

SITE PLAN DRAWINGS PREPARED FOR

GATTO LANE PAC SITE PLAN

TOWN OF ORANGETOWN

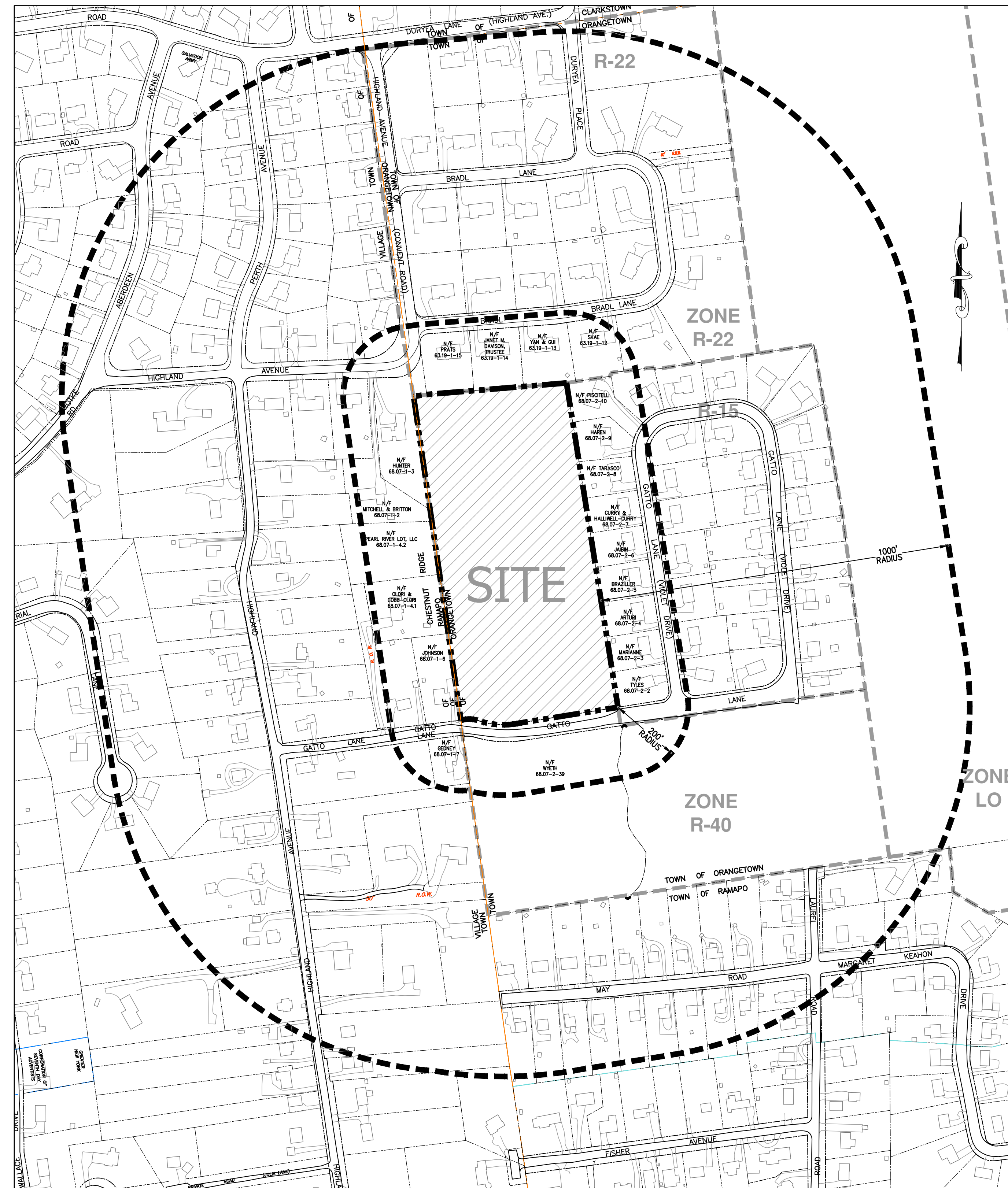
ROCKLAND COUNTY, NEW YORK

NOTES:

1. THIS IS A SITE PLAN OF TAX LOT 68.07-2-1, AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
2. RECORD OWNER: GATTO LANE LLC, 75 MICHAEL ROBERTS DRIVE, PEARL RIVER, NY 10965
3. APPLICANT (CONTRACT VENDEE): TOLL BROTHERS, 42 OLD RIDGEBURY ROAD, DANBURY, CT 06810
4. ZONE: R-15 (PAC)
5. PROPOSED USE: PLANNED ADULT COMMUNITY (PAC) HOUSING
6. LOT AREA: 10.052 ACRES
7. FIRE DISTRICT: PEARL RIVER FD004
8. SCHOOL DISTRICT: NANJLET UNION FREE
9. WATER DISTRICT: VEOJIA
10. WATER SUPPLY BY: VEOJIA WATER NEW YORK
11. SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
12. DATUM: NAVD88
13. BENCHMARK: ROCKLAND COUNTY CONCRETE MONUMENT LOCATED AT THE NORTHEAST CORNER OF TAX LOT 68.07-1-3 (SEE DRAWING #16). ELEVATION 418.34 NAVD
14. ALL UTILITIES SHALL BE UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO (2) INCH DIAMETER.
15. THIS SITE PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-L & M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
16. THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
17. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
18. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
19. IRON PINS TO BE SET AT ALL CORNERS OF THE ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED (SHOWN THUS: ☐)
20. CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE TOWN CLERK.
21. ALL AREAS DISTURBED BY ON-SITE GRADING WILL BE LIMED AND FERTILIZED PRIOR TO SEEDING.
22. SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPT.
23. NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
24. NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.
25. ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. TOWN OF ORANGETOWN INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY AND ALL SEWER WORK BEING PERFORMED IN CONNECTION WITH THIS PROJECT.
26. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
27. ALL LANDSCAPING SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
28. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN DEME SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
29. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
30. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SLTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S) AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S) OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS-US ARMY CORPS OF ENGINEERS)
31. PERMANENT VEGETATIVE COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
32. PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPT. OF HIGHWAYS & DEME WITH A PLAN & PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO APPROVED CONSTRUCTION PLANS & TOWN STREET SPECIFICATIONS.
33. THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS, AND REFUSE CONTROL.
34. NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH, AND/OR THE TOWN OF ORANGETOWN.
35. A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - b. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
 - c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
 2. DRIP LINE OF THE TREE CANOPY.

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACTS:

 1. LIGHT TO HEAVY IMPACTS- MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 2. LIGHT IMPACTS ONLY- INSTALLATION OF 3/4" WOOD OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BOARD OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
36. THERE IS A PROPOSED AREA OF DISTURBANCE OF 7.9 ACRES. SEE SEDIMENT AND EROSION CONTROL PLAN DRAWING #5 FOR DELINEATION.
37. STORMWATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
38. ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY. NO ACTIVITIES SHALL TAKE PLACE ON A SUNDAY OR LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM.
39. THE PROPOSED PUBLIC SANITARY SEWER MAIN CONSTRUCTION SHALL BE "TIVED", TESTED, AND THE MANHOLES VACUUM TESTED IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO THE PROPOSED NEW MAIN BEING TIED INTO THE TOWN SYSTEM.
40. AS-BUILTS SHALL BE SUBMITTED, REVIEWED AND APPROVED BY ORANGETOWN DEME AND OZEPAC FOR THE PROPOSED PUBLIC IMPROVEMENTS (SANITARY MAINS, PUBLIC DRAINAGE WORK, GATTO LANE ROADWAY IMPROVEMENTS) AND THE PRIVATE STORMWATER FACILITIES/ INFRASTRUCTURE PRIOR TO A CERTIFICATE OF OCCUPANCY IS ISSUED.
41. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
42. ALL STORM DRAINAGE STRUCTURES AND STORMWATER MANAGEMENT FACILITIES ON THE SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED.
43. ACABOR APPROVAL OF THE SITE PLAN WAS RECEIVED ON MARCH 21, 2024.



VICINITY MAP
SCALE 1"=200'

DRAWING LIST:

	ORIGINAL DATE	LAST REVISED DATE
1. TITLE SHEET	11/10/22	4/14/24
2. FINAL SITE PLAN	11/10/22	4/14/24
3. FINAL GRADING, UTILITY AND DRAINAGE PLAN	11/10/22	4/14/24
4. FINAL WATER MAIN PLAN	11/10/22	4/14/24
5. FINAL SEDIMENT AND EROSION CONTROL PLAN	11/10/22	4/14/24
6. FINAL LIGHTING PLAN	11/10/22	4/14/24
7. FINAL PROPOSED PRIVATE ROAD & GATTO LANE PROFILES	11/10/22	4/14/24
8. FINAL STORM DRAINAGE PROFILES (1 OF 3)	11/10/22	4/14/24
8A. FINAL STORM DRAINAGE PROFILES (2 OF 3)	06/19/23	4/14/24
8B. FINAL STORM DRAINAGE PROFILES (3 OF 3)	06/19/23	4/14/24
9. FINAL SANITARY PROFILES	11/10/22	4/14/24
10. FINAL WATER PROFILES	11/10/22	4/14/24
11. FINAL GATTO LANE IMPROVEMENT PLAN	11/10/22	4/14/24
12. FINAL DETENTION BASIN PLAN	11/10/22	4/14/24
13. CONSTRUCTION DETAILS (1 OF 2)	11/10/22	4/14/24
14. CONSTRUCTION DETAILS (2 OF 2)	11/10/22	4/14/24
15. FINAL FIRE TRUCK MANEUVER PLAN	11/10/22	4/14/24
16. EXISTING CONDITIONS PLAN	11/10/22	4/14/24
17. FIRE COMPLIANCE EXHIBIT (1 OF 2)	11/10/22	4/14/24
18. FIRE COMPLIANCE EXHIBIT (2 OF 2)	11/10/22	4/14/24

OWNER

GATTO LANE LLC
75 MICHAEL ROBERTS ROAD
PEARL RIVER, NY 10965

APPLICANT (CONTRACT/VENDEE):

TOLL BROTHERS
42 OLD RIDGEBURY ROAD
DANBURY, CT 06810
(203) 616-4900

SITE ENGINEER:

BROOKER ENGINEERING P.L.L.C.
74 LAFAYETTE AVENUE
SUITE 501
SUFFERN, NEW YORK 10901
(845) 357-4411

LAND SURVEYOR:

BADEY & WATSON
3063 ROUTE 9
COLD SPRING, NEW YORK 10516
(845) 265-9217

ARCHITECT:

TOLL BROTHERS
42 OLD RIDGEBURY ROAD
DANBURY, CT 06810
(203) 616-4900

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.



BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com

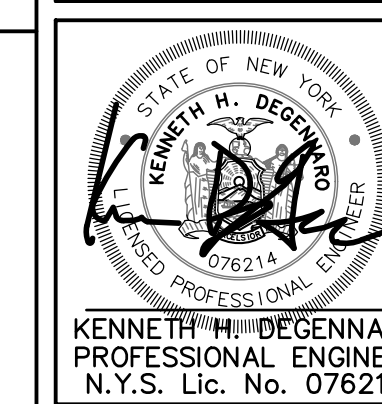
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411 | 22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

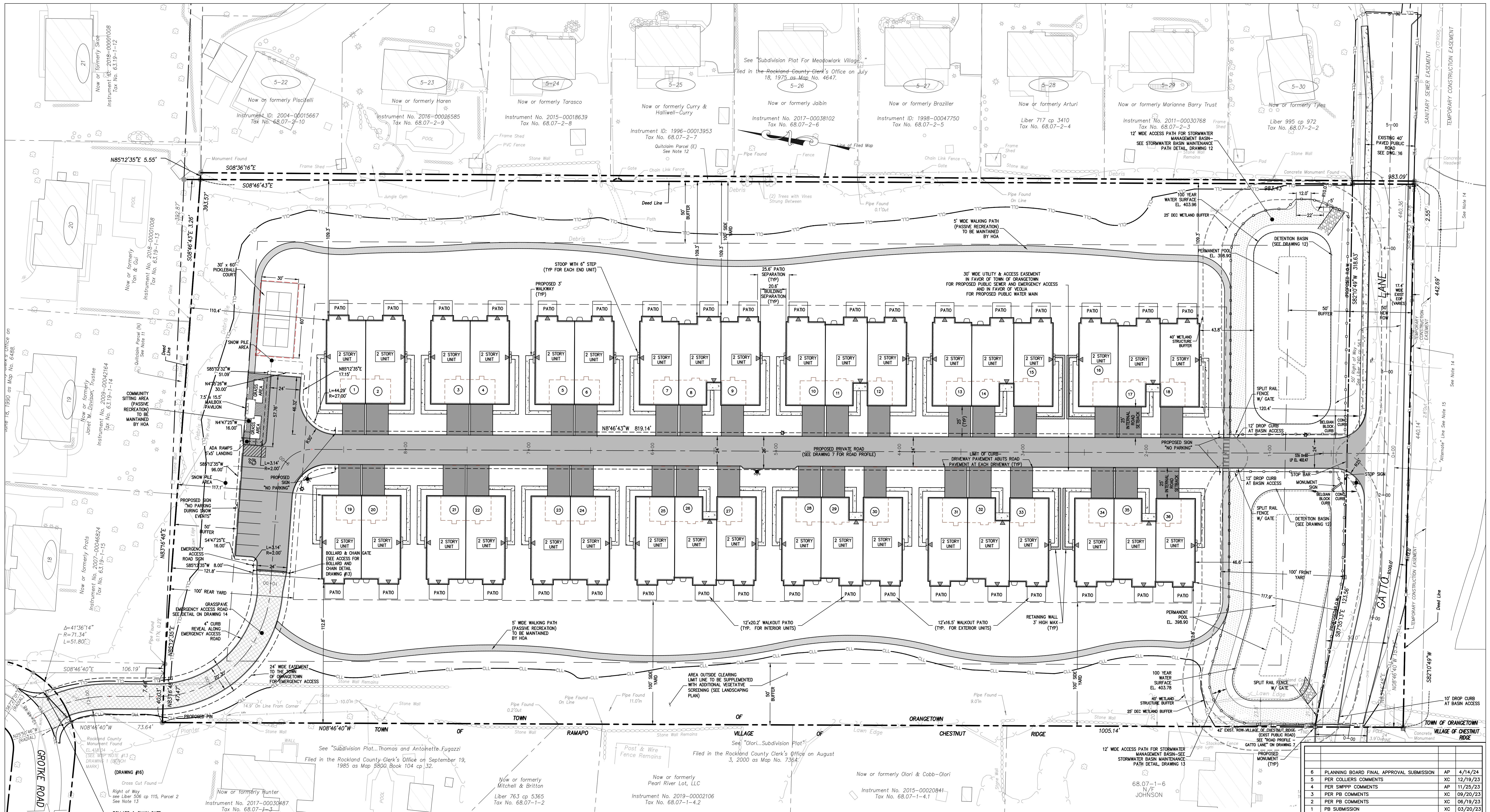
PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
TITLE SHEET

SIGNATURE BOX

PROJECT NO: 20231	DRAWN: XC	CHECKED: KD	
SCALE: AS NOTED		GRAPHIC SCALE:	
DATE: 11/10/2022	DRAWING NO: 1		





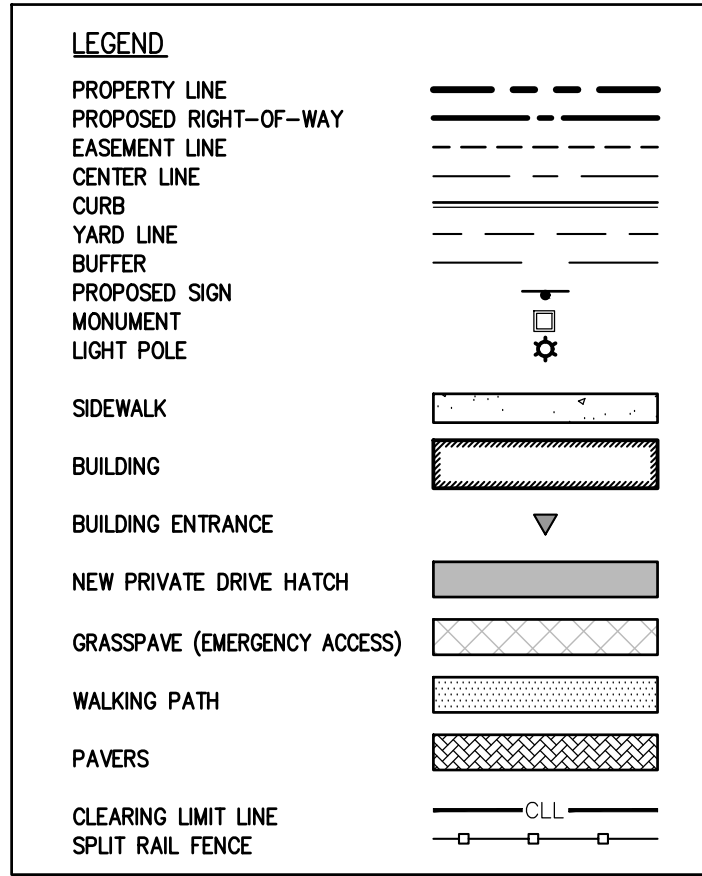
BULK TABLE - PROPOSED PLANNED ADULT COMMUNITY

CURRENT ZONE - R-40
 PROPOSED ZONE - R-15 WITH PAC OVERLAY
 PROPOSED USE GROUP: ATTACHED ADULT HOUSING

	BASE DENSITY, UNITS PER ACRE	BONUS DENSITY, UNITS PER ACRE	MAXIMUM FLOOR AREA RATIO	MAXIMUM BUILDING COVERAGE, %	MINIMUM OPEN SPACE, %	MINIMUM LOT AREA, SF/AC	STREET FRONTAGE, FT	MINIMUM FRONT YARD, FT	MINIMUM SIDE YARD, FT	TOTAL SIDE YARD, FT	MINIMUM REAR YARD, FT	MINIMUM BUILDING SETBACK FROM INTERNAL ROAD, FT	MINIMUM PRIMER BUFFER, FT	MINIMUM BUILDING SEPARATION, FT	MAXIMUM BUILDING HEIGHT	RECREATION SPACE	OFFSTREET PARKING
PAC REQUIRED (SECTION 4.6B, TABLE 1, OTHER SITES)	4	1	0.35	40	40	435,600/10.0	100	100	100	200	100	25	50	25 FT FOR BUILDING, 15 FT FOR DECK	2 STORY / 35 FT	250 SF/UNIT X 36 UNITS = 9,000 SF	1.75 SPACES/UNIT = 1.75x36 = 63 SPACES
PROPOSED	3.58 ¹	0	0.35 ²	18.3 ³	70.15 ⁴	437,865/10.052	440.14	120.8	109.3	222.1	110.4	26.0	50	20.6, 24.9 ⁵	2 STORY, <35 FT ⁷	17,064 SF ⁸	82 SPACES (36 GARAGE, 36 DRIVEWAY, 10 OVERFLOW SPACES)

- BASE DENSITY CALCULATIONS**
 REQUIRED (PER SECTION 4.6A OF ZONING CODE): MAXIMUM 4 UNITS PER 1 ACRE (MINIMUM 75% TWO BEDROOM UNITS, NO MORE THAN 10% THREE BEDROOM UNITS)
 PROVIDED: 36 UNITS / 10.05 AC = 3.58 UNITS PER ACRE (36 2-BEDROOM UNITS)
- FLOOR AREA RATIO**
 FIRST FLOOR
 28 UNITS X 2,045 SF PER UNIT = 62,832 SF
 8 UNITS X 2,304 SF PER UNIT = 17,248 SF
 TOTAL = 79,980 SF (FIRST FLOOR)
 SECOND FLOOR
 = 62,440 SF
 TOTAL BUILDINGS
 = 136,132 SF
 136,132 SF / 437,865 SF = 0.32
 NOTE: FLOOR AREA RATIO CALCULATED USING GROSS FOOTPRINT SQUARE FOOTAGE & SAMPLE ARCHITECTURAL PLANS WITH TWO STORES OF LIVING SPACE, SUBJECT TO CHANGE WITH UPDATED ARCHITECTURAL PLANS.
- BUILDING COVERAGE**
 28 UNITS X 2,244 SF (FOOTPRINT) PER UNIT = 62,832 SF
 8 UNITS X 2,156 SF (FOOTPRINT) PER UNIT = 17,248 SF
 TOTAL = 80,080 SF
 80,080 SF / 437,865 SF X 100% = 18.3%

- OPEN SPACE CALCULATIONS**
 SITE AREA - 10.05 ACRES
 NON-RECREATIONAL / NON-LANDSCAPED IMPERVIOUS COVERAGE (I.E. BUILDINGS / ROADWAYS) = 3 ACRES
 OPEN SPACE = 10.05 ACRES - 3 ACRES = 7.05 ACRES (70.15 %)
- RECREATION SPACE CALCULATIONS**
 WALKING TRAIL LOOP: 5' WIDE X 1,800 LF = 10,629 SF
 COMMUNITY GATHERING SPACE: = 1,035 SF
 PRIVATE PATIO AREA: 150 SF/UNIT X 36 UNIT = 5,400 SF
 TOTAL RECREATION SPACE AREA = 17,064 SF
- SEE FIRE COMPLIANCE EXHIBIT PLAN ON DRAWINGS 17 AND 18.



NOTE:
 TOTAL AREA OF DISTURBANCE 8.65 ACRES

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
 UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 149, SECTION 7006, SUBSECTION 2.

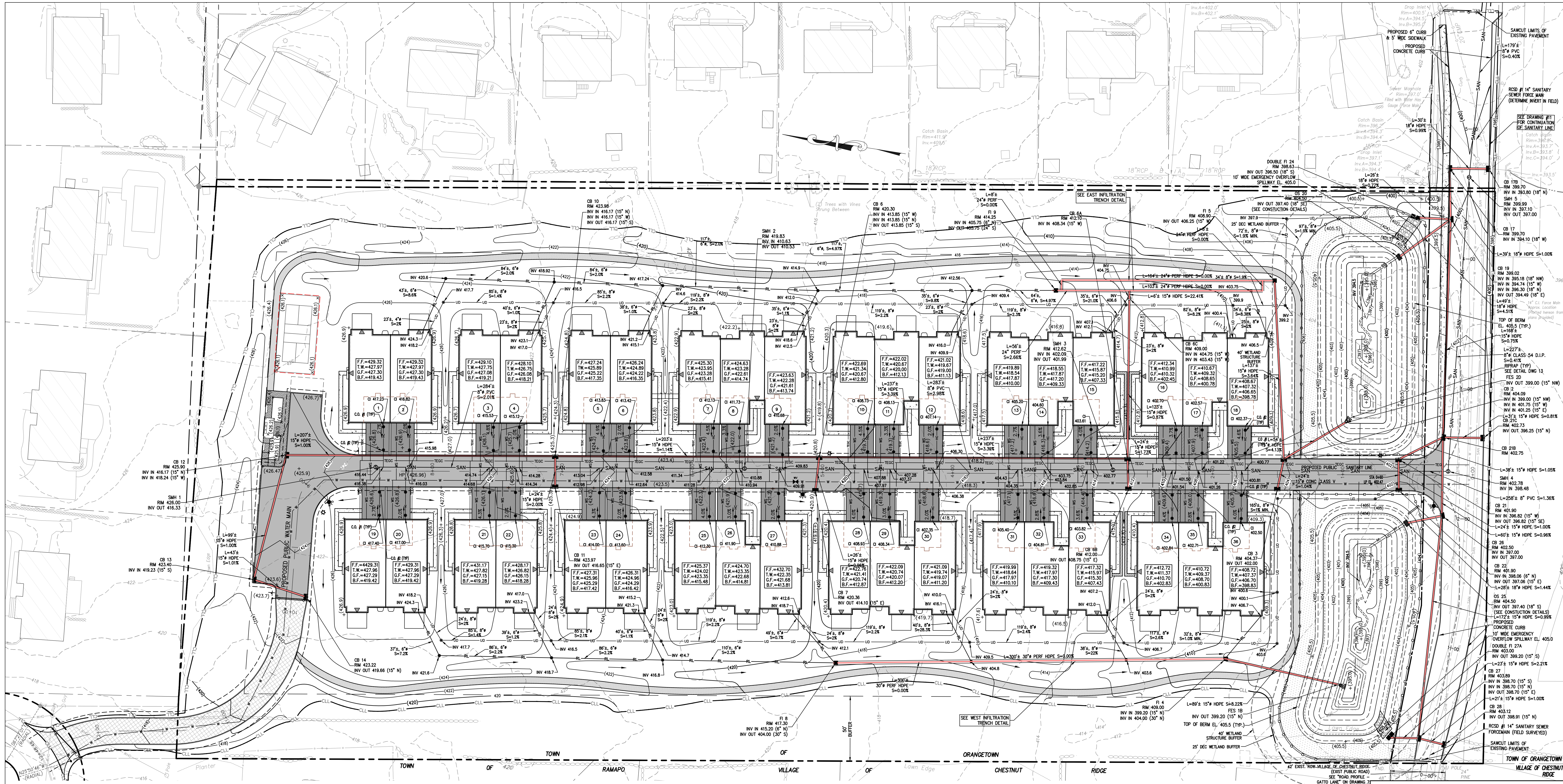
BROKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT - MUNICIPAL - STRUCTURAL - HYDROLOGICAL - SURVEYING
 www.BrokerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockledge, NJ 07647 (201) 684-1221

GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE: **FINAL SITE PLAN**

PROJECT NO: 20231
 SCALE: 1" = 30'
 GRAPHIC SCALE: 0 30' 60'
 DATE: 11/10/2022
 DRAWING NO: 2

KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214



- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICES, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES DISCONNECTED WITHIN THE WORK AREA.
 - CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, SHALL NOTIFY AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF A DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWN SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
 - ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
 - ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM. ROOF DOWNSPUTS AND RECEIVING LEADER SIZES SHALL BE SPECIFIED BY THE BUILDING MECHANICAL ENGINEER. COPIES OF ROOF LEADERS TO BE FINALIZED BY CONTRACTOR. ROOF LEADER PVC SHALL BE SDR-35 PVC.
 - WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
 - SANITARY SEWER PIPE SHALL BE SDR-35 PVC.
 - WATER MAIN PIPE, VALVES, FITTINGS, THRU-ROAST, TAPPING SLEEVES, HYDRANTS, ETC. SHALL CONFORM WITH SUEZ WATER NEW YORK STANDARD SPECIFICATIONS (CURRENT EDITION).
 - ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED.

- ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.**
- 16. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.**
- 17. THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.**
- 18. WHENEVER ITEMS IN THE CONTRACT REQUIRE MATERIALS TO BE REMOVED AND DISPOSED OF, THE COST OF SUPPLYING A DISPOSAL AREA AND TRANSPORTATION TO THAT AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.**
- 20. ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT STANDARDS. IF STANDARDS CONTRADICT, THE STRICTER SHALL APPLY.**
- 21. SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT PRIOR TO THE ISSUANCE OF BUILDING PERMITS.**
- 22. ALL MANHOLES TO BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT.**
- 23. ROCKLAND COUNTY DEPARTMENT OF HEALTH (ROCH) APPROVAL IS LIMITED TO 5 YEARS FROM THE DATE OF ROCH APPROVAL. THE EXTENSIONS MAY BE GRANTED BY THE ROCH BASED UPON RELEVANT FACTS AND REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.**
- 24. SANITARY HOUSE CONNECTIONS TO BE 4" SDR 35 PVC FROM UNIT TO CLEANOUT & 6" SDR 35 PVC FROM CLEANOUT TO SEWER MAIN.**
- 25. COORDINATE ALL GAS TIE INS WITH ORANGE AND ROCKLAND. ALL CODE 753 RULES MUST BE FOLLOWED.**

- STORM DRAINAGE NOTES:**
- ALL STORM DRAINAGE STRUCTURES AND STORMWATER MANAGEMENT FACILITIES ON THE SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- SANITARY SEWER NOTES:**
- SANITARY SEWER INFILTRATION AND EXFILTRATION LIMIT IS 25 GALLONS PER INCH DIAMETER PER MILE PER DAY. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
 - ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT TOWN OF ORANGETOWN STANDARDS. IF STANDARDS CONTRADICT THE STRICTER SHALL APPLY.
 - SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF ORANGETOWN PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - ALL MANHOLES TO BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN.
 - IF LOWEST FLOOR TO BE SERVED IS BELOW THE UPSTREAM RISE ELEVATION, AN EXTERIOR CHECK VALVE WILL BE INSTALLED ON PRIVATE SANITARY LINE WITHIN THE HOUSE. THE PROPERTY OWNER / HOMEOWNER ASSUMES ALL MAINTENANCE AND LIABILITY FOR SAID CHECK VALVE.
 - THE PROPOSED PUBLIC SANITARY SEWER MAIN CONNECTIONS SHALL BE "TYPED", TESTED, AND THE MANHOLES VACUUM TESTED IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO THE PROPOSED NEW MAIN BEING TIED INTO THE TOWN SYSTEM.
 - TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES.
 - ALL HOUSES AND BUILDINGS SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2%.
 - AS-BUILT SANITARY SEWER PLANS AND PROFILES ARE TO BE SUBMITTED TO THE TOWN OF ORANGETOWN SEWER DEPARTMENT AND THE ROCKLAND COUNTY HEALTH DEPARTMENT FOR REVIEW AND APPROVAL UPON COMPLETION OF THE IMPROVEMENTS.

NOTE: CO #1 IS THE CLEANOUT CLOSEST TO THE ROAD, CO #2 IS THE CLEANOUT CLOSEST TO THE UNIT (UPSTREAM)

DESCRIPTION	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	UNIT 16	UNIT 17	UNIT 18
6" INVERT @ SEWERMAIN CONNECTION	416.38	415.98	414.68	414.28	412.98	412.58	411.28	410.88	409.88	407.88	407.28	406.30	404.35	403.75	402.77	401.50	401.22	400.77
6" C.O. #1 RIM	426.80	426.90	426.10	425.70	424.20	423.80	422.40	422.00	421.20	419.70	419.30	418.60	417.20	416.70	415.80	412.50	411.10	408.60
6" C.O. #1 INVERT	416.64	416.24	414.94	414.54	413.24	412.84	411.55	411.14	410.09	408.35	407.55	406.56	404.61	404.02	403.03	401.76	401.49	401.04
4" C.O. #1 INVERT	416.81	416.41	415.11	414.71	413.41	413.01	411.71	411.31	410.26	408.31	407.72	406.73	404.78	404.18	403.20	401.93	401.65	401.20
C.O. #2 RIM	427.28	427.26	426.95	426.05	424.16	423.20	422.59	421.56	420.50	419.89	418.96	417.84	417.13	416.16	413.12	411.46	409.42	
4" C.O. #2 INVERT	417.17	416.76	415.47	415.06	413.77	413.36	412.07	411.67	410.62	408.67	408.07	407.08	405.14	404.54	403.28	402.01	401.56	
4" C.I. INVERT	417.23	416.82	415.53	415.12	413.83	413.42	412.13	411.73	410.68	408.73	408.13	407.14	405.20	404.60	403.61	402.34	402.07	401.62

DESCRIPTION	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24	UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31	UNIT 32	UNIT 33	UNIT 34	UNIT 35	UNIT 36
6" INVERT @ SEWERMAIN CONNECTION	416.44	416.03	414.74	414.34	413.04	412.64	411.34	410.94	409.97	407.97	407.37	406.38	404.43	403.84	402.85	401.53	401.25	400.81
C.O. #1 RIM	426.60	426.80	426.10	425.60	424.20	423.80	422.30	421.90	421.20	419.70	419.30	418.60	417.10	416.70	415.80	412.50	411.20	408.70
6" C.O. #1 INVERT	416.62	416.42	415.12	414.72	413.42	413.02	411.72	411.32	410.30	408.35	407.75	406.77	404.82	404.22	403.23	401.92	401.64	401.19
4" C.O. #1 INVERT	416.99	416.58	415.29	414.88	413.59	413.19	411.89	411.49	410.46	408.52	407.92	406.93	404.98	404.39	403.40	402.08	401.81	401.36
C.O. #2 RIM	427.08	427.16	426.87	425.96	424.07	423.01	422.44	421.56	420.41	419.84	418.96	417.94	417.36	416.16	413.32	411.56	409.41	
4" C.O. #2 INVERT	417.34	417.34	416.04	415.64	414.34	413.94	412.64	412.24	411.84	410.82	408.87	407.29	405.34	404.75	403.76	402.44	402.17	401.72
4" C.I. INVERT	417.40	417.00	415.70	415.30	414.00	413.60	412.30	411.90	410.88	408.93	408.34	407.35	405.40	404.81	403.82	402.50	402.23	401.78

NOTE: TOTAL AREA OF DISTURBANCE 8.65 ACRES

LEGEND:

- DRAINAGE PIPE
- SANITARY SEWER PIPE
- HOUSE CONNECTION
- WATER MAIN
- UNDERDRAIN PIPE
- ROOF DRAIN
- REVERSE PIPE (OUTLET STRUCTURE)
- SEWER HOUSE LATERAL
- LATEX, GAS, ELECTRIC SERVICE
- PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- CURB
- SETBACK
- CLEAN OUT
- SANITARY SEWER MANHOLE
- CATCH BASIN
- OUTLET STRUCTURE
- DRAINAGE MANHOLE
- FLARE END SECTION
- UTILITY POLE
- SNH
- HYDRANT
- WATER VALVE
- RIP-ROD PAD
- CONTOUR LINE
- SPOT ELEVATION
- FIRST FLOOR ELEVATION
- TOP OF FOUNDATION WALL
- SECOND FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- SANITARY CAST IRON INVERT
- DRAINAGE FLOW ARROWS
- CLEARING LIMIT LINE

SCALE: 1" = 30'

DATE: 11/10/2022

DRAWING NO.: 3

BROKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • GEOLOGICAL • SURVEYING
 www.BrokerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10988
 222 Park Avenue, Suite 105
 Rockledge, NJ 07647
 (845) 351-4411

GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE: FINAL GRADING, UTILITY & DRAINAGE PLAN

PROJECT NO.: 20231

DRAIN: XC

CHECKED: KD

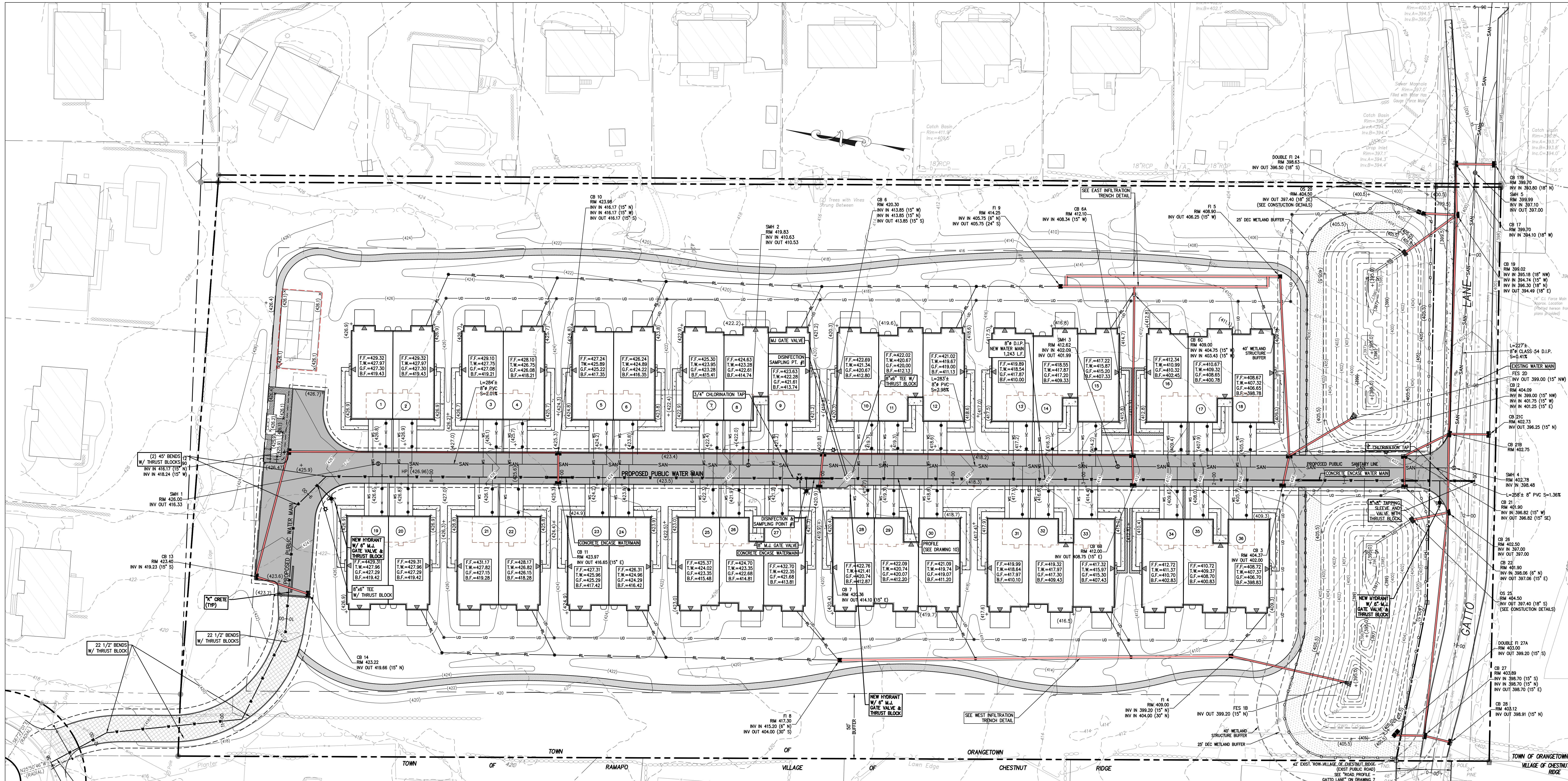
SCALE: 1" = 30'

GRAPHIC SCALE: 0' 30' 60'

DATE: 11/10/2022

DRAWING NO.: 3

KENNETH W. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214



22 1/2" BENDS W/ THRUST BLOCKS

SMH 1
RM 426.00
INV IN 418.24 (15' W)
INV OUT 416.33

SMH 2
RM 418.83
INV IN 410.63
INV OUT 410.53

SMH 3
RM 423.98
INV IN 416.17 (15' W)
INV IN 416.17 (15' W)
INV OUT 416.17 (15' S)

SMH 4
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 5
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 6
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 7
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 8
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 9
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 10
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 11
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 12
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 13
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 14
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 15
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 16
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 17
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 18
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 19
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 20
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 21
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 22
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 23
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 24
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 25
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 26
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 27
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 28
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 29
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 30
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 31
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 32
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 33
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 34
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 35
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 36
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 37
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 38
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 39
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 40
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 41
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 42
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 43
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 44
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 45
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 46
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 47
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 48
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 49
RM 422.78
INV IN 398.48
INV IN 398.48

SMH 50
RM 422.78
INV IN 398.48
INV IN 398.48

LEGEND

DRAINAGE PIPE	---
SANITARY SEWER PIPE	---
HOUSE CONNECTION	---
WATER MAIN	---
WATER SERVICE	---
UNDERGROUND PIPE	---
ROOF DRAIN	---
REVERSE PIPE (OUTLET STRUCTURE)	---
SEWER HOUSE LATERAL	---
TELE, GAS, ELECTRIC SERVICE	---
PROPERTY LINE	---
EASEMENT LINE	---
CURB	---
SETBACK	---
CLEAN OUT	---
SANITARY SEWER MANHOLE	---
CATCH BASIN	---
OUTLET STRUCTURE	---
DRAINAGE MANHOLE	---
FLARE END SECTION	---
UTILITY POLE	---
SIEN	---
HYDRANT	---
WATER VALVE	---
REP-TAP PAD	---
CONTOUR LINE	---
SPOT ELEVATION	---
FIRST FLOOR ELEVATION	---
TOP OF FOUNDATION WALL	---
SECOND FLOOR ELEVATION	---
BASMENT FLOOR ELEVATION	---
SANITARY CAST IRON INVERT	---
DRAINAGE FLOW ARROWS	---
CONCRETE ENCASED WATER MAIN	---

CONSTRUCTION NOTES:

- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
- THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
- ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
- ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM ROOF DOWNSPOUTS AND RECEIVING LEADER SIZES SHALL BE SPECIFIED BY THE BUILDING MECHANICAL ENGINEER. FINAL LOCATIONS OF ROOF LEADERS ARE TO BE FINALIZED BY CONTRACTOR. ROOF LEADER PIPES SHALL BE 3/4" PVC.
- WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
- SANITARY SEWER PIPE SHALL BE 30R-35 PVC.
- WATER MAIN PIPE, VALVES, FITTINGS, THRUST RESTRAINT, TAPPING SLEEVES, HYDRANTS, ETC. SHALL CONFORM WITH MEDIA WATER NEW YORK STANDARD SPECIFICATIONS (CURRENT EDITION).
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- WHENEVER ITEMS IN THE CONTRACT REQUIRE MATERIALS TO BE REMOVED AND DISPOSED OF, THE COST OF SUPPLYING A DISPOSAL AREA AND TRANSPORTATION TO THAT AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE TO COORDINATE INSTALLATION OF GAS AND ELECTRIC LINES WITH ORANGE & ROCKLAND AND INSTALLATION OF NEW UTILITIES PER THEIR STANDARD DETAILS AND REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR COORDINATING PROPOSED LOCATION AND SERVICE REQUIREMENTS OF TRANSFORMER WITH MECHANICAL ENGINEER AND ORANGE & ROCKLAND. LOCATION OF TRANSFORMER TO ALSO BE CONFIRMED AND APPROVED BY OWNER.
- ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT STANDARDS. IF STANDARDS CONTRADICT, THE STRICTER SHALL APPLY.
- SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL MANHOLES TO BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT.
- ROCKLAND COUNTY DEPARTMENT OF HEALTH (RODHA) APPROVAL IS LIMITED TO 5 YEARS FROM THE DATE OF RUDHA APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RODHA BASED UPON DEVELOPMENT FACTS AND REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.

6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER P&B COMMENTS	XC	09/20/23
2	PER P&B COMMENTS	XC	06/19/23
1	P&B SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901
(845) 357-4411

22 Paris Avenue, Suite 105
Rockledge, NJ 07647
(201) 684-1221

GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

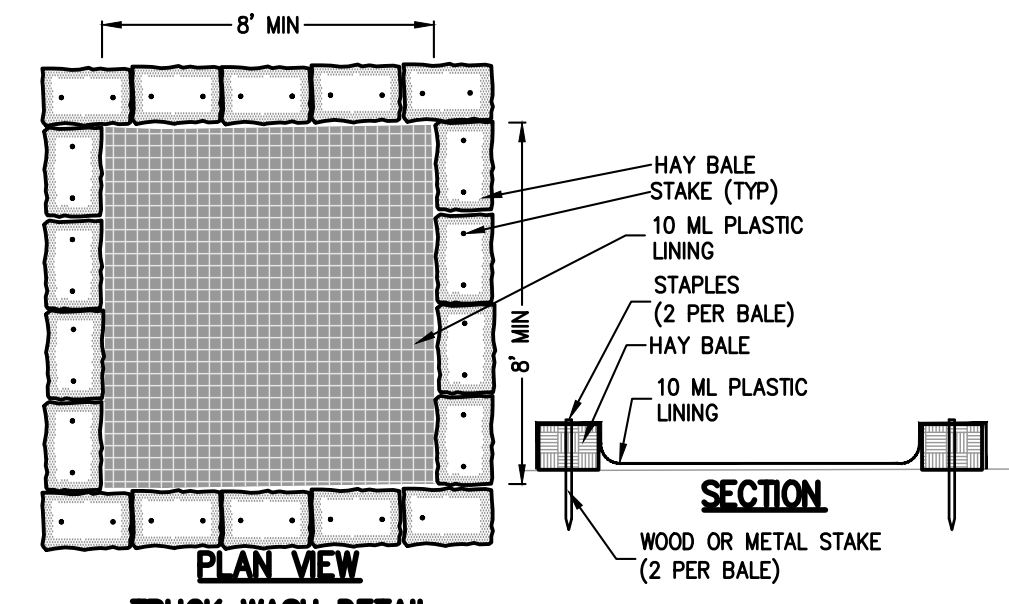
TITLE: **FINAL WATER MAIN PLAN**

PROJECT NO: 20231
SCALE: 1" = 30'
GRAPHIC SCALE: 0 30' 60'

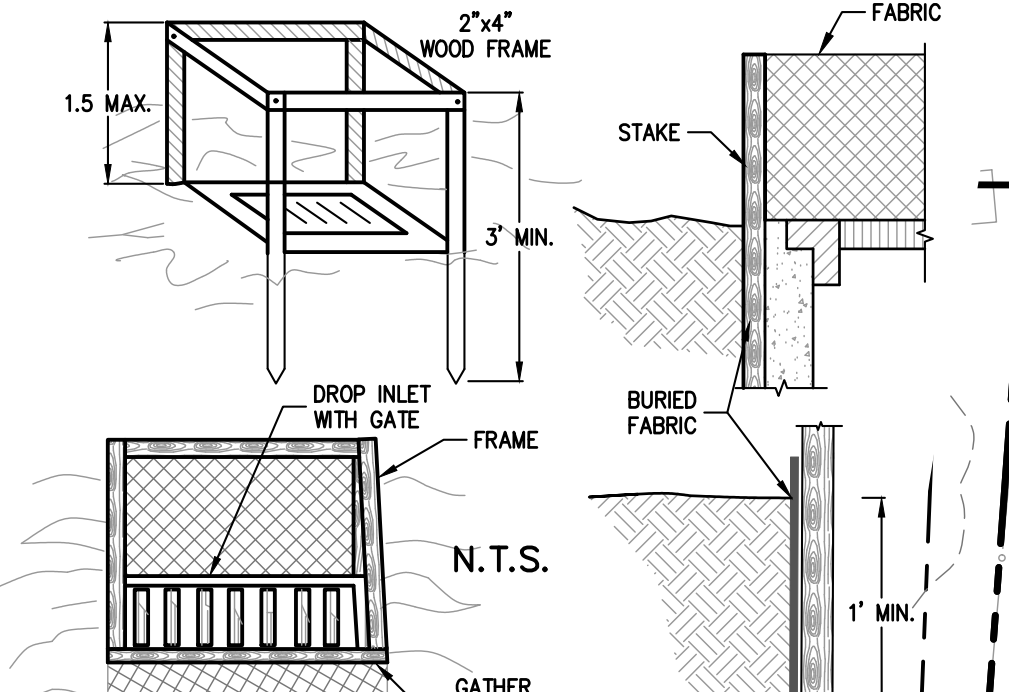
DATE: 11/10/2022
DRAWING NO: 4

PROJECT: DRAIN
CHECKED: XC
BY: KD

KENNETH W. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



TRUCK WASH DETAIL
N.T.S.

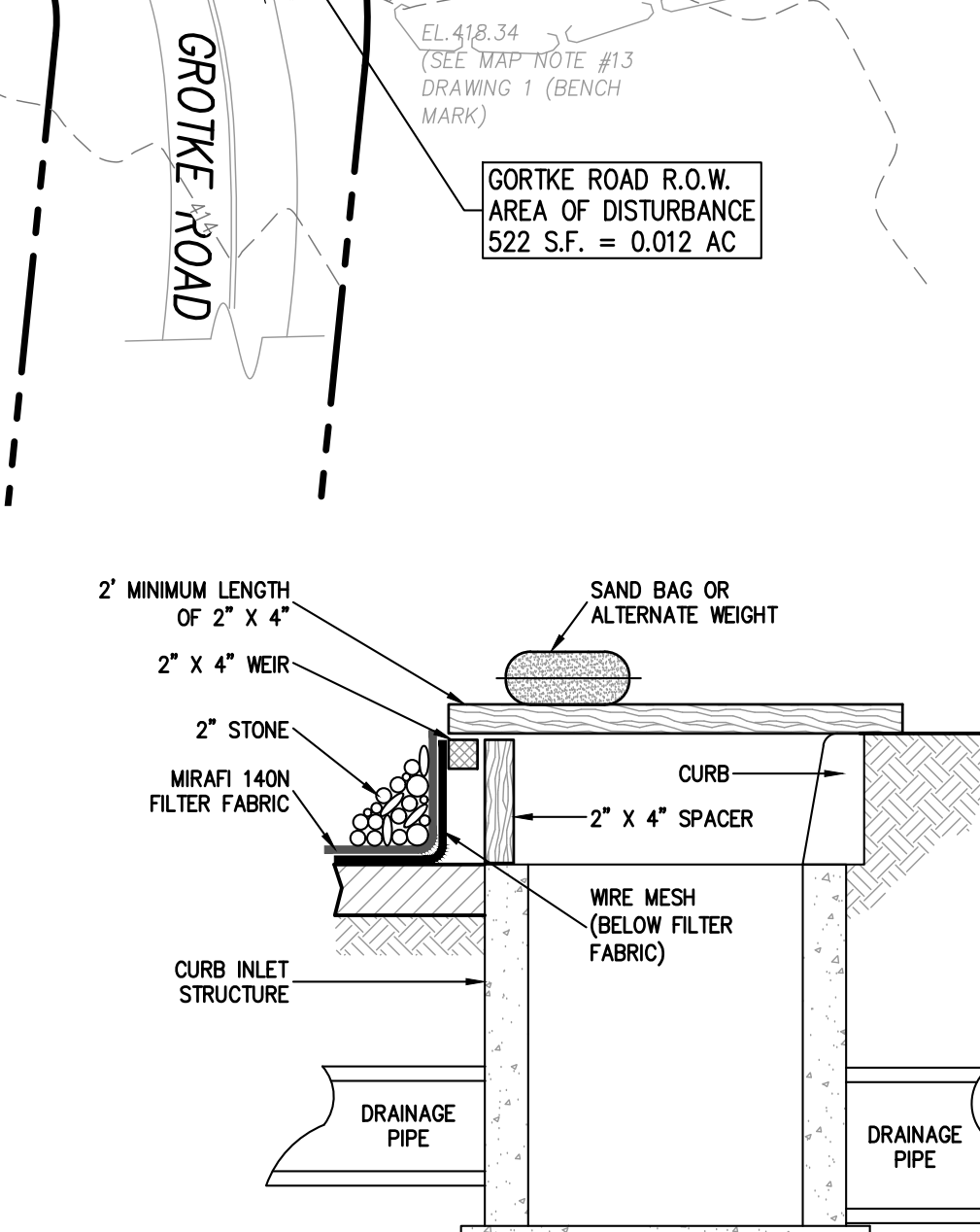


FILTER FABRIC DROP INLET PROTECTION
N.T.S.

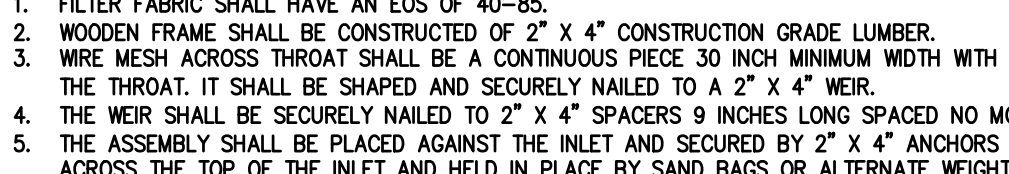
CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 2 FEET.
4. STAKE SPACES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. MAXIMUM DRAINAGE AREA 1 ACRE

- AS PER NYSDEC SPED GENERAL PERMIT FOR STORMWATER DISCHARGES PART 1.0.3, THE FOLLOWING REQUIREMENTS ARE TO BE ADHERED TO DURING CONSTRUCTION FOR DISTURBANCE BETWEEN FIVE AND TEN ACRES (TO BE CONFIRMED PRIOR TO FILING NO WITH WAIVER FROM TOWN OF ORANGETOWN USA COMPLIANCE OFFICER):
- a. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART 1.0.6 OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
 - b. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - c. THE OWNER OR OPERATOR SHALL PREPARE A PHASING PLAN THAT DEFINES MAXIMUM DISTURBED AREA PER PHASE AND SHOWS REQUIRED CUTS AND FILLS. PLEASE NOTE THE PROJECT IS REQUESTING TO BE A SINGLE PHASE CONSTRUCTION WITH RESPECT TO LAND DISTURBANCE. THIS IS SHOWN ON DRAWING 5, SEDIMENT AND EROSION CONTROL PLAN OF THE SITE PLAN.
 - d. THE OWNER OR OPERATOR SHALL INSTALL ANY ADDITIONAL SITE-SPECIFIC PRACTICES NEEDED TO PROTECT WATER QUALITY.
 - e. THE OWNER OR OPERATOR SHALL INCLUDE THE REQUIREMENTS ABOVE IN THEIR SWPPP.



CURB INLET PROTECTION DETAIL
N.T.S.



STONE OUTLET SEDIMENT TRAP ST-II
N.T.S.

STANDARD EROSION CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
3. STOOPPILES ARE NOT TO BE LOCATED WITH A FLOORPLAIN, BUFFER, ON A SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOOPPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
4. A CRUSHED STONE, VEHICLE WHEEL-REINFORCING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY TO BRING SITE TO DESIRED GRADE. A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 7 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
5. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
6. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
7. ALL AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:

KENTUCKY BLUE GRASS - 20	1.1 LB. PER 1,000 SQ. FT.
PERENNIAL RYE GRASS - 5	0.45
ORCHARD GRASS - 5	0.45
CRACK DOCK - 5	0.10
8. ALL SEEDING AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:

AMOUNT NEEDED TO OBTAIN A PH OF 5.5	20	0.45
FERTILIZER - 15 LBS. PER 1,000 SQ. FT. OF 10-20-10 FERTILIZER OR APPROVED EQUAL IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP SLOPED AREAS THEN 1 (VERTICAL) : 2.5 (HORIZONTAL) :	1.1 LB. PER 1,000 SQ. FT.	0.35
9. BRUSHWOOD TREES - 8
- 10. BROOMSWEED - 5
- 11. BROOMSWEED - 5
- 12. BROOMSWEED - 5
- 13. BROOMSWEED - 5
- 14. BROOMSWEED - 5
- 15. BROOMSWEED - 5
- 16. BROOMSWEED - 5

SILT FENCE
N.T.S.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

SILT FENCE
N.T.S.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

CONSTRUCTION SEQUENCE (SINGLE PHASE) 5 ACRE WAIVER REQUIRED:

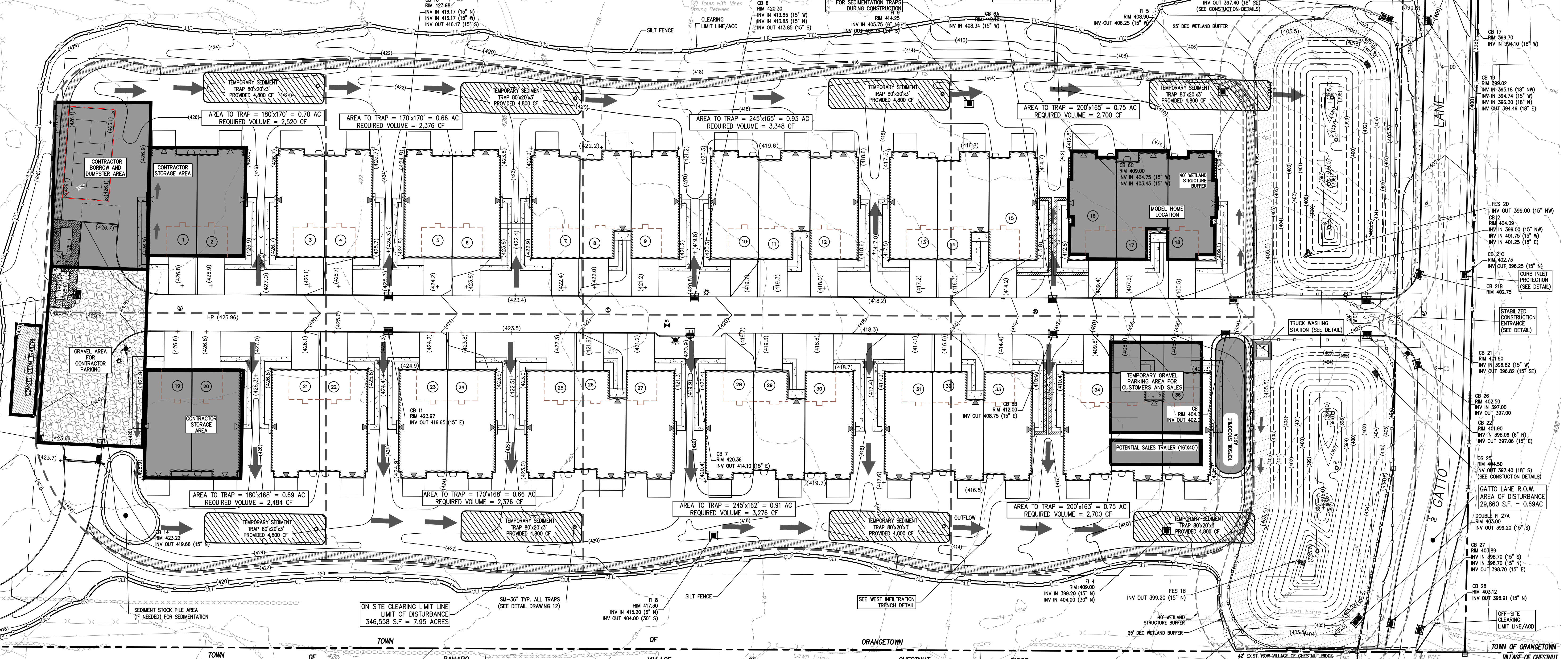
1. File NOI with NYSDEC, Week 1
2. Demolish overall clearing limit line with construction stakes at 50' intervals. Week 2
3. Install perimeter S&E controls as shown on plans. Install S&E controls along both sides of Gatto Lane, Week 2
4. Complete construction entrance to Gatto Lane. Clear vegetation on site and dump. Create access road and construction trailer. Week 2-3
5. Strip topsoil and stockpile. Week 3-4
6. Rough grade road and site; prepare building slab elevations. Week 4-6
7. Install contractor trailer. Stabilize area in front of trailer. Week 5
8. Install temporary swales between building foundations and sediment traps as indicated on Sediment and Erosion Control Plan (about 3' deep x 20' wide x 60' long each) behind buildings as shown on plans. Week 5
9. Grade and stabilize areas between stormwater management ponds and existing edge of pavement for Gatto Lane. Week 6
10. Maintain runoff flow to stormwater management ponds as indicated on Sediment and Erosion Control Plan. Week 6
11. Install building foundation(s) incrementally; use material to balance site. Varies
12. Install downstream sanitary sewer extension in Gatto Lane. Fill in Gatto Lane as shown on plans. Coordinate all Gatto Lane work (construction, sanitary sewer, road closures, etc) with Town of Orangetown Highway Department and DEM. Provide construction schedule and traffic control plan for Town approval. Weeks 6-14
13. Close down South Side of Gatto Lane
14. Provide temporary stabilization for open North Side of Gatto Lane to maintain traveway
15. Final road work with out from the site. Coordinate testing requirements with Orangetown Highway Department and DEM.

SILT FENCE
N.T.S.

CONSTRUCTION SEQUENCE (SINGLE PHASE) 5 ACRE WAIVER REQUIRED:

1. Rough grade South Side of Gatto Lane
2. Complete South Side of Gatto Lane and reopen
3. Complete temporary stabilization for open North Side of Gatto Lane to maintain traveway
4. Position temporary signalization for open South Side of Gatto Lane to maintain traveway
5. Construct North Side of Gatto Lane, building up roadway and tying into existing grades
6. Remove existing asphalt
7. File NOI with NYSDEC, Week 1
8. Complete North Side of Gatto Lane and reopen
9. Install sanitary sewers on site. Weeks 8-11
10. Install subsurface and base pavement
11. Complete North Side of Gatto Lane and reopen
12. Stabilize lower around building foundations as buildings are finished. Varies
13. Install stone base for roads. Weeks 19-20
14. Install permanent base courses. Weeks 21-23
15. Install remaining underground utilities. Weeks 24-26
16. Finish entire grade site; remove temporary sediment basins. As homes are completed, varies
17. Install emergency access to Gatto Lane. Week 27
18. Remove construction trailer. T.B.D. End of project
19. Install amenity features (picnic, pavilion, walking path). T.B.D. varies
20. Remove temporary stabilization for open North Side of Gatto Lane as indicated on Site Plans
21. Achieve final site ground cover stabilization. T.B.D. End of project
22. File NOI termination with NYSDEC. T.B.D. End of project.

SILT FENCE
N.T.S.



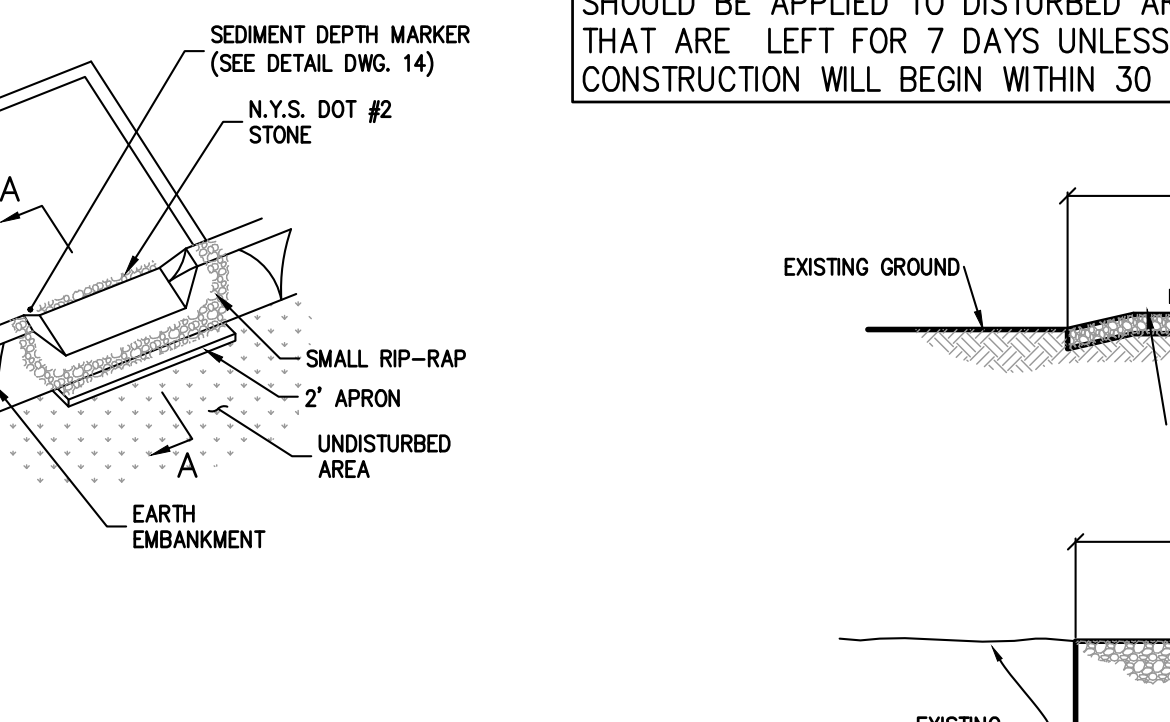
CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER COLLECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RRP-RAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RRP-RAP OR EMBEDDED FILTER CLOTH IN THE RRP-RAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 12" DEPTH AS OBSERVED ON THE SEDIMENT DEPTH MARKER, IT SHALL BE PLACED ON THE RRP-RAP.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

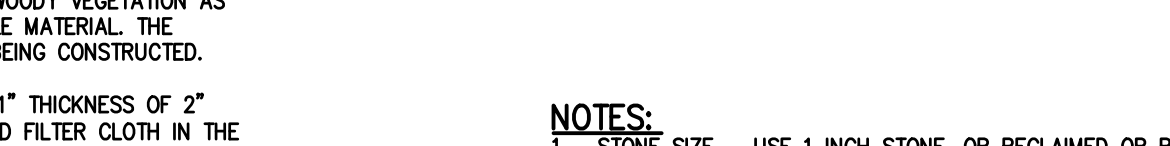
CONSTRUCTION SPECIFICATIONS

NOTE: A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 7 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.

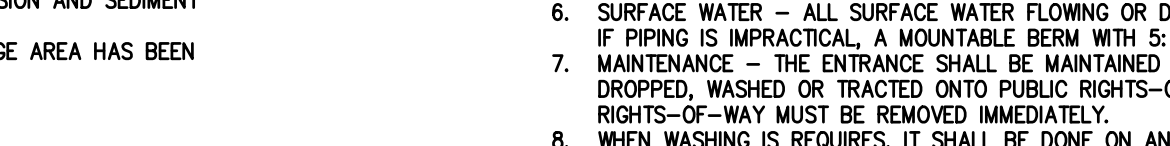
NOTE: TOTAL AREA OF DISTURBANCE 376,940 SF. = 8.65 ACRES



PERSPECTIVE VIEW
N.T.S.



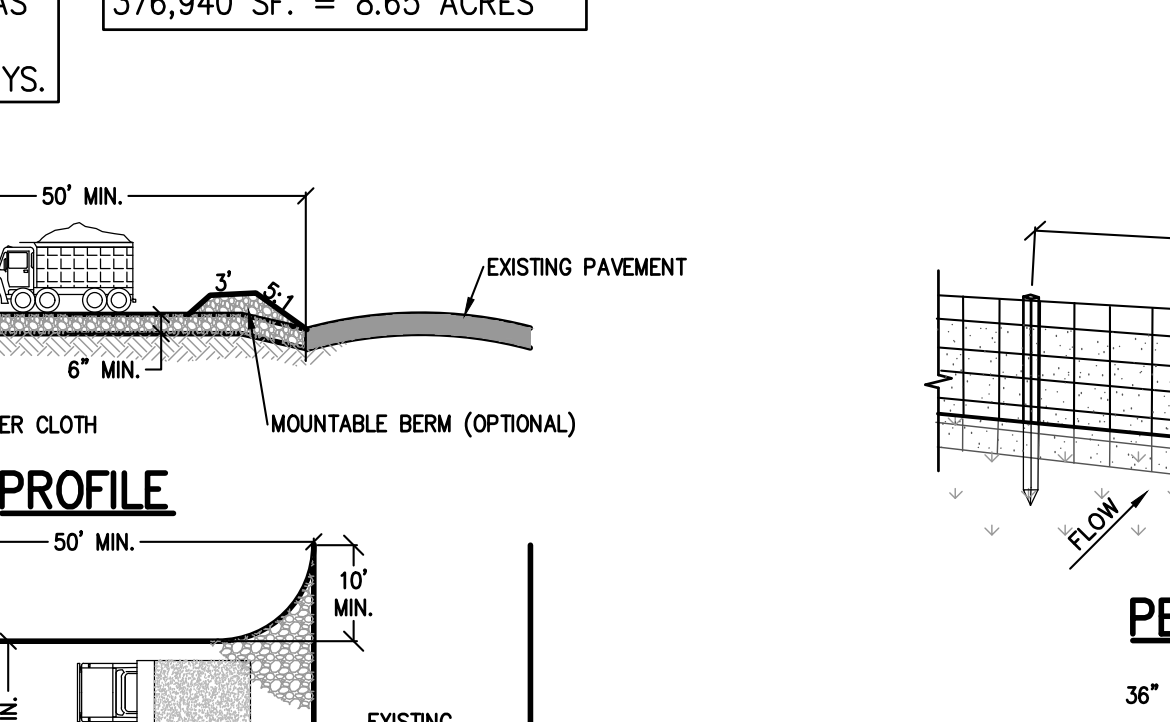
SECTION VIEW
N.T.S.



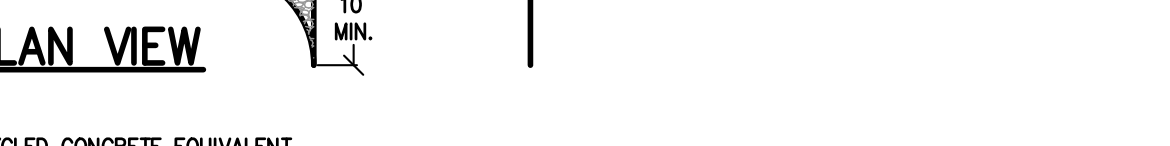
PLAN VIEW
N.T.S.

NOTE: A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 7 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.

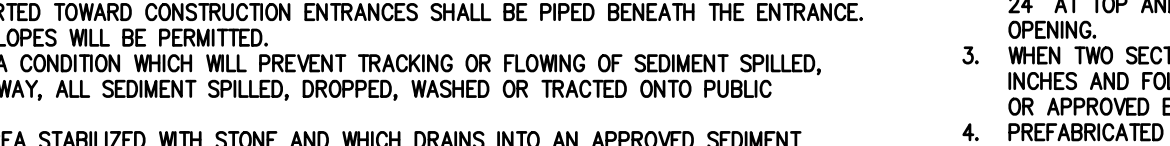
NOTE: TOTAL AREA OF DISTURBANCE 376,940 SF. = 8.65 ACRES



PERSPECTIVE VIEW
N.T.S.



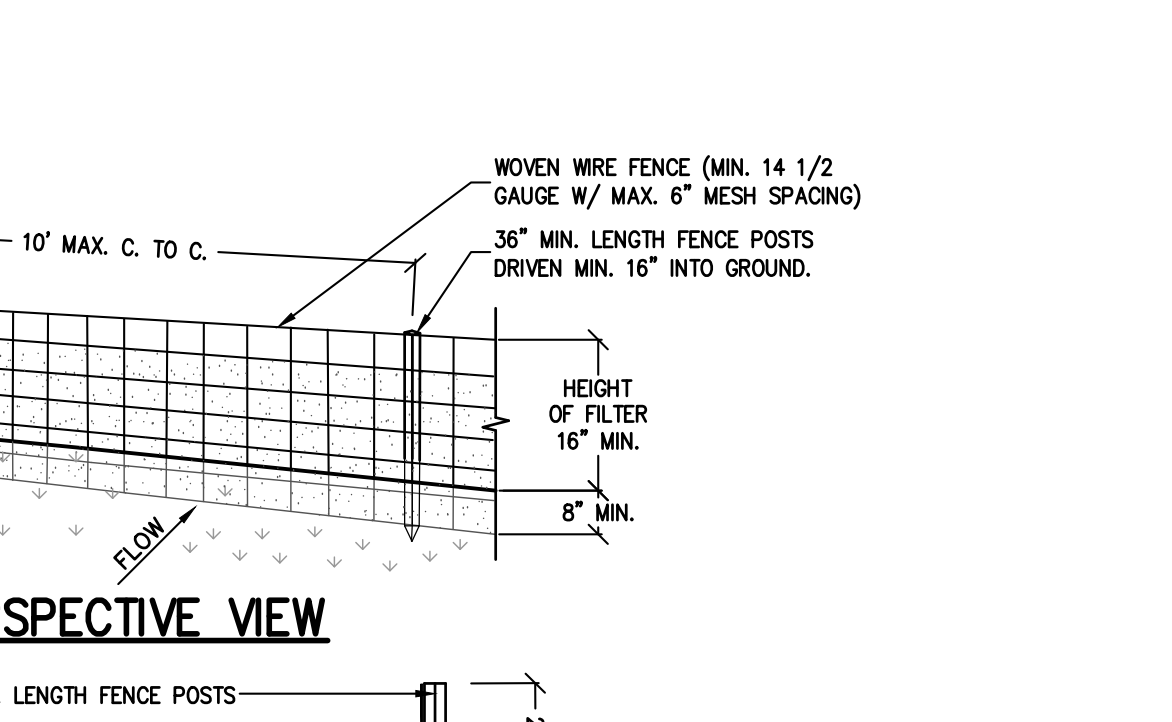
SECTION VIEW
N.T.S.



PLAN VIEW
N.T.S.

NOTE: A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 7 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.

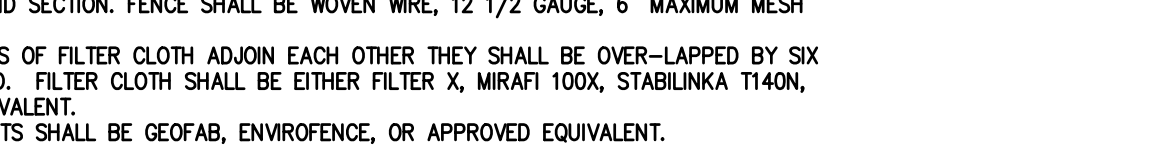
NOTE: TOTAL AREA OF DISTURBANCE 376,940 SF. = 8.65 ACRES



PERSPECTIVE VIEW
N.T.S.



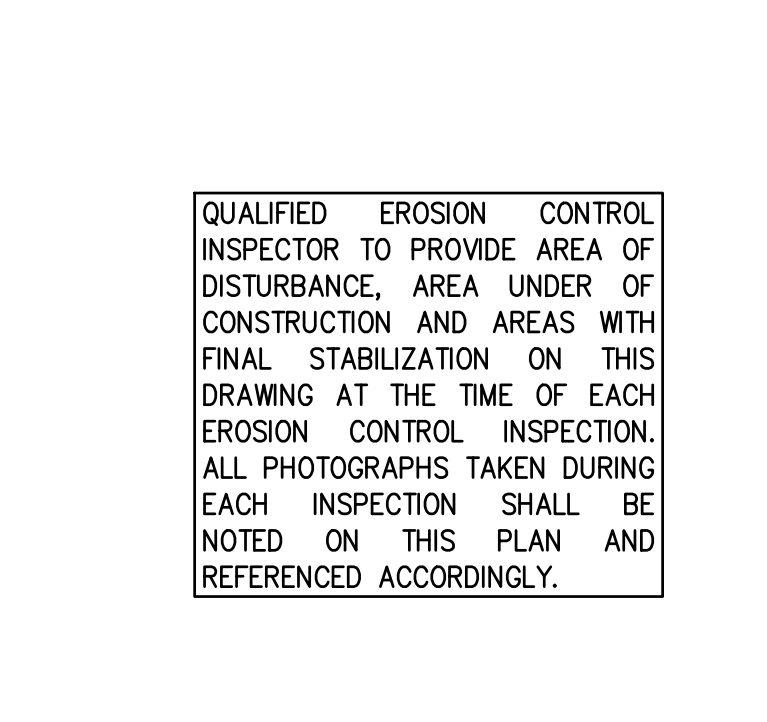
SECTION VIEW
N.T.S.



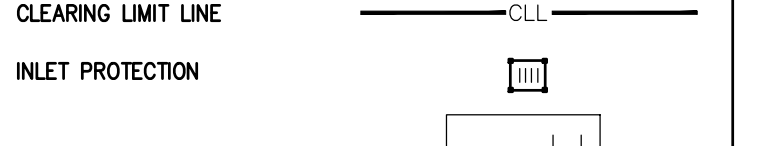
PLAN VIEW
N.T.S.

NOTE: A TEMPORARY SEEDING AND/OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 7 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.

NOTE: TOTAL AREA OF DISTURBANCE 376,940 SF. = 8.65 ACRES



PERSPECTIVE VIEW
N.T.S.



SECTION VIEW
N.T.S.



PLAN VIEW
N.T.S.

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLICERS COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

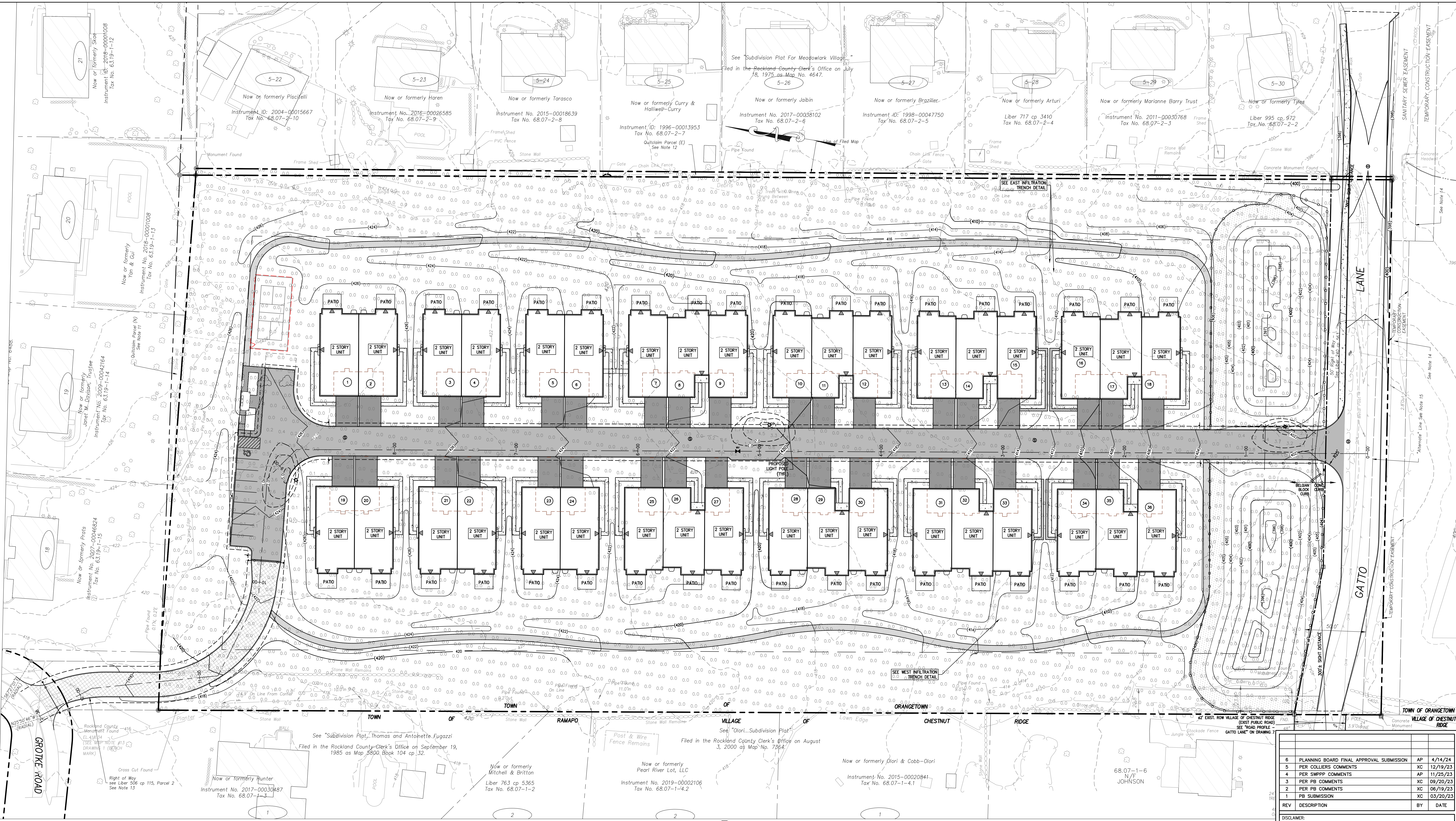
BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT - MUNICIPAL - STRUCTURAL - HYDROLOGICAL - SURVEYING
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

FINAL SEDIMENT AND EROSION CONTROL PLAN

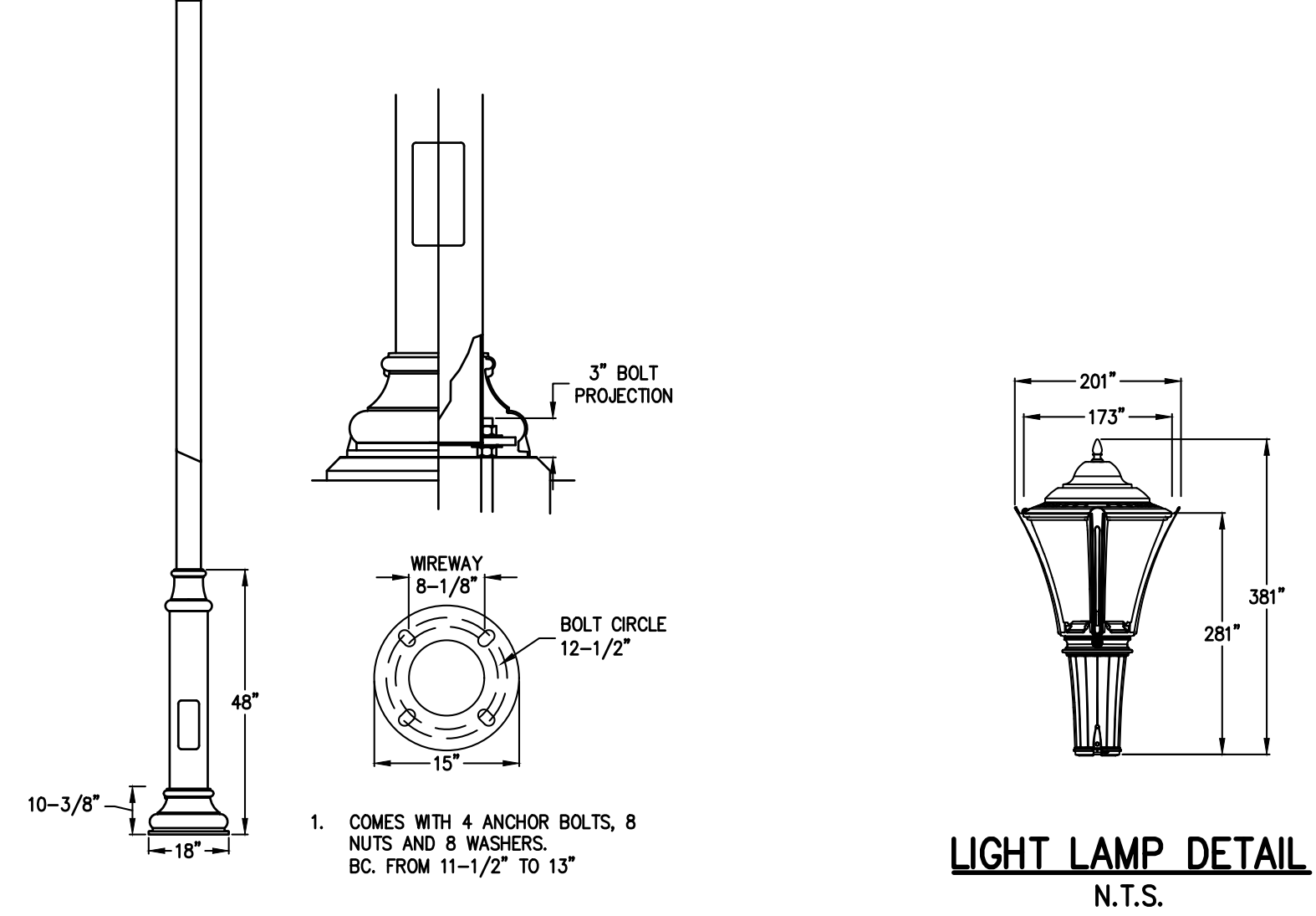
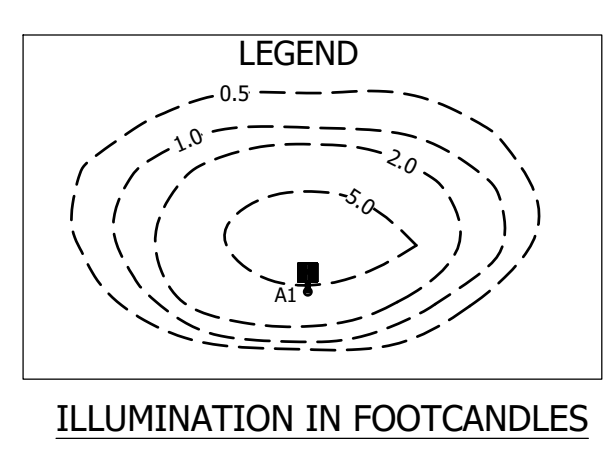
PROJECT NO: 20231 DRAIN: XC CHECKED: KD
SCALE: 1" = 30'
GRAPHIC SCALE: 0 30' 60'
DATE: 11/10/2022 DRAWING NO: 5

P:\BIB2023201\Gatto_Lane_Site_Plan\TAB LINE SITE PLAN\TAB LINE SITE PLAN.rvt (2/29/24) P:\Polina.Sasha



LUMINAIRE SCHEDULE							
SYMBOL	TAG	QUANTITY	LABEL	DESCRIPTION	ARRANGEMENT	MANUFACTURER	MOUNTED HEIGHT (FEET)
☆	A	3	SIGNIFY CANADA LTD MPTR-35W3ZLED3K-G3-LES-HS	METROSCOPE LED POST-TOP (MPTR), 32 LED'S 3000K CCT, TYPE LED3-HS OPTIC, HOUSE SIDE SHIELD	POLE	PHILIPS LUMEC	3000K 12

- NOTES:
- ALL LIGHTING SHOWN IN THIS PLAN SHALL BE DIRECTED AN/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
 - POWER SUPPLY TO BE DESIGNED BY BUILDING ELECTRICAL ENGINEER.
 - LIGHTING CONTROLS TO BE SELECTED BY OWNER.



REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

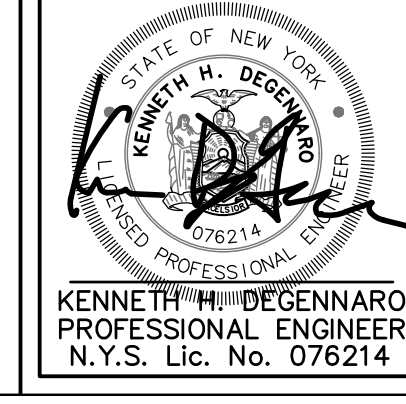
DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7006, SUBSECTION 2.

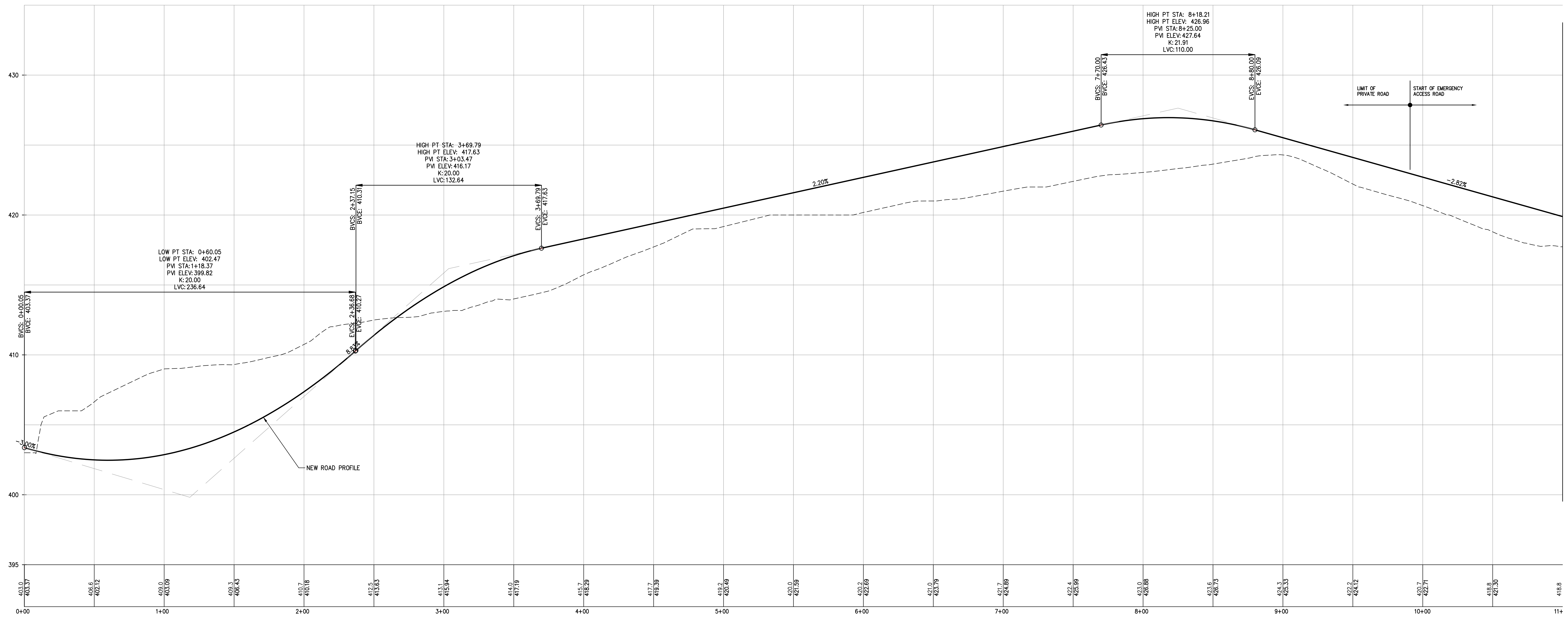
BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT - MUNICIPAL - STRUCTURAL - HYDROLOGICAL - SURVEYING
 www.BrookerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901
 (845) 357-4411

GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE: **FINAL LIGHTING PLAN**

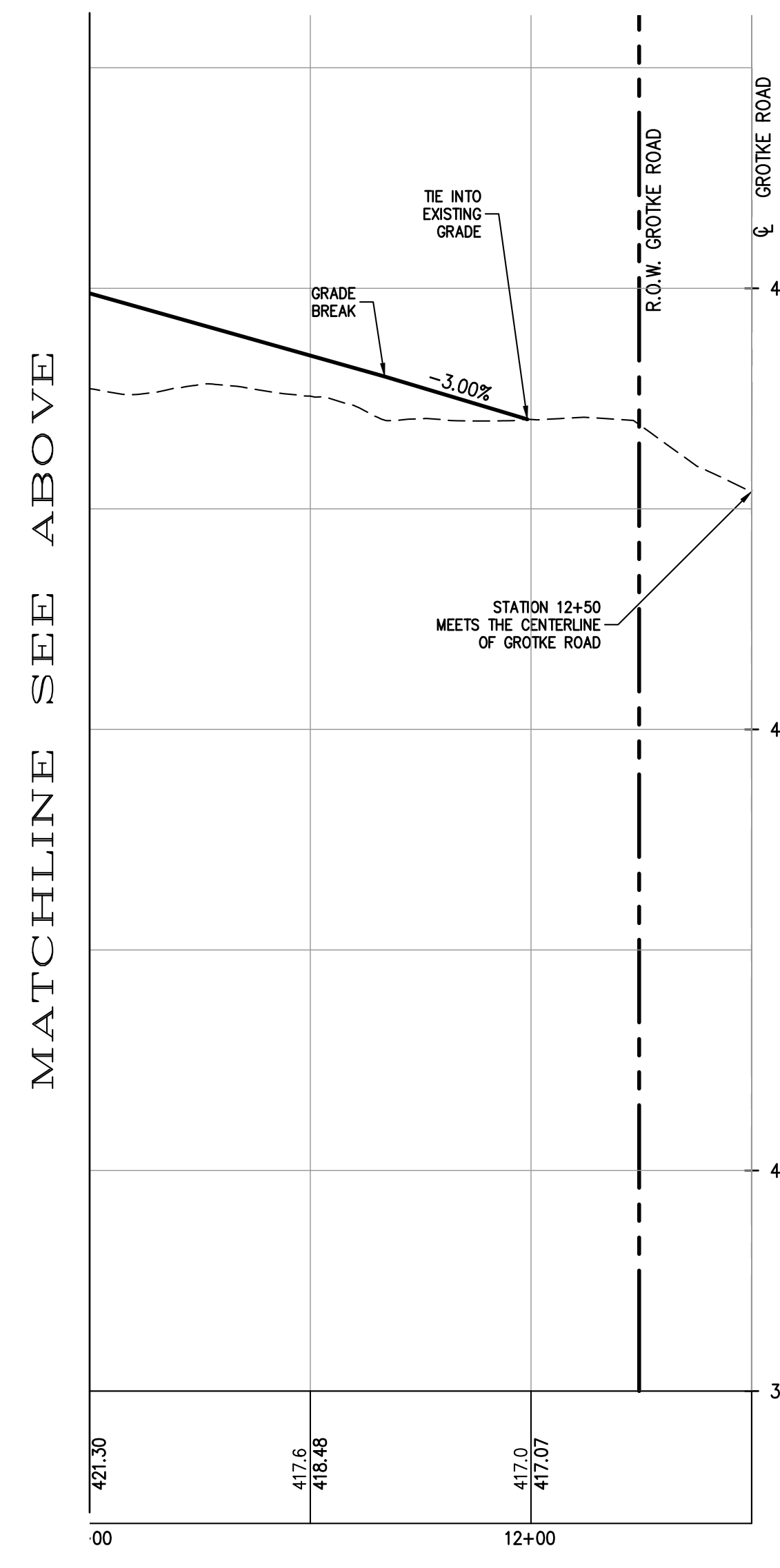
PROJECT NO: 20231 DRAWN: JO CHECKED: KD
 SCALE: 1" = 30'
 GRAPHIC SCALE: 0 30' 60'
 DATE: 11/10/2022 DRAWING NO: 6



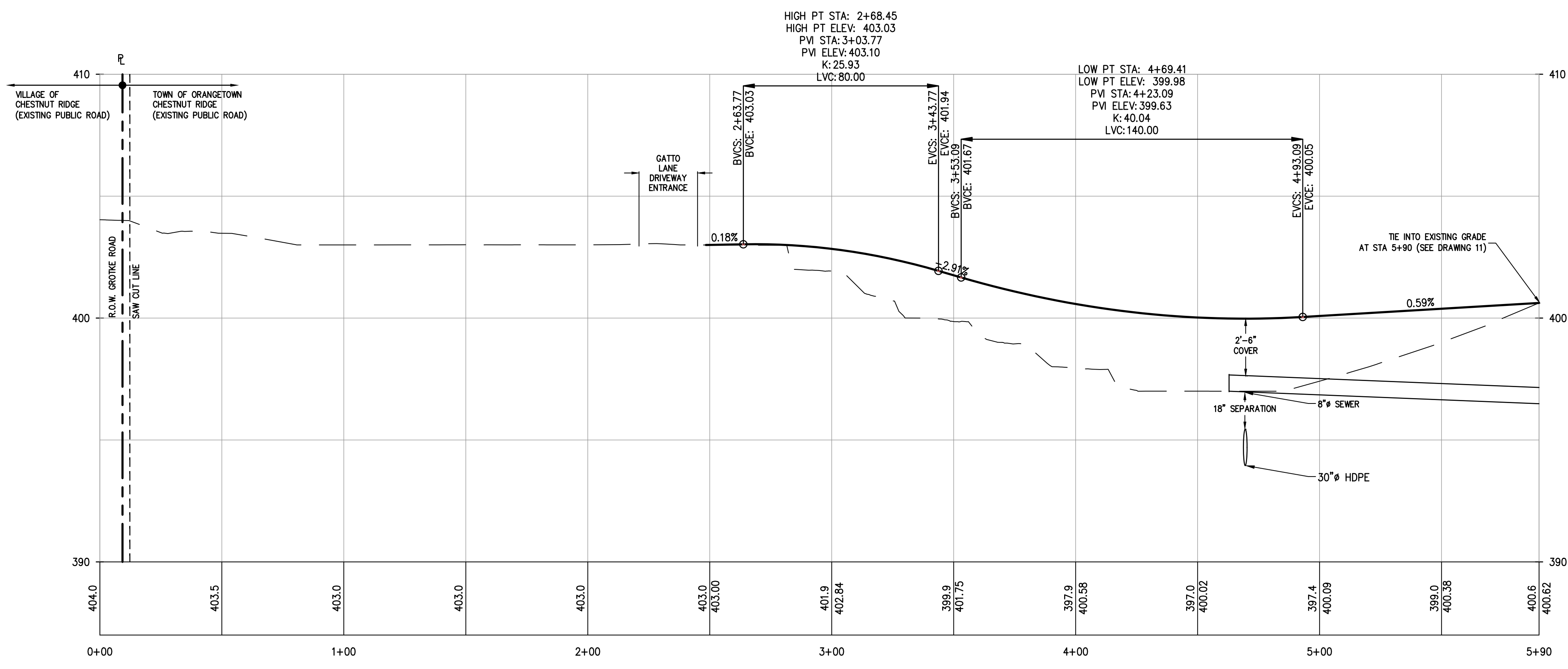


MATCHLINE SEE BELOW

ROAD PROFILE
PRIVATE ROAD
STA. 0+00 TO STA. 10+50
SCALE: H. 1"=30', V. 1"=3'



ROAD PROFILE
PRIVATE ROAD
STA. 10+50 TO 12+47
SCALE: H. 1"=30', V. 1"=3'



ROAD PROFILE
GATTO LANE
SCALE: H. 1"=30', V. 1"=3'

MATCHLINE SEE ABOVE

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com

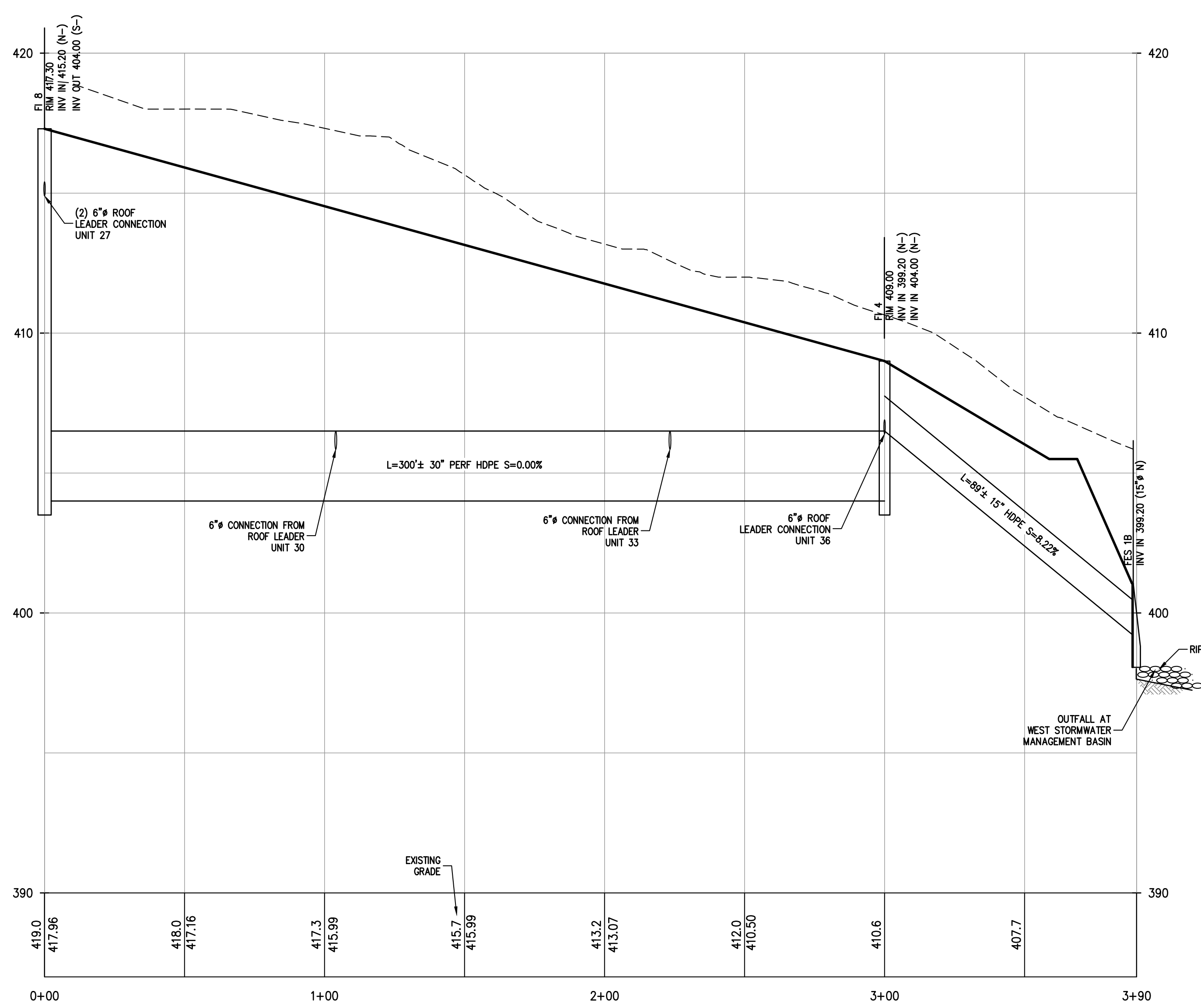
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

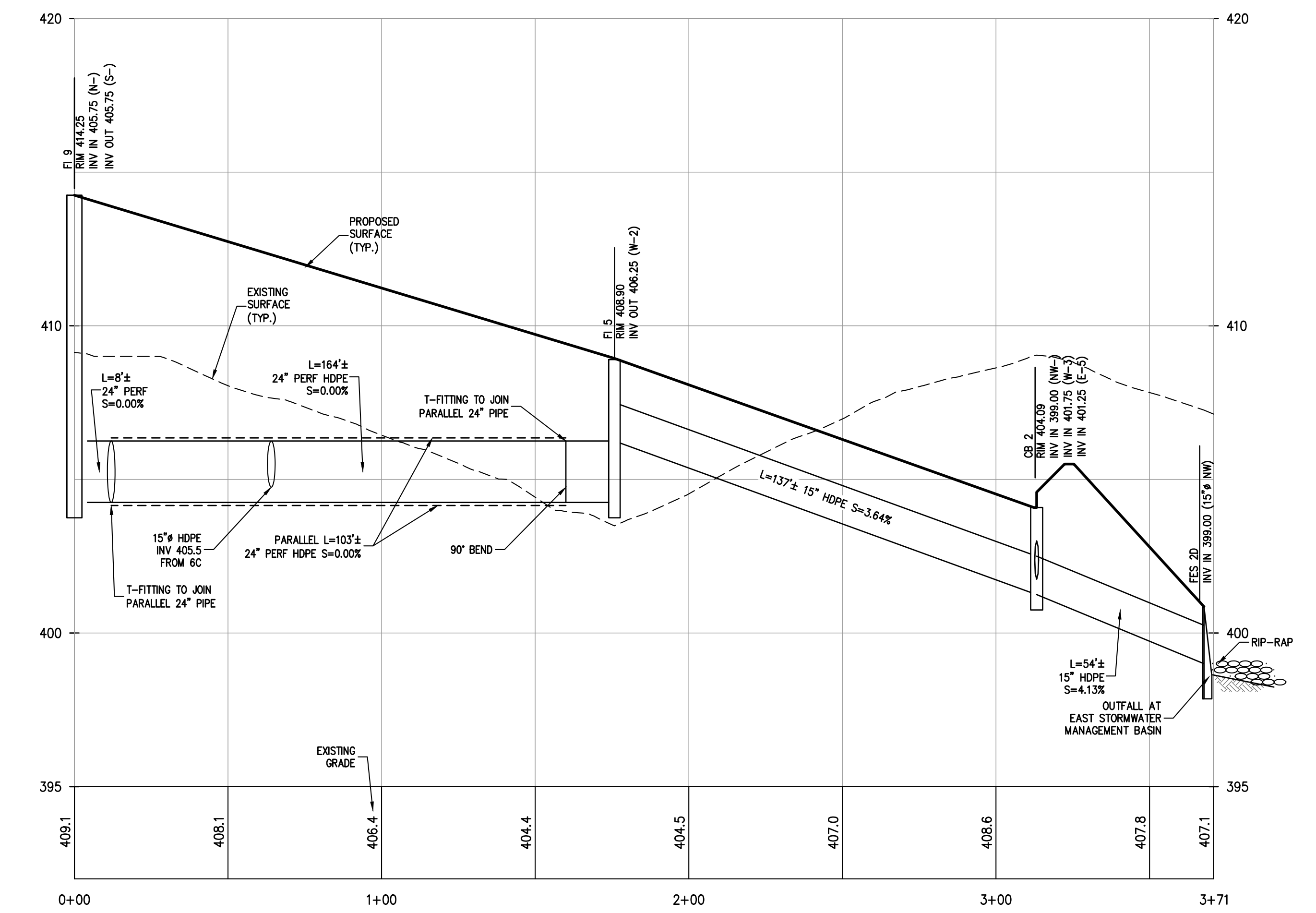
TITLE:
FINAL PROPOSED PRIVATE
ROAD & GATTO LANE PROFILES

PROFESSIONAL ENGINEER
KENNETH H. DEGENNARO
N.Y.S. Lic. No. 076214

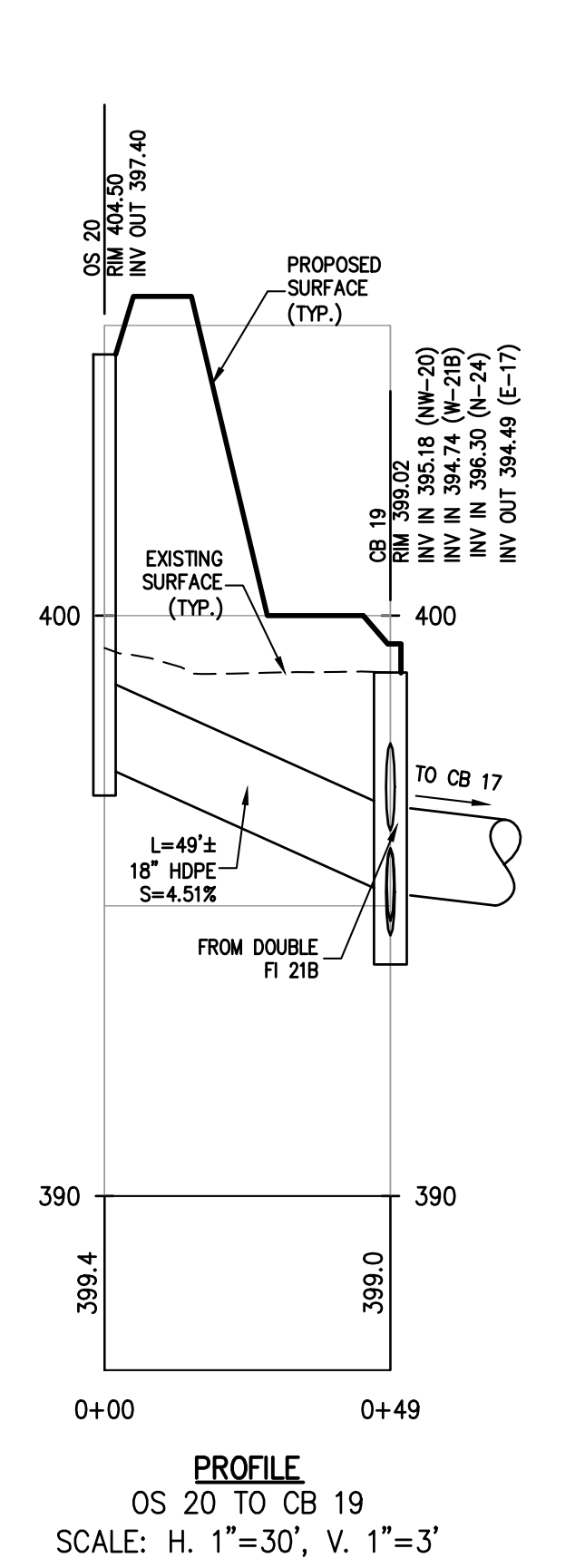
PROJECT NO:	20231	DRAWN:	XC	CHECKED:	KD
SCALE:	1" = 30'				
GRAPHIC SCALE:	0 30' 60'				
DATE:	11/10/2022	DRAWING NO.:	7		



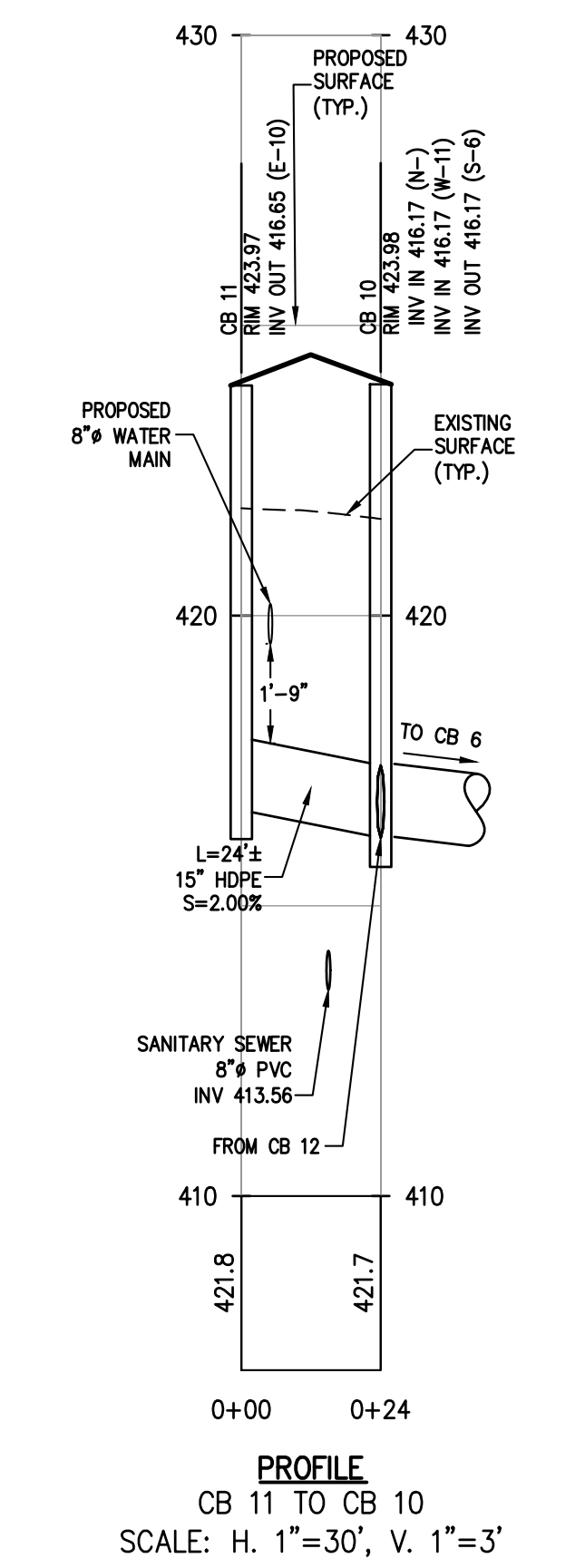
PROFILE
FI 8 TO FES 1B
SCALE: H. 1"=30', V. 1"=3'



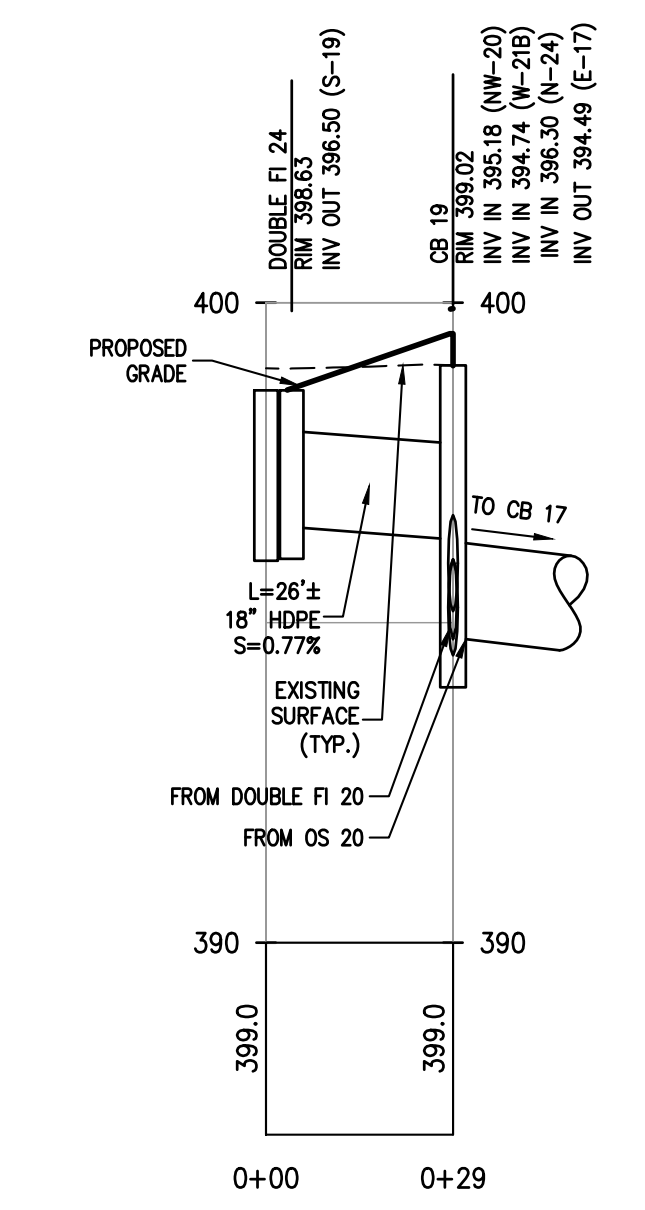
PROFILE
FI 9 TO CB 2D
SCALE: H. 1"=30', V. 1"=3'



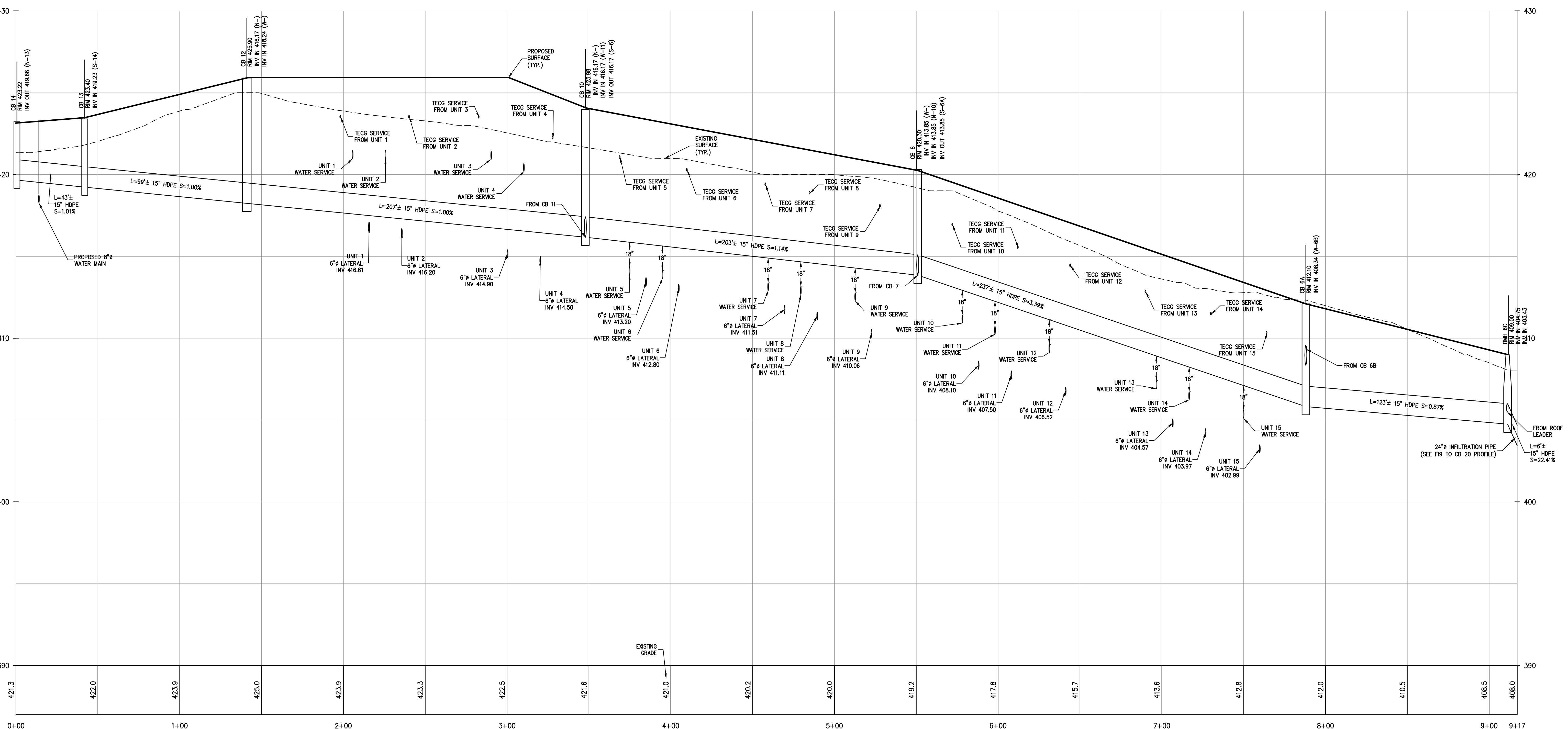
PROFILE
OS 20 TO CB 19
SCALE: H. 1"=30', V. 1"=3'



PROFILE
CB 11 TO CB 10
SCALE: H. 1"=30', V. 1"=3'



PROFILE
DOUBLE FI 24 TO CB 19
SCALE: H. 1"=30', V. 1"=3'



PROFILE
CB 14 TO DMH 6C
SCALE: H. 1"=30', V. 1"=3'

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

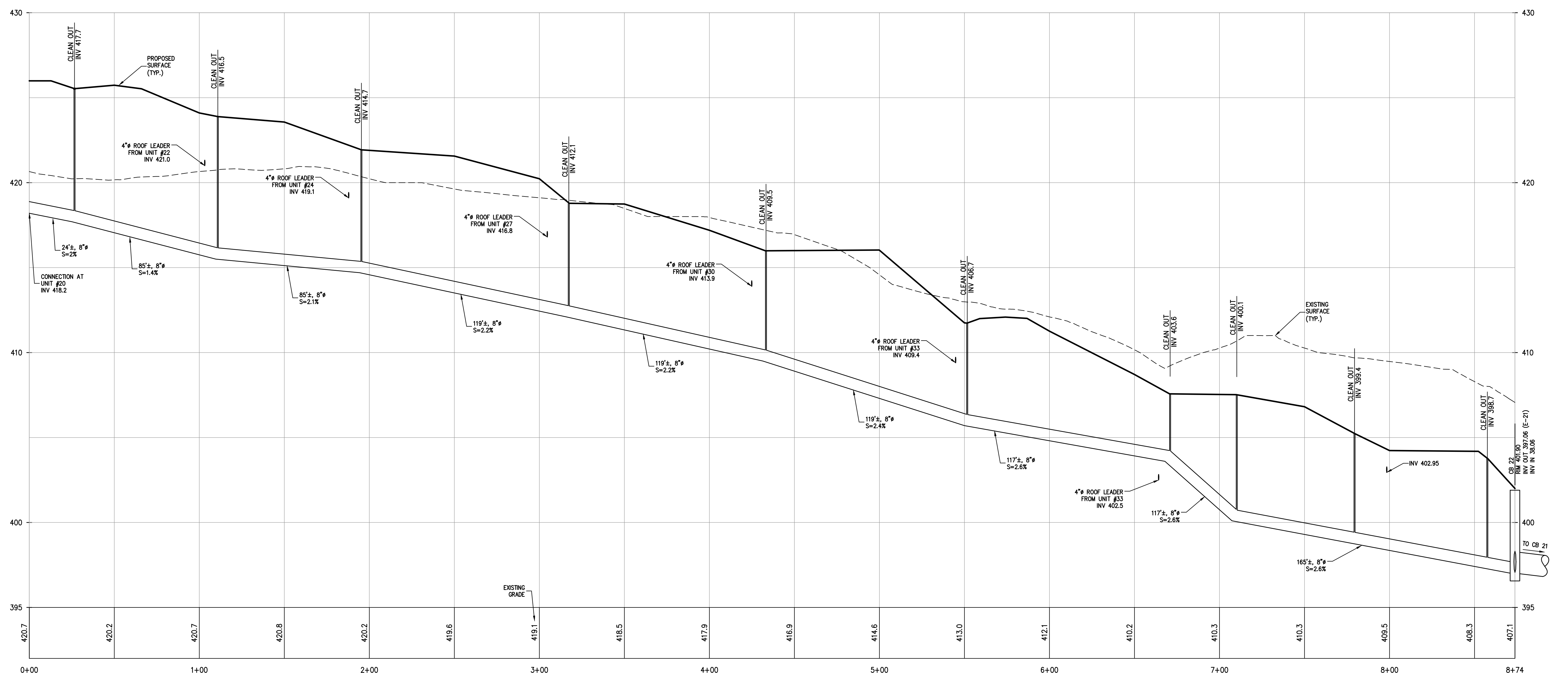
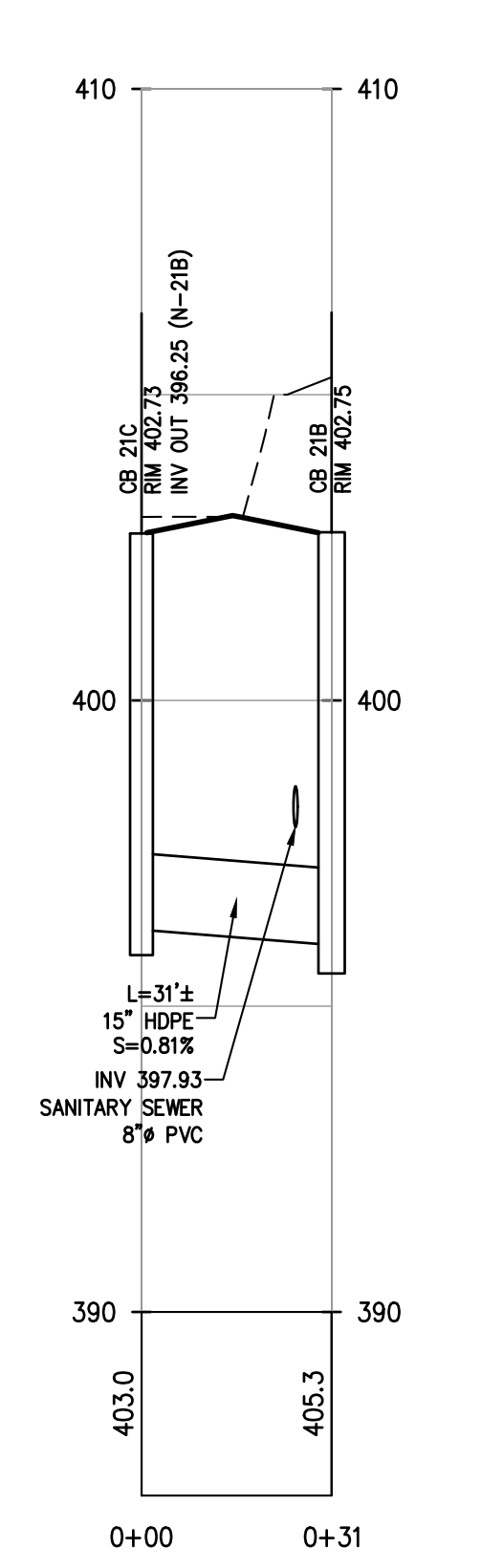
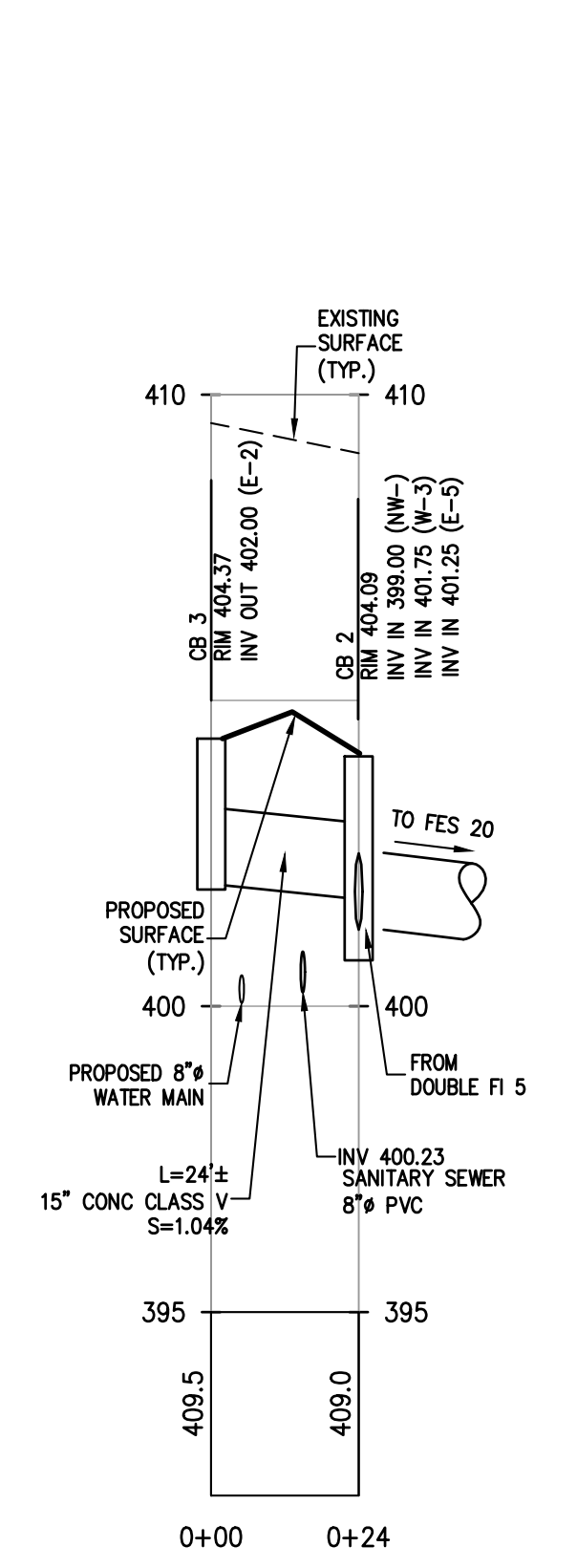
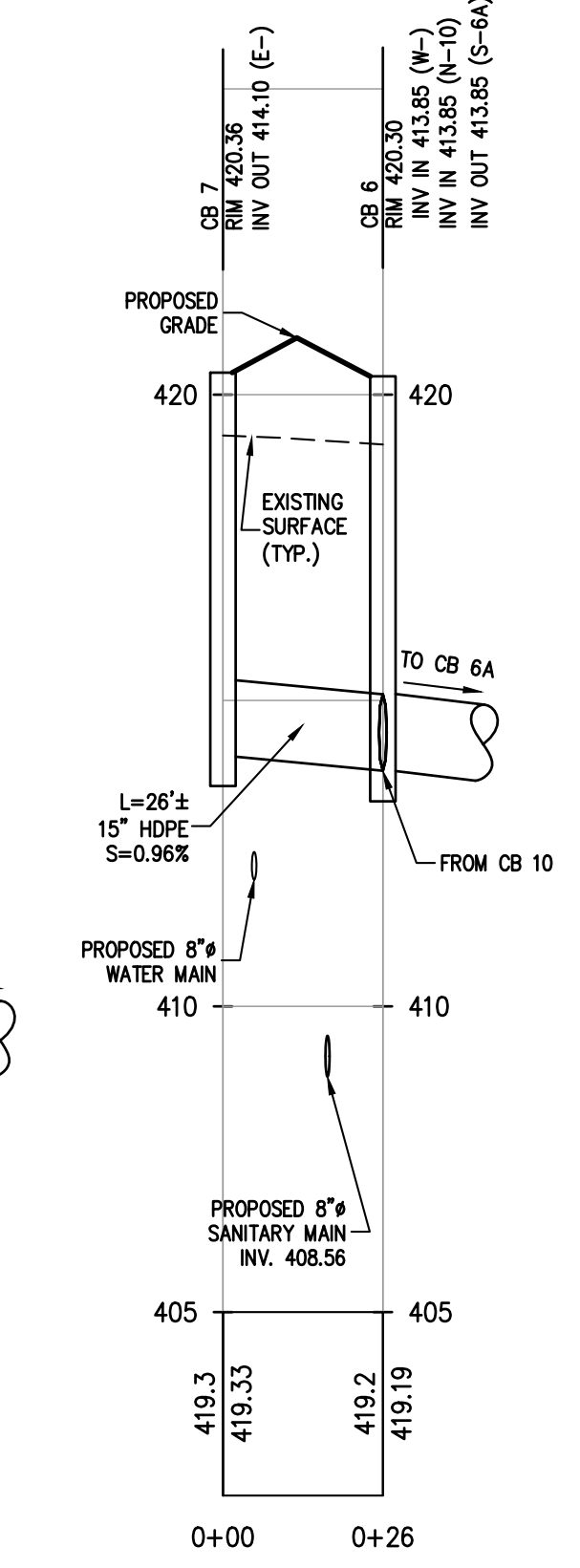
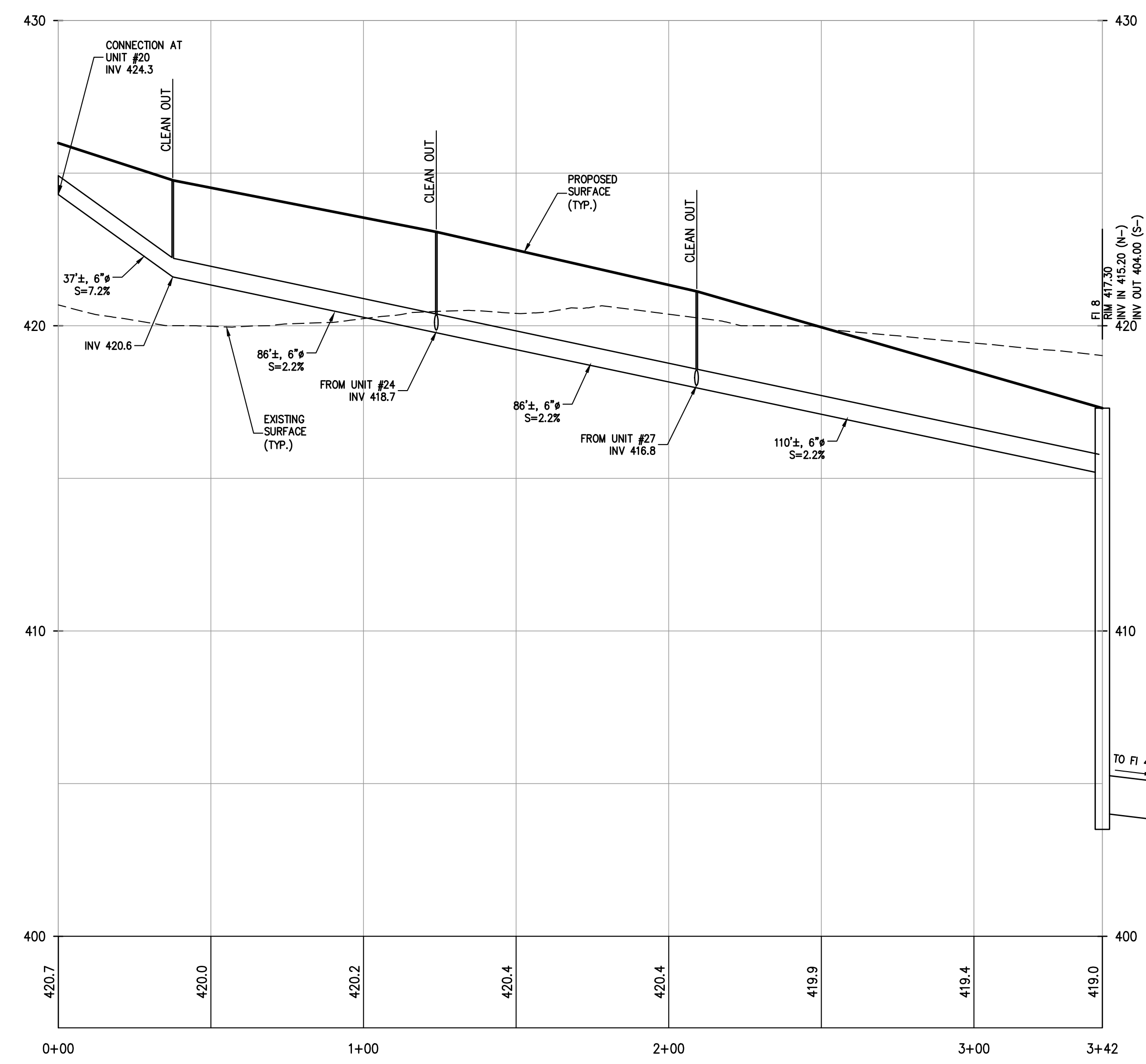
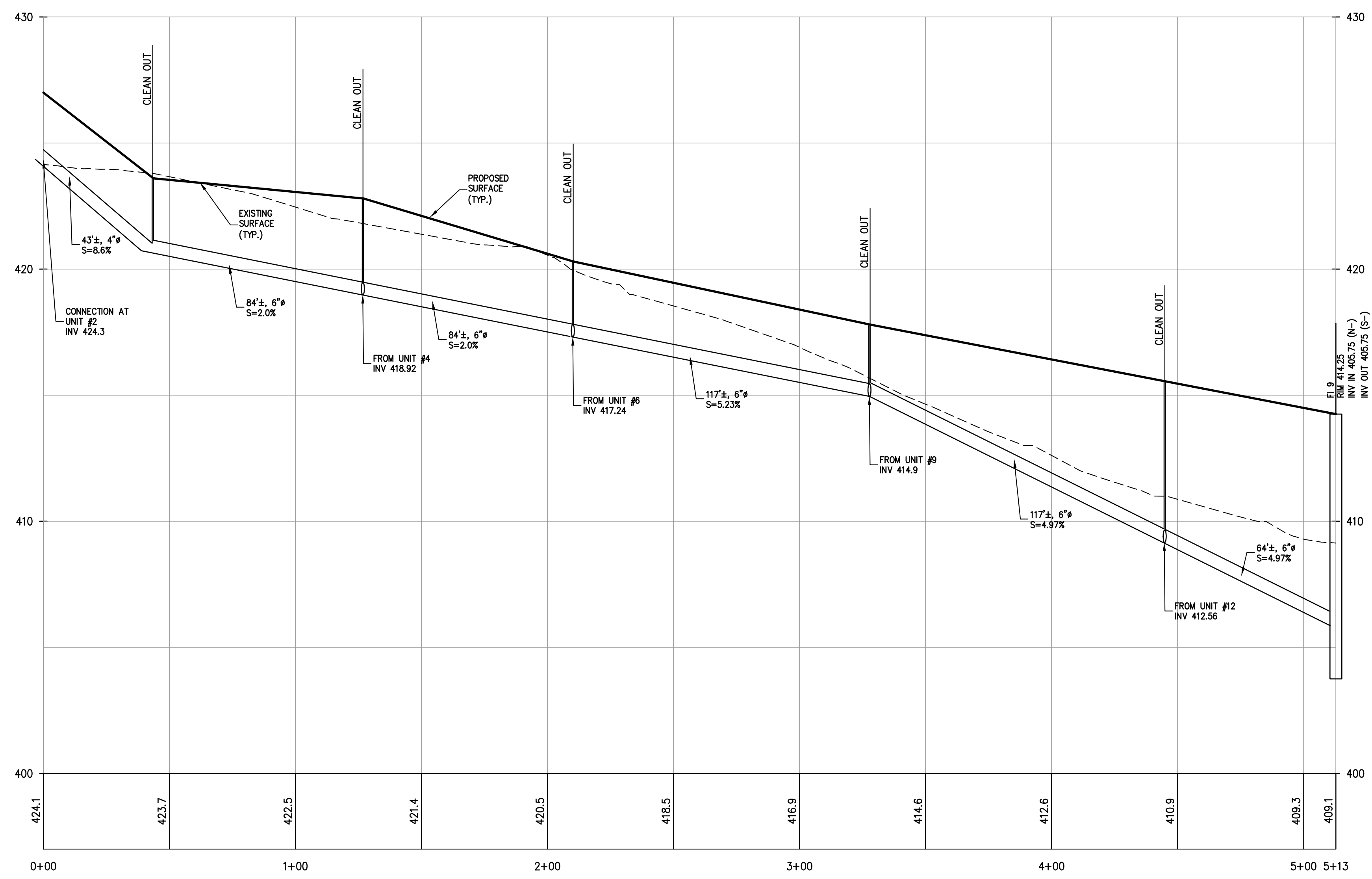
DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
FINAL STORM DRAINAGE PROFILES (1 of 3)

PROJECT NO: 20231
SCALE: 1" = 30'
DATE: 11/10/2022
DRAWING NO: 8



REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

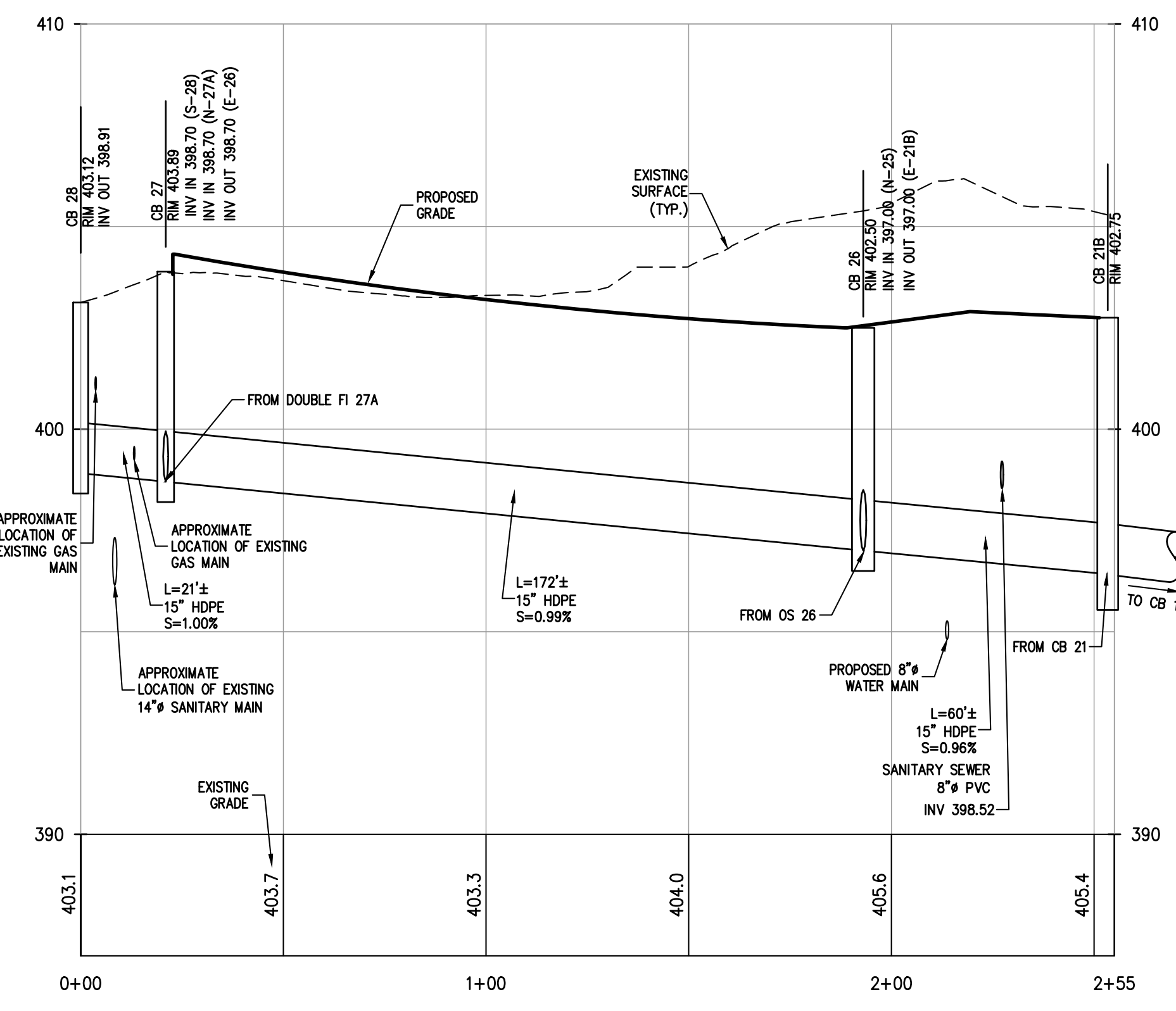
BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

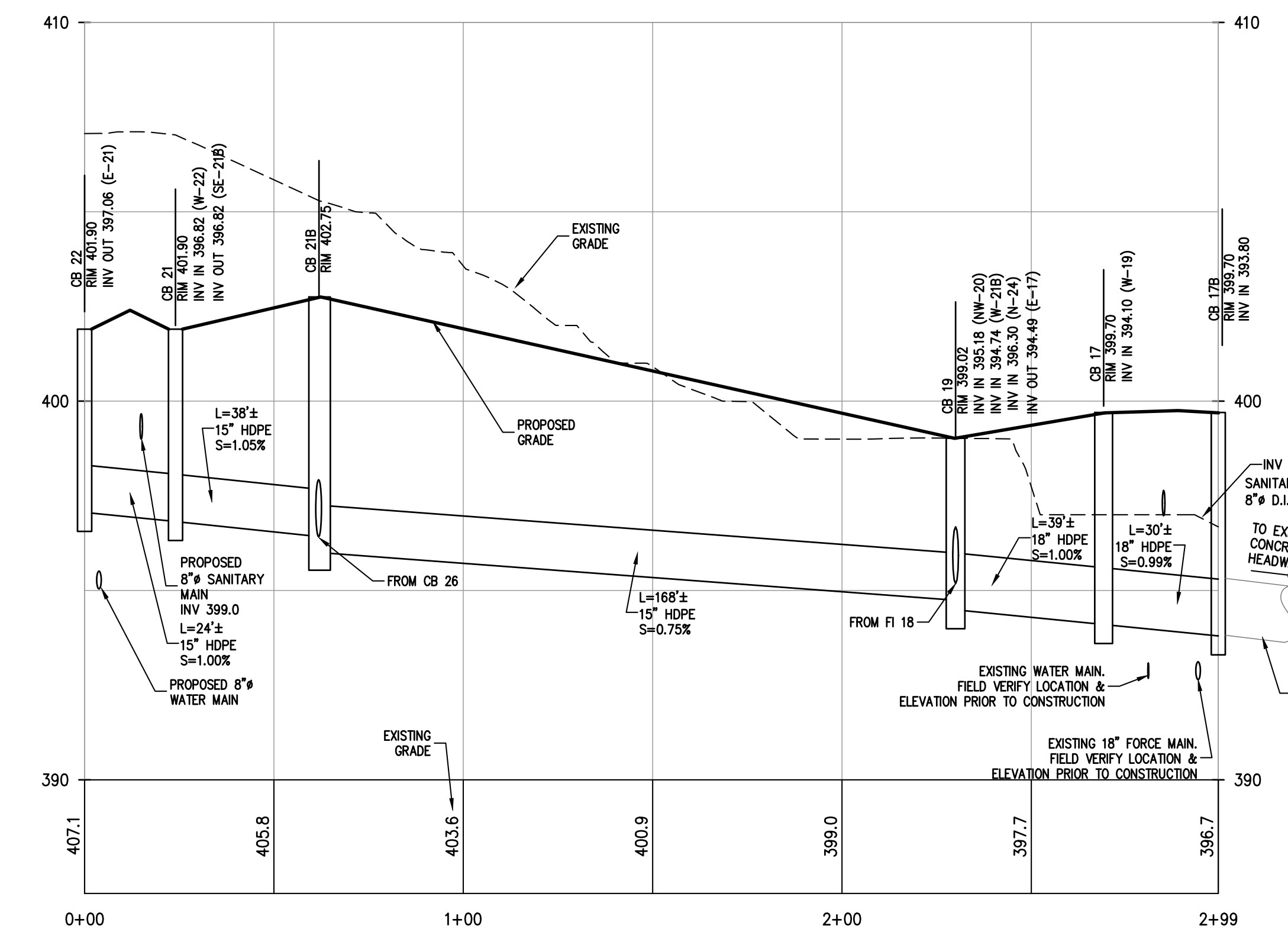
TITLE:
FINAL STORM DRAINAGE PROFILES (2 of 3)

PROJECT NO: 20231 DRAIN: XC CHECKED: KD
SCALE: 1" = 30'
GRAPHIC SCALE: 0 30' 60'
DATE: 11/10/2022 DRAWING NO: **8A**

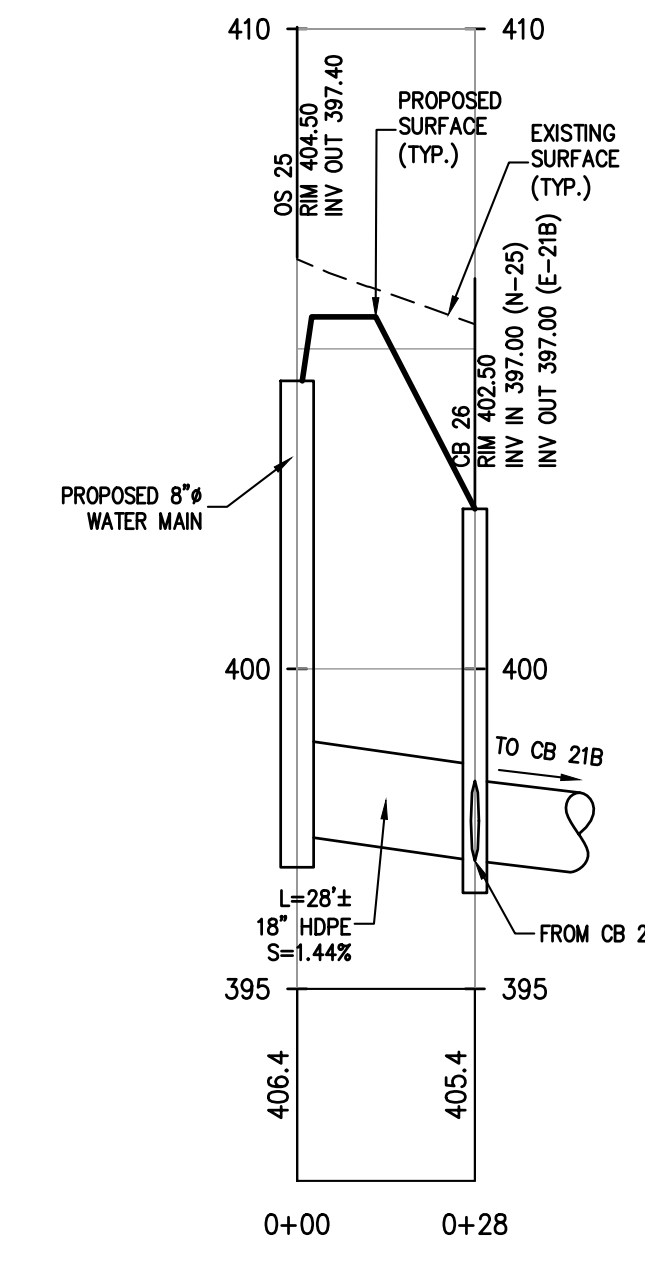
P:\BIB\20230221 Gatto Ln Site Plan_Dwg\Rev 7\GATTO LANE SITE PLAN.TB.dwg, 4/29/2024 2:40:30 PM, Poores Sasana



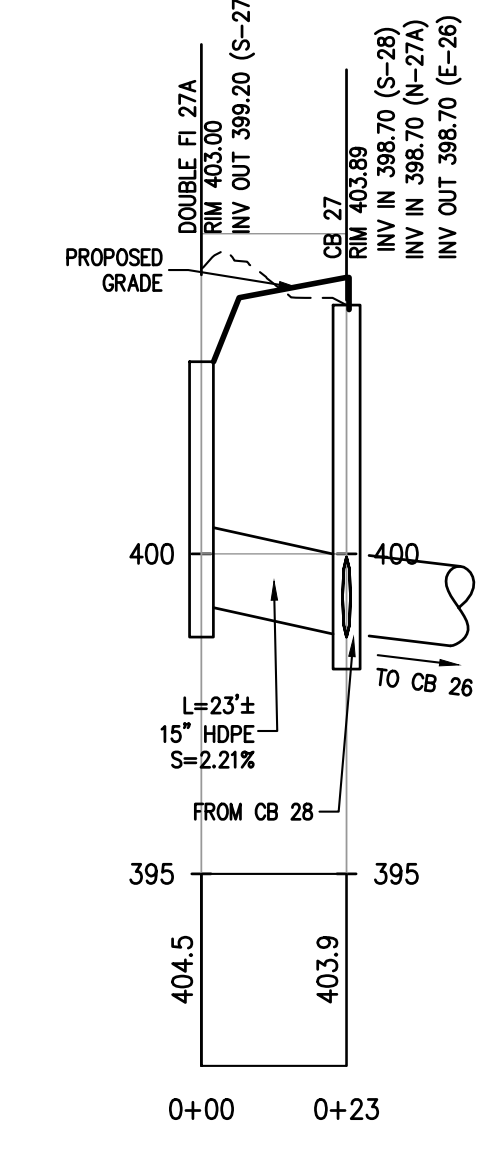
PROFILE
CB 28 TO CB 21B
SCALE: H. 1"=30', V. 1"=3'



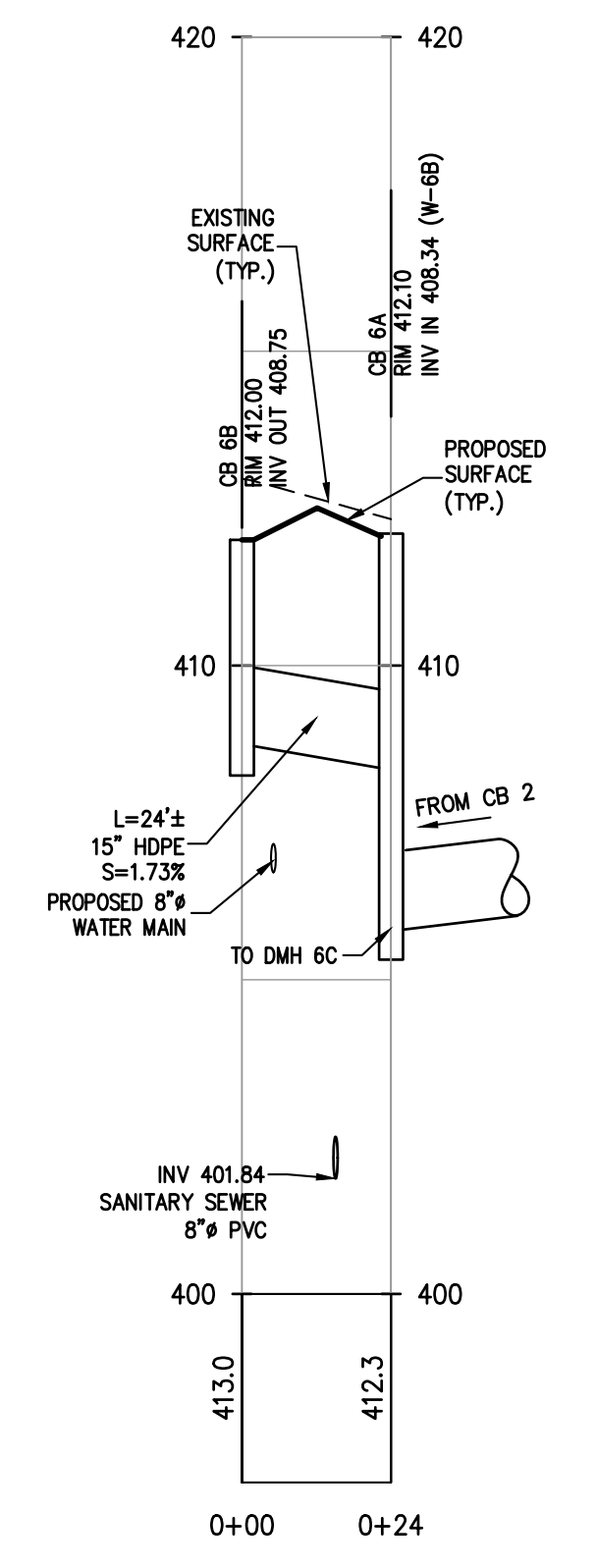
PROFILE
CB 22 TO CB 17B
SCALE: H. 1"=30', V. 1"=3'



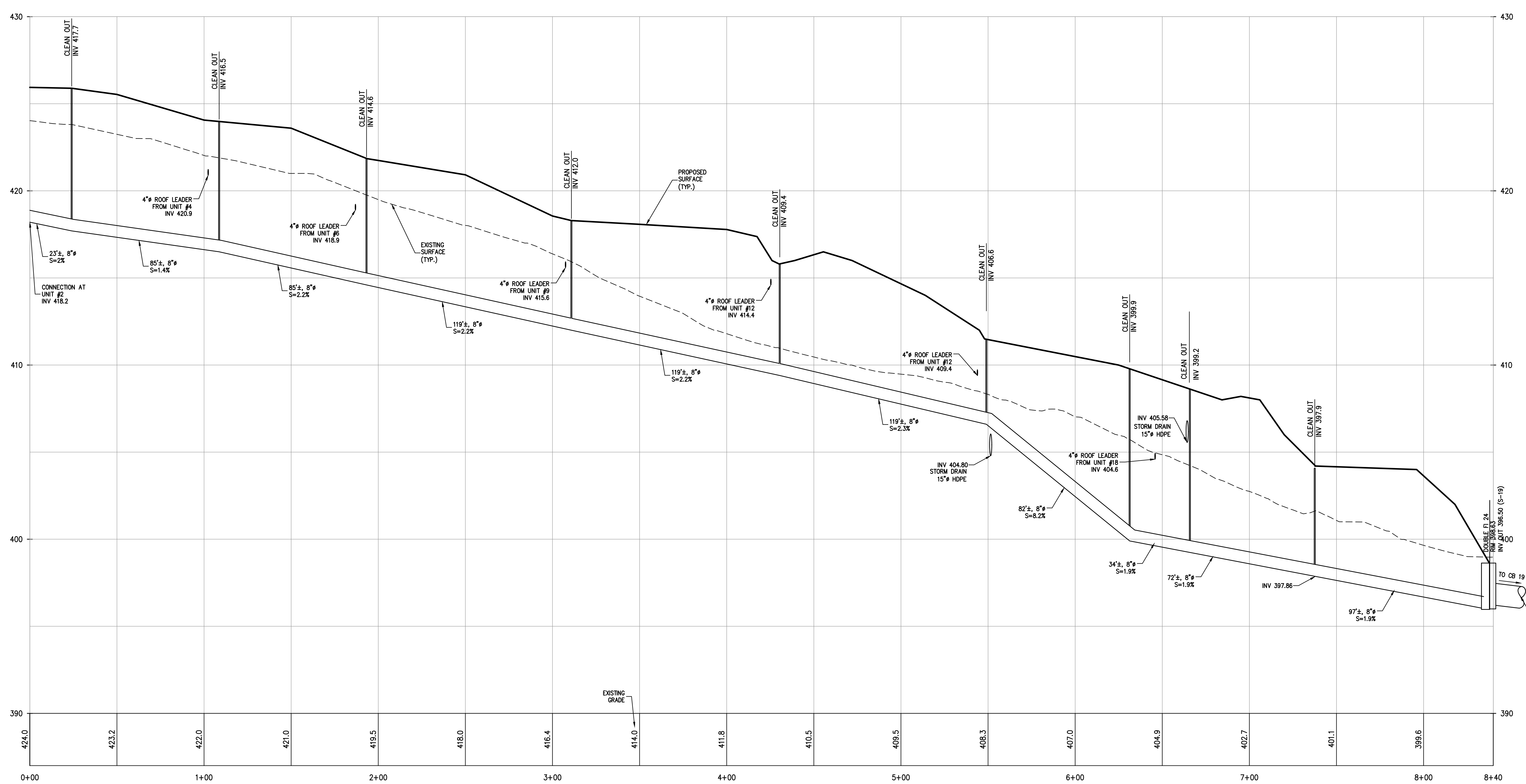
PROFILE
OS 25 TO CB 26
SCALE: H. 1"=30', V. 1"=3'



PROFILE
FI #27A TO CB 27
SCALE: H. 1"=30', V. 1"=3'



PROFILE
CB #6B TO CB 6A
SCALE: H. 1"=30', V. 1"=3'



PROFILE
UNDERDRAIN SYSTEM FROM UNIT #2 TO FI 24
SCALE: H. 1"=30', V. 1"=3'

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

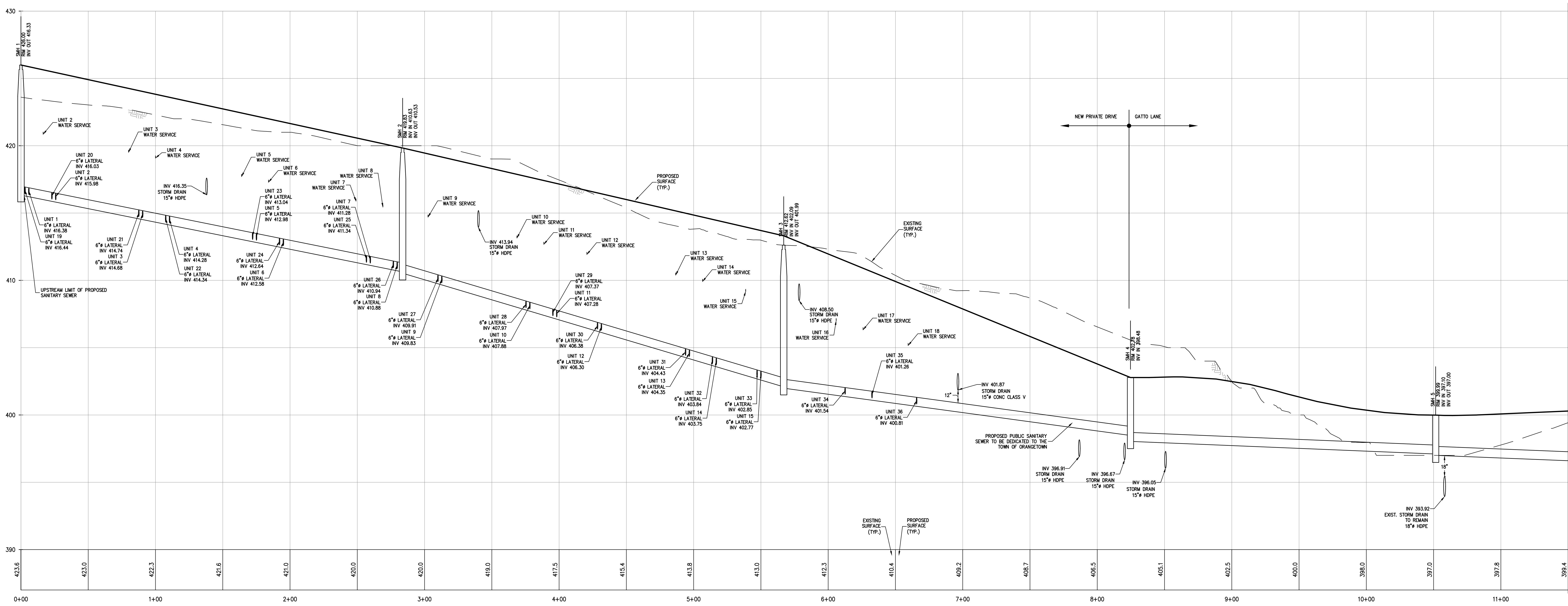
BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
FINAL STORM DRAINAGE PROFILES (3 of 3)

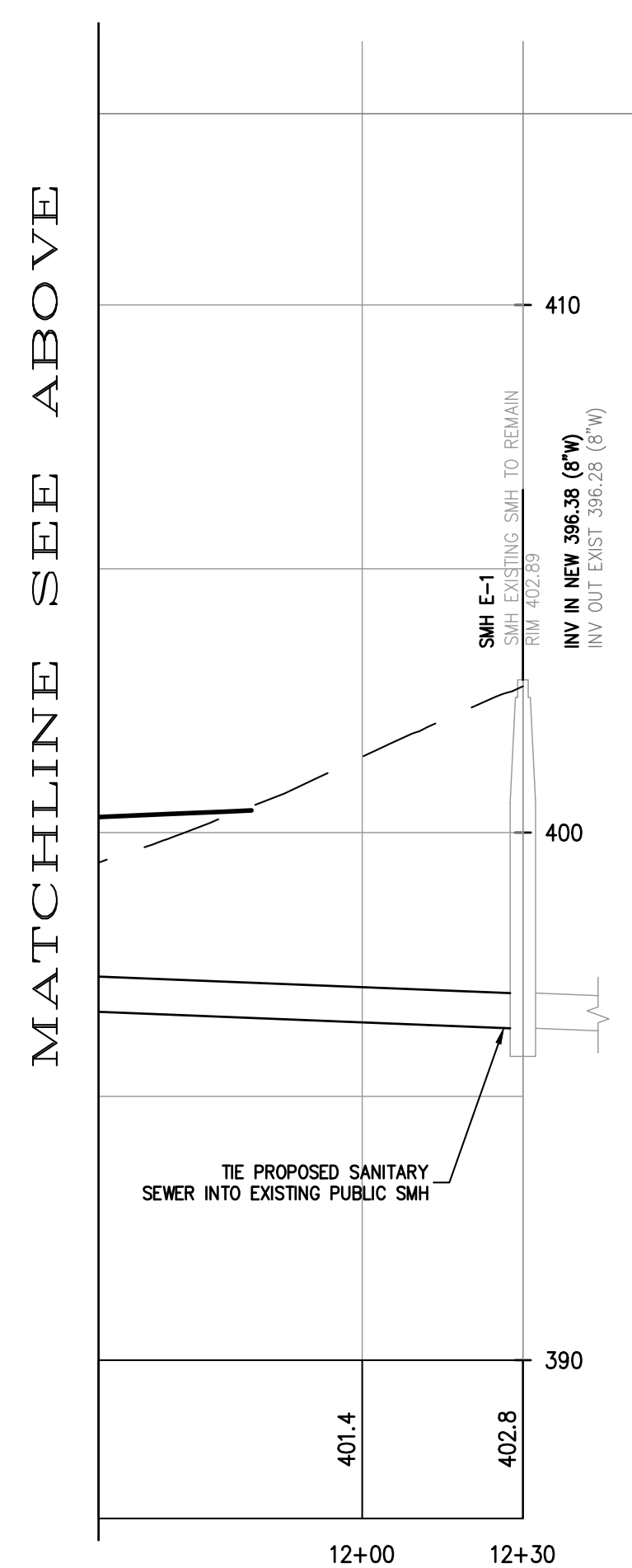
PROJECT NO: 20231
DRAIN: XC
CHECKED: KD
SCALE: 1" = 30'
GRAPHIC SCALE: 0 30' 60'
DATE: 11/10/2022
DRAWING NO: 8B

KENNETH H. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



PROFILE - PROPOSED PUBLIC SANITARY SEWER
 SMH 1 TO SMH 5
 SCALE: HORIZ. 1"=30'
 SCALE: VERT. 1"=3'

NOTE:
 ALL HOUSE CONNECTIONS FROM CLEANOUT TO
 SANITARY SEWER ARE 6" PVC PIPES



PROFILE - PROPOSED PUBLIC SANITARY SEWER
 SMH 5 TO EX SMH
 SCALE: H. 1"=30', V. 1"=3'

NOTE:
 ALL HOUSE CONNECTIONS FROM CLEANOUT TO
 SANITARY SEWER ARE 6" PVC PIPES

MATCHLINE SEE BELOW

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
 UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE
 N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
 www.BrookerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 884-1221

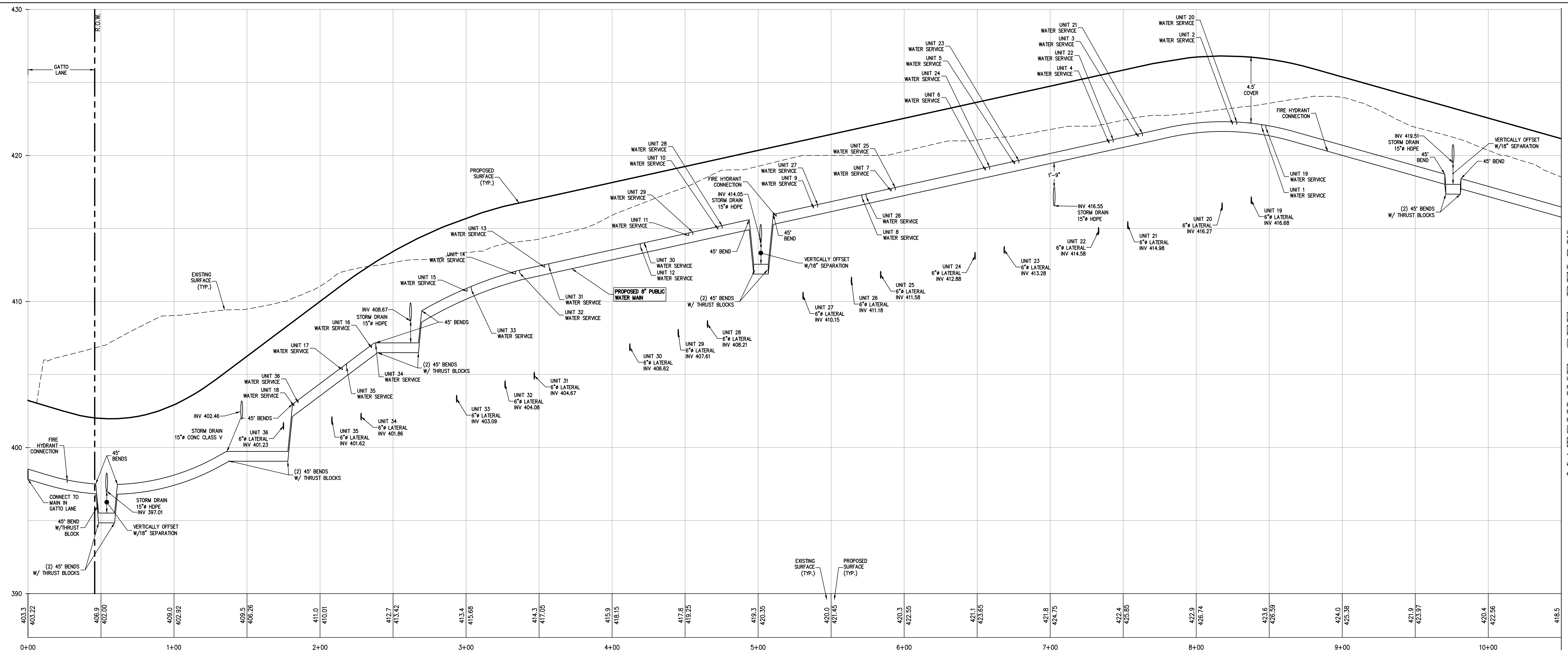
GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE: **FINAL SANITARY SEWER PROFILES**

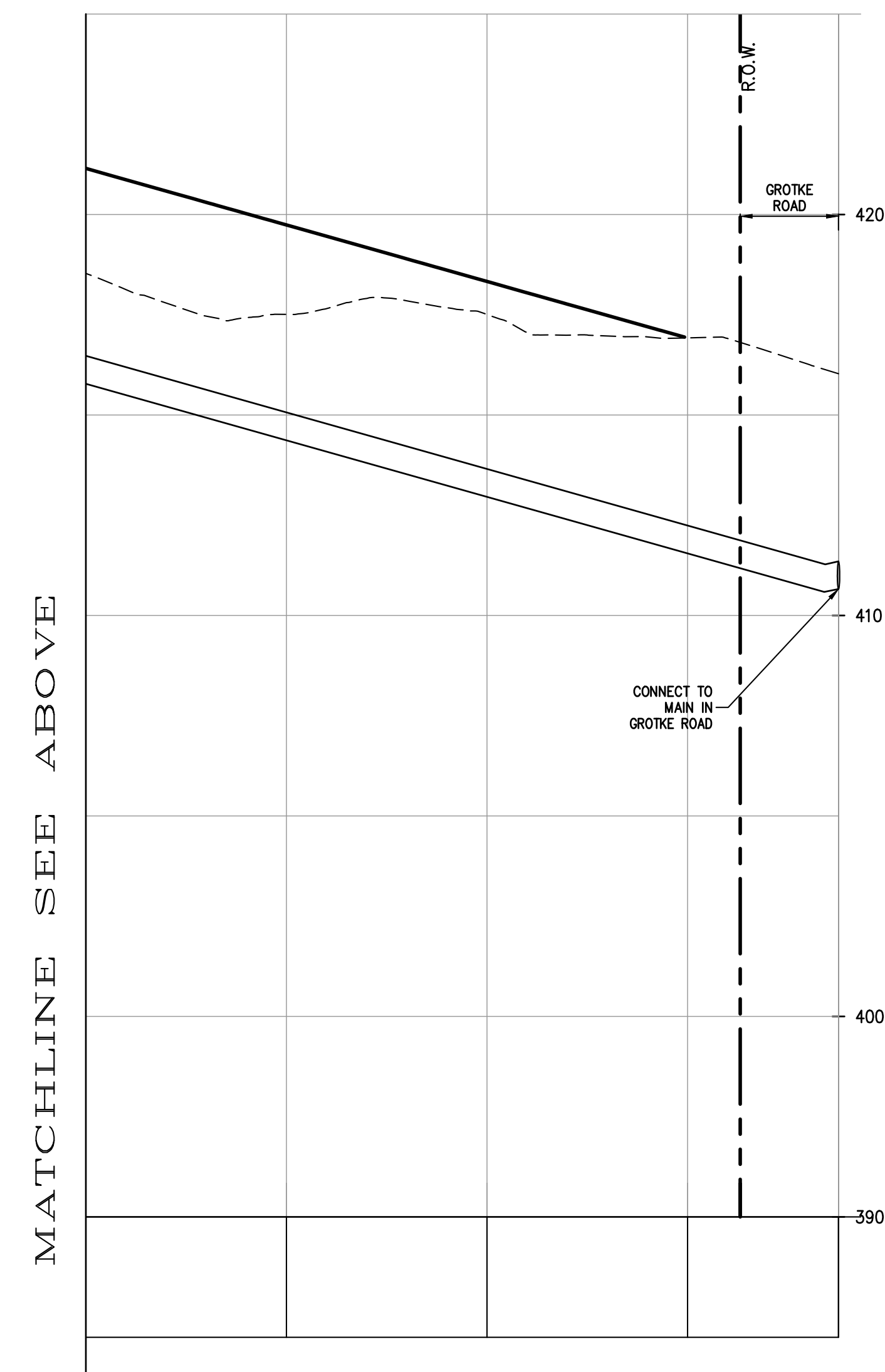
PROJECT NO: 20231
 DRAWN: XC
 CHECKED: KD
 SCALE: 1" = 30'
 GRAPHIC SCALE: 0, 30, 60'
 DATE: 11/10/2022
 DRAWING NO: 9

KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214

P:\BIB\20230221 Gatto Ln Site Plan_Dwg\Rev7\GATTO LANE SITE PLAN.TB.dwg, 4/29/2024, 2:40:53 PM, Polina Shtina



PROFILE
WATER MAIN
STA. 0+00 TO STA. 10+50
SCALE: H. 1"=30', V. 1"=3'



PROFILE
WATER MAIN
STA. 10+50 TO STA. 12+43
SCALE: H. 1"=30', V. 1"=3'

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

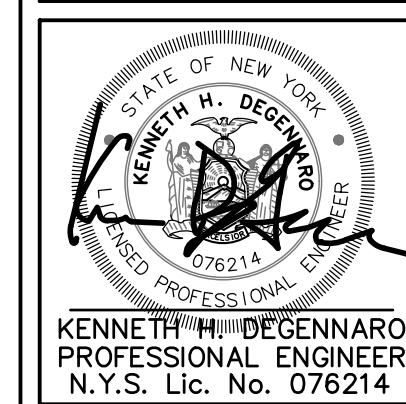
DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2006, SUBSECTION 2.

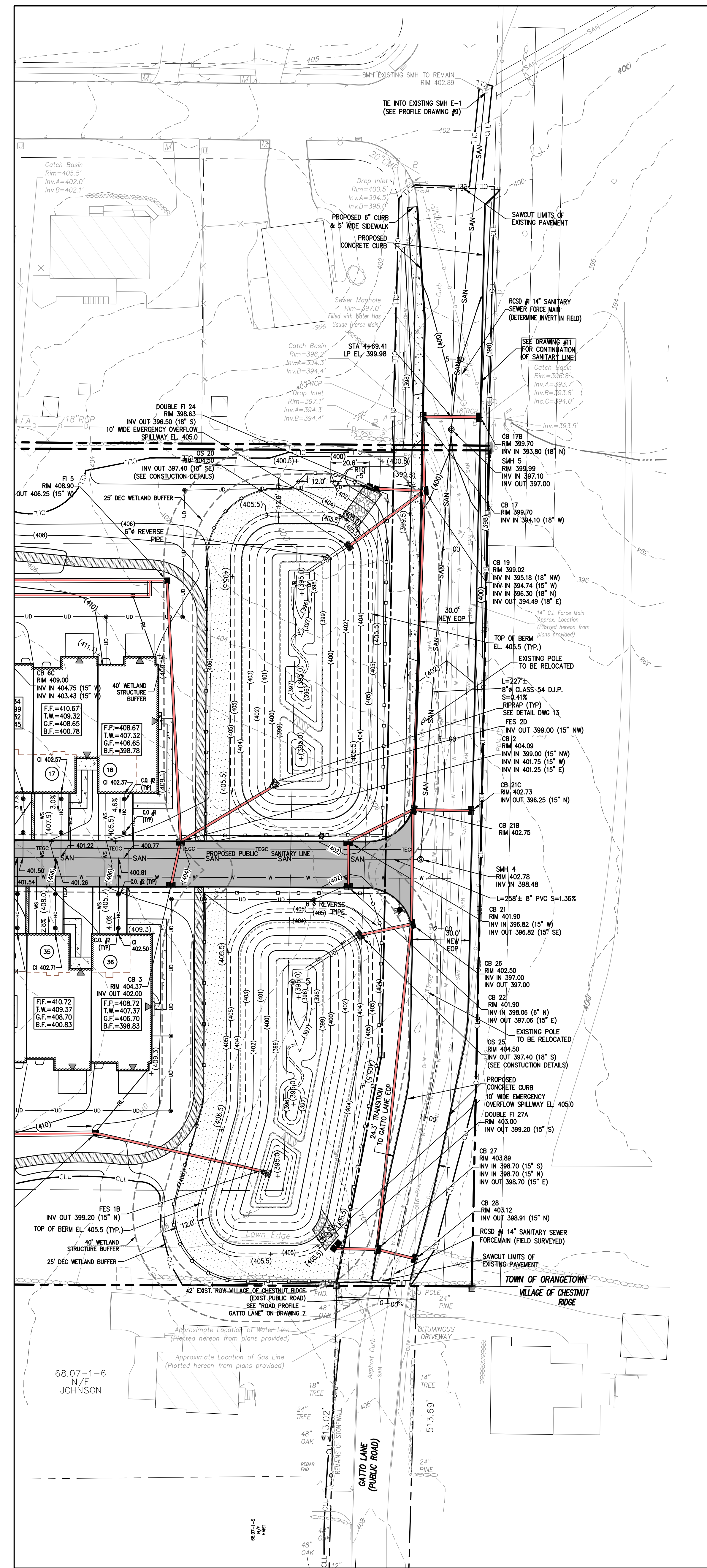
BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 884-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
FINAL WATER MAIN PROFILES

PROJECT NO: 20231 DRAIN: XC CHECKED: KD
SCALE: 1" = 30'
GRAPHIC SCALE: 0 30' 60'
DATE: 11/10/2022 DRAWING NO: 10





LEGEND

DRAINAGE PIPE	---
SANITARY SEWER PIPE	---
HOUSE CONNECTION	---
WATER MAIN	---
WATER SERVICE	---
UNDERDRAIN PIPE	---
ROOT DRAIN	---
REVERSE PIPE (OUTLET STRUCTURE)	---
SEWER HOUSE LATERAL	---
TELE. GAS, ELECTRIC SERVICE	---
PROPERTY LINE	---
EASEMENT LINE	---
CURB	---
SETBACK	---
CLEAN OUT	---
SANITARY SEWER MANHOLE	---
CATCH BASIN	---
OUTLET STRUCTURE	---
DRAINAGE MANHOLE	---
FLAME END SECTION	---
UTILITY POLE	---
SIGN	---
HYDRANT	---
WATER VALVE	---
RIP-RAP PAD	---
CONTOUR LINE	---
SPOT ELEVATION	---
FIRST FLOOR ELEVATION	---
TOP OF FOUNDATION WALL	---
SECOND FLOOR ELEVATION	---
BASEMENT FLOOR ELEVATION	---
SANITARY CAST IRON INVERT	---
DRAINAGE FLOW ARROWS	---
CONCRETE ENCASED WATER MAIN	---
CLEARING LIMIT LINE	---
SPLIT RAIL FENCE	---

- NOTES:**
1. THE PROPOSED PUBLIC SANITARY SEWER MAIN CONSTRUCTION SHALL BE "TYED", TESTED, AND THE MANHOLES VACUUM TESTED IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO THE PROPOSED NEW MAIN BEING TIED INTO THE TOWN SYSTEM.
 2. TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES.

NOTE:
TOTAL AREA OF DISTURBANCE 8.65 ACRES
(SEE DRAWING #5 FOR DELINEATION)

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIERS COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7009, SUBSECTION 2.

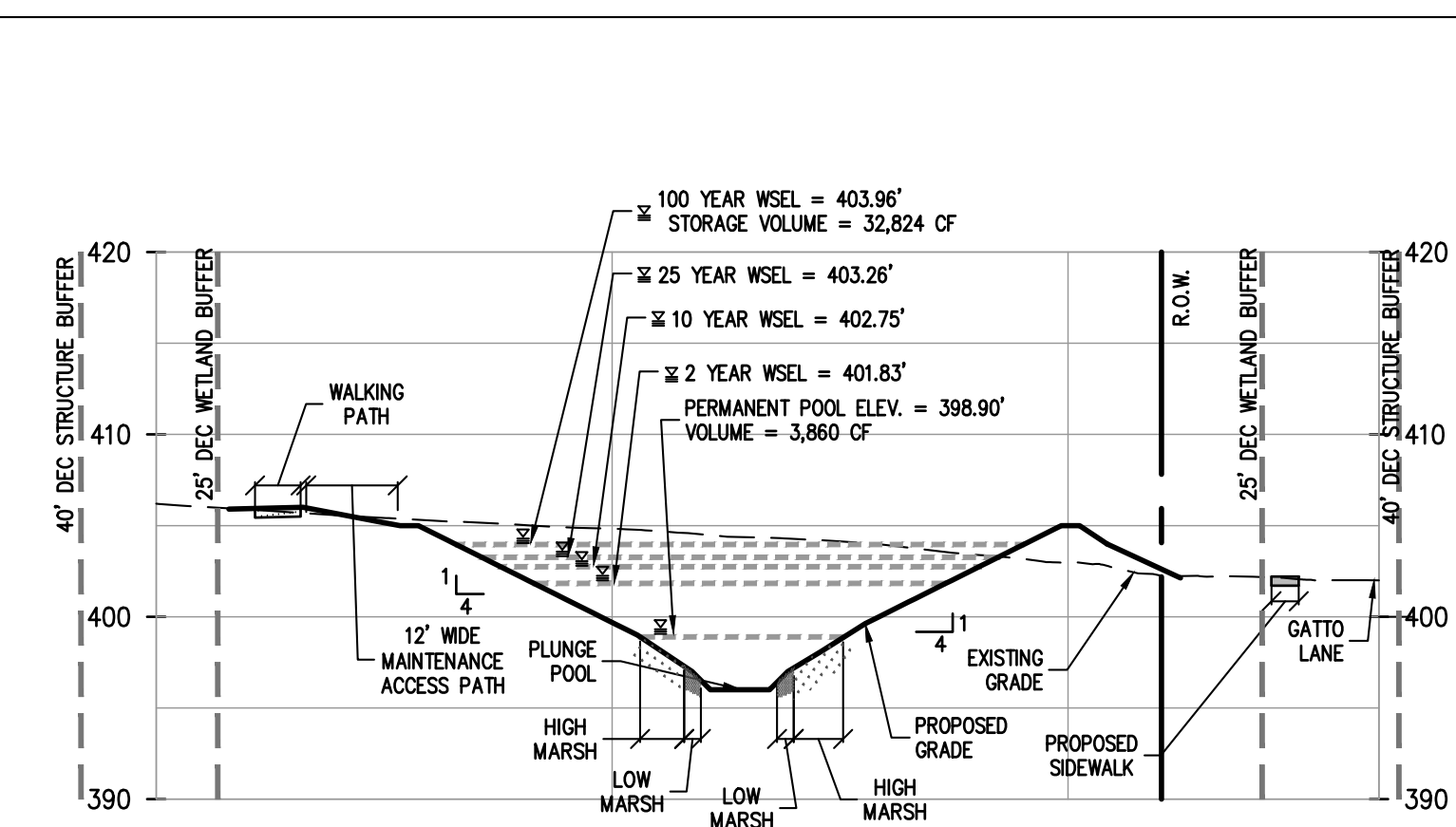
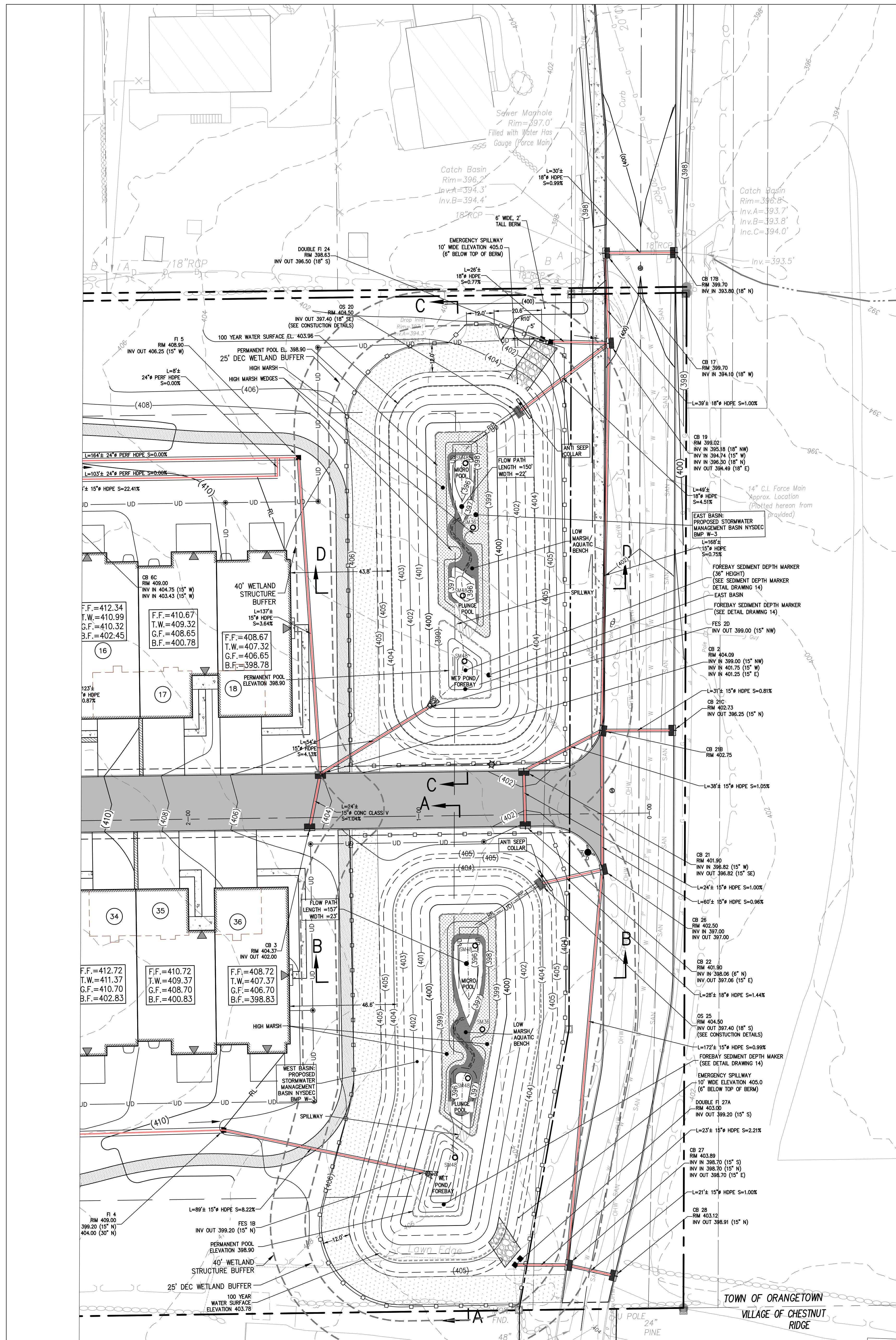
BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
 www.BrookerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockleigh, NJ 07847 (201) 884-1221

GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

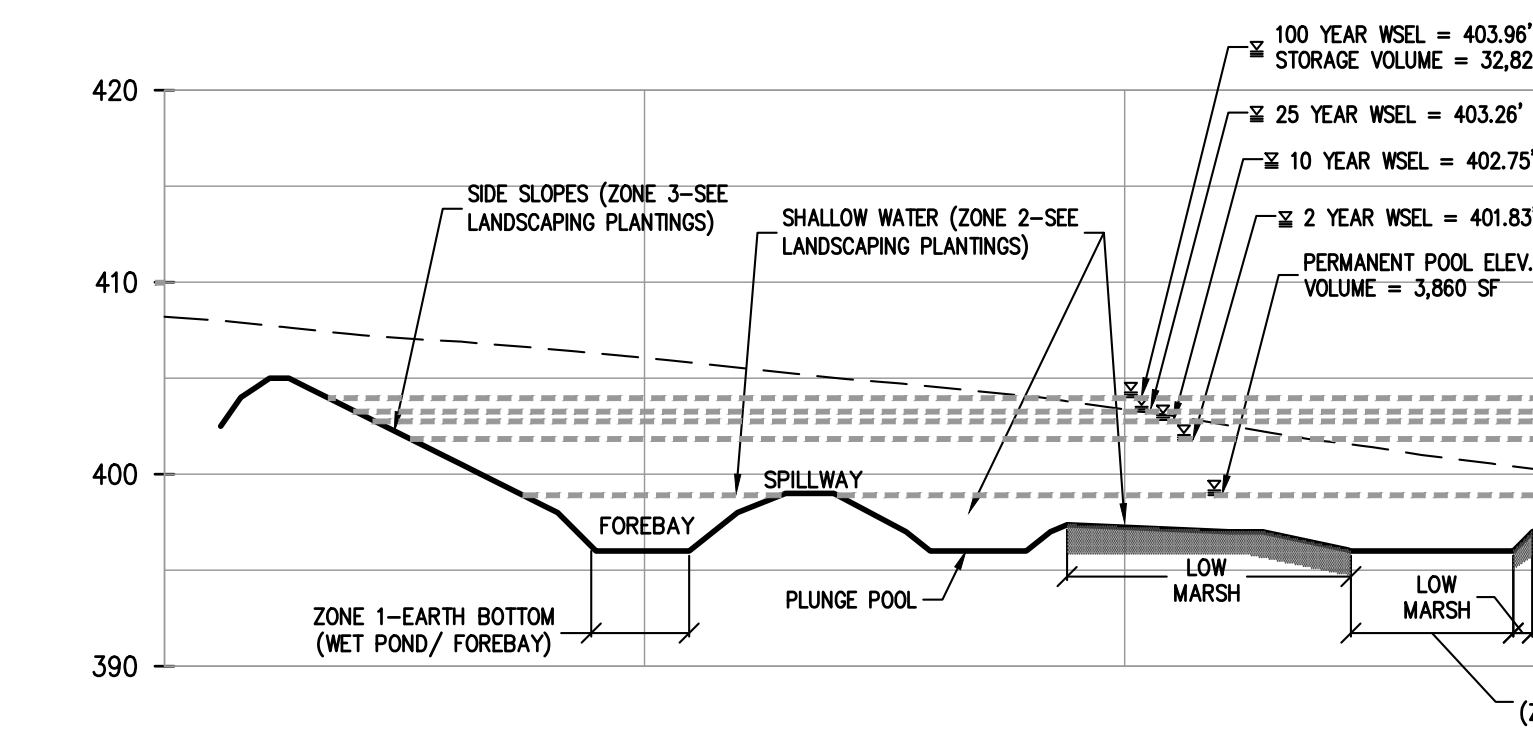
TITLE: **FINAL GATTO LANE IMPROVEMENT PLAN**

PROJECT NO: 20231
 SCALE: 1" = 30'
 GRAPHIC SCALE: 0 30 60'
 DATE: 11/10/2022
 DRAWING NO: 11

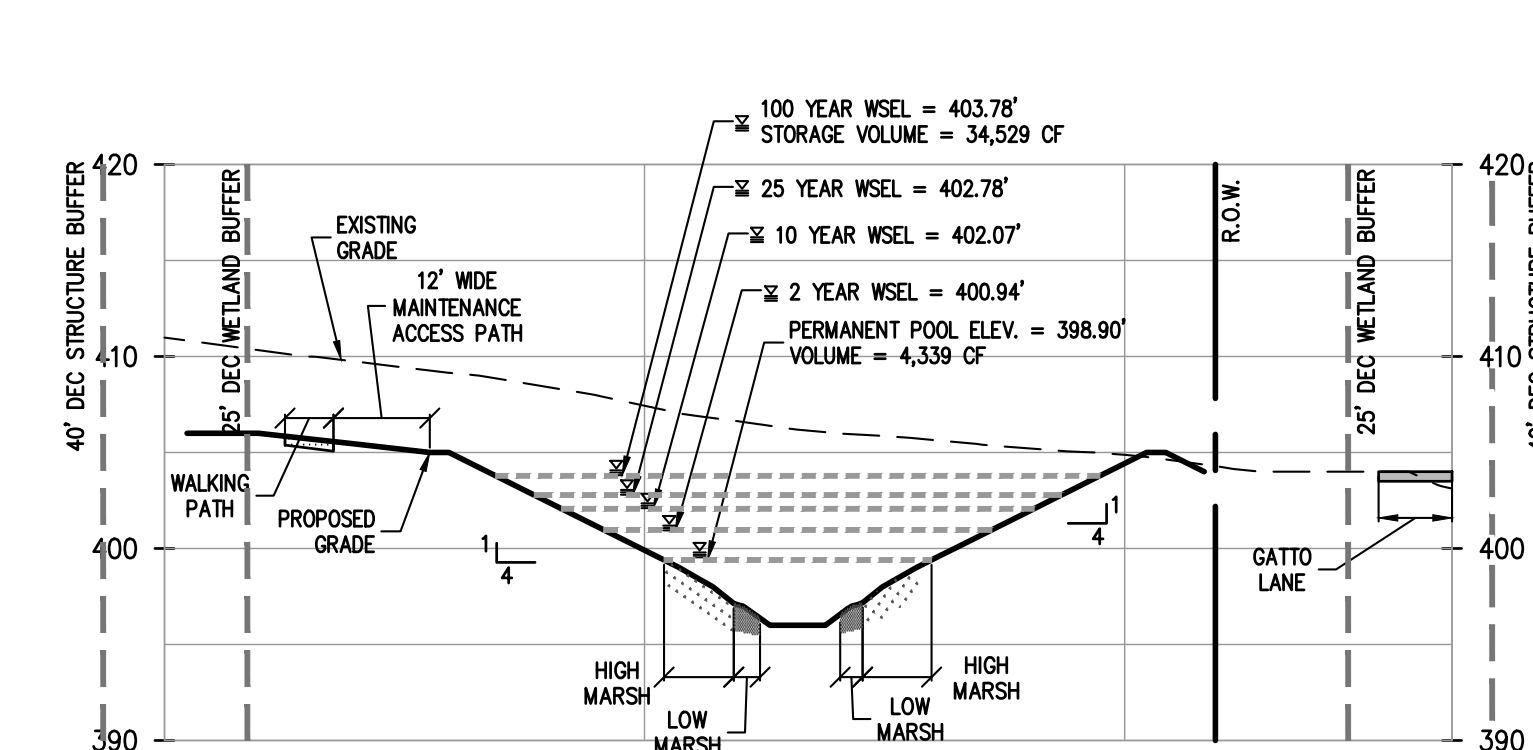
KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214



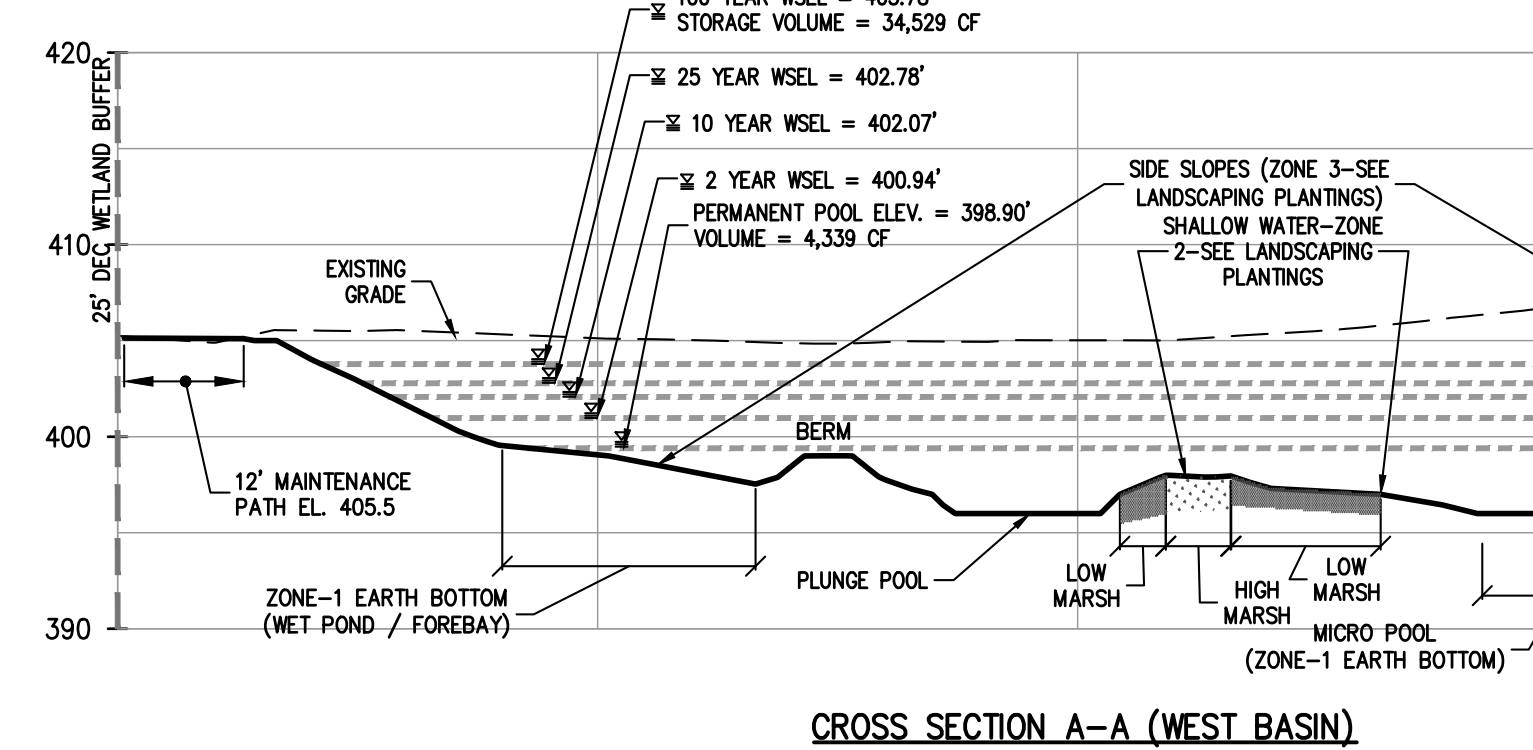
CROSS SECTION D-D (EAST BASIN)
SCALE: H. 1"=20', V. 1"=10'



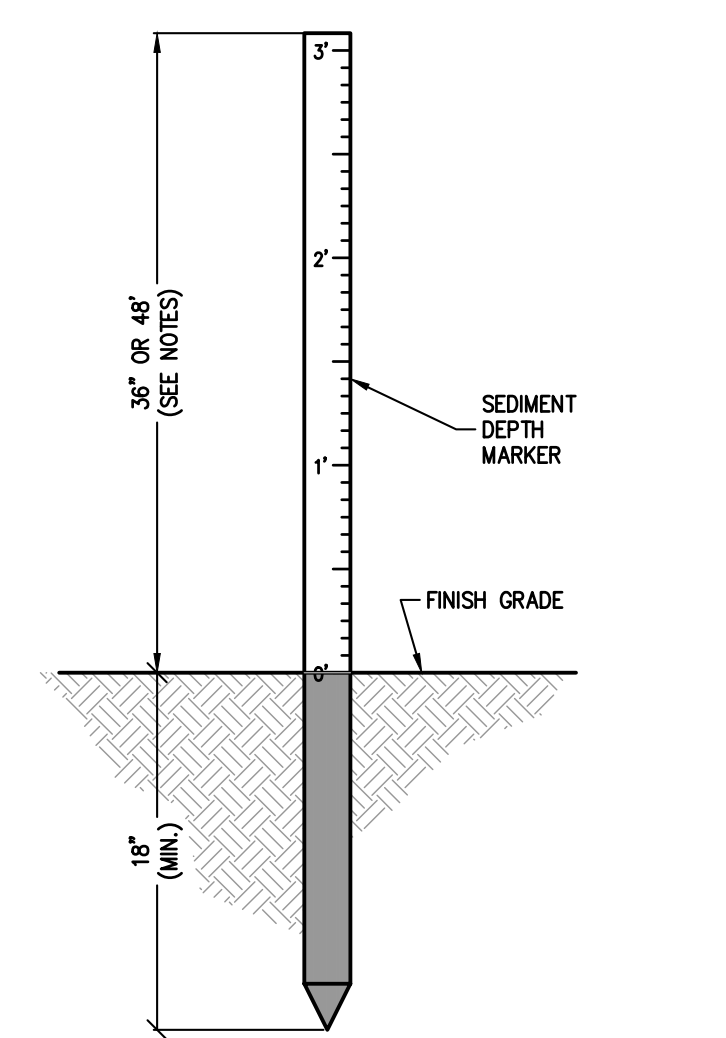
CROSS SECTION C-C (EAST BASIN)
SCALE: H. 1"=20', V. 1"=10'



CROSS SECTION B-B (WEST BASIN)
SCALE: H. 1"=20', V. 1"=10'



CROSS SECTION A-A (WEST BASIN)
SCALE: H. 1"=20', V. 1"=10'



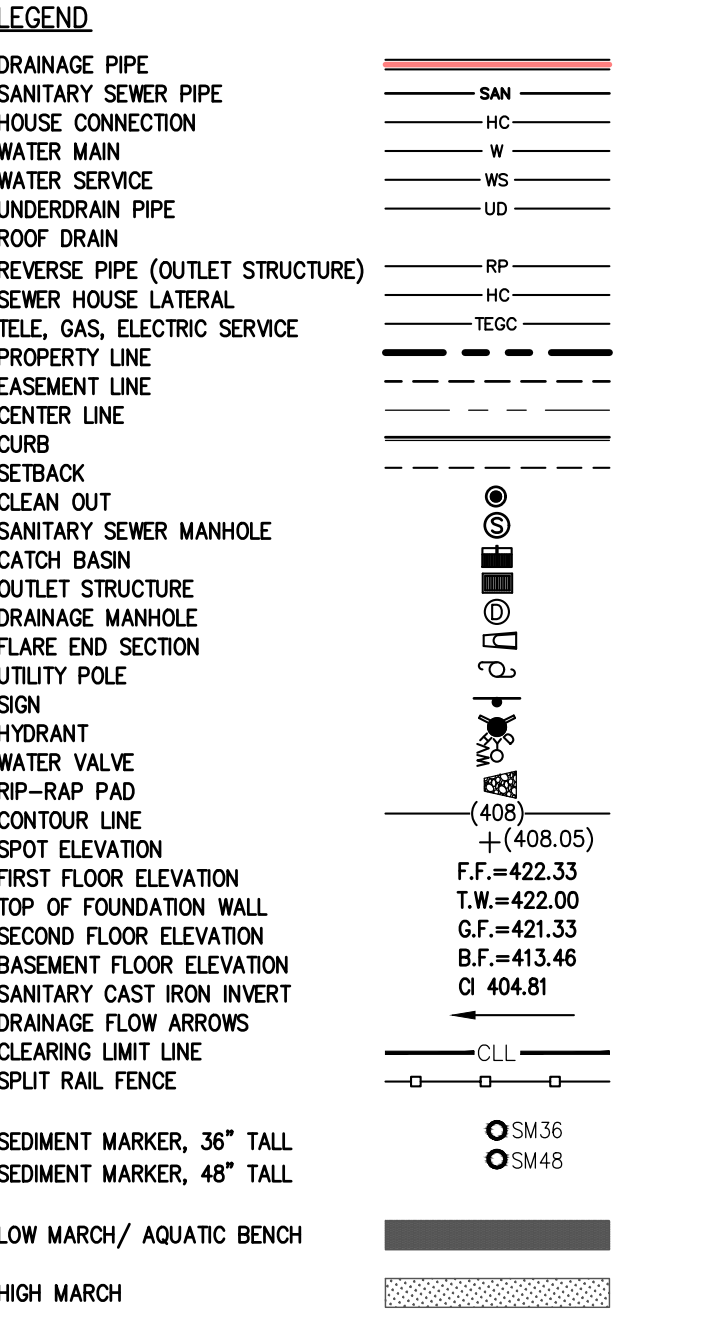
SEDIMENT DEPTH MARKER DETAIL
N.T.S.

- NOTES:
1. USE 36" DEPTH MARKERS FOR FOREBAYS, SEDIMENT TRAPS, SHALLOW PERMANENT POOLS
2. USE 48" DEPTH MARKERS FOR DEEP MICRO POOLS



POST CONSTRUCTION STORMWATER MANAGEMENT PRACTICE SIGN
N.T.S.

- NOTES:
1. MOUNT SIGN AT GATE FOR EACH POND



REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901
22 Paris Avenue, Suite 105 Rockleigh, NJ 07847
(845) 357-4411 (201) 884-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
FINAL DETENTION BASIN PLAN

PROJECT NO: 20231
SCALE: 1" = 20'
GRAPHIC SCALE: 0' 20' 40'

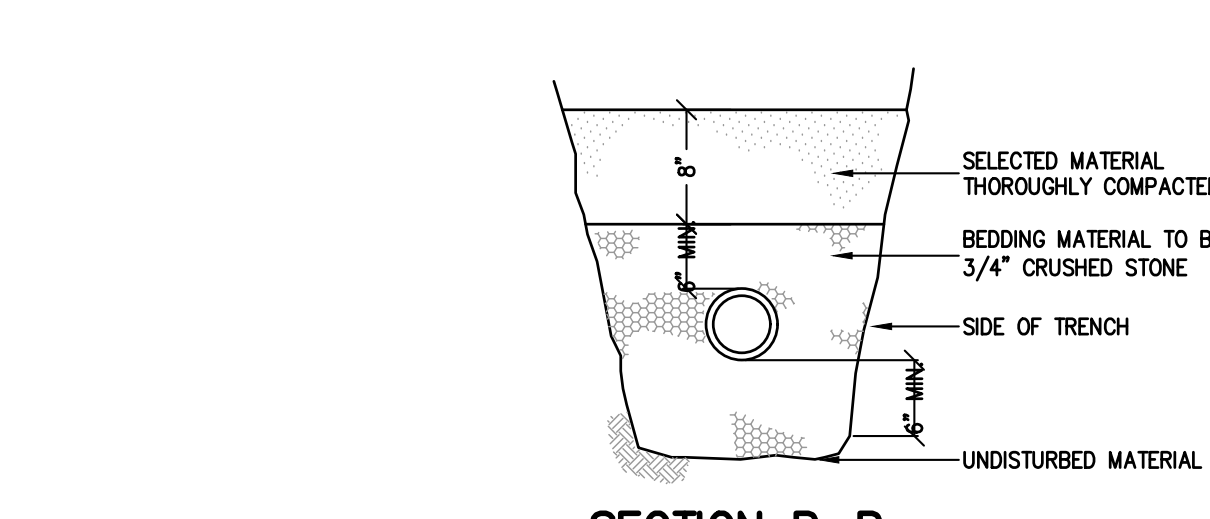
DATE: 11/10/2022
DRAWING NO: 12

PROJECT: 20231
DRAWN: XC
CHECKED: KD

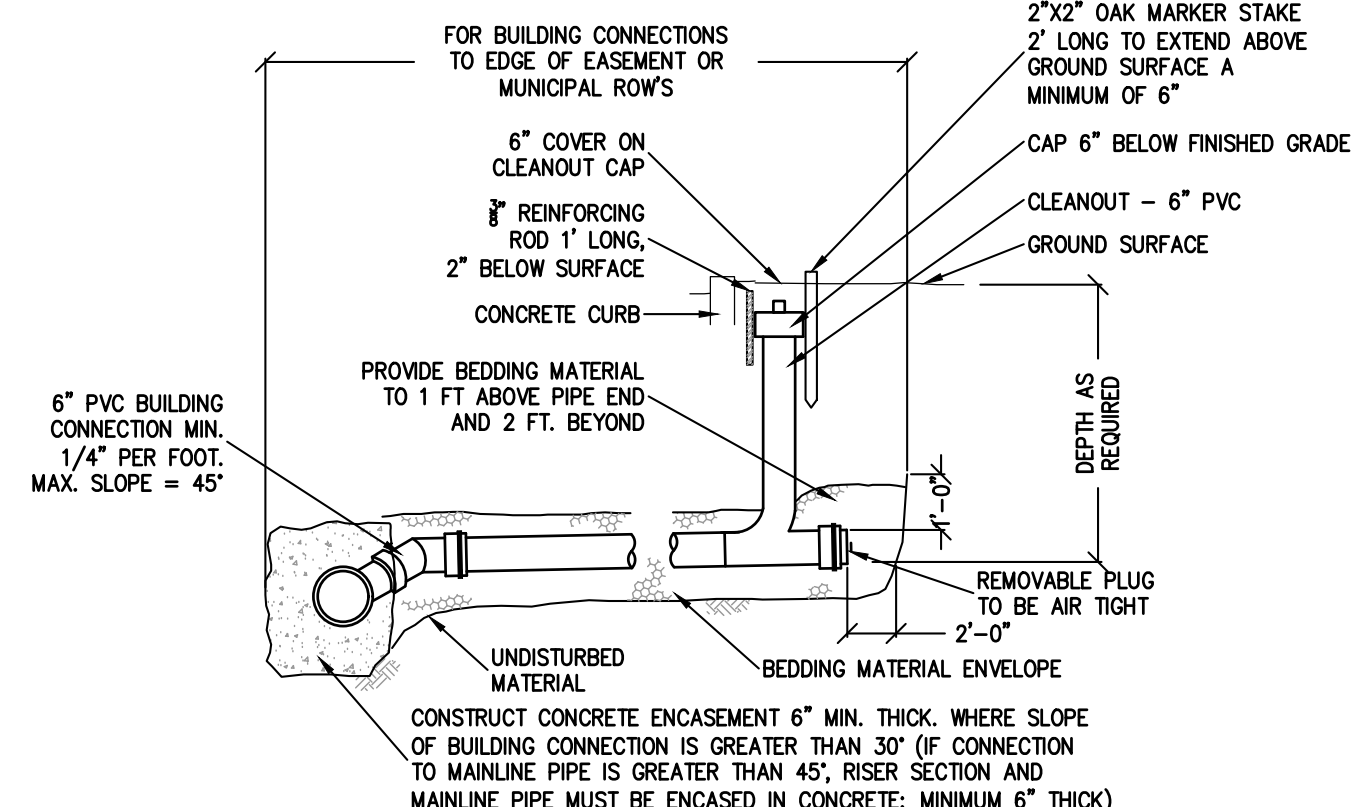
PROJECT: 20231
SCALE: 1" = 20'
GRAPHIC SCALE: 0' 20' 40'

DATE: 11/10/2022
DRAWING NO: 12

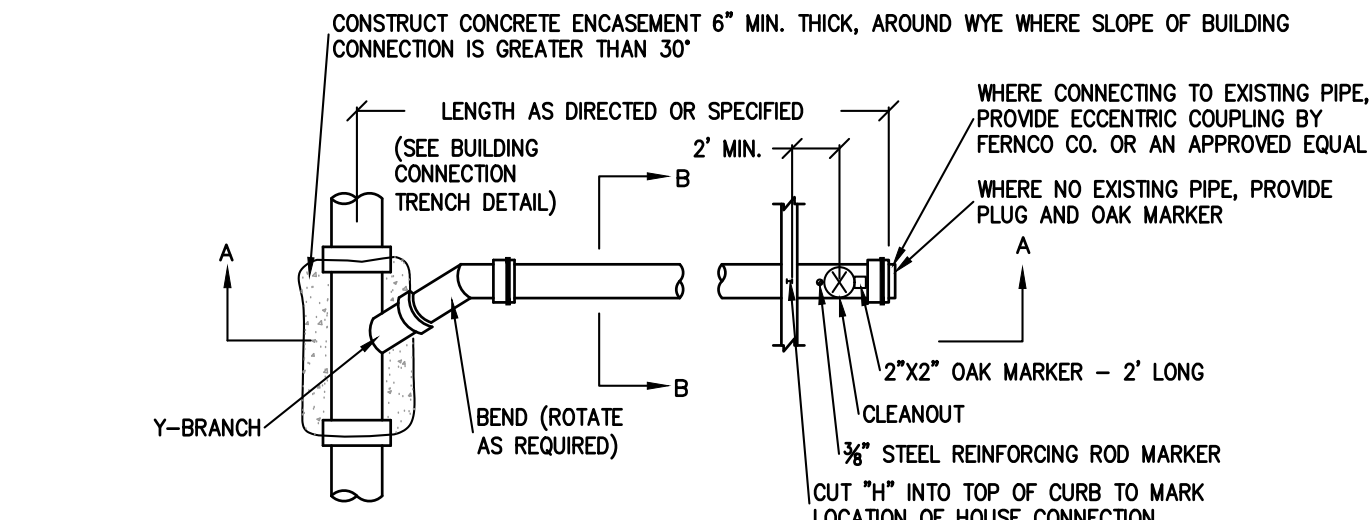
NOTE:
1. SEE LANDSCAPING DRAWINGS 1-3 FOR STORMWATER MANAGEMENT BASIN PLANTINGS & GROUND COVER



SECTION B-B



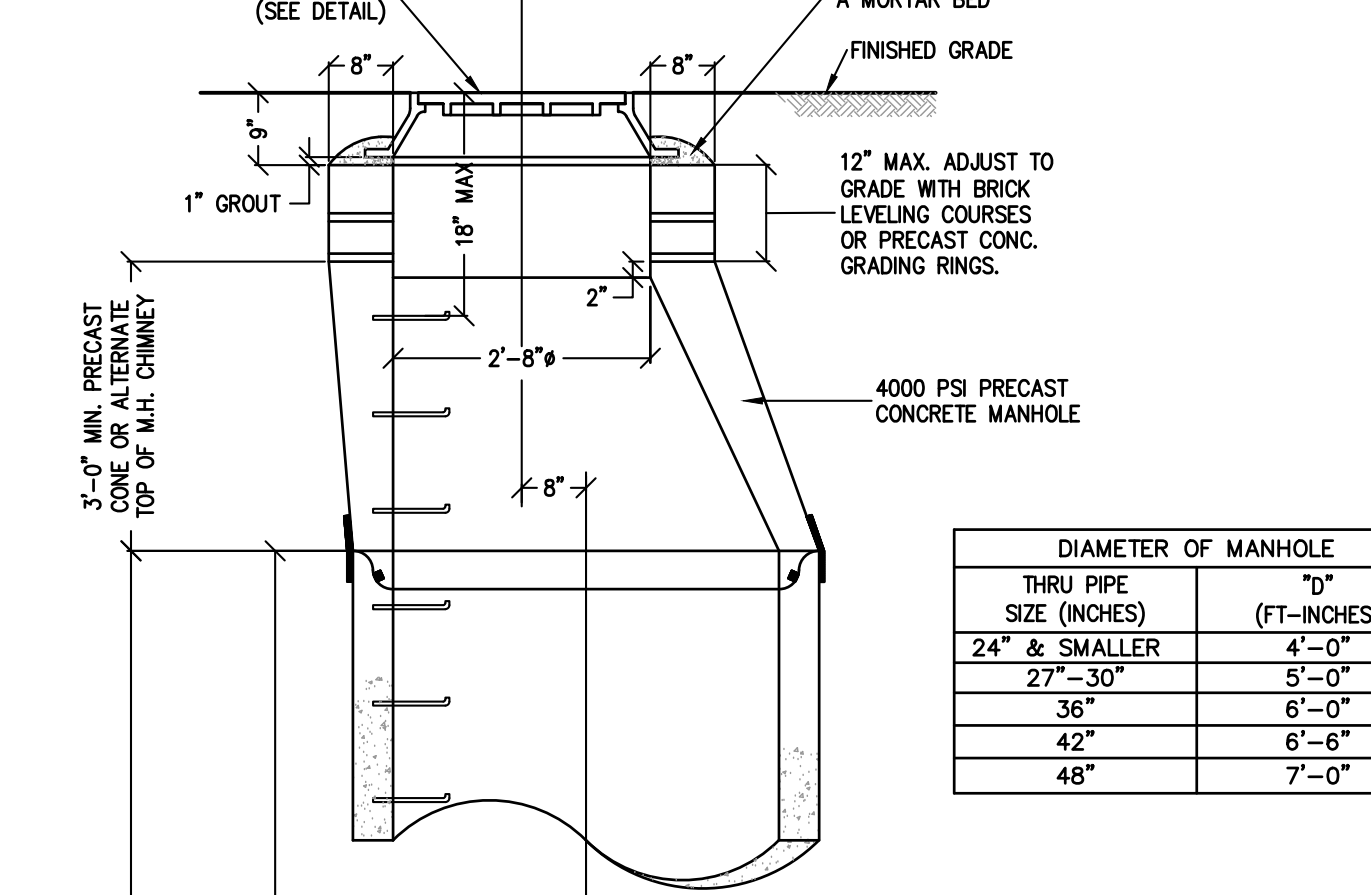
SECTION A-A



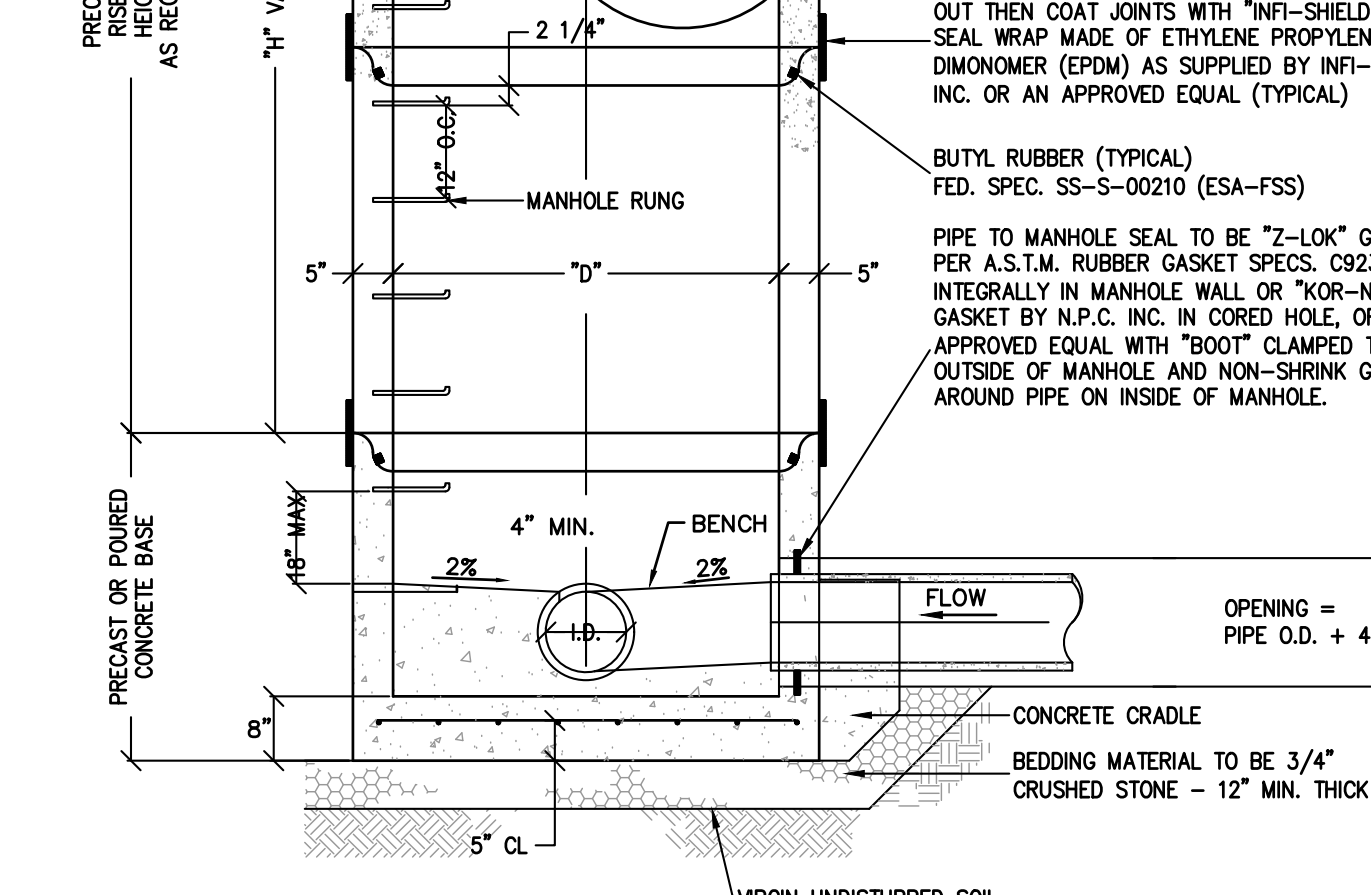
PLAN



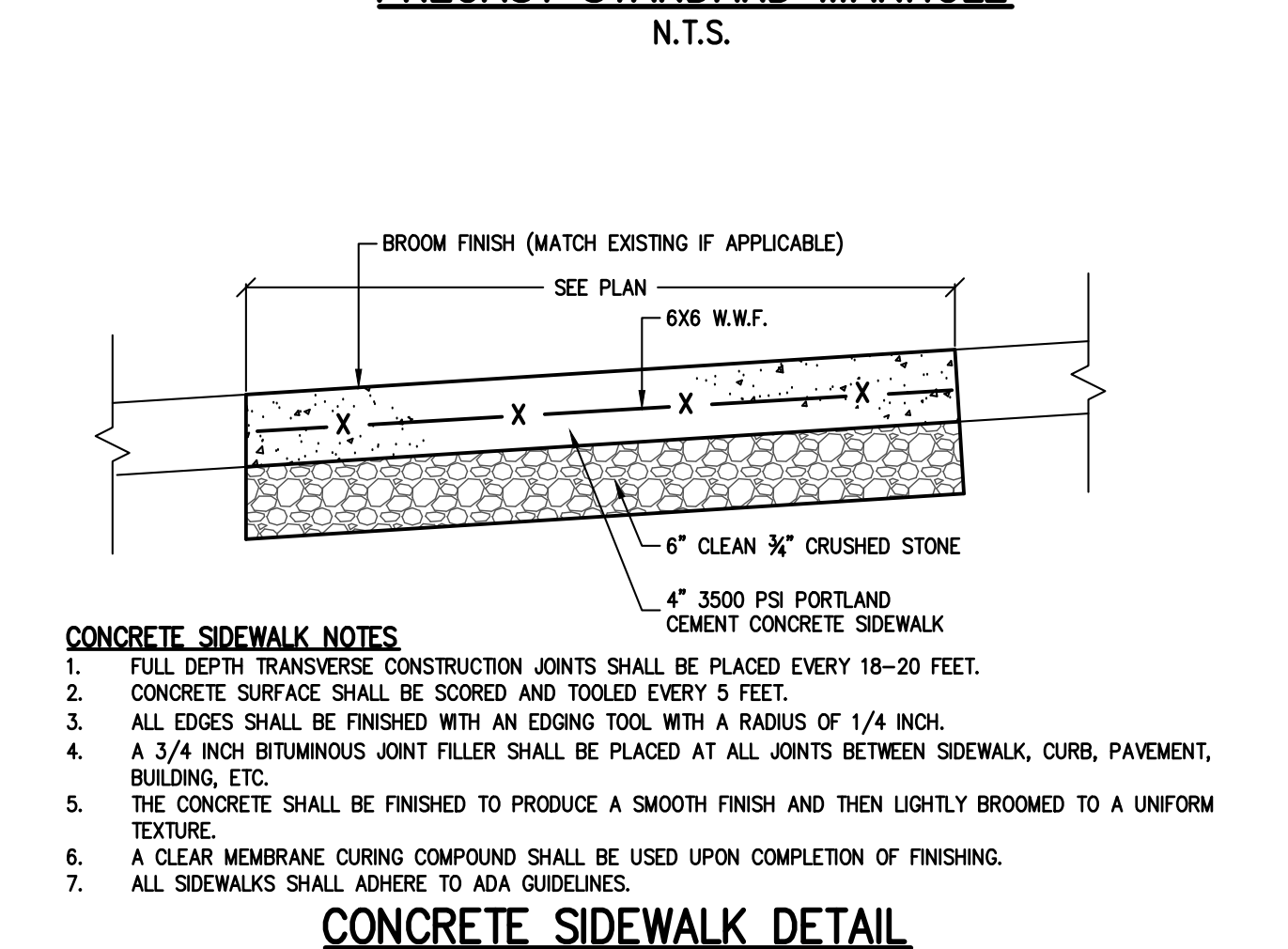
BUILDING CONNECTION DETAILS



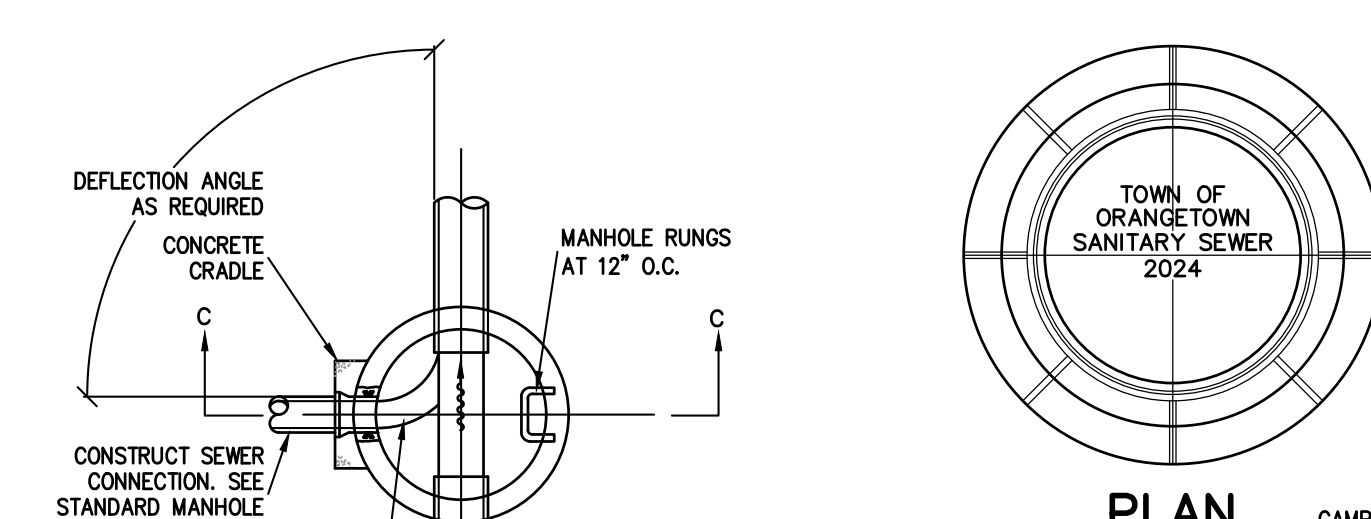
PRECAST STANDARD MANHOLE



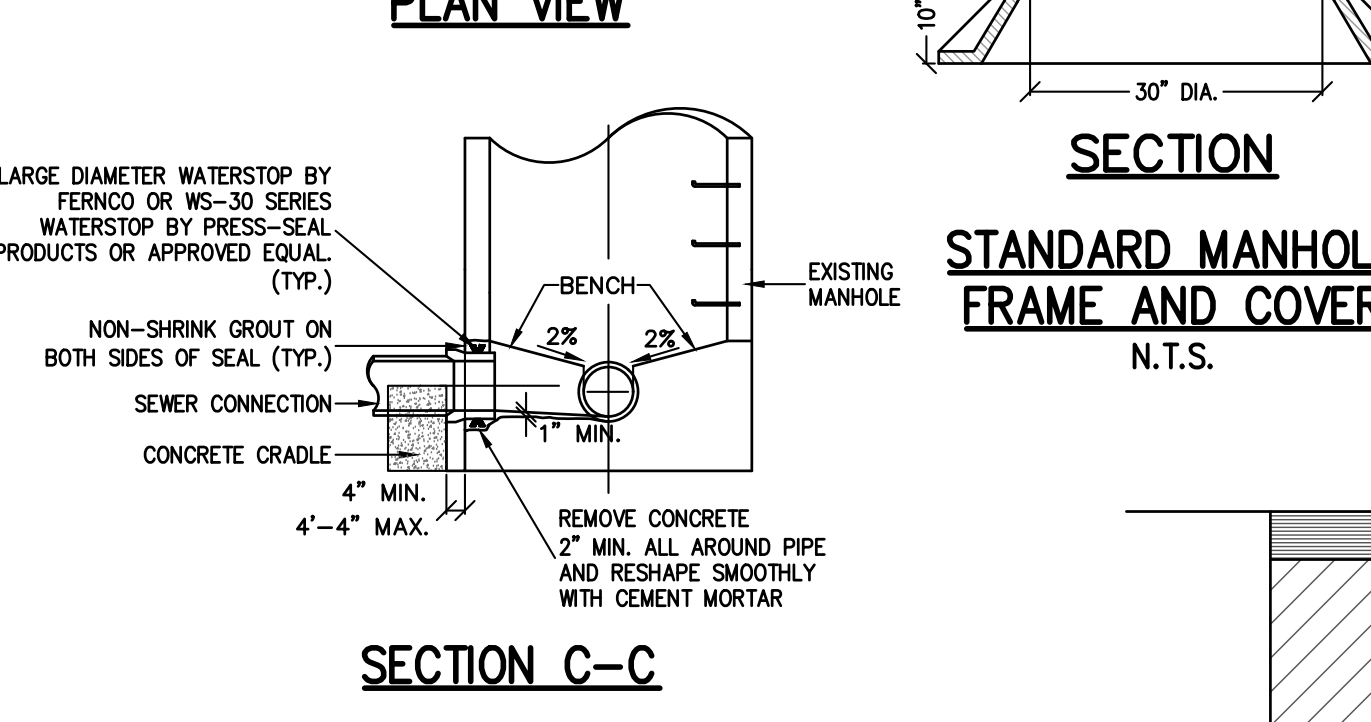
CONCRETE SIDEWALK DETAIL



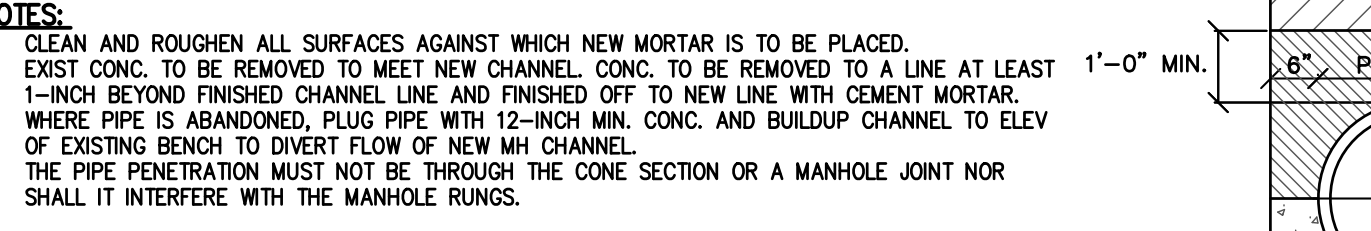
CONCRETE SIDEWALK DETAIL



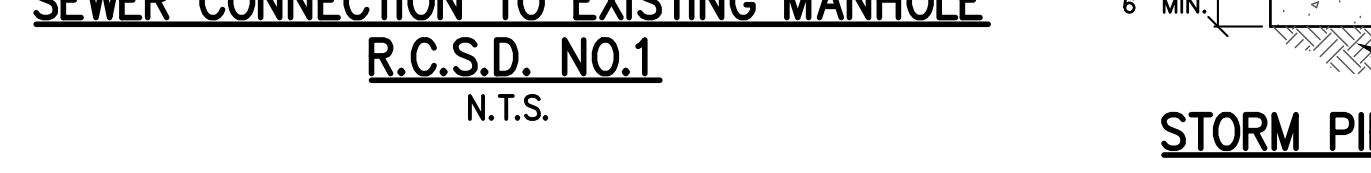
PLAN VIEW



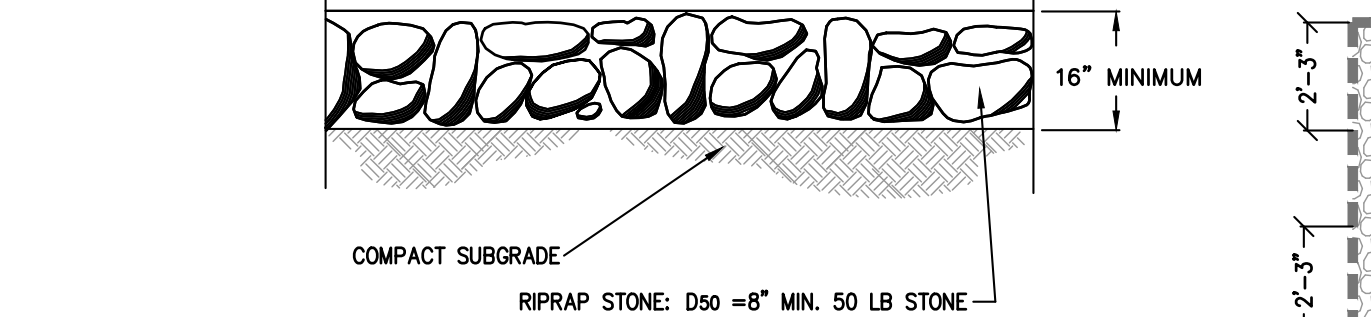
SECTION C-C



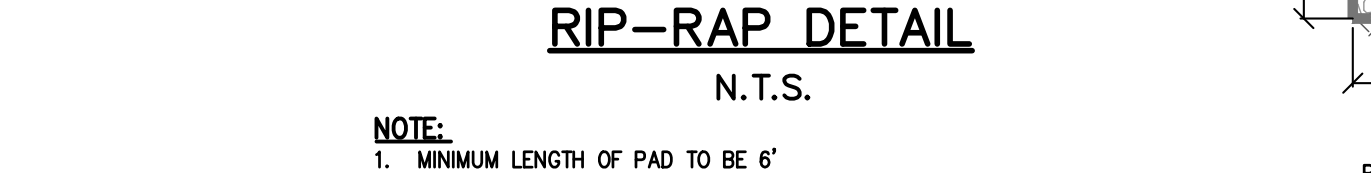
STANDARD MANHOLE FRAME AND COVER



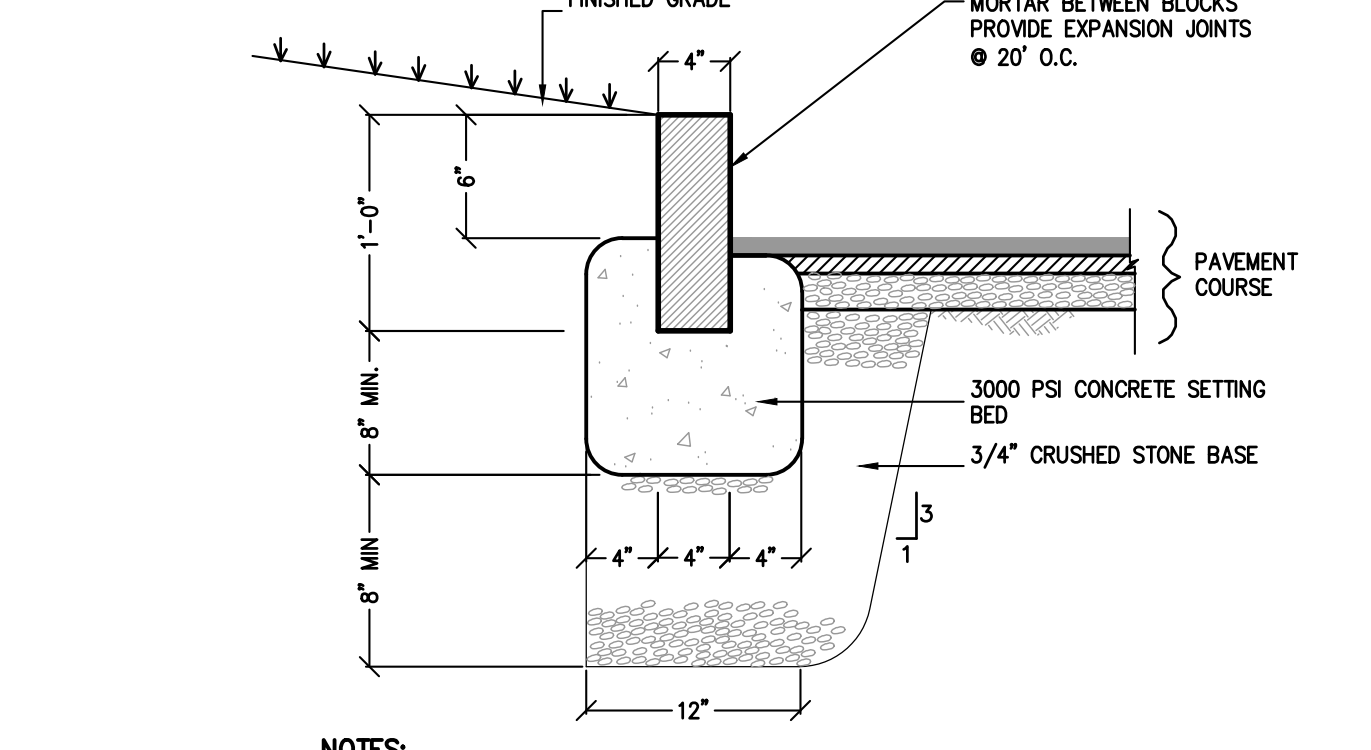
SEWER CONNECTION TO EXISTING MANHOLE



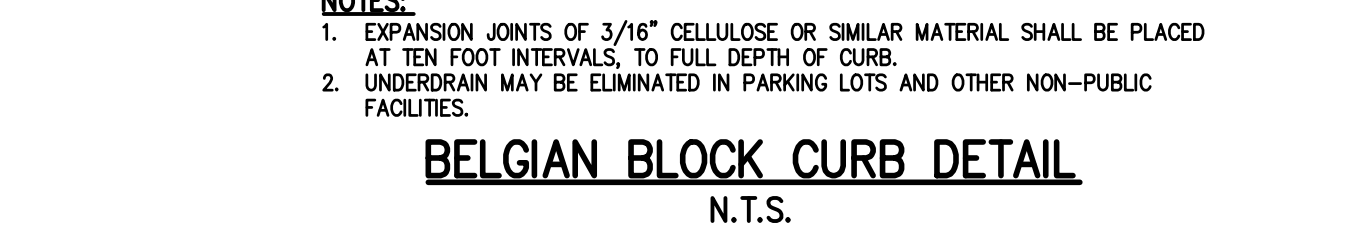
STORM PIPE BEDDING DETAIL



RIP-RAP DETAIL



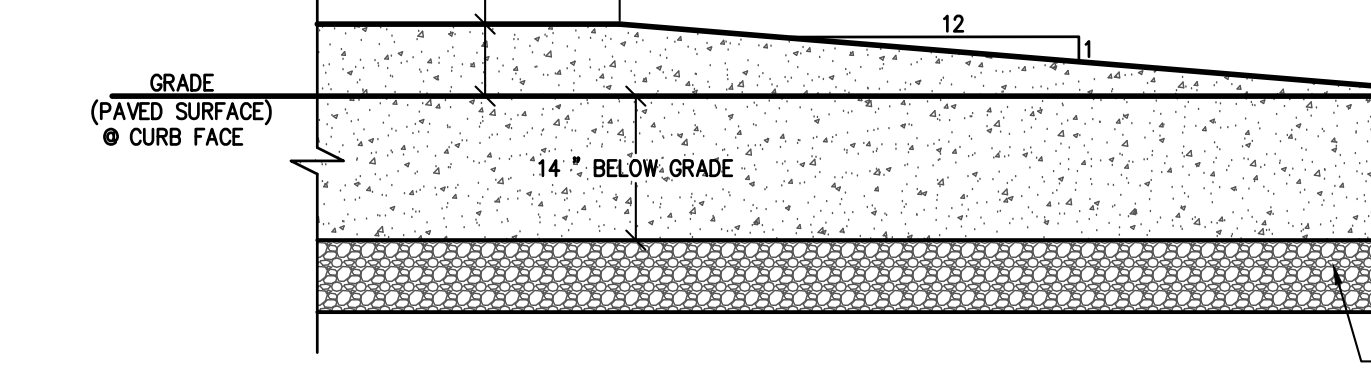
WEST INFILTRATION TRENCH DETAIL



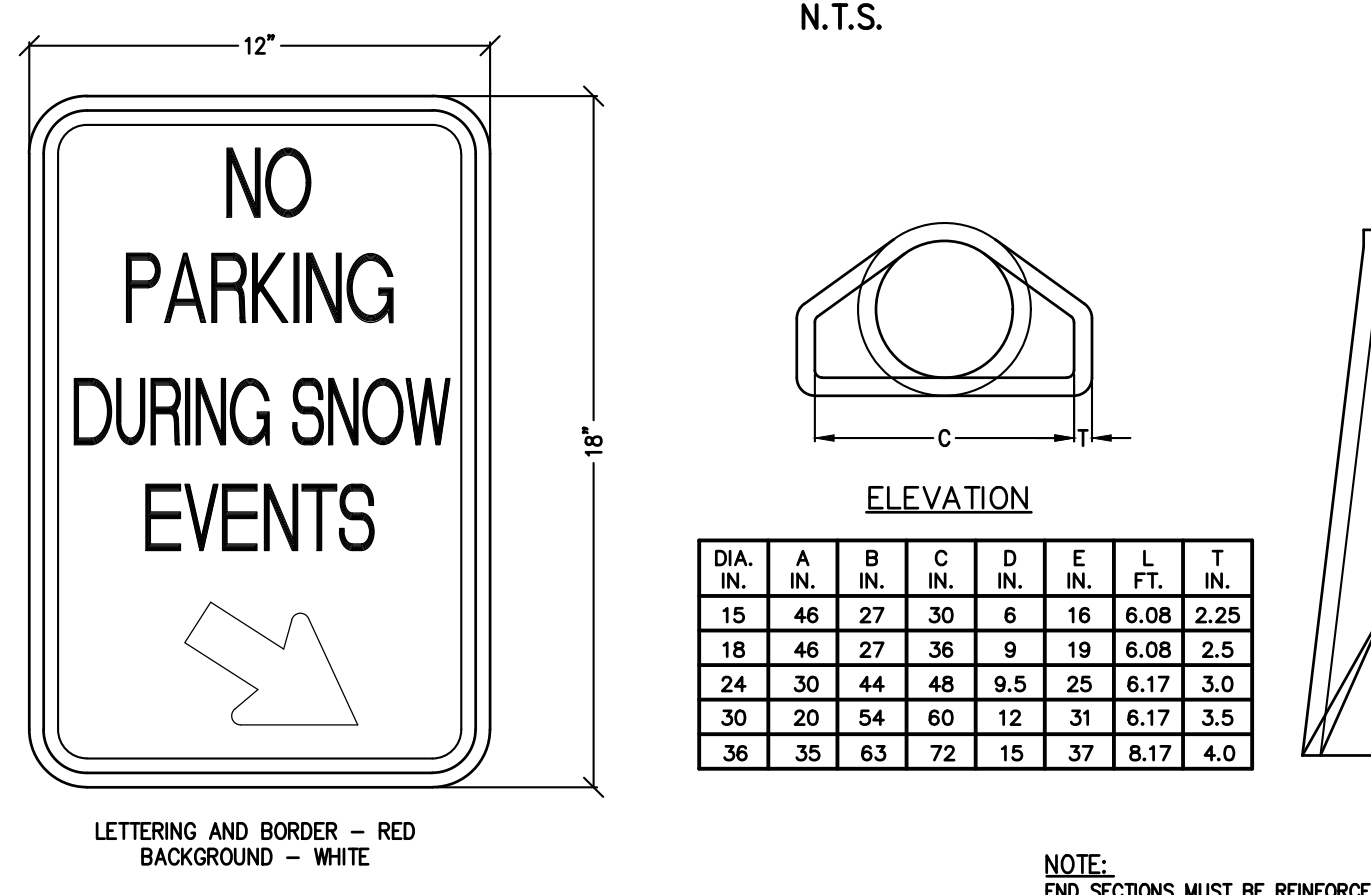
EAST INFILTRATION TRENCH DETAIL



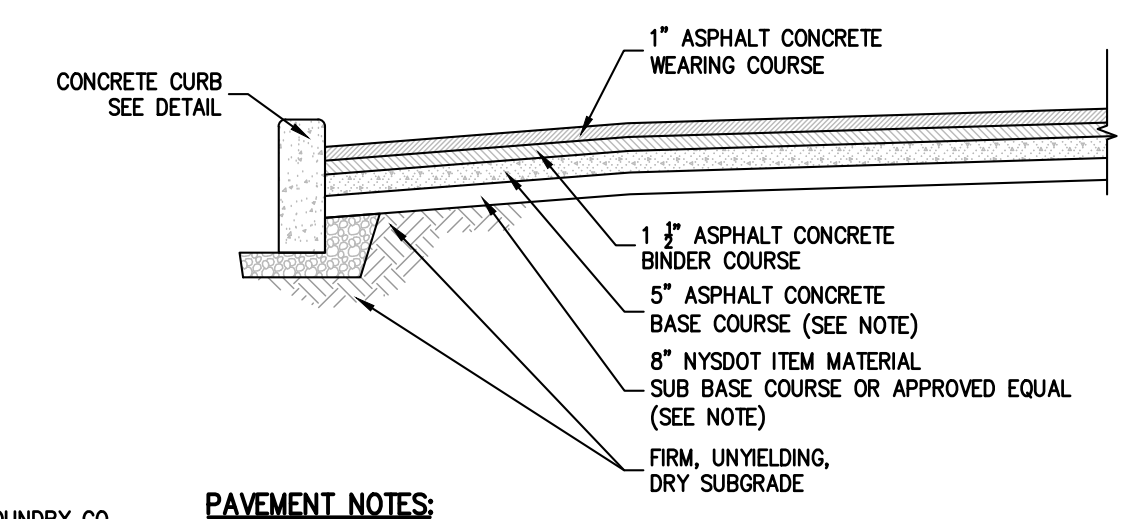
BELGIAN BLOCK CURB DETAIL



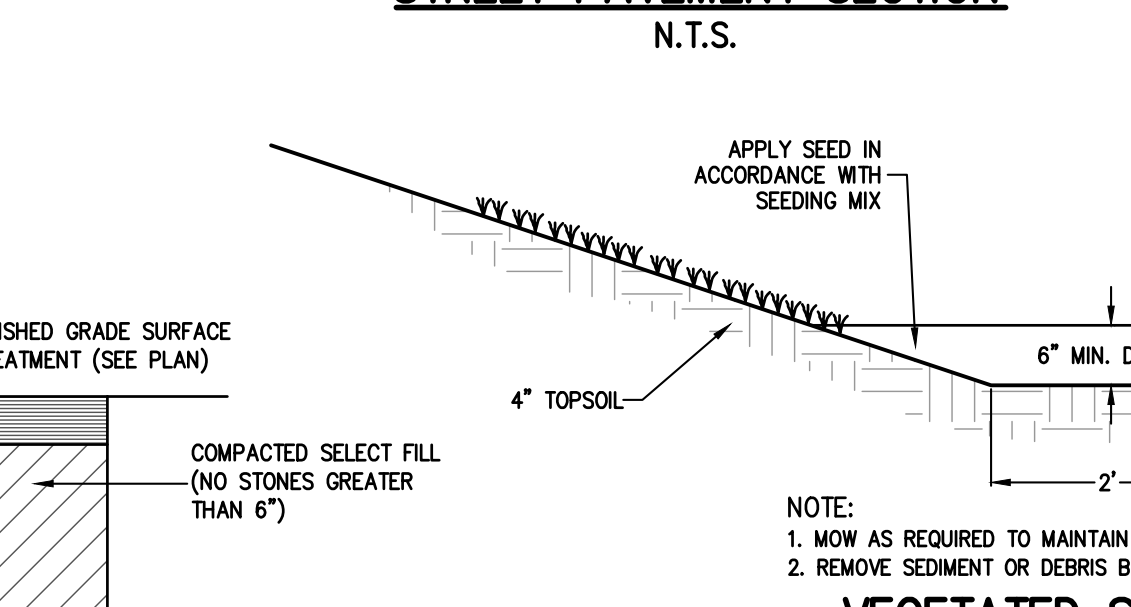
CURB TERMINAL DETAIL



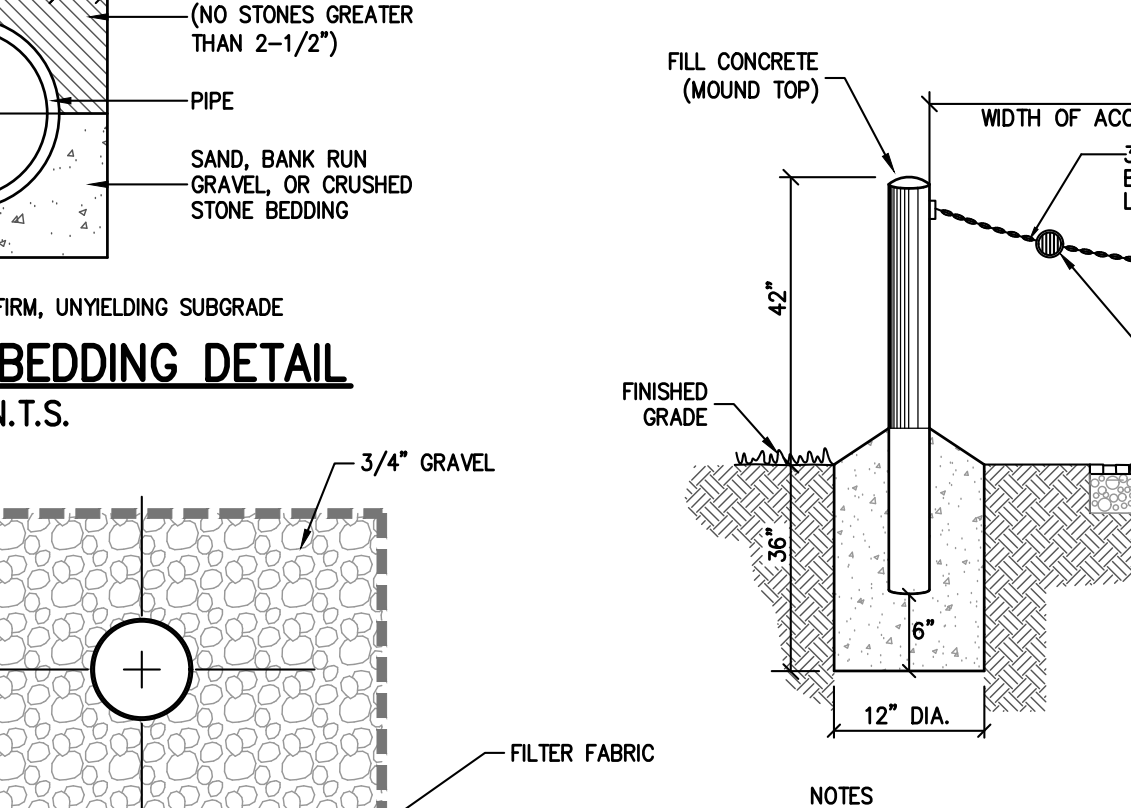
SIGN "NO PARKING DURING SNOW EVENTS"



STREET PAVEMENT SECTION



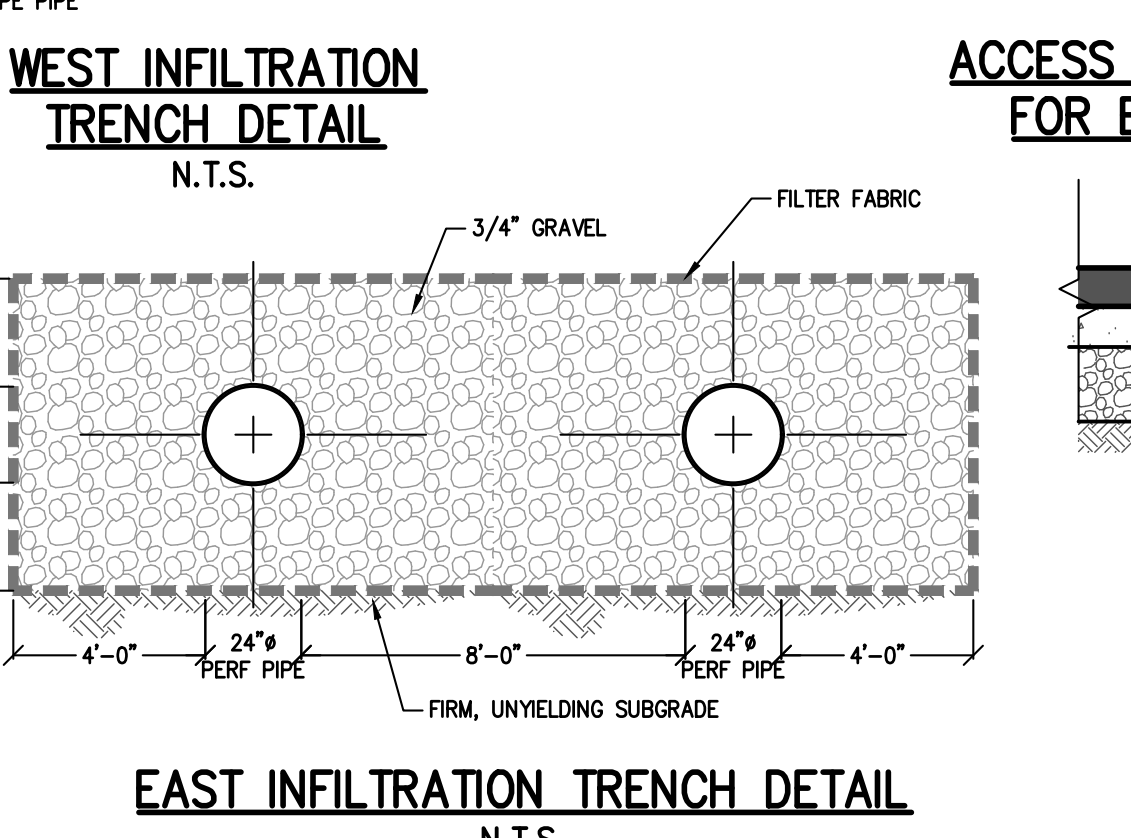
VEGETATED SWALE DETAIL



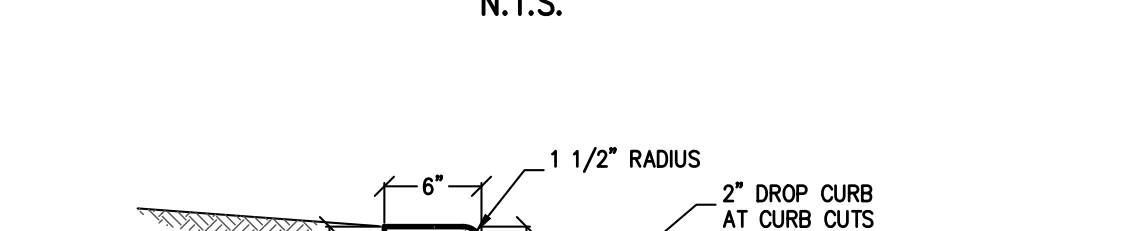
ACCESS BOLLARDS AND CHAIN FOR EMERGENCY ACCESS



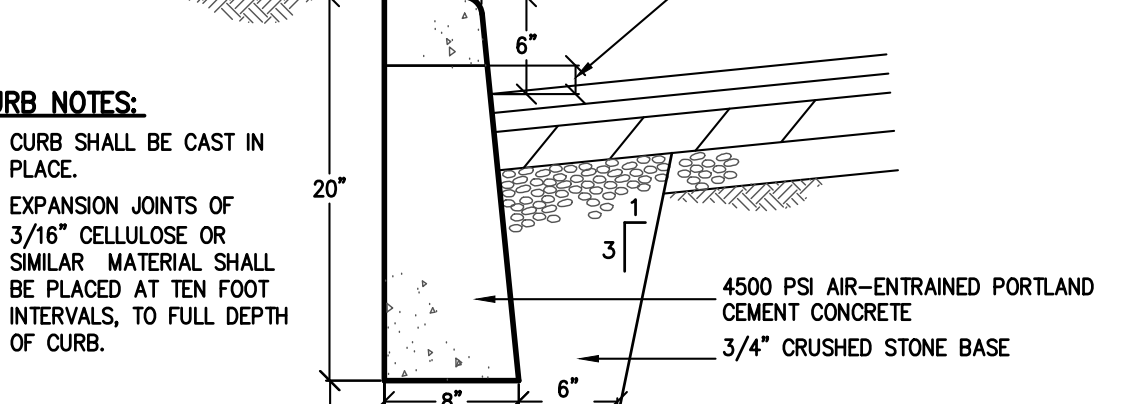
PRIVATE ROAD SECTION



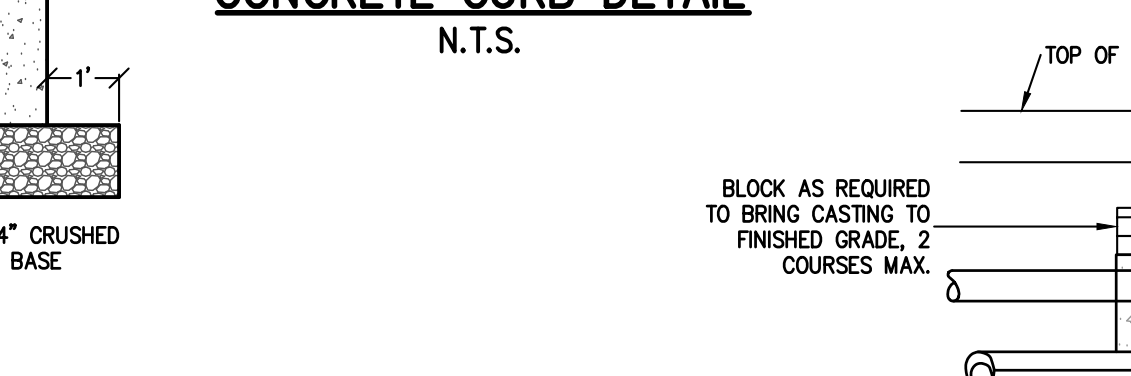
STORMWATER BASIN MAINTENANCE PATH DETAIL



TYPICAL DRIVEWAY PAVEMENT SECTION DETAIL



CONCRETE CURB DETAIL



CATCH BASIN DETAIL

PAVEMENT NOTES

STREET PAVEMENT SECTION

VEGETATED SWALE DETAIL

ACCESS BOLLARDS AND CHAIN FOR EMERGENCY ACCESS

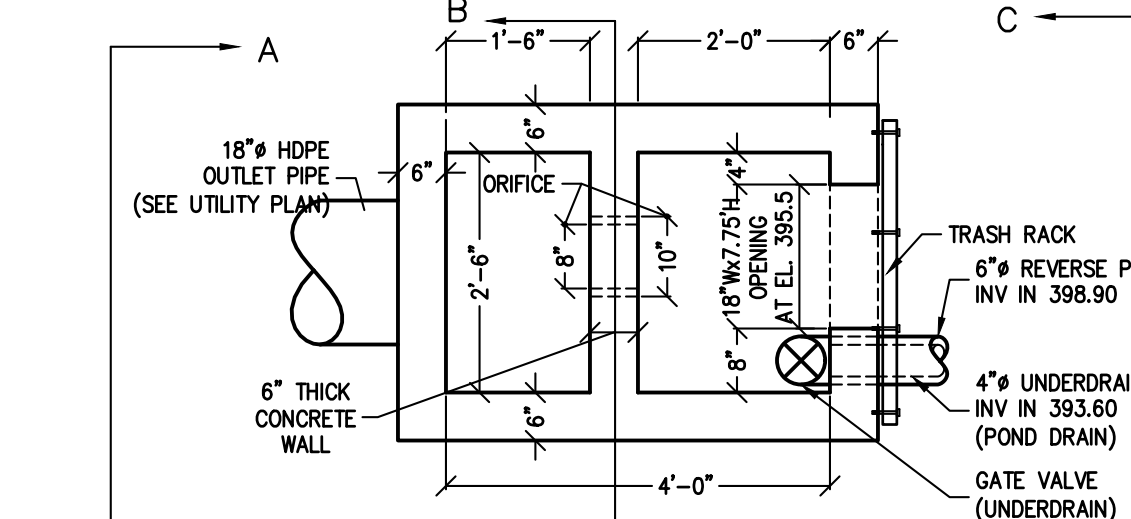
PRIVATE ROAD SECTION

STORMWATER BASIN MAINTENANCE PATH DETAIL

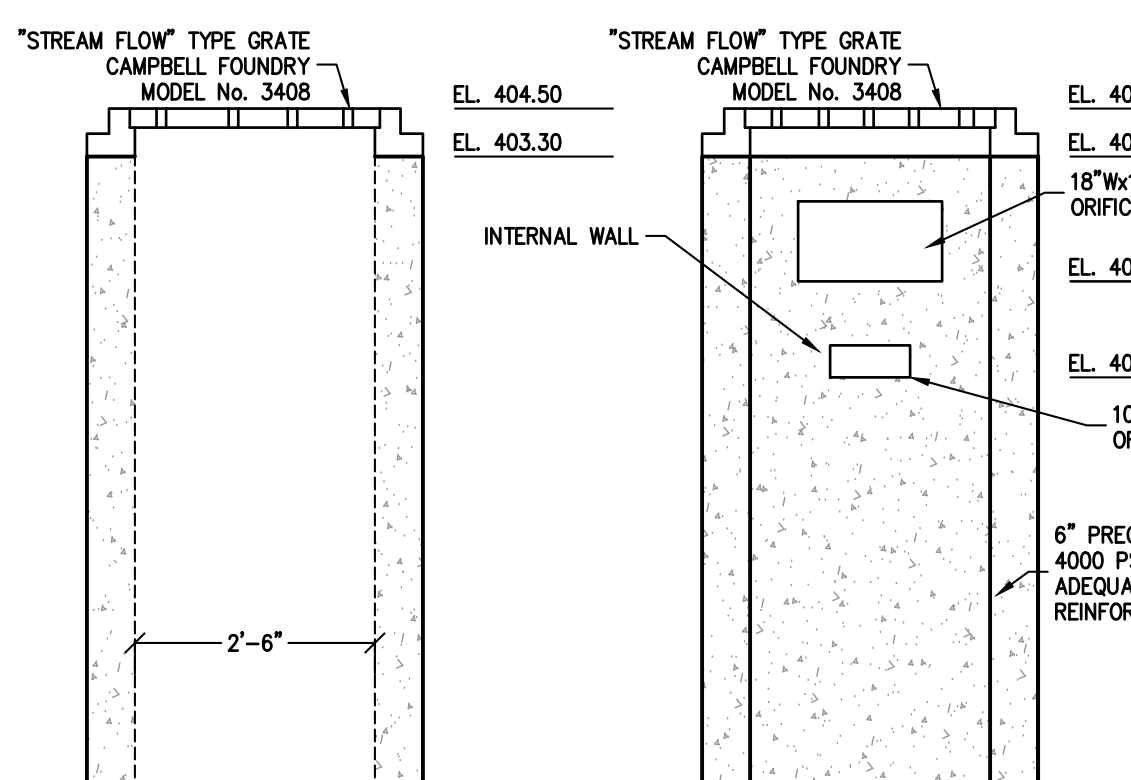
TYPICAL DRIVEWAY PAVEMENT SECTION DETAIL

CONCRETE CURB DETAIL

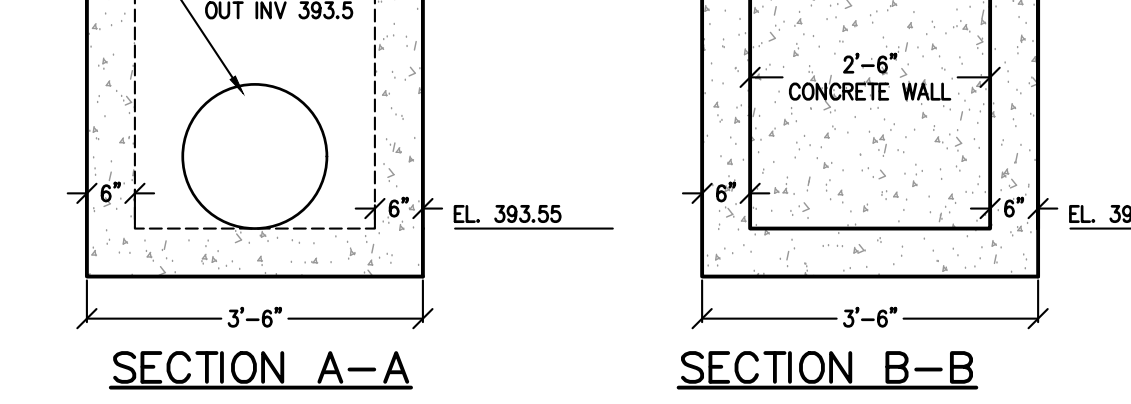
CATCH BASIN DETAIL



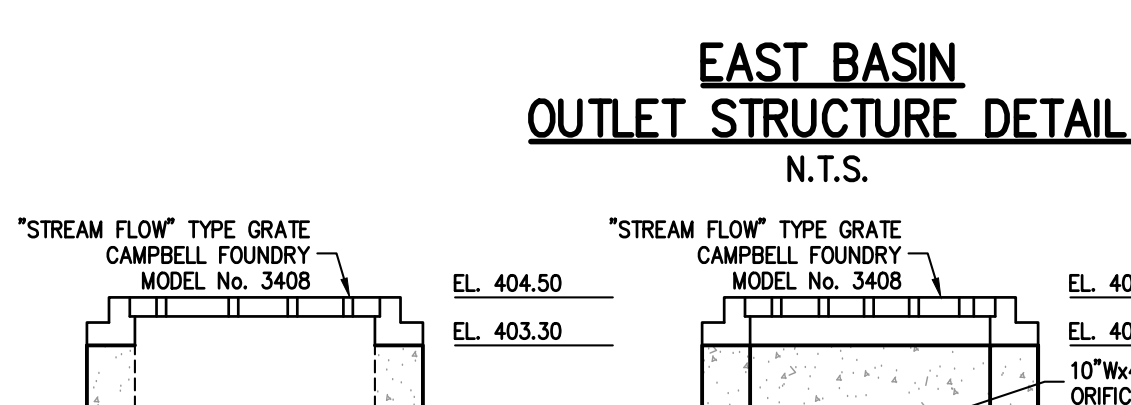
PLAN



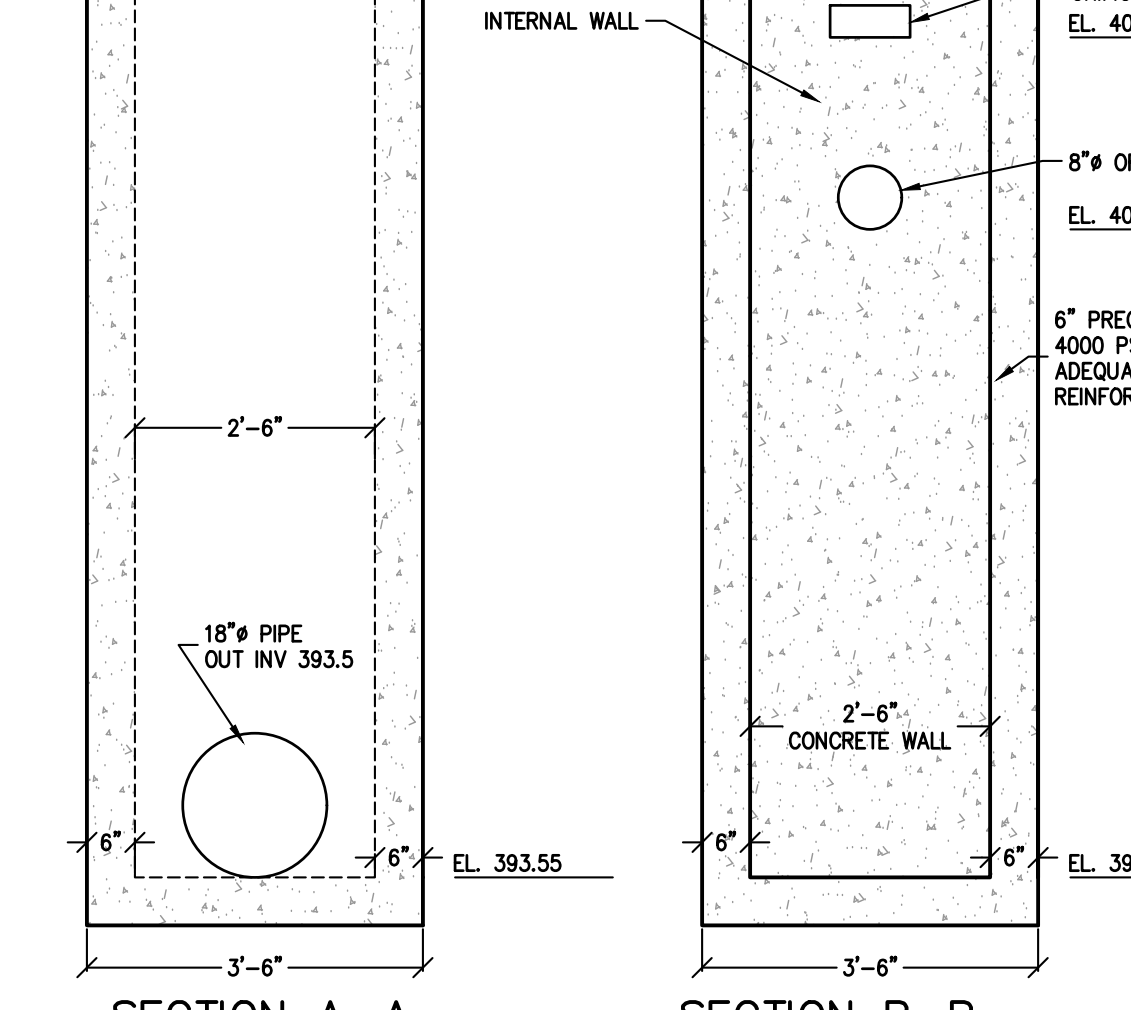
SECTION A-A



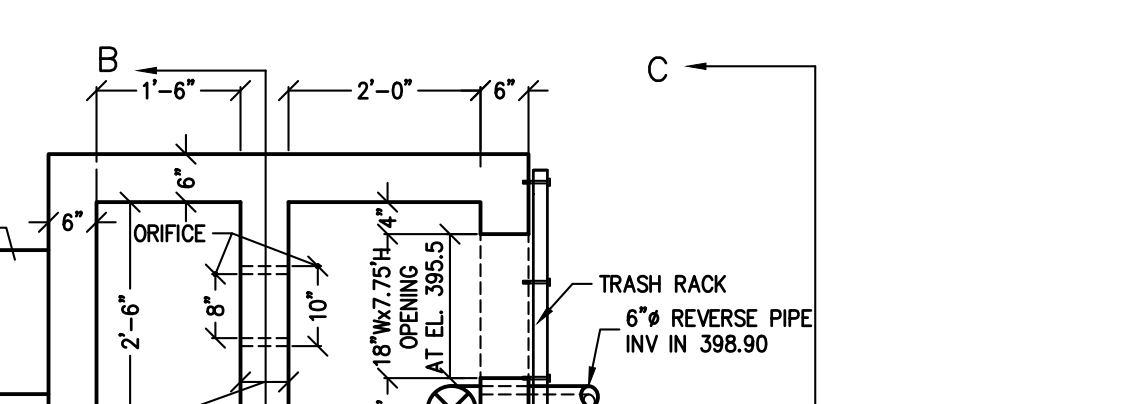
SECTION B-B



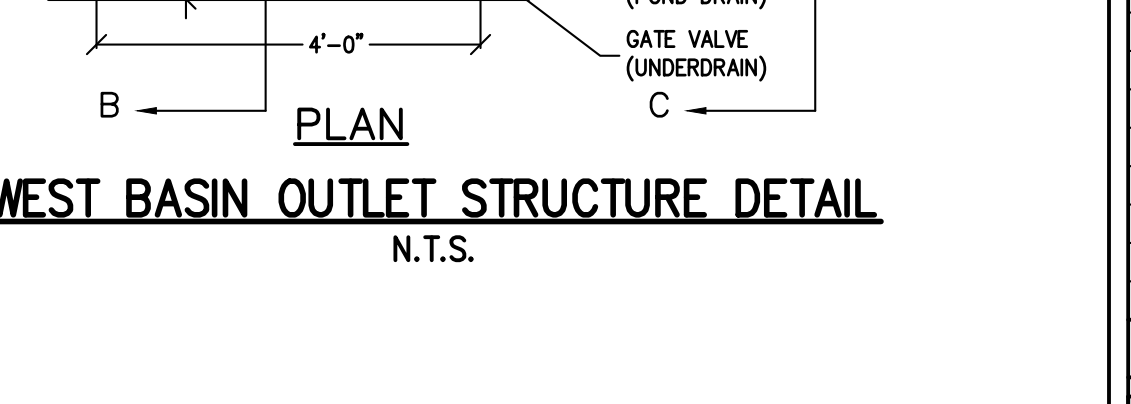
SECTION C-C



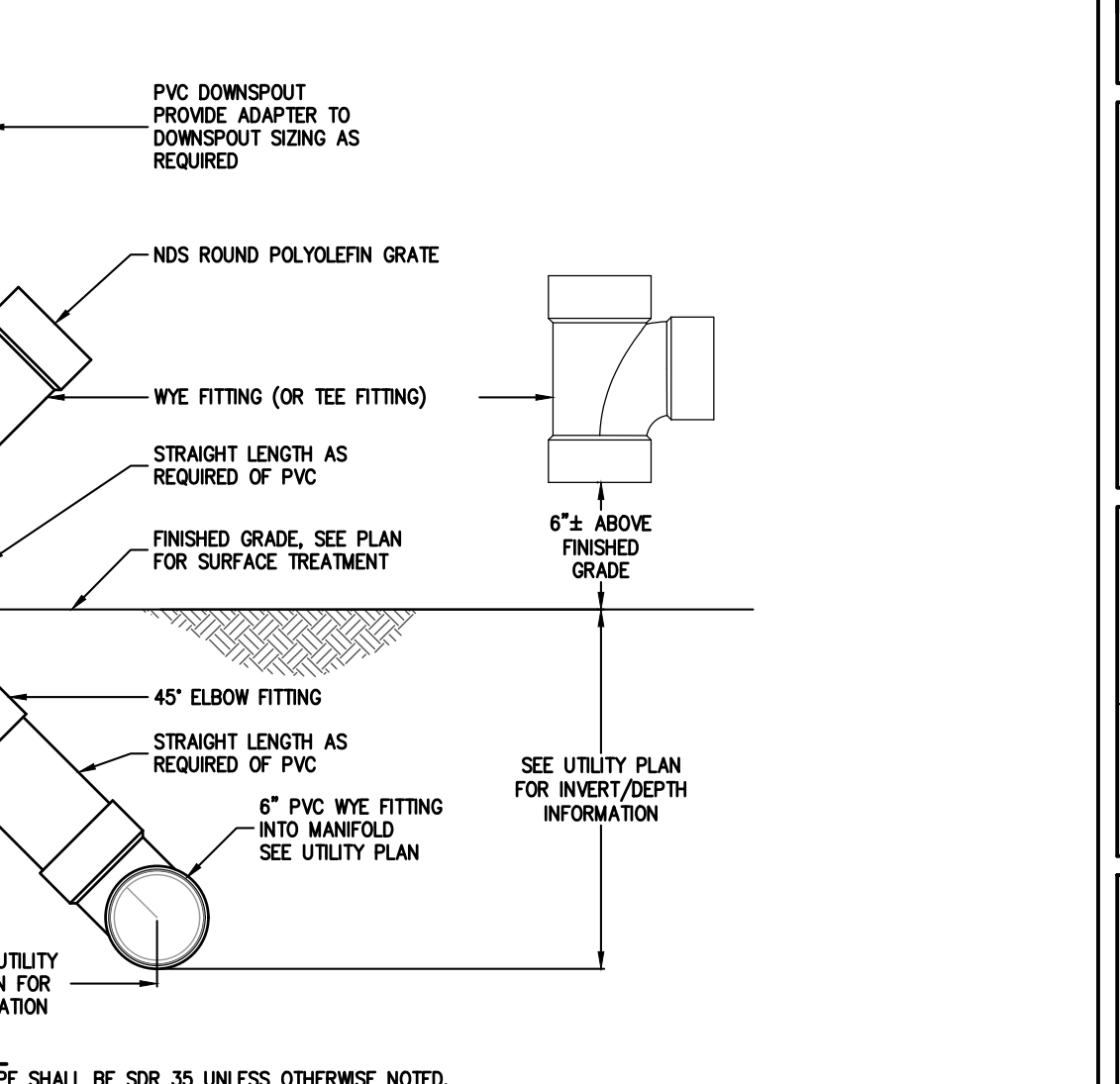
SECTION A-A



SECTION B-B



SECTION C-C



ROOF LEADER CLEANOUT DETAIL

6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLERS COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

REV DESCRIPTION BY DATE

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 2006, SUBSECTION 2.

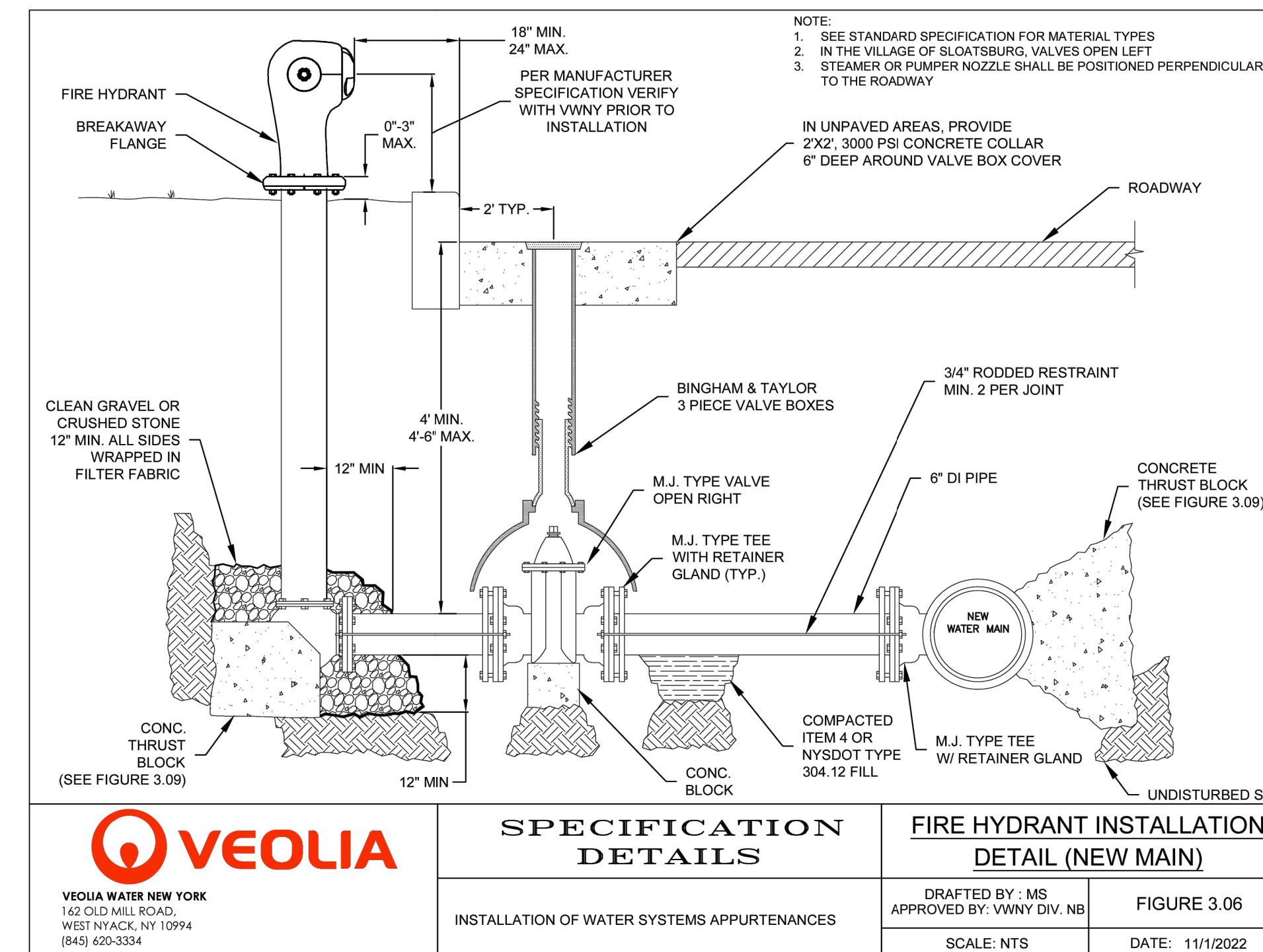
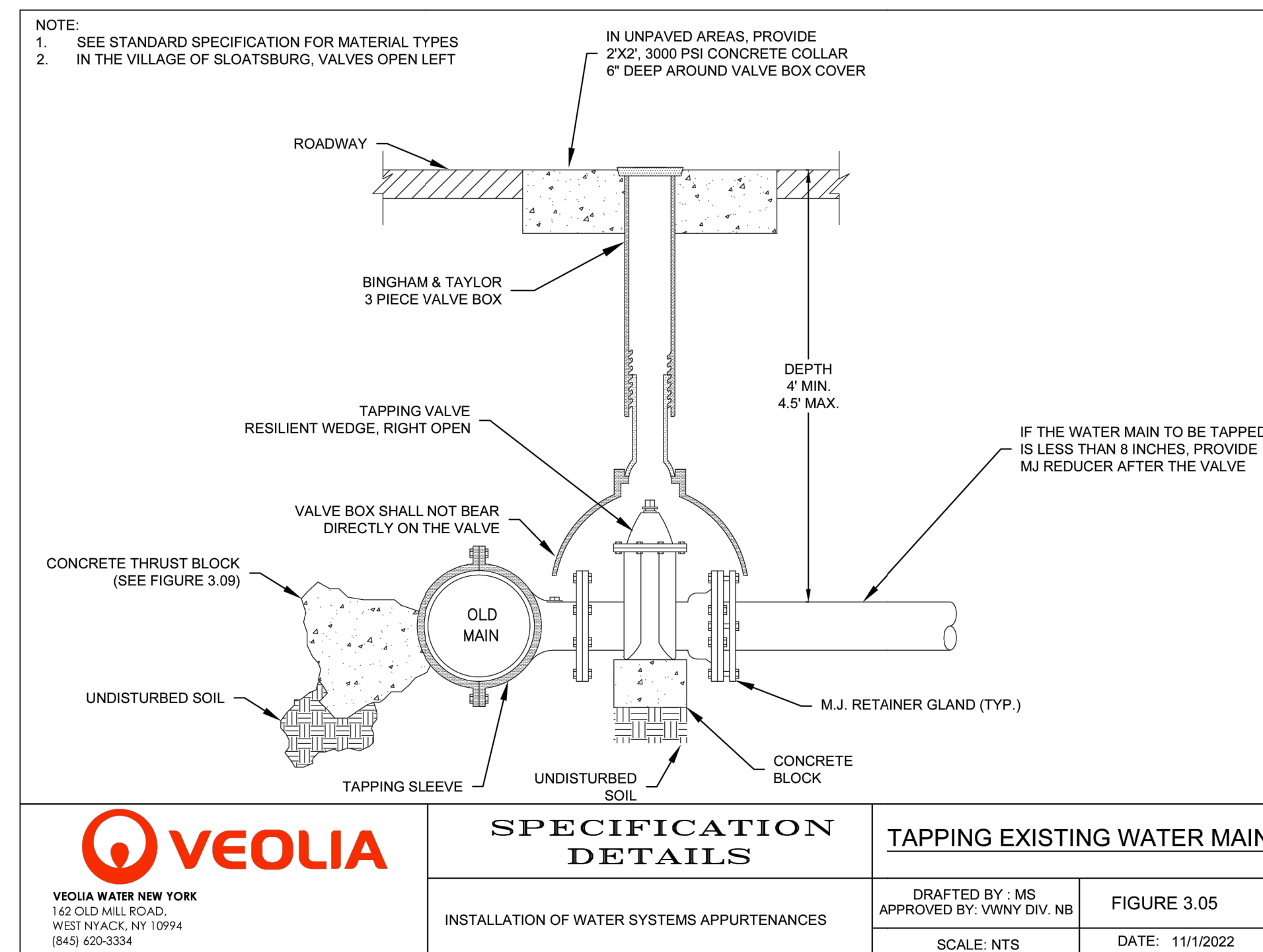
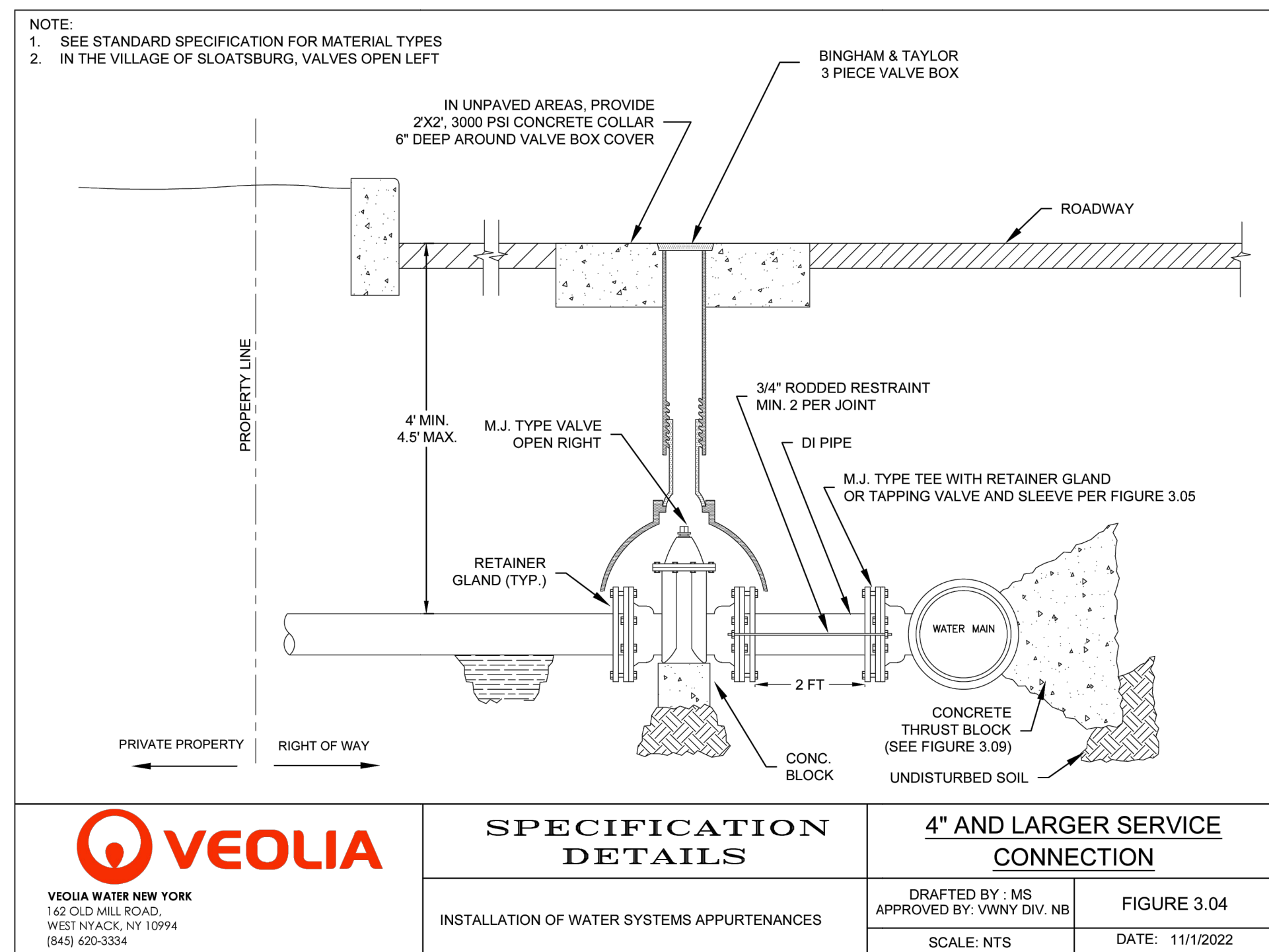
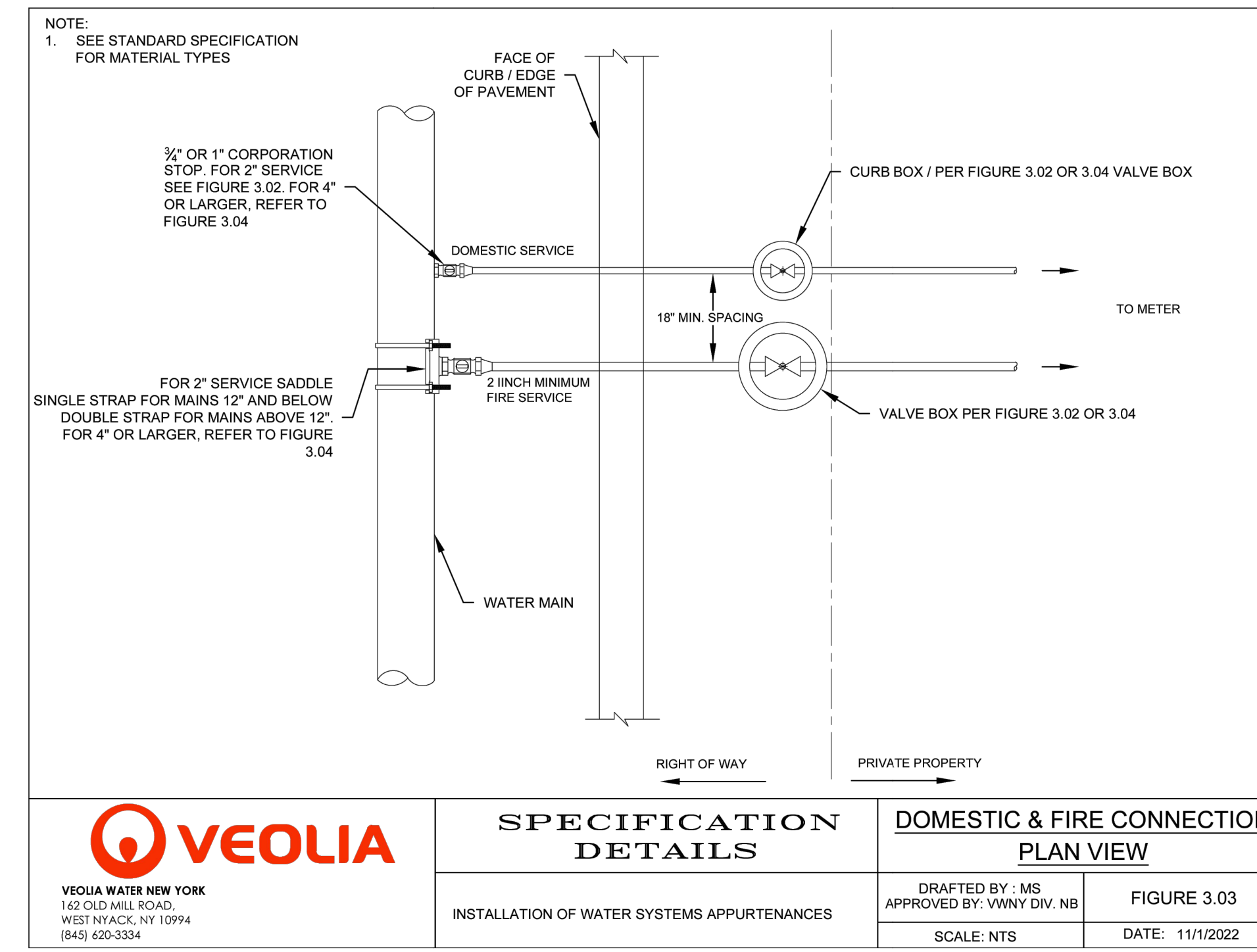
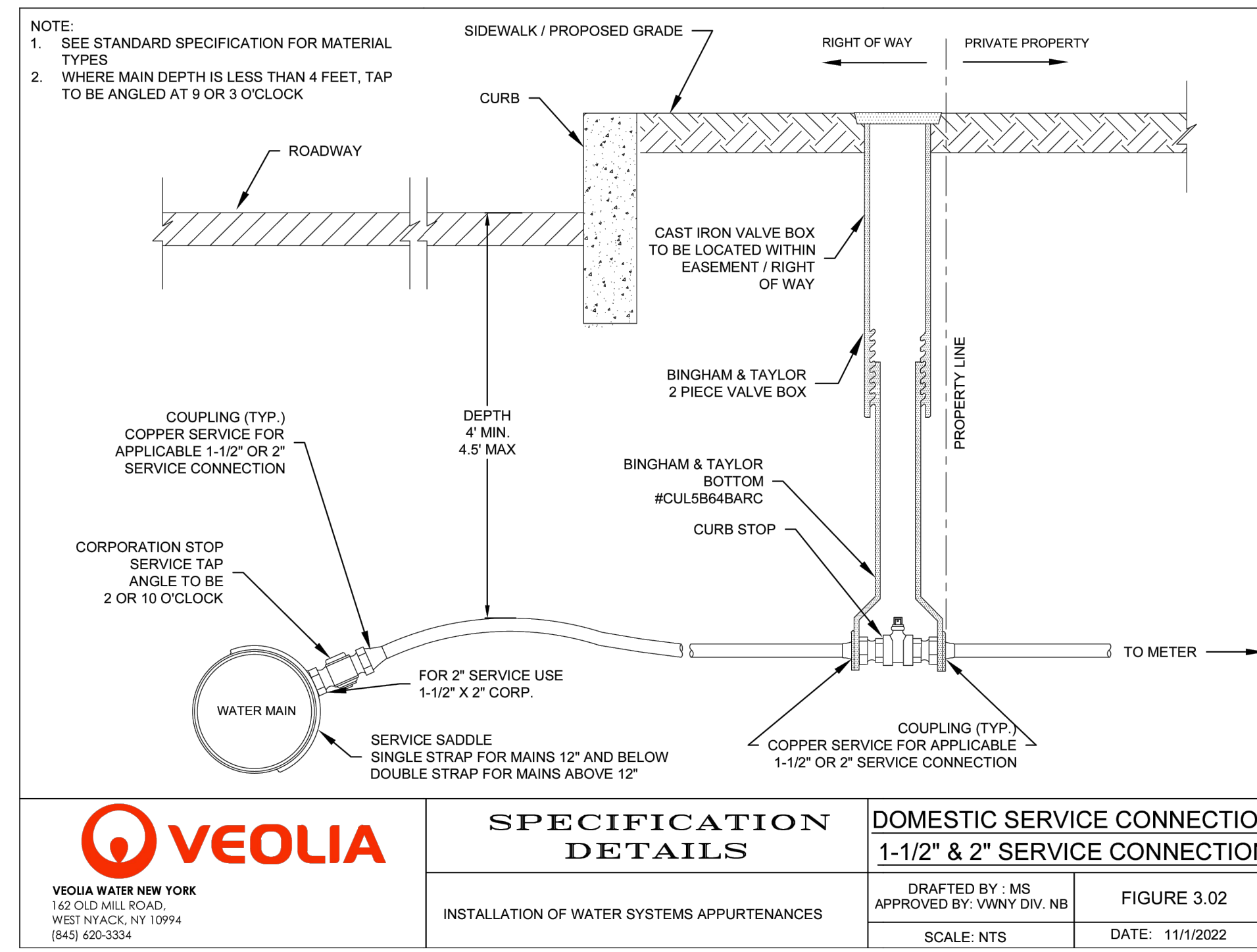
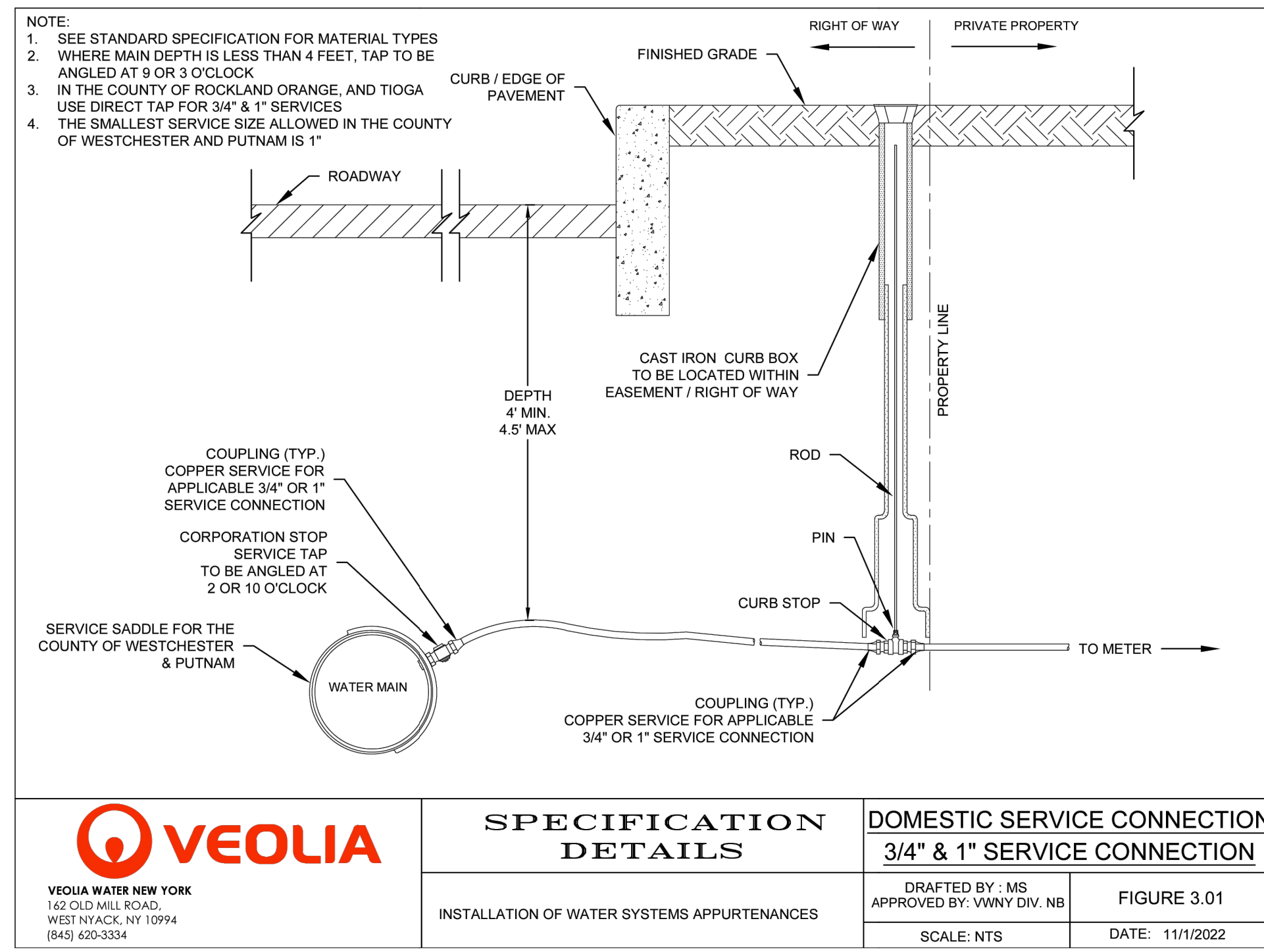
BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901
(845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647
(201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

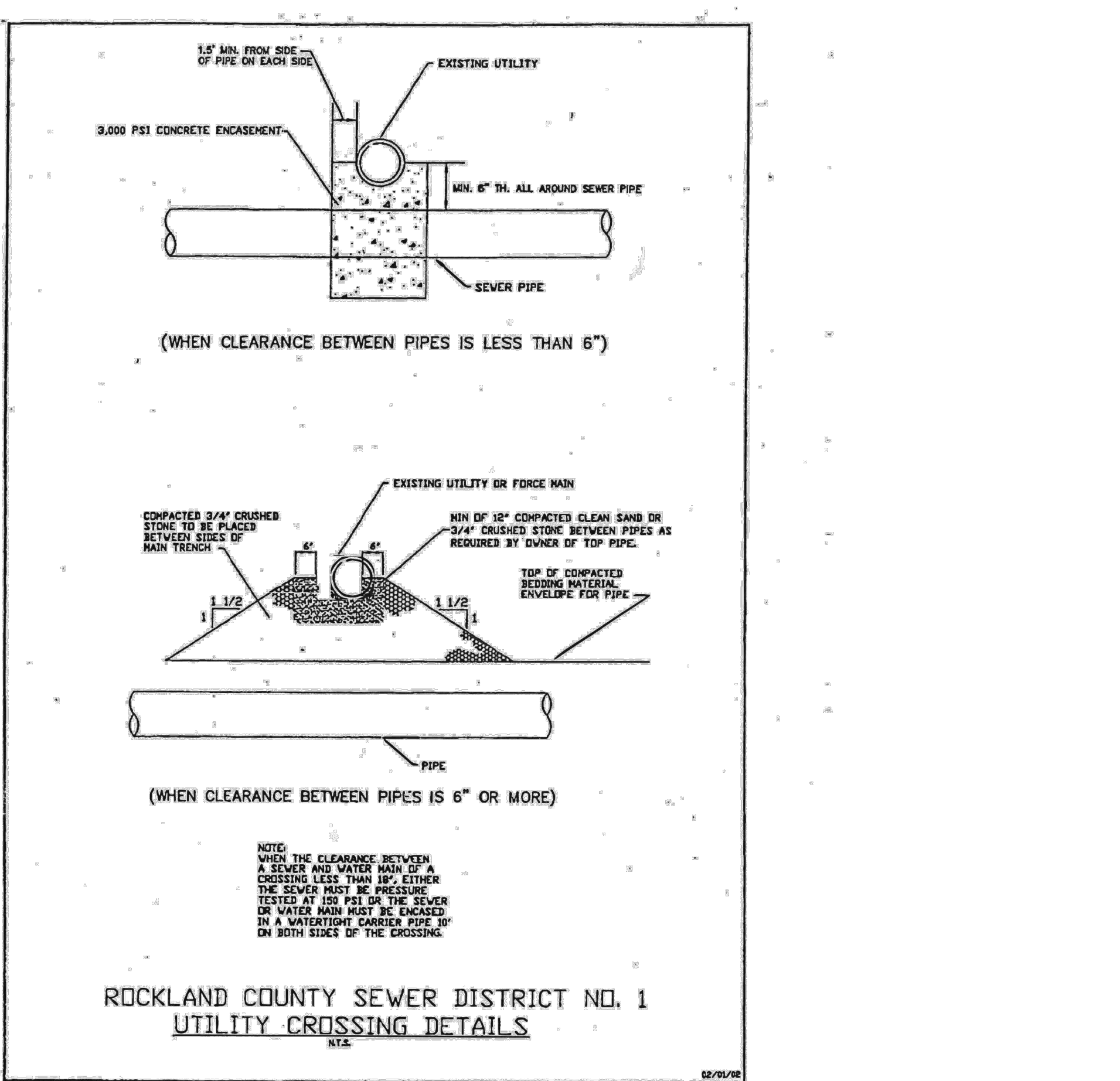
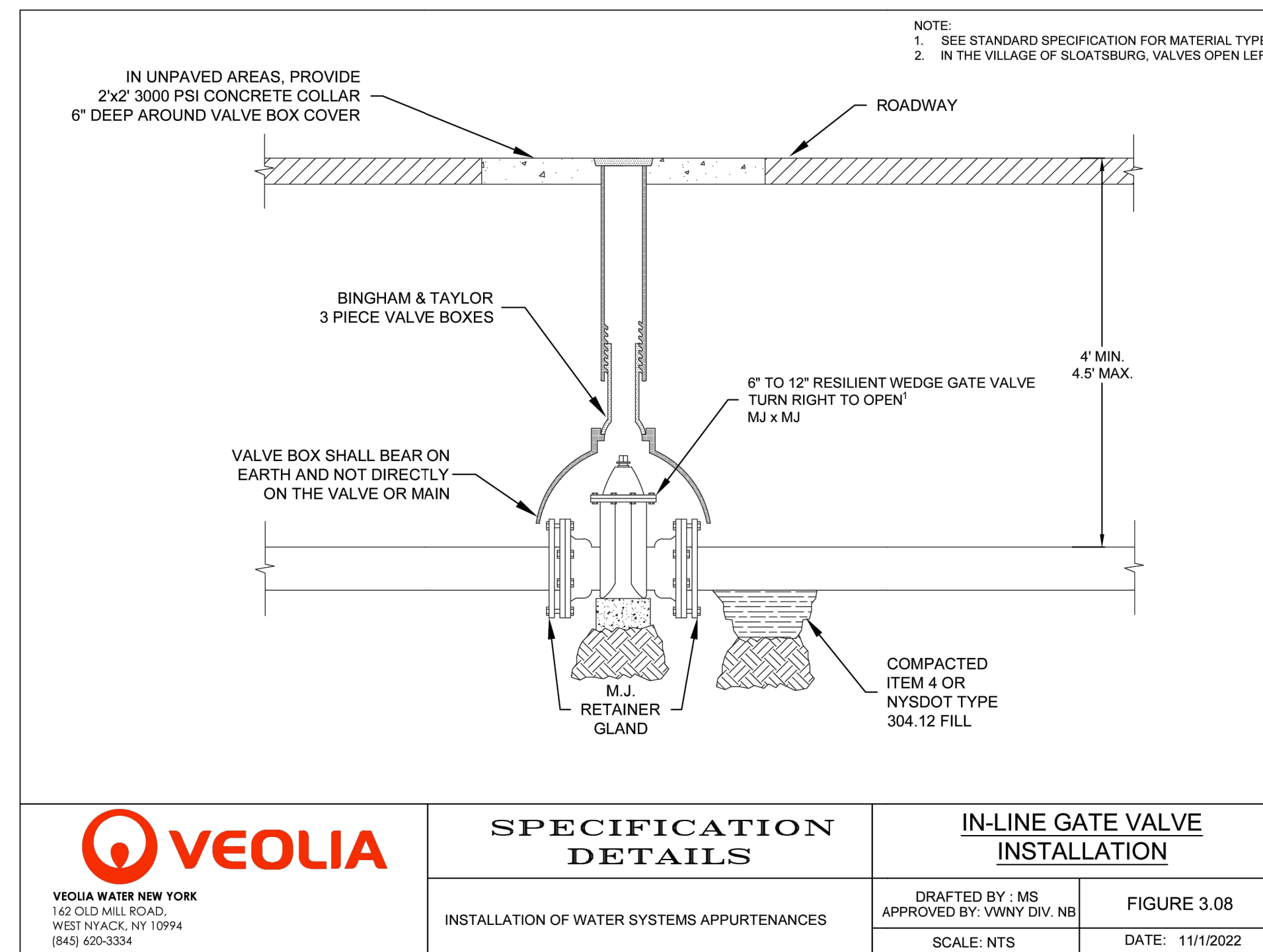
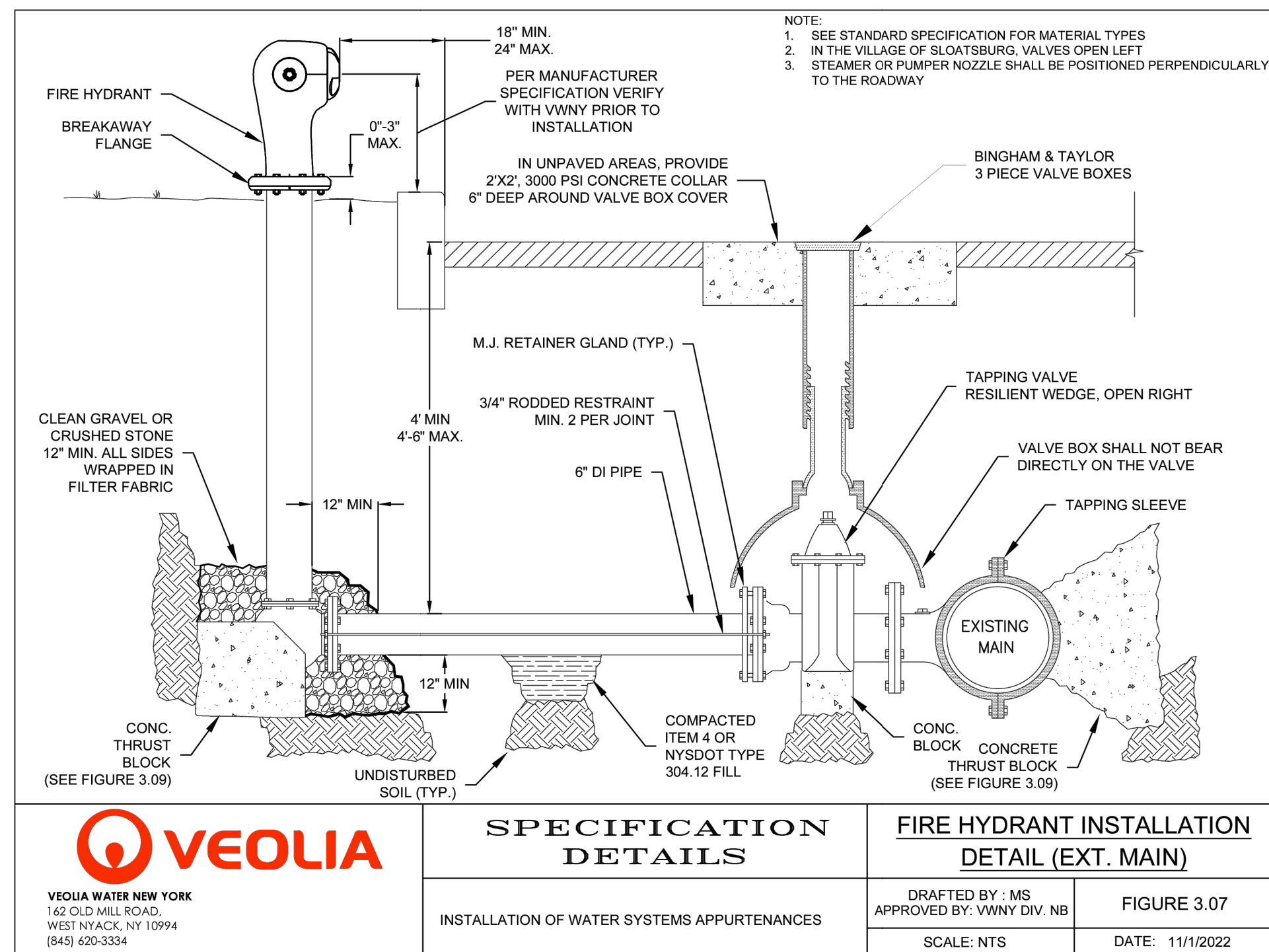
TITLE:
CONSTRUCTION DETAILS
1 OF 2

PROJECT NO: 20231
SCALE: N.T.S.
GRAPHIC SCALE:
DATE: 11/10/2022
DRAWING NO: 13

KENNETH W. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



- NOTES:
- HYDRANT DRAINS SHOULD BE PLUGGED. WHEN THE DRAINS ARE PLUGGED THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER.
 - WHERE HYDRANT DRAINS ARE NOT PLUGGED, A GRAVEL POCKET OR DRY WELL SHALL BE PROVIDED UNLESS THE NATURAL SOIL WILL PROVIDE ADEQUATE DRAINAGE.
 - HYDRANT DRAINS SHALL NOT BE CONNECTED TO OR LOCATED WITHIN 10 FEET OF SANITARY SEWER, STORM SEWER, OR STORM DRAINS.
 - HYDRANT DRAINS, WHERE ALLOWED, MUST BE ABOVE THE SEASONAL GROUNDWATER TABLE.
 - FIRE HYDRANTS SHOULD HAVE A BOTTOM VALVE SIZE OF AT LEAST FIVE INCHES, ONE 4-1/2" INC PUMPER NOZZLE AND TWO 2-1/2" INCH NOZZLES.



REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
 UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 143, SECTION 7206, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
 www.BrookerEngineering.com

74 Lafayette Avenue, Suite 501 Suffern, NY 10901
 (845) 357-4411

22 Paris Avenue, Suite 105
 Rockleigh, NJ 07647
 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE:
CONSTRUCTION DETAILS
2 OF 2

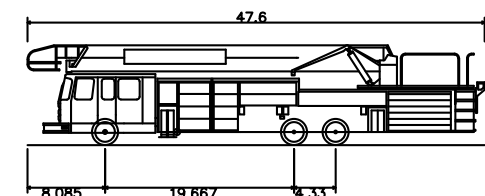
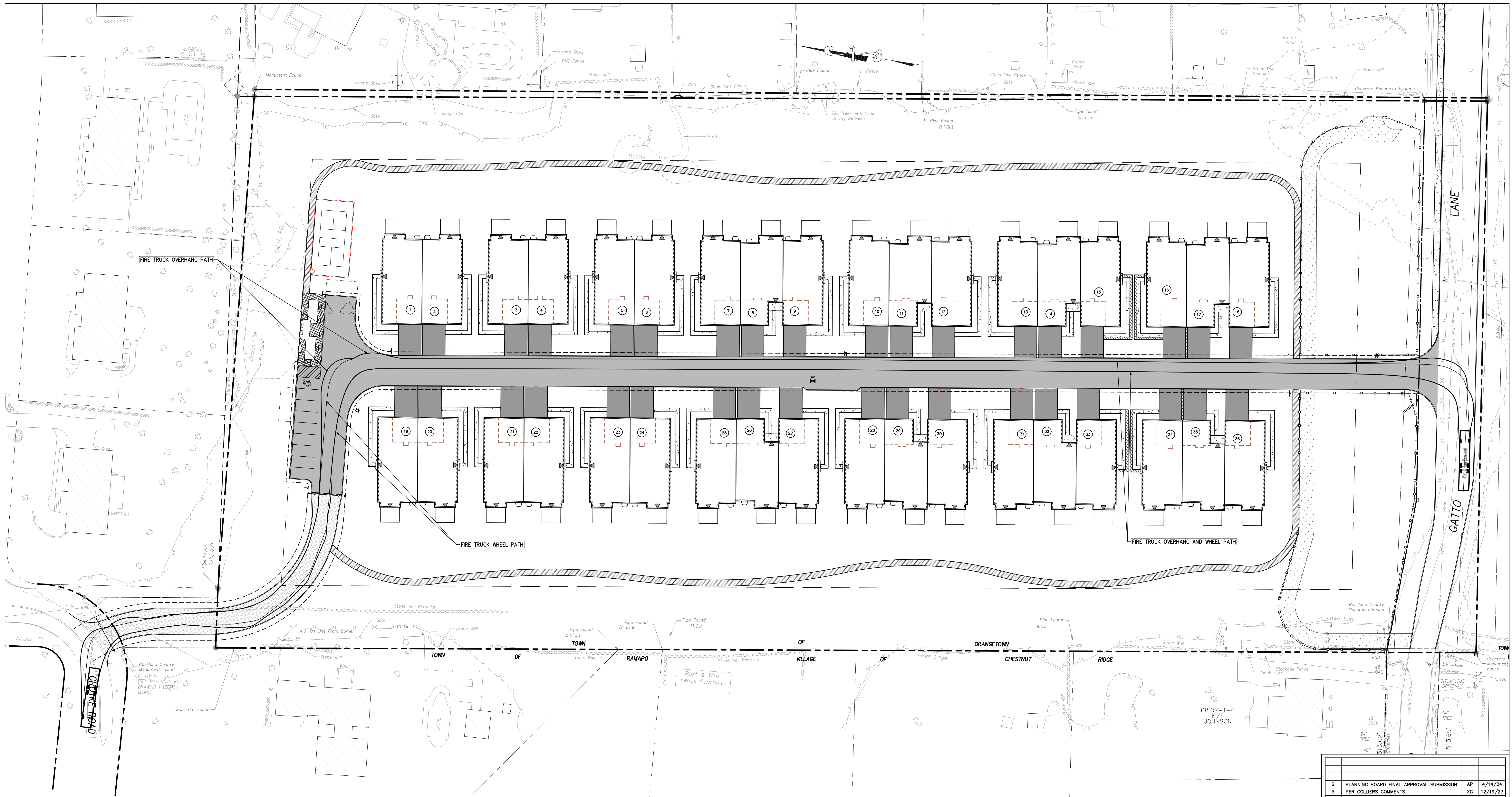
PROJECT NO: 20231
 DRAWN: JO
 CHECKED: KD

SCALE: N.T.S.
 GRAPHIC SCALE:

DATE: 11/10/2022
 DRAWING NO: 14

KENNETH W. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214

P:\BIB\20230201 Gatto Ln Site Plan_Dwg\Rev 7\GATTO LANE SITE PLAN.TB.dwg, 4/29/2024, 2:41:35 PM, Polina Shtina



Pierce 12-Tower (Orangetown)
 Overall Length 47.600ft
 Overall Width 9.000ft
 Overall Body Height 10.000ft
 Min Body Ground Clearance 9.875ft
 Track Width 9.875ft
 Lock-to-lock time 3.000ft
 Curb to curb turning Radius 32.800ft

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
 UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 143, SECTION 7006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT - MUNICIPAL - STRUCTURAL - HYDROLOGICAL - SURVEYING
 www.BrookerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 884-1221

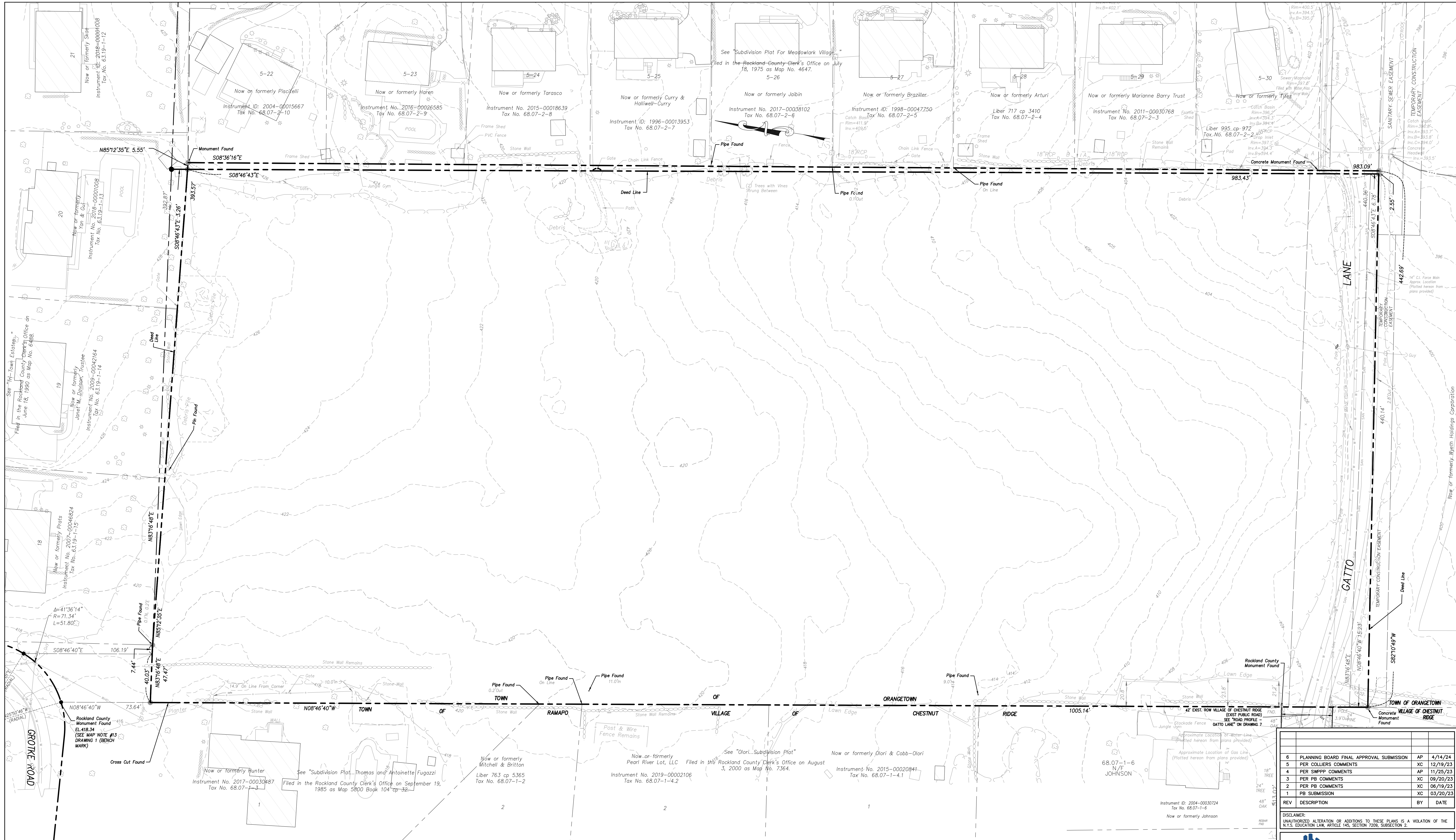
GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

TITLE: **FINAL FIRE TRUCK MANEUVER PLAN**

PROJECT NO: 20231
 SCALE: 1" = 30'
 GRAPHIC SCALE: 0 30' 60'
 DATE: 11/10/2022
 DRAWING NO: 15

KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214

P:\BIB\2023\20231 Gatto Ln Site Plan_Dwg\Rev 7\GATTO LANE SITE PLAN.TB.dwg, 4/29/2024 2:41:46 PM, Paves Sasina



Notes:

- NOTE OMITTED
- NOTE OMITTED
- All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
- If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this map.
- This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
- The topographic data hereon was compiled from two sources. The first was a photogrammetric compilation from aerial photographs dated November 30, 2013. The second source was a supplemental topographic survey completed by Bodey & Watson on August 11, 2020.
- The area, meridian, and coordinate values shown hereon refer to the New York Coordinate System, East Zone (NAD 83), expressed in feet. The distances shown on this map are grid distances. They have been scaled by a grid factor (scale factor x sea level factor) of 0.99990430. To obtain ground distances divide the distances on this map by the grid factor. To obtain ground area divide the area on this map by the square of the grid factor.
- The vertical datum hereon is North American Vertical Datum of 1988 (NAVD 1988).
- Bodey & Watson contacted the Dig Safely New York (DSNY) and obtained a list of registered utility companies, municipalities and agencies that might have underground facilities in the project vicinity. "Design Ticket" No. 07070-178-017 was issued by the DSNY for this project listing utility companies, municipalities and agencies that were to be contacted by the DSNY. Following is a list of the registrants that were to be contacted and the disposition related thereto as of August 7, 2020.
 - Verizon - No response to date.
 - Town of Ramapo Highway - Response no facilities in area.
 - Rockland County Sewer District 1 - Response no facilities in area.
- Cont'd
 - Town of Clarkstown Sewer - No response to date.
 - Orange & Rockland Utilities Inc. - Response no facilities in area.
 - Suez Water or New York - No response to date.
 - Town of Orangetown - Response marked in the field.
 - Cablevision of West Nyack - Response no facilities in area.

Underground improvements are mapped for planning purposes only. Mapping of these facilities is based on Plats provided, as noted above and readily visible surface evidence. No subsurface investigation of any kind was conducted. This information is subject to the limitations inherent in this methodology. Dig Safely New York requires a Code 753 call to 811 at least two but not more than ten full working days prior to digging. For more information on DSNY contact www.dsnynyc.com or www.doscafelny.com.

- The premises hereon are as described in the Rockland County Clerk's Instrument No. 2005-00017026 (Wyeth Holding Corporation to Gatto Lane LLC).
- Quit Claim Parcel (N) is as described in the Rockland County Clerk's Instrument No. 2005-00017035 (Wyeth Holding Corporation to Gatto Lane LLC).
- Quit Claim Parcel (E) is as described in the Rockland County Clerk's Instrument No. 2005-00017029 (Wyeth Holding Corporation to Gatto Lane LLC).
- While the description of this easement appears to run to a previously defined line of Highland Avenue, the lines shown hereon have been extended to its current mapped location.
- These four easements are as described in the Rockland County Clerk's Instrument No. 2005-00017022.
- This "alternate" line is located 990' south of the north line of Quit Claim Parcel (N). The area between this line and the south line of the current deed is subject to possible rights of others. See Reservation to Wyeth Holdings Corporation in Instrument 2005-00017026.
- Orange County Clerk's Liber 678 of deeds at page 287 describes a right of way from American Cyanamid company to Orange and Rockland Utilities, Inc. A map included in said document shows a 40' wide gas pipe line right of way crossing the subject premises running from Highland Avenue, south and east to the easterly property line. This right of way appears to be abandoned, but this status should be confirmed.

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER'S COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

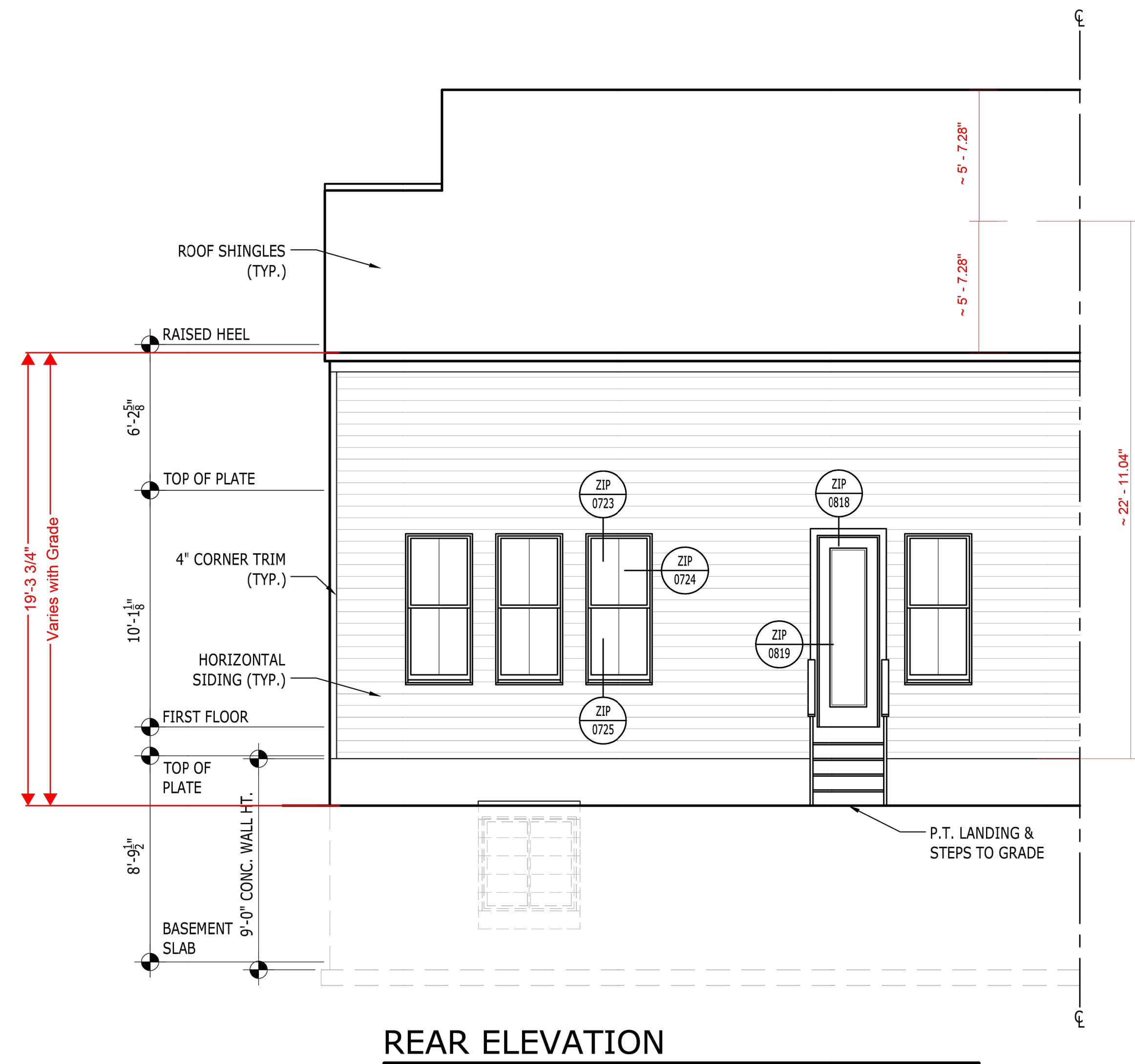
DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 146, SECTION 7006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

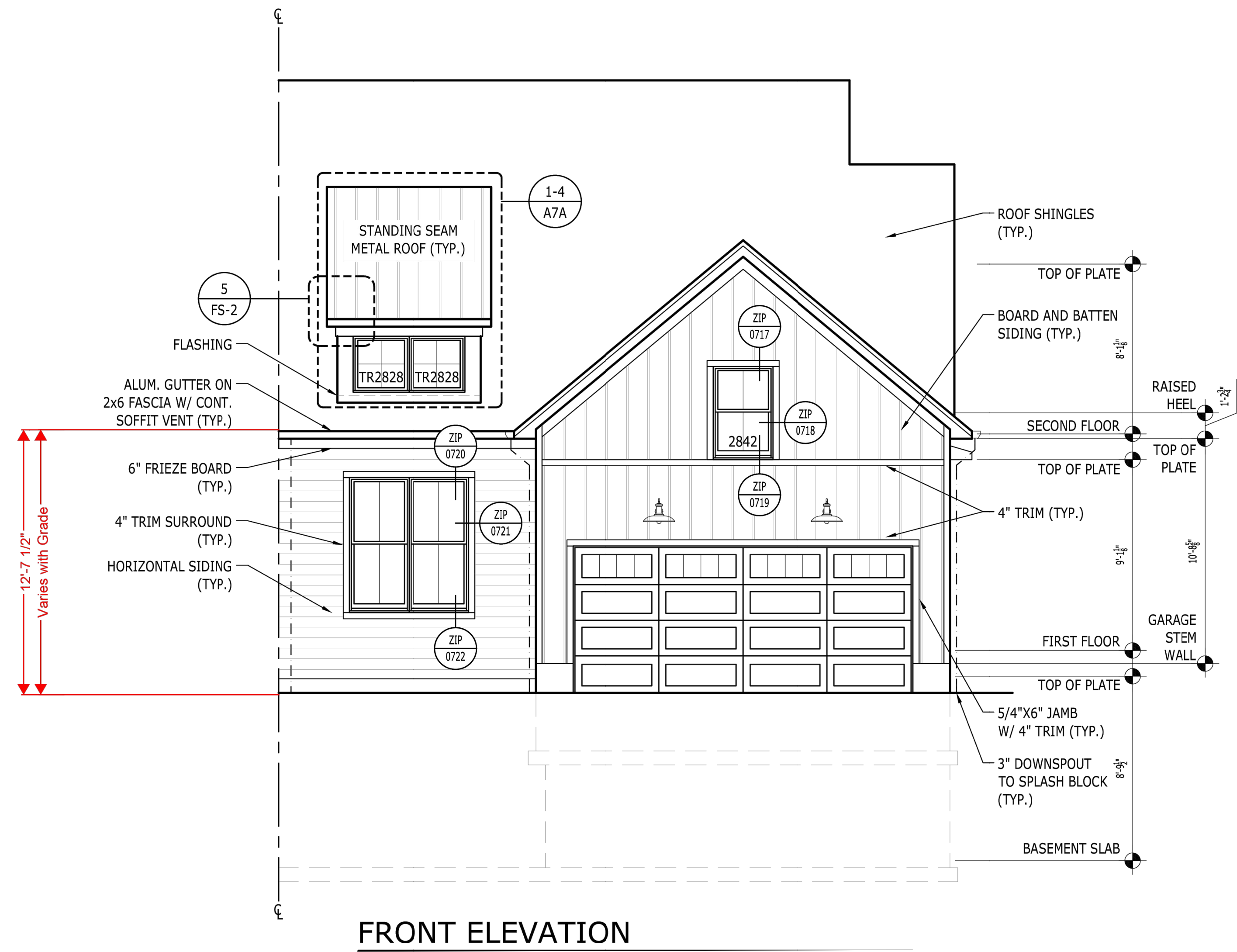
PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
EXISTING CONDITIONS PLAN

PROJECT NO:	20231	DRAWN:	JO	CHECKED:	KD
SCALE:	1" = 30'				
GRAPHIC SCALE:	0 30' 60'				
DATE:	11/10/2022	DRAWING NO.:	16		

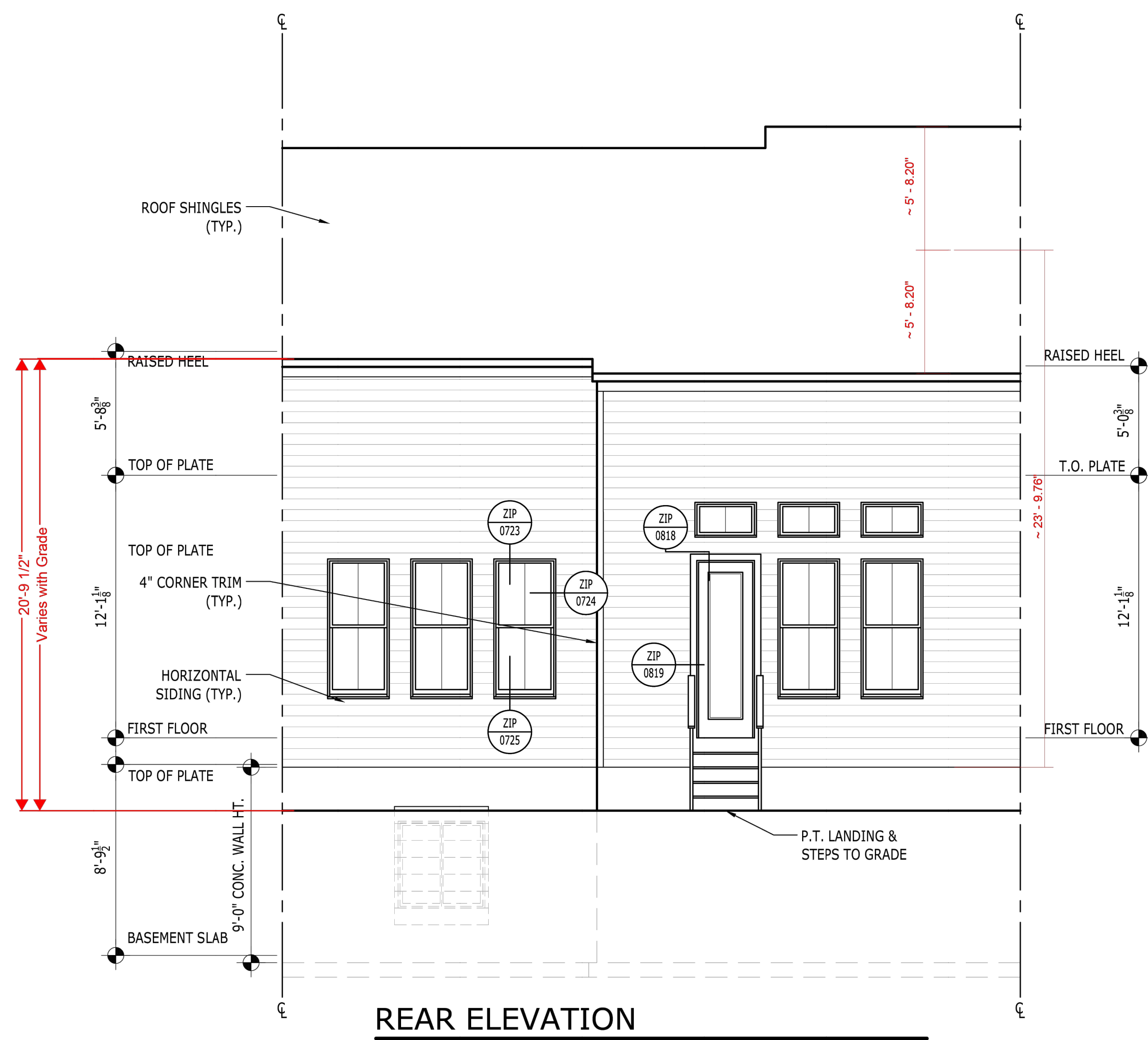


REAR ELEVATION

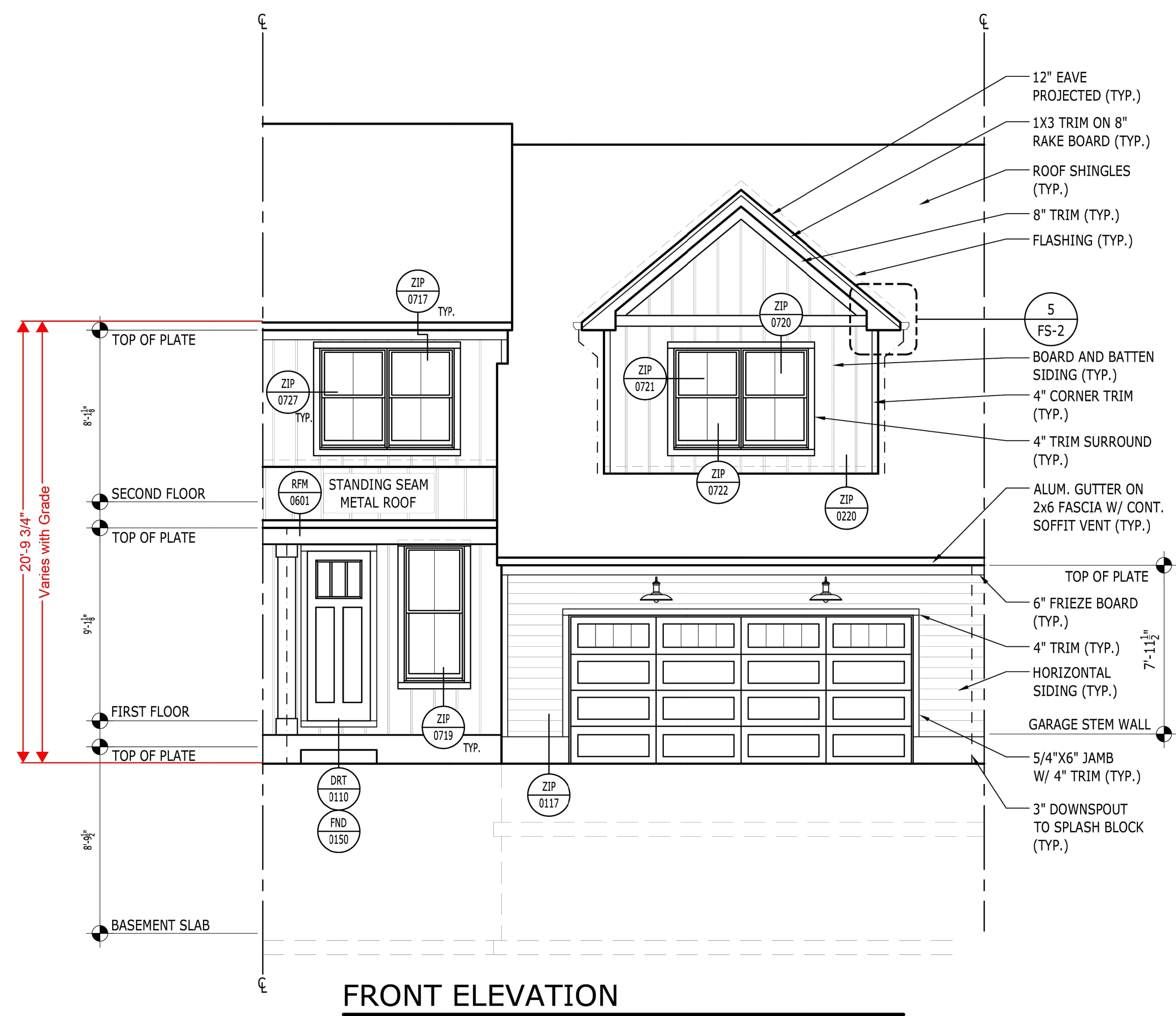


FRONT ELEVATION

MAYCOMB MODEL



REAR ELEVATION



FRONT ELEVATION

ENDICTT MODEL

REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 149, SECTION 7006, SUBSECTION 2.

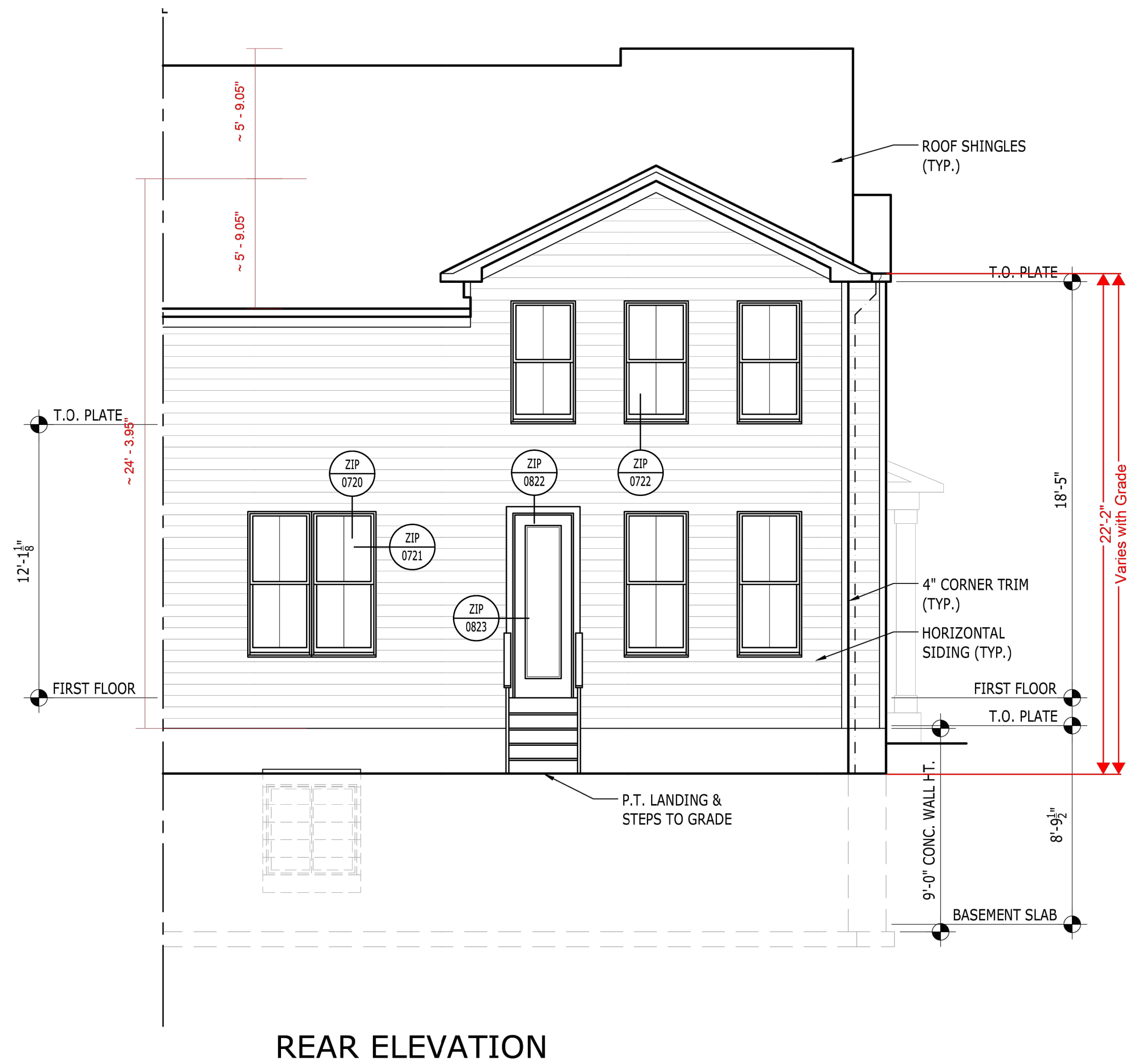
BROOKER ENGINEERING, PLLC
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
 www.BrookerEngineering.com
 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

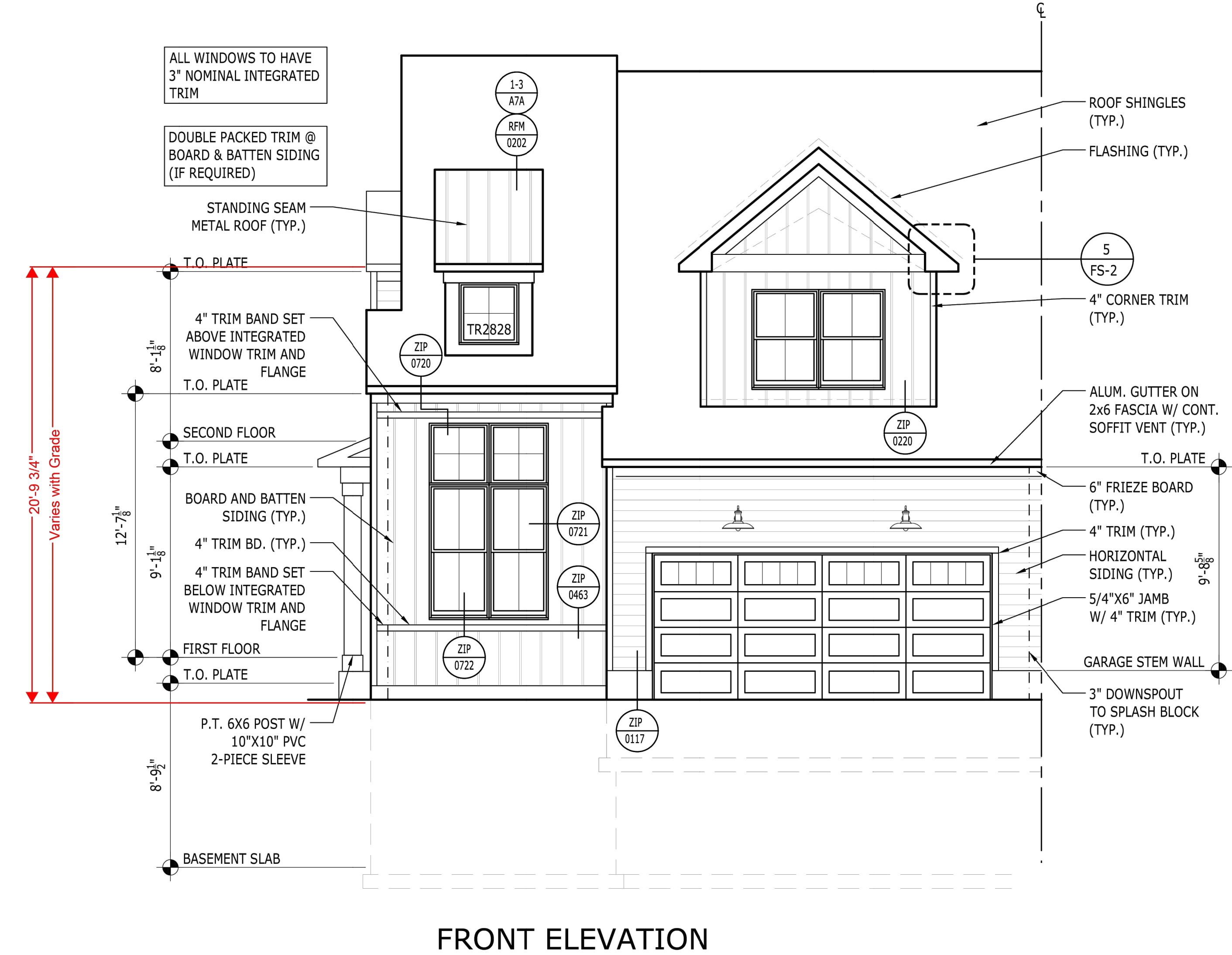
TITLE:
FIRE COMPLIANCE EXHIBIT
(1 OF 2)

PROJECT NO: 20231 DRAWN: AP CHECKED: KD
 SCALE: AS SHOWN
 GRAPHIC SCALE:
 DATE: 11/10/2022 DRAWING NO: 17

P:\BIB\20230221 Gatto Ln Site Plan_Dwg\Rev 7\GATTO LANE SITE PLAN.rvt.dwg 4/29/2024 2:41:57 PM, Paves, Sasana

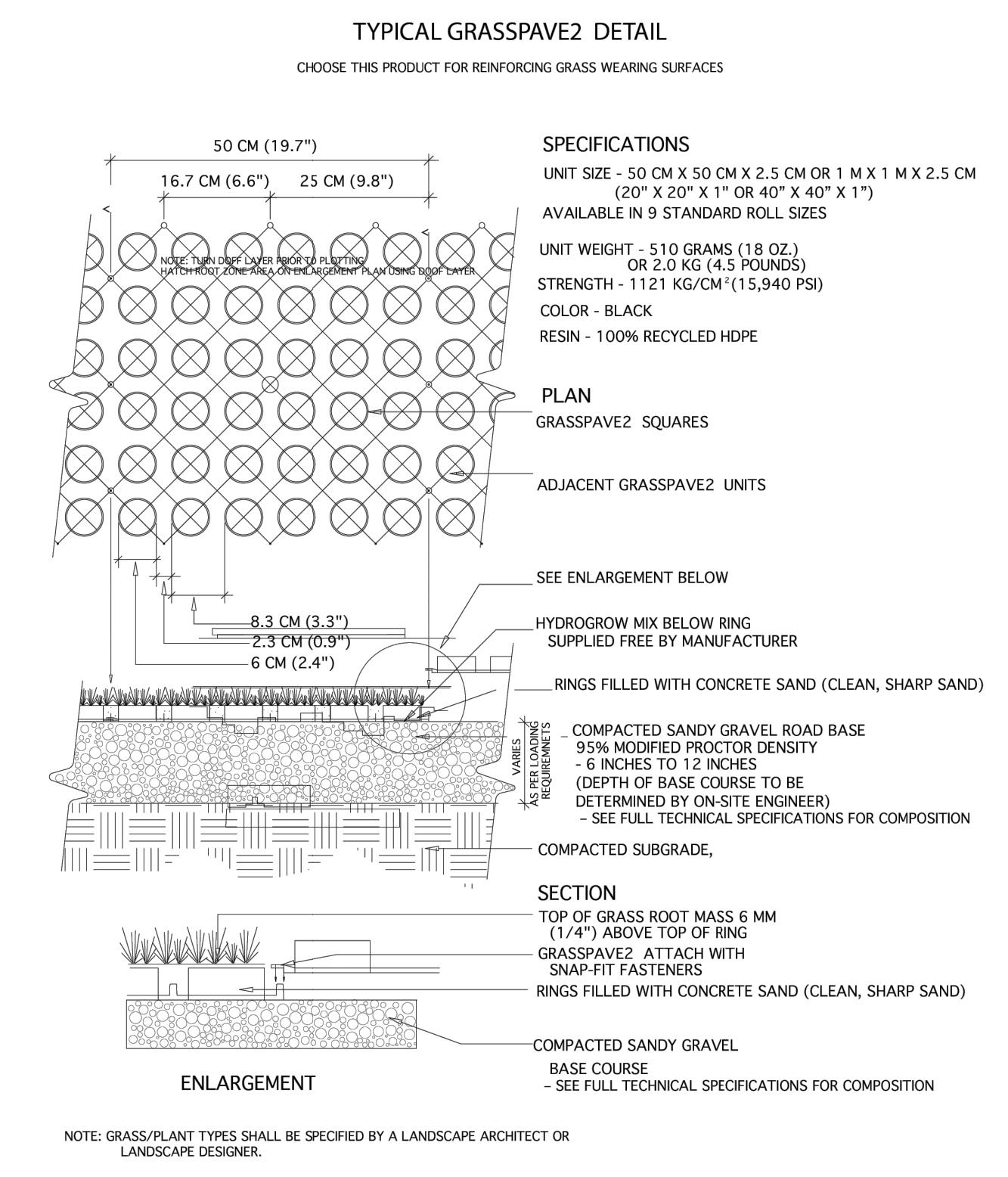


REAR ELEVATION



FRONT ELEVATION

CATAMOUNT MODEL

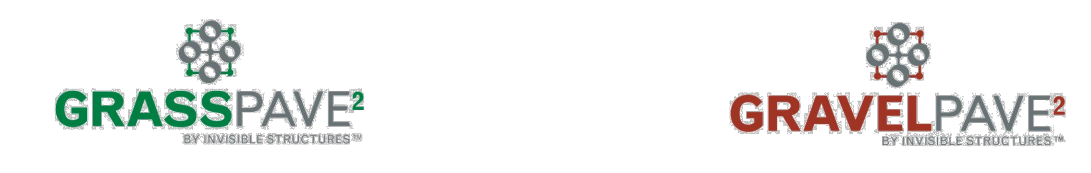


INVISIBLE STRUCTURES

Base Course Depth Recommendations
GRASSPAVE2 and GRAVELPAVE2

	Normal Traffic		Occasional Passes		Infrequent Passes	
	CBR 2-4	CBR >4	CBR 2-4	CBR >4	CBR 2-4	CBR >4
Heavy Fire Truck & H-20 Loading Max 110 psi 80,000 lb	14 in	12-14 in	12-14 in	12 in	12 in	10-12 in
Light Fire Truck & H-15 Loading Typical 85 psi 60,000 lb	12 in	10-12 in	10 in	8-10 in	8-10 in	8 in
Utility & Delivery Truck & H-10 Loading Typical 60 psi 40,000 lb	8-10 in	8 in	8-10 in	6-8 in	6-8 in	6 in
Cars & Pick-Up Truck Access Typical 45 psi 8,000 lb	6-8 in	6 in	6 in	4-6 in	4-6 in	2-4 in
Trail Use and Cart Paths <1,000 lb	6 in	4-6 in	2-4 in	0-2 in	None	None

* THESE DEPTH RECOMMENDATIONS SHOULD BE VERIFIED BY THE PROJECT ENGINEER AND LOCAL AUTHORITIES



REV	DESCRIPTION	BY	DATE
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIER COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7006, SUBSECTION 2.

BROOKER ENGINEERING, PLLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • HYDROLOGICAL • SURVEYING
www.BrookerEngineering.com
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT:
GATTO LANE PAC SITE PLAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

TITLE:
FIRE COMPLIANCE EXHIBIT
(2 OF 2)

PROJECT NO: 20231
SCALE: AS SHOWN
GRAPHIC SCALE:
DATE: 11/10/2022
DRAWING NO: 18

PROFESSIONAL ENGINEER
KENNETH W. DEGENNARO
N.Y.S. Lic. No. 076214