

ZONING BOARD OF APPEALS
Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ext. 4316)
Date: **May 24, 2024**

TO: OBAPAE	✓ Rockland County Drainage
Environmental Management and Engineering	✓ Rockland County Health
✓ Rockland County Sewer District #1	✓ Rockland County Planning
New York State Dept. of Transportation	✓ Rockland County Highway
Palisades Interstate Park Commission	✓ NYS DOT
Orange and Rockland Utilities	✓ NYS Thruway Authority
Orangetown Highway	✓ Village of Grandview

Review of Plans: **Carballo, 1 Ferris Lane, Nyack, New York, 10960**
Section 66.17 Block 2 Lot 6 RG zone
This matter is scheduled for: **July 17, 2024**

Chapter 43, Section 3.12, RG district, Group Q, Column 8 (Front yard: required is 25', with 20' proposed) for a new front porch deck, uncovered, and new front porch stoop at an existing single-family dwelling. The premises are located at 1 Ferris Lane, Nyack, New York and identified on the Orangetown Tax Map as Section 66.17, Block 2, Lot 6 in the RG zoning district.

Please review the information enclosed and provide comments. These comments may be mailed by **July 17, 2024**, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: Kbettmann@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: July 17, 2024

- Comments attached
 - No Comments at this time. Please send future correspondence for review.
 - No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
 - This project is out of the jurisdiction of this agency and has no further comments.
- This project is before the Zoning Board on **Wednesday, July 17, 2024**. **Kindly forward your completed review to this office by July 17, 2024.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: 5081-24
 ASSIGNED
 INSPECTOR: Domenic Miano

Referred from Planning Board: YES / **NO**
 If yes provide date of Planning Board meeting: _____

Project Name: FRONT PORCH DECK ADDITION, UNCOVERED

Street Address: 1 FERRIS LANE, NYACK

Tax Map Designation:

Section: 66.17 Block: 2 Lot(s): 6
 Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the west side of Ferris Lane, approximately
120.84 feet east of the intersection of S. Broadway, in the
 Town of Orangetown in the hamlet/village of _____.

Acreage of Parcel <u>7,769</u>	Zoning District <u>RG</u>
School District <u>Nyack</u>	Postal District <u>Nyack</u>
Ambulance District <u>Nyack</u>	Fire District <u>Nyack</u>
Water District <u>Veolia</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*

NEW FRONT PORCH DECK, UNCOVERED. NEW FRONT STOOP ORIENTED TOWARD THE STREET.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 5/22/24 Applicant's Signature: *Jaguel Cullen*



APPLICATION REVIEW FORM

NA

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: May 9, 2024 Section: 66.17 Block: 2 Lot: 6

Applicant: Carballo

Address: 1 Ferris Ln, S Nyack, Ny

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 RG District, Column 8, Min Front Yard 25' with 20' proposed
1 Variance required

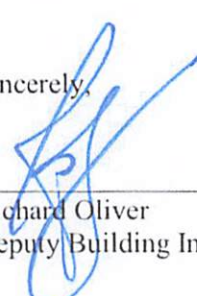
Comments:

Front Yard Variance

Dear Carballo:


Please be advised that the Building Permit Application # 5081-24, which you submitted on 4.22.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

5/9/24



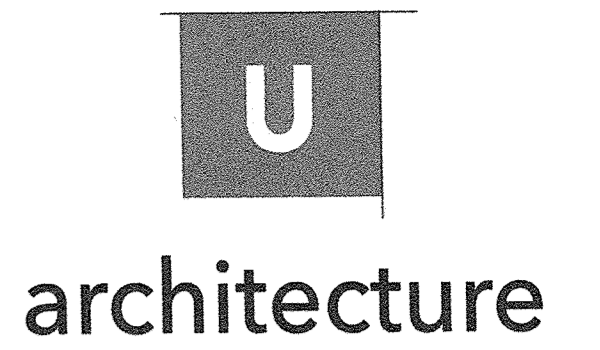

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

5/13/24
Date
Liz DeCort
Debbie Arbolino

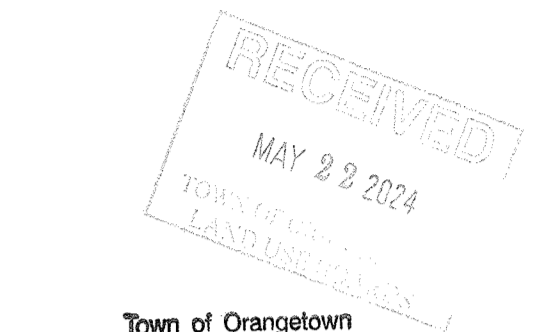
VIS	PRINT KEY	NAME	ADDRESS
2489	66.77-1-30.1	Russell Crane	320 So Broadway, South Nyack, NY 10960
2489	66.77-1-30.2	Russell Crane	320 So Broadway, South Nyack, NY 10960
2489	66.77-1-34	Jori Goldner	1 Livingston Pl, South Nyack, NY 10960
2489	66.77-1-35	321 Broadway NY LLC Simcha Schwartz	1356 45th St, Brooklyn, NY 11219
2489	66.77-1-36	Jonathan D O'Connor	319 S Broadway, South Nyack, NY 10960
2489	66.77-1-37	Johanna K N Sanchez	317 S Broadway, South Nyack, NY 10960
2489	66.77-1-38	Town of Orangetown	26 Orangeburg Rd, Orangeburg, NY 10962
2489	66.78-1-29	OT South Nyack LLC	14 Astor Pl, Monsey, NY 10952
2489	66.17-2-3	Stephen F De Groat	324 So Broadway, Upper Grandview, NY 10960
2489	66.17-2-4	Joanne Barr	323 S Broadway, Upper Grandview, NY 10960
2489	66.17-2-5	Joel Landau	19 Fanley Ave, Spring Valley, NY 10977
2489	66.17-2-6	Jacqueline Carballo	1 Ferris Ln, Upper Grandview, NY 10960
2489	66.17-2-7	Islay Burgess	3 Ferris Ln, Upper Grandview, NY 10960
2489	66.17-2-8	Philip Kelly	5 Ferris Ln, Upper Grandview, NY 10960
2489	66.17-2-9	Veronica Cahill	7 Ferris Ln, Upper Grandview, NY 10960
2489	66.17-2-10	Bradley Cohen	447 So Broadway, Upper Grandview, NY 10960
2489	66.17-2-11	John Mihovics	445 S Broadway, Nyack, NY 10960
2489	66.17-2-13	Luis A M Vasquez	446 S Broadway, Upper Grandview, NY 10960
2489	66.17-2-14	William Sweeney	400 S Broadway, Upper Grandview, NY 10960
2489	66.17-2-15	Walter Smith	160 Powers St Apt 1, Brooklyn, NY 11211
2489	66.17-2-16	Mark S Greenspan	326 S Broadway, Upper Grandview, NY 10960
2489	71.05-2-6	Joel Kanoff	449 So Broadway, Upper Grandview, NY 10960
2489	71.05-2-7	Eric Strober	9 Ferris Ln, Upper Grandview, NY 10960
2489	71.05-2-8	Katherine Morton Fulmor	46 Sickles Ave, Nyack, NY 10960
2489	71.05-2-9	Gary Trilling	10 Ferris La, Upper Grandview, NY 10960



1 FERRIS LANE, NYACK FRONT PORCH DECK ADDITION



U ARCHITECTURE
845-535-9097
U-ARCHITECT.COM
INFO@U-ARCHITECT.COM



Town of Orangetown
MEETING OF:
JUL 17 2024

ZONING BOARD OF APPEALS

PROJECT
FRONT PORCH DECK
1 FERRIS LANE
NYACK, NY
DRAWING
TITLE SHEET

REVISIONS
DATE DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.
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SEAL AND SIGNATURE
JACQUELINE URRÁ, R.A.
NY R.A. 034687
ISSUE FOR PERMIT
DATE 4/18/2024
UA PROJECT UA2401
DRAWN/CHK BY JU
SCALE AS NOTED
SHEET

T-001.00

UA2401 A-100 1 OF 4

PROJECT IDENTIFICATION

OWNER: JACQUELINE CARBALLO
PROJECT ADDRESS: 1 FERRIS LN, NYACK, NY 10960
BLOCK & LOT: 66.17-2-6
YEAR BUILT: 1969
USE: RESIDENTIAL, SINGLE FAMILY
OCCUPANCY: RESIDENTIAL, SINGLE FAMILY
ZONING DISTRICT: RG
SCHOOL: NYACK SCHOOL DISTRICT
AMBULANCE: NYACK AMBULANCE
FIRE: NYACK JOINT FIRE DISTRICT
WATER: VEOLIA
SEWER: ORANGETOWN SEWER DISTRICT
WASTE: ROCKLAND COUNTY

CODE REVIEW

TOWN OF ORANGETOWN ZONING CODE

11.2 Definitions.

AREA, BUILDING

The total of areas taken on a horizontal plane at the main grade level of the principal building and all accessory buildings exclusive of uncovered porches, terraces and steps.

FLOOR AREA

The sum of the gross horizontal areas of every floor of a building, measured from the exterior faces of exterior walls or from the center line of party or common walls separating two buildings, including: basement space; attic space, whether or not a floor has been laid, over which there is structural headroom of seven feet or more; floor space used for mechanical equipment with structural headroom of seven feet or more; elevator shafts and stairwells at each floor; roofed porches, breezeways, interior balconies, mezzanines and penthouses; and any roofed-over space such as a garage or carport for off-street parking accessory to a single-family or two-family dwelling, not located in a cellar....

However, "floor area" does not include: cellar spaces...; terraces, unroofed open porches and steps; ...

FLOOR-AREA RATIO

The floor area in square feet of all buildings on a lot, divided by the area of such lot in square feet.

HEIGHT

The vertical distance measured from the average elevation of the proposed finished grade along the wall of a building, or adjacent to the side of a nonbuilding use, to the highest point of the roof or parapet for flat roofs or shed roofs, to the deck line for mansard roofs, and to the mean between eaves and ridge for gable, hip and gambrel roofs of such building, or nonbuilding use, except as specifically exempted in § 5.23.

LOT, CORNER

A lot whose lot lines form an interior angle of less than 135° at the intersection of two street lines. A lot abutting on a curved street shall be deemed a "corner lot" if the tangents to the curve at the points of intersection of the side lot lines with the street lines intersect at an interior angle of less than 135°.
STREET LINE TANGENTS INTERSECT AT 123 DEGREES.

5.1 Additional bulk regulations.

5.11. Additional required yard regulations.

5.12. Corner lots. On a corner lot, each lot line which abuts a street shall be deemed to be a front lot line, and the required yard along both lot frontages shall be a required front yard. The owner shall elect and so designate on the plot plan which of the remaining two required yards shall be the required side yard and the required

rear yard.

5.13. Lots within 25 feet of a district boundary. Where a lot line lies within 25 feet of a district boundary, the required yard and building-height requirement along such lot line shall conform to the regulations for single-family detached residences in that district which is more restrictive or imposes higher standards.
LOT IS OVER 33' FEET FROM RG-4 DISTRICT.

§ 5.2 Exceptions to bulk regulations.

5.21. Small lots for single-family detached residences. A lot, either owned individually and separately and separated from any adjoining tracts of land on July 29, 1965, and which has not subsequently become attached to other adjoining land in the same ownership, and/or which has a total area, lot width, lot frontage less than the minimum required in the Bulk Table, may be used for a single-family detached residence no larger than if the lot was conforming to the zoning district regulations, provided that such lot shall conform to the use regulations and all the other bulk regulations, except as follows:

(d) For lots subject to regulations in Bulk Table, Group Q, the total width of each required side yard may be reduced one foot for each foot the lot width is less than 75 feet. However, the minimum width of each required side yard shall remain at 10 feet, except for lots with lot width of less than 45 feet, for which no required side yard shall be less than 7 1/2 feet.
(e) For all such lots in § 5.21 (a), (b), (c) and (d) above, the height limitation imposed in Bulk Table, Column 12, shall be waived and the maximum building height shall be 20 feet.

5.22. Permitted obstruction in required yards, courts and usable open space. All required yards, courts and usable open spaces shall be unobstructed except as provided in this section. (Since required yards, courts and usable open spaces shall be open to the sky, an obstruction shall include the projection of a structure into such space at any level above ground.)

5.22.1. An arbor; chimney; open trellis; flagpole; unroofed steps or unroofed terrace not exceeding 16 square feet in area nor projecting more than four feet from the exterior wall of the building, nor exceeding two feet above ground level; or drying yard equipment, shall be permitted in any required yard, required court or usable open space without limitation.

5.22.2. An awning or movable canopy may project not more than 10 feet, building overhangs, balconies, cornices or eaves may project not more than 18 inches and window sills or belt courses may project not more than six inches into a required yard, required court or usable open space.

*** CODE ANALYSIS CONTINUED ON A-001 ***

PROJECT SCOPE

- NEW 4210 SF FRONT PORCH DECK, UNCOVERED, AT EXISTING ONE AND HALF STORY SINGLE FAMILY DWELLING.
- NEW FRONT STOOP IS REORIENTED TOWARDS THE STREET

NO CHANGE TO USE, OCCUPANCY, ZONING, FIRE PROTECTION OR EGRESS UNDER THIS APPLICATION.

INDEX OF DRAWINGS

#	TITLE	REV #	PURPOSE
T-001	TITLE SHEET		INITIAL FILING
A-001	SITE PLAN & NOTES		INITIAL FILING
A-100	PLANS		INITIAL FILING
A-200	ELEVATIONS & SECTIONS		INITIAL FILING

RG ZONING REQUIREMENTS

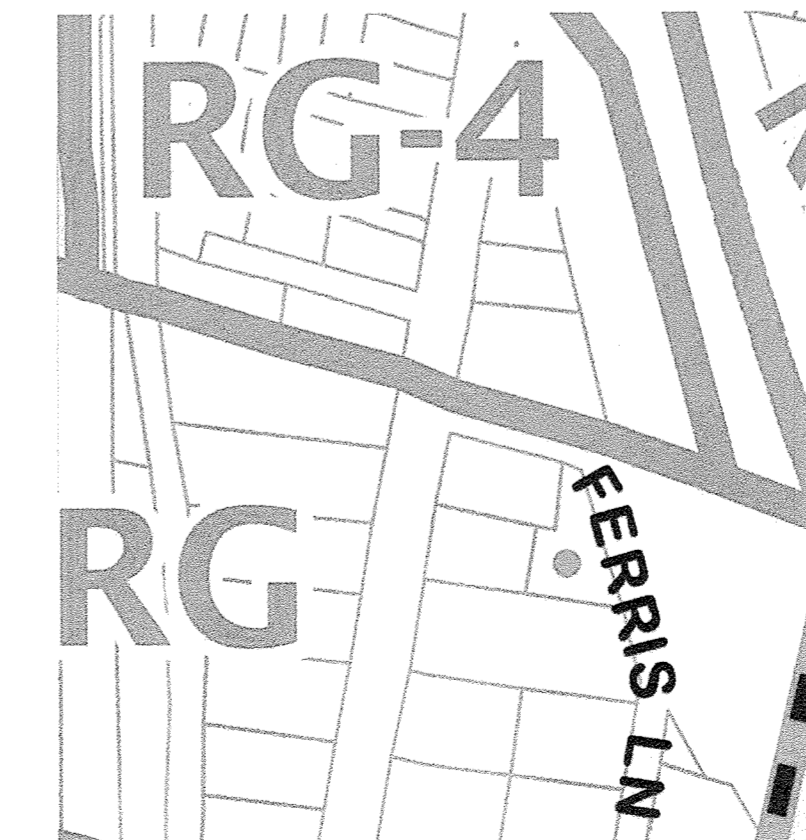
ONE-FAMILY DWELLING	CODE	EXISTING	PROPOSED	COMPLIES
MINIMUM FLOOR AREA RATIO	0.30	0.15	NO CHANGE	YES
MINIMUM LOT AREA (SQ FT)	10,000	7,769	NO CHANGE	EXISTING NON-CONFORMING
MINIMUM LOT WIDTH (FT)	75	>135	NO CHANGE	YES
MINIMUM STREET FRONTAGE (FT)	50	148	NO CHANGE	YES
REQUIRED FRONT YARD (FT)	25	30	20	NO
REQUIRED SIDE YARD (FT)	10	13	NO CHANGE	YES
TOTAL SIDE YARD (FT)	20**(d)	94	NO CHANGE	YES
REQUIRED REAR YARD (FT)	25	25	NO CHANGE	YES
MAXIMUM HEIGHT (FT)	20**(e)	<20	NO CHANGE	YES
GROSS FLOOR AREA (SF)	--	1,200	NO CHANGE	--
NEW DECK PORCH (SF)	--	--	209	--

** 5.21 Exceptions to bulk regulations.

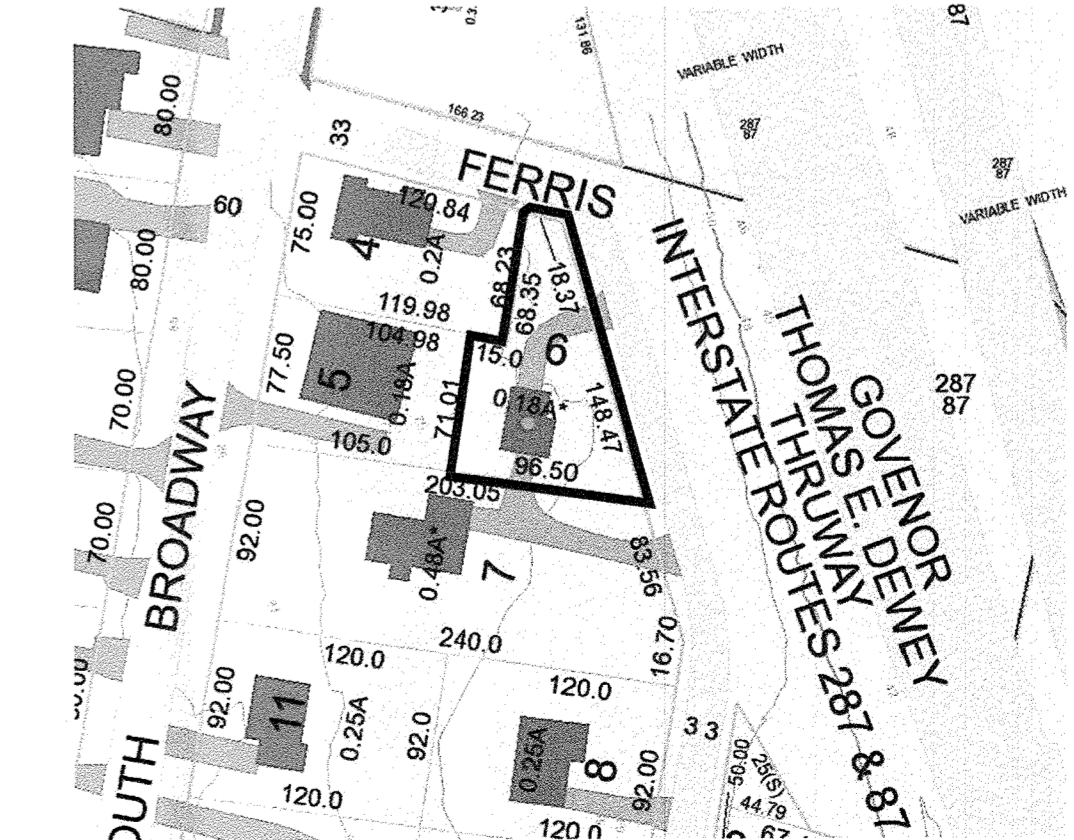
(d) For lots subject to regulations in Bulk Table, Group Q, the total width of each required side yard may be reduced one foot for each foot the lot width is less than 75 feet. However, the minimum width of each required side yard shall remain at 10 feet, except for lots with lot width of less than 45 feet, for which no required side yard shall be less than 7 1/2 feet.
(e) Maximum building height shall be 20 feet.



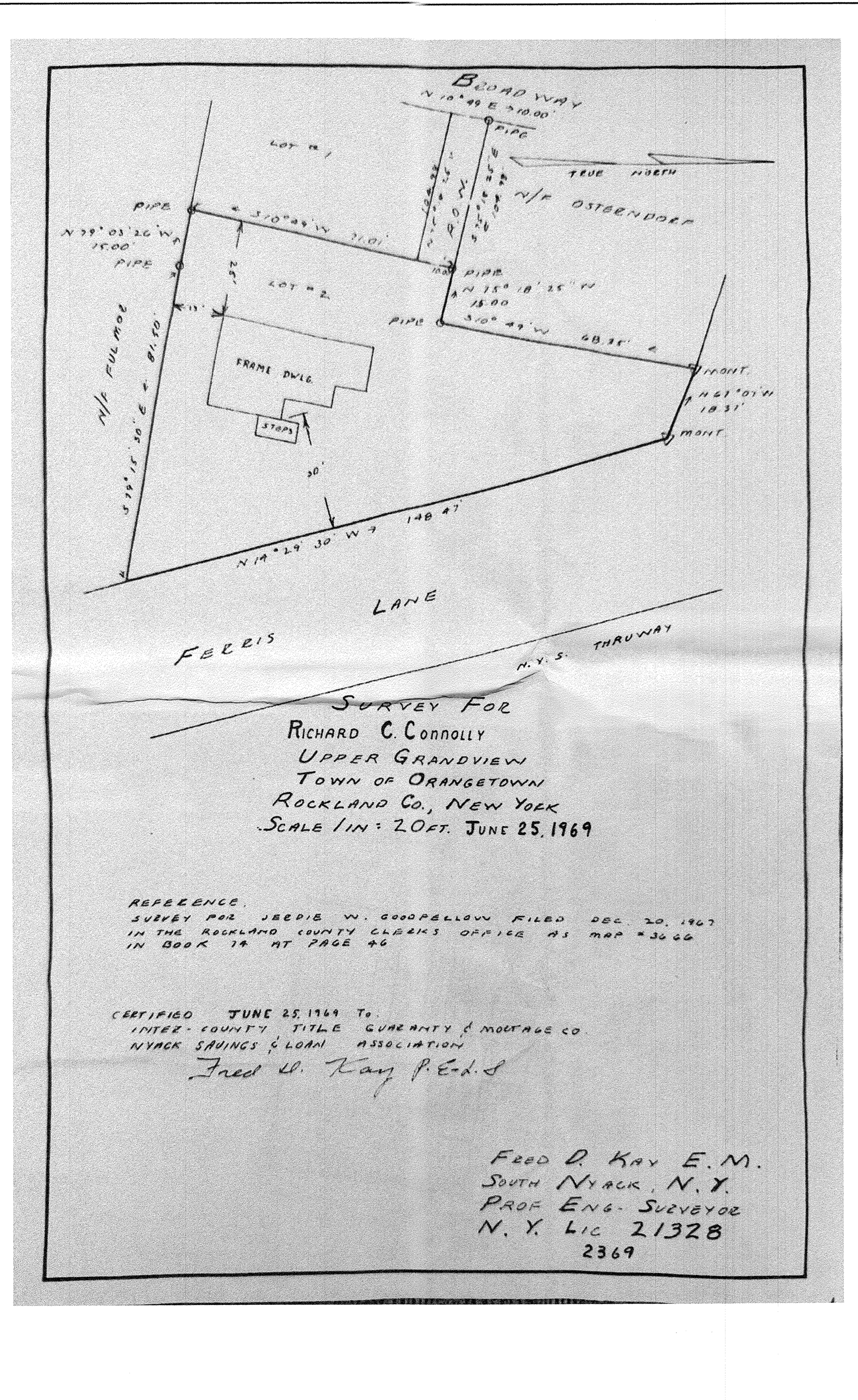
2 STREET VIEW
NOT TO SCALE



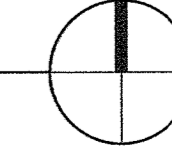
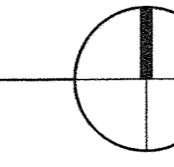
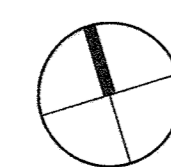
3 ZONING MAP
NOT TO SCALE

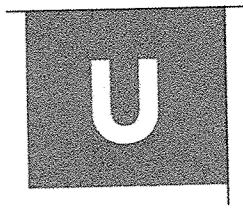


4 TAX MAP
NOT TO SCALE



1 SITE PLAN
NOT TO SCALE





architecture

U ARCHITECTURE
845-535-9097
U-ARCHITECT.COM
INFO@U-ARCHITECT.COM

PROJECT
FRONT PORCH DECK
1 FERRIS LANE
NYACK, NY

DRAWING
SITE PLAN & NOTES

REVISIONS

#	DATE	DESCRIPTION
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CONSTRUCTION NOTES W/ CODE REFERENCES:

- R507.1 DECKS**
- NO. 2 GRADE OR BETTER LUMBER, PRIME GROUND CONTACT PRESERVE-TREATED OR APPROVED NATURALLY PRESERVED PER R318.
 - FLAME SPREAD INDEX OF ALL MATERIALS SHALL NOT EXCEED 200.
 - STAINLESS STEEL FASTENERS OR HOT DIPPED GALVANIZED (MIN. PER R507.2.3).
 - FLASHING SHALL BE CORROSION RESISTANT METAL, MIN. THICKNESS 0.019 COMPATIBLE WITH SUBSTRATE AND DECKING MATERIALS.

- R507.3 FOOTINGS**
- PROVIDE CONCRETE FOOTINGS TO 3'-6" DEPTH.
 - DIAMETERS VARY PER LOCATION AND LOAD AS NOTED BELOW.
 - ALL POSTS SHALL BE CENTERED ON THEIR FOOTINGS.
 - WOOD POSTS TO BE ATTACHED ABOVE GRADE WITH SIMPSON-STRONG GALVANIZED STEEL POST CONNECTORS.

TABLE R507.3.1 MINIMUM FOOTING SIZE FOR DECKS

LOAD BEARING CAPACITY >3000 PSF*	SNOW LOAD 40 PSF	TRIBUTARY AREA DECK MAX 40 SF - DIAMETER OF A ROUND FOOTING 16 IN
----------------------------------	------------------	---

*SOIL BEARING CAPACITY HAS BEEN ASSUMED AT 1500 PSF FOR CLAY SOIL TYPICAL TO THE AREA. VERIFY SOIL TYPE AT LOCATION PRIOR TO CONSTRUCTION OF FOOTING.

TABLE R507.5 DECK BEAM SPAN LENGTHS
REFER TO STRUCTURAL FRAMING PLAN ON A-100

R507.5.1 DECK BEAM BEARING
THE ENDS OF BEAMS SHALL HAVE NOT LESS THAN 1 1/2 INCHES OF BEARING ON WOOD ... WHERE MULTIPLE-SPAN BEAMS BEAR ON INTERMEDIATE POSTS, EACH PLY MUST HAVE FULL BEARING ON THE POST IN ACCORDANCE WITH FIGURES R507.5.1(1) AND R507.5.1(2).

NOTCH POST FOR FULL BEARING. REMAINING NOTCHED POST MUST BE MINIMUM 2 1/2" BEARING FLUSH WITH TOP OF SUPPORTED BEAM. PROVIDE TWO (2) 1/2 IN. Ø BOLTS AT EACH CONNECTION. USE STAINLESS STEEL OR EQUIVALENT HOT DIPPED GALVANIZED.

TABLE R507.6 DECK JOIST SPANS FOR COMMON LUMBER SPECIES
REFER TO STRUCTURAL FRAMING PLAN ON A-100

R507.9.1.2 BAND JOIST DETAILS
BAND JOISTS SUPPORTING AN LEDGER SHALL BE A MINIMUM 2-INCH-NOMINAL, SOLID-SAWN, SPRUCE-PINE-FIR OR BETTER LUMBER OR A MINIMUM 1-INCH BY 9 1/2-INCH DIMENSIONAL, DOUGLAS FIR OR BETTER, LAMINATED VENEER LUMBER. BAND JOISTS SHALL BEAR FULLY ON THE PRIMARY STRUCTURE CAPABLE OF SUPPORTING ALL REQUIRED LOADS.

INSPECTOR MUST INSPECT BEFORE ANY WALLS/CEILING ARE CLOSED. ELECTRICAL WORK REQUIRES INSPECTION BY A CERTIFIED ELECTRICAL INSPECTOR BEFORE ANY WALLS/CEILING ARE CLOSED.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL REFUSE AND BULK GARBAGE RESULTING FROM THIS ALTERATION FROM THE BUILDING AND THE PROPERTY THE SAME DAY. IT SHALL NOT BE LEFT IN THE BASEMENT OR THE CURB. MASONITE PROTECTION BOARD TO PROTECT PUBLIC AREAS MUST BE INSTALLED AND REMOVED DAILY.
- CONTRACTOR SHALL PROVIDE THE OWNER AND BUILDING DEPARTMENT WITH INSURANCE CERTIFICATES PRIOR TO COMMENCEMENT OF WORK.
- IF ASBESTOS IS UNCOVERED DURING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL PROVIDE FOR REMOVAL AND CONTAINMENT AS PER AGENCY REGULATIONS.
- IF LEAD IS UNCOVERED DURING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL PROVIDE FOR REMOVAL AND CONTAINMENT AS PER AGENCY REGULATIONS.
- ROUTING INTO THE EXTERIOR BUILDING WALLS, DEMISING WALLS, AND FLOOR SLABS TO RUN ELECTRICAL CONDUIT OR FOR ANY OTHER REASON IS NOT PERMITTED.
- ONLY WATER-BASED PRODUCTS SHALL BE USED WHEN REFINISHING FLOORS.

DEMOLITION NOTES

- THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED PROMPTLY BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- DISPOSITION OF DEMOLISHED MATERIALS SHALL COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF THE AGENCIES HAVING JURISDICTION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- THE CONTRACTOR SHALL RETAIN A NEW YORK STATE LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED.
- DISCONNECT, REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY DEMOLITION. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.
- DEMOLITION WORK MUST NOT IMPACT THE REQUIRED FIRE RATINGS OF COLUMNS, BEAMS, CHASES, OR OTHER RATED ELEMENTS. IF FIREPROOFING IS DISTURBED DURING THE DEMOLITION PHASE, IT MUST BE RESTORED TO ITS ORIGINAL CONDITION AND/OR EQUAL FIRE RATING.

CODE REVIEW, CONT'D FROM TITLE SHEET

2020 NYS RESIDENTIAL CODE
PRESCRIPTIVE DESIGN NOTES PER SECTIONS R507.1 TO R803.1.
REFER TO NOTES ON A-200.

Section R317 Protection of Wood and Wood-Based Products Against Decay
R317.1 Location Required
Protection of wood and wood-based products from decay shall be provided in the following locations by the use of naturally durable wood or wood that is preservative-treated in accordance with AWWPA U1.

- Wood joists or the bottom of a wood structural floor where closer than 18 inches (457 mm) or wood girders where closer than 12 inches (305 mm) to the exposed ground in crawl spaces or unexcavated area located within the periphery of the building foundation.
- Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches (203 mm) from the exposed ground.
- N/A
- The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch (12.7 mm) on tops, sides and ends.
- N/A
- Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
- N/A

R317.1.1 Field Treatment
Field-cut ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWWPA M4.

R317.1.2 Ground Contact
All wood in contact with the ground, embedded in concrete in direct contact with the ground or embedded in concrete exposed to the weather that supports permanent structures intended for human occupancy shall be approved preservative-treated wood suitable for ground contact use, except that untreated wood used entirely below groundwater level or continuously submerged in fresh water shall not be required to be preservative-treated.

R507.2.1 Wood Materials
Wood materials shall be No. 2 grade or better lumber, preservative-treated in accordance with Section R317, or approved, naturally durable lumber, and terminate protected where required in accordance with Section R318. Where design in accordance with Section R301 is provided, wood structural members shall be designed using the wet service factor defined in AWC NDS. Cuts, notches and drilled holes of preservative-treated wood members shall be treated in accordance with Section R317.1.1. All preservative-treated wood products in contact with the ground shall be labeled for such usage.

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE NYS BUILDING CODE.
- ALL WORK SHALL BE PERFORMED BY LICENSED GENERAL CONTRACTOR, AS WELL AS LICENSED ELECTRICAL AND PLUMBING SUBCONTRACTORS.
- DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEVD IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT OF RECORD.
- THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL OBTAIN ALL PERMITS TO PERFORM THE WORK FROM APPLICABLE AGENCIES PRIOR TO THE START OF WORK. GENERAL CONTRACTOR, AS WELL AS ELECTRICAL AND PLUMBING SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING INSPECTIONS AND SIGNOFFS IN THEIR RESPECTIVE DISCIPLINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING ALL WORK IN ACCORDANCE TO BUILDING RULES AND ALTERATION REQUIREMENTS, INCLUDING COORDINATION OF ACCESS WITH THE BUILDING SUPERINTENDENT OR OWNER AS APPLICABLE.
- CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING OR CONSTRUCTION SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF RECORD. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS AND DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS; USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT OF RECORD PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
- ASPECTS OF THE EXISTING CONSTRUCTION MAY DEVIATE FROM THESE DRAWINGS. BIDDING CONTRACTORS ARE REQUIRED TO VISIT THE PROJECT SITE TO VERIFY PERTINENT INFORMATION, SINCE NO INCREASE IN THE BID AMOUNT OR UNIT PRICES WILL BE APPROVED ON THE BASIS OF ACTUAL DIMENSIONS, CONDITIONS, ETC. BEING DIFFERENT FROM WHAT IS SHOWN IN THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ADJACENT ROOMS AND PROPERTIES FROM DAMAGE. IF DAMAGE OCCURS DURING CONSTRUCTION THE CONTRACTOR SHALL REPAIR OR REPLACE SAID DAMAGED PROPERTY AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE BUILDING AGAINST UNAUTHORIZED ENTRY THROUGH THE SIDEWALK VAULTS, TEMPORARY BARRICADES, SECURITY PERSONNEL, OR OTHER MEANS SHALL BE UTILIZED AS NECESSARY TO PREVENT UNAUTHORIZED ENTRY.
- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC AND PROPERTY FROM THE WORK, AND SHALL TAKE ALL NECESSARY MEASURES AND PRECAUTIONS TO ACHIEVE ADEQUATE SAFETY AND PROTECTION, IF DAMAGE TO THE OWNER'S PROPERTY OCCURS, IT SHALL BE RECTIFIED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S COST.
- CONTRACTOR TO PROVIDE TEMPORARY MEASURES AS REQUIRED TO PROTECT EXISTING CONSTRUCTION AND MAINTAIN STRUCTURAL STABILITY. THESE MEASURES INCLUDE BUT ARE NOT LIMITED TO TEMPORARY PROTECTION, BARRICADES, SHORING, BRACING, TEMPORARY ENTRY BRIDGES TO BUILDING ACCESS POINTS, AND PROTECTION FROM DAMAGE TO FINISHED AREAS FROM UNCONTROLLED WATER PENETRATION.
- THE WORK SHALL BE PROPERLY PROTECTED FROM ADVERSE WEATHER AND TEMPERATURES.
- THE STRUCTURE IS DESIGNED TO BE STRUCTURALLY SOUND WHEN COMPLETED. PRIOR TO COMPLETION, THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND TEMPORARY BRACING, INCLUDING, BUT NOT LIMITED TO, MASONRY WALLS. WHEREVER THE CONTRACTOR IS UNSURE OF THESE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A NEW YORK STATE LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE.
- FOR BATHROOM RENOVATIONS/DEMOLITIONS INVOLVING PLUMBING, THE CONTRACTOR MUST INSTALL NEW RETURN VALVES, INSTALL NEW PIPING BACK TO THE RISERS AND INSTALL WATERPROOFING. THE BUILDING

SITE PLAN NOTES

- REFER TO OWNER, TAX LOT AND DISTRICT INFORMATION ON SHEET T-001.
- LOT IS LESS THAN ONE (1) ACRE THAT IS NOT PART OF A LARGER COMMON DEVELOPMENT. THE PROJECT DOES NOT MEET CRITERIA FOR COMPARISON OF POST AND PRE DEVELOPMENT STORMWATER RUNOFF.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, THE APPLICANT SHALL INSTALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS AS REQUIRED PER MOST CURRENT NYS DEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. SUCH TEMPORARY CONTROLS SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION. REFER TO IMAGES 1 & 2 BELOW.
- TOPOGRAPHIC INFORMATION SOURCED FROM SURVEY.
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE AS SOON AS POSSIBLE WITHIN REASONABLE TIME UPON COMPLETION OF CONSTRUCTION.

IMAGE 1
STRAW BALE DIKE

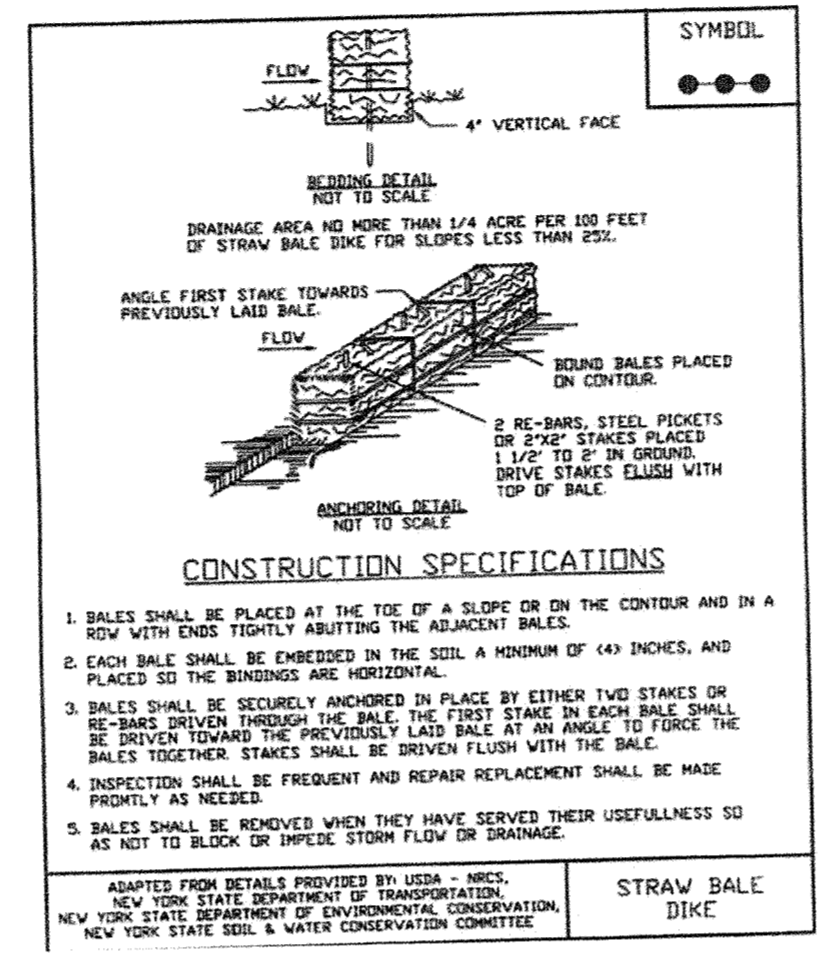
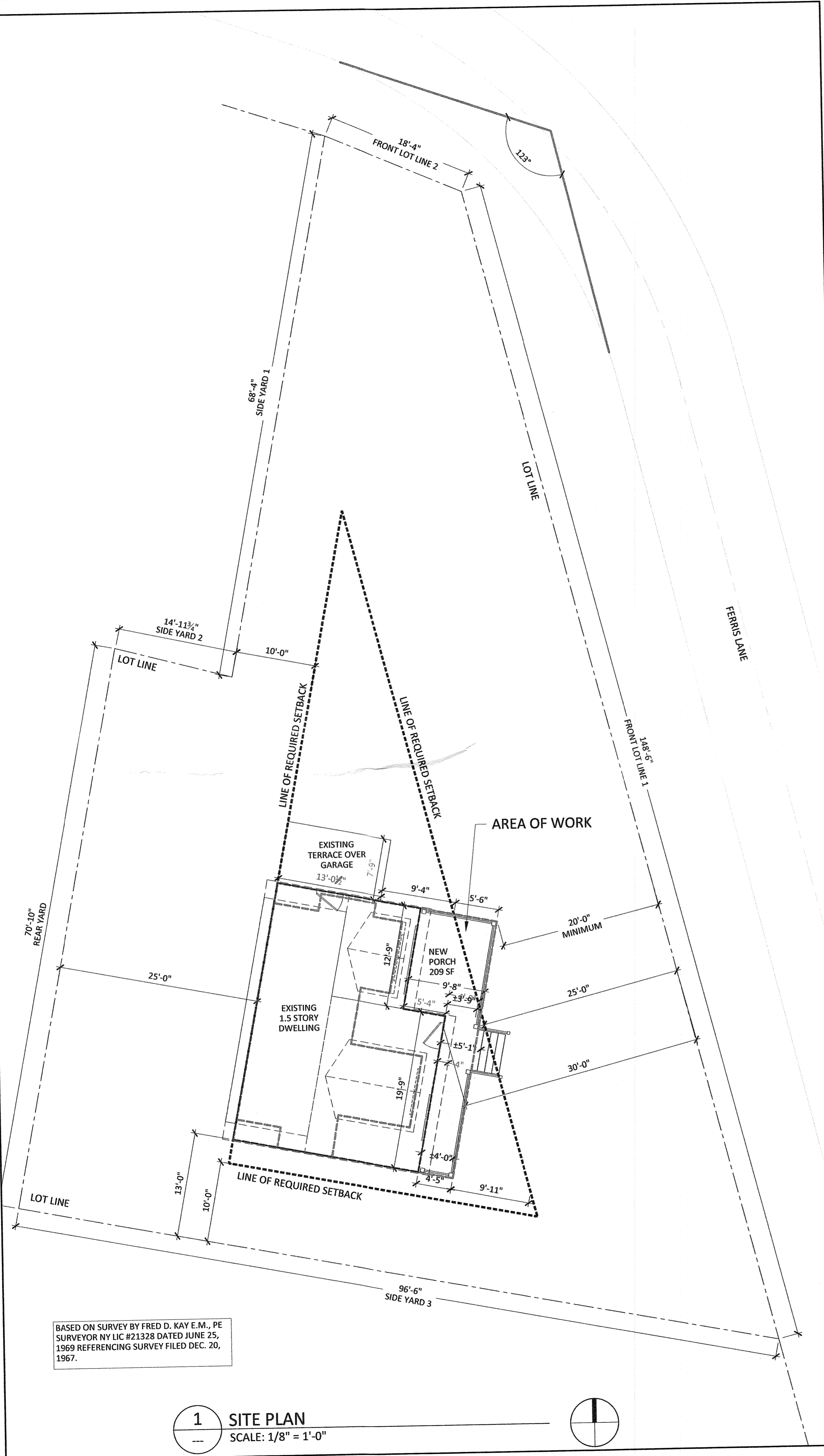
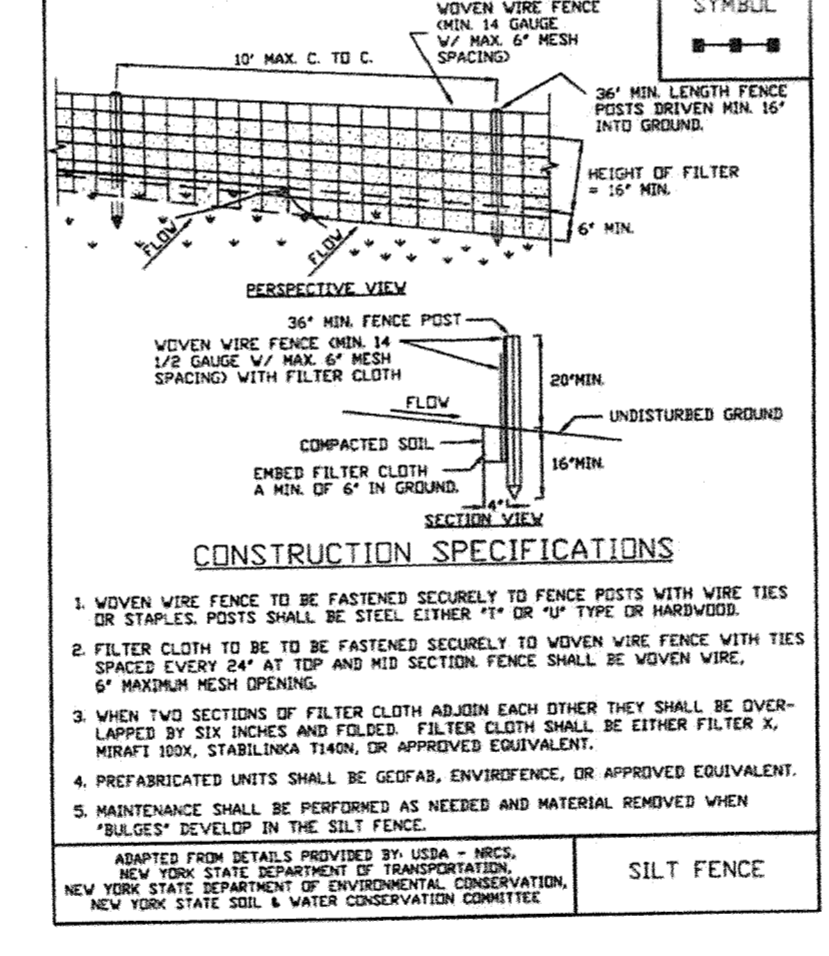


IMAGE 2
SILT FENCE



BASED ON SURVEY BY FRED D. KAY E.M., PE
SURVEYOR NY LIC #21328 DATED JUNE 25,
1989 REFERENCING SURVEY FILED DEC. 20,
1987.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

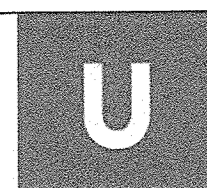
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SCALE	AS NOTED
SHEET	

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UA2401-A-100 2 OF 4

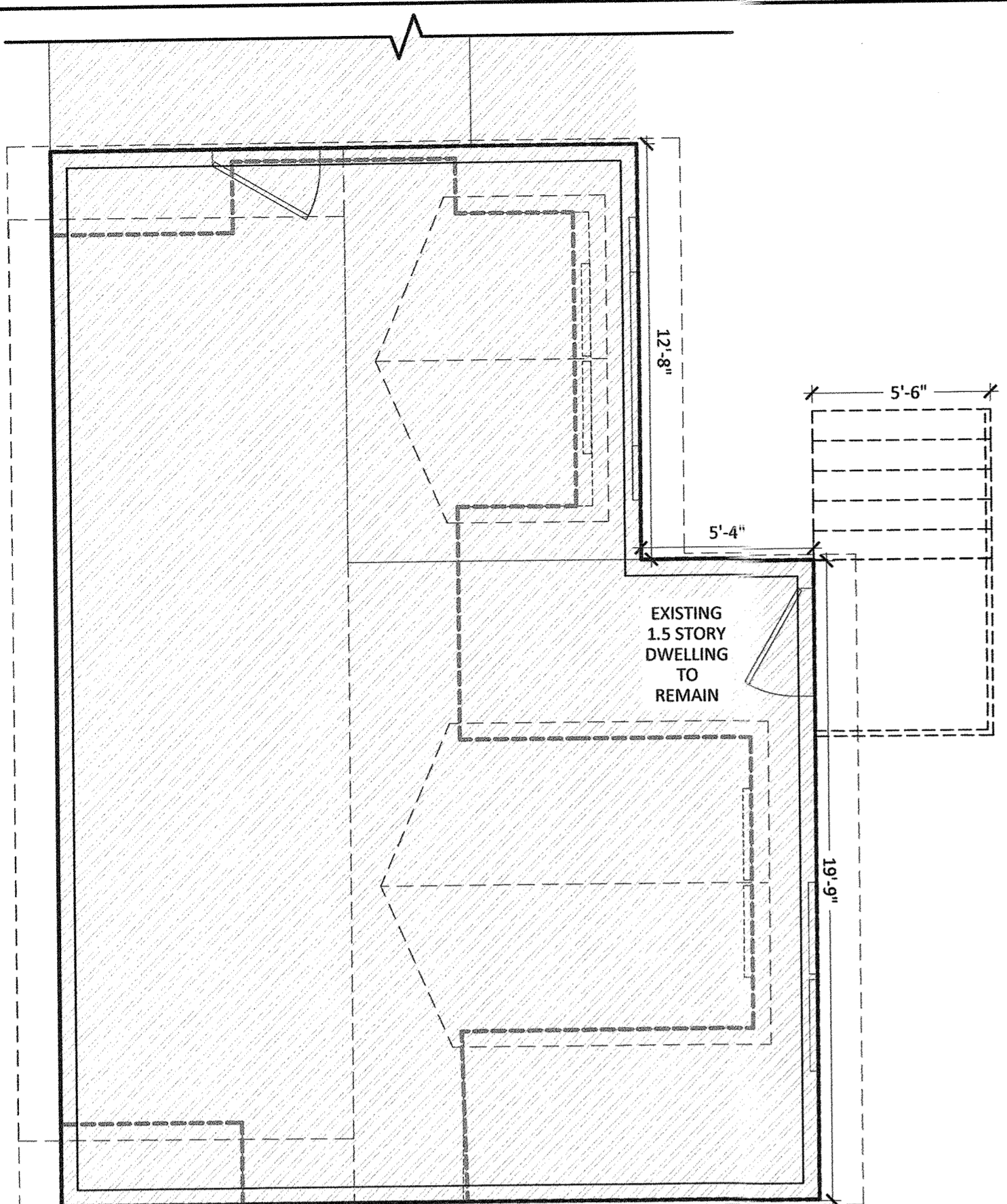


architecture

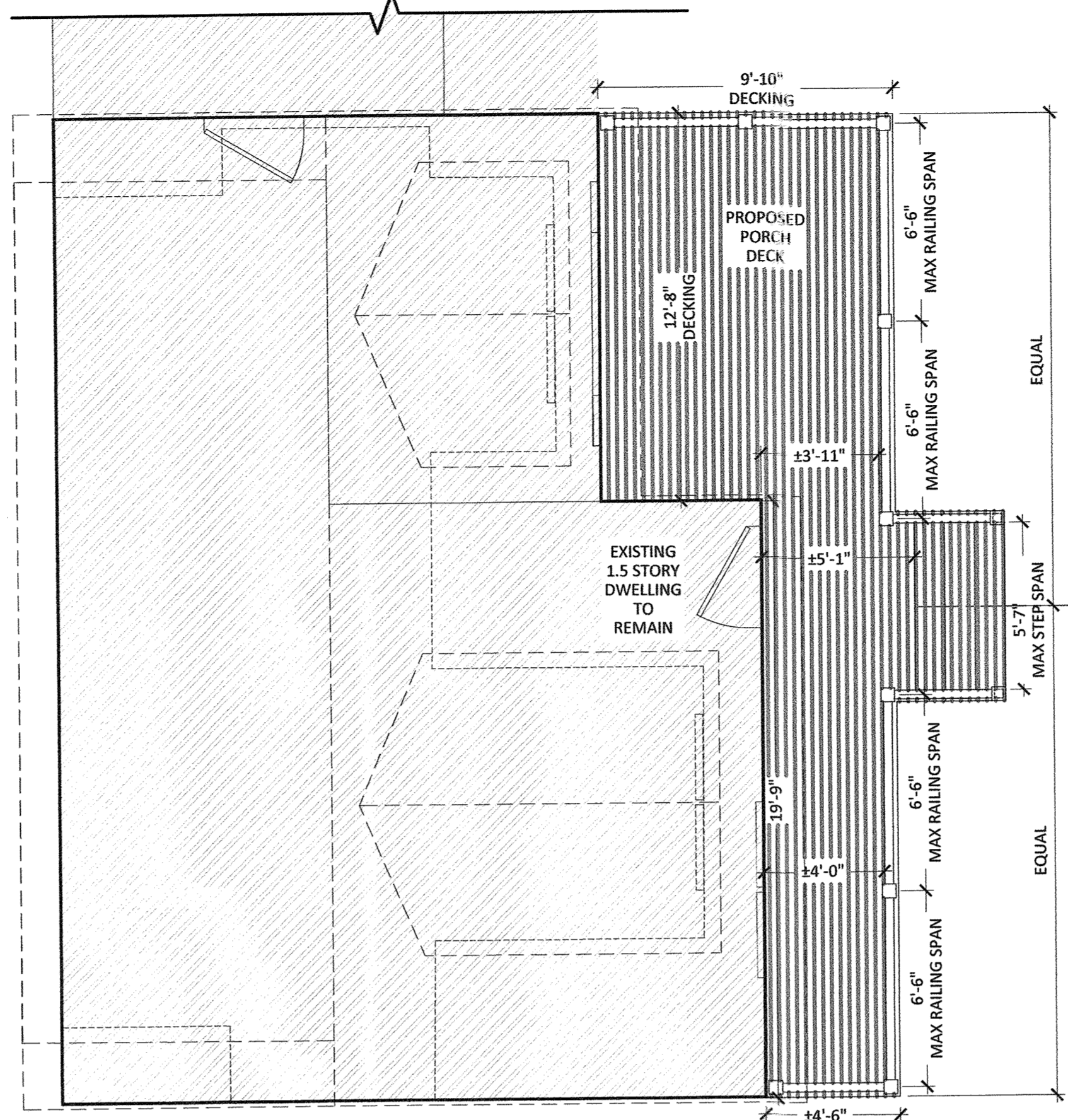
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INFO@U-ARCHITECT.COM

PROJECT
FRONT PORCH DECK
1 FERRIS LANE
NYAC, NY
DRAWING
PLANS

REVISIONS
DATE DESCRIPTION

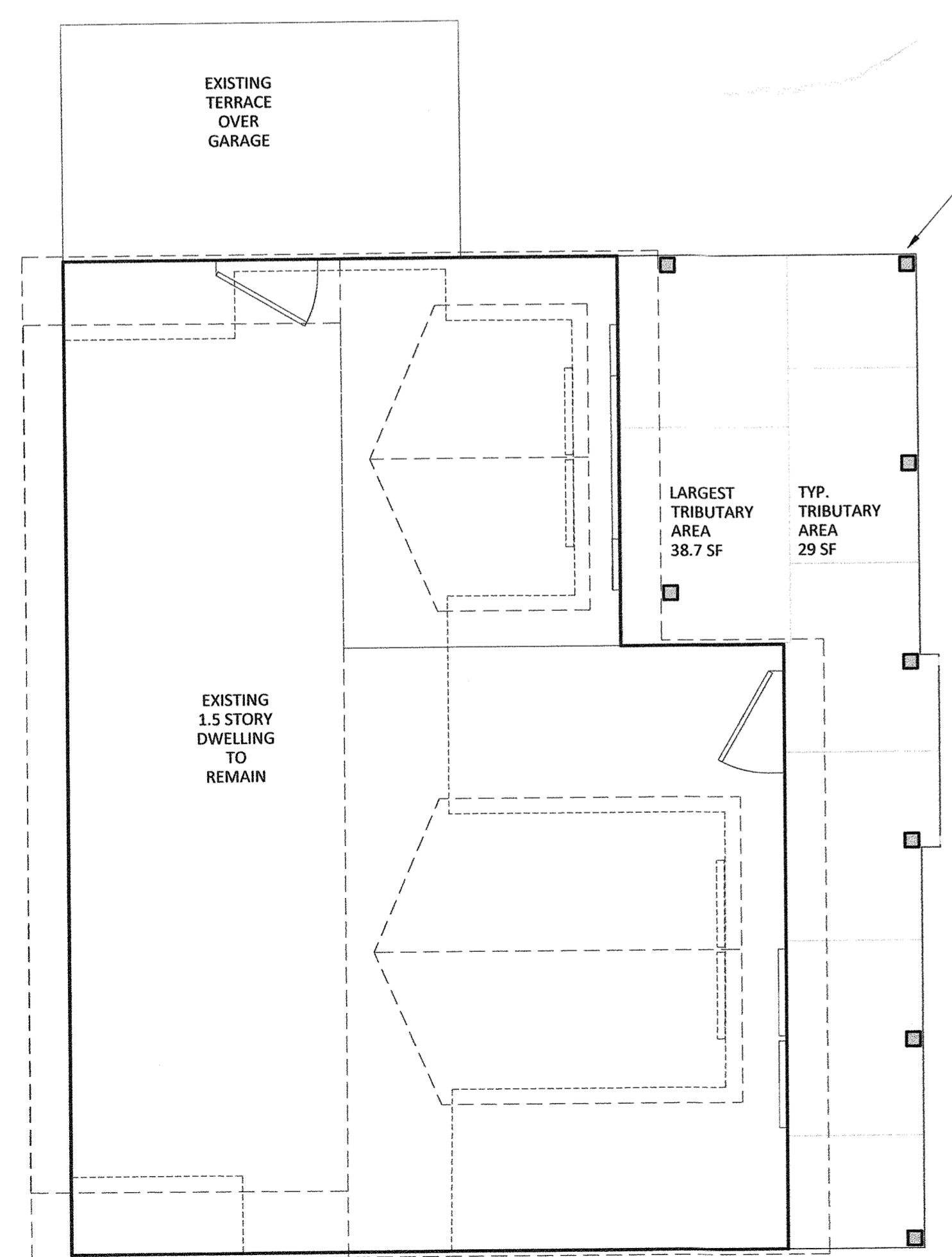
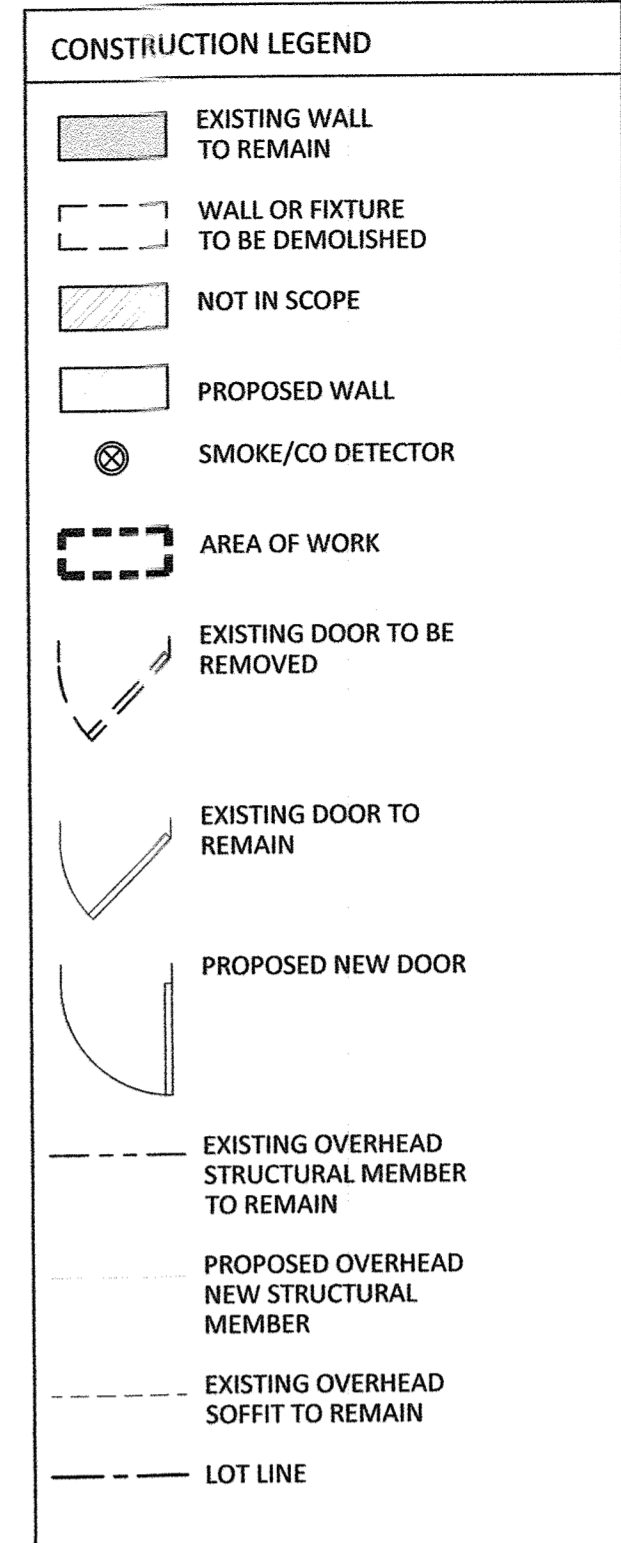


1 EXISTING & DEMO PLAN
SCALE: 1/4" = 1'-0"

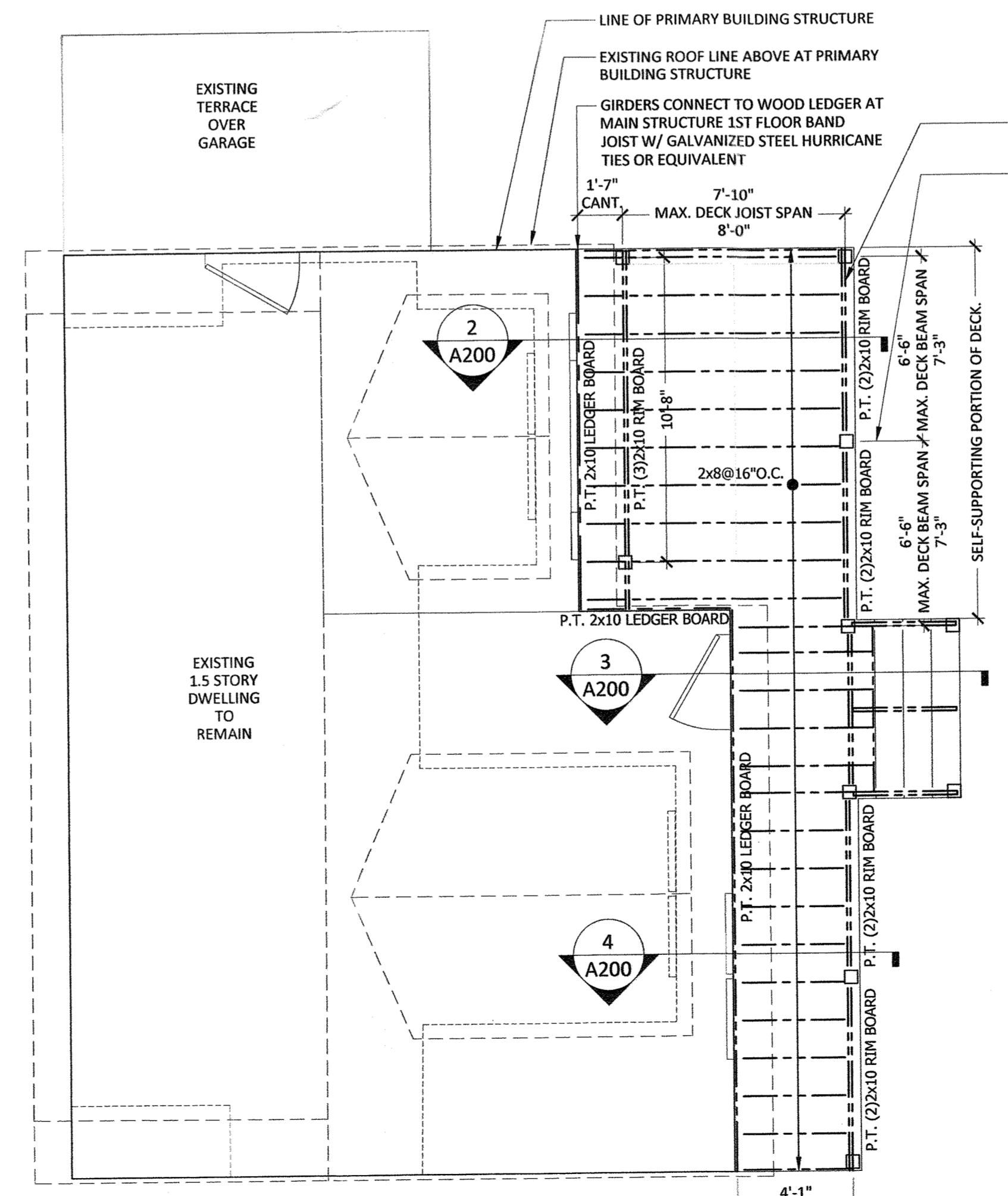


2 PROPOSED PLAN
SCALE: 1/4" = 1'-0"

- CONSTRUCTION NOTES:**
- FRAMING:** REFER TO STRUCTURAL PLAN ON A-100.
 - NEW PIER FOOTINGS AT NEW DECK.
 - NEW 2x10 LEDGERS AT EXISTING CONCRETE FOUNDATION WALL.
 - FLOOR:**
 - NEW PT DECKING PER OWNER SELECTION. IF USING COMPOSITE, JOISTS MAY NEED TO BE INSTALLED AT 12" O.C. PER MFR RECOMMENDATIONS.
 - WALLS:**
 - INTERIOR:**
 - NO WORK
 - EXTERIOR:**
 - ALL EXISTING SIDING TO REMAIN PATCH AND REPAIR WHERE REMOVAL IS REQUIRED FOR CONNECTION OF NEW TO EXISTING STRUCTURE.
 - PLUMBING FIXTURES AND APPLIANCES:**
 - NO WORK
 - CABINETS:**
 - NO WORK
 - WINDOWS & DOORS:**
 - NO WORK
 - FIRE & LIFE-SAFETY PROTECTION:** NO WORK
 - HVAC:**
 - NO WORK
 - POWER & LIGHTING:**
 - NO WORK



4 PROPOSED FOOTING PLAN
SCALE: 1/4" = 1'-0"



3 FRAMING PLAN
SCALE: 1/4" = 1'-0"

- STRUCTURAL NOTES:**
- ALL STRUCTURAL FRAMING PER PRESCRIPTIVE DESIGN IN NYS 2020 RES CODE R507
 - PRESCRIPTIVE FRAMING ASSUMES P.T. SOUTHERN PINE. ADJUSTMENTS REQUIRED FOR OTHER WOOD SPECIES.
 - REFER TO CONSTRUCTION NOTES AND CODE REFERENCES ON SHEET A-001
 - NORTH PORTION OF NEW DECK TO BE FREE-STANDING
 - FOOTINGS - CONCRETE ON SONOTUBES PER TABLE R507.3.1 AT:
 - NEW DECK - 16"Ø
 - STEPS BOTTOM - 12"Ø
 - ALL FOOTINGS TO BE INSTALLED BELOW FROST LINE AT MIN. DEPTH OF 3'-6"
 - POSTS -
 - ALL POSTS SHALL BE CENTERED ON FOOTINGS
 - ALL POSTS FOR DECK FRAMING TO BE 6x6 NOMINAL REGARDLESS OF HEIGHT
 - POSTS FOR PRIVACY PANELS AND STEP FRAMING MAY BE 4x4
 - PROVIDE LATERAL RESTRAINT AT SIMPSON STRONG-TIE MANUFACTURED CONNECTORS AT COLUMN BASES AT ALL NEW POSTS
 - SIMPSON STRONG-TIE CONCEALED POST BASES PREFERRED
 - BEAMS -
 - MANUFACTURED POST-TO-BEAM CONNECTORS SHALL BE SIZED FOR THE POST AND BEAM SIZES
 - BOLTS SHALL HAVE WASHERS UNDER THE HEAD AND NUT
 - ALL BEAM SPLICES MUST OCCUR OVER MIN. 6x6 POSTS
 - JOISTS -
 - JOIST TO BE CANTILEVERED OVER DROPPED BEAM WHERE NOTED. REFER TO SECTIONS ON A-200
 - PROVIDE LATERAL RESTRAINTS OVER BEAM PER CODE
 - ATTACH RIM JOISTS AT END OF EACH JOIST W/ MIN (3) #10 x 3" LONG WOOD SCREWS
 - RIM JOIST TO COVER ENDGRAIN AT JOISTS AND DECKING. TYP
 - PROVIDE FULL DEPTH BLOCKING BETWEEN JOISTS TO PROVIDE LATERAL RESISTANCE PER CODE
 - STEPS -
 - PROVIDE STRINGERS AS REQ'D AT ALL STEPS, INCLUDING CENTER
 - ALL NEW STRINGERS SHALL BE ATTACHED TO NEW CONSTRUCTION
 - OUTER STRINGERS SHALL ALIGN W/ EDGE OF DECKING FORMING TREADS AND COVER ENTIRE SIDE OPENING
 - RAILING -
 - MIN. 36" HT.
 - PROVIDE BLOCKING AT ALL RAILING POST LOCATIONS AS NEEDED
 - PROVIDE MIN (2) 3" BOLTS. CONNECT RAILING POST TO BLOCKING SECURED TO DECK FRAMING.
 - PER TABLE R507.5 NOTE 4. RAILINGS SHALL BE ABLE TO RESIST 200 PSF SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
 - PER TABLE R501.5 NOTE 1. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BALLUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT.
 - DECKING -
 - MIN. 1-1/4" THICK PERPENDICULAR TO JOISTS
 - COMPOSITE DECKING, IF USED, SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS; SPACING OF JOISTS MAY DIFFER.

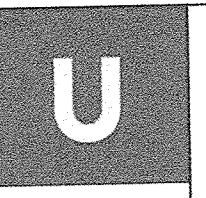
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SCALE AS NOTED
SHEET

A-100.00



architecture

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PROJECT
FRONT PORCH DECK
1 FERRIS LANE
NYACK, NY
DRAWING
ELEVATIONS & SECTIONS

REVISIONS
DATE DESCRIPTION

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

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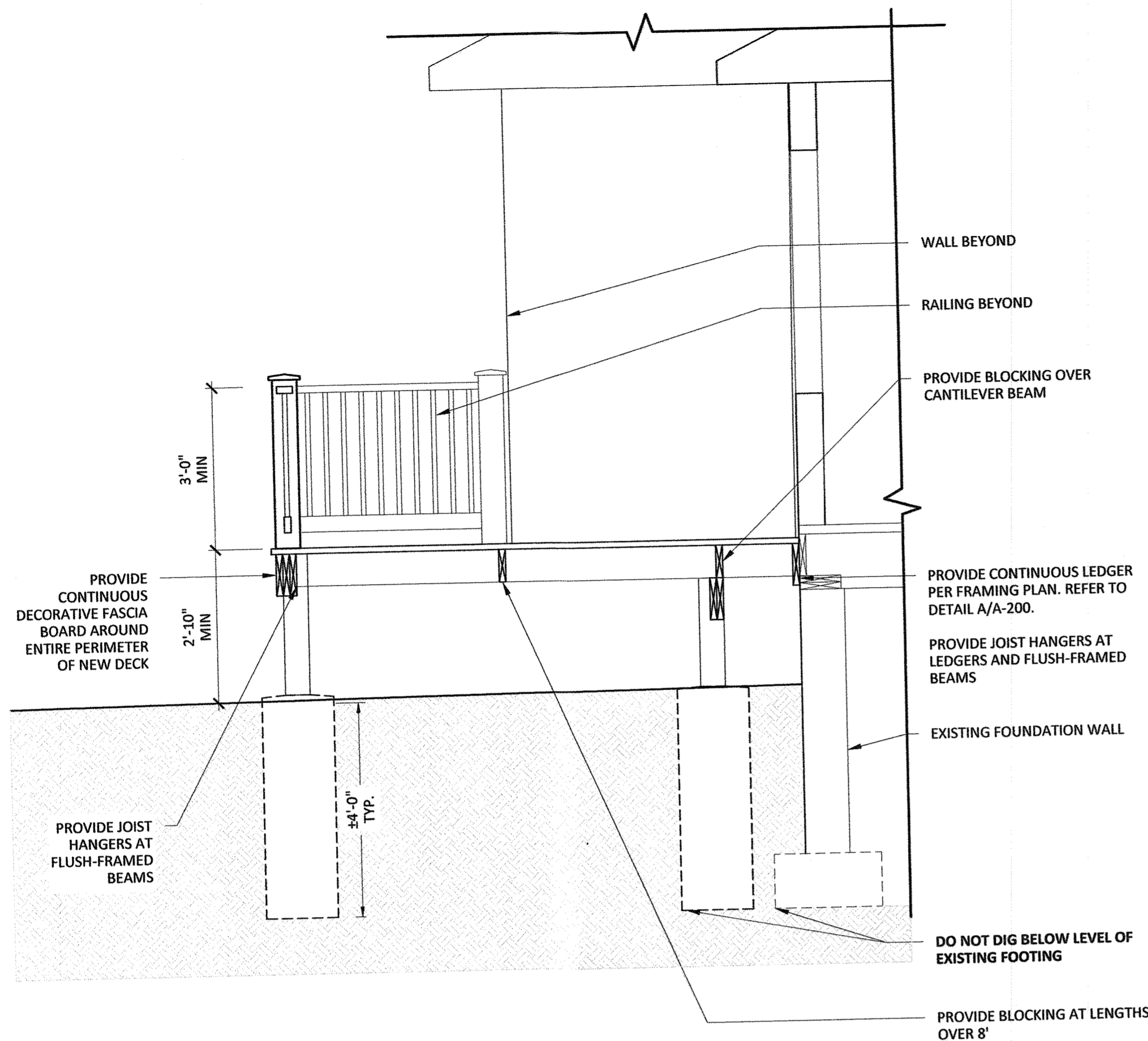


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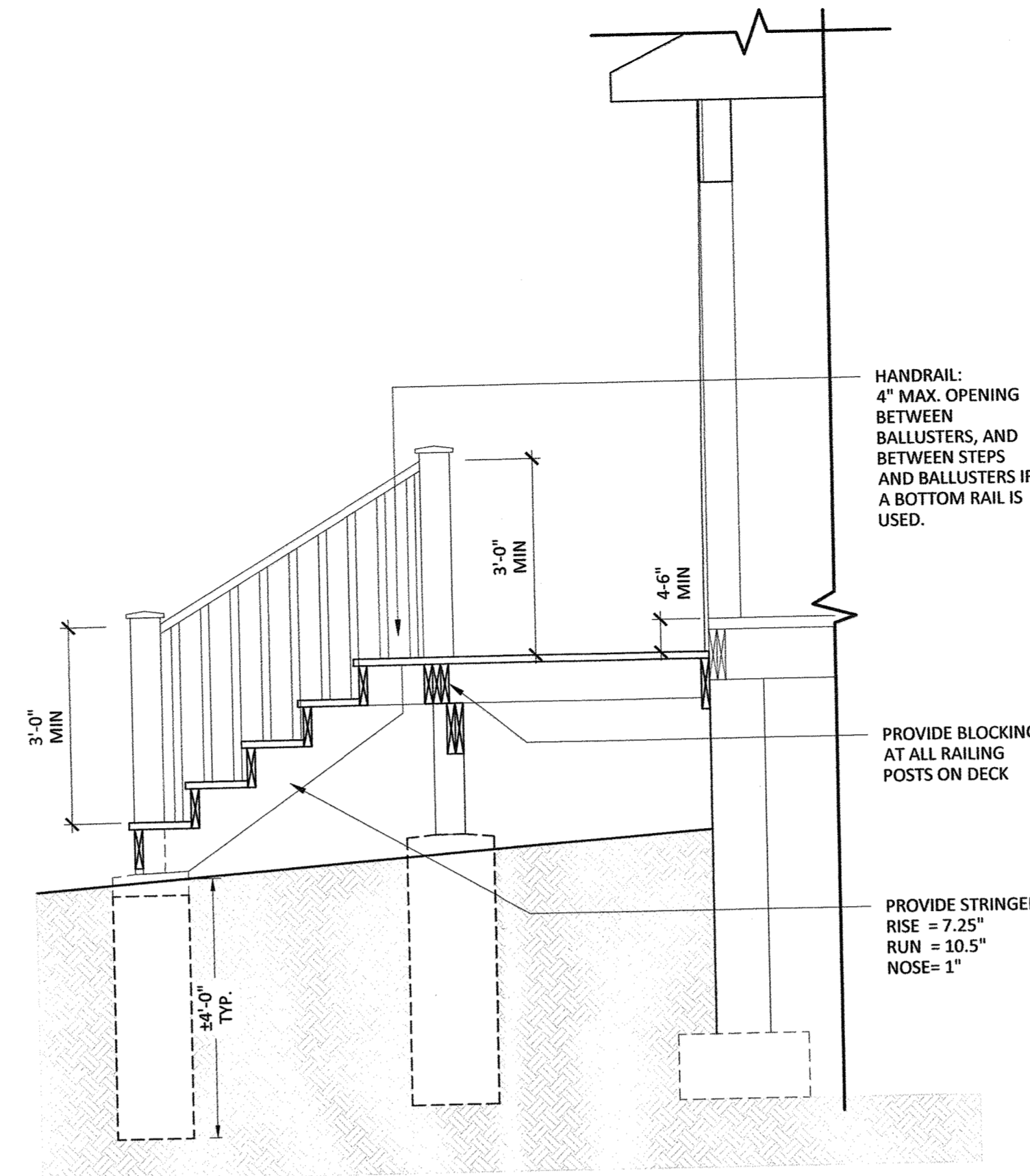
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SHEET

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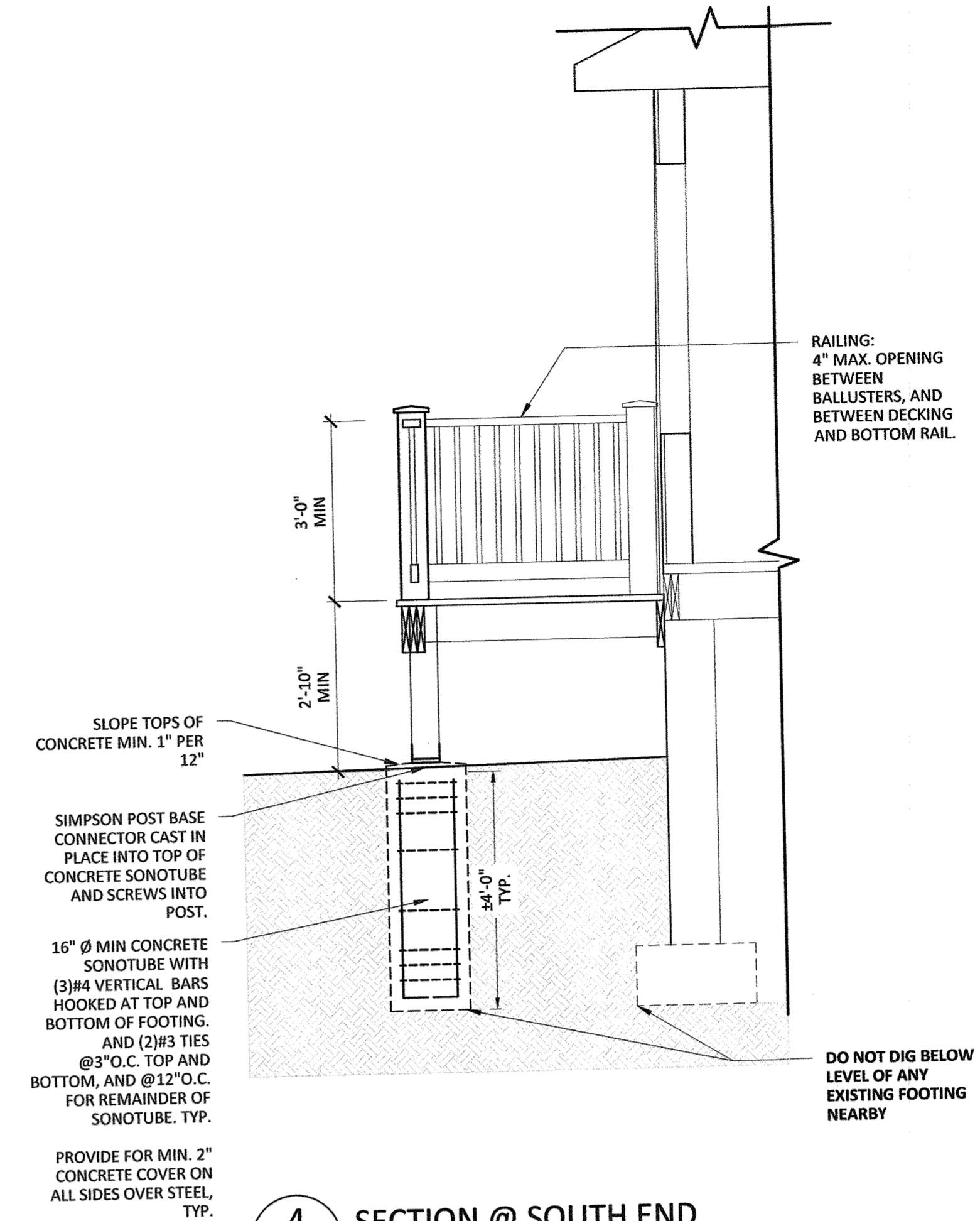
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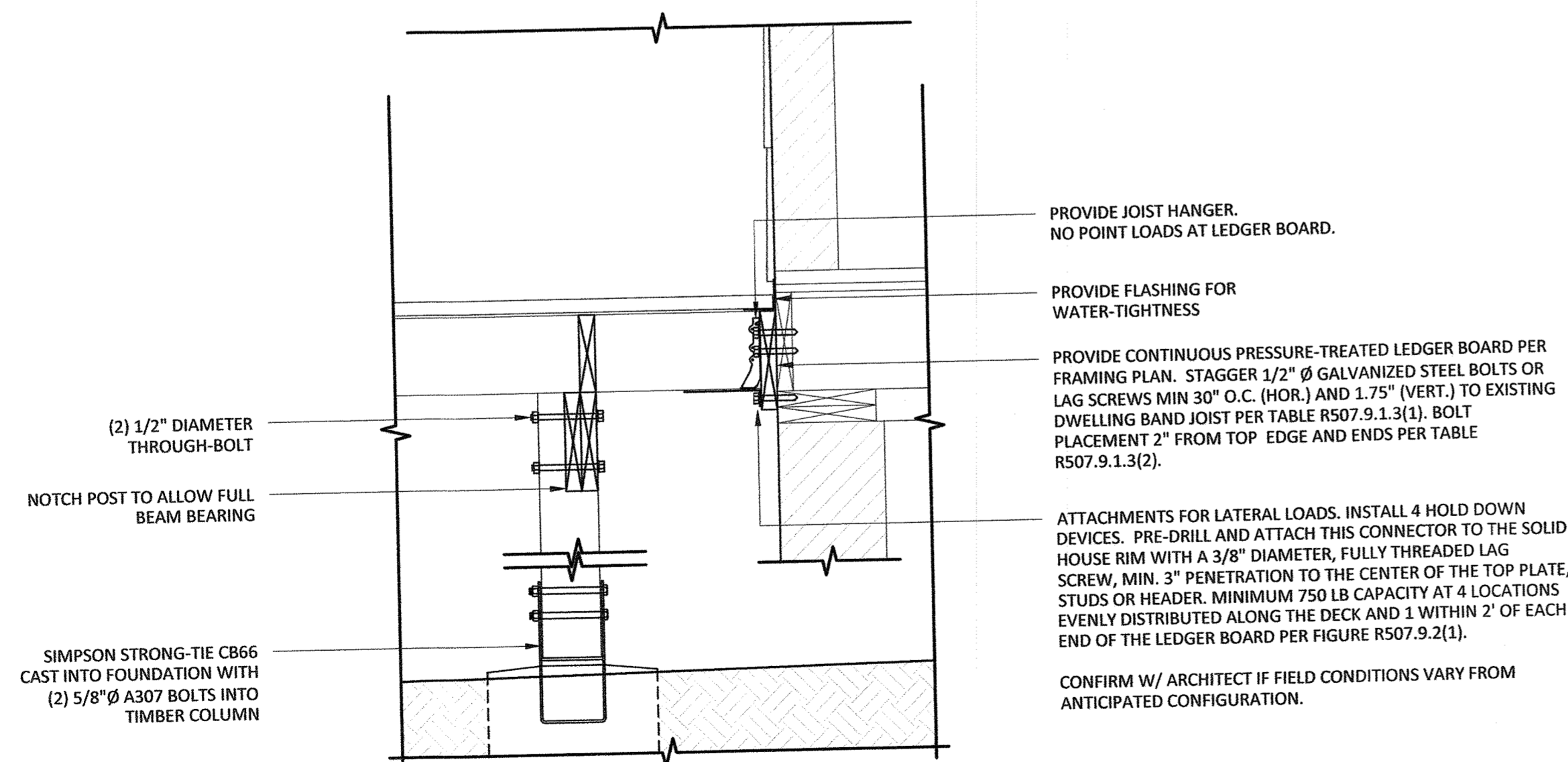
2 SECTION @ NORTH END
SCALE: 1/2" = 1'-0"
FREE-STANDING DECK W/ FLUSH BEAM AND DROPPED BEAM



3 SECTION @ STOOP
SCALE: 1/2" = 1'-0"
CANTILEVERED JOIST W/ DROPPED BEAM



4 SECTION @ SOUTH END
SCALE: 1/2" = 1'-0"



A DETAIL
SCALE: 1" = 1'-0"



1 ELEVATION
SCALE: 1/4" = 1'-0"