

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: August 7, 2024

TO: OBAPAE

- | | |
|--|--|
| ✓ Rockland County Sewer District #1 | ✓ Rockland County Drainage |
| ✓ New York State Dept. of Transportation | ✓ Rockland County Health |
| ✓ Palisades Interstate Park Commission | ✓ Rockland County Planning |
| ✓ Orange and Rockland Utilities | ✓ Rockland County Highway |
| ✓ Veolia | ✓ NYS Dept of Environmental Conservation |
| ✓ CSX | |

This matter is scheduled for: September 18, 2024

Review of Plans: O'Rourke, 97-99 Old Western Highway, Blauvelt, New York

Section: 70.09 Block: 1 Lot: 50; R-15 zone

Chapter 43, R-15 District, Section 3.12, Group M, Column 9 (side yard: 20' required with +/- 18.5' proposed for building A and 10.1' proposed for building C), Column 10 (total side yard: 50' required with 25.8' proposed), Column 12 (maximum height: 10.4' permitted, with +/- 15' proposed for building A, and 22' proposed for Building C), from Section 9.2 (Expansion of non-conforming bulk) and Section 9.34 (Expansion of non-conforming use: 50% allowed, with 206% proposed) to demo and re-build South dwelling, renovate and expand North dwelling, and construct a new driveway. The premises are located at 97-99 Old Western Highway, Blauvelt, New York and identified on the Orangetown Tax Map as Section 70.09, Block 1, Lot 50 in the R-15 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: September 18, 2024

- Comments attached
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 18, 2024**. **Kindly forward your completed review to this office by September 18, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 7/16/24

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BIDR-5305-24
 ASSIGNED
 INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: PLOT PLAN OF PROPERTY FOR O'ROURKE

Street Address: 97-99 OLD WESTERN HIGHWAY
BLAUVELT NY 10913

Tax Map Designation:
Section: 70.09 Block: 1 Lot(s): 50
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the WEST side of OLD WESTERN HIGHWAY, approximately 100 feet SOUTH of the intersection of N. WESTERN HIGHWAY in the Town of ORANGETOWN in the hamlet/village of BLAUVELT.
Acreage of Parcel 0.45 Zoning District R-15
School District S. ORANGETOWN CSD Postal District 10913
Ambulance District TAPPAN Fire District BLAUVELT
Water District VEOLIA NY Sewer District ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)
DEMOLITION OF SOUTH DWELLING AND NEW DWELLING TO BE BUILT
RENOVATION / EXPANSION OF NORTH DWELLING.
NEW DRIVEWAY CONSTRUCTION

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 7/18/24 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 1726 SF (TWO DWELLINGS)
- 2) Total square footage 2495 SF " "
- 3) Number of dwelling units 2

If special permit, list special permit use and what the property will be used for.

NA

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type: NO

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

NA

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NA



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962



Jane Slavin, R.A.
Director

(845)359-8410

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 7.5.24 Section: 70.09 Block: 1 Lot: 50

Applicant: O'Rourke

Address: 97-99 Old WEstern Hwy, Blauvelt, NY

RE: Application Made at: same

Referred For:

Chapter 43, Chaspter 43, Section 9.2 Expansion of non-conforming Bulk, 9.34 Expansion of non-conforming use...50% allowed with 206% proposed.
Table 3.12, R-15 District, Column 9 Side Yd 20' required with +/-18.5' bldg A & 10.1' Bldg C proposed, Column 10 Total Side Yd 50' required with 25.8' proposed, Column 12 Max height 10.4' with +/-15' Bldg A & 22' Bldg C proposed
7 Variances required


Comments:

Non-conforming bulk and use expansions
side yd, total side yd and height

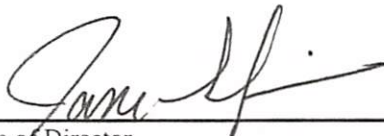
Dear O'Rourke:

Please be advised that the Building Permit Application # 5305.24, which you submitted on 5.29.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann @orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

7/5/24



Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

7/9/24

Date
CC: Liz DeCort
Debbie Arbolino

34 Wayne Ave.
Suffern, NY 10901
(845) 357-0830
email greenwellpls@aol.com

Jay A. Greenwell, PLS, LLC
Land Surveying and Land Planning

July 16, 2024

Plot Plan of Property for O'Rourke -- Narrative Summary

The subject application involves tax lot 70.09-1-50, as shown on the Town of Orangetown tax maps, consisting of 0.46 acres in the R-15 zone, lying on the westerly side of Old Western Highway, just south of the intersection with North Western Highway. The lot has two single family dwellings on it, a pre-existing non-conforming condition.

It is proposed to demolish the southerly cottage and construct a new small single family dwelling of 1373 sf, as well as making a small addition to the existing northerly dwelling of 128 sf. The tenants at the existing dwellings currently pull directly off the road and park just off the edge of macadam, on a gravel area between the houses and the road. It is proposed to provide a new macadam driveway between the two dwellings with parking behind the residences and new landscaping where the gravel is removed.

In order to accommodate the new dwelling and driveway, catch basins and drywells will be installed to mitigate the additional impervious area.

Variations are required to confirm several existing non-conforming bulk items, but the resulting total FAR does not exceed the permitted. We have attempted to minimize the degree of the variations, by putting the new house at the same non-conforming side yard setback on the south. This also keeps the non-conforming total side yard the same as it currently exists.

Variations required include Art. IX Section 9.2—increase in the degree of non-conforming bulk, and 9.34—one time increase of more than 50% in the floor area.

Additionally variations include Art. III Table 3.12:

- Front yard for the new southerly dwelling which is 10.4 feet vs. 30 feet from the DSL (but this is more than the current front yard for the existing dwelling).
- Side yard for the new southerly dwelling which is 10.1 feet vs. 20 feet required (but this is the same setback for the existing dwelling)
- Side yard of 18.5 feet vs. 30 feet required for the expanded portion of the northerly dwelling (but this is larger than the existing setback for the dwelling)
- Total side yard of 25.8 feet vs. 50 feet required (but this is the same as currently exists for the two existing dwellings)
- Building height for the new southerly dwelling of approximately 22 feet (but this is due to the measurement of the height from the DSL and not the property line / right of way line, which would have permitted a height of 24.8 feet).

There are numerous existing non-conforming setback conditions as shown on the plot plan which are proposed to remain "as-is."



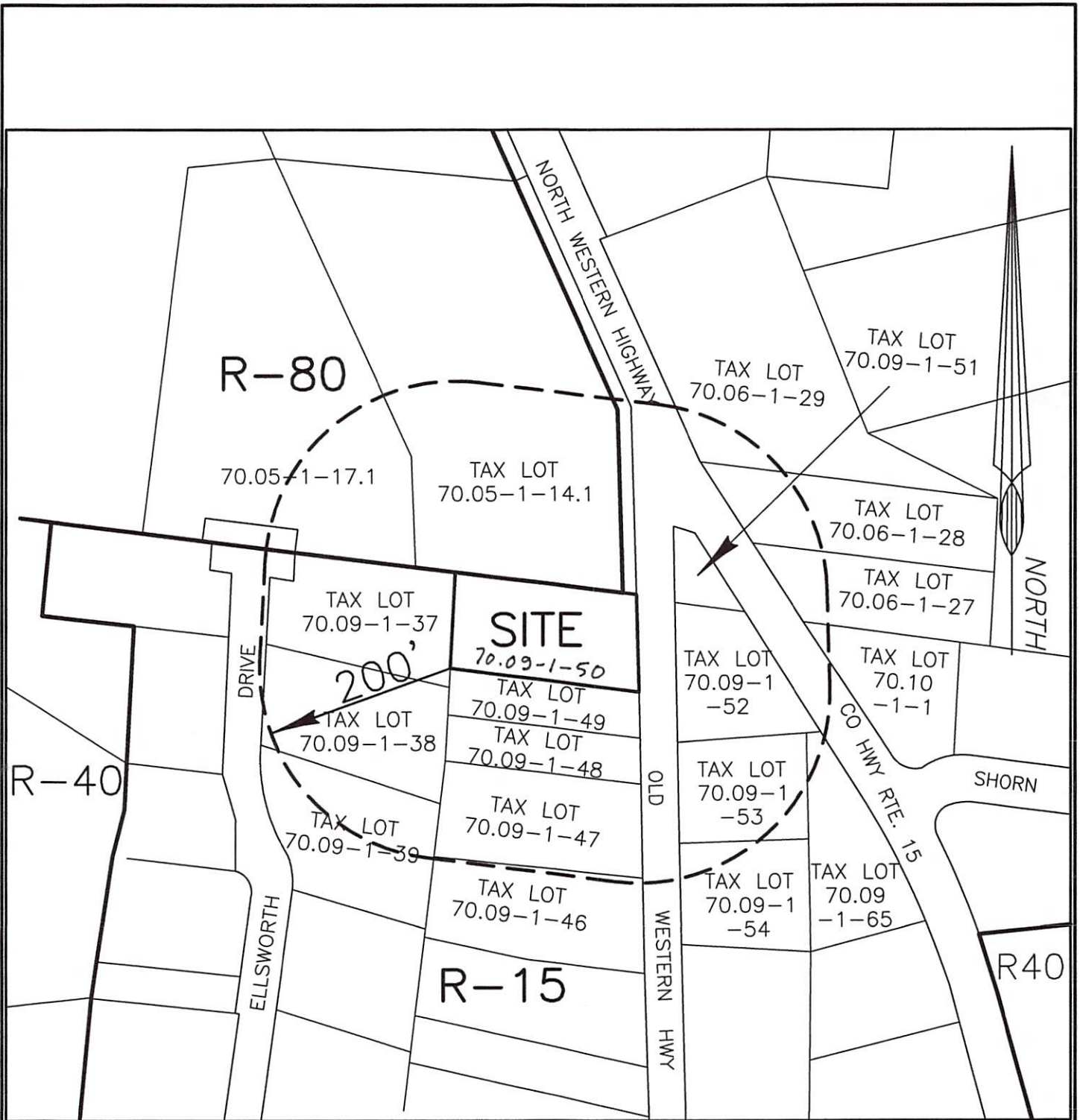
July 16, 2024

While it seems like there are a number of variances being requested, the net result will be a much more attractive property, with the parking removed from the area between the houses and the roadway, and an overall improvement in the aesthetics of the property. In many cases, the variances are required because it is new construction, even though they simply mimic the existing setback conditions on the site.

Jayd Cullum Date 7/16/24

VIS	PRINT KEY	NAME	ADDRESS
2489	70.05-1-14.1	Hegarty Homes LLC	75 Michael Roberts Dr,Pearl River, NY 10965
2489	70.05-1-17.1	Hegarty Homes LLC	75 Michael Roberts Dr,Pearl River, NY 10965
2489	70.06-1-27	Thomas F Rooney	675 Western Hwy,Blauvelt, NY 10913
2489	70.06-1-28	Ronald Pastore	679 Western Hwy,Blauvelt, NY 10913
2489	70.06-1-29	Donald H Gabel Jr	683 Western Hwy,Blauvelt, NY 10913
2489	70.09-1-35	Anton Usic	33 Ellsworth Dr,Blauvelt, NY 10913
2489	70.09-1-37	Dennis Buckley	36 Ellsworth Dr,Blauvelt, NY 10913
2489	70.09-1-38	Thomas Shalvey	34 Ellsworth Dr,Blauvelt, NY 10913
2489	70.09-1-39	James J Mc Caffrey Jr	28 Ellsworth Dr,Blauvelt, NY 10913
2489	70.09-1-40	Joseph Kennedy	18 Ellsworth Dr,Blauvelt, NY 10913
2489	70.09-1-45	Frederick J Vero	79 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-46	David Kosberg	81 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-47	Steven Weiss	83 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-48	Paul K Silva	89 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-49	Michael Klomberg	91 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-50	Christopher M O'Rourke	646 Gilbert Ave,Pearl River, NY 10965
2489	70.09-1-51	Town Of Orangetown	26 Orangburg Rd,Orangeburg, NY 10962
2489	70.09-1-52	Brian Segarra	102 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-53	Michael Hughes	100 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-54	Paul Kaczmarczyk	80 Old Western Hwy,Blauvelt, NY 10913
2489	70.09-1-65	Patrick O'Connor	668 Western Hwy,Blauvelt, NY 10913
2489	70.10-1-1	Jenna Isker	2 Shorn Dr,Blauvelt, NY 10983





RECEIVED
 JUL 22 2024
 TOWN OF ORANGETOWN
 LAND USE BOARDS

VICINITY MAP
SCALE 1"=200'

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing


Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: PLOT PLAN OF PROPERTY FOR O'ROURKE			
Project Location (describe, and attach a location map): 97-99 OLD WESTERN HIGHWAY, BLAUVELT, NY 10913			
Brief Description of Proposed Action: THE SITE CONTAINS TWO EXISTING DWELLINGS. IT IS PROPOSED TO DEMOLISH THE SOUTHERN SMALL COTTAGE AND REPLACE IT WITH A NEW 1373 SF DWELLING, AND EXPAND THE EXISTING NORTHERN DWELLING BY 128 SF. BECAUSE OF THE GEOMETRY OF THE SITE, AND BECAUSE THE EXISTING CONDITIONS OF HAVING TWO DWELLINGS ON ONE PARCEL IS NON-CONFORMING, VARIANCES WILL BE REQUIRED AS INDICATED ON THE PLOT PLAN. A NEW DRIVEWAY WILL BE CONSTRUCTED TO SERVE BOTH DWELLINGS, RATHER THAN THE CURRENT CONFIGURATION HAVING VEHICLES PARK JUST OF THE ROADWAY ON A GRAVEL SURFACE.			
Name of Applicant or Sponsor: CHRISTOPHER O'ROURKE		Telephone: 845-352-2900 E-Mail: chris@hugomessenger.com	
Address: 97-99 OLD WESTERN HIGHWAY			
City/PO: BLAUVELT		State: NY	Zip Code: 10913
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: RC Highway Dept. (highway permit), RC Planning (GML), ACABOR, ZBA (variances)		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.45 acres	
b. Total acreage to be physically disturbed?		_____ 0.30 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.45 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

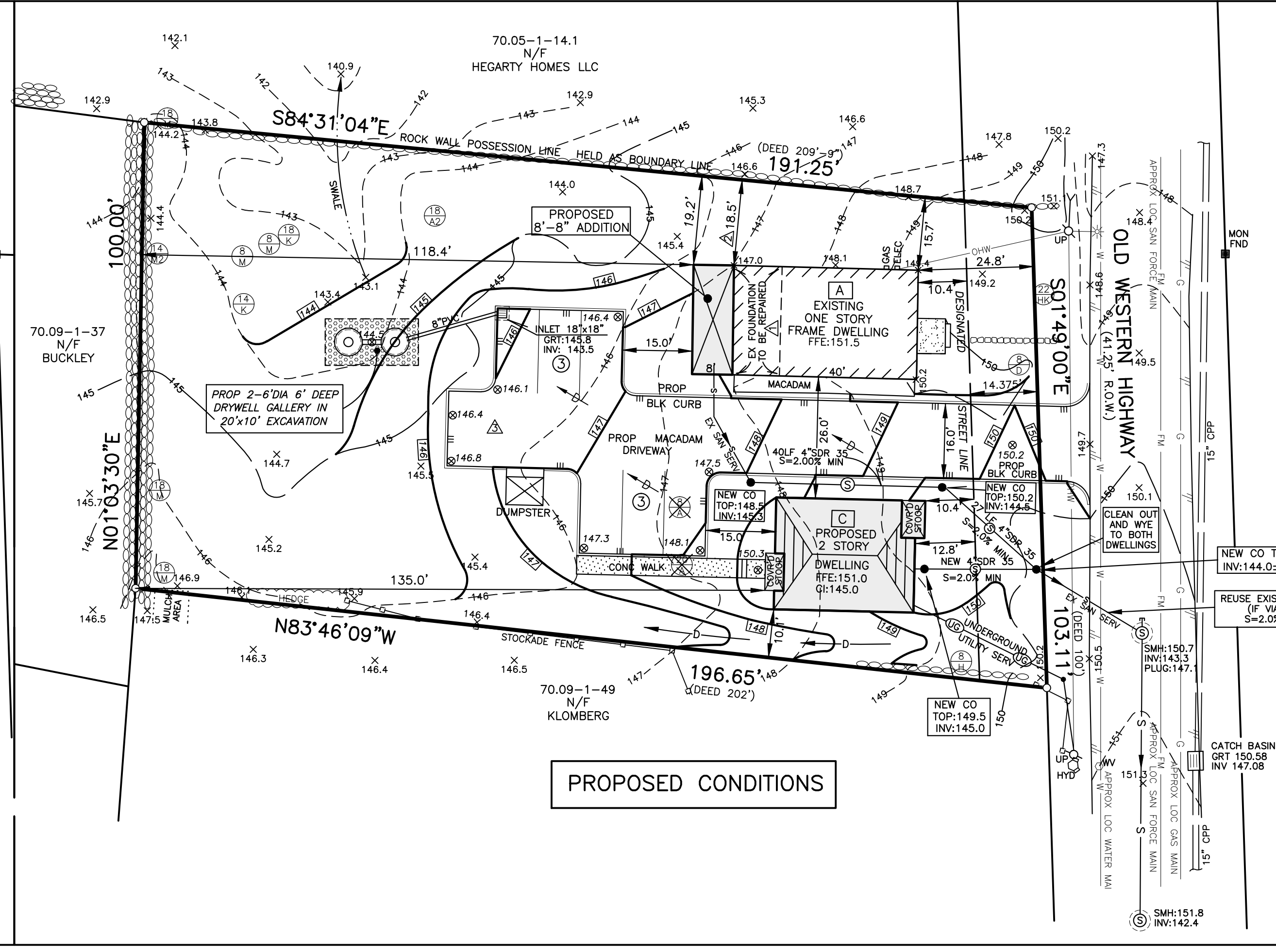
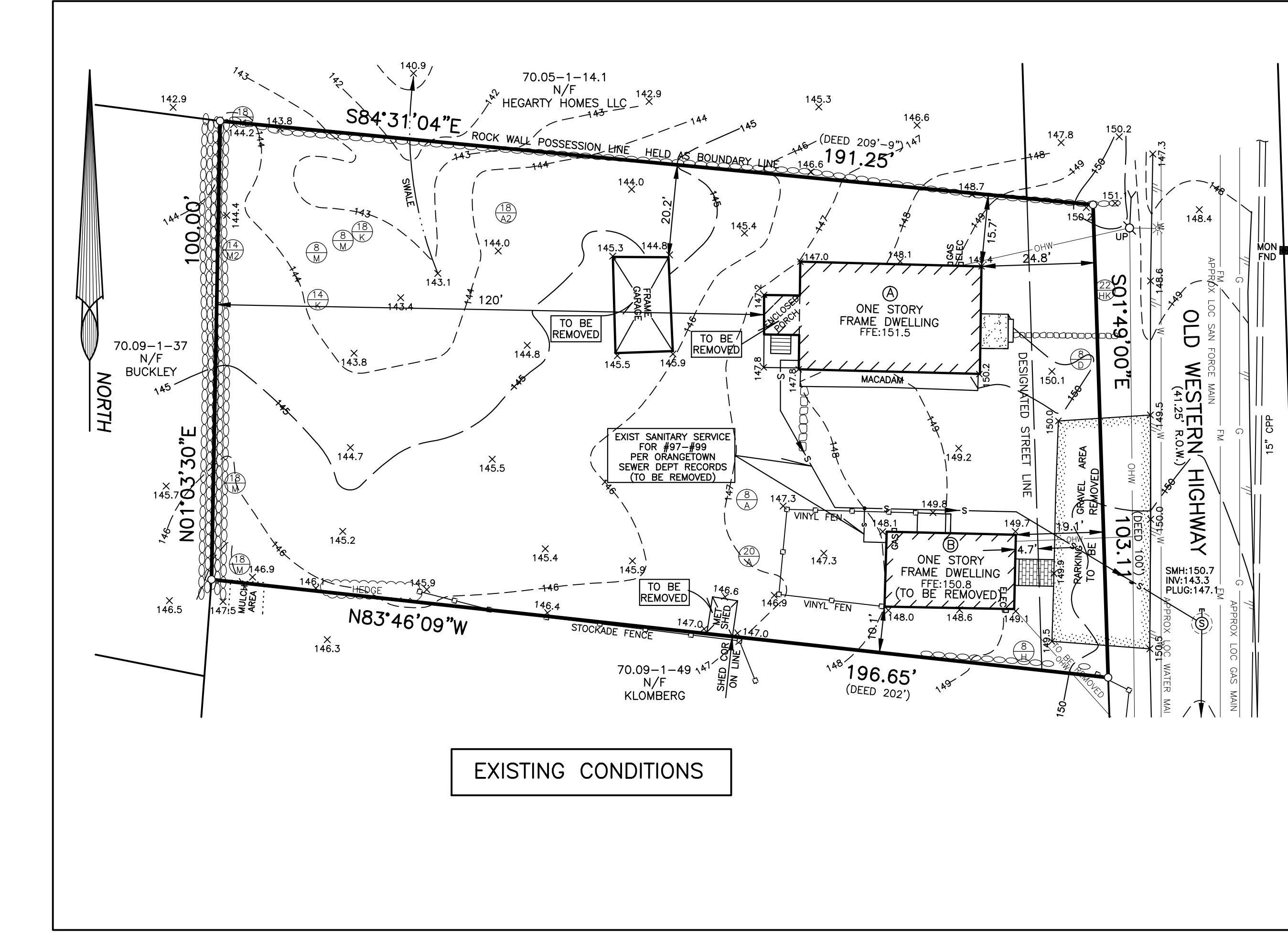
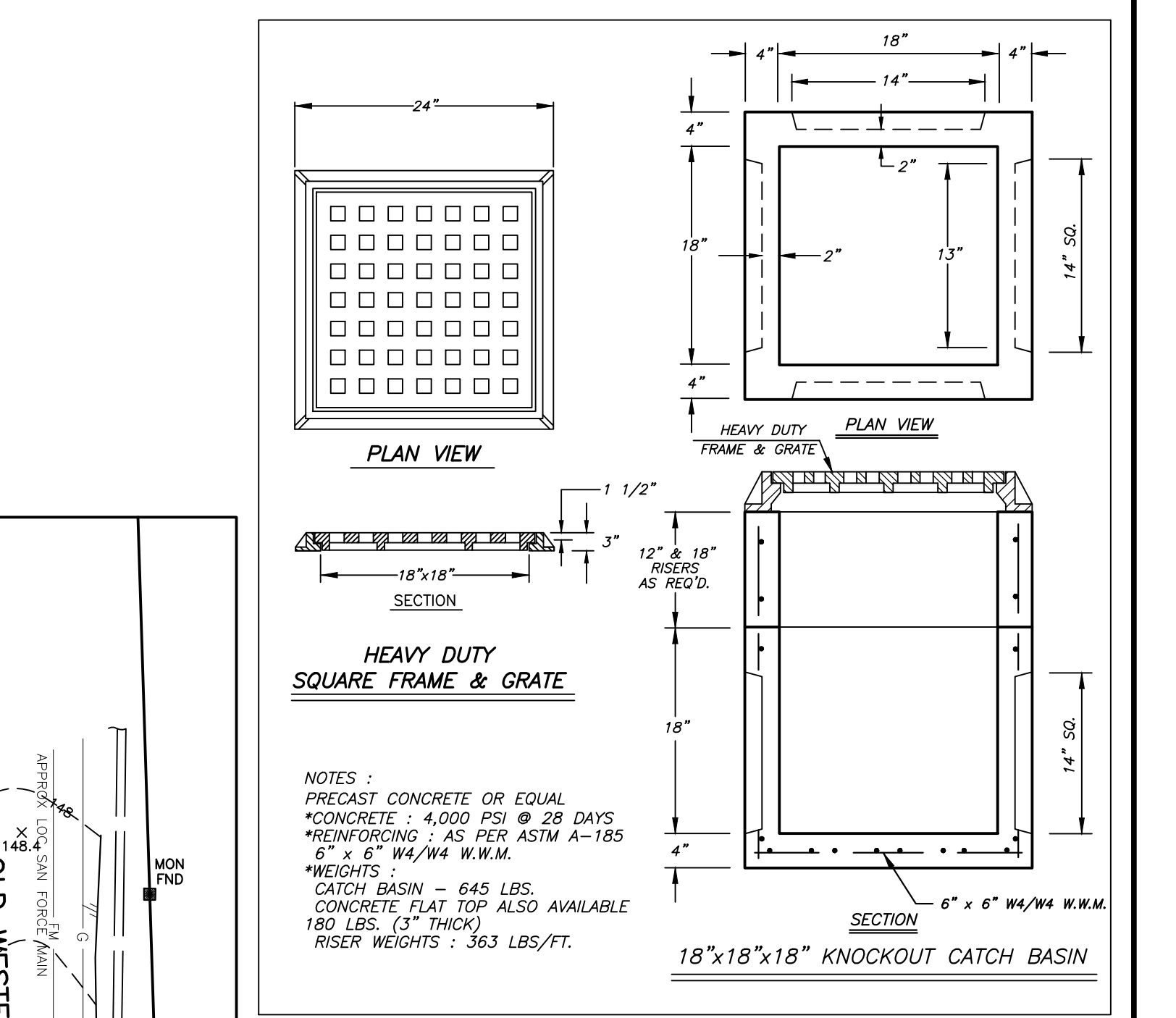
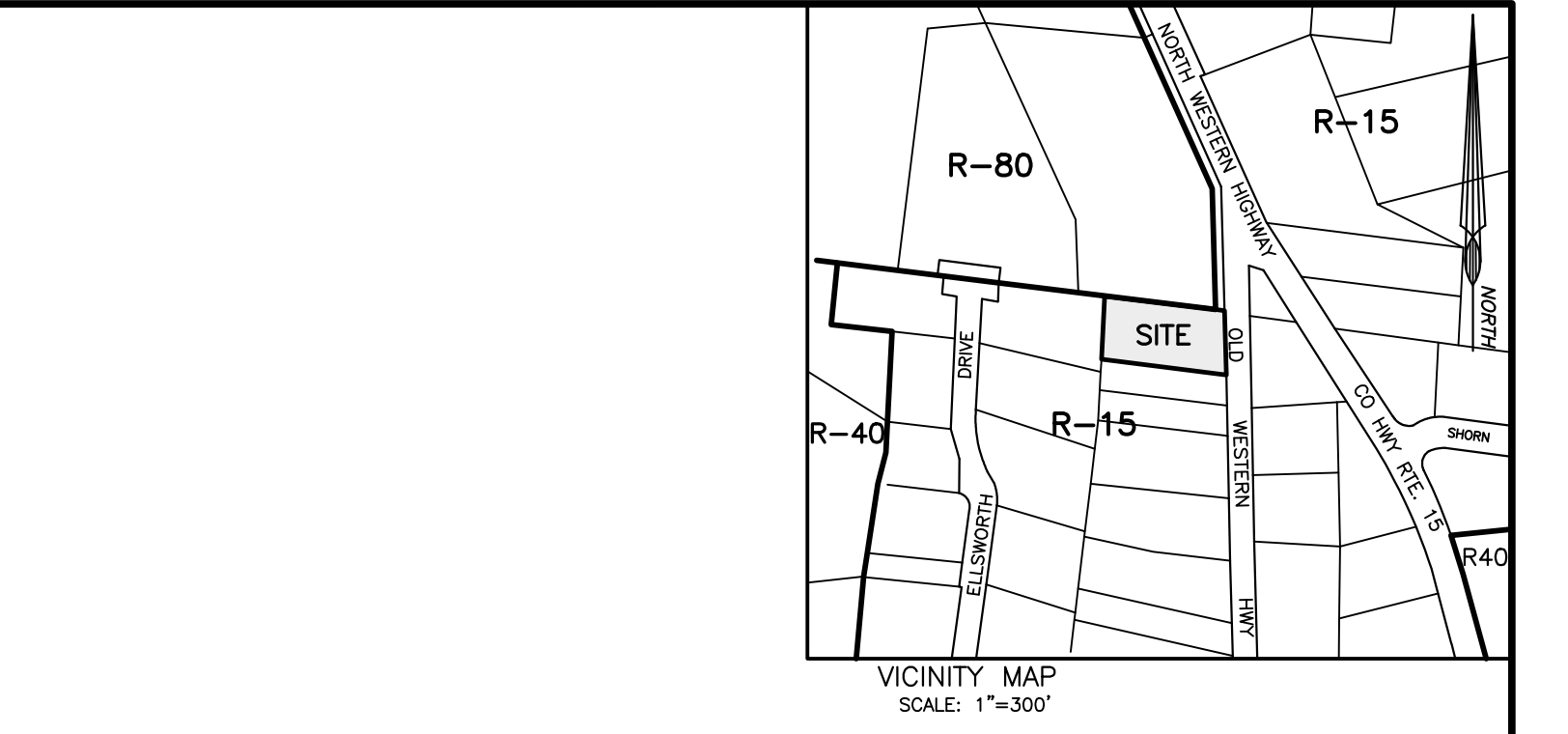
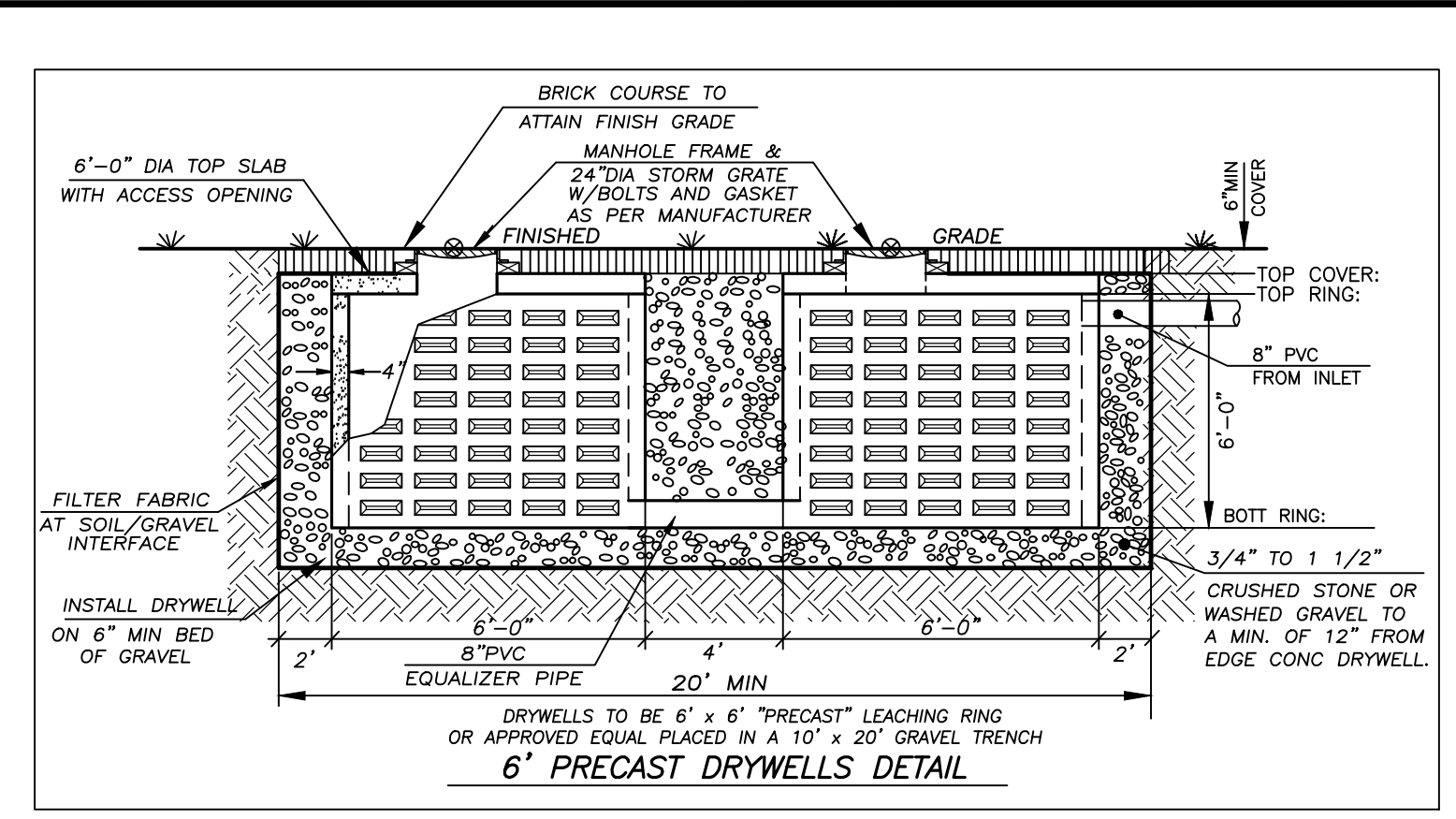
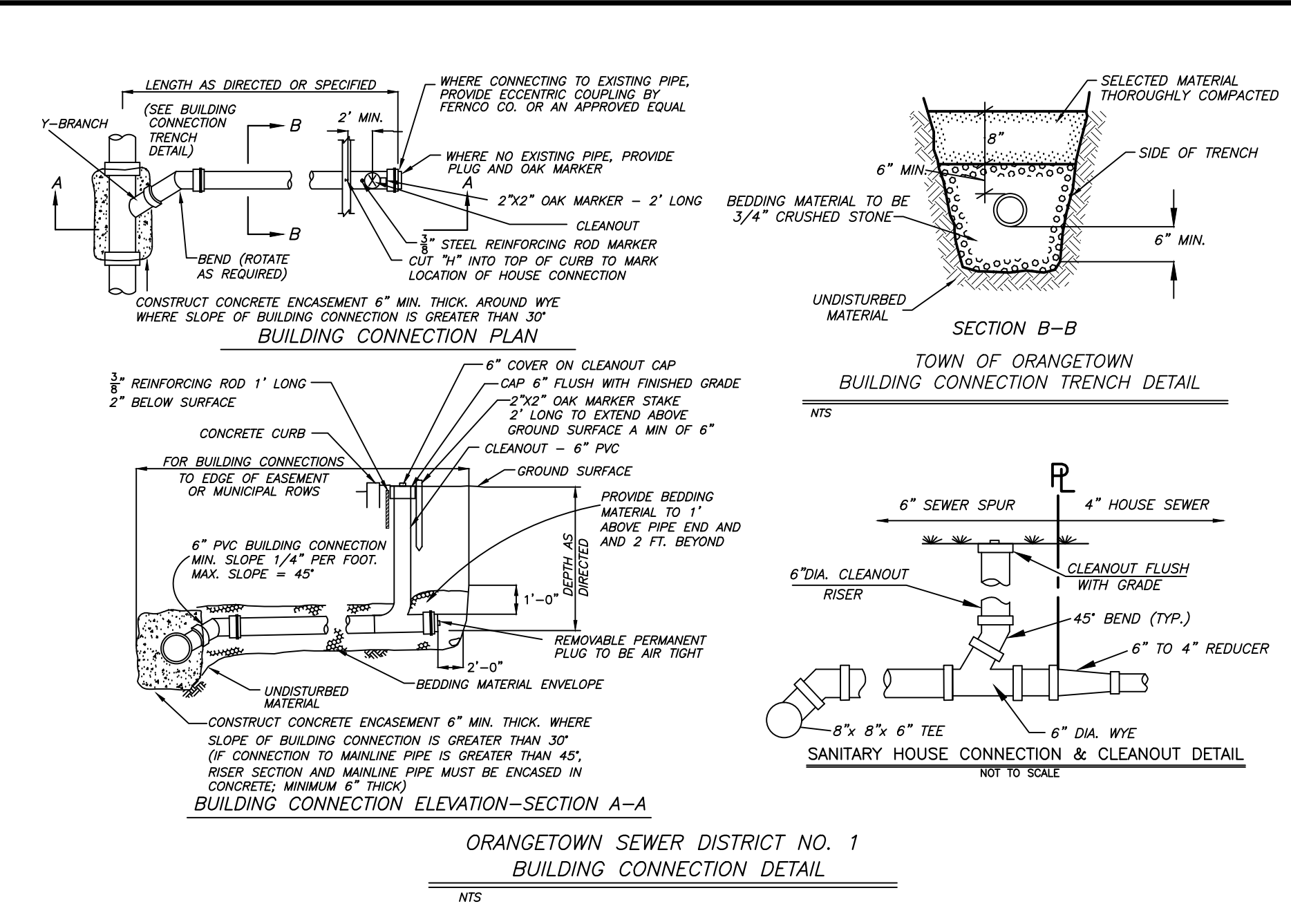
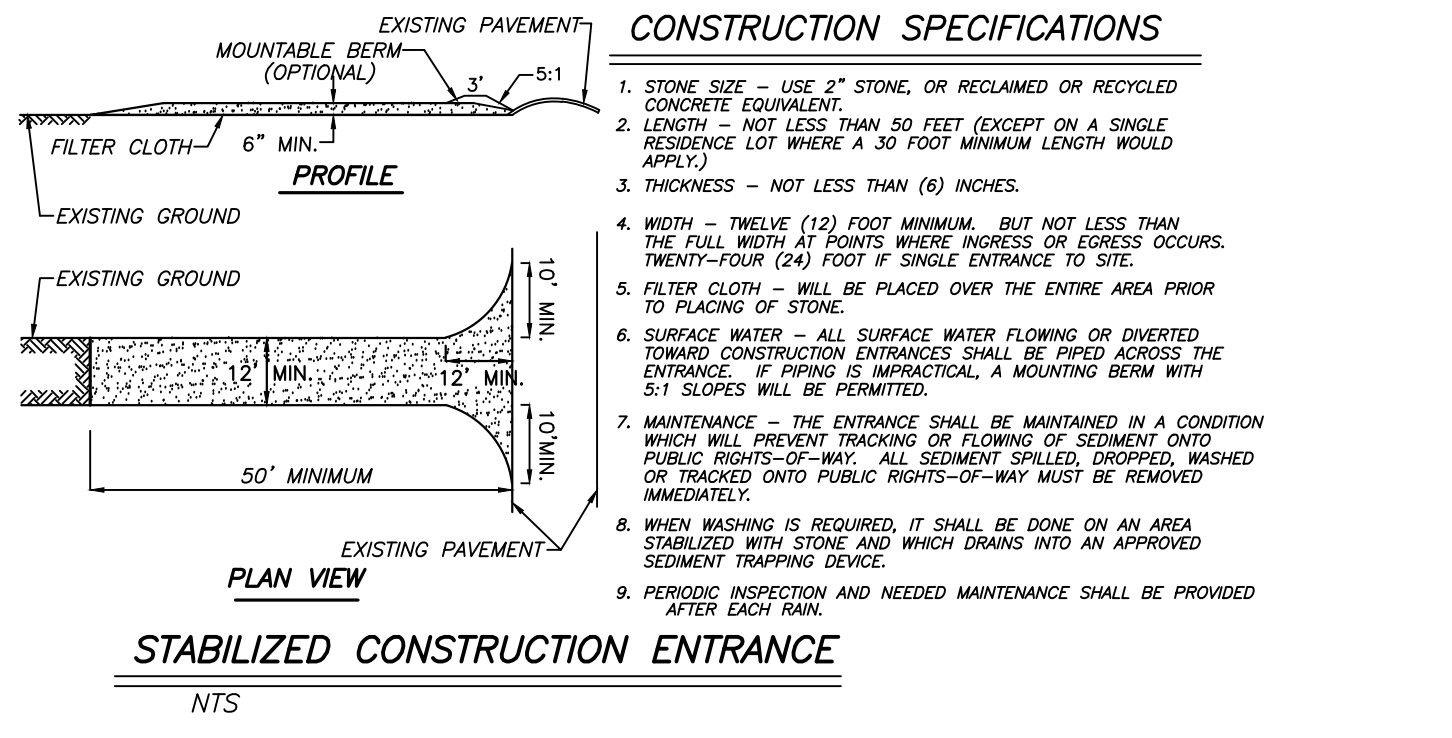
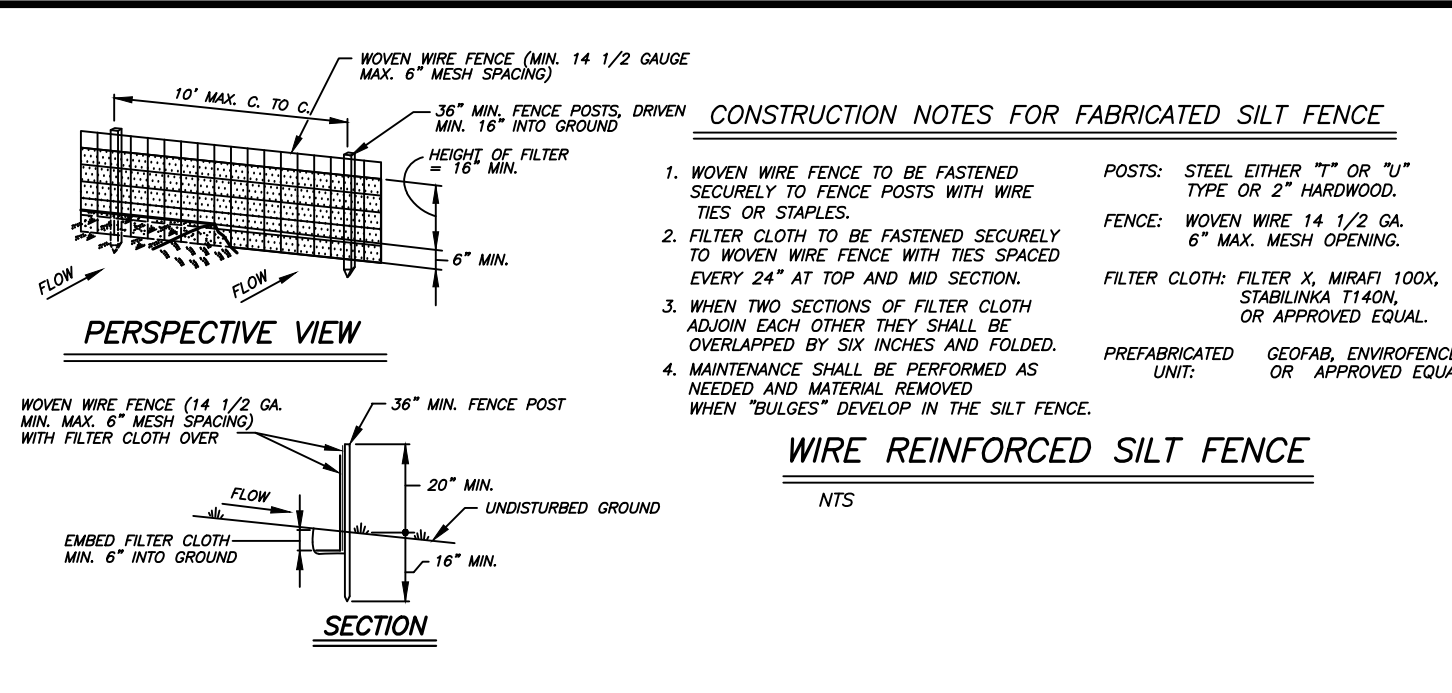
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____		
PROPOSED DRYWELLS TO MITIGATE ADDITIONAL IMPERVIOUS AREAS. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: 2-6' DIAMETER DRYWELLS TO CAPTURE DRIVEWAY RUNOFF	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>CHRISTOPHER O'ROURKE</u>		Date: <u>7/16/2024</u>
Signature: <u></u>		Title: <u>OWNER</u>



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



LEGEND

- DRAINAGE INLET W/PIPES
- DRAIN MANHOLE/ WITH PIPES
- TOP CURB @ CATCH BASIN
- TOP GRATE FIELD INLET
- REINFORCED CONCRETE PIPE
- CORRUGATED PLASTIC PIPE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- WATER VALVE
- HYDRANT
- GAS VALVE
- OVERHEAD WIRES
- GAS LINE
- GAS, ELEC, TEL
- WATER LINE
- CONTOUR LINE
- SPOT ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- TO BE REMOVED

TREE LEGEND

- 12" - SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
- K2 - LETTER INDICATES TREE TYPE (SEE BELOW)
- SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
- A = APPLE
- D = DOGWOOD
- H = HOLLY
- HK = HICKORY
- K = OAK
- M = MAPLE
- X = TREE TO BE REMOVED

FLOOR AREA RATIO CALCULATIONS

EXISTING SF	PROPOSED SF
1 STORY DWELLING = 994 SF	1 STORY DWELLING = 1122 SF
1 STORY DWELLING = 448 SF	2 STORY DWELLING = 1373 SF
GARAGE = 240 SF	NO GARAGE
SHED = 44 SF	NO SHED
TOTAL = 1726 SF	TOTAL = 2495 SF

BULK REGULATIONS ZONE R-15 GROUP M

	MIN LOT AREA	MIN LOT WIDTH	MIN STREET FRONTAGE	MIN FRONT YARD TO DSL	MIN SIDE YARD	TOTAL SIDE YARD	MIN REAR YARD	MAX F.A.R.	BUILDING HEIGHT
REQUIRED	15,000 SF	>100 FT	75 FT	>30 FT	>20 FT	50 FT	>35 FT	0.20	12'/7 FT FROM PROP LINE
EXIST	19,572 SF	102.8'	103.11'	A 10.4'	A 15.7'	15.7' A + 10.1' B	120'	TOTAL=0.08 A + B + GAR + SHED	A 15'± B 15'±
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	A NO CHANGE C 10.4'	A 15.7' EXIST PROP ADDITION = 18.5' C 10.1'	15.7' A + 10.1' B = 25.8'	118.4'	TOTAL=0.13 A + C	A NO CHANGE C 22'±

⊕ = EXIST NON-COMFORMITY
⊕ = VARIANCE REQUIRED

SURVEY NOTES:

- DEED IN INST# 2022-3770 DESCRIBES A PARCEL WITHOUT BEARINGS, ONLY DISTANCES. THIS SURVEY WAS PREPARED USING ADJOINING DEEDS AND MONUMENTATION, AS WELL AS LINES OF POSSESSION.
- REFERENCES: FILE IN THE ROCKLAND COUNTY CLERK'S OFFICE AS FOLLOWS: INST# 2022-3770, INST# 2012-9158, INST#1997-2413, INST# 2004-70008, INST# 2020-6277, INST# 2021-29213, INST# 2004-71708, INST# 2020-6277, INST# 2021-71708, INST# 2014-71708, INST# 2014-14522, INST# 2006-20894, L1059 P240
- MAP ENTITLED "SUBDIVISION PLAT FOR ELLSWORTH DRIVE ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7172.
- MAP ENTITLED "SUBDIVISION PLAT FOR HUDSON VALLEY ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7173.
- ROCKLAND COUNTY HIGHWAY MAP ENTITLED "WESTERN HIGHWAY M283".

PER CHAPTER 43, SECTION 9.34

FOR REMOVAL/REPLACEMENT OF DWELLING (B):
 DWELLING (B) IS 448 SF CURRENTLY.
 NEW DWELLING (C) IS 1373 SF. THIS IS AN INCREASE OF 925 SF.
 THIS IS A 206.5% INCREASE.

PROPOSED DWELLING (C) IS 1373 SF, WHICH EXCEEDS THE MAXIMUM 50% EXPANSION PERMITTED (WHICH WOULD BE 448 x 1.5 = 672 SF)

GDANSKI CONSULTANTS, INC.
 8512 WHITTIER COURT
 MAHWAH, NEW JERSEY 07430

JAY A. GREENWELL, PLS, LLC
 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901
 PH: 845-357-0830, EMAIL: GREENWELLPLS@AOL.COM

IMPERVIOUS BREAKDOWN

TAX LOT 70.09-1-50
 EXIST IMPERVIOUS = 3,110 SF
 TOTAL IMPERVIOUS = 5,436 SF
 AMOUNT TO BE MITIGATED = 2,326 SF

NEW YORK 811
 BEFORE YOU DIG CALL 811
 OR 800-962-7962

PLOT PLAN OF PROPERTY FOR O'ROURKE

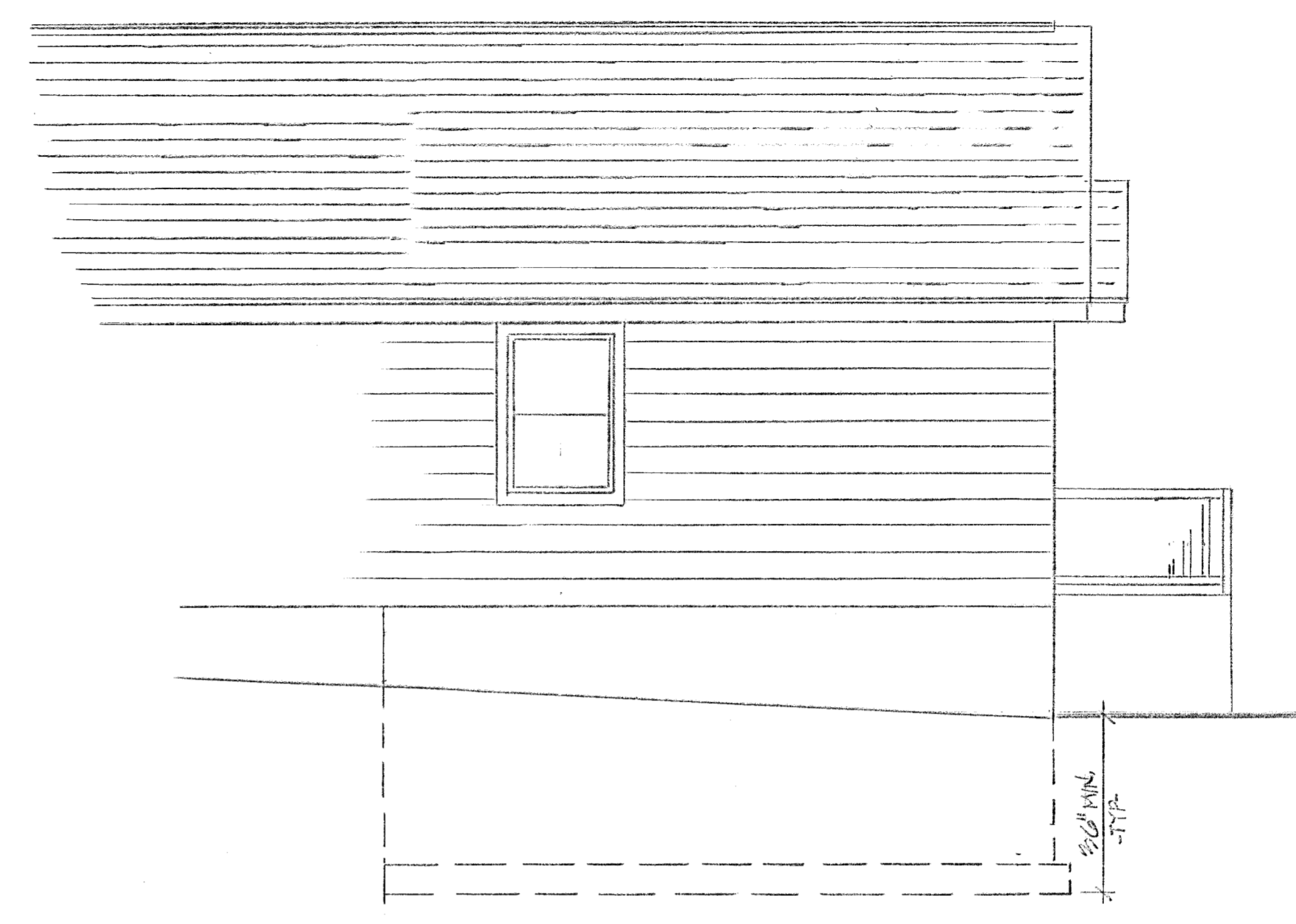
97-99 OLD WESTERN HIGHWAY
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, STATE OF NEW YORK

JAY A. GREENWELL, PLS, LLC
 SURVEYING - LAND PLANNING
 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901
 PH: 845-357-0830, EMAIL: GREENWELLPLS@AOL.COM
 © 2024 JAY A. GREENWELL PLS, LLC

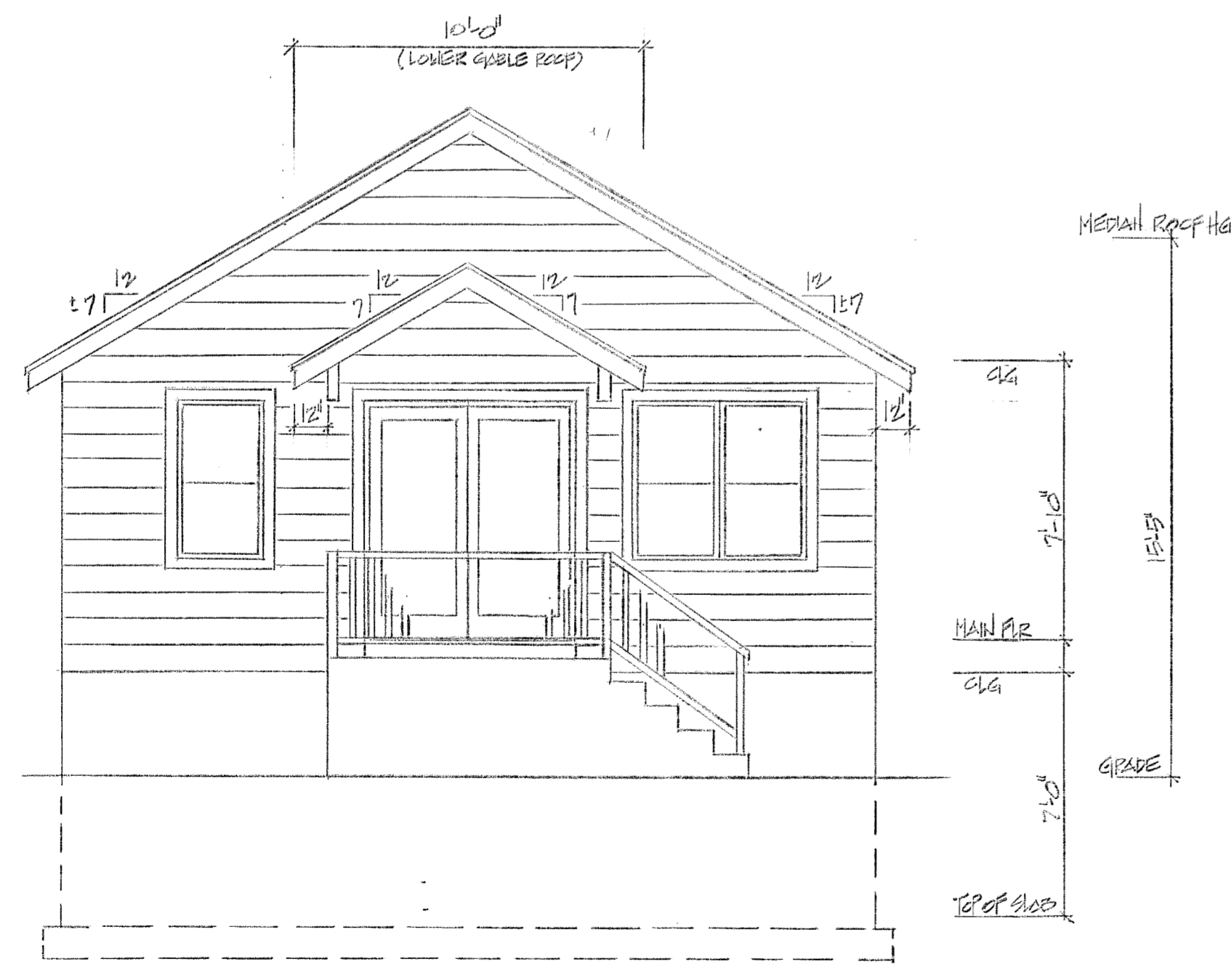
TAX LOT # 70.09-1-50
 AREA 19,572 SF
 FILE 22304 PLOT
 SCALE 1"= 20'
 DATE 4/1/24
 JOB NO. 22304

GENERAL SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ... AND THE N.Y.S. BUILDING AND ENERGY CODES.
 2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS UNLESS OTHERWISE NOTED, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SITE NOTES**
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME. UTILITY COMPANIES LINE SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.I. AT 9" MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL BROUGHT TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 10% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 3" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 6" OF 4" AND 10" CONCRETE BLOCK WALLS MAXIMUM 8" OF ABOVE SLAB TO ADJACENT GRADE.
 22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOW AWAY FROM THE BUILDING.
 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.

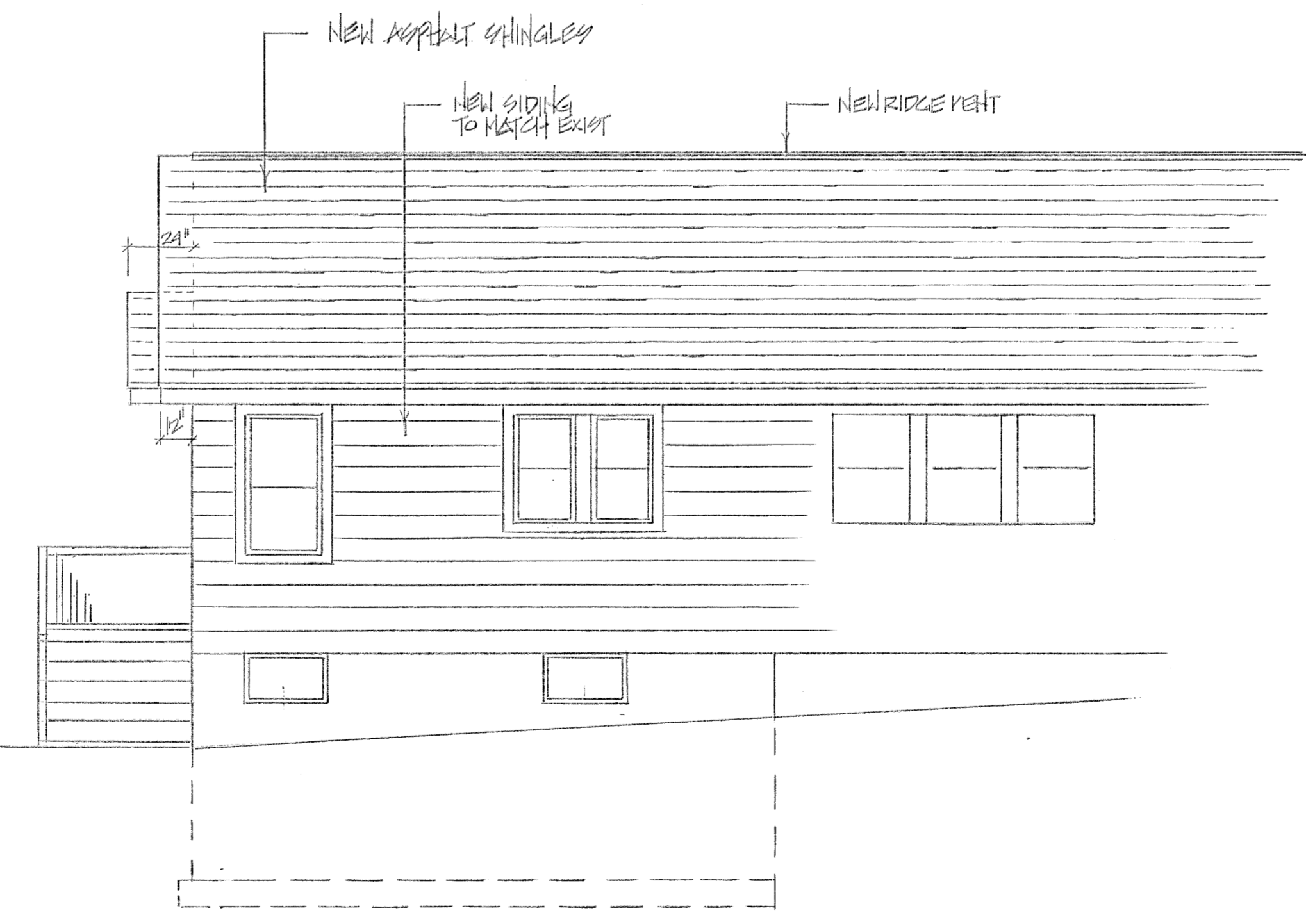


RIGHT SIDE ELEVATION



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

ENERGY CODE

TABLE R302.1.2
INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS - ROCKLAND/ORANGE CLIMATE ZONE 5

CLIMATE ZONE	CEILING U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION U-FACTOR	CEILING U-FACTOR	WOOD FRAME WALL U-FACTOR	MASONRY WALL U-FACTOR	FLOOR U-FACTOR	BASEMENTS U-FACTOR	SLAB U-FACTOR	GRAVEL SPACE U-FACTOR
4 except Marine	0.25	0.05	0.40	0.09	0.09	0.09	0.09	0.09	0.09	0.09
5 and Marine 4	0.32	0.05	0.40	0.09	0.09	0.09	0.09	0.09	0.09	0.09

Table R301.2 (1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	SUBJECT TO DAMAGE FROM			Ice Shield Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termites		
30psf	115	B	5	36"	Mod/Heav	Yes	Yes

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE - NY EDITION, 2020
 NATIONAL ELECTRIC CODE, 2020
 NATIONAL STANDARD PLUMBING CODE, 2020
 INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
 INTERNATIONAL MECHANICAL CODE, 2020
 INTERNATIONAL FUEL GAS CODE, 2020
 2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

O'ROURKE RESIDENCE
ONE-STORY ADDITION
99 OLD WESTERN HWY.
BLAUVELT, NEW YORK

HARRY J. GOLDSTEIN
 ARCHITECT

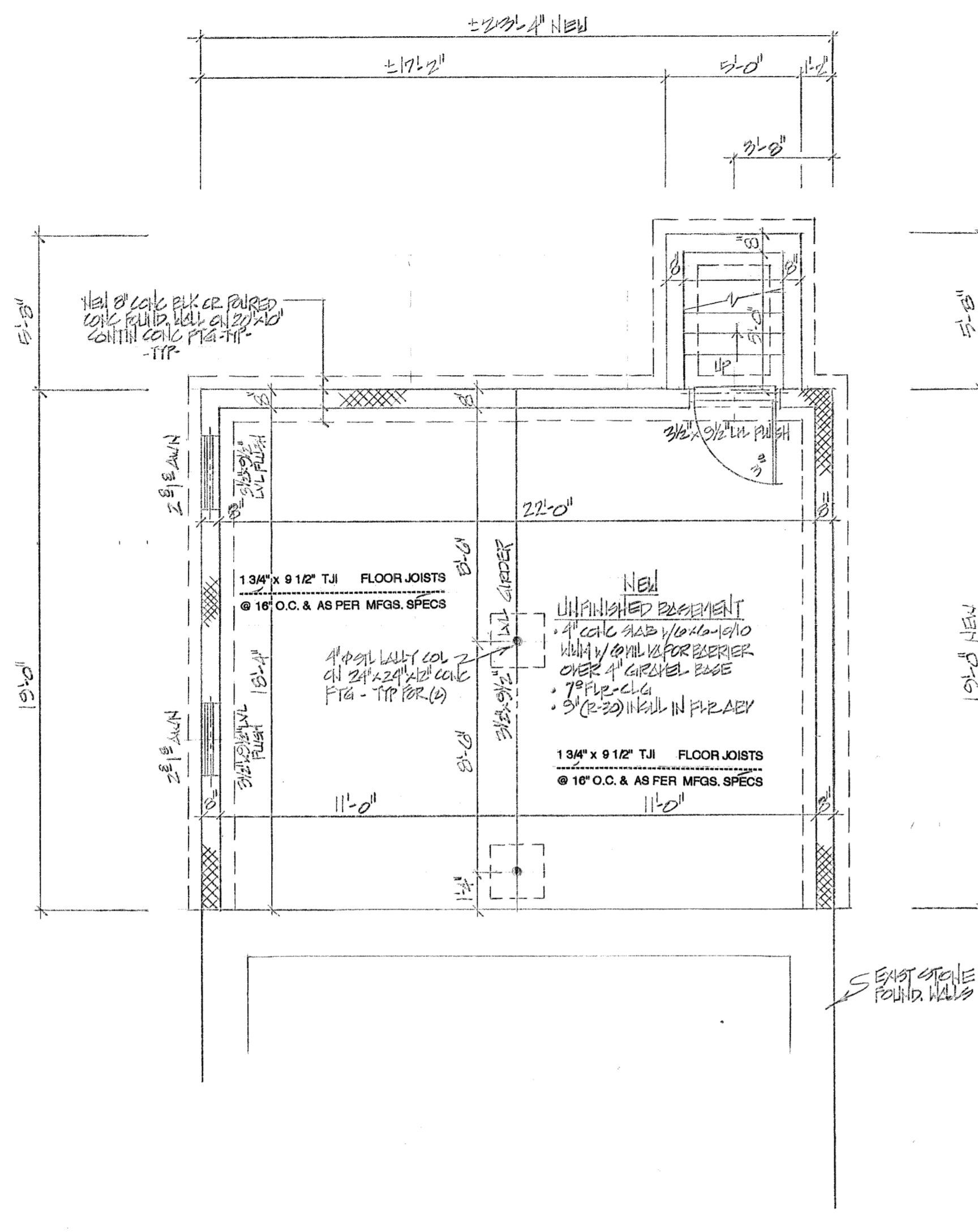
4 REGINA ROAD
 MONSIEUR NEW YORK 10952
 (845) 356-7942 (914) 393-5787

PROJECT 231265
 MARCH 7, 2024

1 OF 2

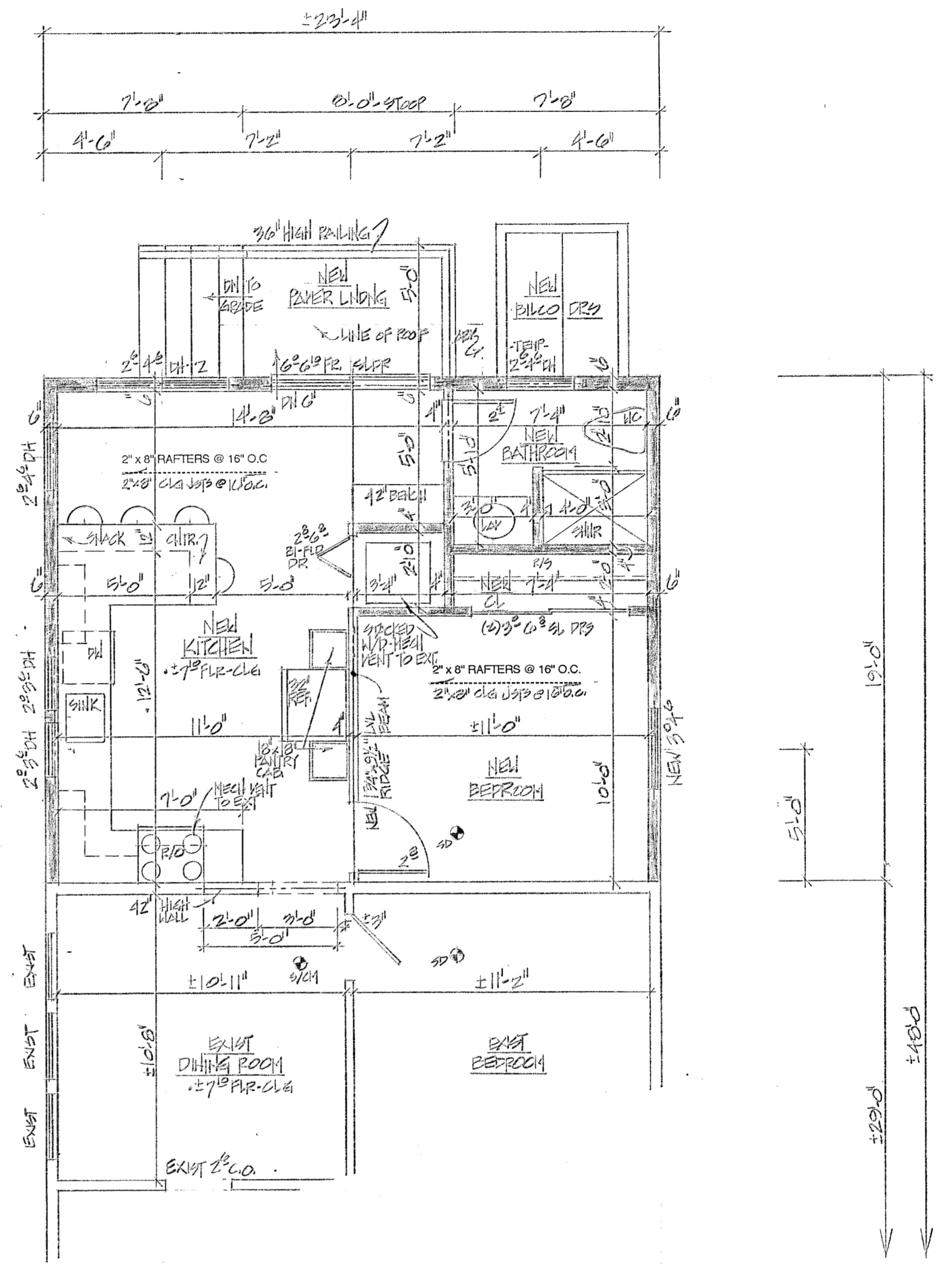
GENERAL SPECS. CONTINUED

- FRAMING**
32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIALS, FREE FROM ROT, WOUNDS AND LOGS, KNOTS, SHAKES, AND OTHER IMPURITIES WHICH WOULD WEAKEN THE STRUCTURE. THE STRENGTH AND SIZE OF DIMENSIONS INDICATED ON DRAWINGS, STUDS, JOISTS, PARTS, LATHES AND RAFTERS SHALL BE NEW FIR, 100% MAXIMUM GRADE, EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MAX. UNIT STRESS FOR NEW FIR SHALL BE:
- FIBER STRESS (F) = 1600 PSI
 - HORIZONTAL SHEAR (FV) = 90 PSI
 - MODULUS OF ELASTICITY (E) = 1,400,000 PSI
- WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FB-100 ONLY DOUGLAS FIR LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MAX. UNIT STRESS:
- FIBER STRESS (F) = 1600 PSI
 - HORIZONTAL SHEAR (FV) = 90 PSI
 - MODULUS OF ELASTICITY (E) = 1,800,000 PSI
- CALCULATED DESIGN LOADS (ADD 10 PSI DEAD LOAD ALL SPANS):
- ROOF 20 PSI LIVE LOAD (S)
 - FLOORS 40 PSI LIVE LOAD (S)
 - ATTIC 20 PSI LIVE LOAD (S)
 - DECKS 60 PSI LIVE LOAD (S)
33. ALL SHELL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). ALL SEAL SHALL BE OWENS CORNING SHELL SEALER (OR APPROVED EQUAL). TERMITES SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITHIN ALL INTERIOR BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR OPENINGS AND ALL WALLS (AND TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS). FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7'-0" O.C. MAXIMUM SPACING.
35. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLED AND NAILED OVER PREPARATED FLOOR FRAMES OR TWO LAYERS OF 1/2" WOOD LAM PERPENDICULAR TO EACH OTHER, WITH BUILDING PAPER BETWEEN LAYERS. GLED AND NAILED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4'-0". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.
36. EXTERIOR WALLS SHALL BE 2" X 4" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOOMING AT MID-HEIGHT AS REQUIRED. STUDS AT CORNERS AND UNDER CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND RECEIVE SOLID BLOOMING AT 8' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOOMING AT MID-HEIGHT.
37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6'-0" SHALL BE 12" X 10" (UNLESS OTHERWISE NOTED). HEADER OPENINGS 6'-0" TO 8'-0" SHALL RECEIVE 12" X 12" OR 2" X 4" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMAL STRESS: F 1000 PSI AND E 1,200,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GALVANIZED HEAVY DUTY POST BASES SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DECK GIRDERS SHALL RECEIVE DIAGONAL CROSS BRACING OR DIAGONAL BRACING, DECKING AND RAILS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENING, AS PER CODES.
39. ROOFING MATERIAL SHALL BE MINIMUM 20 YEAR FIREGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 15LB ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.
40. FACIA BOARDS SHALL BE SCAMPED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FACIA BOARDS SHALL BE COMMON PINE SHAPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
41. ALUMINUM OUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DISPERSION ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE 30 AS NOT OTHERWISE NOTED.
- DOORS AND WINDOWS**
42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLER, COOLING, ETC. SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 6'-10", UNLESS OTHERWISE NOTED.
43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLES ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PERSONNEL GARAGE DOORS.
- PLUMBING**
44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KONSER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES AND COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY (OR EQUAL).
- ELECTRICAL**
45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.Y.S.P.U. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DUPLEX RECEPTA CIRCLES, ETC. SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.
- HEATING / VENTILATING / AIR CONDITIONING**
46. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CODES INSTRUCTION CODE AS THEY APPLY.
- THERMAL AND MOISTURE PROTECTION**
47. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BACKFACE OF WALLS BELOW EARTH GRADE.
48. PROVIDE 15LB BUILDING FELT, TYVEK, TYPAR, OR EQUAL, BEHIND ALL SIDING, WINDOW AND DOOR CASINGS, NAIL TRIMS, ETC.
49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.
50. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE FOIL OR KRAFT FACED FIBERGLASS BATT INSULATION. RIDGE VENTS SHALL BE INSTALLED IN CATHEDRAL CEILING AS REQUIRED.
- INTERIOR**
51. ALL GYPSON BOARD SHALL BE SHEWED ON KEELINGS AND/OR NAILED TO WALLS. TWO COATS OF SPACKLE, FINISHED TO RECEIVE TWO COATS OF PAINT, AND ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND THE ANSAS, AND WATERPROOFING OR APPROVED EQUAL, BEHIND TIL IN BATH AND SHOWER AREAS.
52. FLOORING, TRIM, CLOSET SHELVING, CABINETS, APPLIANCES, FIXTURES, HARDWARE ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
53. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE TO BE INSTALLED IN A "5/8" BASE.
54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "5/8" BASE.
55. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, GYS SEAL OR EQUAL.
56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 9" TREAD, AND A MAXIMUM RISE OF 8". MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED. ALL SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL BALUNGS TO BE 30" HIGH (MINIMUM). STYLE AND MATERIAL TO BE SELECTED BY OWNER AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. 30" SPHERE MAXIMUM OPENING. ALL EXPOSED WOOD TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS POLYURETHANE.



BASEMENT/FOUNDATION PLAN

NOTE: ALL HEADERS ARE TO BE (2) 2" X 10" UNLESS OTHERWISE INDICATED



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXIST. S.F. :918; NEW S.F. :202
TOTAL MAIN FLR. S.F. :1120

**O'ROURKE RESIDENCE
ONE-STORY ADDITION**

**99 OLD WESTERN HWY.
BLAUVELT, NEW YORK**



**HARRY J. GOLDSTEIN
ARCHITECT**
DESIGN & DEVELOPMENT

48EGNA ROAD
MONSIEY, NEW YORK 10952
(845) 356-7942 (914) 393-5787

PROJECT 231265
MARCH 7, 2024

2
O
F
2

GENERAL SPECIFICATIONS

- GENERAL NOTES**
- ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF CLAUVELT, NY, AND THE N.Y.S. BUILDING AND ENERGY CODES.
 - THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDES ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 - CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL OBTAIN LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ALL APPLICABLE CODES AND REGULATIONS.
 - ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS NECESSARY ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 - ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 - ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 - ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 - ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 - NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR CONTRACTING AGENCY.
 - ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 - PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.

- SITE NOTES**
- CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 - ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 - EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
 - ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3000 P.S.F. AT 2' OF MINIMUM BELOW THE FINISHED GRADE.
 - EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL BROUGHT TO A TRUE PLANE & COMPACTED TO SOIL BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
 - DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 - BACKFILL AGAINST 8" FOURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF 10" CONCRETE BLOCK WALLS MAXIMUM 6" ABOVE SLAB TO ADJACENT GRADE.
 - TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL, RAKED FREE FROM DEBRIS, STICKS, STONES OVER 6" IN SIZE AND OBJECTIONABLE MATERIAL.
 - GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEY OR SEWER DEPT. RECORDS.
 - FOOTING DRAINING TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 - FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER DRAINS AWAY FROM THE BUILDING.
 - INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 - INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 - FINISHED GRADE HEIGHT SHALL BE MINIMUM 6" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.

ENERGY CODE

TABLE R402.1.2 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS - ROCKLAND/ORANGE CLIMATE ZONES

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION U-FACTOR	CEILING		WALL		FLOOR		BASEMENTS		SLAB, R-VALUE & DEPTH	GRAVEL SPACE R-VALUE
			R-VALUE	NOOD R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE				
1, except Marine 4	0.35	0.55	0.40	49	20 or 13 @ 2" b.	8/13	19	10/13	10.2 ft.	10/13		
5 and Marine 4	0.32	0.52	NR	49	20 or 13 @ 2" b.	13/17	30 q	15/19	10.2 ft.	10/19		

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	SUBJECT TO DAMAGE FROM			Ice Shield Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termite		
30psf	115	B	5	36"	Mod/Heav	Yes	Yes

**NEW RESIDENCE FOR
CHRIS O'ROURKE**

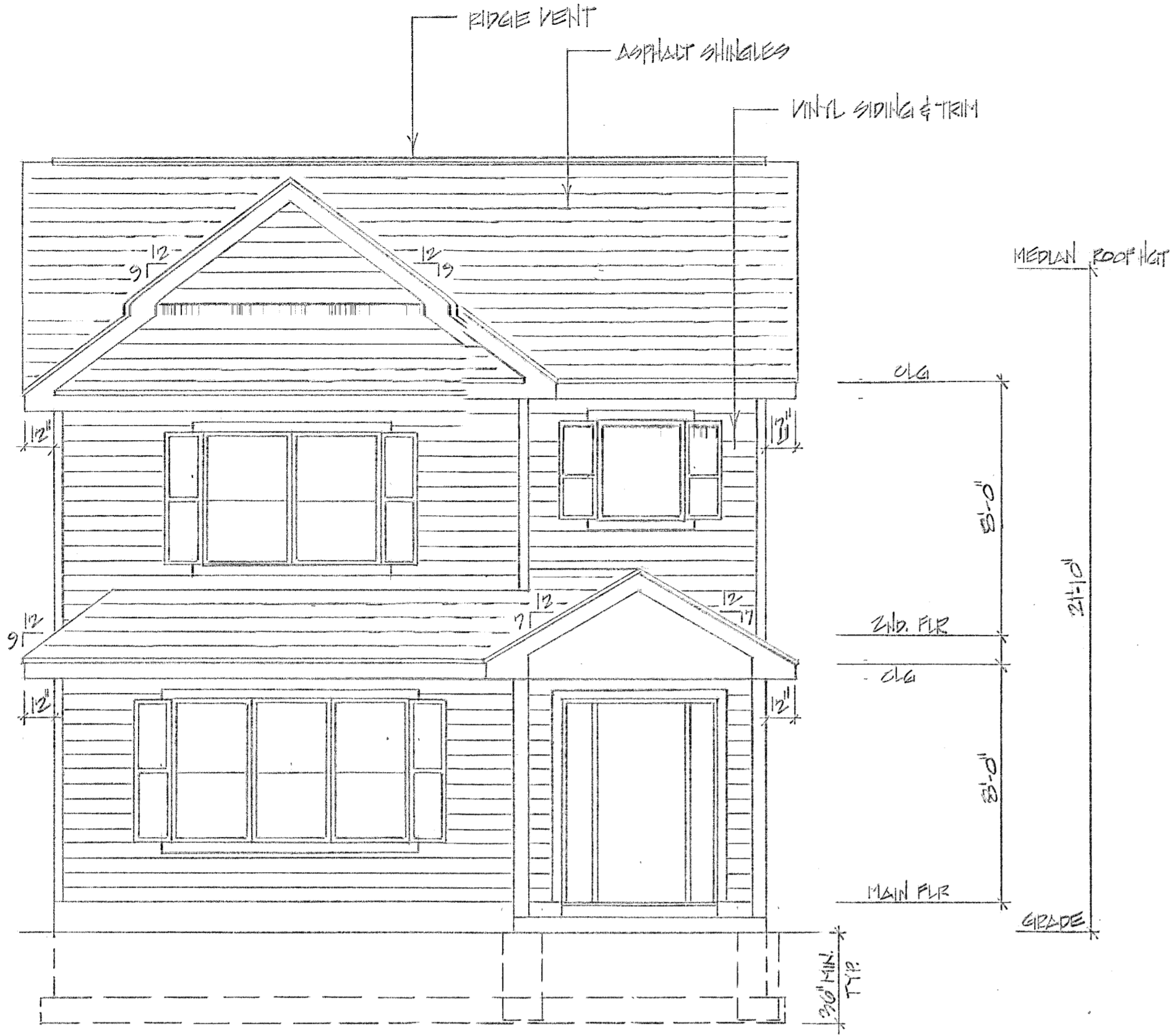
**97 OLD WESTERN HWY.
BLAUVELT, NEW YORK**

HARRY J. GOLDSTEIN ARCHITECT

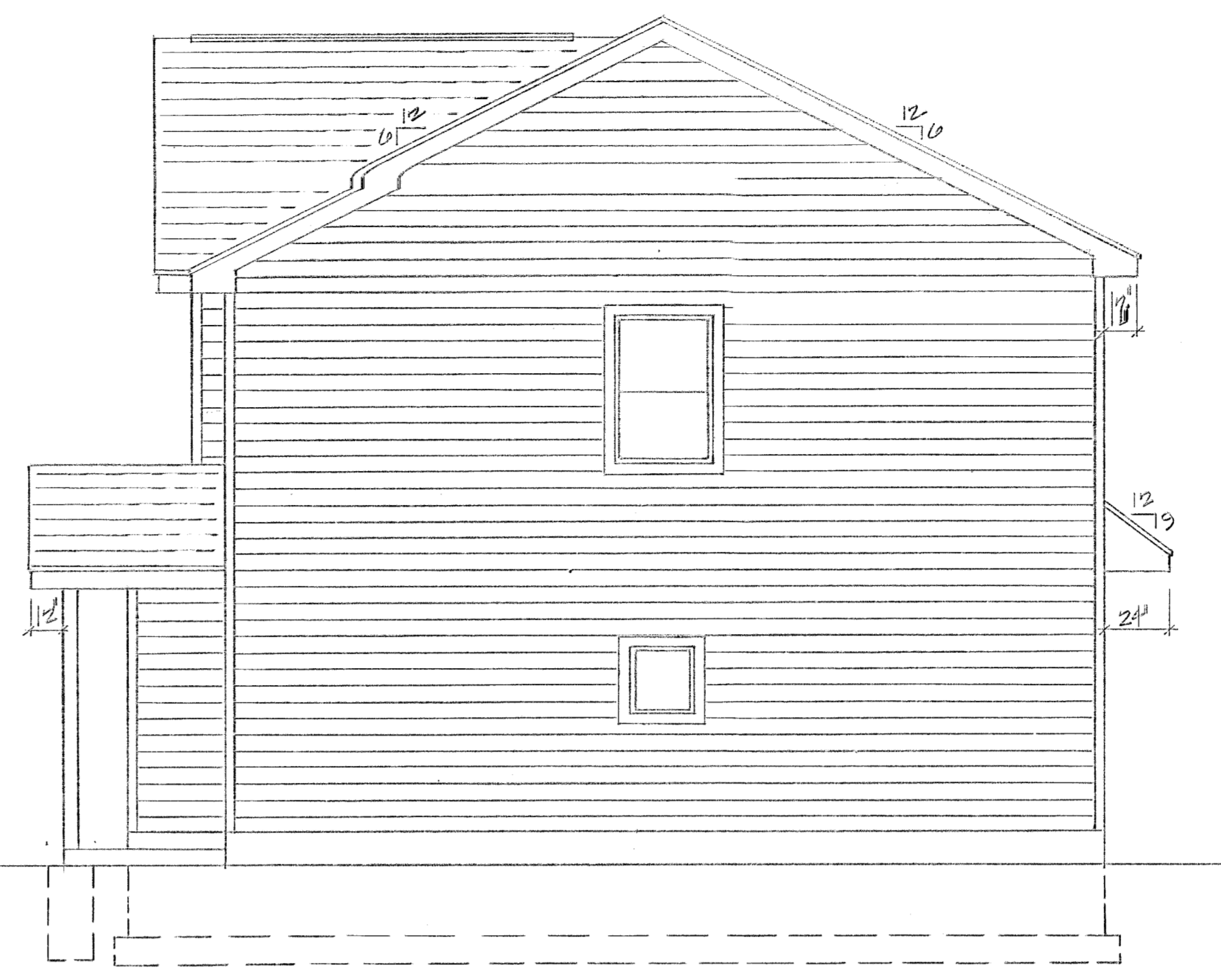
4 REGINA ROAD
MONSEY, NEW YORK 10952
(845) 256-7942 (914) 393-5787

PROJECT 231066
DECEMBER 11, 2023

1
O
F
2



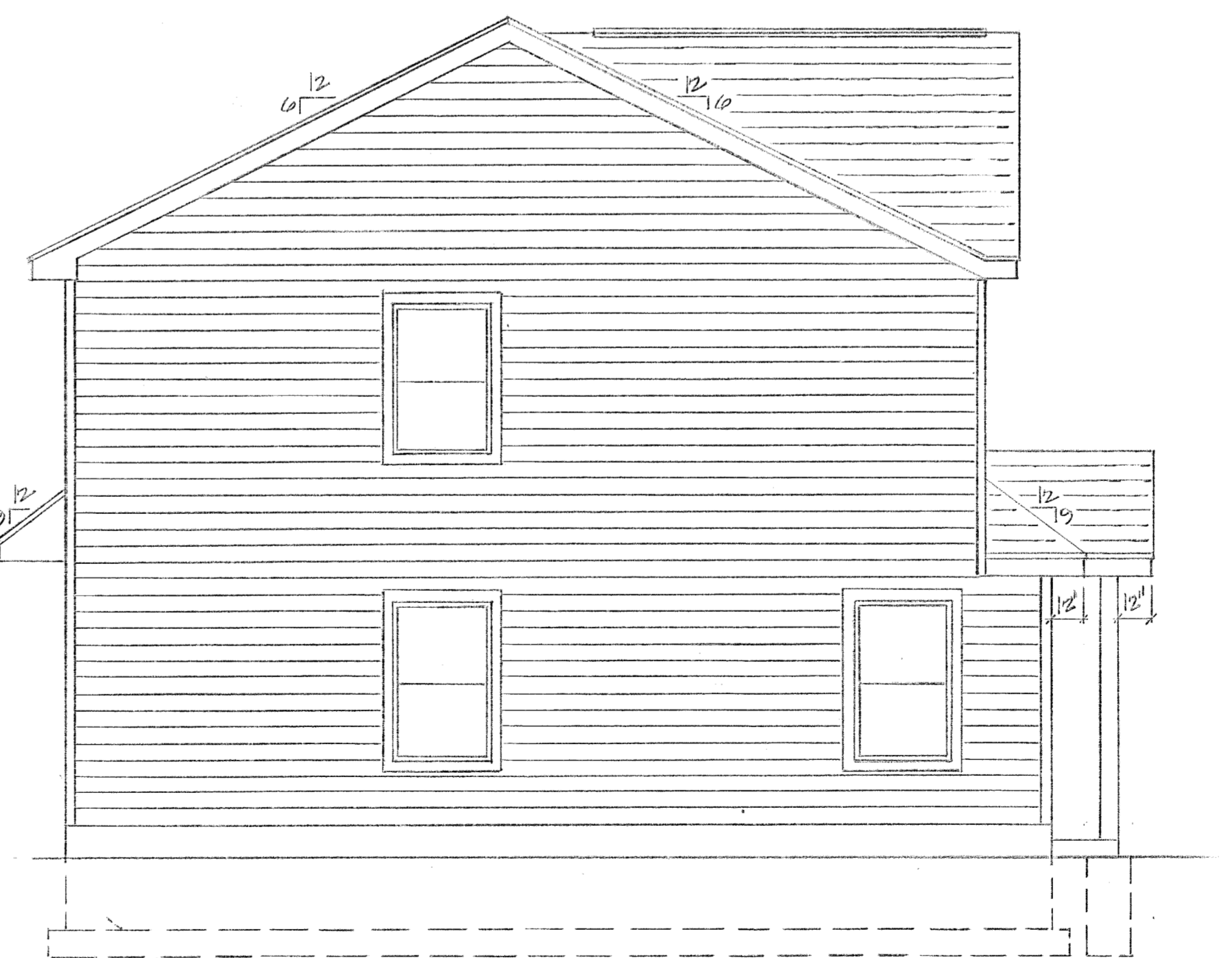
FRONT ELEVATION SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION



REAR ELEVATION



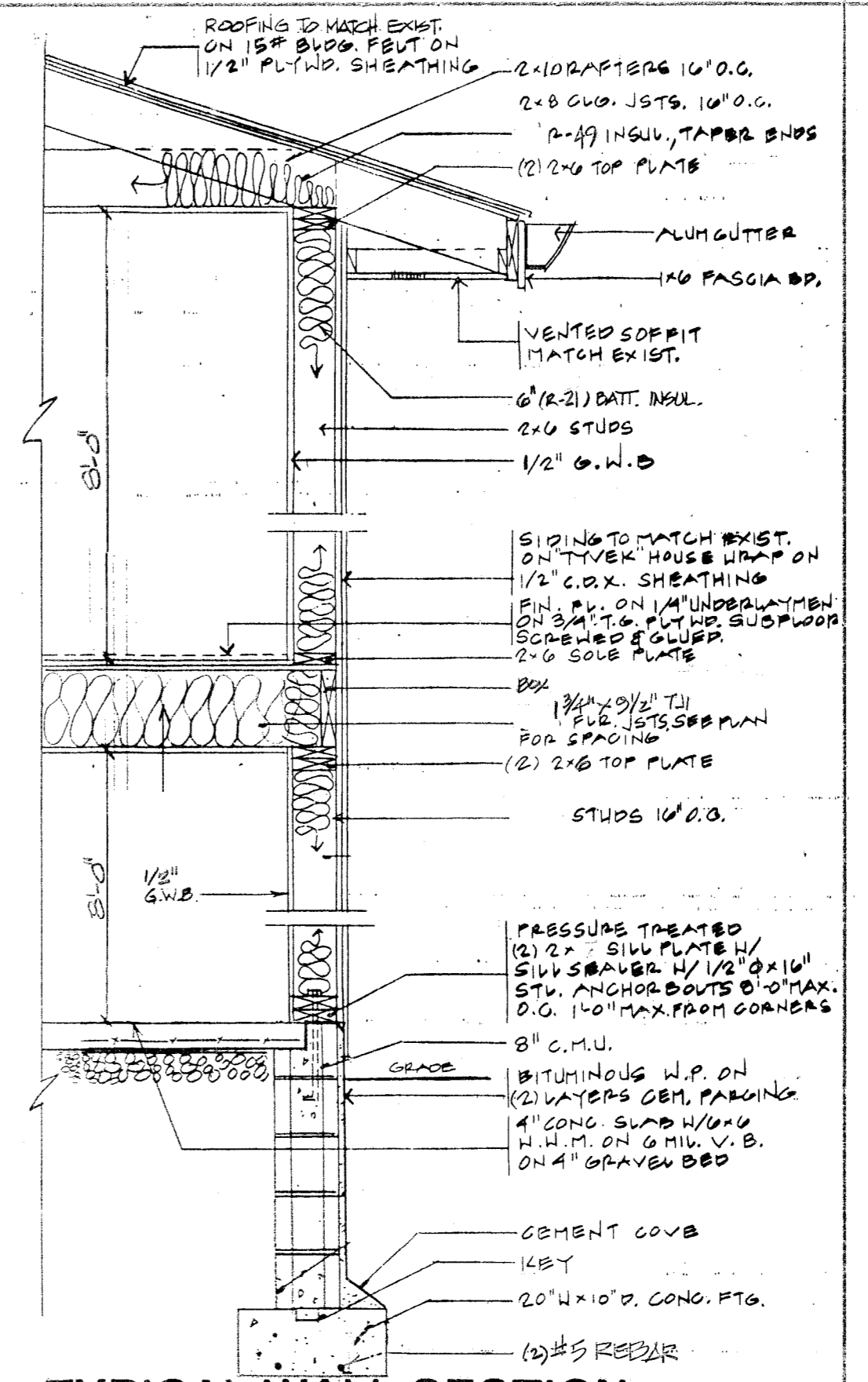
LEFT SIDE ELEVATION

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE- NY EDITION, 2020
 NATIONAL ELECTRIC CODE, 2020
 NATIONAL STANDARD PLUMBING CODE, 2020
 INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
 INTERNATIONAL MECHANICAL CODE, 2020
 INTERNATIONAL FUEL GAS CODE, 2020
 2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

GENERAL SPECS. CONTINUED



TYPICAL WALL SECTION NO SCALE

- FRAMING**
32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPURIFICATIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, JOISTS AND RAFTERS SHALL BE THE BEST SIZES MAIMUM GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MIN. UNIT STRESS FOR HEM-FIR SHALL BE:
- | | |
|------------------------------------|---------------|
| TENSILE STRESS (F _T) | 1500 PSI |
| HORIZONTAL SHEAR (F _V) | 95 PSI |
| MODULUS OF ELASTICITY (E) | 1,400,000 PSI |
- WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FU-100 ONLY DOUGLAS FIR, LARCH-NORTH (FIR MAX. WIDTH) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MIN. UNIT STRESSES:
- | | |
|------------------------------------|---------------|
| TENSILE STRESS (F _T) | 1500 PSI |
| HORIZONTAL SHEAR (F _V) | 95 PSI |
| MODULUS OF ELASTICITY (E) | 1,400,000 PSI |
33. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED. SILL BEAL SHALL BE OWNERS CORNING SILL SHIELD OR APPROVED EQUAL. TERMINATE SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITH ALL BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS. ROOF AND FLOOR TRUSSES (TJ) AND L.V.L. (MCRD-LAM) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7'-0\"/>

35. INTERIOR SUBFLOOR SHALL BE 3/4\"/>

36. EXTERIOR WALLS SHALL BE 2\"/>

37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6\"/>

38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED. LUMBER SHALL HAVE THE FOLLOWING MINIMAL STRESSES: 1500 PSI AND 1,500,000 PSI AND 3/4\"/>

39. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWNERS CORNING OR APPROVED EQUAL) OVER 1/2\"/>

40. FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM UNLESS OTHERWISE NOTED.

41. ALUMINUM CUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DRAINAGE ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE 30\"/>

DOORS AND WINDOWS

42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 1\"/>

43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURERS OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. DOORS SHALL BE 6\"/>

PLUMBING

44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KROHNER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES AND COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY:

45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.Y.S.P.U. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DUPLEX RECEPTACLES, ETC. SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.

HEATING / VENTILATING / AIR CONDITIONING

46. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.

THERMAL AND MOISTURE PROTECTION

47. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BACKFILL FACES OF WALLS BELOW EARTH GRADE.

48. PROVIDE 15-LB BUILDING FELT, TYVEK, TYPAR, OR EQUAL, BEHIND ALL SIDING, WINDOW, AND DOOR CASINGS, NAIL TRIMS, ETC.

49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.

50. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE FIBERGLASS BATT INSULATION. RIDGE VENTS SHALL BE INSTALLED IN CATHEDRAL CEILINGS AS REQUIRED.

INTERIOR

51. ALL OVERLAP BOARD SHALL BE SCREWED ON CEILINGS AND/OR NAILED TO WALLS. TO RECEIVE THREE COATS OF PRIMER/PATCH TO RECEIVE TWO COATS OF PRIMER AND ONE COAT OF PRIMER/COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND TILE AREAS, AND WOODGRANO OR APPROVED EQUAL BEHIND TILE IN BATH AND SHOWER AREAS.

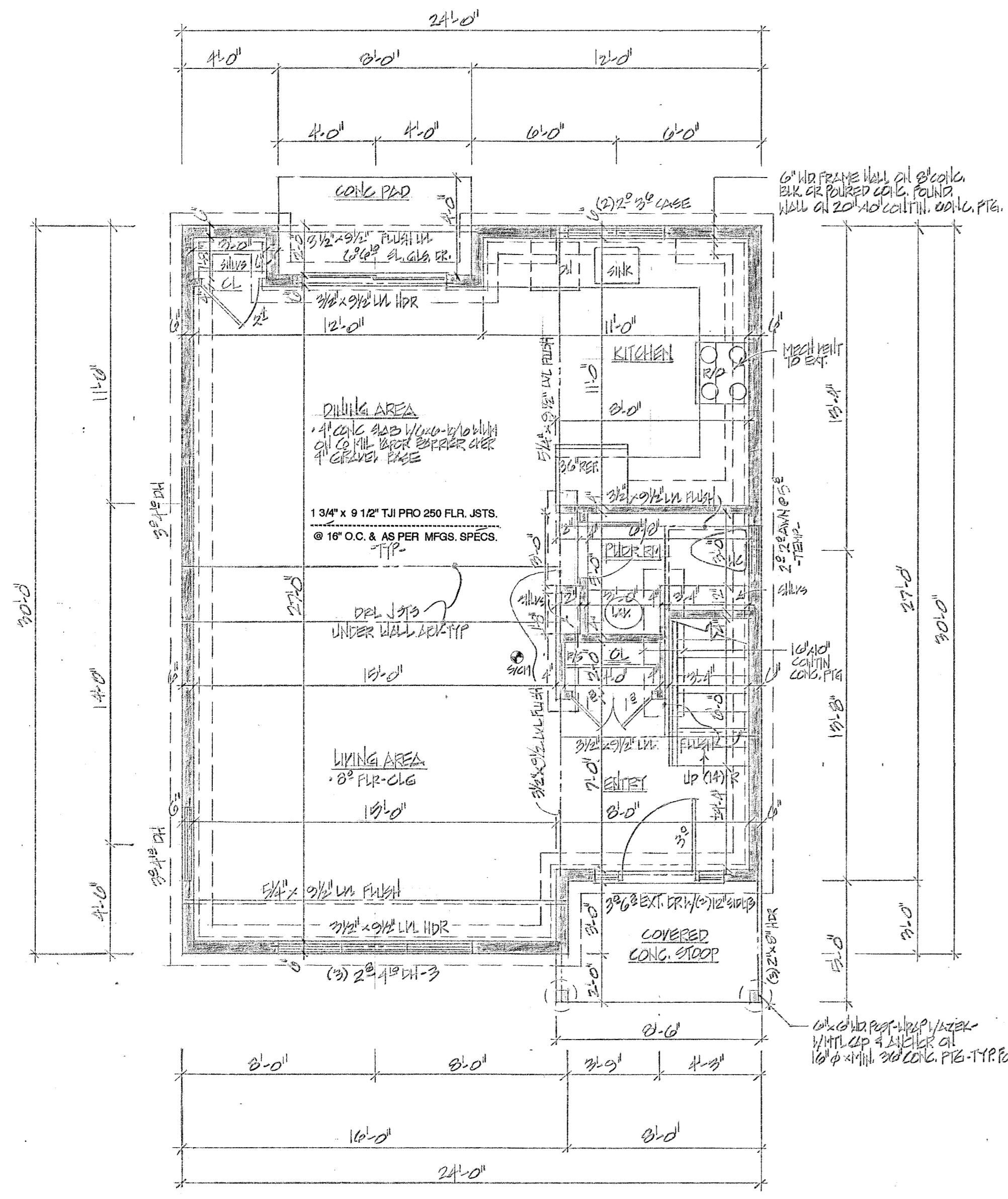
52. FLOORING, TRIM, CLOSET SHELVING, CABINETS, APPLIANCES, FIXTURES, HARDWARE, ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

53. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.

54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED ON A "WET" BASE.

55. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, GYM SEAL OR EQUAL.

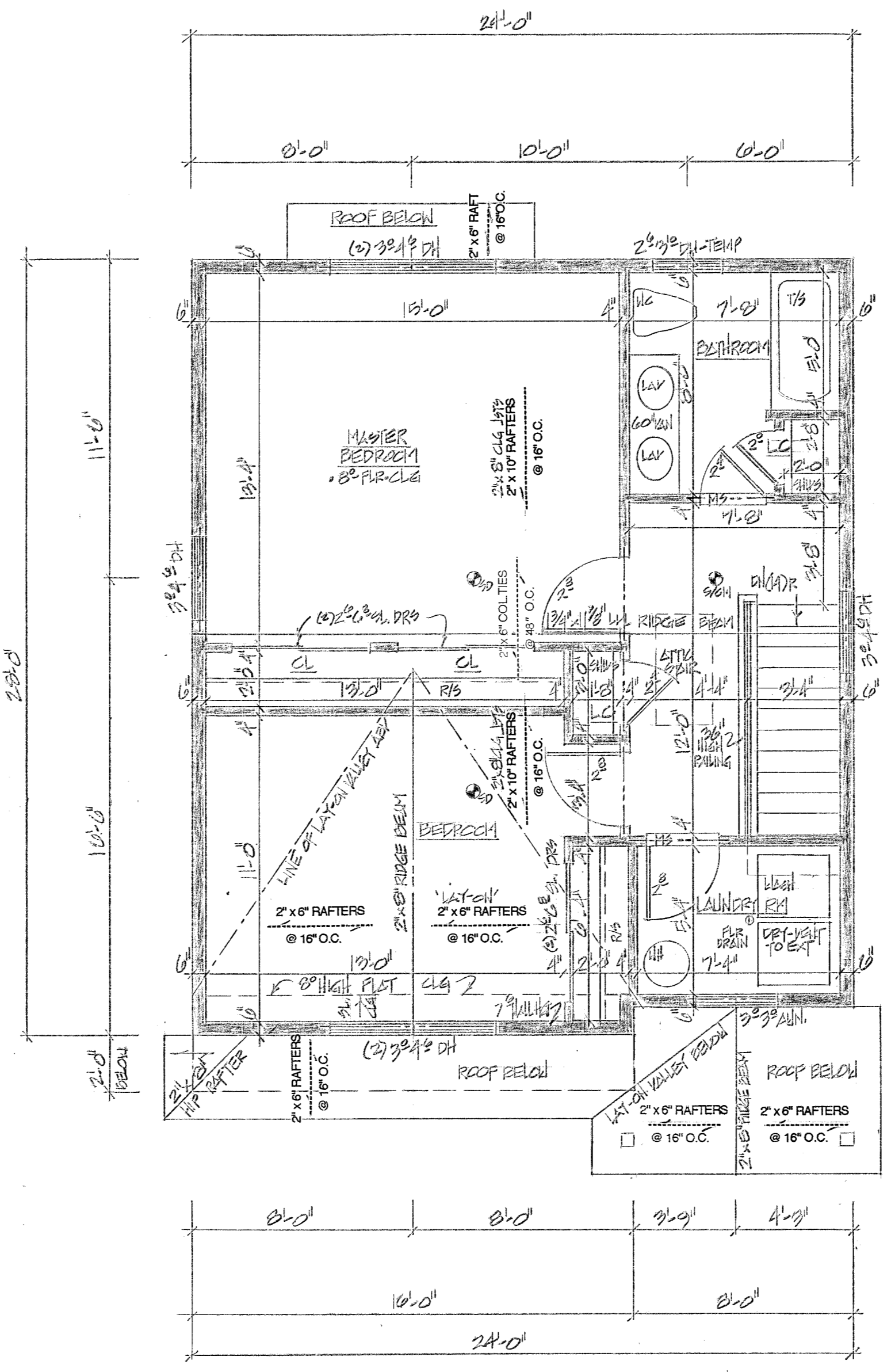
56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 9\"/>



MAIN FLOOR/FOUNDATION PLAN

MAIN FLOOR LIVING S.F.: 680
COVERED PORCHES S.F.: 57

NOTE: ALL HEADERS ARE TO BE (2) 2" x 10" UNLESS OTHERWISE INDICATED



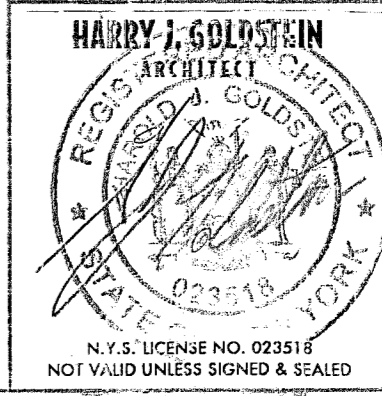
SECOND FLOOR PLAN

SECOND FLOOR LIVING S.F.: 636
TOTAL LIVING S.F.: 1316

SCALE: 1/4" = 1'-0"

**NEW RESIDENCE FOR
CHRIS O'ROURKE**

**97 OLD WESTERN HWY.
BLAUVELT, NEW YORK**



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

42 REGINA ROAD
MONSEY, NEW YORK 10952
(845) 356-7942 (914) 393-5787

PROJECT 231060
DECEMBER 11, 2023

2
O
F
2