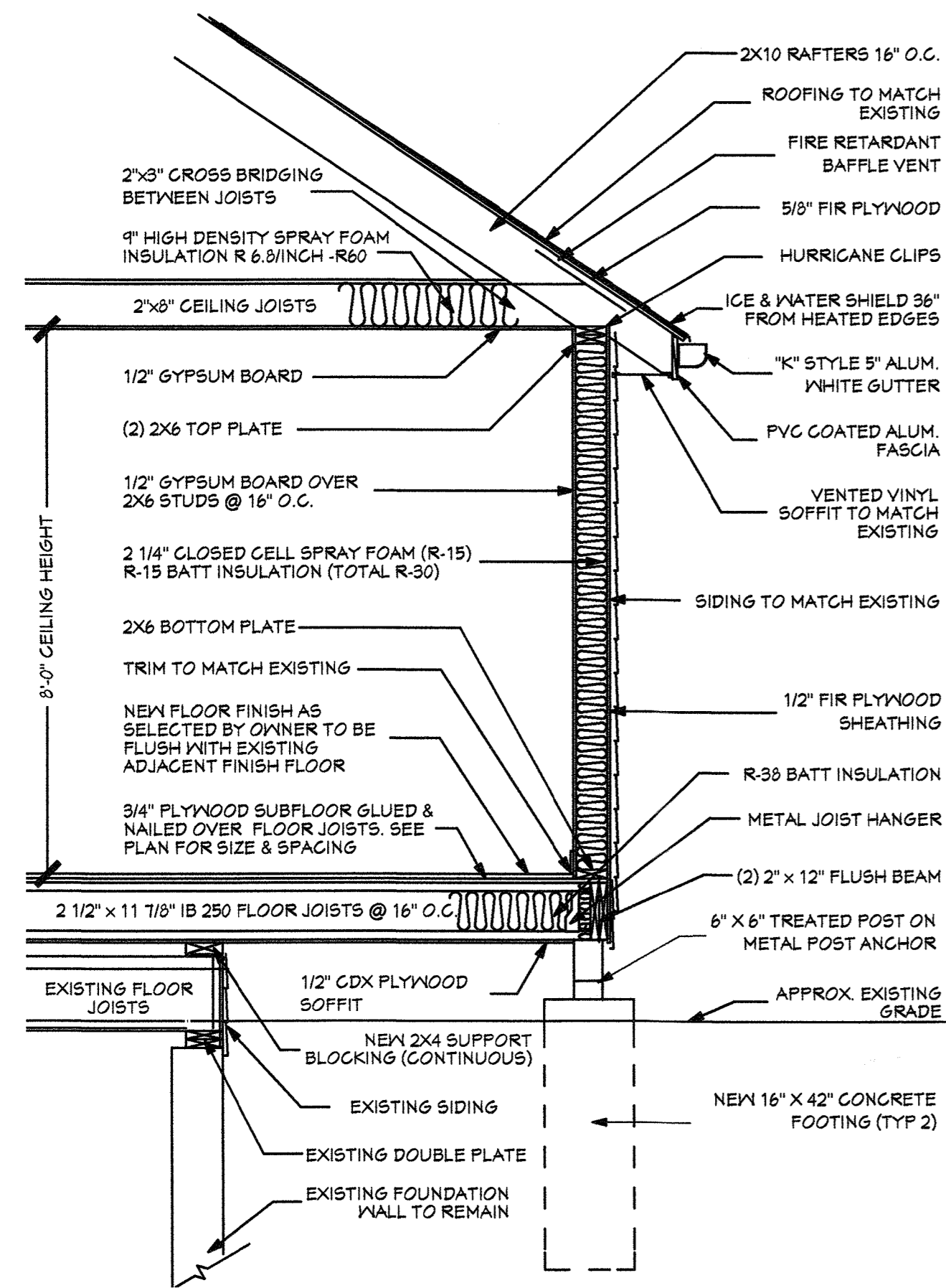


**PROPOSED SECOND FLOOR PLAN**  
**SCALE: 1/4" = 1'-0"**

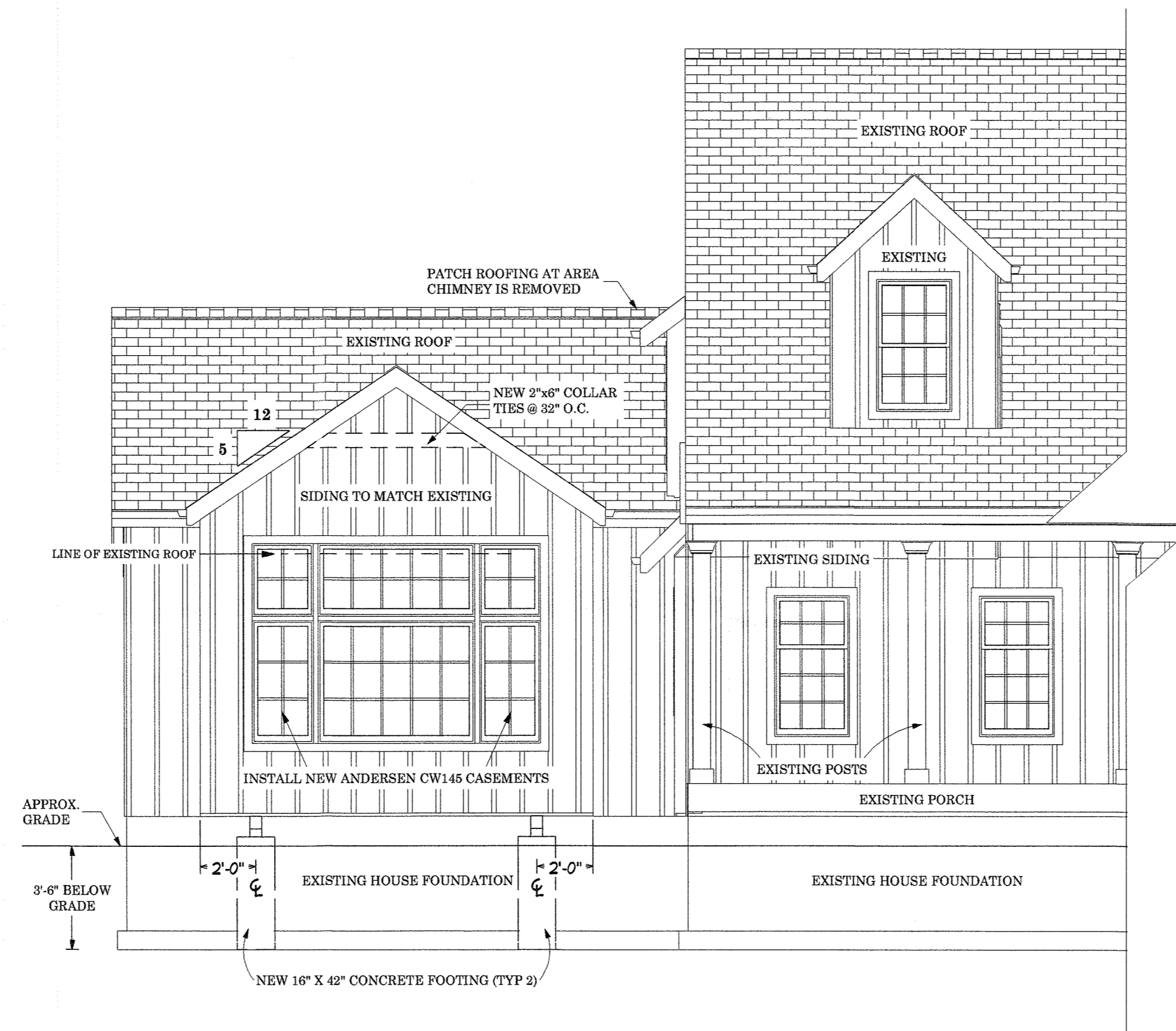


PROJECT:		ADDITION / 2ND FLOOR BEDROOM & BATHROOM ALTERATIONS	
		PEDROLI-TIEGREEN 42 Closter Road Palisades, NY 10964	
ROBERT MURPHY ARCHITECT PLLC 1341 HAMBURG TPKE. SUITE 2-6, WAYNE, NJ 07470 NJ LIC. AI 14125 / NY LIC. AI 23097: (201) 207 5537	DRAWN: V. PACENZA	DATE: 2/18/24	SHEET No.
DWG. TITLE: SECOND FLOOR EXISTING CONDITIONS, PROPOSED SECOND FLOOR PLAN, PLUMBING RISER, & LEGENDS	SCALE: AS NOTED	3 OF 4	

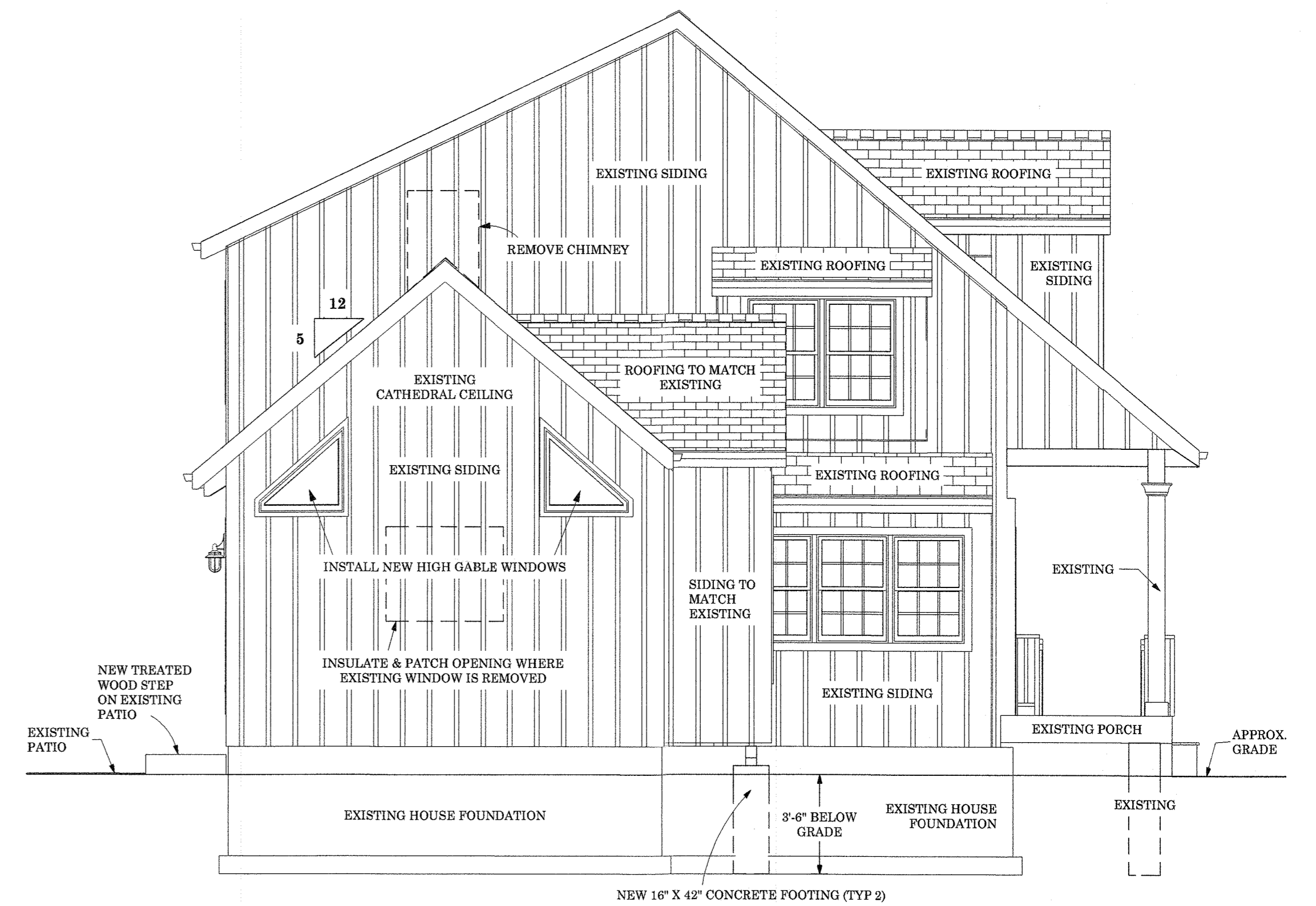
**A-3**



**TYPICAL WALL SECTION A**  
SCALE: 1/2" = 1'-0"



**WEST WALL ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH WALL ELEVATION**  
SCALE: 1/4" = 1'-0"

INSULATION VALUES			
2021 IECC CODE	ZONE 5A		
ENERGY SUBCODE COMPLIANCE			
			<b>PROVIDED</b>
FENESTRATION / WINDOWS	-	0.30	0.27
CEILING R-VALUE	-	60	60
WOOD FRAME	-	30 OR 20+5 OR 13+10	30
FLOOR	-	30	38
FLOOR OVERHANG	-	30	38
NOTE:			
-ALL INSULATION TO BE CLOSED CELL HIGH DENSITY SPRAY FOAM			



PROJECT: ADDITION / 2ND FLOOR BEDROOM & BATHROOM ALTERATIONS		
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ROBERT MURPHY ARCHITECT PLLC 1341 HAMBURG TPKE, SUITE 2-4, WAYNE, NJ 07470 NJ LIC. AI 14125 / NY LIC. AI 23097; (201) 207 5337	DRAWN: V. PACENZA DATE: 2/18/24	SHEET No.  <b>A-4</b>
DWG. TITLE: NORTH & WEST WALL ELEVATIONS, TYPICAL WALL SECTION, & INSULATION VALUES	SCALE: AS NOTED	4 OF 4