

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: PoolR-4901-24
 ASSIGNED _____
 INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Vasconez

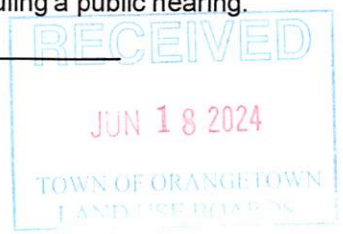
Street Address: 92 Hardwood Dr.
Tappan NY 10983

Tax Map Designation:
Section: 74.17 Block: 4 Lot(s): 22
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the right side of Hardwood Drive going South, approximately 100 feet off Drewry Ln of the intersection of Wayne Ln, in the Town of Tappan in the hamlet/village of Tappan.
Orange Twp
 Acreage of Parcel 0.35 Zoning District R-15
 School District South Orangetown Postal District Tappan
 Ambulance District South Orangetown Ambulance Corp Fire District Tappan Fire District
 Water District Veolia Sewer District Municipal

Project Description: (If additional space required, please attach a narrative summary.)
Inground pool, two story garage, rear patio and outdoor fireplace with retaining wall.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 06/18/24 Applicant's Signature: _____



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: May 30, 2024 Section: 74.17 Block: 4 Lot: 22

Applicant: Vasconez

Address: 92 Hardwood Dr, Tappan, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 R-15 District...

GARAGE: Column 2 Max FAR 20% with 23.8% proposed; Column 9, Min Side yard 20' with 13' proposed; Column 10 Min Total Side Yard 50' with 34.6' proposed

POOL: Chapter 43, Section 5.227 Min Pool Rear Yard Setback 20' with 10' proposed

4 Variances required

Comments:

Two story garage addition with walk in closet above

pool in rear yard

paver patio with outdoor fireplace and retaining walls

Dear Vasconez:

Please be advised that the Building Permit Application # 4901-24, which you submitted on 3.22.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.


Sincerely,


Richard Oliver
Deputy Building Inspector



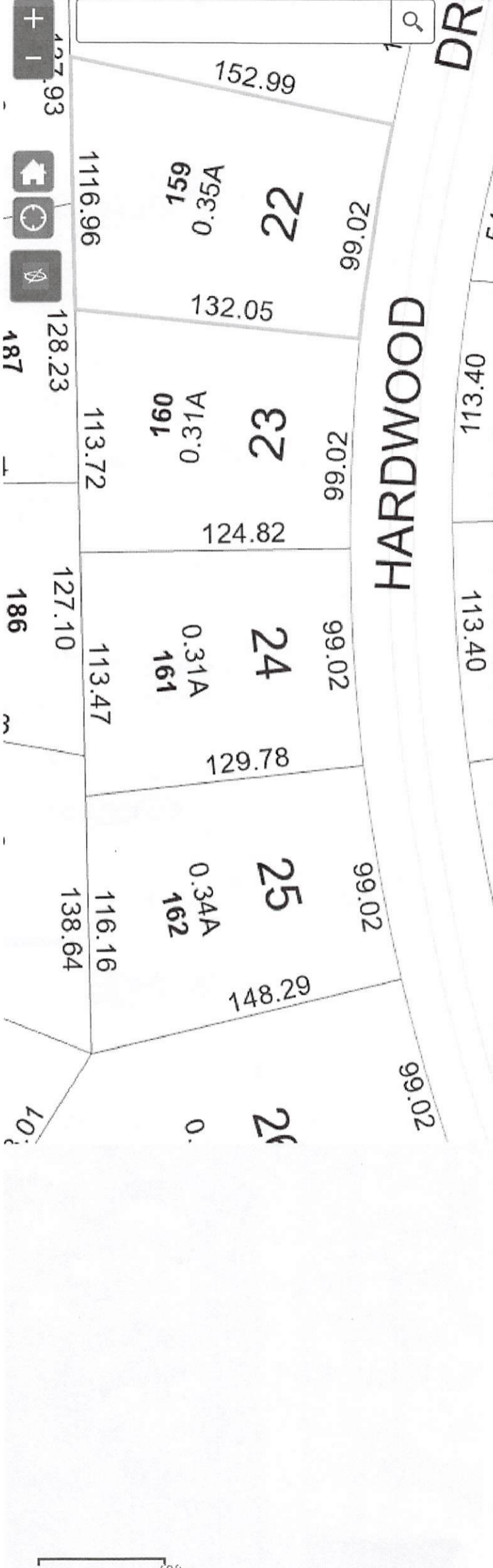

Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023


Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	74.13-3-35	Christopher Cordero	56 Drewry Ln, Tappan, NY 10983
392489	74.17-3-7	Paraskevi Glytsea	5 Hamilton Ave, Tappan, NY 10983
392489	74.17-3-8	Michael Valerio	86 Howard Av, Tappan, NY 10983
392489	74.17-4-6	John Brancato	140 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-7	Kathleen Coffey	132 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-8	Alberto N Velasco	120 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-9	Maryvic F Riccobono	57 Wayne Ln, Tappan, NY 10983
392489	74.17-4-10	Bruce Leonard	45 Wayne La, Tappan, NY 10983
392489	74.17-4-11	Robert Pang	37 Wayne La, Tappan, NY 10983
392489	74.17-4-15	Joseph Timarchi	65 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-16	Benjamin S Colobong III	75 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-17	Oliver M Schoening	85 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-18	Andrew Fernandez	93 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-19	Glenn A Hirsh	103 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-20	Avani Shah	108 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-21	John P Beirne	100 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-22	Jennifer J Vasconez	92 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-23	Vinoy Peter	84 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-24	Keith Johnson	76 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-25	Richard Cardazone	68 Hardwood Dr, Tappan, NY 10983
392489	74.17-4-69	Kevin Wholey	71 Howard Ave, Tappan, NY 10983
392489	74.17-4-70	Renee Marmelstein	79 Howard Ave, Tappan, NY 10983
392489	74.17-4-71	Rebecca Rosenzwaig	87 Howard Ave, Tappan, NY 10983
392489	74.17-4-72	Shari Renzi	135 Eastern Pkwy Apt 5E, Brooklyn, NY 11238
392489	74.17-4-73	John J Curcio	103 Howard Ave, Tappan, NY 10983
392489	74.17-4-74	Aris Diplas	111 Howard Ave, Tappan, NY 10983





GML Sec. 239

Select By ID Buffer Results

[Export Search URL](#) [Zoom All](#) [Clear](#) [Report](#)

Features selected: 1 [Export All to CSV](#)

PARCEL DATE: February 2023
 SWIS: 392489
 PRINT_KEY: 74.17-4-22
 OLD_ID: 60-49-401.9
 OWNER1: JENNIFER J VASCONEZ
 OWNER2: RAUL X VASCONEZ ARICHABALA
 ADDITIONAL OWNERS:
 ADDRESS: 92 HARDWOOD DR
 ADDRESS2:
 ALTERNATE ADDRESS:
 CITY: TAPPAN
 STATE: NY
 ZIP: 10983
 BOOK-PAGE:
 INSTRUMENT: 2018-00021504
 DEED_DATE: 07/22/2018
 MUNICIPALITY: Orangetown
 TOWN: Orangetown
 VILLAGE: -
 DEED_ACRES: 0.35
 GIS_ACRES: 0.34803878
 GML_REVIEW: NO
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 ROW - COUNTY HWY: NO
 ROW - STATE HWY: NO
 COUNTY REGULATED STREAM: NO
 LONG PATH TRAIL: NO
 COUNTY PARK: NO
 STATE PARK: NO
 STATE FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY: NO
 SPLIT ZONE: NO
 ZONES: 1
 ZONE1: R-15
 ZONE1 DESCRIPTION: Medium Density Residential
 ZONE2: -
 ZONE2 DESCRIPTION: -
 ZONE3: -
 ZONE3 DESCRIPTION: -
 ZONE OVERLAY: -
 LAND USE: One Family Residential
 NATIONAL HISTORIC SITE: NO
 HISTORIC REVIVAL SITE: NO
 HISTORIC DUTCH SITE: NO
 HISTORIC DISTRICT: NO
 ELECTION DISTRICT: 39

SURVEY: RAG-PAR-GY
DRAWN: AJM
CHECKED: RMR

TOWN: ORANGETOWN
STREET: HARDWOOD DR
DATE: OCT. 1, 1965

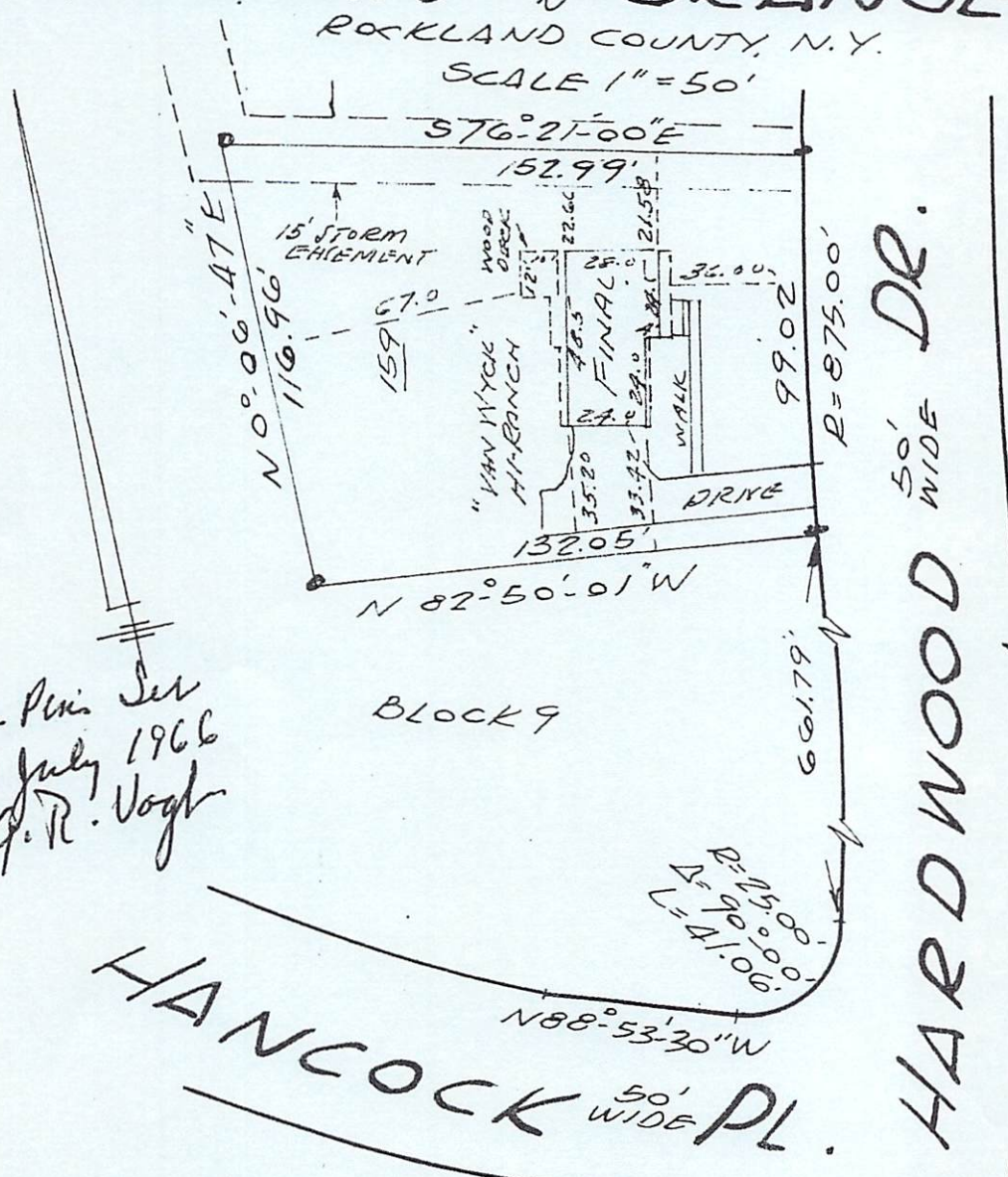
SURVEY

REV. FEB. 10, 1966
REV. JUNE 27, 1966
FINAL SURVEY

PROPERTY

HAMLET OF TAPPAN ^{TOWN OF} ORANGETOWN
AT
ROCKLAND COUNTY, N.Y.

SCALE 1" = 50'



Iron Pins Set
13 July 1966
G. R. Voght

BLOCK 9

HANCOCK ^{50' WIDE} PL.

HARDWOOD ^{50' WIDE} DR.

RECEIVED
JUN 18 2024
TOWN OF ORANGETOWN
LAND USE BOARDS

BEING LOT 159.9 AS SHOWN ON A MAP ENTITLED "PREL PARK, SECTION XIV-B TOWN OF ORANGETOWN, TAPPAN, ROCKLAND CO., NEW YORK." FILED IN THE ROCKLAND COUNTY CLERKS OFFICE AS MAP NO. 3409 IN BOOK 70, PAGE 71

CERTIFIED AS BEING AN ACCURATE AND TRUE SURVEY TO COUNTY FEDERAL SAVINGS AND LOAN ASSOCIATION AND HOME TITLE DIVISION, CHICAGO TITLE COMPANY

Arthur R. Voght #

WINDOW & DOOR SCHEDULE:			
ITEM	MANUFACTURER	FENESTRATION U-FACTOR	SHGC
TW 2646	ANDERSEN	.30	.31

REVISIONS:
20 MAY 2024

DATE:
05 OCT 2023

SCALE:
AS NOTED

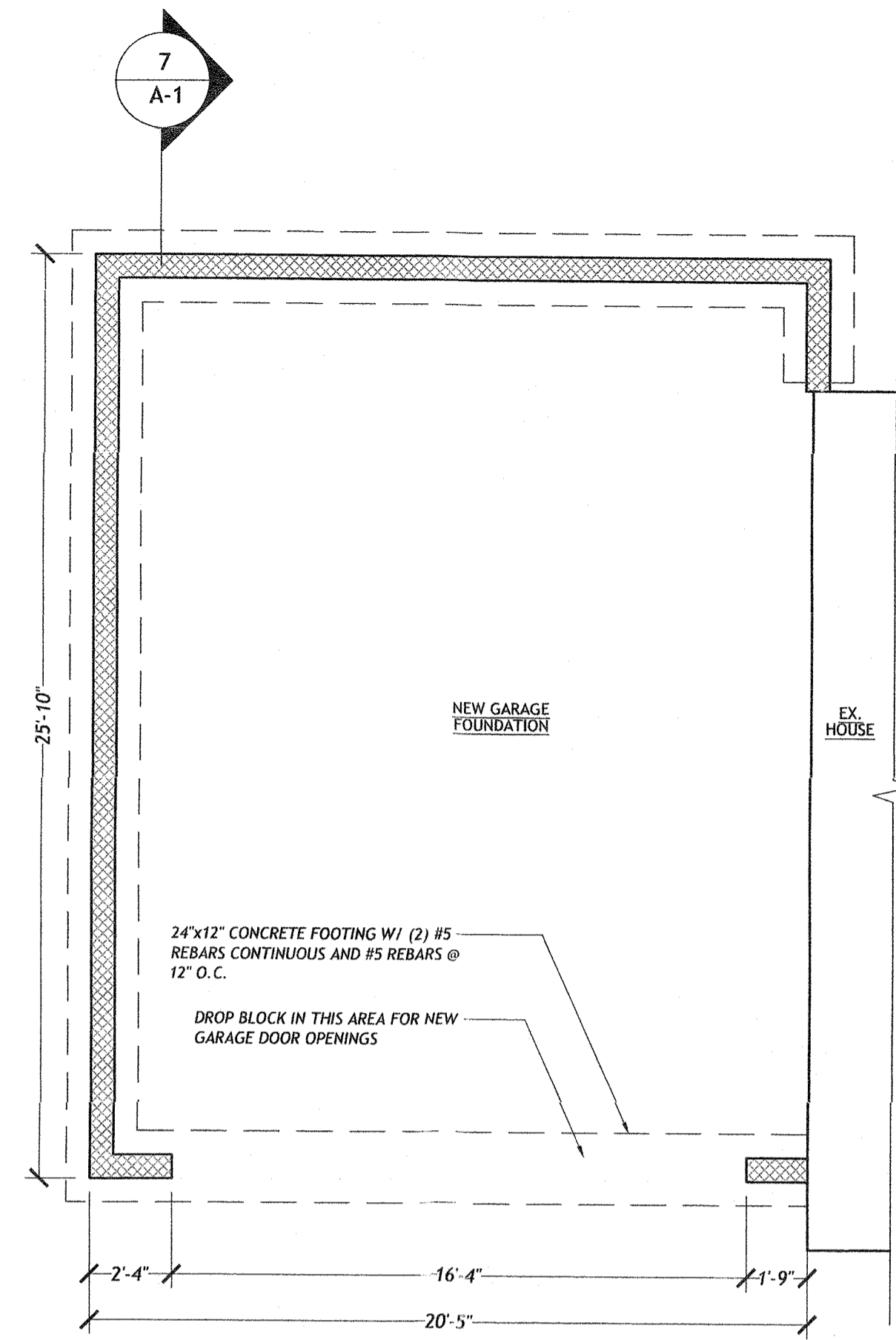
SHEET:
A-1

PROPOSED RENOVATION
PROPOSED NEW GARAGE

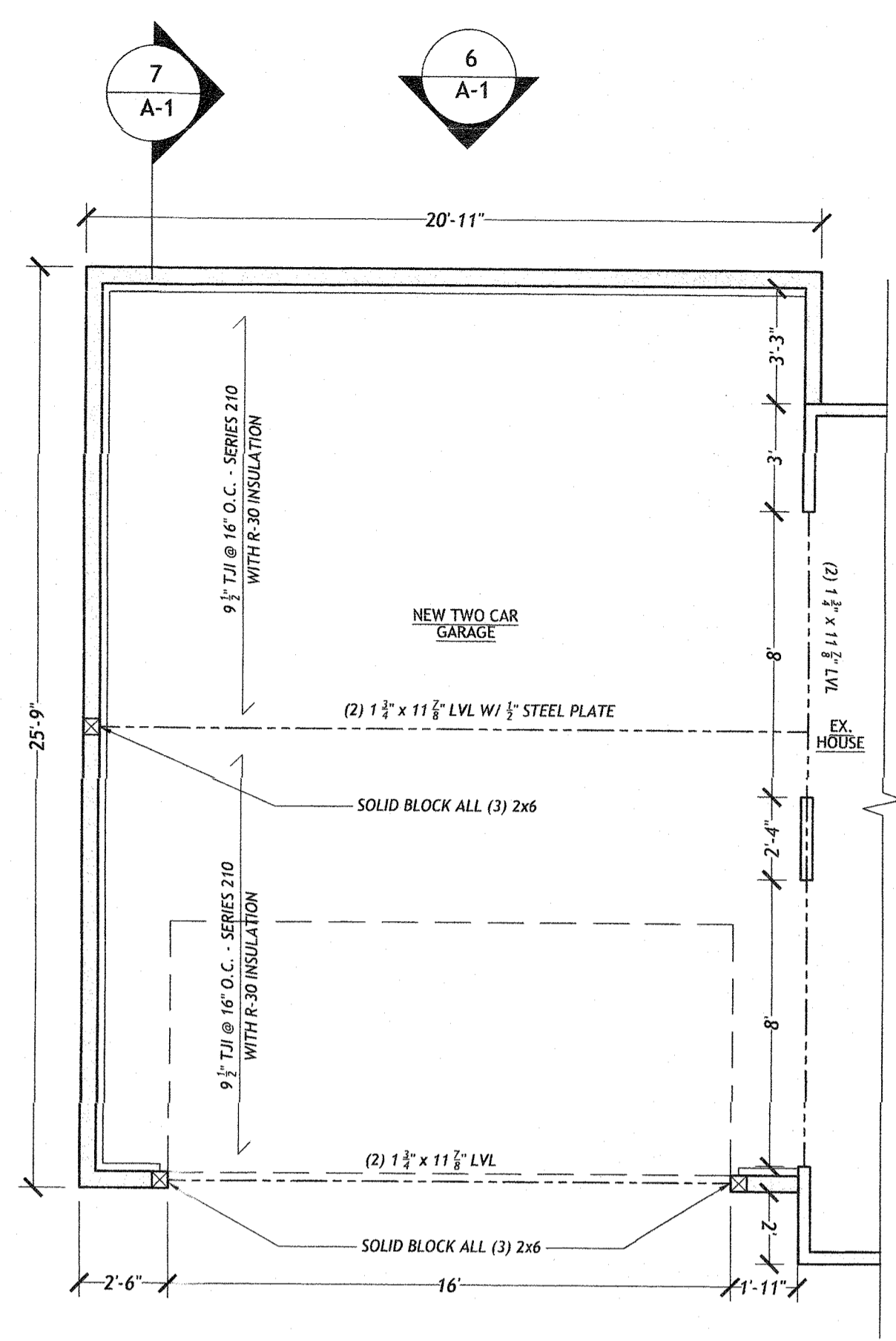
VASCONEZ
92 HARDWOOD DRIVE, TAPPAN, NY
TOWN OF ORANGETOWN,
ROCKLAND COUNTY, NEW YORK

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
(845) 268-6663

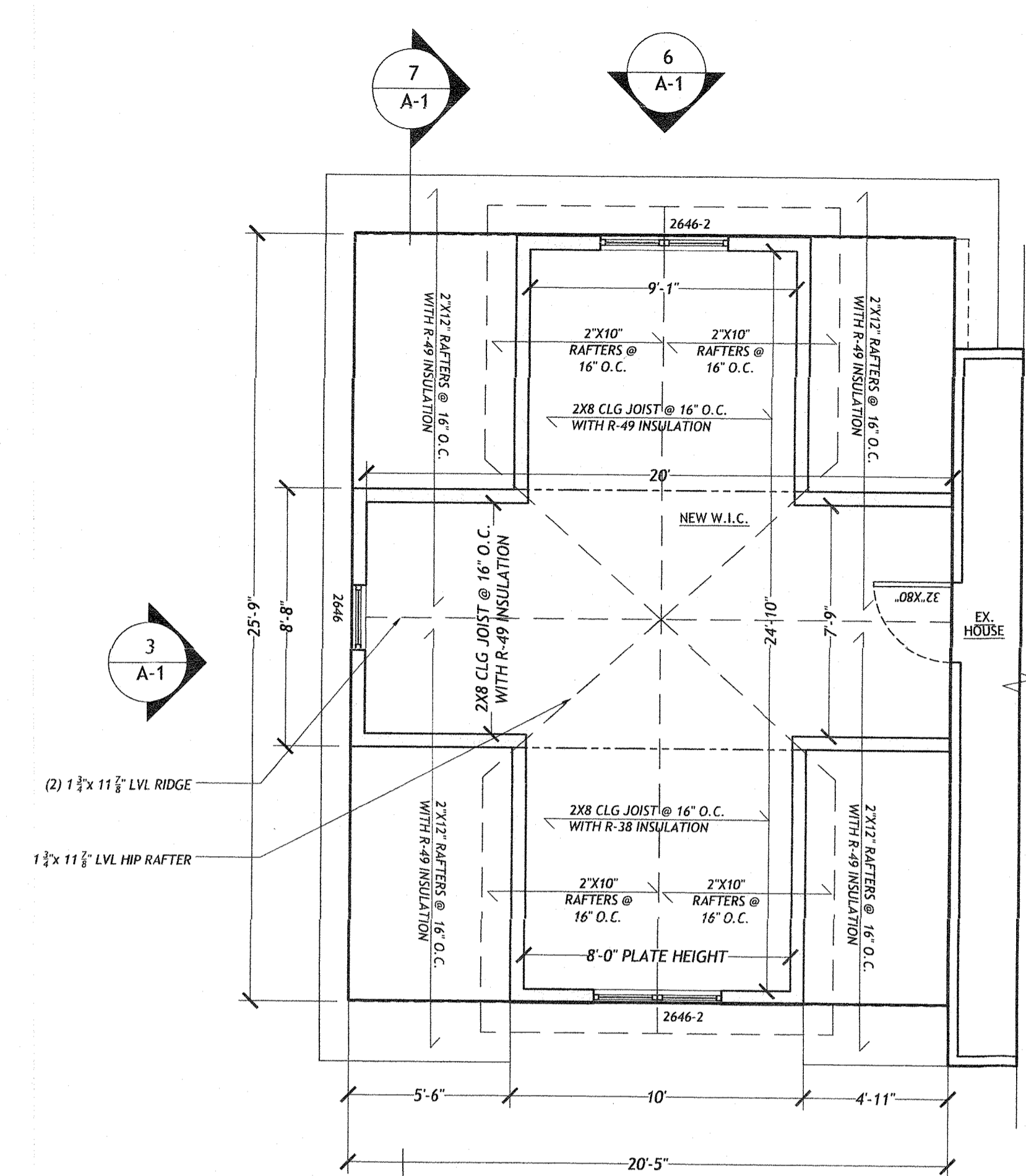
DO NOT SCALE PRINTS



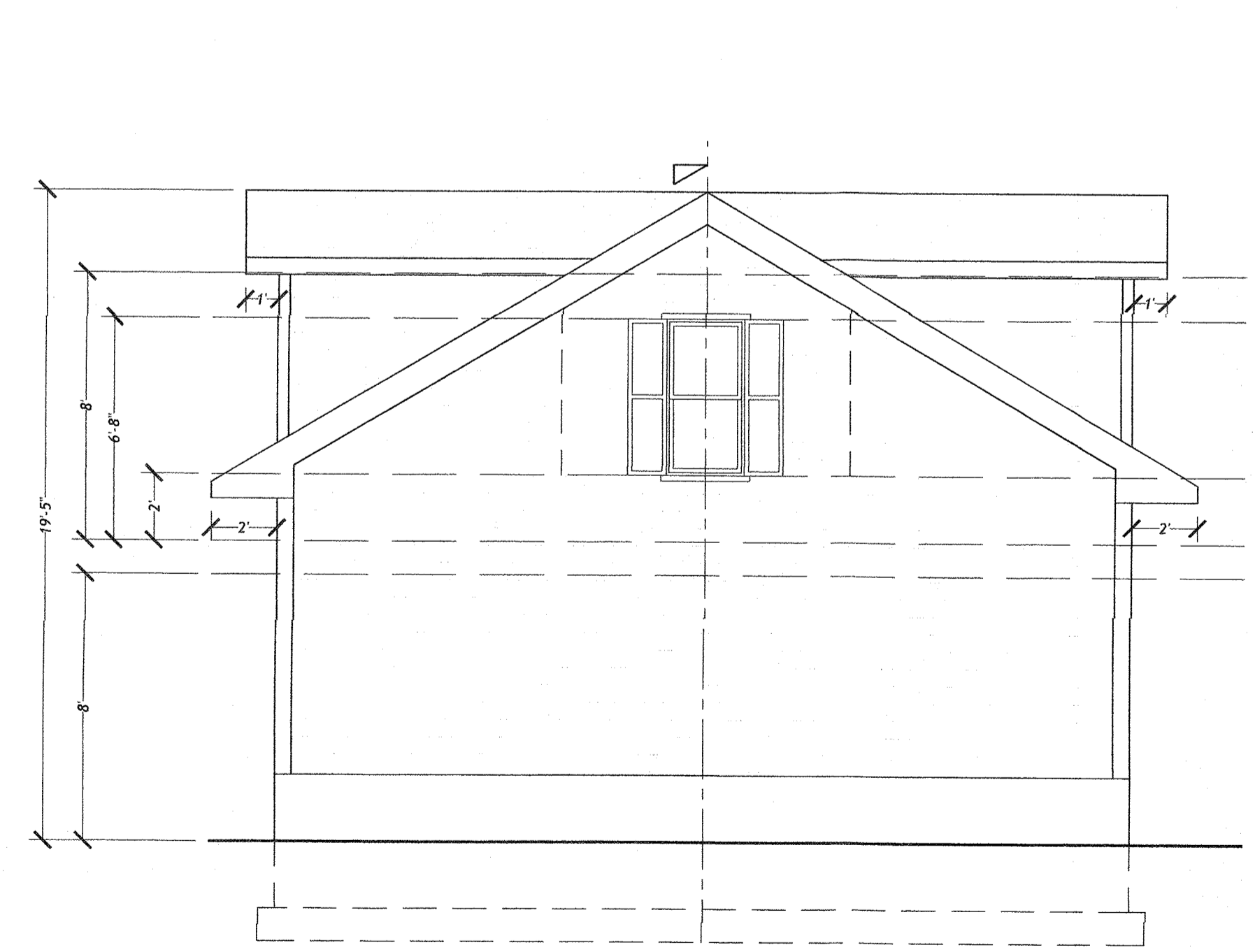
1 PARTIAL FOUNDATION FLOOR PLAN - PROPOSED
1/4" = 1'-0"



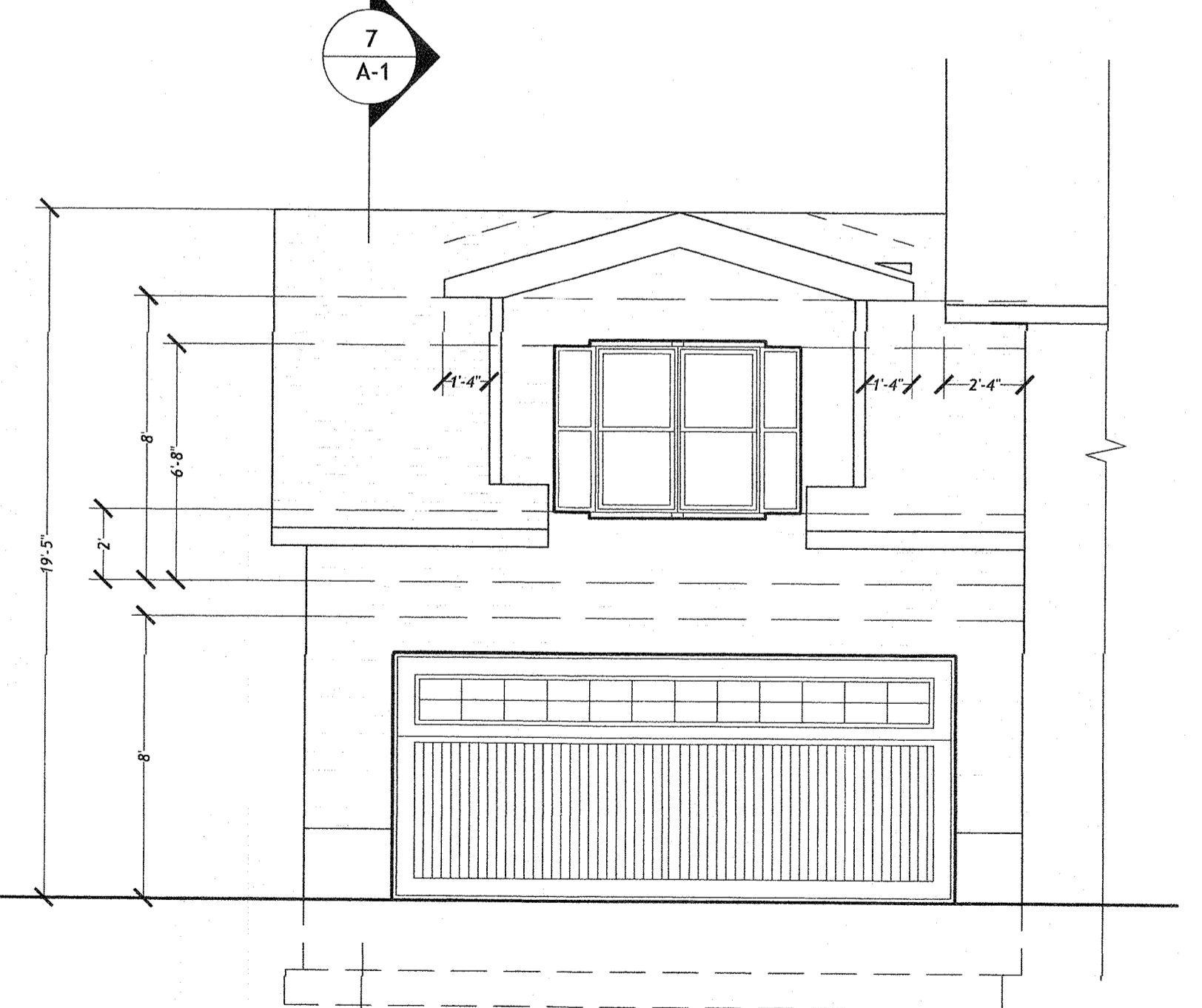
2 PARTIAL GROUND FLOOR PLAN - PROPOSED
1/4" = 1'-0"



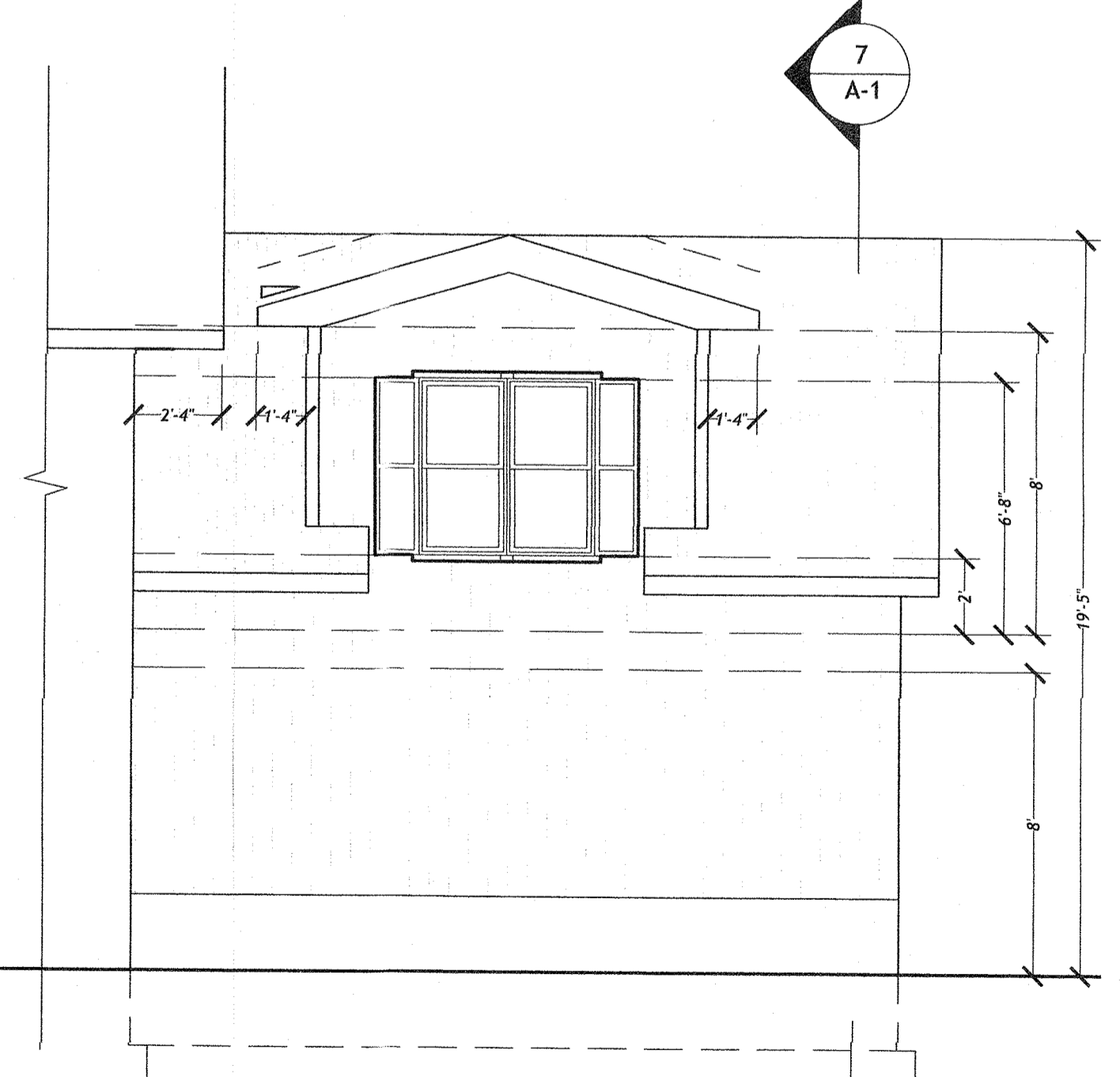
3 PARTIAL 2ND FLOOR PLAN - PROPOSED
1/4" = 1'-0"



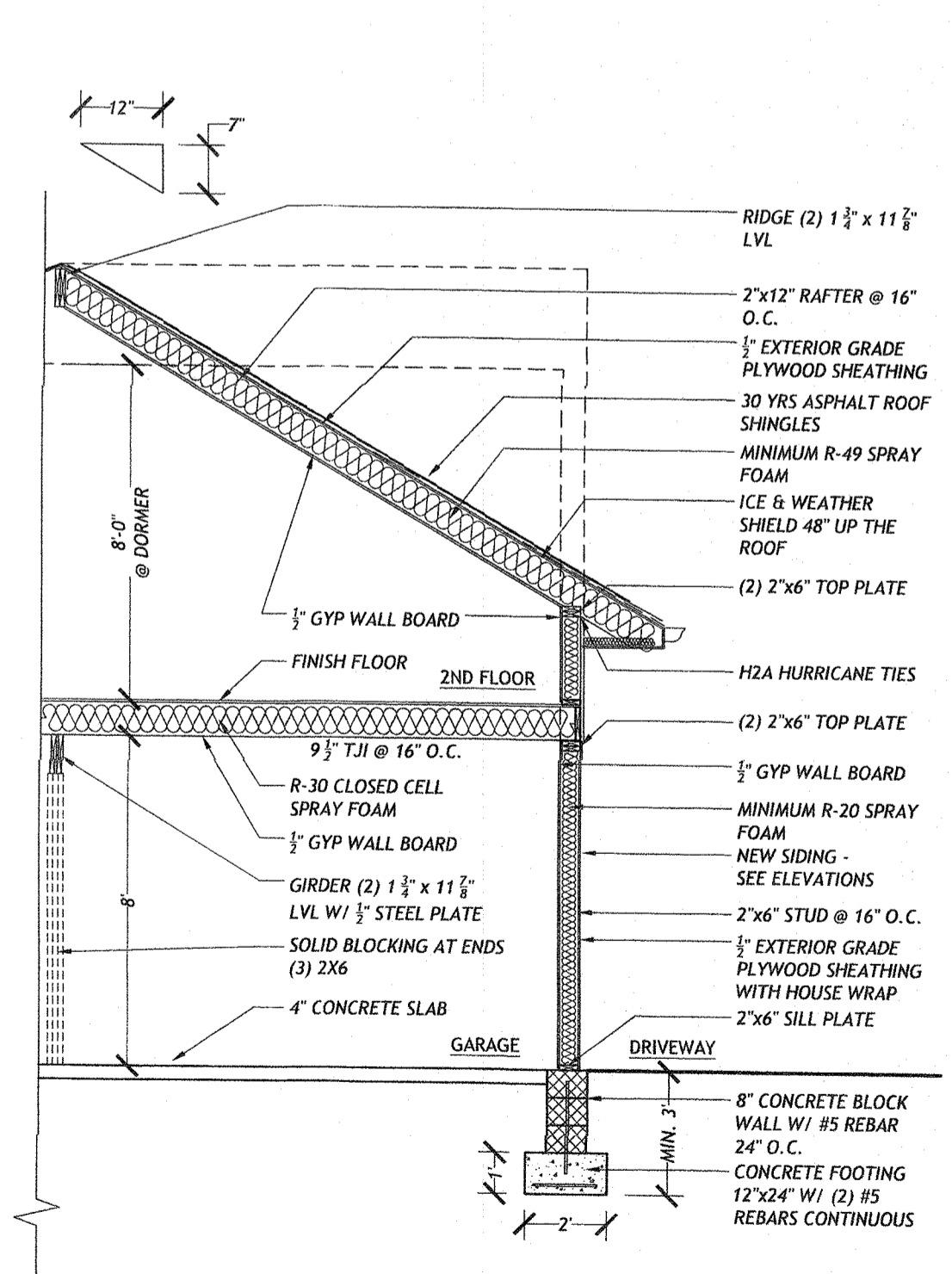
4 SIDE ELEVATION - PROPOSED
1/4" = 1'-0"



5 FRONT ELEVATION - PROPOSED
1/4" = 1'-0"



6 REAR ELEVATION - PROPOSED
1/4" = 1'-0"



7 CONSTRUCTION SECTION DETAIL
1/4" = 1'-0"

RECEIVED
JUL 13 2024
TOWN OF ORANGETOWN
LAND DEPARTMENT

Town of Orangetown
MEETING OF:
JUL 31 2024
ZONING BOARD OF APPEALS

[Signature]
NYS LIC #070645
PLANNING & DESIGN

DISTRICT R-15 GROUP M			
BULK	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	.20	.20	.238 (V)
MINIMUM LOT AREA	15,000 SF	15,202 SF	NO CHANGE
MINIMUM LOT WIDTH	100	118.5	NO CHANGE
MIN STREET FRONTAGE	75	92.02	NO CHANGE
REQUIRED FRONT YARD	30	36.0	NO CHANGE
REQUIRED SIDE YARD	20	21.6	13.0 (V)
TOTAL SIDE YARD	50	55	34.6 (V)
REQUIRED REAR YARD	35	61.2	NO CHANGE
MAX BUILDING HEIGHT	27'-9"	17.5'	NO CHANGE
SET BACK TO POOL	20'	--	10' (V)

(V) VARIANCE REQUIRED

IMPERVIOUS ADDED	
- RETAINING WALL	176 SF
- PATIO	1023 SF
- ROCK STRUCTURE	148 SF
- POOL	693 SF
- SUN DECK	112 SF
- ADDITION	528 SF
TOTAL	2680 SF

CULTEC SPECIFICATIONS

CULTEC Stormwater Design Calculator

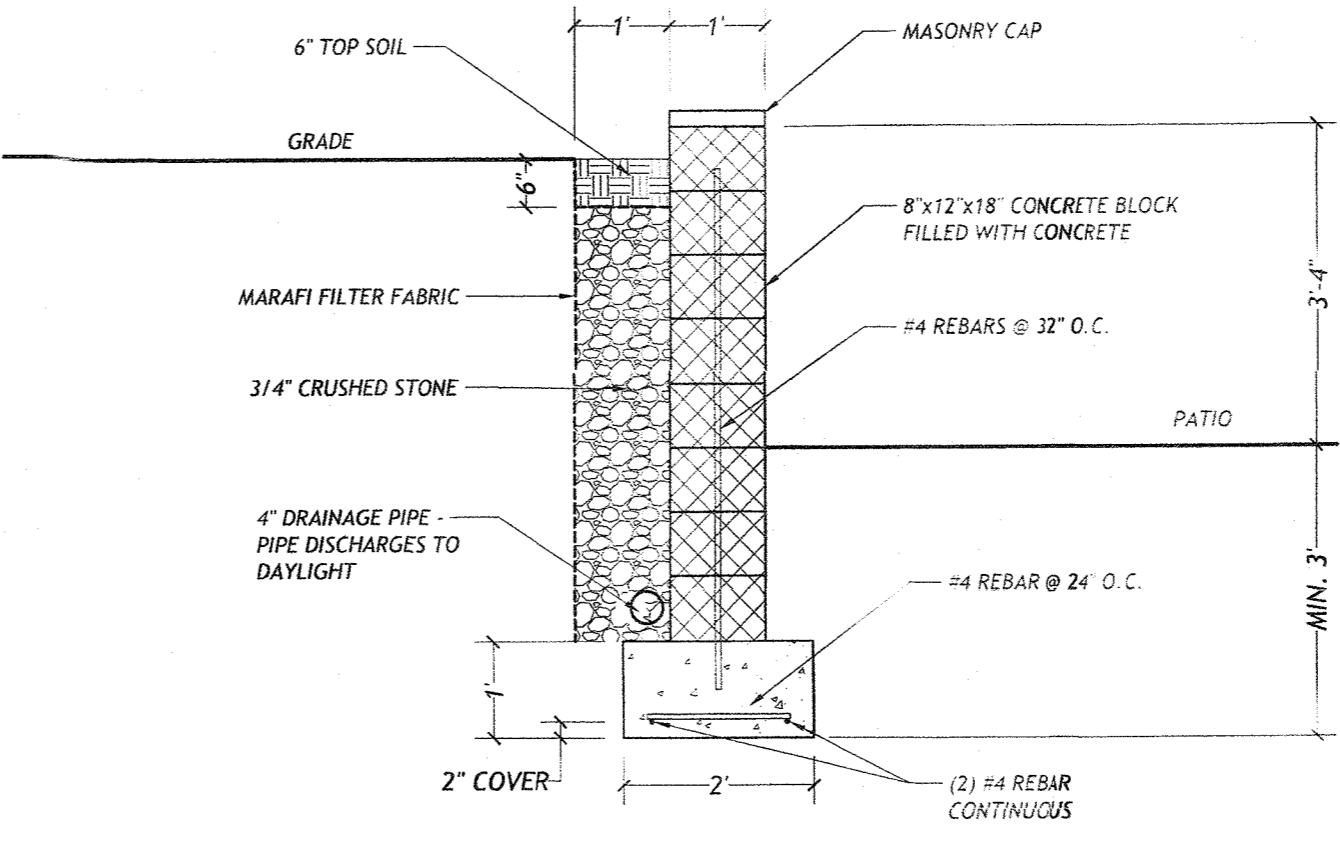
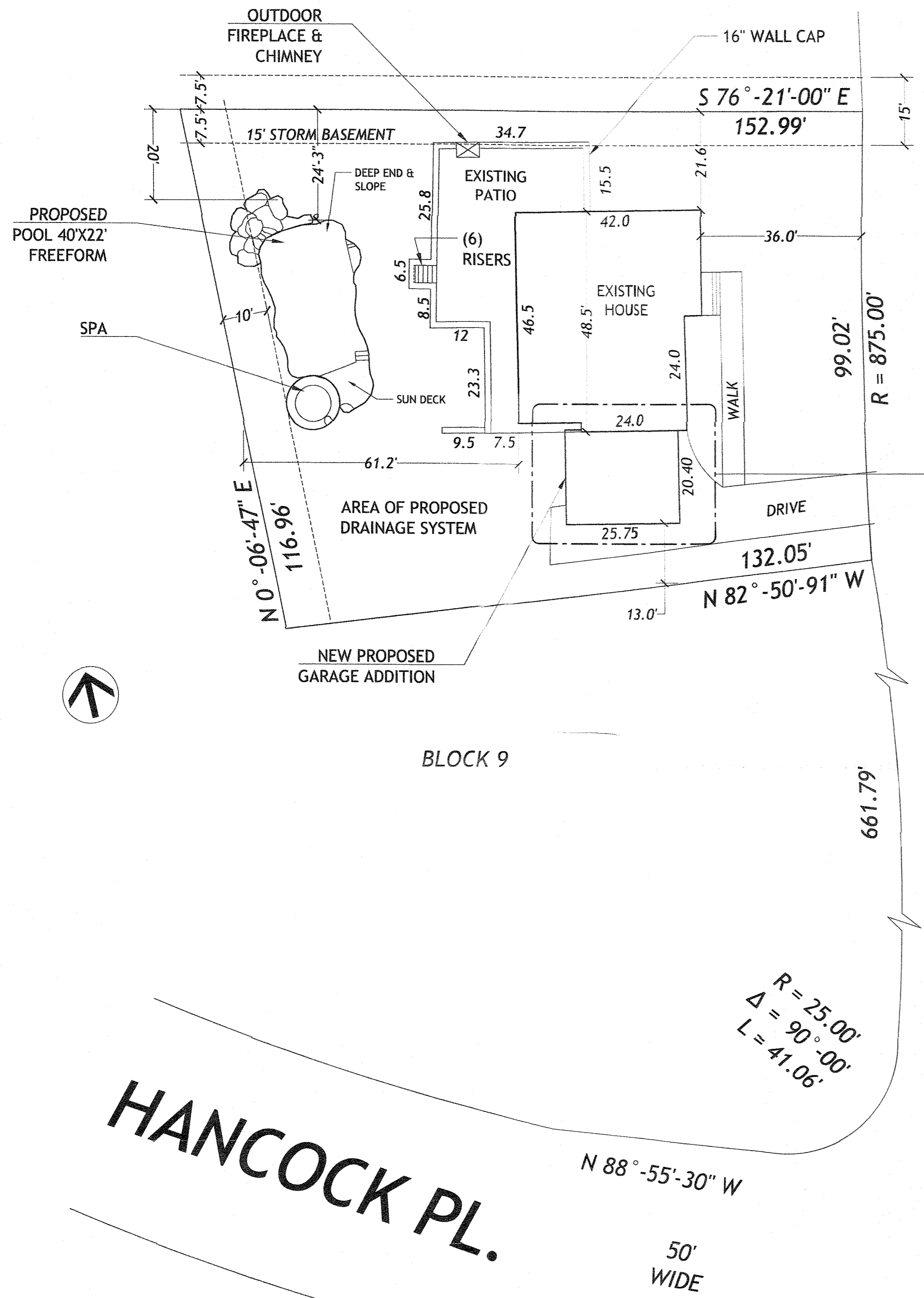
RECHARGE R 330XLHD

Materials List

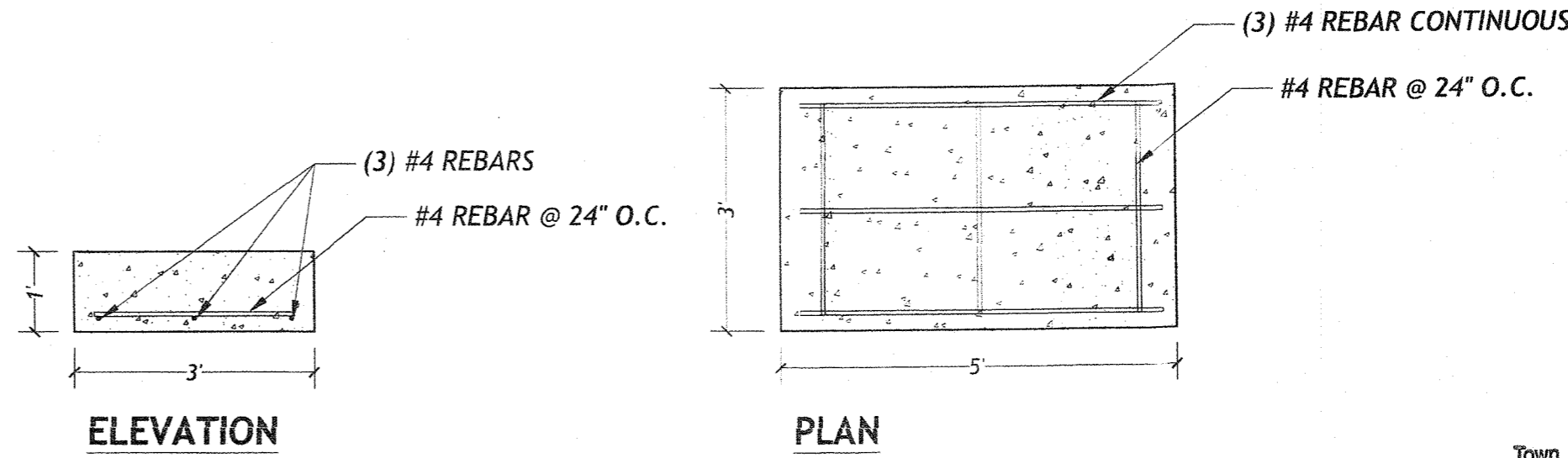
Bed Detail

Bed Layer Performance

Case Section Table Reference



2 RETAINING WALL SECTION DETAIL
SP-1 1/2" = 1'-0"



3 FIREPLACE FOOTING DETAILS
SP-1 1/2" = 1'-0"

DATA FOR SITE PLAN OBTAINED FROM SURVEY DATED 6/27/1966 BY ALFRED R. VOGL

BEING LOT 159-9 AS SHOWN ON A MAP ENTITLED "PEARL PARK, SECTION XIV-8 TOWN OF ORANGETOWN, TAPPAN, ROCKLAND CO., NEW YORK, FILED IN ROCKLAND COUNTY CLERKS OFFICE AS MAP NO. 3409 IN BOOK 70, CERTIFIED AS BEING AN ACCURATE AND TRUE SURVEY TO COUNTY FEDERAL SAVING AND LOAN ASSOCIATION AND HOME TITLE DIVISION CHICAGO TITLE COMPANY

1 SITE PLAN
SP-1 1" = 20'-0"

REVISIONS:
20 MAY 2024

DATE:
29 APR 2024

SCALE:
AS NOTED

SHEET:
SP-1

PROPOSED RENOVATION
SITE PLAN

VASCONEZ
92 HARDWOOD DRIVE, TAPPAN, NY
TOWN OF ORANGETOWN,
ROCKLAND COUNTY, NEW YORK

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
(845) 268-6663

TOWN OF ORANGETOWN
MEETING OF:
JUL 31 2024
ZONING BOARD OF APPEALS

RECEIVED
JUN 16 2024
TOWN OF ORANGETOWN
LAND USE BOARD

DO NOT SCALE PRINTS