

NOTES:

GENERAL NOTES:

1. ALL WORK UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH 2008 NEW YORK STATE BUILDING CODE
2. EXISTING TOPOGRAPHY INFORMATION IS BASED ON SURVEY DATED NOVEMBER 17, 2023 BY SUMMIT LAND SURVEYING P.C.
3. THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY IN A TIMELY MANNER.
4. NO RECYCLED MATERIAL (C&D) IS PERMITTED ON SITE. ANY IMPORTED SOIL SHALL MEET THE NYSDEC STANDARDS OF UNRESTRICTED FILL AND BE SUITABLE FOR RESIDENTIAL USE.
5. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, AN AS-BUILT SURVEY PREPARED BY A LICENSED PROFESSIONAL SURVEYOR OF THE PROPERTY SHALL BE SUBMITTED TO THE DEPARTMENT OF TECHNICAL SERVICES.
6. OMIT
7. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE ENGINEER/ARCHITECT SHALL SUBMIT A CERTIFICATION ADDRESSED TO "THE VILLAGE OF NYACK DEPARTMENT OF BUILDINGS" THAT THE SITE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS ON FILE WITH THE TOWN AND THAT THERE IS NO ADVERSE IMPACTS TO ADJACENT AND ADJOINING NEIGHBORS AS IT PERTAINS TO DRAINAGE AND RUNOFF.
8. NO FILL SHALL BE IMPORTED TO THE SITE PRIOR TO REVIEW. CONTRACTOR TO INDICATE THE SOURCE OF ALL PROPOSED FILL AND PROVIDE DOCUMENTATION. ALL IMPORTED FILL MUST BE TESTED AND CERTIFIED AS UNRESTRICTED AND SUITABLE FOR RESIDENTIAL USE. CERTIFICATIONS MUST BE PROVIDED BY A LICENSED PROFESSIONAL. ALL CERTIFICATIONS SHALL BE ADDRESSED TO WHOM IT MAY CONCERN. FILL SHALL BE REVIEWED BY A THIRD PARTY CONSULTANT RETAINED BY THE TOWN AND PAID FOR BY THE APPLICANT.
9. FOOTING DRAINS SHALL BE SEPARATED FROM LEADER DRAINS AND DRAIN TO DAYLIGHT.

EROSION CONTROL NOTES:

1. EROSION CONTROL WORK TO COMPLY WITH ALL NYSDEC SWPPP REQUIREMENTS.
2. CONTRACTOR SHALL INSTALL ANY ADDITIONAL EROSION CONTROL IF NECESSARY.
3. CONTRACTOR TO MAINTAIN EROSION CONTROL THROUGHOUT THE DURATION OF CONSTRUCTION.

DRAINAGE NOTES:

1. STORM DRAINAGE WORK TO COMPLY WITH ALL NYSDEC REQUIREMENTS.
2. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION.
3. IF ANY DRAINAGE ADJUSTMENTS HAVE TO BE MADE BASED ON SITE CONDITIONS, CONTRACTOR MUST CONTACT DESIGN ENGINEER PRIOR TO ANY ACTION TAKEN.
4. ALL DRAINAGE PIPE SHALL BE SDR-35 PVC, UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO INSTALL INFILTRATION SYSTEM IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
6. CONTRACTOR SHALL PROTECT AND KEEP CLEAN ALL DRAINAGE STRUCTURES AND PIPE DURING CONSTRUCTION.
7. DEEP HOLE AND PERCOLATION TESTING WILL BE PERFORMED PRIOR TO INSTALLATION AND WITNESSED BY THE TOWN'S ENGINEERING DIVISION. TESTING SHALL FOLLOW APPENDIX "D" OF THE NYSDEC STORM WATER MANUAL.

JMER ENGINEERING, P.C.

55 PARK AVE  
OSSINING, NY 10562  
PHONE: 914-255-5780

CLIENT:  
Alan & Lydia Rosenfeld  
7 Washington Circle  
New City, NY 10956

PROJECT TITLE:

SITework & RETAINING WALLS  
1114 SO. ROUTE 9W  
GRANDVIEW, NY 10960

KEY MAP



LOT# 71.05-1-21

ZONE R-22 BULK REGULATION TAX LOT # 71.05- 1-21

	Required	Existing	Proposed
<b>Floor area ratio</b>	0.2	0.023	no change
<b>Lot area</b>	22,500 sf	125,380 sf	no change
<b>Lot width</b>	125 ft	193 ft	no change
<b>Street frontage</b>	75 ft	50 ft	no change
<b>Front yard setback</b>	40 ft	56 ft	no change
<b>Side yard setback</b>	25 ft	36 ft	no change
<b>Total side yard setback</b>	60 ft	128.4 ft	no change
<b>Rear yard setback</b>	45 ft	456 ft	no change
<b>Maximum building height</b>	2 story	2 story	no change

NO.	DATE	REVISION

DRAWING TITLE:  
ZONING DATA  
GENERAL NOTES  
KEY MAP

DRAWING NUMBER:  
**C-100**

DRAWING DATE:  
3/20/2024

SCALE:  
1" = 10'-0"

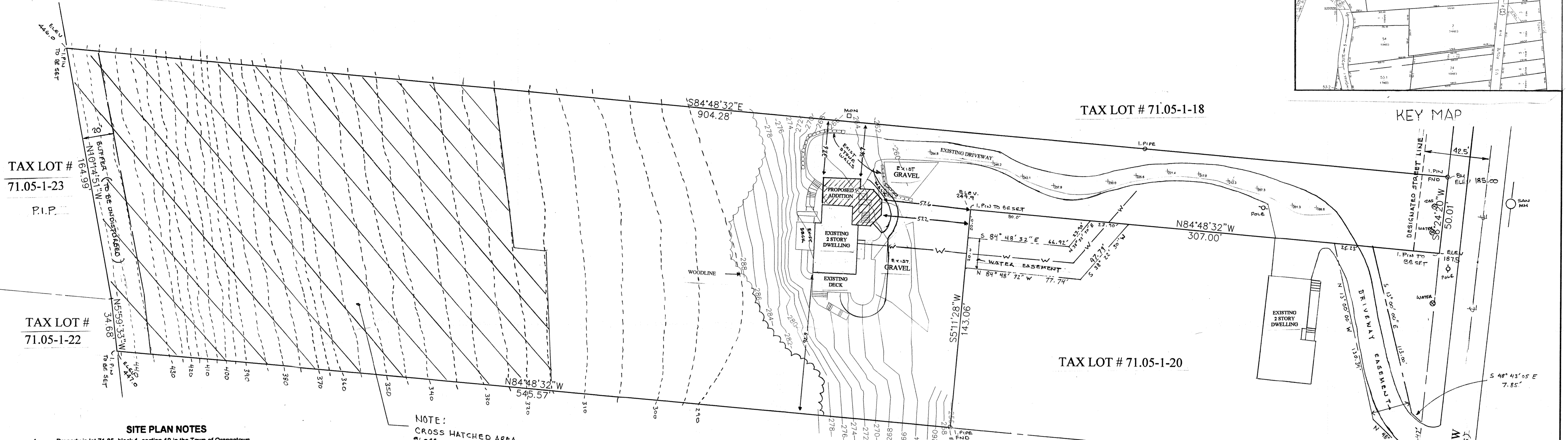
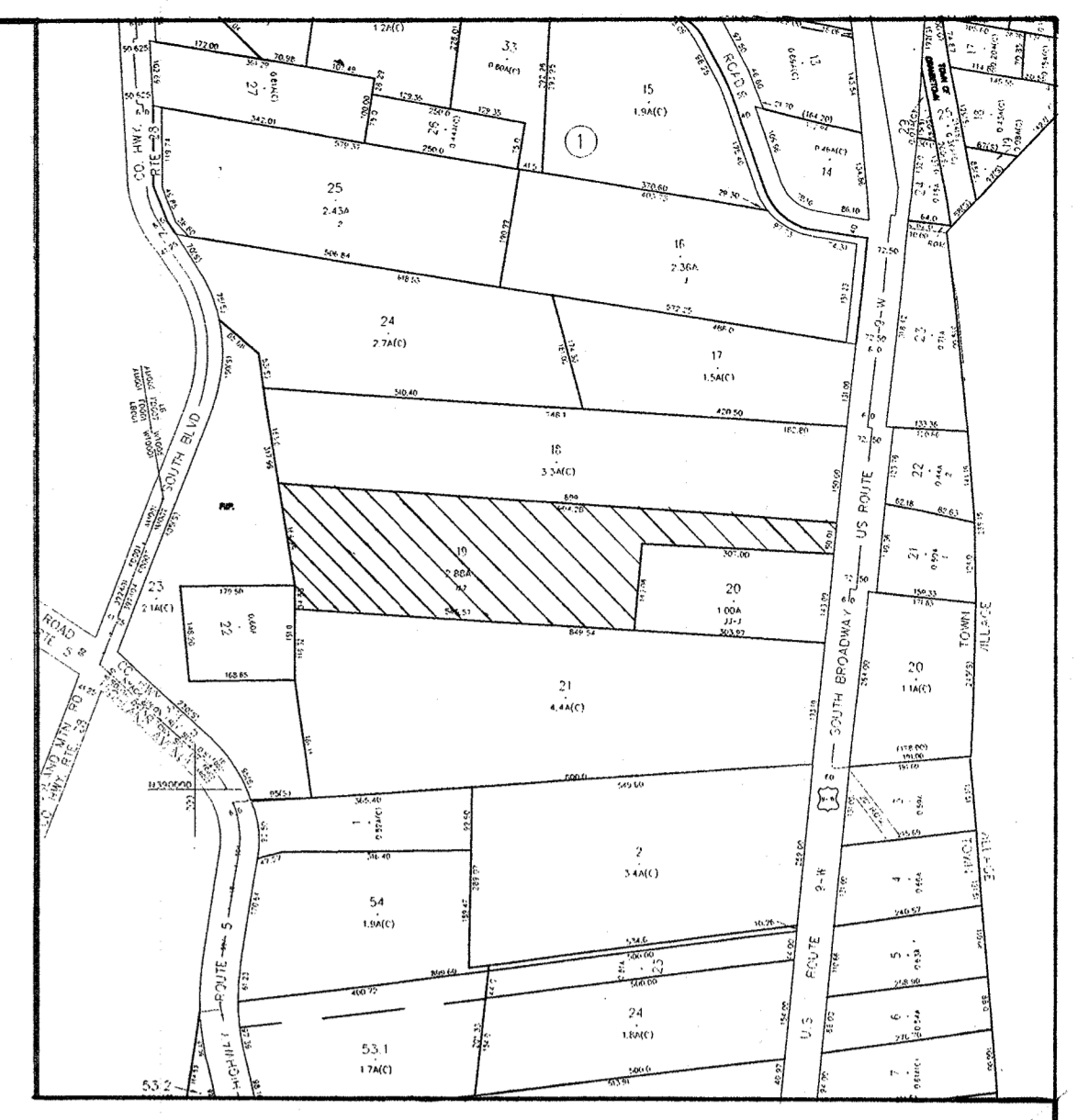
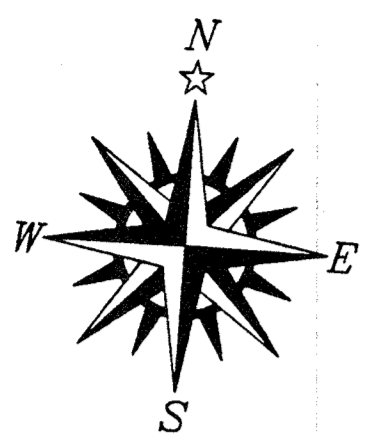
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW 7209 ARTICLE 143

DRAWINGS INDEX:

- C100 : ZONING DATA, GENERAL NOTES & KEY MAP
- PREVIOUS LAND SURVEY BY McDUGALL ENGINEERING P.C.
- CURRENT LAND SURVEY BY SUMMIT LAND SURVEYING P.C.
- C101 : ENLARGED SITE PLAN
- C102 : SITE DETAILS



SEAL



TAX LOT #  
71.05-1-23  
P.I.P.

TAX LOT #  
71.05-1-22

TAX LOT # 71.05-1-18

TAX LOT # 71.05-1-20

TAX LOT # 71.05-1-21

KEY MAP

ROUTE 9W  
(WIDTH VARIES)

**SITE PLAN NOTES**

- Property is lot 71.05, block 1, section 19 in the Town of Orangetown.
- Record Owner: Rosenfeld, 1114 Route 9W, Upper Grandview, NY 10960
- Property is 2.88 acres. (125, 380.3 sf)
- Present zone - Single Family Residential R-22
- Proposed use - Single Family Residential (Addition to present residence)
- Property line and topographic information from survey prepared by Boswell Surveying, Inc., P.O. Box 221, Harrington Park, NJ 07840
- Fire district: Upper Grandview
- School district: SOUTH ORANGETOWN SCHOOL DISTRICT
- Water district: TOWN OF ORANGETOWN
- Water Supply by: Spring Valley Water Co.
- Sewer district: Town of Orangetown
- All utilities including electric and telephone service shall be installed underground.
- No building permit will be issued until sewage disposal arrangements have been approved by the Rockland County Health Department and/or the Town of Orangetown.
- All roof drains shall be piped to the storm drainage system.
- See separate Sedimentation and Erosion Control Notes.
- This plat does not conflict with the County Official Map, and has been approved in the manner specified by section 239 L and M of the General Municipal Law of the State of New York.
- Any existing utility poles, hydrants, etc. affected by construction of this site must be relocated at the developer's expense prior to the issuance of any certificate of occupancy.
- All disturbed areas not otherwise improved with Buildings or paving are to be topsoiled and seeded for soil erosion control.
- A permit from the NYSOT for highway work will be obtained prior to any site construction in State R.O.W. Follow NYSOT specifications for work within the NYS Right-of-Way.
- Rip rap to be placed at storm drainage outfalls.
- Monuments to be placed at all property corners and angle points.

NOTE:  
CROSS HATCHED AREA  
SLOPE IS 25% OR GREATER.

- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- TREE PROTECTION: A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
  - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDERNEATH THE TREE CANOPY
  - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES
  - TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES
  - TREES TO BE SAVED WILL BE FENCED AT THE OUTER DRIP LINE
  - NO EARTH FILL GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED
  - IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS, OR THROUGH THE USE OF RETAINING WALLS
  - IN CUT AREAS, TREE WILL BE PRESERVED WITH RETAINING WALLS

- The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.
- If the applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant shall submit their recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Wetlands - U.S. Army Corps of Engineers).
- Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.
- Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications
- The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse collection.

NOTE: TOPOGRAPHY EAST OF THE WOODLINE IS BASED ON A FIELD SURVEY DATED 7/18/02. TOPOGRAPHY WEST OF THE WOODLINE IS TAKEN FROM THE ROCKLAND COUNTY DRAINAGE MAPS.

BENCH MARK: IRON PIN FOUND ON THE NORTH EASTERLY CORNER OF THE PROPERTY IN QUESTION. ELEVATION 185.00 TAKEN FROM A MAP PREPARED BY JACK BOSWELL DATED APRIL 2, 1979.

**ZONE R-22 BULK REGULATIONS**

F.A.R.	REQ'D	PROVIDED
LOT AREA	0.2	0.0018
LOT WIDTH	125 feet	125.380.3 sf
FRONTAGE	75 feet	50 feet (existing)
FRONT YARD	40 feet	56 feet
SIDE YARD SETBACK	25 feet	36.7 feet
TOTAL SIDE YARD	60 feet	128.4 feet
REAR YARD	45 feet	456 feet +/-
MAX. BLDG. HEIGHT	35 feet	35 feet

- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPT. SPECIFICATIONS FOR SIDEWALKS AND CURBS.
- All landscaping shown on the site plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.
- Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

**ROBERT G. TORGERSEN**  
LANDSCAPE ARCHITECT  
3 MAIN DRIVE  
NANUET, N.Y. 10954  
**A.S.L.A.**

SCALE: 1" = 30'  
DATE: 4-29-02

*Robert Torgersen*  
N.Y.S. LIC. NO. 451

NO.	REVISIONS	BY	DATE
4	FINAL APPROVAL REQUIREMENTS	DMC	8-19-03
3	Orangetown Planning Board Additions	GMW	8-8-03
2	BUFFER	DMC	1-7-03
1	TOWN REVIEW	DMC	10-30-02

David S. McDougall, P.E.  
N.Y.S. License # 52673

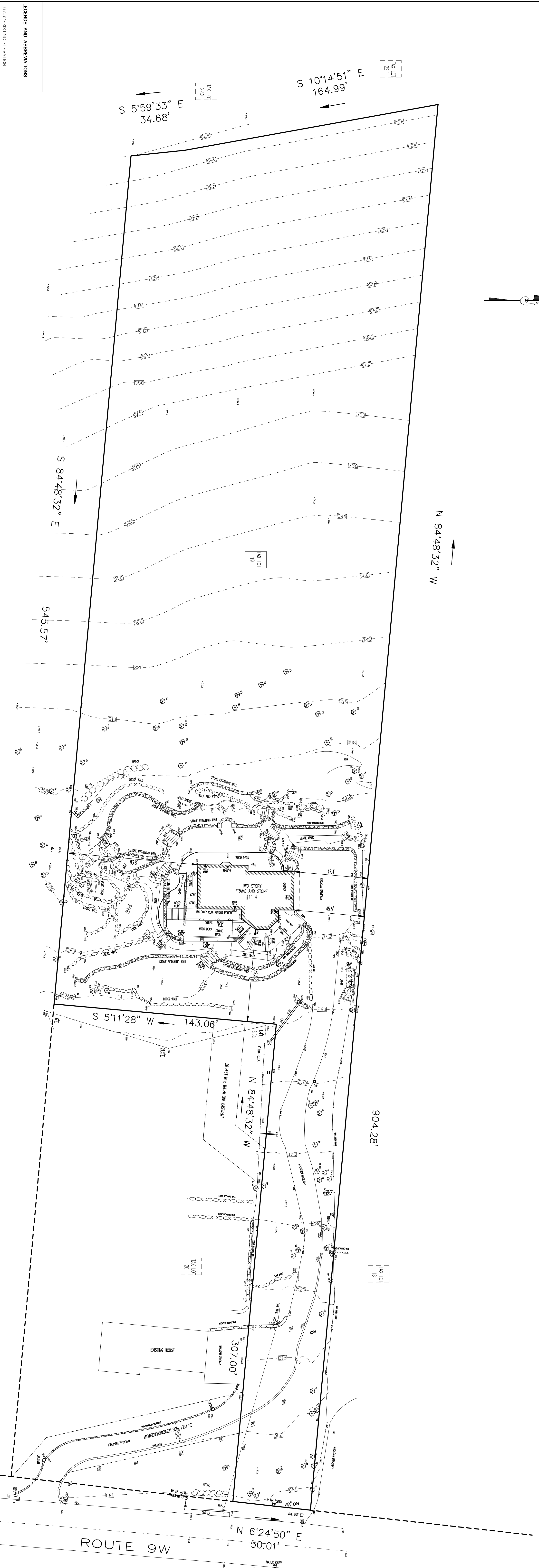
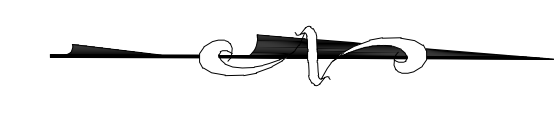
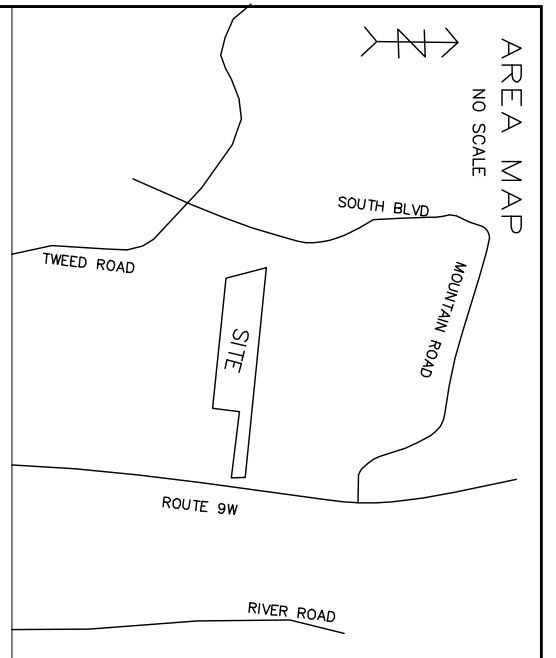
Thomas McDougall, P.L.S.  
N.Y. License # 49301

**PROPOSED ADDITION PLOT PLAN FOR**

**ROSENFELD**  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY NEW YORK

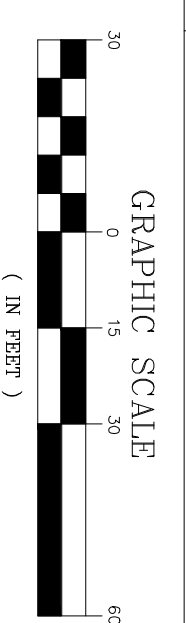
**McDOUGALL ENGINEERING ASSOCIATES, INC.**  
CONSULTING ENGINEERS AND SURVEYORS  
65 RAMAPO VALLEY ROAD  
SUITE 14  
MAHWAH, NEW JERSEY 07430

DRAWN BY: TB  
DESIGNED BY: DMC  
PROJECT NUMBER: 436  
SHEET: 1 of 2  
SCALE: 1" = 30'



- LEGENDS AND ABBREVIATIONS**
- 67 MEASURING ELEVATION
  - THET
  - DISCHARGE INLET
  - CONCRETE CURB
  - CONCRETE BELLY WALL
  - BUILDING
  - CONCRETE CURB
  - CONCRETE BELLY WALL
  - TOP WALL
  - BOTTOM WALL
  - UTILITY POLE CURB
  - UTILITY POLE
  - HYDRANT
  - WATER MAIN
  - WATER MAIN
  - WATER MAIN
  - GAS VALVE
  - DRAINAGE INLET
  - CATCH BASIN
  - SEWER MANHOLE
  - ELECTRIC MANHOLE
  - ELECTRIC MANHOLE
  - SEWER MAIN
  - WATER MAIN
  - SEWER
  - ELECTRIC LINE
  - OVERHEAD WIRE
  - CL.F.
  - TOP OF CURB
  - BOTTOM OF CURB
  - BOTTOM OF CURB
  - LEGAL GRADE
  - UM= UTILITY MANHOLE

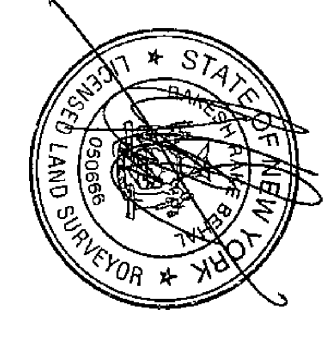
LOT AREA = 1123,385 Sq F OR 42.88 AC.



**REVISIONS**

DATE	BY	DESC.

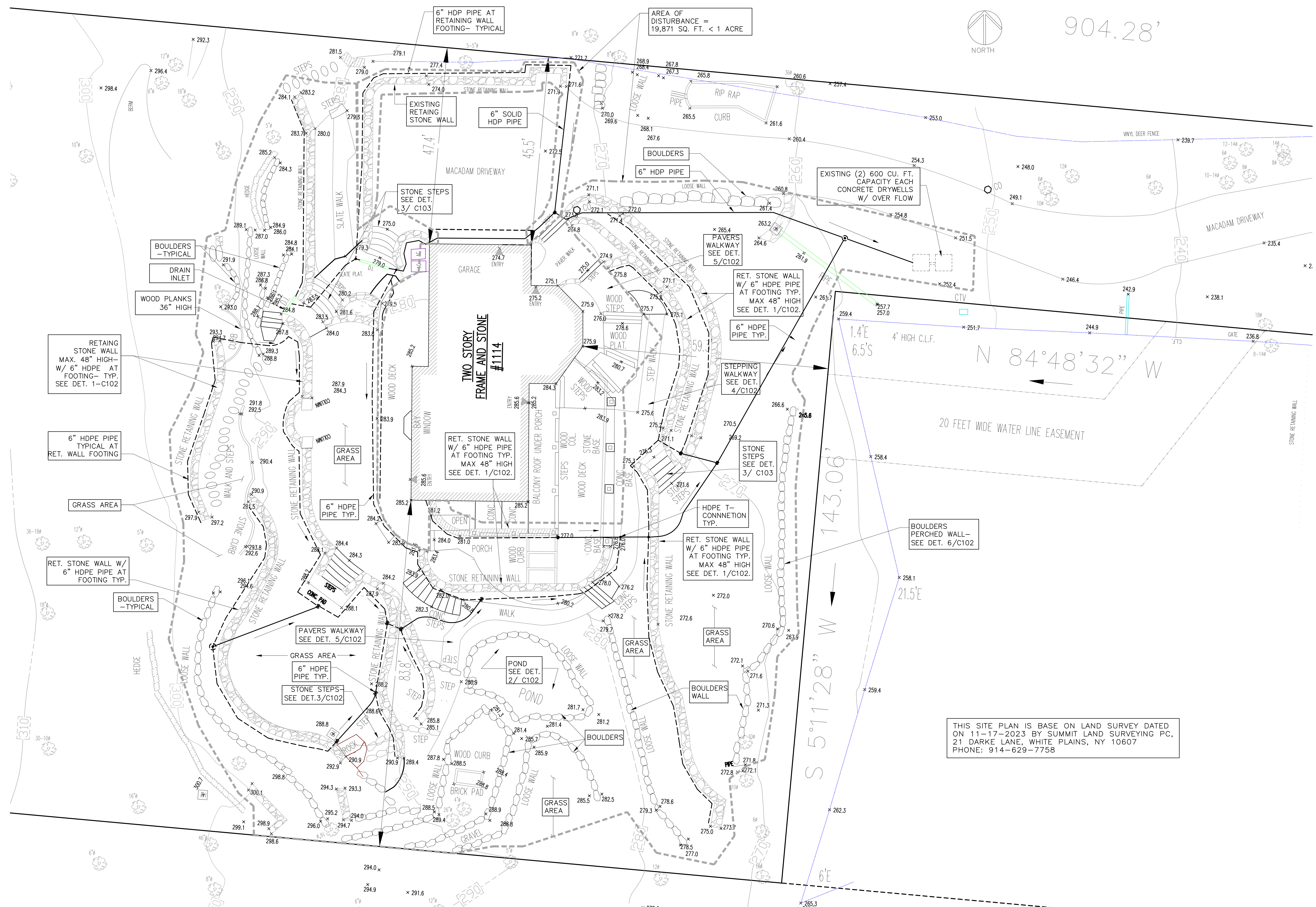
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 SCALE: 1"=30'  
 Measured in U.S. Standard  
 JOB NUMBER: RCM0057-11-2(0000)  
 COPYRIGHT © 2023 SUMMIT LAND SURVEYING P.C.



This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.  
 Rakesh R. Behal, L.S. New York State License Number 050666.

**Summit Land Surveying P.C.**  
 21 Drake Lane  
 White Plains NY 10607  
 Tel. 9146297758

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP IS A VIOLATION OF SECTION 1709 OF THE SURVEYING AND MAPPING LAW. ANY SUCH VIOLATION IS A VIOLATION OF THE STATE EDUCATION LAW AND SHALL BE CONSIDERED TO BE A TRULY AND VALID COPY.  
 BELOW SIGNATURE AND DATE ARE NOT SHOWN, THE EXISTENCE OF SUCH SIGNATURE AND DATE IS NOT PROVED.  
 A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED.  
 Certifications indicated only in the person for whom the survey was prepared and in the case of the surveyor, the date of the survey. The certification of the surveyor is not a warranty of the accuracy of the survey. The certification is not a warranty of the accuracy of the survey. The certification is not a warranty of the accuracy of the survey.  
 Not for Title Transfer.



1 PART SITE PLAN FOR RETAINING WALLS & LANDSCAPE BOULDERS  
C101 SCALE: 1" = 10'-0"

NO.	DATE	REVISION

DRAWING TITLE:  
SITE PLAN

DRAWING NUMBER:  
C-101

DRAWING DATE:  
3/20/2024

SCALE:  
1" = 10'-0"

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NY STATE EDUCATIONAL LAW 2209 ARTICLE 143



NO.	DATE	REVISION

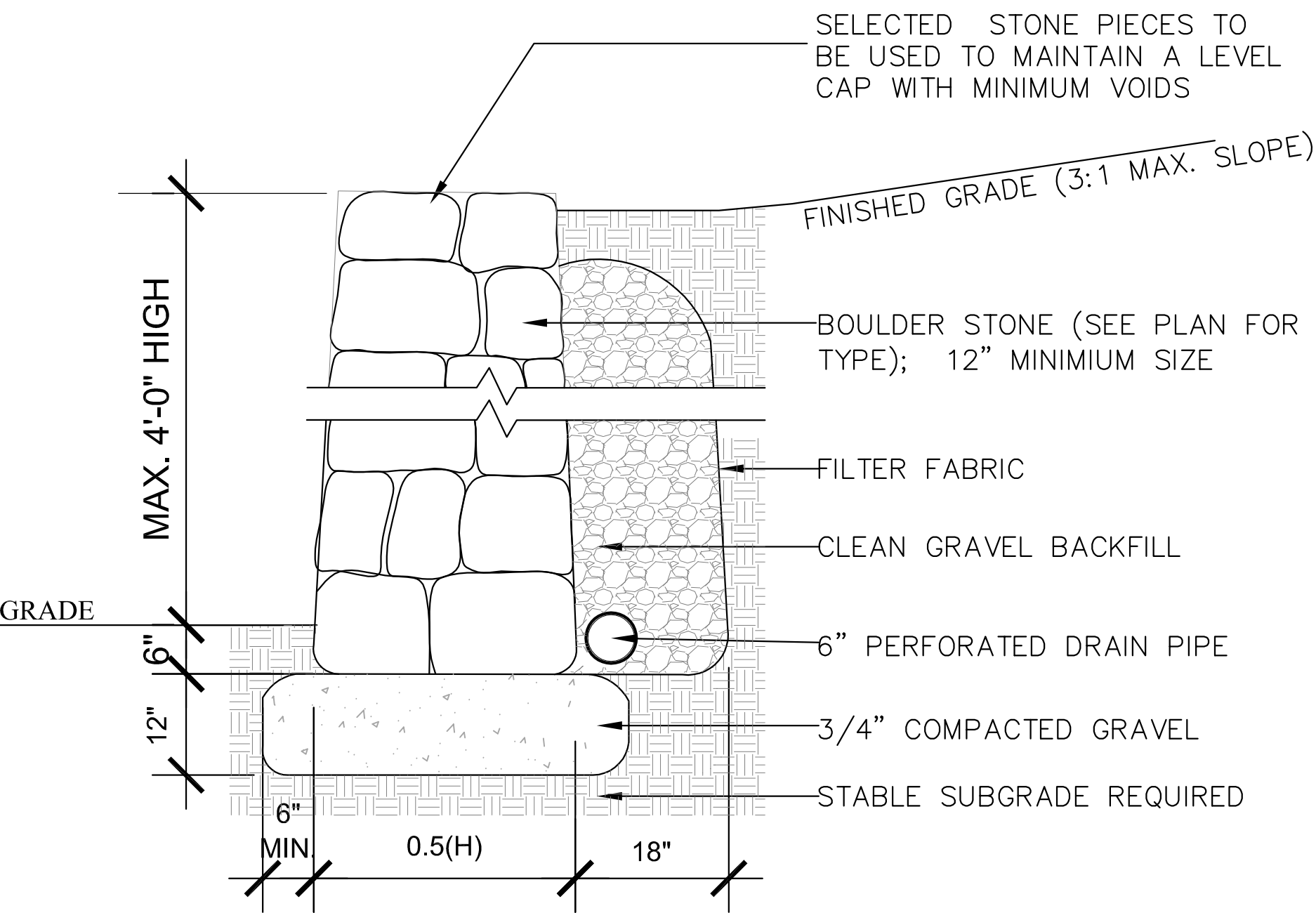
DRAWING TITLE:  
SITE DETAILS

DRAWING NUMBER:  
**C-102**

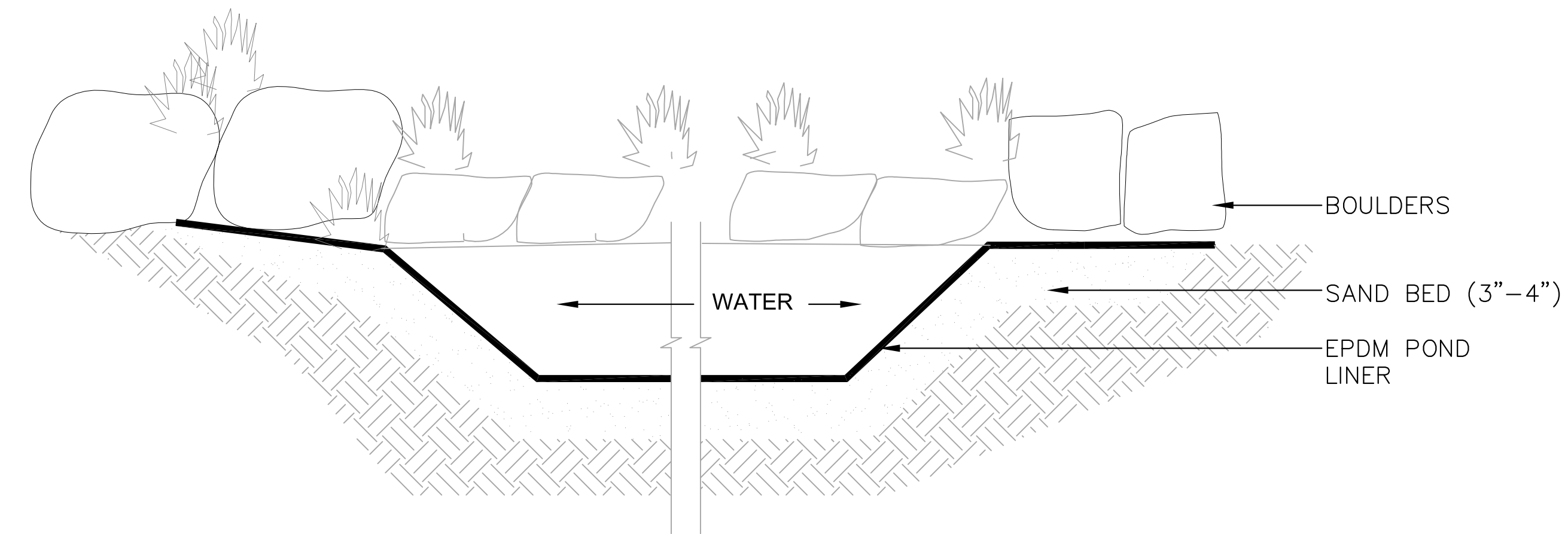
DRAWING DATE:  
03/ 20/2024

SCALE:  
3/4" = 1'-0"

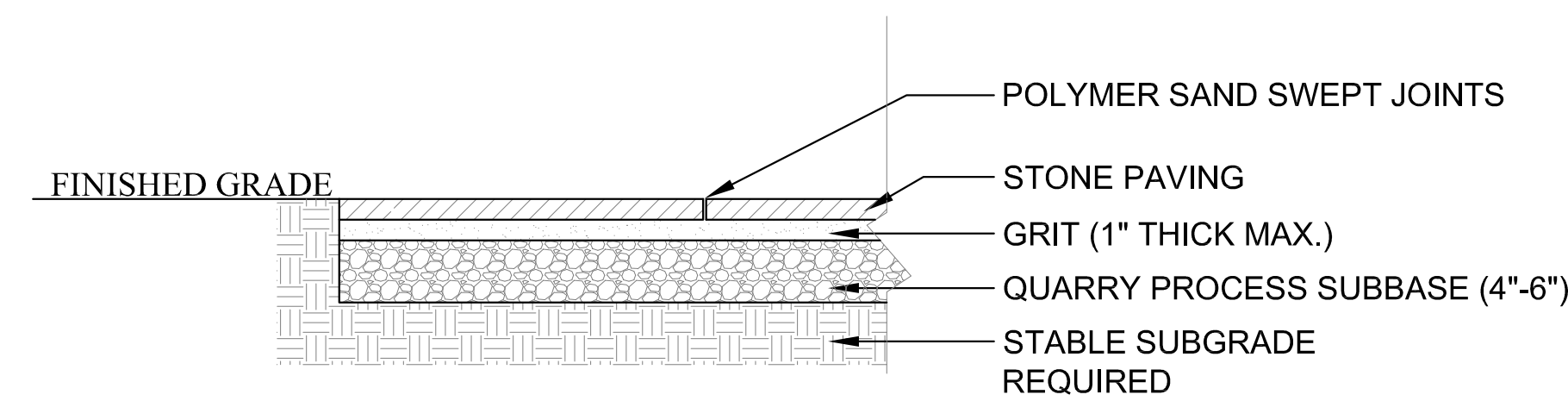
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NY STATE EDUCATIONAL LAW 7209 ARTICLE 143



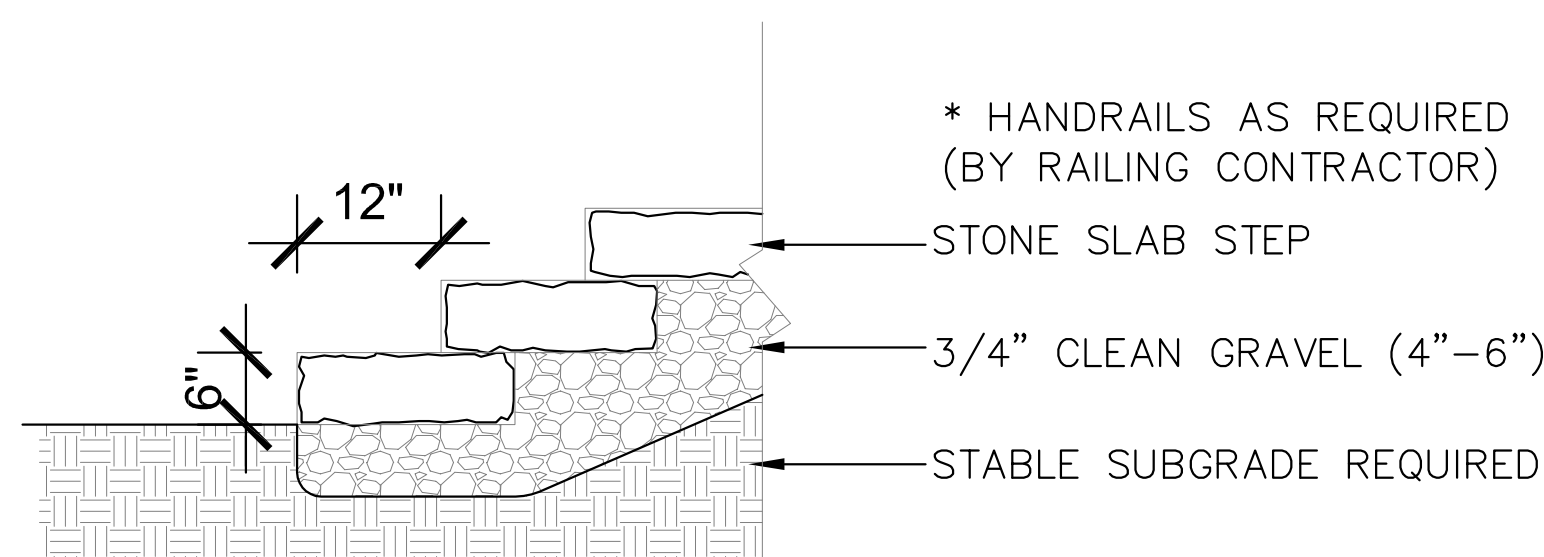
**1** STONE RETAINING WALL DETAIL  
SCALE: 3/4" = 1'



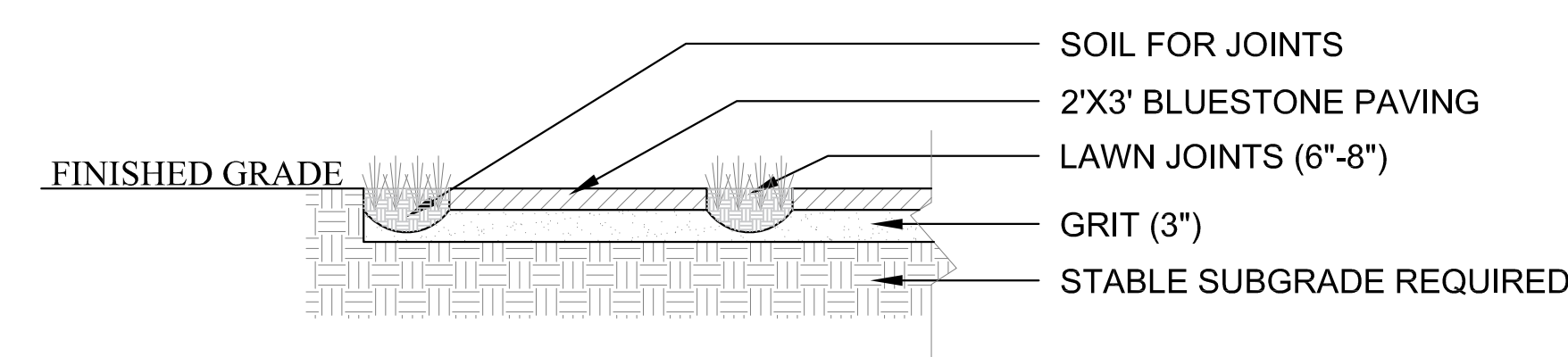
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SCALE: 3/4" = 1'



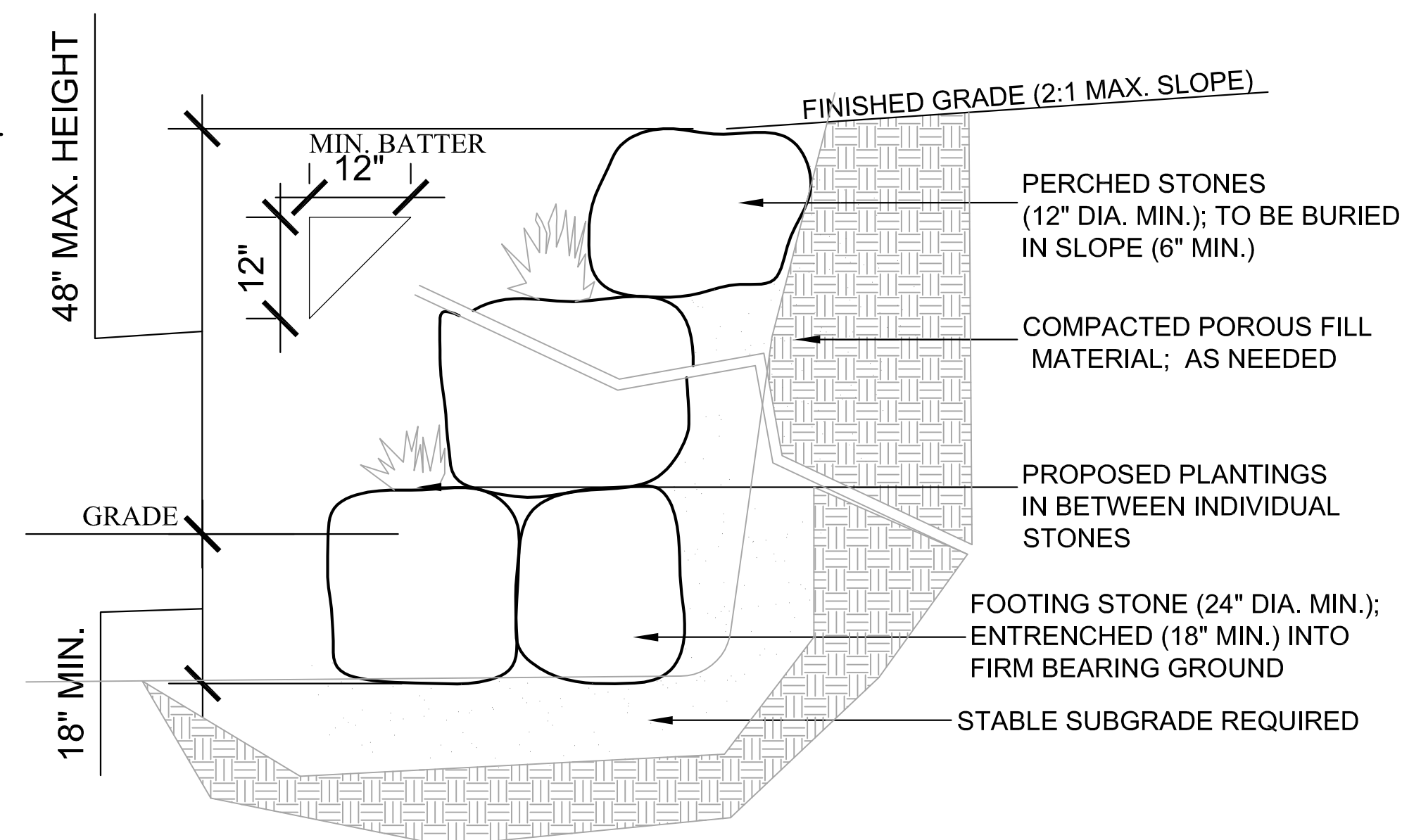
**5** DRY-LAID STONE PATIO/ WALK  
SCALE: 3/4" = 1'



**3** STONE SLAB STEPS DETAIL  
SCALE: 3/4" = 1'



**4** STEPPING STONES WITH LAWN  
SCALE: 3/4" = 1'



**6** BERCHED BOULDERS SECTION DETAIL  
SCALE: 3/4" = 1'