

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ext. 4316)
Date: **June 3, 2024**

- TO: OBAPAE
- | | |
|--|----------------------------|
| Environmental Management and Engineering | ✓ Rockland County Drainage |
| ✓ Rockland County Sewer District #1 | ✓ Rockland County Health |
| ✓ New York State Dept. of Transportation | ✓ Rockland County Planning |
| Palisades Interstate Park Commission | ✓ Rockland County Highway |
| Orange and Rockland Utilities | ✓ NYS Thruway Authority |
| Orangetown Highway | |

Review of Plans: **Elite - Melnikov, 1159 Route 9w, Nyack, New York, Section 66.17 Block 2 Lot 18 RG zone**
This matter is scheduled for: **July 31, 2024**

Chapter 43, Section 3.11, RG district, Group Q (Expansion of existing - approved - nonconforming Auto Repair and sales), Section 9.34(one-time nonconforming expansion used as convenient store has been removed for expansion) to expand an existing nonconforming auto repair with car sales ZBA#75-78 and remove existing convenience store. The premises are located at 1159 Route 9w, Nyack, New York and identified on the Orangetown Tax Map as Section 66.17, Block 2, Lot 18 in the RG zoning district.

Please review the information enclosed and provide comments. These comments may be mailed by **July 31, 2024**, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: Kbettmann@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: July 31, 2024

- Comments attached
 - No Comments at this time. Please send future correspondence for review.
 - No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
 - This project is out of the jurisdiction of this agency and has no further comments.
- This project is before the Zoning Board on **Wednesday, July 31, 2024**. **Kindly forward your completed review to this office by July 31, 2024.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDC-4922-24
ASSIGNED
INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: MELNIKOV PROPERTY

Street Address: 1159 ROUTE 9W
NYACK, NEW YORK 10960

Tax Map Designation:

Section: 66.17 Block: 2 Lot(s): 18
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the EAST side of ROUTE 9W, approximately 1,000 feet NORTH of the intersection of SOUTH BROADWAY, in the Town of ORANGETOWN in the hamlet/village of NYACK.

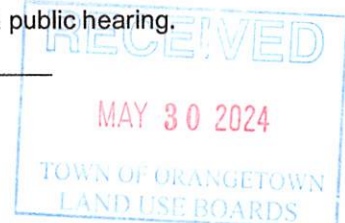
Acreage of Parcel <u>.45</u>	Zoning District <u>R9</u>
School District <u>NYACK UNION FREE</u>	Postal District _____
Ambulance District <u>NYACK</u>	Fire District _____
Water District <u>vedia</u>	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)

EXPAND EXISTING, NONCONFORMING AUTO REPAIR WITH CAR SALES (2BA 75-78), REMOVE EXISTING CONVENIENCE STORE, LEGALIZATION OF SPRAY BOOTH

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2024-05-14 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If **subdivision**: N/A

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If **site plan**: N/A

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area yes, _____

Are there **streams** on the site? If yes, please provide the names. no. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

no. _____

Project History:

Has this project ever been reviewed before? YES NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Property History
ZBA 75-78 dated 1975-10-01
ZBA 73-99 dated 1973-09-05

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962



Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 5/31 April 8, 2024 Section: 66.17 Block: 2 Lot: 18

Applicant: Melnikov

Address: 1159 Route 9W, Upper Grandview, NY Nyack

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.11 RG District, expansion of existing (approved) nonconforming Auto Repair and Sales

Chapter 43, Section 9.34 allows a one time nonconforming expansion with ZBA approval. Area being used as convenience store has been removed for expansion.

1 Variance required

Comments:

Expand existing nonconforming Auto repair with car sales (ZBA 75-78)
(remove existing convenience store)

Dear Melnikov:

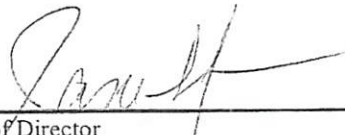
Please be advised that the Building Permit Application # 4922-24, which you submitted on 3.19.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

4/8/24

MAY 30 2024



4/11/24

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

Date
CC: Liz DeCort
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962



Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE INDUSTRIAL USE COMMITTEE

Date: 5/31 April 8, 2024 Section: 66.17 Block: 2 Lot: 18
 Applicant: Melnikov
 Address: 1159 Route 9W, Upper Grandview, NY Nyack
 RE: Application Made at: same

Referred For: **§ 4.1 Performance Standards.**
4.12.

Performance standards procedure. Only those uses specified in the Zoning Code's Use Table, Columns 2, 3 and 4, are subject to the performance standards procedure of § 4.121(c), requiring the review of performance standards conformance, and a determination thereof, by the Industrial Use Committee ("IUC") prior to obtaining a building permit. An operator of any use subject to § 4.121(c) shall hereinafter be referred to as "industrial user."

Dear Melnikov:


Please be advised that the Building Permit Application # p4922-24, which you submitted on Mar 19, 2024, has been referred to the Town of Orangetown Industrial Use Committee. The assistant Clerk to the Boards, Katlyn Bettmann, can assist you in the preparation necessary to appear before the Committee. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com.

Sincerely,


 Richard Oliver
 Deputy Building Inspector

4/8/24

MAY 30 2024


 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 1-30-2023 JSA

4/11/24

Date
 Liz DeCort
 Katlyn Bettmann

Summary of Application to Orangetown Zoning Board of Appeals

The Melnikov Property
1159 Route 9W, Upper Grandview, New York 19060

May 30, 2024

The commercial building on the subject property had been used, in its entirety, as an automotive repair, sales, and body shop, per ZBA Resolution 75-78 dated October 1, 1975, until part of the space was repurposed as convenience store by Certificate of Occupancies number 223352 dated February 4, 1993 and number 27416 dated March 17, 1997. The owner is seeking approval to expand the existing automotive repair, sales, and body shop back to its original square footage as the convenience store has been closed since approximately 2004.



GEORGE HODOSH ASSOCIATES – ARCHITECTS, P.C.

120 North Main Street, Suite 501, New City, New York 10956
845-638-9336 ♦ www.HodoshAssociates.com ♦ Email: info@HodoshAssociates.com

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Melnikov Property			
Project Location (describe, and attach a location map): 1159 Route 9W, Nyack, New York 10960			
Brief Description of Proposed Action: Expand existing, nonconforming use of auto repair with car sales (ZBA 75-78). Remove existing convenience store. Legalization of spray booth.			
Name of Applicant or Sponsor: Timofey Melnikov as Trustee of Andrei and Olga Melnikov Family Trust		Telephone: 845-405-6563 E-Mail: timthemelnikov@gmail.com	
Address: 25 Hidden Garden Lane			
City/PO: Monsey		State: New York	Zip Code: 10952
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Orangetown Zoning Board of Appeals, Town of Orangetown Industrial Use Committee			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.42 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.42 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			



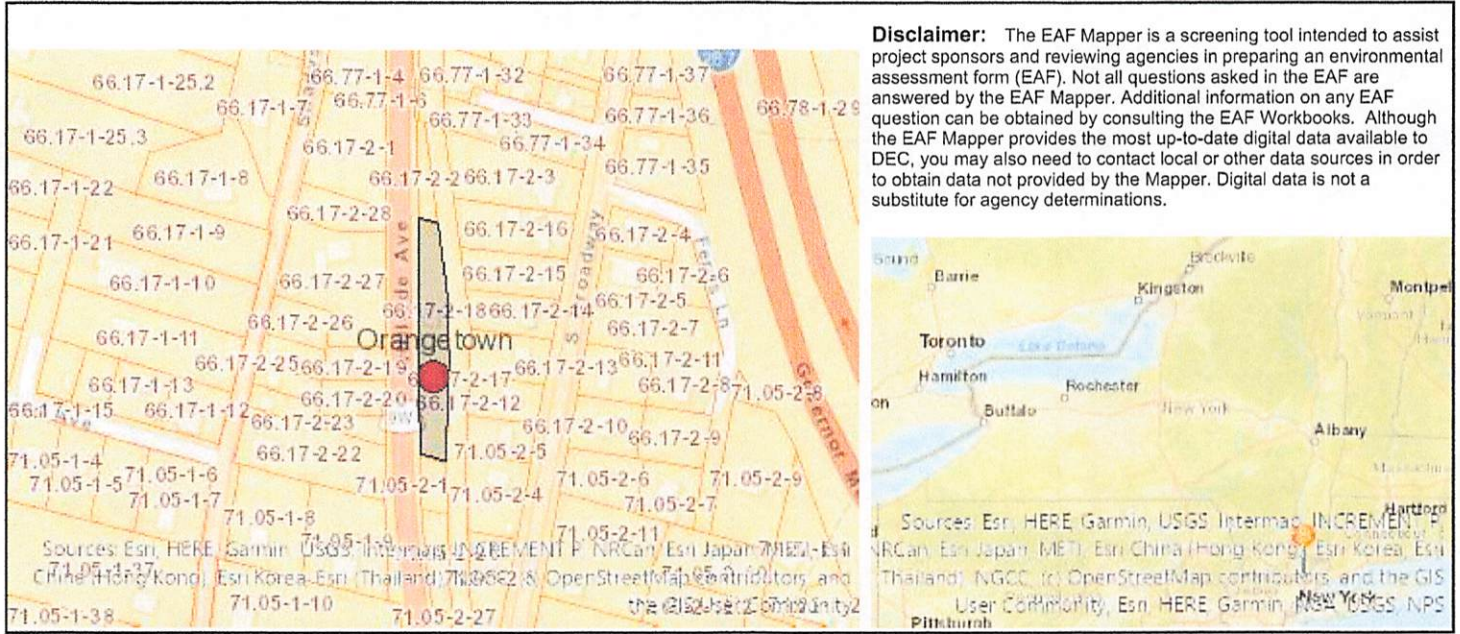
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
Name:Upper Grandview & Environs, Name:Mountainous Area, Name:Run-Off-Area, Name:Hudson River Area, If Yes, identify: Reason:Exceptional or unique character, Reason:Steep slope, natural, aesthetic, historic, archeological, & recreationa...	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Atlantic Sturgeon, Shortnos...	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>JONATHAN HODOSH</u> Date: <u>2024-05-30</u> Signature: _____ Title: <u>ARCHITECT</u>		

PRINT FORM





Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Upper Grandview & Environs, Name:Mountainous Area, Name:Run-Off-Area, Name:Hudson River Area, Reason:Exceptional or unique character, Reason:Steep slope, natural, aesthetic, historic, archeological, & recreational significance, Reason:Proximity to hillside, ruun-off, erosion, drainage issues, impact of pollution, noise, & traffic, Reason:Aesthetic, ecological geological & hydrological sensitivy, Agency:Orangetown, Town of, Agency:South Nyack, Village of (Orangetown, Town of), Date:10-16-88, Date:2-4-98
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Atlantic Sturgeon, Shortnose Sturgeon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



SWIS	PRINT KEY	NAME	ADDRESS
392489	66.77-1-33	Joeyann Milan	3 Livingston Pl,So Nyack, NY 10960
392489	66.77-1-34	Jori Goldner	1 Livingston Pl,South Nyack, NY 10960
392489	66.17-2-1	Anet Kashoa	12 Shadyside Ave,Upper Grandview, NY 10960
392489	66.17-2-2	Majid Bozorgomid	312 N Midland Ave,Nyack, NY 10960
392489	66.17-2-3	Stephen F De Groat	324 So Broadway,Upper Grandview, NY 10960
392489	66.17-2-4	Joanne Barr	323 S Broadway,Upper Grandview, NY 10960
392489	66.17-2-5	Joel Landau	19 Fanley Ave,Spring Valley, NY 10977
392489	66.17-2-7	Islay Burgess	3 Ferris Ln,Upper Grandview, NY 10960
392489	66.17-2-10	Bradley Cohen	447 So Broadway,Upper Grandview, NY 10960
392489	66.17-2-11	John Mihovics	445 S Broadway,Nyack, NY 10960
392489	66.17-2-12	Edith Paul	448 S Broadway,Upper Grandview, NY 10960
392489	66.17-2-13	Luis A M Vasquez	446 S Broadway,Upper Grandview, NY 10960
392489	66.17-2-14	William Sweeney	400 S Broadway,Upper Grandview, NY 10960
392489	66.17-2-15	Walter Smith	160 Powers St Apt 1,Brooklyn, NY 11211
392489	66.17-2-16	Mark S Greenspan	326 S Broadway,Upper Grandview, NY 10960
392489	66.17-2-17	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	66.17-2-18	Andrei Melnikov	25 Hidden Glen Ln,Monsey, NY 10952
392489	66.17-2-19	Mousumi Dutta	1158 Rte 9W,Upper Grandview, NY 10960
392489	66.17-2-20	Curtis Bell	1156 Rte 9W,Upper Grandview, NY 10960
392489	66.17-2-21	Marie Burewall	22 Shadyside Av,Upper Grandview, NY 10960
392489	66.17-2-22	Suzanne Silverstein	24 Shadyside Av,Upper Grandview, NY 10960
392489	66.17-2-23	Marie Burewall	22 Shadyside Ave,Upper Grandview, NY 10960
392489	66.17-2-24	Dorian Santana	20 Shadyside Ave,Upper Grandview, NY 10960
392489	66.17-2-25	Stephen A Chiarello	18 Shadyside Av,Upper Grandview, NY 10960
392489	66.17-2-26	John K Blount	16A Shadyside Ave,Nyack, NY 10960
392489	66.17-2-27	Michael Wang	16 Shadyside Ave,Upper Grandview, NY 10960
392489	66.17-2-28	Ildefonso Rivera	14 Shadyside Av,Upper Grandview, NY 10960
392489	71.05-1-9	Hosook Kim	1150 Rte 9W,Upper Grandview, NY 10960
392489	71.05-2-1	Nyack Motor Hotel Inc Nyack Motor Hotel Inc	20 N Broadway,Nyack, NY 10960
392489	71.05-2-4	Peter E Pochapsky	452 So Broadway,Nyack, NY 10960
392489	71.05-2-5	Casey M Harron	450 S Broadway,Upper Grandview, NY 10960
392489	71.05-2-6	Joel Kanoff	449 So Broadway,Upper Grandview, NY 10960
392489	71.05-2-28	Nyack Motor Hotel Inc	20 N Broadway,Nyack, NY 10960



RECEIVED

MAY 31 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

DECISION ON APPLICATION FOR USE VARIANCE

Z.B.A.-75-78

S.120-B.1004-L.16

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: MICHAEL OVCHINNIKOFF, Owner

RE: Application for extension of non-conforming use from the provisions of Section 7.34 of the Zoning Code of the Town of Orangetown to convert an existing restaurant building into living quarters for himself and continue his operation of the automotive repair shop and gas station which are situated on the same lot: premises involved located on the east side of State Route 9W in the Hamlet of Upper Grandview and in an RG zoning district.
(ZB#6-Meeting 10/1/75)

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held on Wednesday evening, OCTOBER 1, 1975, and as of that date, determination made as follows:

FINDINGS OF FACT: The applicant appeared by Mr. Lewis, his attorney, and himself. The testimony indicated that the applicant wants to convert an existing building into living quarters for himself. The reason for his requirement to come before the Board was that he had a business, namely, a repair shop and gas station, on the same lot as the building, and wanted to convert the former restaurant into living quarters. The restaurant had been burned out some time ago and it was the applicant's contention that since he had great need for living quarters, he and his wife could live on the premises. This would also enable him to protect his business in view of the fact that there had been recent disturbances in the building where he does his repair work. This matter was referred to the Rockland County Planning Board pursuant to the provisions of Section 239 (1) and (m) of the General Municipal Law of the State of New York. By letter dated October 8, 1975, that Board approved the application. The Board members made a personal inspection of the premises on Sunday, September 28, 1975, and found them to be properly posted. A satisfactory statement, in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York, was received.

DECISION: In view of the foregoing and the testimony before this Board, the application for a use variance BE and HEREBY is GRANTED.

NOTE: The foregoing use variance is granted in accordance with the plot plan submitted and subject to the applicant obtaining the necessary permits from the Building Department.

Approval of the Board is limited to specific approval of the use variance requested and granted.
The Board gives no approval to any building plans of the applicant.

The foregoing use variance will lapse if the contemplated construction, for which the use variance is granted, is not substantially implemented within one year from the filing of this decision.

Motion on the foregoing made by Mr. Aakesson, seconded by Mr. Olsen and unanimously carried by the Board members as follows:
James P. Calozzo, Aye; James L. Crosbie, Aye; Kenneth A. Aakesson, Aye; John Koshel, Aye; John H. Olsen, Aye.

(DECISION : MICHAEL OVCHINNIKOFF : Sheet #2)

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By: R. W. Banford
R. W. Banford, Clerk

Distribution:
Town Clerk
W. L. Loeb, Esq.
P. Berg, Esq.
Mr. A. diFrancesca, Spvr.
Mr. R. J. DiFiore
Property File - OBZPAE
Members Zoning Board
Members Town Board
R. C. Planning Board
Assessor's Office

Dated: October 8, 1975

TOWN OF ORANGETOWN
1975 OCT - 9 PM 2:52
TOWN CLERK'S OFFICE

NEW GRANDVIEW CITGO SERVICE CENTER

RTE 9W, UPPER GRANDVIEW, NEW YORK 10960

(JUST SOUTH OF THE TAPPAN ZEE BRIDGE)

914-EL3-0256

Dear Customer:

I would like to introduce myself as the new owner of the Grandview Citgo Service Center, located in your neighborhood.

I now offer you one of the most complete car servicing garages under one roof, with a well qualified mechanic, who has had years of experience on all american cars.

I specialize in the following:

1. Engine Overhauls;
2. Wheel Alignment with accurate John-Bean Equipment;
3. Brake Work (Drum and Disc)
4. Motor Tune-Ups;
5. General Repair Work;

I will give you all these services and more. Stop in and chat with me about your car, or call me and tell me all about your car problems.

During my grand opening, I will have double Triple SSS Blue stamps on all gasoline purchases.

Remember, I offer you all this and top quality Citgo gasoline and oil.

I will be open every day of the week from 6 A.M. to 10 P.M.

The GRAND OPENING DAY will be Friday 2/1, 1973

Looking forward to seeing you,

Your friendly new owner

Richard C. ...

be used for residential purposes. This property has been used as a restaurant in the past and to allow this use to be re-established would not be detrimental to the area. A use variance is required in order that the applicant be able to use the property.

DECISION:

In view of the foregoing and the testimony before this Board, the use variance BE and HEREBY is GRANTED so that the applicant may rebuild and maintain a restaurant on the premises.

Approval of the Board is limited to specific approval of the variance requested and granted. The Board gives no approval to any building plans of the applicant.

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: FRED & MICHAEL OVCHINNIKOFF, Owners

RE: Application for variance to rehabilitate an existing wood frame structure and continue its use as a restaurant: premises involved located on east side of State Route 9-W, in the Hamlet of Upper Grandview and zoned RG. (ZB#5-Meeting 9/5/73)

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held Wednesday evening, SEPTEMBER 5, 1973, and, as of that date, determination made as follows:

FINDINGS OF FACT: This is an appeal from a denial by the Inspector and application by Fred and Michael Ovchinnikoff, owners, in order to obtain a use variance under the Zoning Code of the Town of Orangetown. The premises involved are located in an RG zoning district on the east side of State Route 9-W, approximately 600 feet south from the intersection of Shadyside Avenue and Route 9-W in Upper Grandview.

The Board members made a personal inspection of the premises on Sunday, September 2, 1973, and found them to be properly posted. The Board noted that this is a long, narrow strip of property situated on the easterly side of State Route 9-W. The property has a depth of approximately 45 feet. To the east of the property, there is a severe drop-off. The Board noted that there was previously a restaurant situated on this property. The restaurant burned down more than one year ago, therefore, pursuant to the Zoning Code, the applicant lost the non-conforming restaurant use and, for that reason, the restaurant can only be rebuilt if a use variance is granted. The Board also noted that there is a garage on the premises which is a legal non-conforming use and its continuance is not an issue at this hearing.

Evidence was presented to the Board that, because of the shape of the property and because of the severe drop-off to the easterly side of the property, it would virtually be impossible to construct a residence on this property. The property would be almost useless unless a use variance of some sort were to be granted to the applicant.

This matter was referred to the Rockland County Planning Board pursuant to the provisions of Section 239 (l) and (m) of the General Municipal Law of the State of New York. The Rockland County Planning Board found that the granting of the use would probably not be detrimental to the safe traffic flow on State Route 9-W. A satisfactory statement, in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York, was received.

The Board specifically finds that the applicant has demonstrated sufficient hardship and practical difficulty to warrant the granting of the use variance. Because of the size and shape of this property and the severe drop-off, the property cannot reasonably be used for residential purposes. This property has been used as a restaurant in the past and to allow this use to be re-established would not be detrimental to the area. A use variance is required in order that the applicant be able to use the property.

DECISION: In view of the foregoing and the testimony before this Board, the use variance BE and HEREBY is GRANTED so that the applicant may rebuild and maintain a restaurant on the premises.

Approval of the Board is limited to specific approval of the variance requested and granted. The Board gives no approval to any building plans of the applicant.

All requirements of the Town regarding building and drainage must be complied with by the applicant.

The foregoing variance will lapse if the contemplated construction, for which the variance is granted, is not substantially implemented within one year from the filing of this decision.

Motion on the foregoing made by Mr. Crosbie, seconded by Mr. Kelly and unanimously carried by the Board members present as follows:

Leonard D. Bodkin, Aye; James L. Crosbie, Aye; A. Roger Kelly, Aye; Louis E. Kayser, Aye. (Kenneth A. Bakesson, absent.)

NOTE: The applicant is advised that no building, structure or sign shall be altered, erected, constructed, used or occupied, in whole or in part, nor may any new land or building use be permitted until a Permit or Certificate of Occupancy has been issued by the Office of Building, Zoning and Planning Administration and Enforcement.

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN -

By: R. W. Banford

R. W. Banford, Clerk

Distribution:

Town Clerk
Wm. Snair, Esq.
Geo. Bergerman, Esq.
Mr. J. J. Komar, Spvr.
R. C. Planning Bd.
Mr. R. J. DiFiore
Property File-OBZPAE
Assessor's Office
Members Zoning Bd.
Members Town Bd.
Chrmn. & Secy., Planning Bd.

Dated: September 12, 1973

Clerk of Boards Review:

Date: _____ Initials: _____

Building Dept. (Accepted By):

Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
20 Greenbush Road
Orangeburg, New York 10962
Tel: (845) 359-8410 ext. 4330
Website: www.orangetown.com

THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.

PROJECT NAME: MELNIKOV PROPERTY
PROPERTY ADDRESS: 1159 ROUTE 9W, UPPER GRANDVIEW, NEW YORK
TAX LOT ID: 66.17-2-18
NAME OF APPLICANT: TIMOFFEY MELNIKOV AS TRUSTEE OF ANDREI & OLGA MELNIKOV FAMILY TRUST
OWNER OF PROPERTY: TIMOFFEY MELNIKOV AS TRUSTEE OF ANDREI & OLGA MELNIKOV FAMILY TRUST
Land Use Application/Brief Description of Project: EXPAND EXISTING, NONCONFORMING AUTO REPAIR WITH CAR SALES (ZBA 75-78), REMOVE EXISTING CONVENIENCE STORE, LEGALIZATION OF SPRAY BOOTH

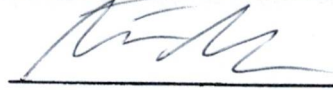
PART ONE:

1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required of both the owner and applicant (if not the same) when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).

Name of Entity:	ANDREI & OLGA MELNIKOV FAMILY TRUST
Address:	25 HIDDEN GLEN LANE, MONSEY, N.Y. 10952
Telephone Number:	(845) 405-6563
EMail Address:	TIM THEMELNIKOV@GMAIL.COM
State/Date of Formation:	NYS / 07-01-2022
Contact Person:	TIMOFFEY MELNIKOV

STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)

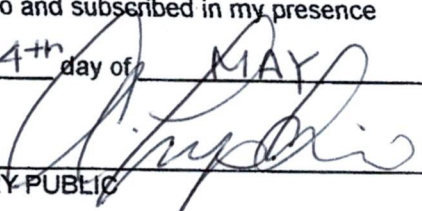
I, TIMOFEY MELNIKOV, being duly sworn, deposes and says that I am (Title) TRUSTEE, an active or qualified member of the ANDREI & OLGA MELNIKOV FAMILY TRUST a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.



Signature

Sworn to and subscribed in my presence

This 14th day of MAY, 2024



NOTARY PUBLIC

Audrey M. Lupachino
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LU6417665
Qualified in Rockland County
Commission Expires May 17, 2025

Clerk of Boards Review:
Date: _____ Initials: _____

Building Dept. (Accepted By):
Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
20 Greenbush Road
Orangeburg, New York 10962
Tel: (845) 359-8410 ext. 4330
Website: www.orangetown.com

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TAX LOT ID: 64.17-2-18
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OWNER OF PROPERTY: TIMOFFEY MELNIKOV AS TRUSTEE OF ANDREI & OLGA MELNIKOV FAMILY TRUST.
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2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).

Name of Entity:	<u>ELITE AUTO AND COLLISION CORP.</u>
Address:	<u>1159 ROUTE 9W, UPPER GRANDVIEW, N.Y.</u>
Telephone Number:	<u>(845) 222-4208</u>
EMail Address:	<u>ELITEAUTO COLLISION CORPORATION@GMAIL.COM</u>
State/Date of Formation:	<u>NYS / 02-28-2019</u>
Contact Person:	<u>VULFRANO ("FRANK") LAZCARES</u>

STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)

I, VULFRANO LAZZARES, being duly sworn, deposes and says that I am (Title) PRESIDENT, an active or qualified member of the ELITE AUTO AND COLLISION CORP. a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.

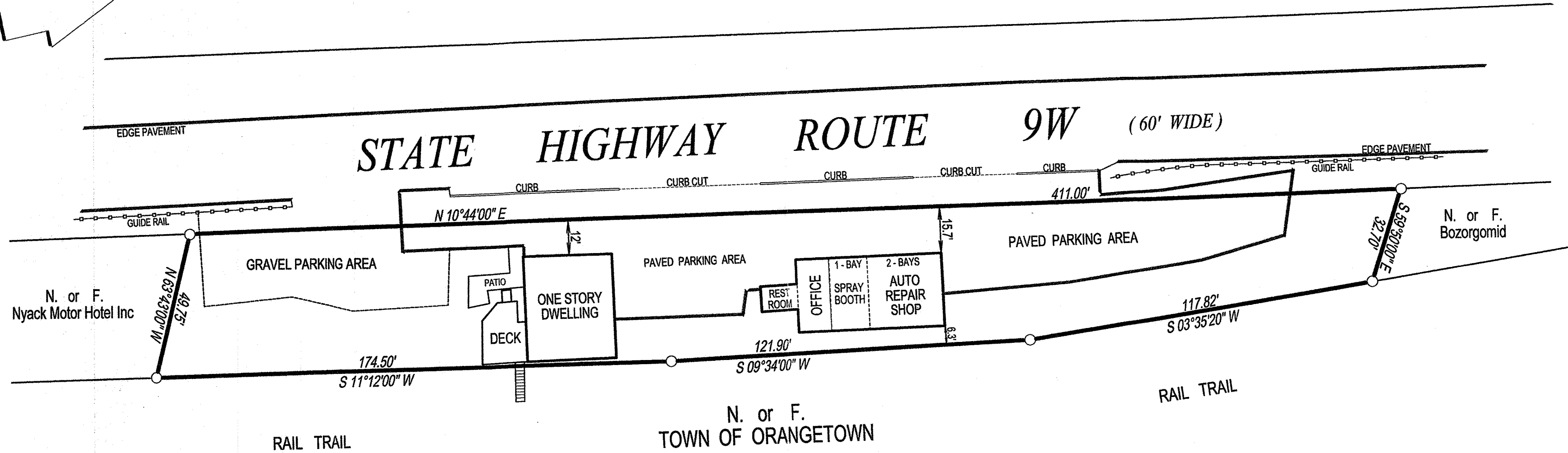
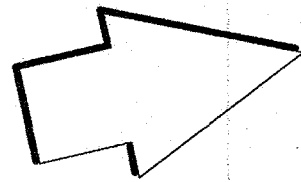
Vulfrano Lazzares
Signature

Sworn to and subscribed in my presence

This 3rd day of JUNE, 2024

[Signature]
NOTARY PUBLIC

Audrey M. Lupachino
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LU6417665
Qualified in Rockland County
Commission Expires May 17, 2025



N. or F. Nyack Motor Hotel Inc

N. or F. Bozorgomid

N. or F. TOWN OF ORANGETOWN

Land Survey
For
"MELNIKOV"

Town of Orangetown Rockland County, NY
Scale: 1" = 20' Area = 0.12Ac.

July 15, 2021

NOTES:

- 1. PROPERTY OWNED BY ANDREI MELNIKOV
- 2. AUTO BODY REPAIR SHOP OPERATED BY ELITE AUTO & COLLISION CORP.

Certified to:
* Andrei Melnikov

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

Town of Orangetown
MEETING OF:
JUL 31 2024
ZONING BOARD OF APPEALS

RECEIVED
MAY 30 2024
TOWN OF ORANGETOWN
LAND USE BOARD



[Signature]
Robert E. Sorace, PLS
135 South Main Street
New City, NY 10956
845-638-1498
Lic. 49162

RO 76246

Tax Lot Desig.: Section 66.17 Block 2 Lot 18



MELNIKOV PROPERTY

1159 ROUTE 9W, NYACK, NEW YORK 10960

GEORGE HODOSH ASSOCIATES-ARCHITECTS, P.C.

120 NORTH MAIN STREET - SUITE 501, NEW CITY, NEW YORK 10956
 PHONE: (845) 638-9336 FAX: (845) 638-9380

DATE: 2024-02-05
 LAST REVISED: 2024-04-09

DRAWING LIST

- 1 COVER SHEET
- D1 DEMOLITION PLANS
- A1 FLOOR PLANS
- A2 CODE COMPLIANCE
- A3 ZONING COMPLIANCE
- 1 A4 FRONT ELEVATION
- A5 RIGHT & LEFT ELEVATION
- A6 REAR ELEVATION
- P1 PLUMBING RISER DIAGRAM
- E1 ELECTRICAL PLAN
- GN GENERAL NOTES

24011, MELNIKOV PROPERTY

TOWN OF ORANGETOWN
 TABLE OF BULK REQUIREMENTS
 ZONE: RG GROUP: Q SECTION: 66.17 BLOCK: 2 LOT: 18
 (SINGLE FAMILY DETACHED DWELLING)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	10,000	18,553	18,553
LOT WIDTH (FEET)	75	411	411
MINIMUM STREET FRONTAGE (FEET)	50	411	411
FRONT YARD (FEET)	25	12'	12'
SIDE YARD (FEET)	10	112	112
TOTAL SIDE YARD (FEET)	30	349.8	349.8
REAR YARD (FEET)	25	1'	1'
MAXIMUM HEIGHT (FEET)	1'-4" PER FOOT FROM FRONT LOT LINE	12' PER FOOT FROM FRONT LOT LINE	12' PER FOOT FROM FRONT LOT LINE
FLOOR AREA RATIO	0.30	0.06	0.06

* EXISTING NON-CONFORMING

TOWN OF ORANGETOWN
 TABLE OF BULK REQUIREMENTS
 ZONE: RG GROUP: T SECTION: 66.17 BLOCK: 2 LOT: 18
 (AUTO REPAIR SHOP)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	15,000	18,553	18,553
LOT WIDTH (FEET)	200	411	411
MINIMUM STREET FRONTAGE (FEET)	85	411	411
FRONT YARD (FEET)	75	15.7'	15.7'
SIDE YARD (FEET)	50	134.3	134.3
TOTAL SIDE YARD (FEET)	150	327.2	327.2
REAR YARD (FEET)	100	6.3'	6.3'
MAXIMUM HEIGHT (FEET)	4' PER FOOT FROM FRONT LOT LINE	11.5' PER FOOT FROM FRONT LOT LINE	11.5' PER FOOT FROM FRONT LOT LINE
FLOOR AREA RATIO	0.30	0.07	0.07

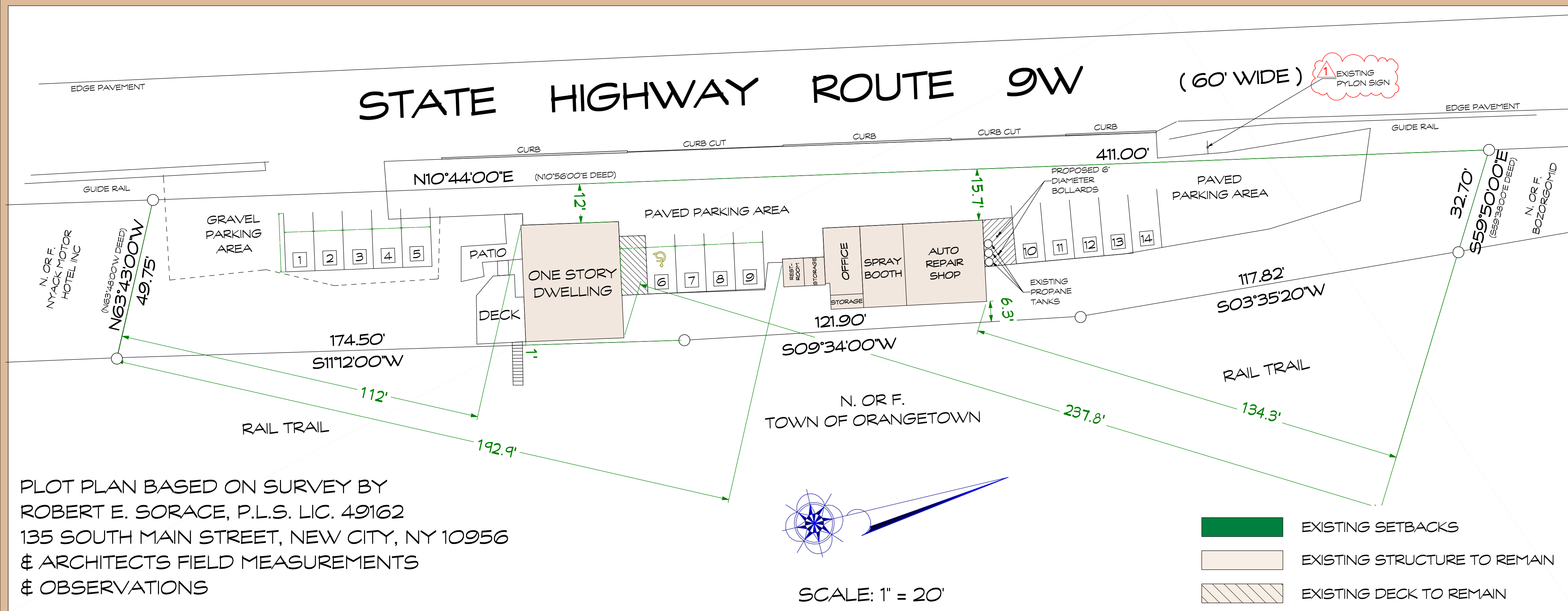
* EXISTING NON-CONFORMING

APPLICABLE CODES:

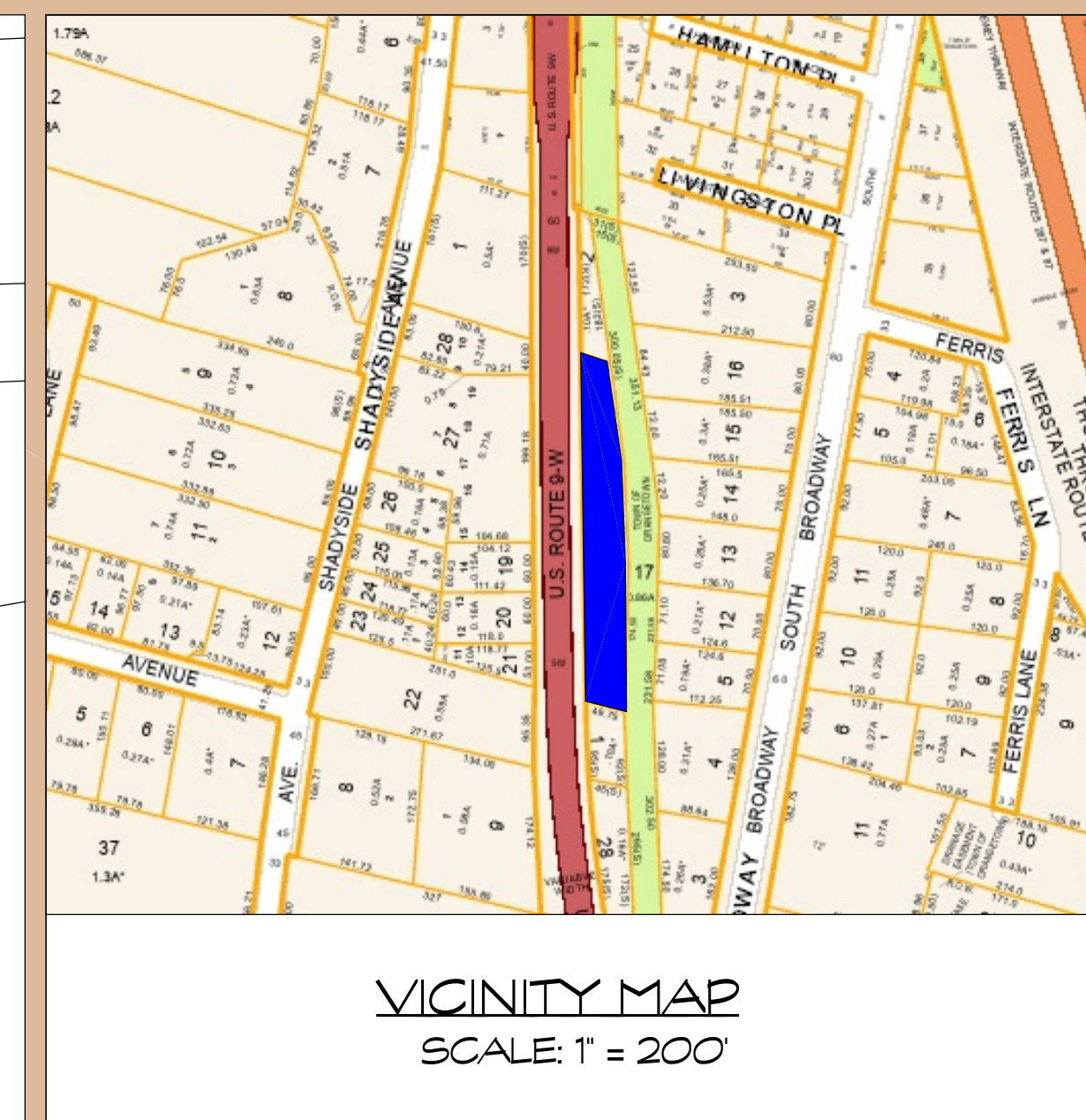
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE
- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
- NYSTRECH ENERGY CODE - 2020
- 2017 NATIONAL ELECTRIC CODE

PARKING REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
RESIDENCES	2 (1 PER 1/2 DWELLING UNIT)	2	2
BUILDINGS OR STRUCTURES	12 (1 PER 100 SQ.FT.)	12	12
TOTAL	14	14	14



PLOT PLAN BASED ON SURVEY BY
 ROBERT E. SORACE, P.L.S. LIC. 49162
 135 SOUTH MAIN STREET, NEW CITY, NY 10956
 & ARCHITECTS FIELD MEASUREMENTS
 & OBSERVATIONS



THE DRAWINGS
 WERE PRODUCED IN
 COLOR. ANY
 REPRODUCTIONS
 MUST BE MADE IN
 COLOR TO
 PRESERVE THE
 INTEGRITY OF THE
 ORIGINAL
 DRAWINGS.
 ARCHITECT SHALL
 NOT BE
 RESPONSIBLE FOR
 ANY DAMAGES
 RESULTING FROM
 FAILURE TO DO SO.

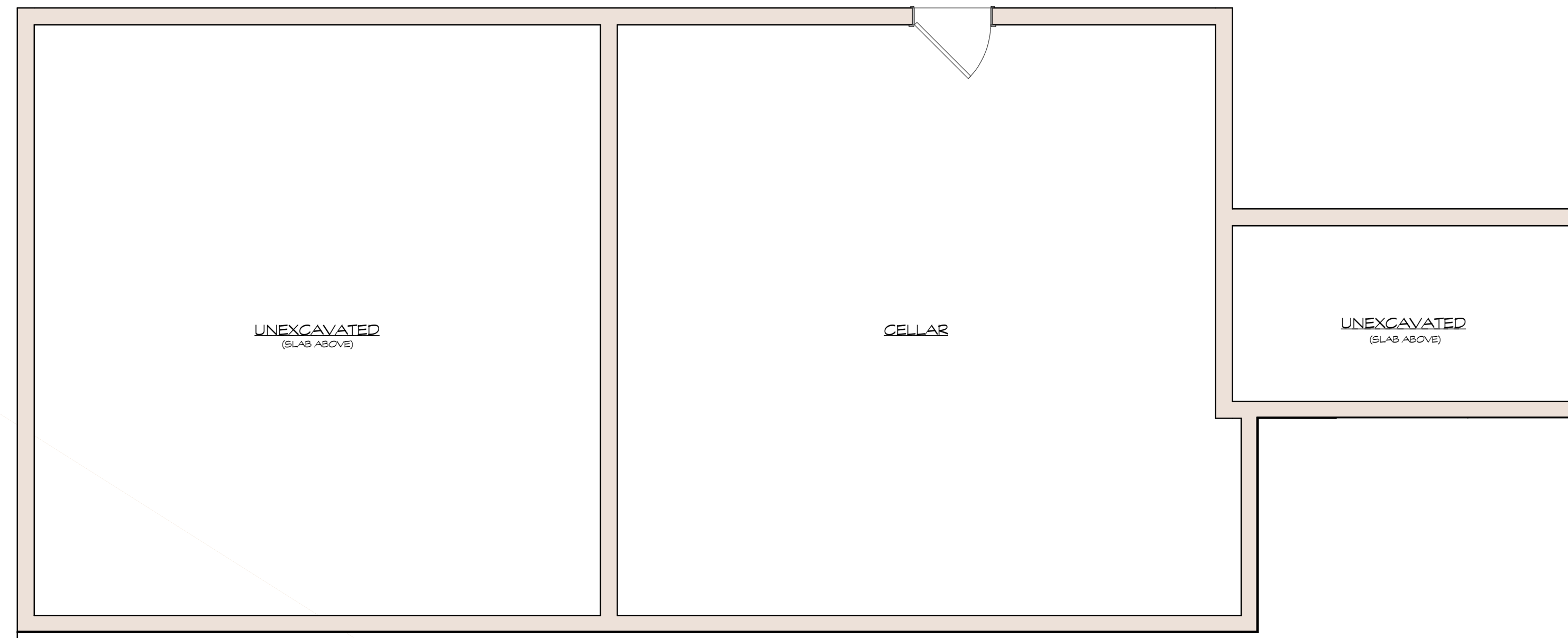
REVISIONS

DATE	DESCRIPTION	BY
2024-02-05	EXISTING CONDITIONS	SAB
2024-03-11	LEGALIZATION SET 1	SAB
2024-04-09	LEGALIZATION SET 2 - FRONT ELEVATION SIGNS	AHL

THESE PLANS ARE NOT TO BE CONSIDERED VALID AND COMPLETE CONSTRUCTION DOCUMENTS UNLESS AND UNTIL THEY BEAR THE ARCHITECTURAL SEAL & SIGNATURE OF JONATHAN B. HODOSH.

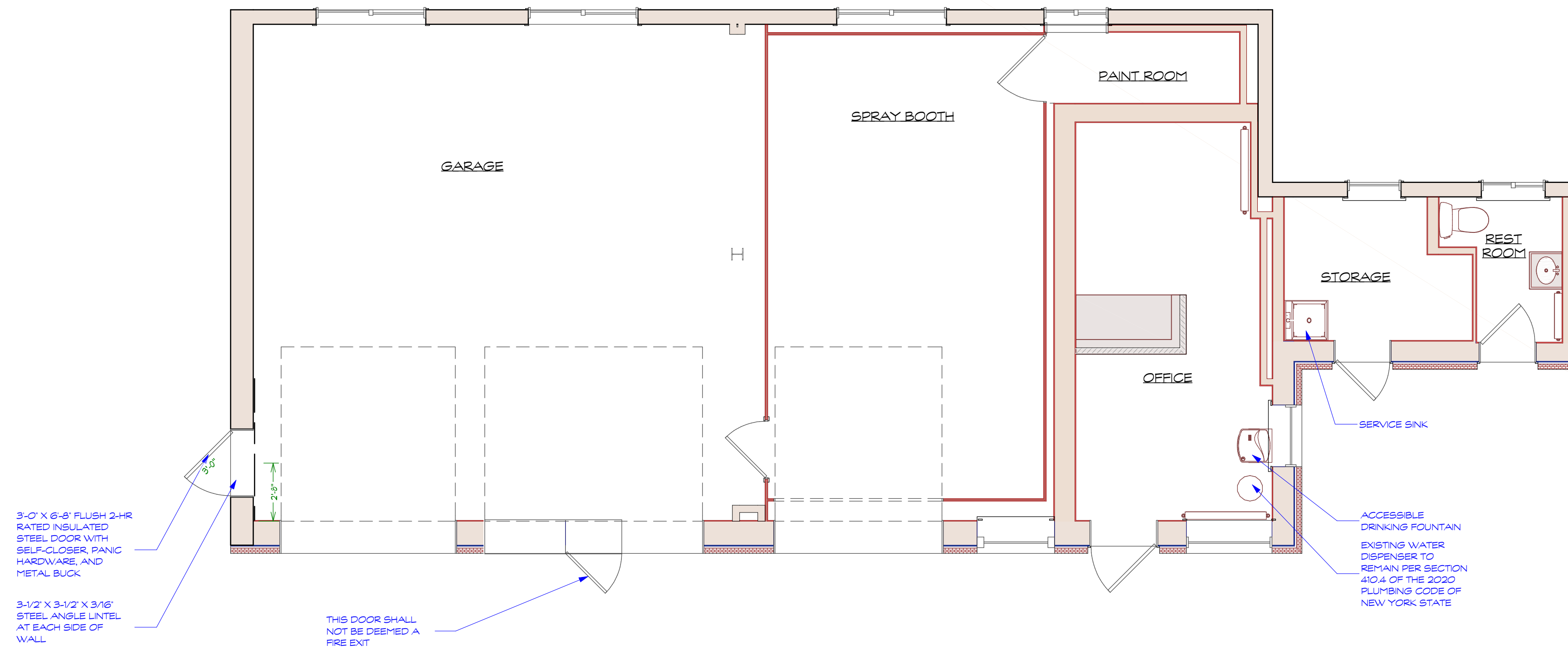
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

- EXISTING SETBACKS
- EXISTING STRUCTURE TO REMAIN
- EXISTING DECK TO REMAIN



CELLAR/ FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION / DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- PROPOSED NEW CONCRETE BLOCK WALL
- PROPOSED NEW POURED CONCRETE WALL
- PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
- PROPOSED FRAMED CONSTRUCTION

- EXISTING WINDOW TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- PROPOSED WINDOW

- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- PROPOSED DOOR

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REVISIONS

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2024-02-05	EXISTING CONDITIONS	SAB
2024-03-11	LEGALIZATION SET 1	SAB
2024-04-09	LEGALIZATION SET 2 - FRONT ELEVATION - SIGNS	A* ^L

PROPOSED ADDITIONS/ ALTERATIONS:
MELNIKOV PROPERTY
 1159 ROUTE 9W, NYACK, NEW YORK 10960
 SHEET TITLE:
FLOOR PLANS

SCALE:	DATE:	JOB #:	DRAWN BY:	CHECKED BY:
1/4" = 1'-0"	2024-02-05	24001	SAB	JBH



GEORGE HODOSH ASSOCIATES, ARCHITECTS, P.C.
 120 NORTH MAIN STREET - SUITE 501,
 NEW CITY, NEW YORK 10956
 PHONE: (845) 638-9336 FAX: (845) 638-9390



EXIT ACCESS TRAVEL DISTANCE
2020 BUILDING CODE
TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	MAXIMUM TRAVEL DISTANCE ALLOWED (WITHOUT SPRINKLERS)	
S-1	200 FEET	
STARTING POINT	EXIT 1	EXIT 2
A	-	62.2
B	24	-

REQUIRED CAPACITY
2020 BUILDING CODE
1005.3.2

CAPACITY FACTOR (INCHES)	TOTAL OCCUPANCY	REQUIRED MINIMUM WIDTH BASED ON CAPACITY FACTOR (INCHES)	REQUIRED TOTAL EXIT WIDTH (INCHES)	PROVIDED TOTAL EXIT WIDTH (INCHES)
0.2	10	2	36	72

OCCUPANT LOAD TABLE
2020 BUILDING CODE OF NEW YORK STATE
TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FLOOR	ROOM NAME	FUNCTION OF SPACE	AREA (SQ.FT.)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD FACTOR
FIRST FLOOR	GARAGE	INDUSTRIAL AREAS	535	100 GROSS	5.4
FIRST FLOOR	SPRAY BOOTH	INDUSTRIAL AREAS	300	100 GROSS	3
FIRST FLOOR	OFFICE	BUSINESS AREAS	189	150 GROSS	1.3
FIRST FLOOR	PAINT ROOM	STORAGE	36	300 GROSS	0.1
FIRST FLOOR	STORAGE	STORAGE	58	300 GROSS	0.2
CELLAR	STORAGE	STORAGE	556	300 GROSS	1.9
TOTAL:					12

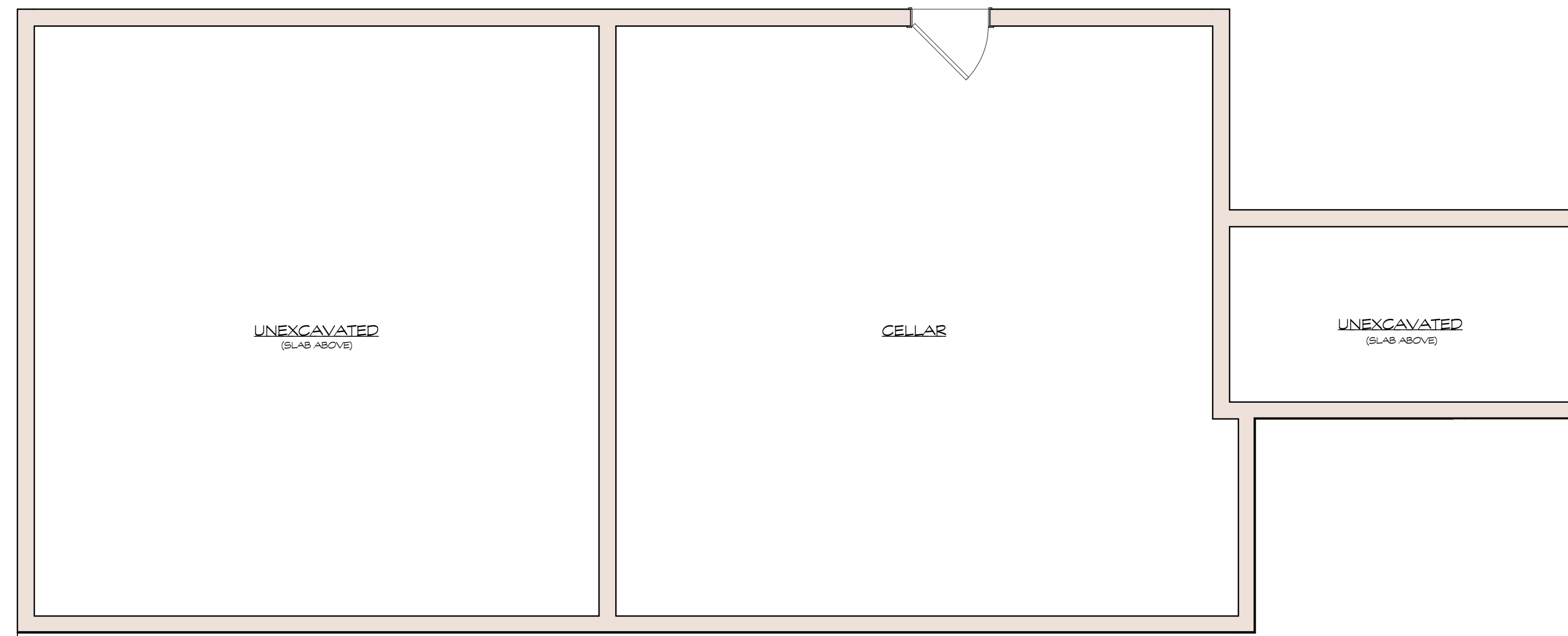
PLUMBING FIXTURES
2020 PLUMBING CODE OF NEW YORK STATE
TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

PROPOSED TOTAL OCCUPANTS: 12 (MALE: 6 / FEMALE: 6)
CLASSIFICATION: S-1 (STORAGE - MODERATE HAZARD)
DESCRIPTION: MOTOR VEHICLE REPAIR GARAGES

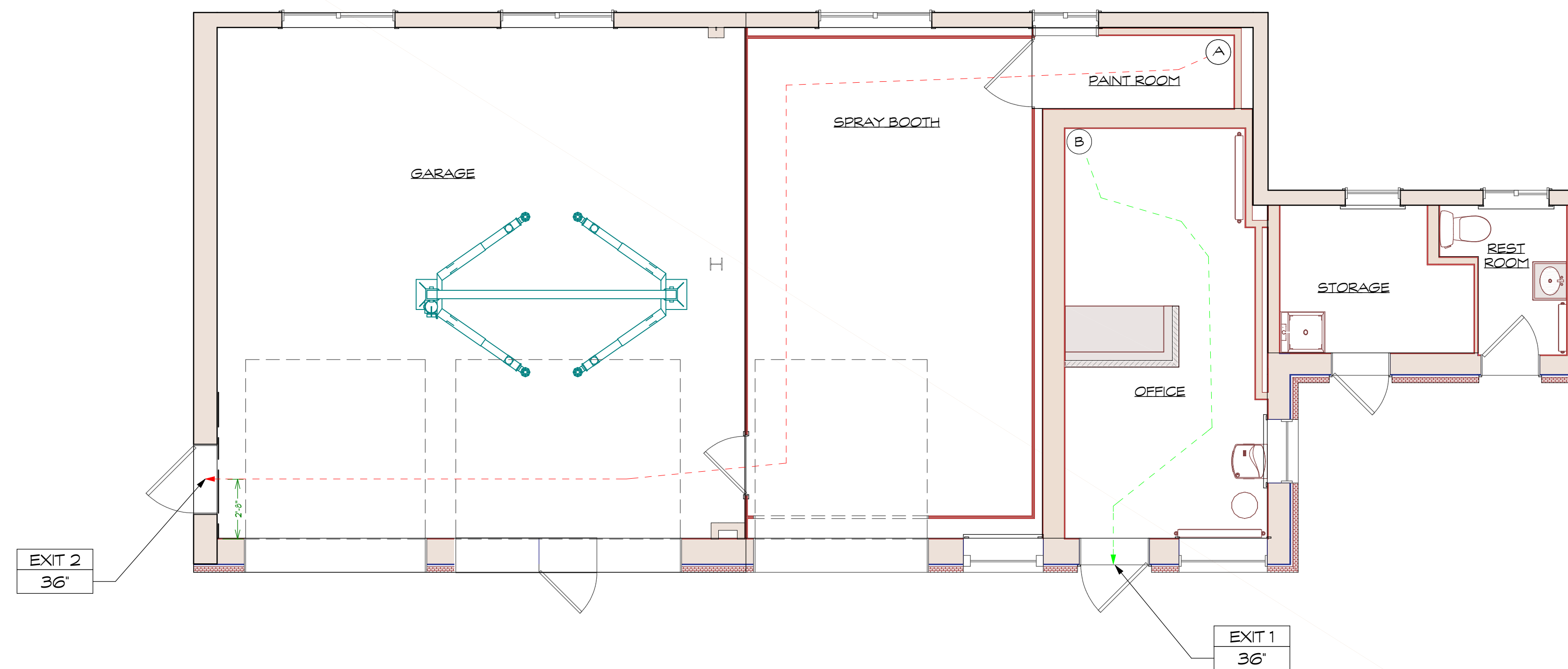
	WATER CLOSETS		LAVATORIES		BATHTUBS/ SHOWERS	DRINKING FOUNTAIN	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE			
	1 PER 100		1 PER 100		----	1 PER 1,000	1 REQUIRED
REQUIRED	1	1	1	1	0	1	1
PROVIDED	1	1	1	1	0	0	0
PROPOSED	0	0	0	0	0	1	1

PER SECTION 403.2 (SEPARATE FACILITIES, EXCEPTIONS: 2) OF THE 2020 PLUMBING CODE OF NEW YORK STATE: SEPARATE FACILITIES FOR EACH SEX NOT REQUIRED

CODE COMPLIANCE
SCALE: 1/4" = 1'-0"



CELLAR/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED		EXISTING WINDOW TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL		PROPOSED WINDOW		PROPOSED DOOR
	PROPOSED NEW POURED CONCRETE WALL				
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION				
	PROPOSED FRAMED CONSTRUCTION				

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REVISIONS

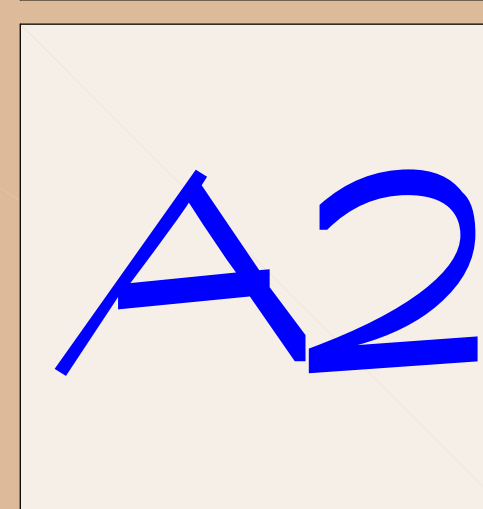
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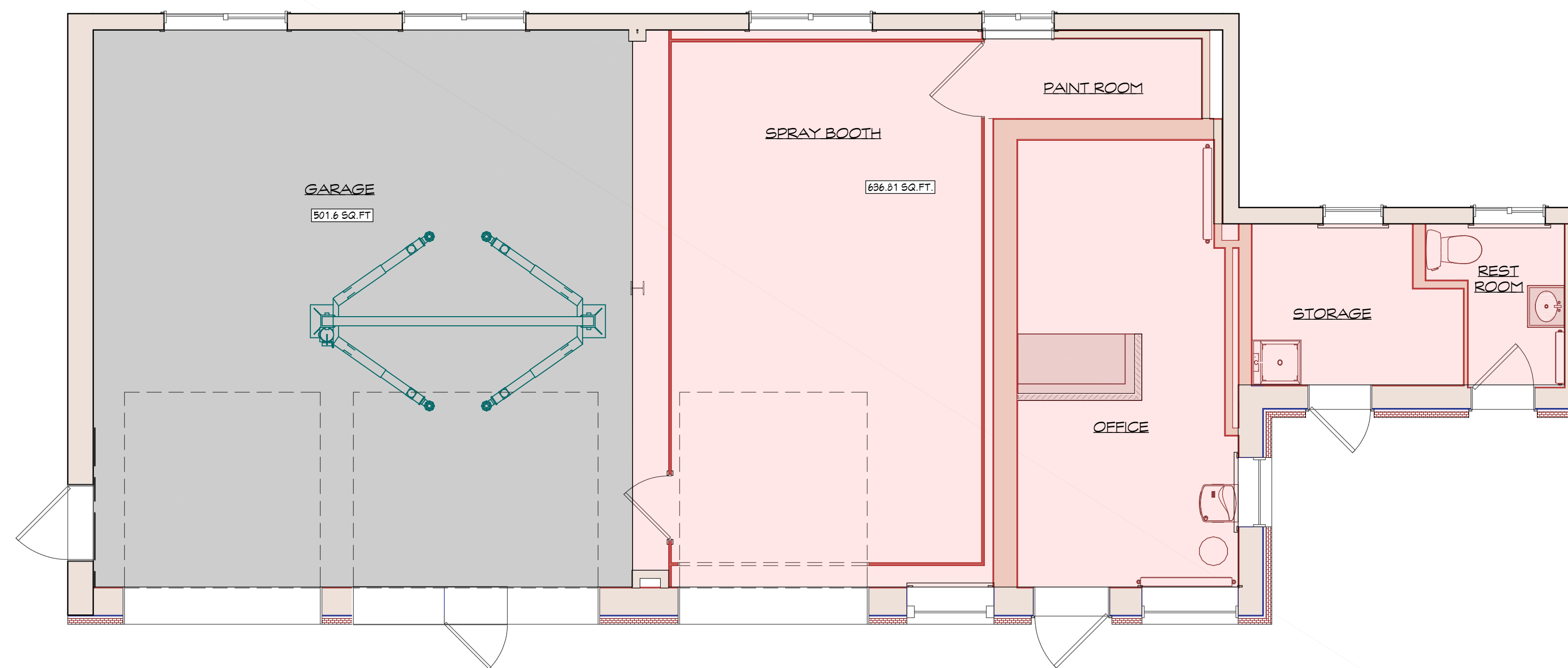
PROPOSED ADDITIONS / ALTERATIONS:
MELNIKOV PROPERTY
1159 ROUTE 9W, NYACK, NEW YORK 10960
SHEET TITLE:
CODE COMPLIANCE

SCALE:	DATE:	JOB #:	DRAWN BY:	CHECKED BY:
1/4" = 1'-0"	2024-02-05	24001	SAB	JBH



GEORGE HODOSH ASSOCIATES - ARCHITECTS, P.C.
120 NORTH MAIN STREET - SUITE 501,
NEW YORK, NEW YORK 10956
PHONE: (845) 638-9336 FAX: (845) 638-9350





■ PREVIOUSLY EXISTING AUTO REPAIR SHOP AREA (501.6 SQ.FT.)
 ■ PREVIOUSLY ADDED AUTO REPAIR SHOP AREA (636.81 SQ.FT.)
 ALLOWABLE INCREASE: 50% OR 250.8 SQ.FT.
 ACTUAL INCREASE: 127% OR 636.8 SQ.FT. (ZONING VARIANCE REQUIRED)

ZONING COMPLIANCE
SCALE: 1/4" = 1'-0"

PROPOSED ADDITIONS/ALTERATIONS:
MELNIKOV PROPERTY
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SHEET TITLE:
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CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED		EXISTING WINDOW TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL		PROPOSED WINDOW		PROPOSED DOOR
	PROPOSED NEW POURED CONCRETE WALL				
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION				
	PROPOSED FRAMED CONSTRUCTION				

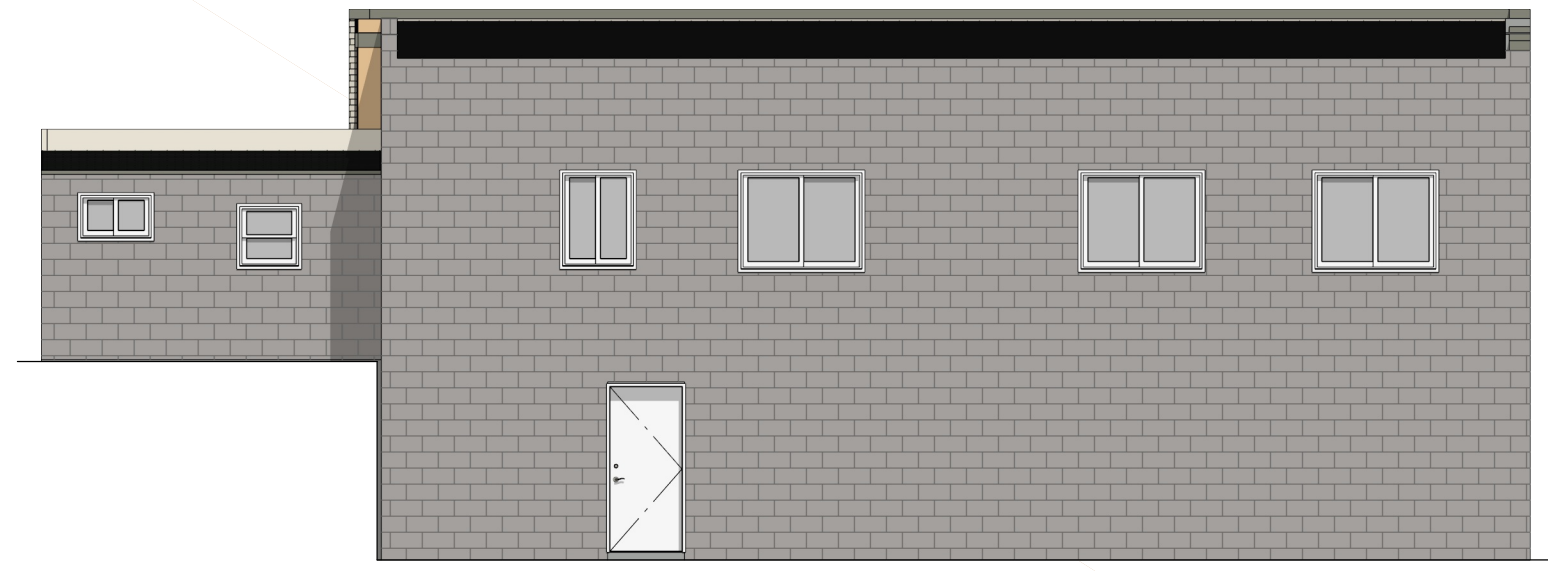
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REVISIONS

2024-02-05	EXISTING CONDITIONS	SAB
2024-03-11	LEGALIZATION SET 1	SAB
2024-04-09	LEGALIZATION SET 2 - FRONT ELEVATION - SIGNS	A* ^L

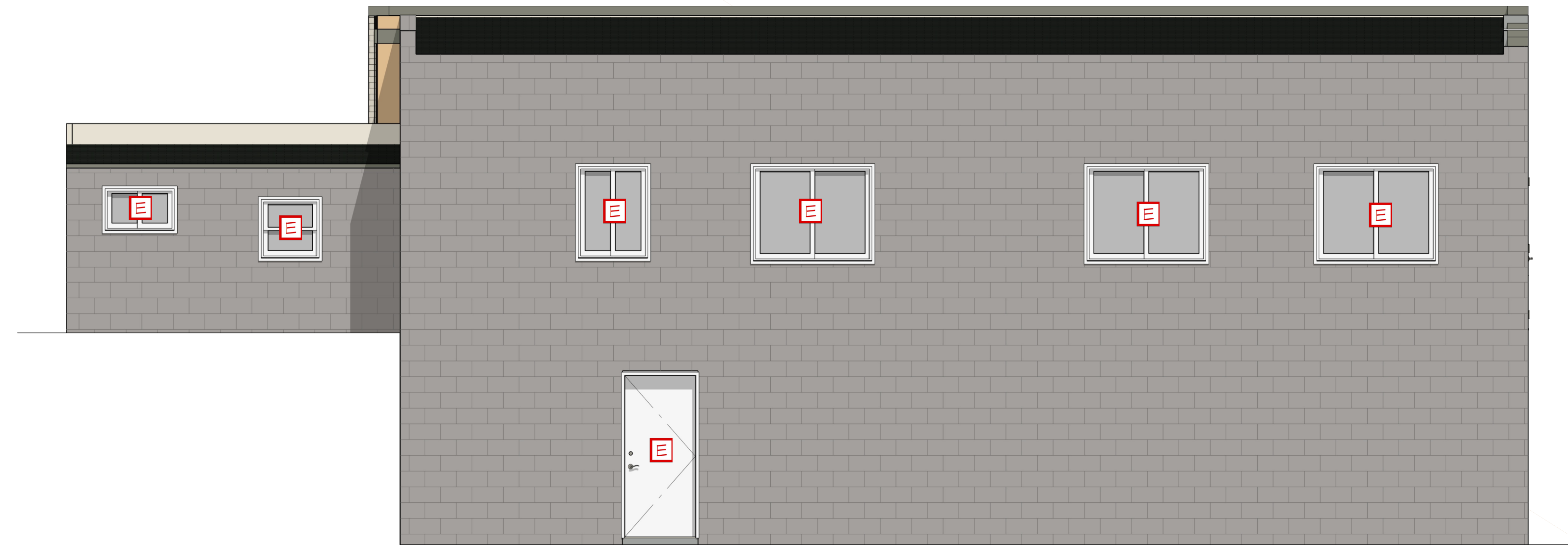


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EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL PROVIDE WINDOW SPECIFICATIONS TO ARCHITECT PRIOR TO ORDERING FOR ARCHITECTS REVIEW

NOTE: NOTED EGRESS WINDOWS SHALL MEET NY STATE EGRESS CODES MINIMUM OPENINGS (5.7 SQUARE FEET (5.0 SQUARE FEET AT GRADE FLOOR OR BELOW GRADE OPENINGS), 20" WIDTH, 24" HEIGHT MINIMUM) IN STANDARD 6'-10" HEADER APPLICATION.

E EXISTING DOOR OR WINDOW TO REMAIN

PROPOSED ADDITIONS / ALTERATIONS:

MELNIKOV PROPERTY
1159 ROUTE 9W, NYACK, NEW YORK 10960

SHEET TITLE:
REAR ELEVATION

SCALE:	1/4" = 1'-0"
DATE:	2024-02-05
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CONSTRUCTION / DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- PROPOSED NEW CONCRETE BLOCK WALL
- PROPOSED NEW POURED CONCRETE WALL
- PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
- PROPOSED FRAMED CONSTRUCTION

- EXISTING WINDOW TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- PROPOSED WINDOW

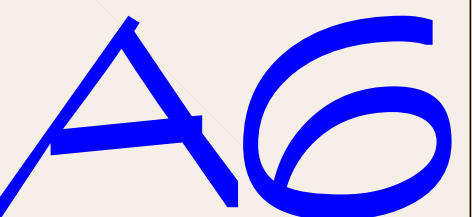
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- PROPOSED DOOR

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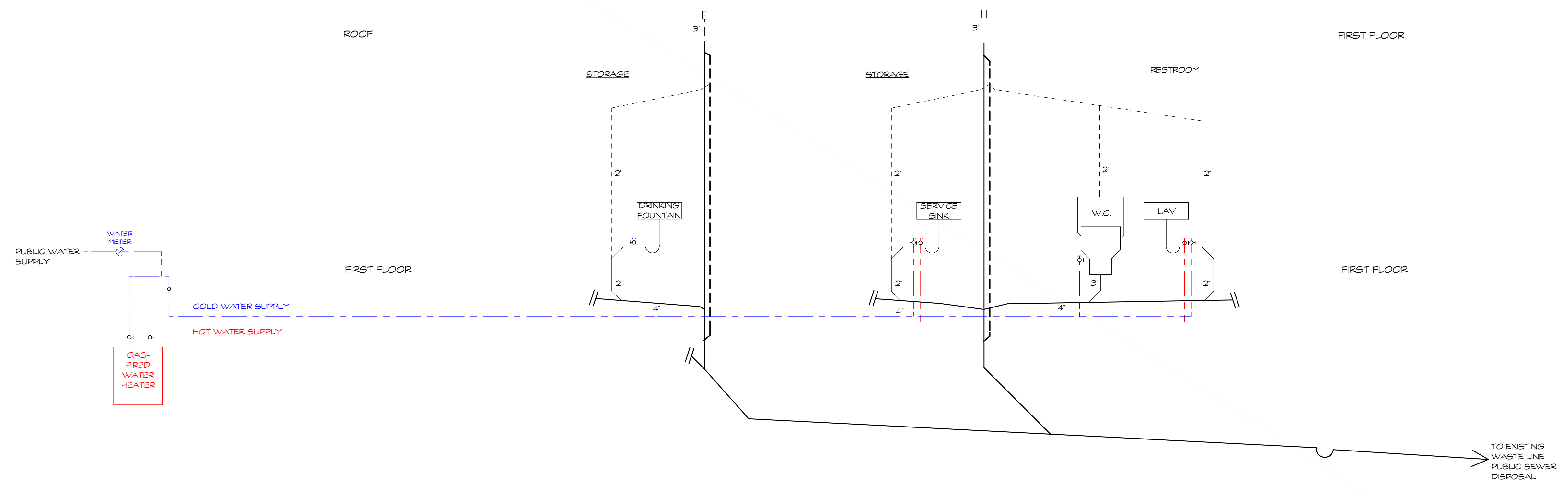
DATE	DESCRIPTION	BY
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PLUMBING RISER DIAGRAM
 SCALE: 1/4" = 1'-0"

CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED		EXISTING WINDOW TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW POURED CONCRETE WALL		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED FRAMED CONSTRUCTION		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
			PROPOSED WINDOW		PROPOSED DOOR

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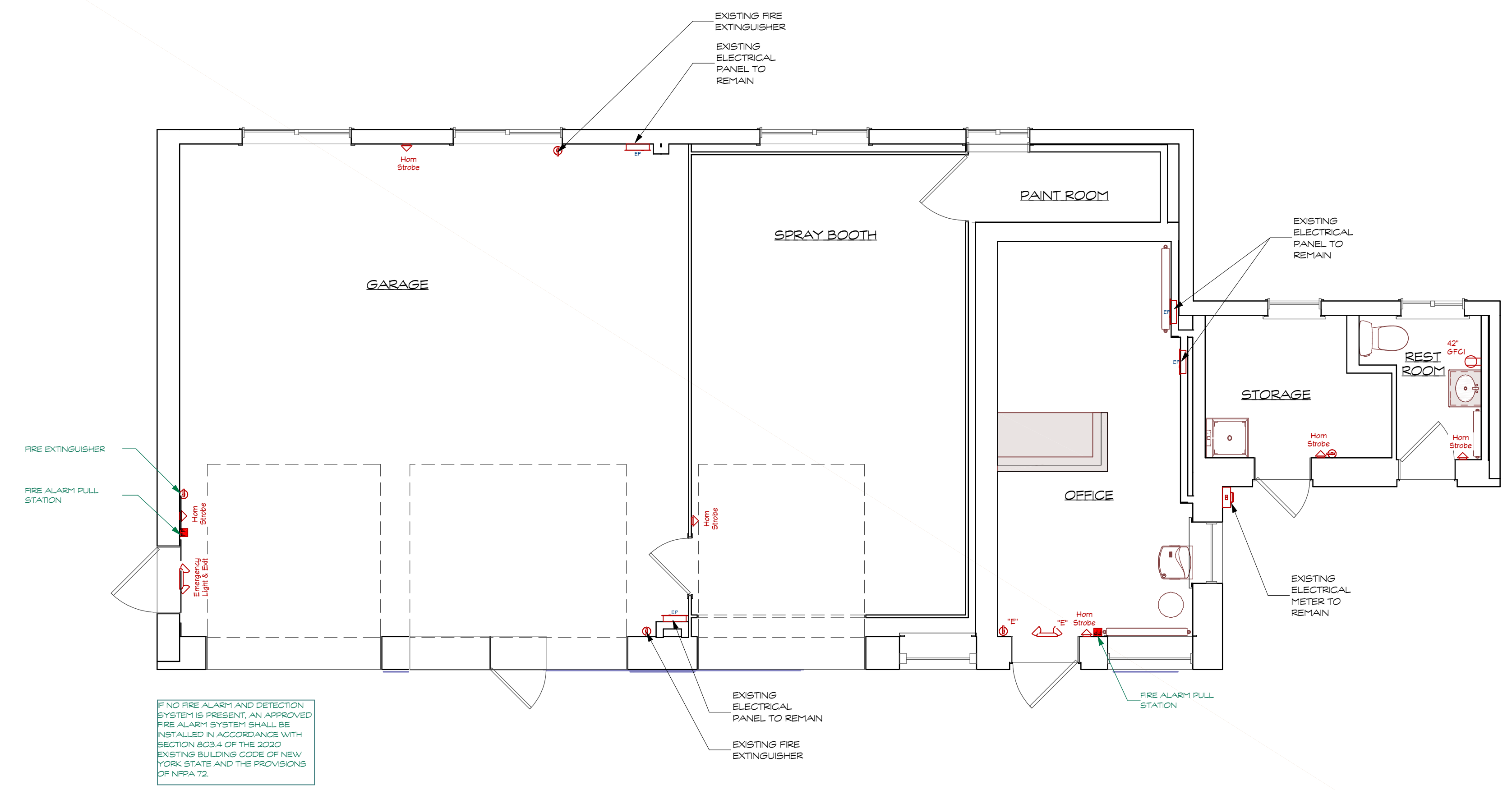
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ELECTRICIAN SHALL DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES, WIRING, WIRING DEVICES, AND OUTLETS AS REQUIRED TO ACCOMMODATE NEW BUILDING CONFIGURATION AND ELECTRICAL LAYOUTS. ANY ELECTRICAL ITEMS NOT SLATED FOR DEMOLITION WHICH MAY BE DISCONNECTED DURING THIS PROCESS SHALL BE RECONNECTED AND MADE FUNCTIONAL PRIOR TO COMPLETION OF WORK.



IF NO FIRE ALARM AND DETECTION SYSTEM IS PRESENT, AN APPROVED FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 803.4 OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE AND THE PROVISIONS OF NFPA 72.

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PROPOSED ADDITIONS/ ALTERATIONS:
MELNIKOV PROPERTY
1159 ROUTE 9W, NYACK, NEW YORK 10960
SHEET TITLE:
FIRST FLOOR ELECTRICAL PLAN

SCALE:	1/4" = 1'-0"
DATE:	2024-02-05
JOB #:	24001
DRAWN BY:	SAB
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120 NORTH MAIN STREET - SUITE 501,
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PHONE: (845) 638-9336 FAX: (845) 638-9390

ELECTRICAL & LIGHTING LEGEND

- | | | |
|--|--|--|
| <ul style="list-style-type: none"> ○ DUPLEX RECEPTACLE ○_{42"} DUPLEX RECEPTACLE 42" ABOVE FINISHED FLOOR ○_{EXT} DUPLEX RECEPTACLE - EXTERIOR, GFCI ○_{GFI} DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT ○_{USB} DUPLEX RECEPTACLE - USB CHARGER ○_{CEILING} DUPLEX RECEPTACLE - CEILING MOUNTED □ DUPLEX RECEPTACLE - FLOOR MOUNTED ⊖ SEPARATE CIRCUIT FOR APPLIANCE ⊖ SMOKE DETECTOR WITH TEST BUTTON - SHALL BE HARD WIRED AND INTERCONNECTED | <ul style="list-style-type: none"> ⊖ CARBON-MONOXIDE DETECTOR - SHALL BE HARD WIRED AND INTERCONNECTED ⊖ CABLE JACK - FINAL LOCATION BY OWNER ⊖ TELEPHONE JACK - FINAL LOCATION BY OWNER ⊖ WALL SWITCH ⊖ 3-WAY WALL SWITCH ⊖ 4-WAY WALL SWITCH ⊖ DIMMER WALL SWITCH ⊖ DIMMER WALL SWITCH ⊖ WEATHER PROOF WALL SWITCH ⊖ BATH FAN - 100 CFM1 - VENT TO EXTERIOR ⊖ BATH FAN W/ LIGHT - 100 CFM1 - VENT TO EXTERIOR | <ul style="list-style-type: none"> ⊖ CEILING FAN ○ INCANDESCENT CEILING SURFACE MOUNTED LIGHT FIXTURE ⊖ RECESSED INCANDESCENT FIXTURE ○ WALL SCONCE ⊖ DOOR BELL CHIME BY OWNER ⊖ DOOR BELL BY OWNER ⊖ WIRELESS KEYPAD FOR GARAGE DOOR OPENER ⊖ WIRELESS SWITCH FOR GARAGE DOOR ⊖ OVERHEAD GARAGE DOOR OPENER ⊖ ELECTRICAL PANEL ⊖ EXISTING ELECTRICAL FIXTURE TO REMAIN |
|--|--|--|

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GENERAL NOTES

G1. These plans and specifications are the property of George Hodosh Associates and shall not be reproduced or modified in any way without the written consent of George Hodosh Associates. These plans shall not be considered complete and valid construction documents unless they bear the signature and seal of Jonathan B. Hodosh.

G2. All work shall conform completely to all applicable state and local codes and in compliance with material and equipment manufacturer's instructions and specifications as they apply.

G3. It shall be the responsibility of the general contractor to ensure that all plans on site and those provided to all subcontractors and tradesmen are the most up to date plans available. All previously issued and superseded plans shall be removed from site and subcontractors and tradesmen notified when revised plans are issued.

G4. All materials shall be furnished and installed by Contractor - unless otherwise noted.

G5. All work shall comply completely with all applicable state and local codes.

G6. Contractor shall familiarize himself with existing conditions. All dimensions and conditions shall be field verified. Architect shall be informed of any discrepancies. Match all existing materials, dimensions, and conditions as they apply.

G7. All areas of structure affected, directly or indirectly, under the scope of work outlined in these plans shall be properly braced, shored, or otherwise supported as required so as to ensure continuous, uninterrupted structural integrity in those areas. At no time shall any portion of this structure be left unsupported for any reason. Temporary railings, decking, etc., shall be employed to remove any hazards resulting from open stairwells, balconies, or other potentially hazardous conditions.

G8. Contractor shall maintain site in a clean and workmanlike condition.

G9. Proper protection from the elements shall be provided as appropriate and required to prevent any damage to existing structure and/or new construction. At no time shall any portion of the structure be exposed to the elements if it can be avoided.

G10. Placement of dumpster and building materials shall be approved by Owner prior to placement.

G11. Contractor shall provide a portable toilet for use of workers. Placement of portable toilet shall be approved by Owner prior to placement.

G12. Contractor shall coordinate with Owner and Architect in establishing a work schedule and phasing plan that is practical and reasonable for all parties. Such schedule shall be subject to Owner's approval prior to implementation.

DEMOLITION

D1. All materials indicated for removal on plans shall be removed from site and disposed of properly in accordance with all applicable laws and regulations.

STRUCTURAL

S1. All exterior openings shall be properly flashed.

S2. Drip cap shall be installed over exterior door.

S3. Provide weatherstrip saddle on all exterior door.

PLUMBING

P1. All plumbing work shall be in accordance with local health department requirements and shall be subject to the approval of the plumbing inspector. Plumbing work shall be provided by Contractor. All equipment shall be installed in compliance with manufacturer's instructions and specifications and shall meet all code requirements.

P2. All pipes in unheated areas shall be properly insulated.

ELECTRICAL

E1. All electrical work shall conform completely to the requirements of the N.E.C. and local utility company, and all state and local codes. Light switches and receptacles shall be standard style (Leviton or approved equal) - color shall be determined by Owner. Final locations and numbers of fixtures, switches, and outlets shall be approved by Owner prior to installation. Electrical work shall be provided by Contractor. Contractor and/or electrician shall be responsible for verifying that the electrical layouts as proposed shall meet all applicable codes prior to placing of final bids and commencing of work.

E2. Electrician shall disconnect and remove existing lighting fixtures, wiring, wiring devices, and outlets as required to accommodate new building configuration and electrical layouts. Any electrical items not slated for demolition which may be disconnected during this process shall be reconnected and made functional prior to completion of work.

E3. Electrician shall coordinate with other mechanical trades and Owner to assure that electrical requirements are met for their respective equipment.

HEATING / VENTILATING / AIR CONDITIONING

H1. All heating and air conditioning work shall conform completely to the requirements of the local and state building codes. The heating and air conditioning system(s) shall meet all requirements of the New York State Energy Conservation Code as they apply

INTERIOR FINISHES

IF1. Interior finish (walls and ceilings) shall be 5/8" type "x" fire rated sheetrock. Sheetrock shall be screwed (not nailed). Apply 3 coats of spackle, sanding between coats. Final coat shall be fine sanded in preparation for primer - unless otherwise noted. Two coats of finish paint shall be applied over one coat of primer (unless more primer is required due to surface conditions). Paint shall be Benjamin Moore or approved equal (color shall be determined by Owner). Owner shall select paint textures, colors, and finishes.

PROPOSED ADDITIONS / ALTERATIONS:
MELNIKOV PROPERTY
 1159 ROUTE 9W, NYACK, NEW YORK 10960

SHEET TITLE:
GENERAL NOTES

SCALE:	1/4" = 1'-0"
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	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
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	PROPOSED FRAMED CONSTRUCTION		PROPOSED WINDOW		PROPOSED DOOR

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