Historical Areas Board of Review (HABR) Town of Orangetown Building Department

20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 77 Main Street, Tappan, NY 10983 Section/Block/Lot:

- 1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
- 2. Architectural Plans;
- 3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
- 4. Please bring SAMPLES of building materials to the meeting.

N. C.	COLOR	MATERIAL	model and color numbers): MANUFACTURER
Roof:	Grey	Asphalt	GAF
Siding:	White	Wood - cedar or pine	Depends on Availability
Decorative Siding:	N/A	N/A	N/A
Soffits & Fascia:	White	Wood and Composite	Azek
Gutters & Leaders:	White	Aluminum	ALCOA
Windows:	White	Wood/Aluminum	Marvin
Trim:	White	Composite	Azek
Shutters:	Blue or Grey	Composite	Azek
Front Door:	White	Wood/Glass	Custom
Back Door:	White	Wood/Glass	Rogue Valley
Garage Door(s):	N/A	N/A	N/A
Other Door(s):	N/A	N/A	N/A
Lighting:	Black	Metal	Kichler
(Recessed) Lighting:	White	Metal	Halo-Rab
Stone or Rock being used on Structure:	Grey (existing)	Natural	Reuse available on property
Stone or Rock being used on walkway(s):	Red (existing)	Cement	Cambridge
Other: Deck	White and Grey	Composite	Trex
Security Cameras	White		TBD

If any is used Name of Municipality: <u>TOWN OF ORANGETOWN</u> Date Submitted: <u>6/18/2024</u>

LAND USE BOARD APPLICATION

ard Board Sketch
ECEIVED
5385-2024 ard: YES / NO of Planning
s): ³ s):
s):
, approximately , in the
, in the
83
getown
summary.)
lic hearing.

FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivis	sion:
1)	Is any variance from the subdivision regulations required?
2)	Is any open space being offered? If so, what amount?
3)	Is this a standard or average density subdivision?
If site plar	
1)	Existing square footage
2)	Total square footage
3)	Number of dwelling units
If special	permit, list special permit use and what the property will be used for.
	ental Constraints:
Are there slo and net area	pes greater than 25%? If yes, please indicate the amount and show the gross No
	eams on the site? If yes, please provide the names.No
Are there we	tlands on the site? If yes, please provide the names and type:
Project Hi	story:
Has this proje	ect ever been reviewed before? Yes
If so, provide	a narrative, including the list case number, name, date, and the board(s) you appeared
	ne status of any previous approvals.
	nformal consultations before the Historical Areas Review Board ("Board") on February 14 2023 (HABR #23-02)
and perm the r	I July 11,2023 (HABR # 23-13). Additionally, a formal review of our application for a prior nit was heard by the Board on March 26, 2024 (HABR # 24-03). The formal hearing was to demolish and rebuild ear portion of the first floor of the existing building, additional interior demolition, and foundation work.
List tax map	section, block & lot numbers for all other abutting properties in the same ownership as
this project.	
<u> </u>	lone



OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962



Jane Slavin, R.A.

(845)359-8410

Fax: (845) 359-8526

Direct	REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW
2	Date: Feb 5, 2024 Section: 77.15 Block: 1 Lot: 3
	Address: 77 Main St. Tappan, NY RE: Application Made at: same
	Referred For: Chapter 12, Section 12-4(E) Requires HABR approval
Comm	Demolish and rebuild rear, first floor portion of existing structure
Dear _	Joe Panzella :
Jan Areas	be advised that the Building Permit Application #_p24-5385, which you submitted on 17, 2024, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Board of Review, Katlyn Bettmann. can assist you in the preparation necessary to appear before the She can be reached at 845-359-8410 ext. 4331 or kbettmann @orangetown.com
	Sincerely, Richard Oliver Deputy Building Inspector

Signature of Director NOTE: PLEASE KEEP FOR YOUR RECORDS 1-30-2023 JSA

CC:

Liz DeCort Debbie Arbolino

NEXT CHAPTER EQUITIES LLC

Andrew L. Rosenberg Member and Manager

Joseph Panzella Member and Manager

June 18, 2024

To: Orangetown Historical Areas Board of Review 20 Greenbush Road
Orangeburg, New York 10962

JUN 1 4 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. ("<u>Property</u>") in December, 2022 and have appeared before the Historical Areas Board of Review ("<u>Board</u>") on three (3) prior occasions - two informal consultations in February, 2023 and July, 2023, as well as a formal permit application review in March of this year in connection with the initial phase of our reconstruction and rehabilitation of the building ("<u>Phase I</u>"). For your reference, I am attaching copies of the submissions that we made in connection with each of our prior meetings before the Board.

We expect Phase I to be completed by the end of this month and are looking forward to the next phase of this project. We are now appearing before the Board as a result of our filing of a permit application for the full rehabilitation, reconstruction and renovation of the building. As we have stressed in each of our prior appearances before the Board, we have approached, and will continue to approach, each phase of this renovation with the overriding goal of keeping the existing historic look and feel of the property while using materials that offer longevity and energy efficiency and have a period appropriate appearance.

Although not directly relevant to the permit application being reviewed by the Board but indicative of our desire and efforts to preserve the history of the property, we thought that the Board would be interested to know that, during the excavation at the property, we discovered a number of artifacts (e.g., pots, bottles, plates, etc.) in various states of repair. Upon finding the first such item, we subsequently went through the excavated material manually to check for additional items before disposing of the material. We hope to donate some of these items to the Tappantown Historical Society once the renovation/rehabilitation is completed.

{02221496;1}

NEXT CHAPTER EQUITIES LLC

Orangetown Historical Areas Board of Review June 18, 2024 Page **2** of **2**



We truly appreciate the continued courtesy and cooperation of the Board in connection with this restoration and rehabilitation.

Very truly yours,

NEXT CHAPTER EQUITIES LLC, a New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg

Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella Member and Manager

{02221496;1}

Town of Orangetown MEETING OF:

SEP 100 2024

HISTORICAL AREAS BOARD OF REVIEW

	EXISTING	PROPOSED
BUILDING	1647 S.F.	1644 S.F.
ACCESSORY BUILDING	575 S.F.	575 S.F.
COVERED PORCH	204 S.F.	204 S.F.
WOOD LANDING & STAIR	30 S.F.	0 S.F.
DRIVEWAY	522 S.F.	522 S.F.
FRONT STEPS / WALKWAY	44 S.F.	44 S.F.
RAMP/STAIR/WALKWAY	0 S.F.	312 S.F.
IMPERMOUS COVERAGE	3022 S.F.	3301 S.F.

RECEIVED

JUN 1 4 2024

TOWN OF ORANGETOWN LAND USE BOARDS

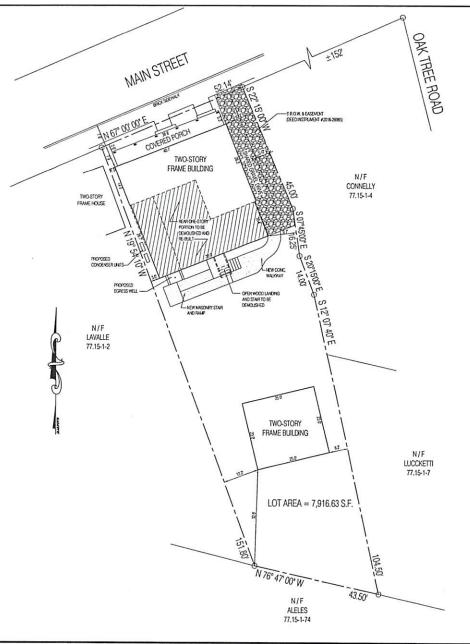
F.A.R. BREAKDOWN:

	EXISTING	PROPOSEI
BASEMENT:	OS.F.	829 S.F.
FIRST FLOOR:	1647 S.F.	1644 S.F.
SECOND FLOOR:	814 S.F.	814 S.F.
TOTAL FLOOR AREA:	2461 S.F.	3287 S.F.

С	ORANGETO' 5 (COMMUNITY	WN BULK TABI SHOPPING) D		
	REQUIRED	EXISTING	PROPOSED	VARIANCE
MAX, FLOOR AREA RATIO	1.0	2461 / 7916 S.F = .32	3287 / 7916 S.F = .42	NO
MINIMUM LOT AREA	2,500 S.F.	7,916 S.F.	7,916 S.F.	NO
MINIMUM LOT WIDTH	25	52.3	52.3	NO
MINIMUM STREET FRONTAGE	25'	52.14'	52.14"	NO
FRONT YARD SETBACK	NONE	2.6	2.6	ИО
SIDE YARD SETBACK	0/12	1.9	1.9	NO (EXISTING)
TOTAL SIDE SETBACK	07/25	11.6	11.6	NO (EXISTING)
REAR YARD SETBACK	25'	32.8	32.8"	NO
BUILDING HEIGHT	16" PER FT, SETBACK = 21.06	16.7" / 21.9 FT, TO AVG. ROOF	16.7°/21.9 FT, TO AVG, ROOF	NO (EXISTING)
IMPERMOUS COVERAGE	75%	38.18%	41.7%	NO
PARKING	1 SPACE / 200 S.F. AREA (OFFICES AND RETAIL)	2 SPACES (13 REQUIRED)	2 SPACES (13 REQUIRED)	NO (EXISTING
PARKING LOT ACCESS WIDTH	20	10.2	10.2	NO (EXISTING)
PARKING LOT AISLE WIDTH	N/A	N/A	N/A	N/A

SECTION 77.15, BLOCK 1, LOT 3

SITE PLAN BASED ON A SURVEY PREPARED BY W.E. JAMES LAND SURVEYOR OF WALKILL, NY DATED SEPT. 22, 2022



Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC

350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

ANCHITECT

KEVIN BRODIE ARCHITECT 21B SPRING STREET MONROE, NY 10950 TEL: 845-928-2504 EMAIL: KBROD7@OPTON

RESIDENTIAL AND COMMERCIAL DESIGN NEW CONSTRUCTION - ADDITIONS - RENGYATIONS

Date Issuer
7/11/23 HSTO

11/10/23 CONCEPT PLANS
11/10/23 CONCEPT PLANS #2
11/20/23 CONCEPT PLANS #2
11/20/24 CONCEPT PLANS
1

Registration and Signature
Kevin Brodic

Drawing Description:
SITE PLAN
Project Number 2024

Scale

△ SP1.00

BULK TABLE

SITE PLAN

General Notes:

- 1. EXAME AND RECOVE FAMILIAR WITH ALL CONTRACT DOCLMENTS IN THER EXCIPETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH EXISTING CONDITIONS AND SCOPE OF WORK ALL COSTS SUBMITTED SHALL BE BASED ON THOPOLIGH CHONLEDGE OF ALL WORK AND NATERIALS REQUIRED. ANY DISCREPANCY ANCYCR CHICERTASTICAS TO MOUT MATERIAL CH PODUCT IS TO BE USED SHOULD BE VEHICLD WITH THE DWARF OR ARCHITECT.
- 2. ALL CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE. ANY MON-COMPONING COCCUMENTS DISCOMERCED BY CONTRACTOR OR HIS MOENTS SHALL BE PROLIGHT TO THE ATTENDON OF THE ARCHITECT.
- 3. THESE DRAWNESS DO NOT CONTAIN COMPLETE SPECIFICATIONS. DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR
 FINESHES OF THE PROJECT. ACCUTOWAL INFORMATION SHILL BE ORTANED FROM DIE OWNER
- 4. ALL STE WORK AND LANGSCAPING IS TO ESTABLISHED AND DESCRIPTION OF COMERS AND ESS SHOWN ON THESE DESIGNACES DESIGNED BY DIVERS, UNESS SHOWN ON HESE DAWN MEL MEDGANCAL WORK SUCH AS, BUT NOT LIMITED TO, ELECTRICAL PULMENIA, HEATING, AN CONCITIONING, VERTILATION, ETC., AFE TO BE DESIGNED BY OTHERS.
- 5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNOLES, SEQUENCES ADDROCKURS BOLDED FOR SUF DED CON AND COMPLETION OF WORK, AND FOR INTRAFING, MANTANING, AND SUPERISSING ALL SHEETY PRECAUTIONS AND PROGRAMS IN COMMECTION WITH THE WORK
- B. ANY ERRORS, OMESSIONS OR INCOMESSTENCIES ON THESE PARAMETER PER SECURIOR OF ALERCATES PETAFFILITIES DRAWINGS AND ACTUM STEE AND CONSTRUCTION CONDITION AND OR REQUIREMENTS SHALL BE BYOLD HETO THE ATTENTION OF THE OWNER IN WIRTING AND RESOLVED AND DOCUMENTED IN AFTENG PEFORE CONTINUES WITH THE WORK IN CLESTION.
- 7. AL STLO WILLS COMPASIONS AFE NOWARK LUNCESS NOTED
- 8. CONTRACTOR MUST VERFY ALL DIMENSIONS, DO NOT SCRE DRAWINGS MODEY ARCHITECT OF ANY DISCREPANCES PRIOR TO CONSTRUCTION
- 9, CONTRACTOR SHILL COORDINATE HIS WORK WITH ALL OTHER
- 10, REJOYE RUEBSH FROM PREMISES AS OFTEN AS NECESSARY OR
- 11. ALL WORK AND EQUIPMENT SWILL BE CLEMED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO
- 12. THE CONTRACTOR SHWLL PAY ALL FEES, GIVE ALL NORCES, FLE THE CONTRACTION SHALL PROVIDE AND OSTAMAL PERMITS AND CONTRACT PERMITS AND CONTRACT PERMITS AND CONTRACT DOCUMENTS. HE SHALL COMPLY WORK INDER THESE CONTRACT DOCUMENTS. HE SHALL COMPLY MITH ALL LAWS, OFDINANCES, RULES AND REGULATIONS OF ALL
- 13. THERE SHALL BE NO DEWATION FROM SPECIFICATIONS WITHOUT TEN ATTROVAL OF THE ARCHITECT AND ENGINEES
- 14. ALL PAROS MIC POPO DESTO DE SLOPED UN PER FOCT IN DIRECTION PROCATED ON THE FOUNDATION PLAN
- 15. ALL ROOF EDGES SHILL HIS EICH MICHATER SHELD EXTENDING FROM EASE EDGE TO BY HORIZONTALLY FROM THE INSIDE FACE
- 16. ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS. FIG. 10 DE APPROVED EXTERIOR GRADE.
- 17 UNDERGROUND PRING SHALLEE INSTALLED ON FIFM REDONG.
- TR THE OWNER SHALL EMPLOY AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION AND WELDING OF STEEL TO INSUFE COMPLIANCE WITH PLANS. STANDARDS AND CODES
- 19. ALL CHUME'S SHALL TERMINATE 2 OF ABOVE A POPIT MEASURED 10-OF HORZONTALLY FROM THE NEAREST BUILDING OR POOF.
- 20, DRAWLE INSTALLATION SHALL BE IN CONFORMANCE WITH THE ENGALI DIN DINUNI 22300HT
- 21. CAEMET SUPPLIER TO FREID MEASURE AREA OF WORK AFTER ROUGH FRANKING, TO ASSURE AN EXACT FIT. 22. SLOPE GRADE ANALY FROM BLILDING AT 1/2 PER 1-0 NON. FOR A
- 23. PROVIDE A CONCRETE SPLASHELOCK AT EACH DOWNSPOUT.
- 24. WATER-RESISTANT GIPSUM BACKERSHALL DE USED AT BATHTUB AND SHOWER COMPARTMENTS.
- 25. NOT TREAD DEPTH TO BE 10 MOSE TO MOSE) PROMDE I' MOSING.
 MAX. RISER HEIGHT TO BE ?
- OR ALL DOORS ADJACENT TO UNHEATED SPACES TO BE INSULATED.

- 27, AL BATT PISULATION TO BE INSTALLED WITH THE YAPON BATTER FOIL OR PAPER FACING TOWARDS THE HEATED SPACE, PROVIDE A MIK OF 2 CLEARENCE ABOVE INSULATION IN CATHEDRAL CELINGS AND AT EAVES FOR VEKTLADON
- PROVIDE CLOTHES ROD AND SHELF IN ALL CLOSETS AS MOICATED OKPLANS, PROMOESSHEWES IN UNDICLOSETS.
- 29. MERIOR DOORS & HATOWARE TO BE SELECTED BY OWNER FER
- 30. FREPLACES) WHEN INSTALLED TO HAME TEMPERED GLASS
 DOORS HID DAMPEPED COURLISTON ARE NOTACE TO OUTSIDE ARE
 (150 200 CF.M.) HISTALL NON COMBUSTBLE HEARTH AND
- 31. ALIGNANG WITHOUT OF THESE DROOM UNE TO BE TEMPERED. ALL DOOR GLAZING TO BE TEMPERED.
- 30 MOENBACETORISENIN POCEM PORISTTO OFFICE AN
- 33. ALL LUMBER AT OUTDOOR DECKS MOPORD ES TO BE PRESSURE DEATED LLOW ON PLANS

Struc. Framing Notes:

- PROVIDE SOLID BLOCKING AND/OR DOUBLE JOSTS UNCERAL PETET NOICE LER AND PARKLET, PARKETIONS AND AT FREPLACE HEARTH AND STAR OPERIOS
- 2. ALL PLIMENG WALLS SHALL BE FRAMED WITH 205 STUDS. EMANING INTERIOR STUD WALLS SHALL BE FRAMED WITH 204 STUDS UNLESS NOTED OTHERWISE.
- 3. ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOR HOUSE FRAMING. 4. CONTINUOUS BEARDIG FROM POINT OF LONG TO FOUNDATION
- DWLL SE PROXESS BY MENS OF COLUMNS AND SOLD RODGERDORS ALL OPENINGS IN PLOOP, CRUMG, OR ROOF TO HAVE DOUBLE
- HEADERS AND TRUMPERS UNLESS OTHERWISE NOTED.
- 6. PROVIDE METAL BROGING (SIMPSON TB TENSION BROGING) AT MO SPAINS OF FLOOR JOISTS SPANNING A DISTANCE GREATER THAN 11 FT.
- 7. ALL WINDOW AND DOOR HEADERS TO BE (2) 7 x 10" LINEESS OTHERWISE NOTED.
- ALL SEARS AND JOSTS FRANCISCO RUSH BEARS TO HAVE ETAL HANGERS OF PROPER SIZE AND LOXOPIG CAP
- 9 INSTALL HUPPICANE TEST ALL RAFTERS WHERE VALUED

Demolition Notes

- 1 PERFORM DEMOURDING ACCORDANCE WITH PLANS AND IN
- CONTRATOR SHALL YERFY FIELD CONDITIONS AND MOTFY ARCHITECT OF ALL DISCREPANCIES REFORE PROCEEDING WITH WORK.
- PREVIOUS MOVEMENT OR SETTLEMENT OF STURCTURESS. PROVIDE BRACKS OR SHORKS AND BE RESPONDE FOR SAFETY AND SUPPORT OF STUPCTUPE, ASSUME LIABUTY FOR SUCH MOVEMENT. SETRIBURY, DAVAGE OR INLERY.
- CEASE OPERATIONS AND HOTELY THE OWNER MANEDATELY IF SAFETY OF STURETURE APPENS TO BE ENONGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS LIGHT.
- PROVIDE AND MAINTAIN BARRICADES, LICHTING AND GLIARD RALS AS RECO. BY APPLICABLE REGULATORY ADMISTRY TO PROTECT OCCUPANTS OF BLDG. WORKERS AND PEDESTRANS.
- AFRANCE AND PAY FOR DISCOMMECTING. REMOVING AND CAPPING UTILITY SERVICES WITHOUT AFEAS OF DEMOUTRON. DISCOMMECT, AND STUR OFF MODEY THE AFFECTED LOT ITY CO. AND CHAFFE IN ADVANCE ION APPROVAL BEFORE STARTING THIS WORK
- 7. DEMOUSK IN AN OFCERLY AND CAPEFUL WANNER AS REQUIRED TO ACCOMMONTE NEWWORK INCLUDING THAT RECOURSE FOR CONNECTION TO THE EXISTING ELECTION, PROTECT EXISTING FOLIADATIONS AND SUPPORTING STRUCTURAL MEMBERS, PHASE DEMOLITOR IN ACCOMMING WITH CONSTRUCTION SCIEDLE.
- 8. PEFFORM DEHALTION IN ACCORDANCE WITH APPLICABLE AUTHORITES HAVING JURISDICTION.

Building Standards

FOUNDATIONS

- 1 FOOTINGS ARE DESCRED TO BEAR ON SOIL HWANG A KINSAM SAFE BEARING VALUE OF 2503 PSF. PRIOR TO CONSTRUCTION, SOIL BEARING VALUE SHALL BE CERTIFIED TO THE ARCHITECT BY A
 LETTER, FORM SOES OF FOOTINGS WITH WOOD WHERE REQUIRED.
- 2. BOTTOMS OF ALL FOOTINGS ARE 3-0' BELOW DISTO UNLESS OTHERWISE NOTED. WALL FOOTING REINFORCEMENT TO B NOWING & DROUGHOUGH ROTTH

CONCRETE

- ALL CONCRETE SHALL TEST 2000 PST AT 28 DAYS. THE SLEAP JUST FROR TO PLACING SHALL BE 4 PICHES WITHIN A TOLERANCE OF PLIS OR MAILS ONE MICH MAIX.)
- ALL CONCRETE SHALL SE PLACED IN THE DRY. NO CONCRETE SHALL BE FLACED LATER THAN SO MAINTES AFTER MOVING HAS BEGUN. DEPOST CONCRETE IN ITS FINAL POSTSON WITHOUT SECRETATION AND REMANDERS
- 3. RENFORCING STEEL SHALL BE NEVERLET HIGH STRENGTH STEEL OF U.S.A. NANLFACTURE CONFORMING TO LATEST A.S.T.M. AGIS GRADE BI FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRICTICE OF THE C.S.R.I. LIM. ESS OTHERWISE NOTED
- 4. FENFORCING SHILL HAVE 7 COVER IN FOOTING: 2 COVER ON PRINTING COVER ON
- REINFORCING BARS ARE COMBINUOUS UNLESS OTHERMISE HOTED. UP MESH 12 MONES AT SPUCES, LAP STEM WALL BARS 32 BAR CHANETER AT SPUCES (AM).
- AT OUTSOE COPRETS OF CONCRETE FOOTINGS AND STEM VIVILLS, PROVIDE #41 #47 COPRET BAPGER EACH FACE AT SAME SPRONG AS HORZONTAL RENFORCEMENT
- PROVIDE CONTROL JOINTS IN MASONRY AND/OR CONCRETE WALLS AND CONCRETE SIAS AT REQUIAR INTERVALS AS SPECIFIED BY STRUCTURAL ENGINEER

CONCRETE FOOTINGS

CONCRETE IN FOODINGS OWILL HAVE AN LILIBRATE COMPRESSIVE STRENGTH OF NOT LESS THAN THREE THOUSAND (LODG) POLINGS PER SOURCE INCH PSQ AT TRENTTHEONT (25) DAYS. CONCRETE FOOTINGS SHALL NOT BE POURED THROUGH WATER. CONCRETE POOTINGS SHALL BE PROTECTED FROM FREEZING OLIFING DEPOSITION AND FOR APPRICO OF NOT LESS THAN FIVE ISLOADS THEREAFTER.

CONCRETE SLABS

CONCRETE SLAS ON GRADE SHILL HAVE MINDAUM THICKNESS OF 4". PROMOE PREMOLOED JOAN FILLER EXPANSION JOANS AT PERMETER OF EACH SLAB. CONTROLLONTS SHALL BE PROMOFD AT MAX 20-0 O.C. EACH WAY, FILL UNDER SLASS SHALL BE COMPACTED TO SON PROCTOR DENSITY IN IF UFTS.

MASONRY WALLS

FROST PROTECTION

ALL REPORTED CHAILS BE DOUBTED THE PROPERTY CONTENTS FOR HITT LESS THAN FORTY-BOHT (40) HOURS AFTER HISTALLATION, AND SHALL NOT BE CONSTRUCTED BELOW THENTY-BOHT (20) DEGREES F. DURING RISING TEMPERATURES OR BELOW DREDY SIX OR DECREE F. LUMB HAND ENGINEERS WHELL WHAT IS AND LOWER.

DUCKING FALLOT EMPRANEERS WHOLE TEMPORAM HEATER

DUCKINGS OR WITHOUT HEATING MAREHALS OR OTHER

MECHANISM NECESSARY TO PREMIT PREZING, PROZEM

MATCHALS SHALL HOT BE LESO, NOR SHALL FORCEM MASORY BULT

MSONRY WALLS AND PARTITIONS SHALL BE SECURELY ANDHORED OF BONDED AT PORTS WHERE THEY DITERSECT BY DIKE OF THE DURLEMAN FUNDS WELLEN FER THRUSELE BY USE OF THE FOLLOWING METHODS: WALLS MAY BE BONDED BY LUXING AT LEAST FETTY COLI PERCENT OF THE UNITS AT THE BYTEPSECTION IN TRUE MASONEY BOND WICH ALTERWATE UNITS HARRIS A BEARBAG OF NOT LESS THAN EIGHT OF INCHES LEGIS THE LINET BELOW, OR THEY WAY BE ANCHORED WITH NOT LESS THAN THREE SKITEDITH DYNG MICH CORROSION-RESISTANT METAL WIFE THE JOINT REMFORCEMENT AT VERTICAL INTERNALS NOT TO EXCEED 16 INCHES, OR BY OTHER FOLIVALENT APPROVED ANCHORAGE

BEAM, GEDER AND OTHER CONCENTRATED LOADS SHALL BE PROVIDED WITH A BEAFING OF SOLID MASONEY OR HOLLOW UNIT MASONRY FILLED SOLID WITH IMPACEM 2500 PG COMPRESSM STRENGTH CONCRETE RELL HEIGHT OF WALL OR FIER BROCK VEHICLES:

PROVIDE UNFORMLY SZED UNTS COMPLYING WITH A S.T.M. CZIG, GRADE SIY TIFFE FRS. PROVIDE UNECCIDENT MORTOR COMPORMING TO A.S.T.M. CZYD, TYPE'S INSTALL GALVANZED ANCHORS AT 16" D.C. EACH WAY WELL CADMUM FLATED SCREWS, INSTALL FLASHOW

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL BE DOMESTIC AS TAX A 36 AND CONFORM TO STANDARD ALSIC SPECIFICATIONS.
- ALL COMPETIONS TO BE FIELD AND SHOP WELDED AND TO
- 3 NO STUCES PERMITTED UNLESS ATTROVED BY THE DIGNEER
- 4. PPE COLUMNS TO BE BLOCK CERTIFIED AS TAK ASOMA BY TORTILAND COLUMNY OR EQUAL.
- SHOP COAT ALL STRUCT, STEEL WITH "RUSTOLEJAN 1009 RED PRIMER OR ZINC OFFINATE. FRED COAT ALL STEEL WITH SAME PAINT, TOUCH UP ALL WELDS AND ASPASIONS IN FRED WITH THE SAME.
- A BOLTS SHALL BE HIGH STRENGTH CONFORMING TO AS TAN ANDS
- 7. WELDING ELECTRODES SHALL CONFORM TO AS TAL ANS \$5, HYDOX
 SERIES, REFER TO PLANS FOR LIVE LONGS AND WIND VELOCITIES.
- 8. WELDERS SHALL CAPPY ENDENCE OF CLAUFICATION WITHIN THE PAST 12 MONTHS LADER THE ANS PROCEDURE FOR THE TYPE OF
- ALL EXPOSED STEEL SHALL BE GROUND SMOOTH AND FREE OF ANY ROLICK OR SHARP FTOCES
- 10. BOLTED & WELDED CONNECTIONS NOT DETALED ON PLANS TO BE DESIGNED BY STEEL FABRICATORS ENGINEER TO WITHSTAND LONDING CONDITIONS PLACED ON MEMBER

WOOD FRAME CONST.

LINGER: PAL SOFTWOOD LINGER STD. PSZO (LLS. DEPT. COMMUSAS, 19% MOSTUFE AT THE OF DRESSING. STRUCT, WINDER AND ITS Fastewing shall be adequately assembled to safely sustain ALL MEOSED LONGS. ALL LUMBER USED FOR LONG SUPPORTING PLAPOSES SHALL BE CHRITTED BY THE TRADBURK OF A LUNGER GRADING INSPECTION AGENCY, GRADING PRACTICES AND ID. SHALL BE IN ACCORDANCE WITH FILLES PLUELSHED BY AN AGENCY

(4) SZES OF STRUCTURAL NEWBERG: ALL WARRER SZES SPECIFIED APE NOWING SIZES, ACTUME SIZES APE SHOWN ON THE FLOOR PLAKS.

ESTRUCTURAL POSTS: ML ISOLATED STRUCTURAL POSTS SHALL HAVE A MANAGE DIALOGICA OF FOUR (4) INCHES

EL STRUCTURAL FRANKING NO.1 GRADE FB 1150 P.S.L NOL (CANADIAN

ALL ENGINEERED LUMBER PROJECTED BY TRUS-JOIST CORPORATION ORECOM, ALLIM BEANS TO HAVE A MODULE OF ELASECTY (E) OF 10 AND MO FEER STRESS IN BEHADING PRIOF \$100. ALL CONNECTIONS AND RESALLATION PER MARKENCTURES

BEDS SERVICES JOST MANGERS: ALL ZX AND WOOD 1 JOSTS THAT ARE FLUSH MOUNTED TO BEAKS TO SE HUNG ON FACE MOUNTED METAL HANGERS. HANGERS TO BE BY SIMPSON-STRONG TE CONNECTORS OR APPROVED EQUAL. BASTALL ATTOM AND HAN INC. HEC'S EDEMENTS AS DED WANT EASTE CHEDS

FARRICATION:
CONECTIONS ALL CONNECTIONS SHILL BE FARRICATED WITH APPROVED TIMEER CONNECTIONS, BOLTS, LAG SCREWS, SPIKES AND WALS IN ACCOPICANCE WITH ACCEPTED DIG. FRYCINCE BOLTED COMMETTIONS SWILL BE SAUGGED UP TIGHTLY WITHOUT CRUSHING MOOD PREDS INDER THE WASHERS AND MATERIATION SHALL MEET THE MANAGEM RECOTS OF FASTEMEN SCHEDULE RECEIVED OF FIC 2015

BRACING: THE CORNER POSTS SHALL BE THE EQUIVALENT OF NOT LESS THAN THEE DI PRECES OF TWO (2) BY FOUR (Q INCH STUDS BRACED BY 3. NOT LESS THAN ONE (I) PRECE OF ONE (I) BY FOUR (Q INCH COMPROME)

4. COMPANDES DIAGONAL BRACE LET INTO THE STUDS, OR APPROVED METAL TEP-DIAGONAL BRACING, OR WALL SHEATHING

AT-GRADE PROTECTION, ALL DITEROR WOOD FRANCHIOR M-ETHER STRUCTURAL OR ROUNDOSCAPIAG, SHALL BE SUPPORTED ON APPROVED FOUNDATION WALLS AT LEAST BUFF DIT PROVER ABOVE THE PROSING GRADE, WHERE CUMADIC CONCIDONS OR THE GEOGRAPH ICA LOCATION FED. ADDITIONAL CONTROL MEASURES TO PROTECT BLDGS AND STRUCTURES ACAREST DECKY AND TERRITE ATTACK SHALL MEET THE FRONSIONS OF SECTIONS FIZER & FIZER OF IPC 2015 USED.

SHEATHING

LOS THACK APA SPAN RATED EXTERIOR CRAISE MAY DUETER OR CAP HOLD, AWASHAN HALED, EXTENDED GROUP, BAX, HAY ENCOR TRUSS SPACHED BY CLC; EDGES SHALL BE BLOOKED WITH LUMBER OR OTHER APPROMED THYE OF EDGE SUPPORTS, EXCEPTION THYE SHALL BE USED INHER EXPOSED TO WEATHER, FACE GRINN FARALLE, TO

APASTLEDARIOUS VETAG, INTERCOGRACES MAY LYCE WASHIDEHTOUR AT 183 - MICHONGROUSE MAX JUSTS
SPACING NO O.C.: EDGES SHALL BE BLOCKED WITH LLIMBER OR DOTHER
APPROVED TIME OF EDGE SUPPORTS, ENERGON THE SHALL BE USED
WHEN EPPOSED TO WEATHER: ; FACE GRAIN PARALLEL TO SUPPORTS. PROVIDE ACCORDING 127 PLYWOOD SUBROOR AT CERNAC THE

1/2" THICK, APA SPAN RATED, EXTERIOR GRADE, MAX, WALL FRAUNG SPACING 16' O.C.; EDGES SHALL BE ELCOXED WITH LUNGER OR OTHE APPROXED TYPE OF EDGE SUPPORTS; FACE GRAIN PARALLEL TO

FLASHING

ALL ROOF TO VALLE MIERSECTIONS & ROOF VALLEYS TO GET ALLANGEM COPPER OR REGIER HENSYMME RUSSING TO DIRECT WATER AWAY FROM CONNECTION AND TO PREVENT THE INFILTRATION WATER WITO STRUCTURE

PROTECTION AGAINST DECAY AND TERMITES

WOOD IN CONTACT WITH THE GROUND:

ALL WOOD IN CONTACT WITH THE GROUND ANDIOR SUPPORTING PERMANENT STRUCTURES SHALL BE APPROVED TREATED WOOD.

ALL SILLS WHICH REST ON CONCRETE OR WASONRY DITERIOR WALLS OR AFF LESS THAN FIGHT IS MICHES FROM EXPOSED FARTH SHALL BE OF APPROVED DURANTE OR TREATED WOOD, ALL SHIS MICHIGAN

ELECTRICAL

- 1. ALCONDEDICE CUITETS WITH SMITDLES TO BE SMITDLED AT YOP
- ALL SWITCHES TO BE 3-10" ABOVE FINISHED PLOOR TO CONTIDUME OF SMCTOH LINELESS OTHERWISE MOTEO
- ALL COMENDACE OUTLETS ARE TO BE THE ABOVE FINISHED FLOOR TO CENTERLINE OF OURLET UNLESS OTHERWISE NOT
- 4. ALL INTERIOR WALL GRACKET FIXTURES TO SE AT 6-6' ABOVE RINSHED ROOR TO CENTERLINE OF FIXTURE, 15-10" AT BATHROOM MARKINS ALL EXTERIOR WALL BRACKET FOULFES TO BE AT 6-8' ABOVE FINISHED
- PLOOR TO CONTENUE OF FRITURE (LLO)()
- 6. SMOKE DETECTORS SHALL BE WORED FOGETHER TO SOUND ALARM AND ES AC HARDWIFED WITH BATTERY BACKLP.
- 7. VERFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH WARE FACTURIERS SPECIFICATIONS
- CABLE TELEMISON SETWICE SHALL BE WIRED TO EVERY TELEMISON PECEPTACLE, UNLESS OTHERWISE INSTRUCTED BY OWNER. AL RECTROAL INSTALLATION SHALL MEET THE RECLEREMENTS OF THE NATIONAL ELECTRICAL CODE, ALL MATERIAL AND EQUIPEMENT SHALL BEAR THE LIGHL OR APPROVAL OF THE LINDERWRITERS
- IATORATORES INC ELECTRICAL CONTRACTOR SHALL BEFORE CONSTRUCTION, VERFY SPACE RECURRED FOR METER INSTALLATION AND SHALL HOTHEY GENERAL CONTRACTOR AND ARCHITECT OF ANY CONFLICTS.
- 11. GROUND FALLT MITERPLATS SHILL BE PROVIDED AT ALL BATHROOM

HVAC

- MONTUPL AR CONDITIONING LATTS MAST HAVE ACCOUNTE PETURN
- ALL LANGUAGES AND BATHS SHALL BE MECHANICALLY VEHICLATED HROUGH HON-CONGUSTBLE DUCTS TO PROVIDE ONE CHANGE OF
- AR-CONDITIONER CONDENSER PAGE MUST BE CONCRETE. DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS AIC UNT AND OTHER MECHANICAL EQUIPMENT, SHOP DRAWINGS OF EQUIPMENT AND PROPOSED SUPPORT FRAVANG SHALL BE SUBMITTED TO ARCHITECT FOR APPROXAL
- ALL HACEOUPLENT AND DUCT WORK SHALL COMPLY WITH ALL

Building Codes

- CONSTRUCTION CODES IN EFFECT: 2020 FLB DING CODE OF NEW YORK STATE
- 2020 PERSY CONSERVATION CONSTR. CODE COMMERCIAL INFSVIOLS
 2020 EXSTRAS BLACKING CODE OF NEW YORK STATE
 2020 PLINEING CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF HEN YORK STATE 2017 NATIONAL FLECTRIC CODE
- TITLE 19 SMCFR) PART 1240 ENERGY CODE

OCCUPANCY CLASSFICATION: 8 (BLISNESS)
TYPE OF CONSTRUCTION: 98, COMBUSTBLE MONEPHINGERED

OFFICERDOR SIPSE, LINE LONG + TOPSE, DENOLOGO
THERE CORPRODES TOPSE, LINE LONG + TOPSE, DENOLOGO
SIGH, CORPRODES SIPSE, LINE LONG + TOPSE, DENOLOGO
POROL SIPSE, LINE LONG + TOPSE, DENOLOGO
POROL SIPSE, LINE LONG + TOPSE, DENOLOGO

PLUMBING

- ALL PLUMENCY FOTURES TO BE SELECTED BY OWNER-PROVIDED & STALLED BY CONTRACTOR UNLESS OTHERWISE NOTED ON THESE
- 2 ALI PLINEING TO COMPLY WITH THE 2000 PLINEING COOF OF NEW

NOTES:

- THE PLANS AND SPECIFICATIONS ARE NOT INTERCED TO DEPICT EACH AND EVERY CONDITION OR DETAIL OF CONSTRUCTION, AS THE INCOMEDOMESTER PARTY IN THE FEEL THE CONTRACTOR SWALL WREPT PART ALL CONSTRUCTIONS COMPLETED IN A MANNER WIN WILL PROVIDE A WASHERINGT STRUCTURE.
- AL STRUCTURES ARE SUBJECT TO WEAR AND TEAR AND DRUGOMEDITAL AND MAN MADE EXPOSURES. AS A RESULT, ALL STRUCTURES REQUIRE REGILURA AND FREQUENT MONITORING AND MANTENANCE TO PREVENT DAMAGE AND DETERIORATION, SUCH MONITORING AND MANTENANCE IS THE SOLE REPSONSELITY OF THE OWNER THE DESIGN PROFESSIONAL SHALL HAVE NO RESPOSSIVITY TO SEE OR SECURITION CANADES SE BOTTOME APOSTO AND MANTEWARD OF THE PROJECT ARE NOT PROTERLY TEST ORMED DAWGE LE MOLDI TO THE STRUCTURES MAY OCCUR AND THE DESCRIPROFESSIONAL CRIMICAL DE MELD RESPONSSEL F FOR MAY

WINDOW INSTALLATION

NAMED AS SHALL BE ASSTALLED AND PLASHED IN ACCORDANCE WITH THE MANUFACTURERS WISTITED INSTALLADON INSTRUCTIONS. MATTER INSTALLADON INSTRUCTIONS SHALL BE PROVIDED BY THE

2020 ECCCNYS -**COMMERCIAL PROVISIONS**

CUMATE ZUMES	
ASSEMBLY	MINE VALUE INSTALLED
FEIESTRATION	UQX
SICUONT	UG
GLAZED FENESTRATION SHGC	0.30
WALL	R-19 - R-5 CJ
ROOF/CRUNG	
R008	BX
BASEMENT WALL HEATED BASEMENT)	RISRIBCATI
PERMETER INSULATION FOR SUR ON GRACE	

WACONS SHILL HAVE A MAXIMUM SAFETRATION PAIR OF 0.5 Of MAJNEAL FT, OF CRACK DOORS SHALL HAVE A HAVEMAN BIFFL TRATION PAIR OF 1.25 CTHAINEAL SQ. FT. OF DOOR

SUCHGOOORS SHALL HAVE A MAXERILI INFLITATION RATE OF QS CRUSE, OF DOOR CALLEAL EXPROR LONGS AROUND WINDOWS AND DOOR FRANCS BETNEEN WALL CASTLES AND WHOOM AND DOOR FRAMES.

MACE DICTS

OLICIS MEDI DE TESTED FOR TORTNESS AS SPECIFED IN EEC. -402.23 & 42314 SUPPLY DUCTS IN ATTECS AND UNCONCITIONED SPACES SHALL BE SEALED AND INSILATED WITH RAL DUCTS <F IN DAS SHALL BE SEALED TO A MIN OF RA (EXCEPT DUCTS THAT ARE LOCATED COMPLETELY WITH MA PLETTING THERMAL FIME OFF HAVE SYSTEM MUST BE PROPERLY SZED LISING A PROCEDURE LIKE ACCA

MECHANICAL SYSTEM PEPPIGHAST BE INSULATED TO AMIN OF RIJ LIGHTING

1. AMM OF 50% OF LAMPS IN PERMANENTLY INSTALLED FUTURES MUST BE HONEFFICACY AS DEFINED IN THE ECC.
2. INSTALL COCUPANCY SENSOR'S IN OFFICES, CORROCORS, RESTROOMS,

Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC 350 Pine Lane

Haworth, NJ 07641

TAX MAP# 77.15-1-3

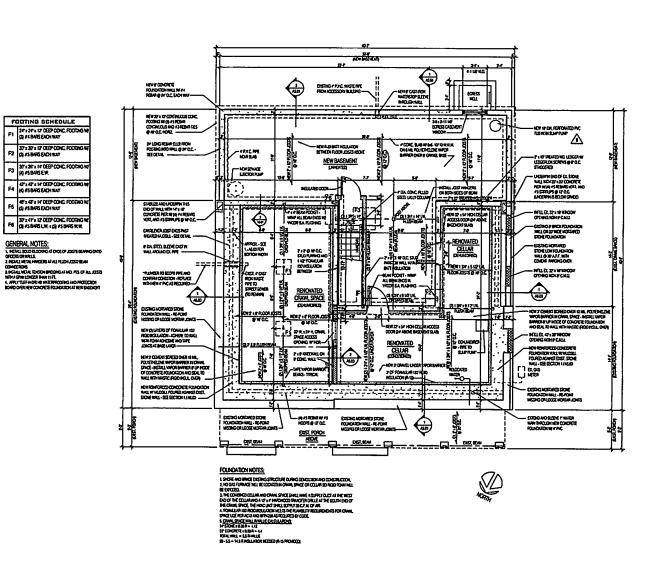
77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

KEVIN BRODIE KEVIN BRODIE ARCHITECT 218 SPRING STREET MONROE, NY 10950 TEL: 845-929-2504 EMAIL: KBROD7@OPTO

RESIDENTIAL AND COMMERCIAL DESIGN

Drawing Description Cover Page Scan C

A1.00



Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC 350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

KEVIN BRODIE ARCHITECT 218 SPRING DTREET MONROE, NY 10950 TEL: 845-920-2504 EMAIL: KAROD7@GPTON

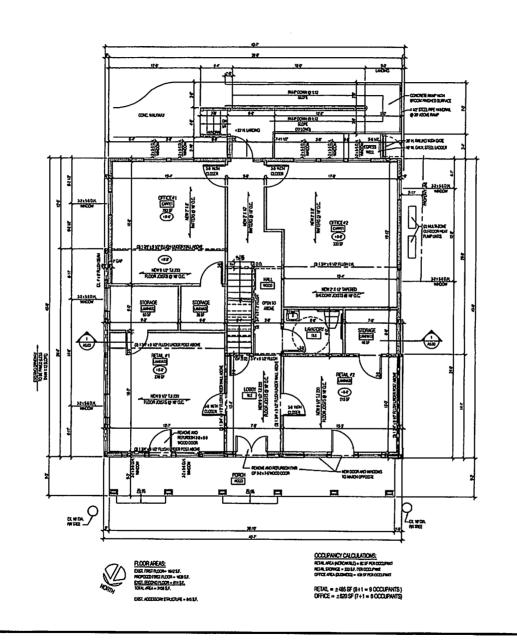
RESIDENTIAL AND COMMERCIAL DESIGN
NEW COMSTRUCTION - ADDITIONS - RENOVATIONS

Interest of In

Drawing Gweedplicht
FOUNDATION FLAN
Pepic Municht
Companie Re PLAN (0)

3000

A2.00



Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC

350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

KEVIN BRODIE ARCHITECT 218 SPRING STREET MONROE, NY 10950 TEL: 049-929-2504 EMAIL: KEROD7@OPTO

RESIDENTIAL AND COMMERCIAL DESIGN NEW CONSTRUCTION - ADDITIONS - REMOVATIONS

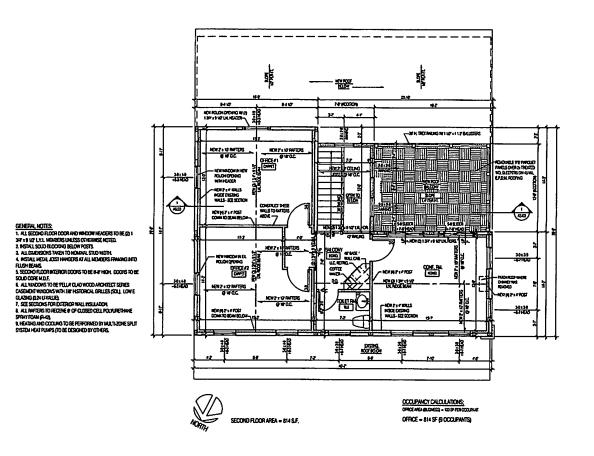
CONSELLTAN

Daving Descriptor
FIRST FLOOR PLAN
SECOND FLOOR PLAN
Polect Murriage 2204

Scan L

A2.01

FIRST FLOOR PLAN



Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC

350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

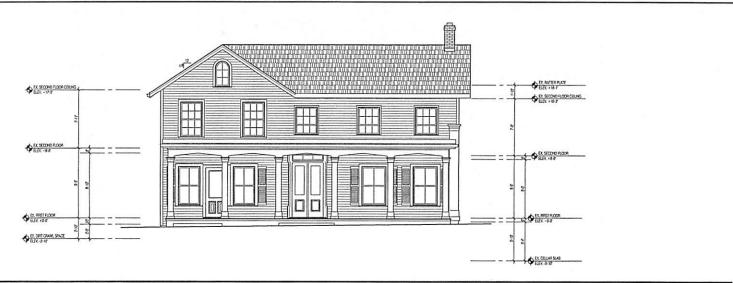
KEVIN BRODIE ARCHITECT 210 SPRING STREET MONROE, NY 10950 TEL: 045-920-2504 EMAIL: KOROO7@OPTOI

RESIDENTIAL AND COMMERCIAL DESIGN
NEW CONSTRUCTION - ADDITIONS - RENGVATIONS
CONSTRUCTOR

| Indicate and Province | Indicate and Residence | Indicate and Residence | Indicate and Residence | Indicate and Residence | Indicate and Indicate

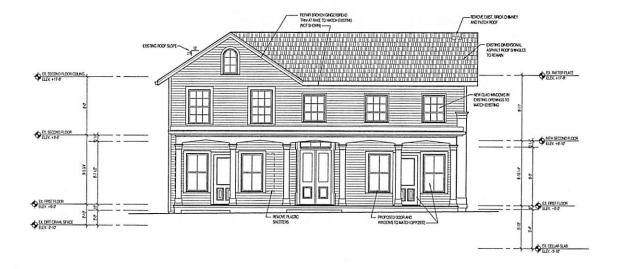
Dissing Descriptor
SECOND FLOOR PLAN
Proped Nurrose: 2334
Computer Riv. PLAN ()

A2.02



1 EXISTING FRONT(NORTH) ELEVATION

PROPOSED (NORTH) ELEVATION



Alteration and
Reconstruction of
Office Building
Next Chapter

Next Chapter Equities, LLC

350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

ACONICI
ACONICI
ARCHITECT
218 SPRING STREET
MONROE, NY 10950
TEL: 845-928-2504
EMAIL: KBROD7@OPTONLI

RESIDENTIAL AND COMMERCIAL DESIGN NEW CONSTRUCTION - ADDITIONS - RENOVATIONS

CONSULTANT

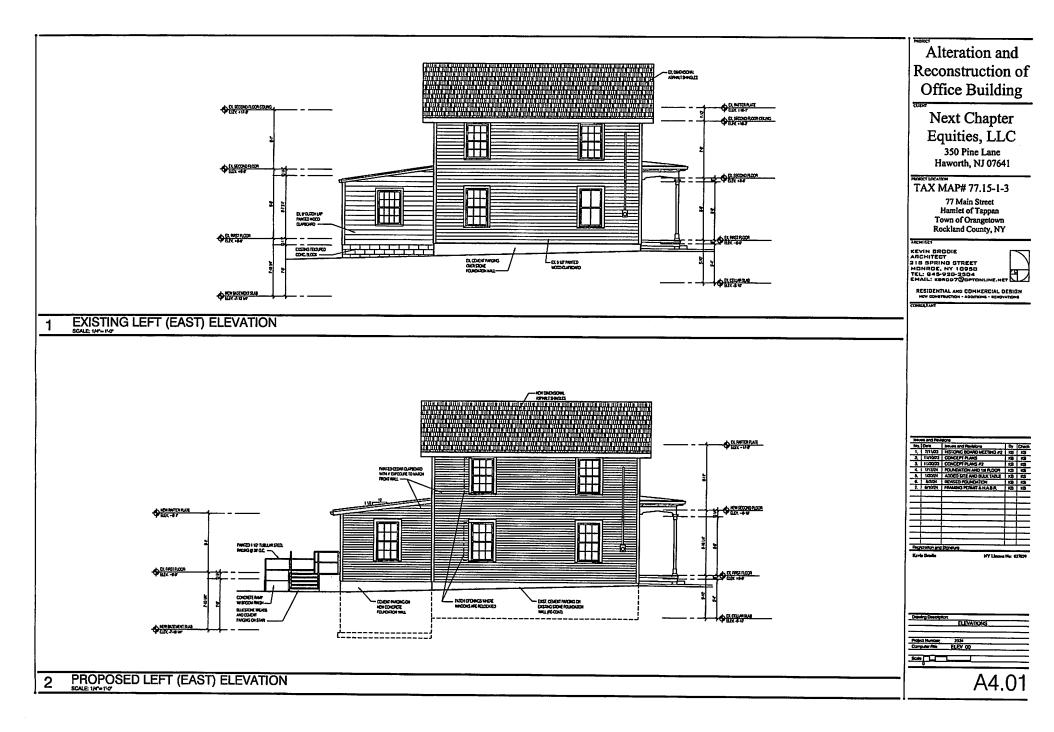
Drawing Descriptions

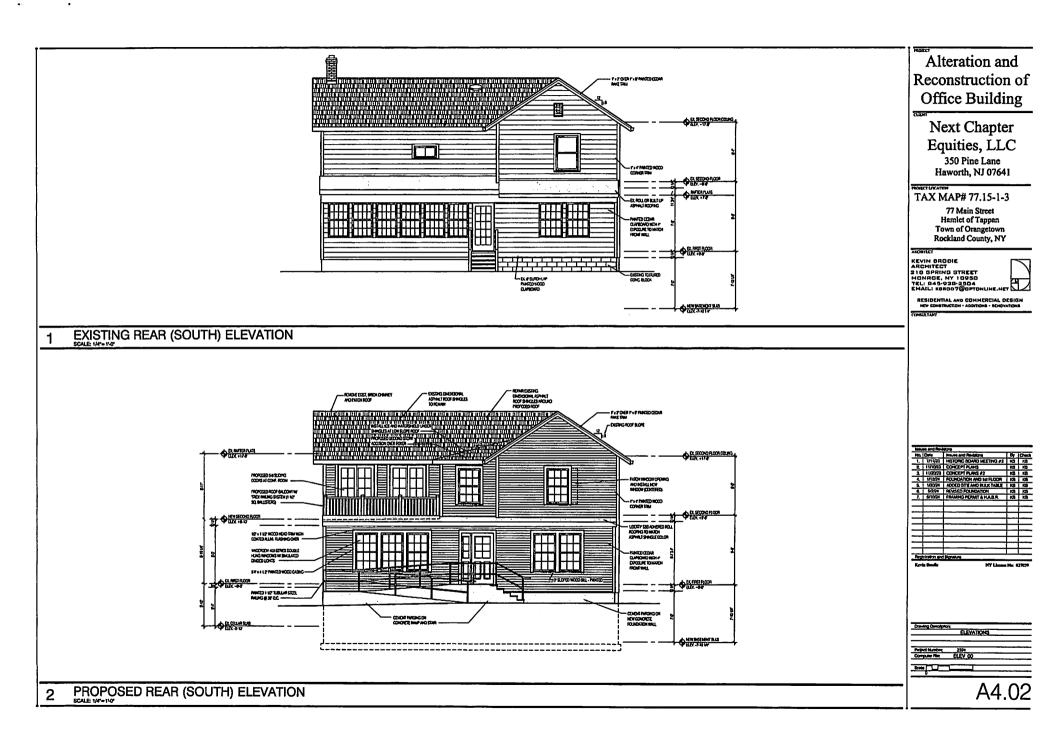
ELEVATIONS

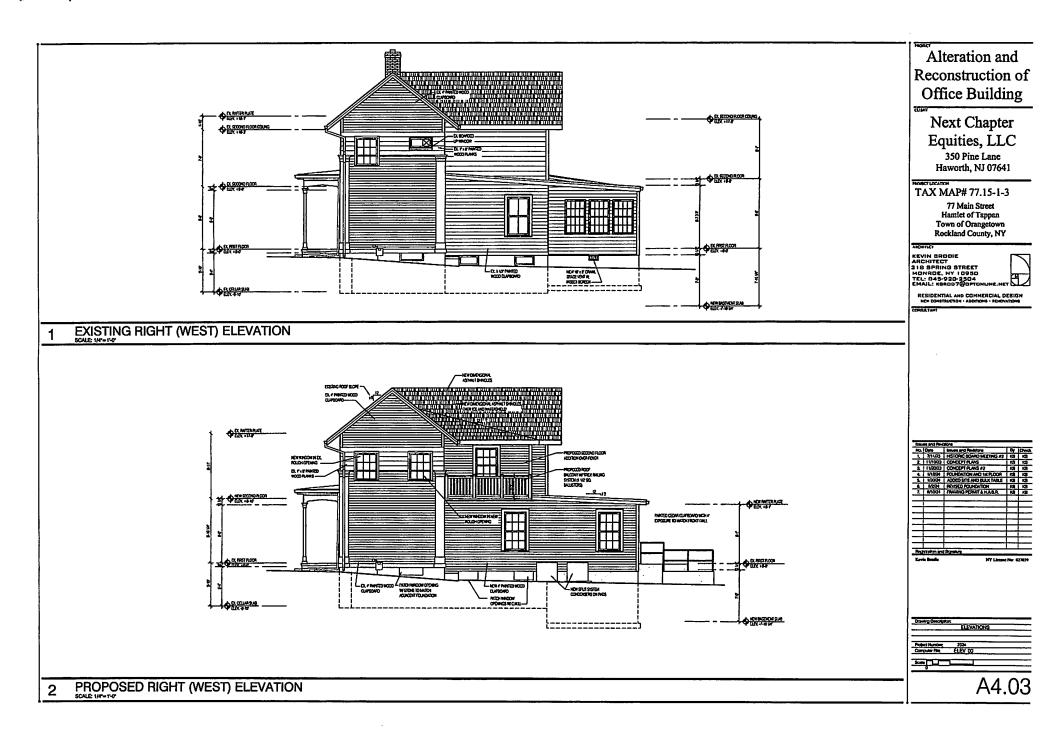
Project Number: 2224

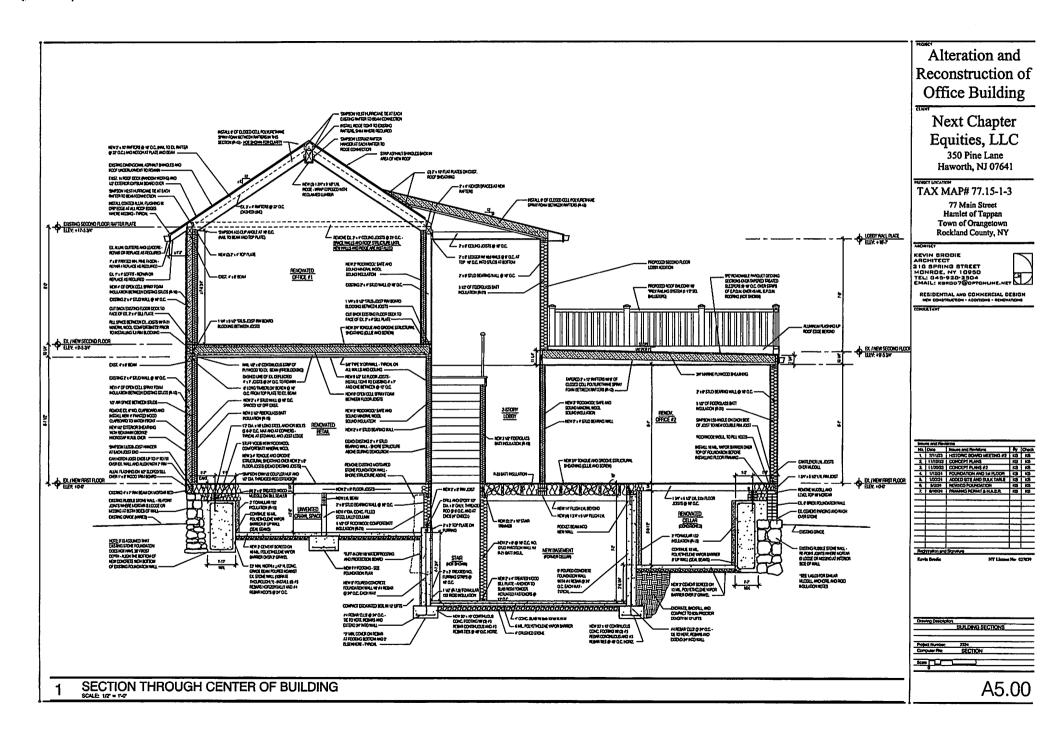
Computer File: ELEV 00

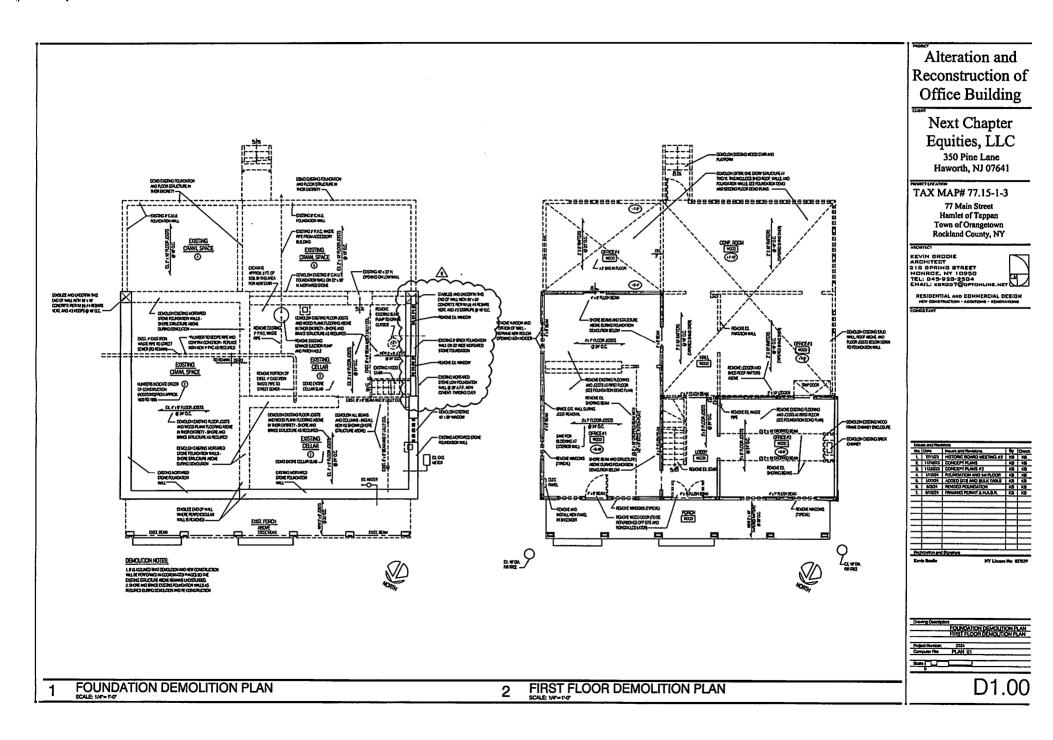
A4.00

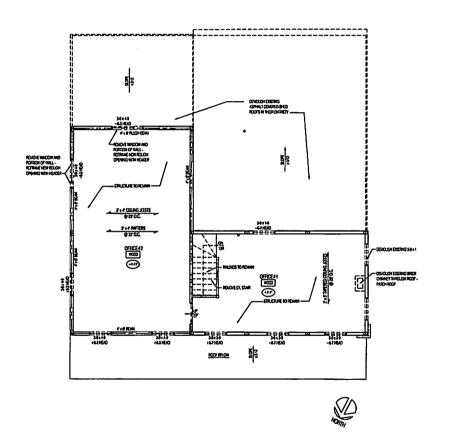












Alteration and Reconstruction of Office Building

> Next Chapter Equities, LLC

350 Pine Lane Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

KEVIN BRODIE ARCHITECT 216 SPRING STREET MONROE, NY 10950 TEL: 845-928-2504 EMAIL: KSROD7@OPTONL

RESIDENTIAL AND COMMERCIAL DESIGN HEW CONSTRUCTION - ADDITIONS - REMOVATIONS

ETHISLILTANI

| Name and Revision | Sty | Charles | Name | Sty | Charles | Sty | Sty

Desiring Description:
SECOND FLOOR DEHOUTION PLAN

Computer File PLA

D2.00

SECOND FLOOR DEMOLITION PLAN

NEXT CHAPTER EQUITIES LLC

Andrew L. Rosenberg Member and Manager

Joseph Panzella Member and Manager

January 24, 2024

To:

Orangetown Historical Areas Board of Review 20 Greenbush Road Orangeburg, New York



Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. ("Property") in December, 2022 and appeared informally before the Historical Areas Board of Review ("Board") in February, 2023 and again in July, 2023, to obtain clarification as the Board's scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property. For your reference, I am attaching copies of the submissions that we made in connection with each of our prior meetings before the Board.

We were encouraged by the Board's receptiveness to our plans for the restoration of the Premises at each of the meetings we attended. We believe that the Board will be pleased to hear that we are no longer pursuing the option of taking down the entire building with the exception of the front facade and rebuilding it. Although the Board was receptive to this conceptually, all exterior walls of the building will now remain intact.

We are now appearing before the Board as a result of our filing of a permit application for certain foundation work to be performed at the Premises as well as the removal of a portion of the rear of the main building constructed on the Premises, in connection therewith. When the permit application was filed, we were advised by Ken Louden and Jane Slavin that our application would have to go before the HABR due to the fact that the outside of the building was affected (i.e., a small portion of the rear of the structure was being removed). We will bring photographs of the interior of the building to the hearing.

Please be assured, we understand and fully intend to proceed with a further full formal appearance before the HABR (with full plans, materials information, etc.) in connection with the next phase of the project which will involve the full restoration/reconstruction of the building.

{02221496;1}

NEXT CHAPTER EQUITIES LLC

Orangetown Historical Areas Board of Review January 24, 2024 Page 2 of 2

We truly appreciate the opportunity to once again appear before the Board in connection with this restoration and rehabilitation.

Very truly yours,

NEXT CHAPTER EQUITIES LLC, a New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg

Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella Member and Manager

{02221496;1}

Name of Municipality: <u>TOWN OF ORANGETOWN</u>

Date Submitted: 1/24/2024

LAND USE BOARD APPLICATION

CorPlanning BoardZoning Board ofSubdivisionNumber of LotsSite PlanConditional UseSpecial PermitVariancePerformance StandardUse VarianceOther (specify):	ds Review	Residential Historical Board Architectural Board Consultation Pre-Preliminary/Sketch Preliminary Final Interpretation PERMIT#: ASSIGNED NSPECTOR: Referred from Planning Board: YES / NO If yes provide date of Planning Board meeting:	
Project Name: NC 77 MAIN ST	RESTORATION		
Street Address: 77 Main Stre	et, Tappan, NY 109	83	
Fax Map Designation: Section: 77.15 Section:	Block: 1 Block:	Lot(s): Lot(s):	
On the <u>East</u> side of	Main Street, Tappa	an NY, approxir	nately
150feet	_ of the intersection of	f Oak Tree Road	_, in the
Fown of Orangetown in the h	amlet/village ofTa	appan	<u> </u>
Acreage of Parcel 0.18 School District South Orange Ambulance District South Or Water District	etown CSD	Zoning District CS Postal District 10983 Fire District Tappan Sewer District Orangetown	
Project Description: (If additional and This first phase of the rehabiltion work is			historic
building inculding the removal of a small	portion of the rear of the	e building.	
The undersigned agrees to an extension Date: 4/23/24 Applicant's Sign		rit for scheduling a public hearing.	

FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

it subdiv		
1	Is any variance from the subdivision regulations required?	
2	2) Is any open space being offered? If so, what amount?	
3	3) Is this a standard or average density subdivision?	
If site pla	an: N/A	
	1) Existing square footage	
	2) Total square footage	
	3) Number of dwelling units	
If specia	al permit, list special permit use and what the property will be used for. N/A	
- -		
	mantal Canatrainta.	
Elivitoni	mental Constraints:	
and net are	slopes greater than 25%? If yes, please indicate the amount and show the gross	
and net are Are there s	ea No streams on the site? If yes, please provide the namesNo	
and net are Are there s	ea No	
and net are Are there s Are there w	ea No streams on the site? If yes, please provide the namesNo	
and net are Are there s Are there w	streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type:	
Are there volume Are there volume No Project	streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type:	
Are there volume No Project Has this pr	streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History:	ed
Are there we no	ea No streams on the site? If yes, please provide the namesNo wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before?_No	ed
Are there we no	ea No streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before? No de a narrative, including the list case number, name, date, and the board(s) you appear	ed
Are there we no	ea No streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before? No de a narrative, including the list case number, name, date, and the board(s) you appear	e d
Are there we no	ea No streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before? No de a narrative, including the list case number, name, date, and the board(s) you appear	ed
Are there we No Project I Has this project before, and	ea No streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before? No de a narrative, including the list case number, name, date, and the board(s) you appear	
Are there we No Project I Has this project before, and	ea No streams on the site? If yes, please provide the names. No wetlands on the site? If yes, please provide the names and type: History: roject ever been reviewed before? No de a narrative, including the list case number, name, date, and the board(s) you appear the status of any previous approvals.	

Applicant's Signature and Certification

State of New York)	
County of Rockland) SS.:	
Town/Village of Orangetown/Tappan)	
1 ANDREW BOSENBERG	hereby depose and say that all the
I, ANDREW ROSENBERG	
above statements contained in the papers submitted herewith	rare true.
Signature: _	1/10
Mailing Address: _	463 Livingston Avenue
	Suite 102-166
	Norwood, NJ 07648
SWORN to before this	
SWORM to belote this	
23rd day of January, 20 24	
O day or Day or	BRITTANY NUNEZ Notary Public - State of New York
Druttony Nunes	NO. 01NU6421797 Qualified in New York County
Notary Public	My Commission Expires Sep 7, 2025
Owner/Applicant's Consent Form to Visit Pro	perty
, ANDREW ROSENBERG, as Manager of NC 77 MAIN OWNER LLC., OV	vner/applicant of the property described
in the application submitted to the town/village board, planning	사람들이 가게 되었다. 그는 그는 그는 그를 가는 것이 되었다. 그는 그를 가는 사람이 되었다. 그는 사람들이 되었다. 그는 그를 가지 않는 것이다.
supporting staff, do hereby give permission to members of sa	aid boards and/or supporting staff to visit
the property in question at a reasonable time during the day.	
	Owner/Applicant Signature
SWORN to before this	
23 1	
23rd day of January, 2024	
Brittany wurld Notary Public	BRITTANY NUNEZ Notary Public - State of New York NO. 01NU6421797 Qualified in New York

Affidavit of Ownership/Owner's Consent

State of New York	
County of Rockland) SS.:	
Town/Village of <u>Orangetown/Tappan</u>)
I, ANDREW ROSENBERG	being duly sworn, hereby depose and say
that I reside in the county of <u>Bergen</u>	in the state of
New Jersey .	
I am the (* Manager of the) owner in the fee simple of premises located
at: 77 Main Street, Tappan, NY 1098	
described in a cer	rtain deed of said premises recorded in the Rockland County
Clerk's Office in Liber	of conveyances, page Assessment Number: 2022-00043716
Said premises have been in my/its posse	ession since December 2022
Said premises are also known and design	
Tax Map as: section: _77.15	
I hereby authorize the within application of	on my behalf and that the statement of fact contained in said
application are true, and agree to be boun	
approduction and use, and agree to be a seen	
	Owner Signature:
	Owner eignature
	Mailing Address: 463 Livingston Avenue
	Suite 102-166
	Norwood, NJ 07648
SWORN to before this	
SWORM to belote this	
23 rcl day of Janua	BRITTANY NUNEZ Notary Public - State of New York NO. 01NU6421797 Qualified in New York County
Buttan Mun	My Commission Expires Sep 7, 2025
Notary Public	

*If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a list of all directors, officers and stockholders owning more that 5% of any class of stock.

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York)				
County of Rockland) SS.:				
Town/Village of Orangetown/Tappan)				
1, ANDREW ROSENDERG	, being duly sworn, hereby depose			
and say that all the following statements and the statements containing	ained in the papers submitted			
herewith are true and that the nature and extent of any interests s	set forth are disclosed to the extent			
that they are known to the applicant.				
1. Print or type full name and next office address				
Print or type full name and post office address				
463 Livingston Avenue, Suite 102-166, Norwood, NJ 07648				
with this application for the relief set forth: 2. To the of the Town/Village of Orangetown/Tapp	nan . Rockland County. New York:			
Application, petition or request is hereby submitted for: () Variance or modification from the requirement of Section				
() Special permit per the requirements of Section				
() Review and approval of proposed subdivision plat;				
 () Exemption from a plat or official map; (√) An order to issue a certificate, permit or license; 				
() An amendment to the Zoning Ordinance of Official Map or () Other (explain)	change thereof;			
To permit construction, maintenance and use of <u>Certain work to s</u> the historic building including the removal of a small portion of the rear				
3. Premises affected are in a <u>CS</u> zone and from the T	own of Orangetown			
Tay man, the property is known as Section 77.15 Block	k 1 Lot(s) 3			

- 4. There is no state officer, Rockland County officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.
- 5. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of <u>ORANGETOWN</u> in the petition, request or application or in the property or subject matter to which it relates:

(IF NONE, SO STATE)

a.	Name and address of officer or employee NONE		
b.	Nature of interest		
c.	If stockholder, number of shares		
d.	If officer or partner, nature of office and name of partnership		
e.	If a spouse or brother, sister, parent, child, grandchild relatives of such state, county or town/village officer such relative and nature of relationship to officer and office, interest or participation or association having a business entity sharing in such ownership.	or employee, state name and address of employee and nature and extent of	
f.	In the event of corporate or limited liability company of and stockholders of each corporation or members of more than five (5%) percent of any class of stock or r interest, must be attached, if any of these are officers or of the County of Rockland, or of the Town of Orange	each limited liability company owning more than five (5%) percent beneficial s or employees of the State of New York,	
	I do hereby depose and say that all the above statens submitted herewith are true, knowing that a person vection is guilty of a misdemeanor.	ments and statements contained in the who knowingly and intentionally violates	
	Signature	Me	
	Mailing Address	: 463 Livingston Avenue	
		Suite 102-166	
SW	ORN to before this	Norwood, NJ 07648	
	23-cl day of)(Inu(1vy , 2024		
R	mittans run	}	
	Notary Public	BRITTANY NUNEZ Notary Public - State of New York NO. 01NU6421797 Qualified in New York County My Commission Expires Sep. 7, 2025	

AFFIDAVIT

State of New York)					
County of Rockland) SS.:					
Town/Village of Orangetown/T	appan)				
I, ANDREW ROSENBERG being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the HABR (board) in the town/village of Orangetown/Tappan affecting property located at 77 Main Street, Tappan, NY 10983, Rockland County, New York. That the following are all of the owners of property (distance) from the premises as to which this application is being taken.					
SECTION-BLOCK-LOT	NAME	ADDRESS			
77.15 - 1 - 3	NC 77 MAIN OWNER LLC	77 Main Street, Tappan, NY 10983			

Reimbursement for Professional Consulting Services

The Town/Village Board, Planning Board and Zoning Board of Appeals in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with such charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village for the cost of such consultant services upon receipt of the bill. Such reimbursement shall be made prior to final action on the application.

Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full.

Applicant's Signature:

SWORN to before this

23rd day of January, 2024

Puttany Nunt

BRITTANY NUNEZ
Notary Public - State of New York
NO. 01NU6421797
Qualified in New York County
My Commission Expires Sep 7, 2025

KEVIN BRODIE ARCHITECT 218 SPRING STREET MONROE, NY 10950 TEL: (845) 928-2504 FAX: (845) 827-6123

EMAIL: KBROD7@OPTONLINE.NET

January 12, 2024

Building Inspector Town of Orangetown Building Department 20 South Greenbush Road Orangeburg, NY 10962

Re: Partial Demo and Foundation Remediation

Next Chapter Equities, LLC 77 Main Street Tappan, NY 10983 Tax ID# 77.15-1-3

Dear Building Inspector,

After months of careful planning and consultation with a Structural Engineer and contractors we have decided to do a partial demolition and reconstruction. We met with the Historical Areas Board of Review on July 11. 2023. At this meeting we explained the poor condition of the foundation and wood frame structure. One option was to demolish the entire structure leaving only the front wall intact. The Historic Board was fine with this as long as new construction matched the materials and details of the front wall.

We have decided that this was cost prohibitive and have taken a hybrid approach. The rear one story shed roof additions will be demolished in their entirety. The Foundation Demolition Plan on drawing D1.00 enclosed shows numbers '1' through '5'. This was the order of additions with '1' being the original building. This structure was constructed as a two-story post and beam structure with a shed roof around 1830. In the 1860's a two-story addition (section '2') was added to create an L-shaped structure. The addition included a new gable roof on keewalls constructed over section '1'. Sections #3, 4, and 5 were added on in that order from 1880 to 1982. They are all one story and all in poor condition.

The attached plans show Sections #3, 4, and 5 being demolished in their entirety. A new one story structure with a full basement for Utility / Storage use will be constructed here. The exterior will have a shed roof similar to the existing. We will obtain approvals from the HABR once all drawings are complete. Since the new foundations and first floor framing will take a while to complete, we are proposing doing this work now as Phase '1'. Drawings for the remainder of work will be issued as Phase '2' in the next couple of months.



Partial Demo and Foundation Remediation 1/16/2024 Page 2

The attached drawings have no increase in height or footprint. In fact the footprint will be slightly decreased as we are pulling the left rear (southeast) side wall in 3". No work except demolition and shoring will continue above the first floor deck until Phase '2' plans are approved. The front wall, porch, and roof will remain untouched. Please call me if you have any questions.

Best Regards,

Kevin Brodie, R.A.

General Notes:

- I EMBERGEEDHERHEDAKSHALCONINCI COMMUNICATION DESIGNATION OF PROPERTY AND THE CHARLES OF ALL WORLD AND MATCHAS FROM PRODUCED AND CONTROL OF CONTROL AND CONTROL OF MODULE TO BE LEED SHOULD BE VOWER WITH THE COMER
- 2 KLONGTKINGSKLONGLINGSTRANGSKRONGSK MOTOR IN SETTINGTON OF REVOLUTE AND MOTOR IN WHICH CONCURS AND MOTOR CONTRACTOR IN THE STREET, MANAGEMENT CONTRACTOR IN TH
- 2 THE EDWARD CONCENT CONTROL SECRETARING
 DITTED A CONCONDITION RECURSOR FOR METHOD
 ACCIDED THE PROPERTY ACCIDENT SPONGED IN SHALL SE
 COUNTRIES AND THE CONTROL SPONGED IN SHALL SE
 COUNTRIES FOR THE SHALL SECRETARIES AND THE SHALL SE
 COUNTRIES FOR THE SHALL SECRETARIES AND THE SH
- & RESTENOR MOLARISON GISTOSTA DE DACE CHORD BLONCIE DATES BOTH DIRECT DATES
- 5 HECOMOGRAPHICE SOUTH REPORTED A , HE CONNECTION HERE SELECTION FOR THE SECOND HERE OF THE SECOND HERE AND THE SECOND HERE OF THE SECOND HER
- 6 manos octodos accientacios per SACTOR AND ADDRESS OF THE SACTOR AND ADDRESS DATES NO CONTRE NO CONTRO CONT NATING ELECT CONTRAINENES - DE NOW INCLESTON
- 7. AL S'AD WALLS DINENGOOS ASE HONORIA UNELLES ACITED CO-COMISE.
- 8 CONTRICONNUETVOMPRU EMPLOYOUS CONCESTICALE
 DEMPLIS HOPP MODESCOOM RESOURCES MONTO
 CONSTRUCTION
- 8 CONTRACTOR SHAFT CITOLOGYNE HE SHOW ABANT CONES
- IQ REMOR RABBOH FROM FREMEZYAS OF TENASHECESSARY OF
- 11" WE WOUNDED AND MEMBERS THROUGHT DON'T
- 12. THE CONTRACTOR SHALL HAVE RELIEFEED ONE ALL HOPCOLD FLE WHOLITE HAND TREOCOS WHAT THE GOMMET HE HE WOLDSTROP OR CLESCHE O, THEOR MORES CONCENTENT HE FF CORRECT DRIVE HOTHER CONCENTENT HE FF CORRECT DRIVE HIS TEET OR HE GOVERN
- 13 INCREMENSATION OF BEHAVIOR HOUSE WHOLE
- N NAME OF THE PARTY OF THE PART
- CA METEROLOGIS ANT HONORISM THE PRESENCE AND THE PROPERTY OF THE WATER WOMEN PARTY AND THE PROPERTY OF THE WATER WOMEN PARTY AND THE PROPERTY OF THE PROPERTY
- IS, ALLEPONE WATERALS FOR FORDERS SOFTES OVERANCES.
- 17, WOODGOOD PARASHLEEN SHILLED ON PHINESCONG
- 18. Be concerned enter an improve terresol schiege ferte forchoppe sol companion wedging of state forchoppe and statement terreson in concerned terresol
- 19. AL DENESSAL SERVAL SO MOS LONGUESTED
- 50 Operative properties and the incorporation and the GUATH VEZOCINICIES BETTANÉ BACOSTEZ MATACHES BETTANÉ
- 21, CONTRAMENDADALISMENTALO HOMATON
- 22. SOF CHICLES MOVE ADMINISTRATION OF THE PROPERTY OF
- 23 WORLD ACCORDING STANDARD COLLEGE CONTROLS.
- 54 ANTENESCRING COURS IN SECURISM SECUR
- 25, NR TREADERS TO BE UT PASE TO READ PROJECT PRODUCT
- 26 ALDOOR ADMIDS TO UN GUED SHOOT TO BE ASSUARD.

- 27 KLINT KALKING BERKUMBURK DE WAYE WARE FOL OR PAPELAKONG, ROMAGE BENEATED S ALBEOT & CLAMORE ABOVE NOLLATOKIN EX
- 28 MONE COMESTION O DESPRESA CONTRA MONE DE SONO DE LA MARCONTE DE LA MONE SONO DE SONO DE COMESTA MONE DE LA MONE DE LA MONE DE SONO DE LA MONE DELA MONE DE LA MONE
- 29, INTRODUCES A WHOMPE TO DE SELECTED OF COMERTER
 227 INCREASED CICCOMMUNICATION
- 20. RESPUCIÇI WONSCHLED ID HIM EDIFERD OLISS CODE AND EMPERO COLOR DANS RESPUENTO PROTECTICA DESTRI NON COMPUTED E MEMBRINO PROTECTICA DESTRI NON COMPUTED E MEMBRINO PROTECTICA DESTRICA DE LA COLOR DEL COLOR DE LA COLOR DEL COLOR DE LA COLOR DE L
- 31. ALGUNG WIND IN OF PHONE ROOM UNE TO ME
- 32. KTOO MICE TO HIME HIS TO CLE CONSEST TO CLETCH AS 31 ALLUMERATOLIDOROEDIS MONOPOLIS DE PRESENT

Struc. Framing Notes:

- PROPERTY AND A SCORDING PROPERTY OF STREET PERFORMANCE PRINCIPAL PRIN
- 2. ALL FLORING MICESHALL MINISTERS AND STANKS
 AND AND STANKS MINISTERS AND STANKS
 STANKS OF STANKS MINISTERS AND STANKS
 STANKS OF STANKS MINISTERS AND STANKS
 STANKS OF STANKS MINISTERS AND STANKS MI
- AL FAMILIES SERVICE PRINCE SERVICE MARCHE
- COMMUNES ENTER PROMINENCE OF LEAD TO FOLKNOON

 SHALE MONEROR DE LEADE OF COLUMN INC. SOLD

 MONEROR ENTER PROMINENCE OF LEAD TO FOLKNOON

 MONEROR ENTER PROMINENC
- 5. ALI OPPREENT ROOM CRUING OF TO HAVE COURSE
 HACKES MO PRIMEDS LINEES COMPREE NOTES.
- 6. PROVIDENTIA SECONO CAMPIONES TORRON SECONO AT NO SANCIO PROSE COSTE SHARRON DESANCE CREATER THAN IN FL.
- 7. AL MODERACECONHOCES TO BE OF 12 UNESS
- A STREET SOURCE SAND SECTION OF STREET STREET
- d' squit muche sez el el bellez mass antiso

Demolition Notes

- 1. ACMORESEVOLADISELECCORONICE MAPLAGADA COOPENANO HERINOCCONSTRUCTOR
- 2 COMPANY SHIP VERY PRODUCTION OF HIS HOST PRO-FECT
- A MENTALOPHOLOGISTRUMENT FLACTIFES, MONTE STACKER ASSESSMENT OF THE SERVING STACKER.

 STREET, ASSESSMENT FOR SOME BODGER.

 STREET, ASSESSMENT FOR SOME BODGER.
- CLAS OPERADOS RECUESTO DE COMERANASTREYS SAFTY OF SUPCRUPS MARKES DE DERROTOS. DAS PRECUEDOS DO PROFERY EXPORT STRUTUSE. CONOTIESAS OFFRADOS DAS SAFTY GREGOFIO.
- PROVES HOMERIAN BEFOLES, LIGHTS AND CLASS ROPE OF APPLICACE PROJECTED FORCES TO PROTECT COLUMNS OF REAL MONERS NO PROTECTIONS.
- 6 MANUEL MODES FOR ESCONESTINO FOR CHARGE AND CHARGE AN
- 7. EDICLEM IN OFFICE MODERN MANUFACTURED TO ACCORDING BOTHOR INCLUDED THE FOLLOWING CONCLOOK OF DISTRACT RELIEF, MOST FASTER FOR FOLLOWING MODERN FROM THE FASTER FIRST EDICLEOUS ACCORDING MINISTRACTION SOUTHER.
- **В колонализиринуссирметийныгият**

Building Standards

FOUNDATIONS

- FOOTNOS AFE DESCRIPTO TO BEAR OF TOLL HARD A MARANA SATE BLANKS WILL BE OF SIGHTY. PROPER TO CONSTRUCTION STOL BLANKS WILL SHALL BE EXCRIPTO TO THE ARCH THE STOLL LETTER. TOTAL SIEDS OF FOOTNOSS WICH ROCK WHERE RECURSED.
- 2. BOTTOMS OF ALL PRODUCES AND SHE BERNEVISING GRADE UNLESS OFFERMER HOTES, MILL PRODUCE RESPONSED TO REMODERAL CORRESPONDED COLUMN PRODUCE.

CONCRETE

- ALL CONCRETE SHALL HE PLACED IN THE CRIT INCOMPRETE SHILL BE RACEDIATE HAN BE UPLIED WITE LEBONS BOOM CASS! CONCETT HIS THAT POSICION WHOLE SCARCION AND ROMOUSE.
- 1 SPACE OF STATE OF S
- A MENGGENERAL HANG J CONTINUENCE OF CONTROL
- Overes national busy on strains partient of the control of the con
- ALC: A SEC CORNERS OF CONCRETE FOCUMES (AS C STOLUMELS MONEE WHO SO WHO EX TO ME STATE STATE MONEE HI 14-7 CORER BIRS HE DONING AT STATE STATE AS HONORING NEW ORIZON
- MORE CONTROL STRITTEN WAS NOT AND GROUPS THE WALLS AND CONCERT SUBJECT REQUEST PRIMER AS STROPED TO. STRUCKUM BROWERS

CONCRETE FOOTINGS

CONCRETE SECONDAIS SHEET, WHILE AND SHALL SCAMPERS A EMPORANCE MET USES THAN THEIR HOUSEAN AROUND A CONCRETE SCAMPE SHALL SHOP AND A THEORY AROUND AS EMPORE SCAMPES SHEET WOTER POLICE SHALL SHALL CONCRETE FORMES SHEET WOTER CONCRETE SHALL SHALL SHALL SHALL SHALL SHALL A MONOCON CALLEST SHAN AND A DUTT SHALL SHALL SHALL A MONOCON CALLEST SHAN AND A DUTT SHALL SHALL SHALL A MONOCON CALLEST SHAN AND A DUTT SHALL S

CONCRETE SLABS

CONCRET SAS ON CRICE SHALL HAVE VARIANT HORISS OF F. RONDE PRANCESS SON RALIFE CHARGO, CONSAL PRINCE RB MONTH REGICED TOWN RAISE EMWECH, CHIESAI PRANES OF EACHERS COURTS AND SPECIAL OWN THE OF EACHERS THE WORLD SHEET SPECIAL OWN CRED TO SPECIAL OF EACHERS. RAI WICE SHAES SPECIAL COUNTRIES TO SPECIAL

MASONRY WALLS

PROFIT PROTECTIONS

AL MEDIA POLI EL POLICIES MANDI FILIDA FORMI LIST HAN FORT-CO-FIR POLITA MERCALUMO, AND SI-AND IR CONSECUDIO PROMI TO SI-TRE CALCUMOS. LANG MINI CHEFFARME OR RECIR HAVE TO COLORIE CAND TALLO DIRECTES TO PROMI TROCHE CON-COMO TALLO DIRECTES TO TO TROCHE CON-COMO TALLO DIRECTES TO TO TROCHE CO-FIR MENCACIO ELECTRICA TO TO TROCHE CO-FIR MENCACIO ELECTRICA TO TO TROCHE FORMI MENCACIO ELECTRICA TO TO TROCHE FORMI MENCACIO ELECTRICA TO TO TROCHE MENCACIO ELECTRICA TO TO TROCHE MENCACIO ELECTRICA TO TO TROCHE MENCACIO ELECTRICA TO TROCH

MISOATHRUS AUT PAFERONG DYALES SICURES ANOVERDOR BOADD AI FORISHERDE DATHRUPECT BY ONE OF THE FOLLOWING LEBOORS - MISH WHO BE GOOD DIE AL HASSEL HE FATTY DIE FUTCOS OF THE WITS AT THE RESPUEDIONIS FALE. HAT BE VICENTE OF IT DATES IN THE REPORT OF BETWEEN THE BENDERING THE MENDERS HAVE BENDERED HE WAS A STATE OF BETWEEN THE BENDERED HE WAS A STATE OF BENDERS HE WAS AN A STATE OF BENDERS HAT BENDERS HE WAS AN A STATE OF BENDERS HAT BEN

BEARING:

BENK CHOTA MOCHANI CONCOMMETTI LÜNCS SHILL BE PROVECCI YENIK BURNIÇCI SELDI LASONIK CENCLUL BUR NASONIK FILLDI SELDI HERLIMBELNI YENIYI CONNICENÇ SINDIGIN ETRETUT RILL HEGIN O'N HOLL CHARZ

CANCE SHITME FEEL PROJECT UNECODING MONTON CONFORMACE TO A SELL CODE THE SENSIAL GREATED AND CODE AT 18'D.C. CACHINAL MICH CACHAIN PLATTE SCREAS, MICTAY, PLASHIC

STRUCTURAL STEEL

- ALSPERTANCISTS DALLE CONSTRUCTOR
- ALCOMECTORS TO REFED MO SYSTEMS NO TO
- 3. NO SPLICES PERMETRO LINEES APPROPRIO NE DICAPETA. MECHTING LOSS FOR VOCAGE MECHTING WITH AND WITH
- POPOSI AL SELLI SEE MINTESSALI MENDIO PROP DESCONDANE POLICIA MILITER MINISME PROE TOLOI LIVAL NODE NO MINISME MEDINAN RESINE.
- & BOLTS SHILL BE HONSINGHODHODHODHOG IQAS I LLAIZE.
- 7. WELDING BETCHCOES SWELD CONFIDENCIAL THE MISS LA HAZZ SENES, MEFERTO PLANE FOR LINE LONG HID WHO VELOCURES
- MELETE SWILL CHRITCHEDIEL OF GLIEFICHERINE HE FAL OF HIST IS HOME WOLK HE MAS PROCEDURE FOR HE FAL OF MORROUGHED.
- ALEPOSE FEE SHILL E CACHO BACO- HORELO HA
- FOCUS CONDUING BYOCH CHARGES IO MIT OF NO.

 TO SOME DIE ZUEV VENENDALE DEN FORMER IO MIT OF NO.

 TO SOME DIE ZUEV VENENDALE DEN FORMER IO MIT OF NO.

 WE SEASON ZUEV ZUEV ZUEV ZUEVEV ZUEVE ZUEVEV ZUEVE ZUEVEV ZUEVE ZUEVEV ZUEVE ZUEVEV ZUEVE ZUEVEV ZUEVEV ZUEVE ZUEVE ZUEVEV ZUEVE ZUEV

WOOD FRAME CONST.

ACCOMMENT REVIOUSLESS AND CONTROL OF THE PROCESS AND CONTROL OF THE PROCESS

NESTS OF SPECIAL NEWSFELD AND MAKE NEST SPECIAL AND MAKE NEST ACTUAL NEST AND MORE NEST AND AND MAKE NEST AND MAKE

RESTRICTION POSTS AT EQUATES STRUCTURE POSTS BARS AND A MANUAL SANGERS OF FOUR PLACES.

HERCHARIENA IO IGNOCES IIMPE UN CANDIN

DICACINO LUMBO: EL TICACINO LUMBO PROMODERTRES-OST COMONICA al demonstrative from the property of the prop

PATTAMENTS AND HAND THE PASS HOUSE TO BE ST SEPTIMENTS HE MAND TO THE PASS HOUSE TO BE ST SEPTIMENTS HE MAND TO THE PASS HOUSE TO BE ST SEPTIMENTS HOUSE HE CONNECTED TO THE PASS HOUSE TO SEPTIMENTS HOUSE HE CONNECTED TO THE PASS HOUSE SEPTIMENTS HOUSE TO THE PASS HOUSE TO THE PASS HOUSE SEPTIMENTS HOUSE TO THE PASS HOUSE TO THE

BNCHL RECORDERORS SHE BE COMMENT OF NET ITS READERS CHRESSON BNCH PROPERTY SHESS SHESS SH NET ISS READERS MEMOLITH FOR FEAR FACE SHESSES COMMENCE SHOWS MEMOLITH FOR SE SHESSES WE'VE THE DECORD SHESSES CRAFT SHEMPS

AT GRACE MICHELTON, ALL ÉTERDA NOCIO PRIMEROFA, MACRICAS ESTRUCTURAS, DANS LA EMPARTICA DA ANTROLO PROMOCIO PRIMERE DA L'ALAST ESCAT, ANDROCA POR DE PRESENCIO DEL CONTROLO PRESENCIO DEL CONTROLO PRESENCIO DEL CONTROLO PRESENCIO DEL CONTROLO DEL CON FELL BE MONDORD, SCHOOL FELL FERHOL MC SHART FLOOR AND SHART FLOOR FOR FOR FOR FAIR FLOOR FOR FAIR FLOOR FOR FAIR FLOOR FOR FAIR FLOOR FAIR FLOOR FAIR FLOOR FAIR FLOOR FAIR FLOOR FAIR FLOOR FL

SHEATHING

THE WAS ENGINED TO REPUGNISHED SANS THE SANS THE

APLICACION DE TIME INCRION GINCER LIST, COSTS SPONG IN OLI: COSES SPILLEE ROCCIO REPULLINGIS ON CHE APPRICIO TIME OF COSES APPORTS, CHERICA THE SPILLE IN LIST MACHICACO DE MONTHE IN COST APPORTS FOR JOSE ACOMENIA LE PRIVICIO DI RECONDE COMENÇ TIL

ET ROLLAN SWINKED EXTROPORTOL WAS THE PROPERTY TO SHOWN OF OLD -EDGE SHOWN ET RODGE WHILLIAGE ON ON-HITCOM SWINKED EXTROPES HICK (SWINWILLE TO SHOWN.

FLASHING

AL ICOS TO THE INTERFECTOR & POOR VILLES TO GET ALLEGAM COMPLOR ASSOCIATION OF PROJECT THE PROPERTY OF THE PROPERTY OF THE PROJECT OF THE PROJECT OF THE PROPERTY OF THE PROPE

PROTECTION AGAINST **DECAY AND TERMITES**

AL ROOM COLUCT MER DE CROAD MOOR EFFORMA

TOTAL CONTROLLED OF INFORM TOTAL SELECT ON VEHICLES BET CONTROLLED OF INFORM BENCHMOND WITH BITH MODIFIED CLIMETTZ HANDER BENCHMOND TOTAL FREINGHOTT BE THE SETT FANDER SELECT ON TOTAL CHARGE BENCHMOND SELECT ON TOTAL CHARGE

ELECTRICAL

LONDOGGATISM MOGINESHOOM

- 2 AL SAFORE DE LA MORRO-ER CONTRODUTATE (F
- AL COMPLEXE CORETS ARE TO BE 1-2 MOST PARSET, ROOK TO CONTRAIN OF CORET DICESS CINEMASS HOURS
- TOTAL SOME STATE STATE SHOW AND STATE OF THE STATE OF THE
- 5 ALLIENCA MILEMOTHICASTORIA DE MARACERISMO ROMTO CENTRALE OF TRIBELLONO
- 6. SHOULD DETECTORS SHOULD BE HERE TO SET HER TO SOULD ALARM ANC SE AC HANDAMED SERVENTIES BACKLES.
- 7. VEND LOCATIONS AL RECURROLS FOR APPLICACIONINA
 MINISTRAÇÃO PROPERTORS
- SCHENCE CARECONERIES SOME MANDE CARD RETURNS
- S-41 SEN D-E-NET ON NAMOOS OF DISTRIBUTED OF THE MICHAEL OF THE MILES WORDS MICHAEL DE MENTANCES OF THE MILES WORDS MILES OF THE MILES EDENT CORNECO NO NOTICE, OL NW CONFICE?
 DISC BICTURO FOR MARK BARRETON NO DATA FORM.
 FILE STICKEN CONTRACTOR DATA CONTRACTOR ABOUT
- 11. GOLADIALI MURLUG PALLE MONCOLURLE MONCOL

HVAC

- THOUGH IS MAKET.

 HAZORNOMOSTERISE D'ELS HOMORE DA DAMES ON THE CAMPACTURE OF THE SAME WAS TO ANOTHER TO AND THE SAME OF THE S
- ST-CO-COCK CO-COCK PASS MAN MAN CO-COCK TECHNOON INFOCUSE SPENIOR CONST.

 VALUE CONTROL TO SPENIOR SPONIOR SCHOOL CONTROL THE SPONIOR SPONI
- AT HIS CONTROL HOUSE HORSE SHIP CONTROL HOW HE HAND STATE WELKE HOUSE COSTS

PLUMBING

AL PLUGGER REPORTED BE SEETED OF COMOP MONED I

2. ALTOWARD TO COMPUTED THE SEPTEMBER GODE OF HER

NOTES:

- THE FLUID MOST COPICIONS WE HAS INDICATED TO A SHEET HAS MOST COPICIONAL OF CONTRACTOR WILL SHEET THE CONTRACTOR WILL SHE WILL SHEET THE CONTRACTOR WILL SHE WILL MI POOL AND TOUS TRADE
- 2 ALSTROTARE ARE DESCRIPTIONER AND TEMPOR CONCE OF ESTIMATED AND PART OF ESTIMATED AS TO CONCENTRATE AS TO C RESTING DANCE.

 RESUMMERSON FORMS RENED WENDER! NOTHING THE WASHINGTON TO WASHINGTON WORK TO A SECTOMERS WENDERS WENDERSON TO WENDERSON WENDERSON WENDERSON WENDERSON WENDERSON WASHINGTON WASHINGTON

WINDOW INSTALLATION

WOODIES SWILL BE POTELLES MO PLES COM MODORNACIONAL THE WARPHONDRIS WINTEN SETULIATION STRUCTURE WATERS BOTH AND REPULTATION SWILL BE PROVIDED BY THE WALFACTURES FOR FACILITIES ONLY.

2020 ECCCNYS -

COMMERCIAL PROVISIONS

CELEMENTS STANKER	
ASSOCIA	PER VALUE DESTRUCTO
	U034
	439
	1324 · 014
	6B
	THE PROPERTY AND PROPERTY
HIME TRACEMENT FOR	UR ON CRUET \$22.14 FL

- NOTIONS SHELL HERE AND HAVE NATION FAIR OF ELS COLLEGES TO, OF CHOCK CONTINUES TO TO COCK STORES SHELL HERE AND HAVE HAVE ON FAIR OF LES CONTINUES TO, OF COCK STORES SHELL HERE AND HAVE NATION FAIR OF ELS STORES SHELL HERE AND HAVE NATION FAIR OF ELS CRAST, OF COOR
 COLLEGE COOPERATE AND AD MICROSIS INC. COOPERATE
 SETNED WILL CHARLES AND THE COOPERATE SET

NACE DOCT COLUMN SE SEXEMOR TO SHEET AS SECTION OF THE COLUMN SE SALE DANS COLUMN SE ASSUMED THE SECTION OF THE SECTION OF SALE DANS COLUMN SESSION OF THE SECTION OF SALE DANS COLUMN SESSION OF THE SECTION OF SALE DANS COLUMN SECTION OF THE SECTION OF SALE DANS COLUMN SECTION OF THE SECTION OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE OF THE SALE SALE DANS COLUMN SECTION OF THE SALE SALE

C SISTEMATE OF PACEUTY SECURITY TO A LONG FOR A SIGNAL OF PACEUTY OF PACEUTY

NO-LUPICATIA DOMESTICA PROPER COMPONE RESTROALS, AND COMPINES SOURCES IN COPPER COMPONE RESTROALS, AND COMPINES RESOLUTIONS.

Building Codes

COMMETCH CITED HOMICE

- . 200 Bis December Of NOW 10th State - 227 MARTIN CONCERNATION CONSTRUCTION CONTROL AND THE PROPERTY OF A STATE OF STATE EXPLINATION OF NEW HOM STATE · ZED MED HANCE COOK OF NEW YORK STATE
- THE 19 METER PART GOD DECROT COOL COUNTY OF THE PROPERTY OF THE

TOTAL STATE CONTROL OF STATE CONTROL

OFFICE CONTROL STATE CONTROL

OFFICE CONTROL STATE CONTROL

OFFICE CONTROL

OFFICE CONTROL

OFFICE STATE CONTROL

OF

Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC 350 Pine Lane

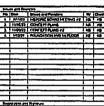
Haworth, NJ 07641

TAX MAP# 77.15-1-3

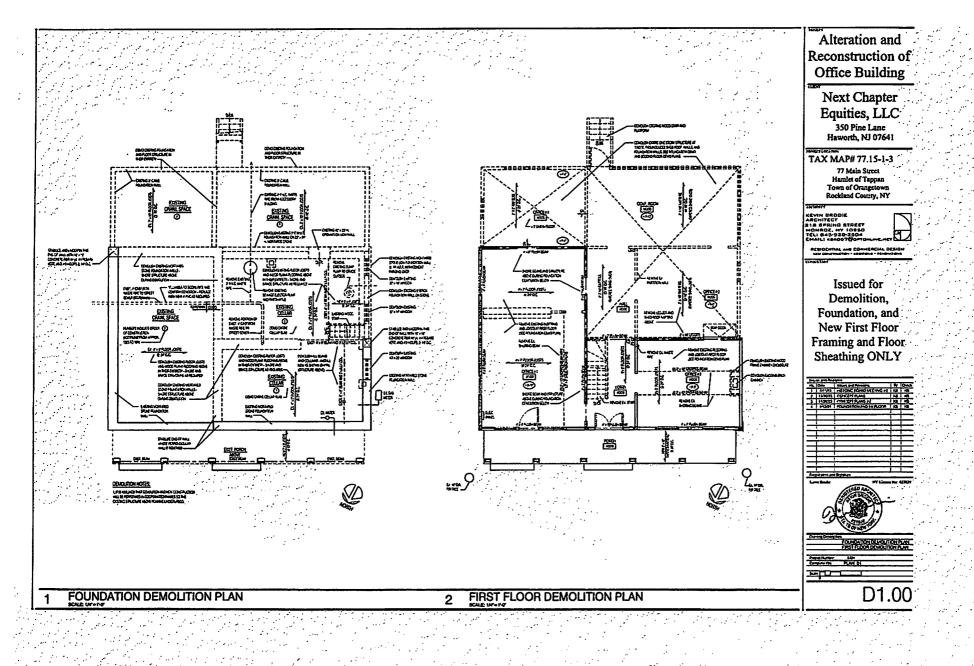
77 Main Street Hamket of Tappan Town of Orangelows Rockland County, NY

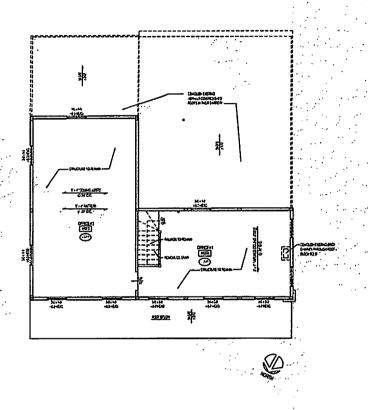
KEVIN BRODIE AECHTEUR STREET
ARCHITECT STREET
HARRIGE MY 10980
EMALI SAROTOMPHUMA,MET
ACCOUNTIEL AND CONHERCIAL OCCUM

Issued for Demolition. Foundation, and New First Floor Framing and Floor Sheathing ONLY









Alteration and Reconstruction of Office Building

Next Chapter
Equities, LLC
350 Pine Lane
Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

KEVIN SRODIE ARCHITECT 216 SPRING STREET MONRUE, NY 10780

RESIDENTAL AND COMMERCIAL DESIGNATION OF THE PROPERTY OF T

(indictor)

Issued for Demolition, Foundation, and New First Floor Framing and Floor Sheathing ONLY

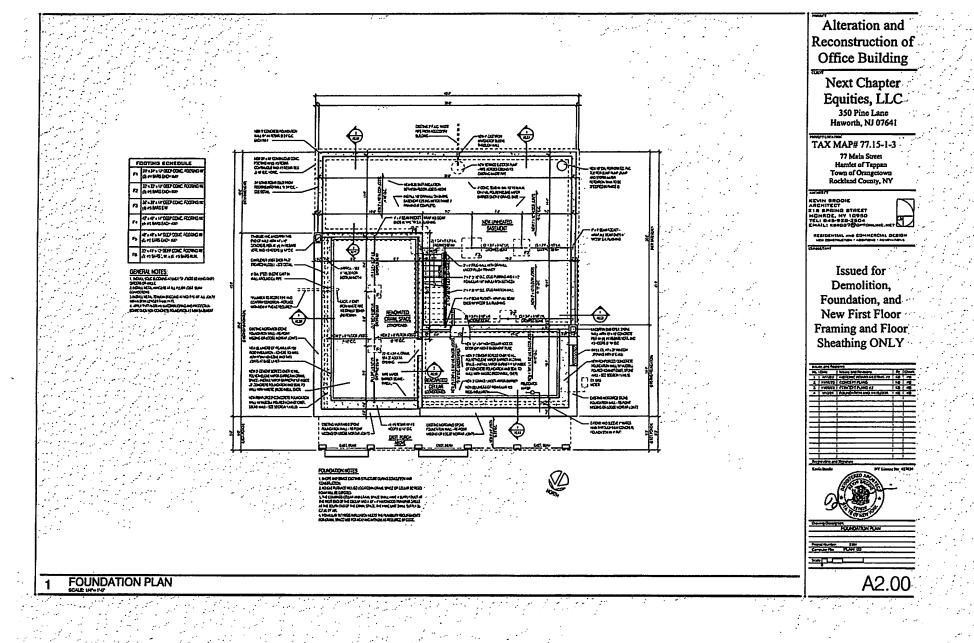


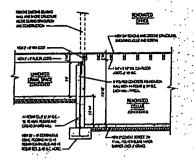
SECOND FLOOR DEMOLITION

Cyreary Re PLA

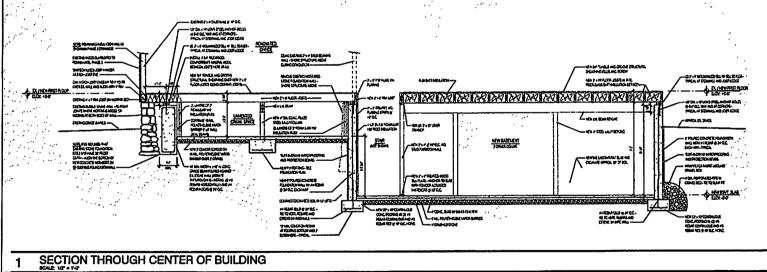
D2.00

SECOND FLOOR DEMOLITION PLAN





2 DETAIL AT CRAWL SPACE / CELLAR AT FRONT



Alteration and Reconstruction of Office Building

Next Chapter
Equities, LLC
350 Pine Lane
Haworth, NJ 07641

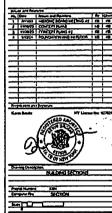
TAX MAP# 77.15-1-3

77 Main Street Hamlet of Tappan Town of Orangetown Rockland County, NY

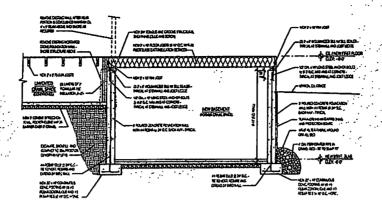
KEVIN BRODIE ARCHITEGT 218 SPRING STREET HORRDE, NY 10930 TELL BAS-928-2804 EMAIL KARDO 2004

RESIDENTIAL AND COMMERCIAL DESIGNAL DESIGNAL DESIGNAL COMMERCIAL DESIGNAL PROPERTY - PRO

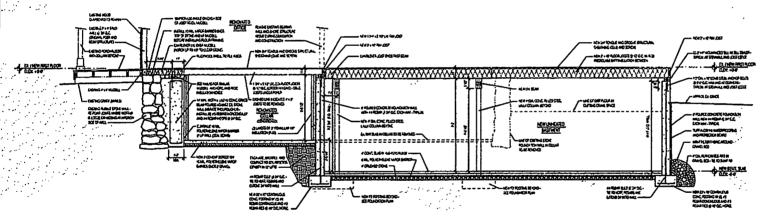
Issued for Demolition, Foundation, and New First Floor Framing and Floor Sheathing ONLY



A5.00



2 DETAIL AT LEFT REAR CORNER OF BUILDING



1 SECTION THROUGH RIGHT SIDE OF BUILDING

Alteration and Reconstruction of Office Building

Next Chapter
Equities, LLC
350 Pine Lane
Haworth, NJ 07641

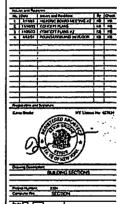
TAX MAP# 77.15-1-3

77 Main Street
Hamtet of Tappan
Town of Orangetown
Rockland County, NY

WHIT PRODE RECHITECT 18 BPRING STREET DURGE, NY 10050 ELI 842429-2604 MALL: RESHOOTOMENE.HET

PERIODAL AND COMMERCIAL DESIGNATION OF THE PROPERTY OF THE PRO

Issued for
Demolition,
Foundation, and
New First Floor
Framing and Floor
Sheathing ONLY



A5.01

Andrew L. Rosenberg Member and Manager

Joseph Panzella Member and Manager

June 26, 2023

To:

Orangetown Historical Areas Board of Review 20 Greenbush Road

Orangeburg, New York



Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. ("Property") in December, 2022 and appeared informally before the Historical Areas Board of Review ("Board") in February, 2023 to obtain clarification as the Board's scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property. Since the time of our first appearance before the Board, we have retained an architect in connection with the rehabilitation of the property and done substantial due diligence on the current condition of the Property and what would be required to turn the Property into a first-class commercial property while maintaining the historic nature, look, and feel of the exterior. As we mentioned at our first appearance before the Board, the historic nature of the Property is what drew us to it in the first place.

We have demolished the interior of the Property so that the framing and exterior walls are all visible. This was an important step in being able to determine the condition of the "bones" of the building. Once the framing and exterior walls were exposed, we performed a detailed walk-through and inspection of the property with our architect and a structural engineer. Unfortunately, what we found is a building with significant structural issues, some of which will be very difficult, if not impossible, to remedy while maintaining the existing structure. Our original and current goal is to maintain the historic nature and look unchanged on the outside while providing Tappan with a structurally sound and modernized building that will be an asset to the Tappan Historic District for many years to come.

In light of the foregoing, we have requested this additional informal appearance before the Board to discuss the possibility of taking down and reconstructing the entire building except for the front façade which would be maintained – appropriately braced and supported while the rest of the building is undergoing reconstruction. We are not yet certain if we will decide to go this route; however, prior to investing significant further engineering and architecture dollars in this project, we wanted to obtain some clarity on the options available to us.

We have included a number of photographs with narratives prepared by our architect so that you can see the condition of various parts of the building structure. For further clarity, our architect (Kevin Brodie) will be attending the Board meeting with us. Additionally, we think that it would be extremely

{02221496;1}

Orangetown Historical Areas Board of Review June 26, 2023

beneficial if one or two of the members of the Board could meet and walk through the building with us prior to our meeting to get a first-hand look and feel.

We truly appreciate the opportunity to once again appear before the Board, this time with our architect, on an informal basis to further discuss this restoration and rehabilitation. We have reattached our bios so that you have them handy.

Very truly yours,

NEXT CHAPTER EQUITIES LLC, a New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg

Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella Member and Manager

Orangetown Historical Areas Board of Review June 26, 2023

NEXT CHAPTER EQUITIES LLC

Next Chapter Equities LLC is a private investment firm seeking strategic investment opportunities primarily in the real estate industry. The firm's two principals, Andrew Rosenberg and Joseph Panzella (see bios below), have a long history in the real estate business and have pooled their resources and experience to create a uniquely positioned firm.

JOSEPH PANZELLA

Joseph Panzella has owned twelve personal and investment properties dating back to 1983. His first property was a co-op apartment which he purchased at the age of 21 and managed and rented for four (4) years before selling. Mr. Panzella acquired his first commercial property in 1984 and a second a couple of years later. He managed and rented these properties until 1998 when they were sold. From 1998 through present, Mr. Panzella has purchased and renovated multiple single family residential properties, both for personal use and for investment purposes. Mr. Panzella is a resident of Haworth, New Jersey and has been a member of the Zoning Board of Adjustment since 2014.

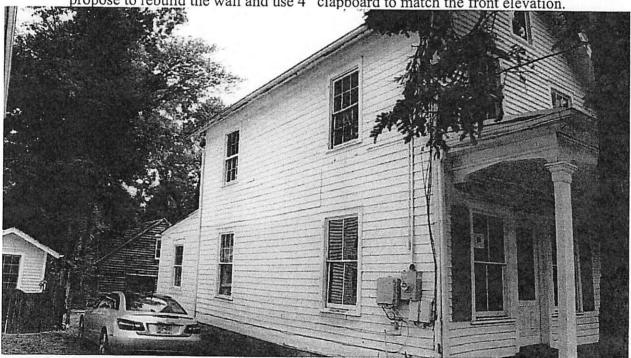
ANDREW ROSENBERG

Andrew Rosenberg has been involved in the commercial real estate business for 30 years. In his profession as a commercial real estate attorney representing owners, operators, and developers, he has structured over a hundred commercial real estate investments in various asset classes across the country and has served as a *de facto* general counsel to many clients in the commercial real estate industry. Additionally, Mr. Rosenberg has made numerous investments in commercial properties throughout the United States with positions in both the GP and LP sides of the capital stack. His investments span multiple asset classes. Mr. Rosenberg has been a member of the Borough Council and the Planning Board in Haworth, New Jersey, and has served as the Council Liaison to the Haworth Zoning Board of Adjustment, since 2011.

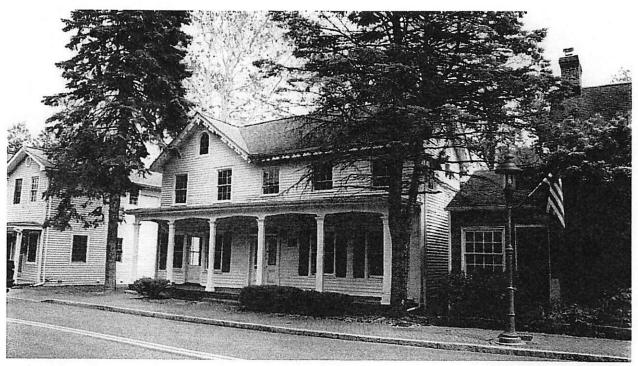
{02221496;1}



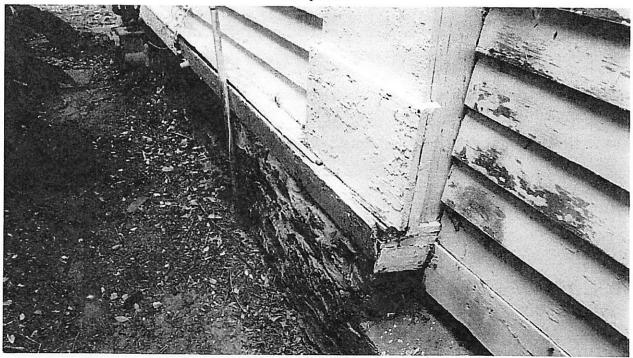
Cement Parging over bulging stone foundation at left (east) wall. Note inconsistent clapboard width from original front wall. We propose to rebuild this wall with concrete and use salvaged stone to build a new stone veneer wall to mimic what was originally there. We also propose to rebuild the wall and use 4" clapboard to match the front elevation.



Will copy windows here with new simulated divided light windows. Note the inconsistent grill patterns of 2/2 (Victorian) and 6/6 (Colonial). We will present three options, one as is, one with 2/2 at first floor and 6/6 at second (like front has), and one with all 6/6 lites.



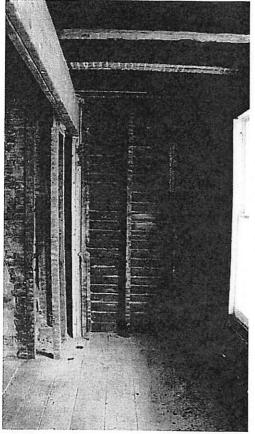
The front elevation and porch will remain as-is except for paint and new windows. We would like to add a door between the windows at the right side for symmetry and retail access from the porch.



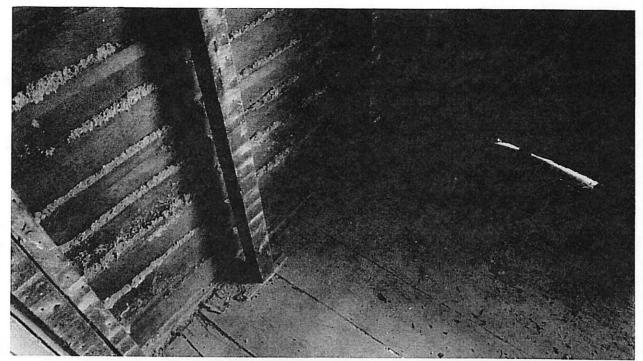
This photo shows the decaying sill plate which is causing the west wall to sink and become more unstable in the future. I propose reconstructing this wall with corner pilasters and 4" clapboard to match the front elevation. 2/3 of this wall will be demolished anyway since they were additions.



Here is the rear portion of the west wall to be demolished. One thing to note is that the west wall is located 4 feet away from the neighboring house and very little of it is visible from the street.



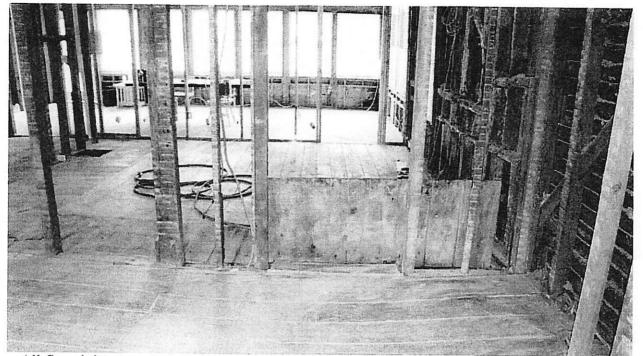
This photo shows the interior of the west wall. There are 2" x 4" wall studs at 36" o.c. spacing. The clapboard is nailed directly to them. This wall is structurally deficient, the mudsill is rotting and sinking, and there is no vapor barrier under the siding. We would like to demolish and reconstruct this will with 4" clapboard on the exterior to match the front wall.



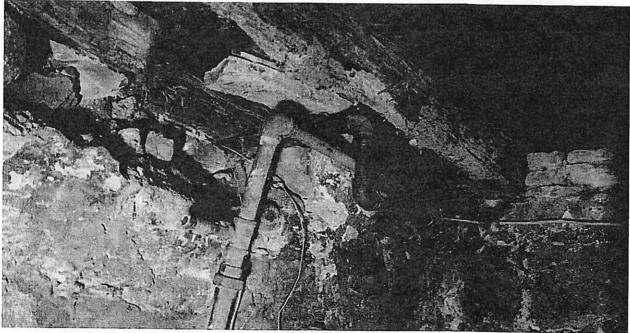
Here is a closer look at the west wall construction from inside. Note the daylight coming from under the north wall. Although not visible here due to old cellulose insulation blocking it, there is daylight coming in between the exterior clapboards as well in many locations.



This is an abandoned brick chimney that is structurally unstable and does not have proper support in the basement. We propose removing this. It is not a significant architectural element from the street and is barely visible mainly due to the large pine tree in front.



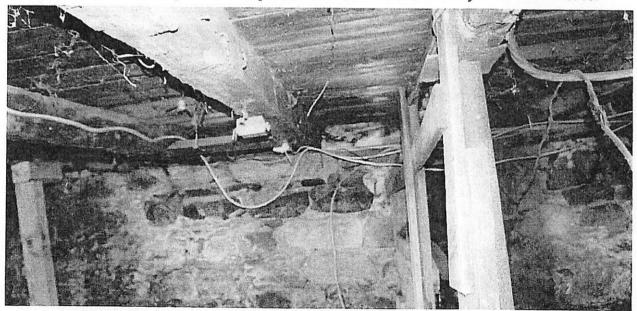
All floor joists are structurally deficient and need to be replaced. The original portion of the house shown above has a sagging and wavy floor system. Most rooms have at least 2" of deflection at the center of the floor. In order to save the floors, each room would have to have the exterior walls individually braced while the floor joists are removed and replaced.



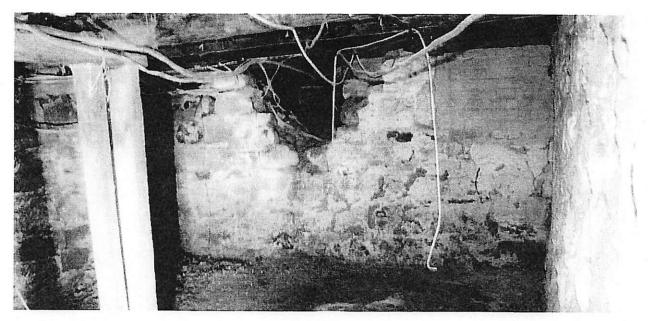
All joist ends bear on the stone foundation walls directly. Because of this, many are rotting. The only way to replace these is to install new joists on beams with footings with lally columns. In addition there is no good way to tie the new floor structure into the damp and rotted wall framing and joist ends on the foundation. Demolishing the exterior walls and constructing a new foundation will be better for longevity and structural soundness.



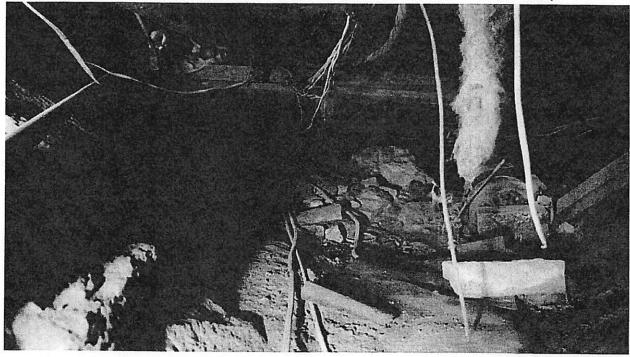
The east foundation wall (under right side wall in photo) has settled approximately 2" which creates a slope in the floor in addition to the sagging. The joists at this floor are 3" x 7" at 24" on center spanning 16 feet. They, and all joists, are seriously deficient. A beam was previously added to prevent collapse but this has not addressed any of the floor issues.



The original portion of the house (northwest quadrant) has a 20" wide stone foundation which does not have footings. There is some structural settling of about 2" present in some areas. There is 5' of headroom in the cellar here. Since the walls and floor have no waterproofing there is constant moisture and standing water in the basement even with two sump pumps existing.



This is the wall separating the original cellar from the crawl space added added at the northeast side. The existing slab needs to be replaced in order to install french drains and a vapor barrier on gravel. As noted on page 5, a network of footings, columns, and beams needs to be added to support the new joist ends as we can't bear them on the stone. This creates an issue with lateral support at the stone wall which will be difficult to remedy.



The northeast addition was constructed on a 2 ft. high crawl space with a dirt floor. This makes access nearly impossible and the floor here needs to be replaced and leveled. The dirt floor will need a vapor barrier and the entire perimeter will need insulation which will be difficult to install.



The original northwest quadrant of the building had a flat roof with tapered rafters as shown above. When the northeast portion (left side) was added, a gable roof and the front porch were constructed to create a Victorian Gothic structure. When they did this they added 2" x 4" kneewalls above the existing walls. These walls have about 1" of outward lean since they are disconnected from the structure below and have no lateral ties (see photo below). In addition the rafters are 3" x 4" rafters @ 32" o.c. which is very inadequate. The best way to repair this is to demolish and replace the rafters.



Page 8

The ceiling height in the original portion shown on page 8 is 7'-2". This does not meet building code. To raise the ceiling the joists would have to be removed which is impossible because the walls will splay outward. The amount of new wood studs, steel plates, bracing, rafters, and ties required to reinforce the existing roof and wall structure would be economically burdensome. We propose demolishing the roof and replacing it with a new roof. It will appear identical on the exterior as all rafter tails and eaves will match existing. The gingerbread trim will be removed at the front and replaced to match. Most of it can be salvaged and missing sections be replicated.

We propose maintaining the front foundation wall, front wall, and porch above and demolishing the the remaining structure. A new reinforced concrete foundation wall would be constructed in front of the stone at the north side in side the cellar. The 5 ft. cellar would be replaced with a new cellar that would step down at the rear to a new Basement. New concrete walls would be constructed on 3 sides to make a new Cellar and Basement with waterproofed walls. This would meet current building and energy codes and provide a level, stable base to construct the new building while preserving the street facade. The new structure would have 4" clapboards and trim to match the front. The present structure is a hodgepodge of 5" clapboard, 8" clapboard, and 7" Dutch lap siding. The new structure will tie into the existing facade seamlessly and bring the entire building up to present day codes which we believe is in everyone's interest.

Andrew L. Rosenberg Member and Manager

Joseph Panzella Member and Manager

January 12, 2023

To:

Orangetown Historical Areas Board of Review

20 Greenbush Road Orangeburg, New York



Ladies and Gentlemen:

We are the new owners of the property located at 77 Main Street. ("Property") and have asked for this informal appearance before the Historical Areas Board of Review ("Board") to obtain clarification as the Board's scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property.

Although more complete bios of our company and each of us are included at the end of this letter, it bears noting at the outset that we are both actively involved in our home community of Haworth, New Jersey (specifically with respect to the land use boards) and have a deep sense of respect for the value of historical structures such as those erected on the Property. In fact, the historic nature of the Property is what drew our intention to it in the first place. Our intention is to use and occupy the Property as our main office and to lease any excess space for "clean" office use.

There are two structures erected on the Property. The "main house" appears from our research to have been constructed between 1830 and 1836 with certain expansions in the 1850s. The "barn" located at the rear of the Property, south of the main house, was constructed in the 1980s. We have included various photographs of the Property, as well as a copy of a current survey of the Property, in our package for your convenience and reference.

The Property has been neglected and is in major disrepair. Among other things, our inspections of the main building, both before and after our acquisition of the Property has disclosed extensive structural issues including, but not limited to, (i) compromised floor joists and structural support posts on which the main house sits, (ii) significant slope and sagging issues with respect to the floors inside the building, and (iii) likely foundation issues although we have not yet had the opportunity to fully investigate these.

Our intention is to work with engineers and other professionals that have experience with historic structures to resolve the structural issues, fully modernize the systems in the main building and renovate the interior, and otherwise create a building which fully respects the Property's history while being suitable for occupancy as a modern office. Some specific examples of the work that we intend to undertake is:

{02165949;1}

Haworth, New Jersey 07641 • Blackacreinfo@gmail.com

Orangetown Historical Areas Board of Review January 12, 2023

- upgrade/replace all plumbing and electrical piping, wiring and systems
- install central air-conditioning
- remove plaster from the interior of all exterior walls in order to install installation and a vapor barrier to increase the energy efficiency of the main building
- upgrade/replace all windows and exterior doors to the main building to reclaim the ability to open and close all windows and further increase the energy efficiency of the main building
- replace all damaged and rotted wood located throughout the interior and exterior of the building

In addition to discussing the Board's requirements in connection with the work note above, we would also like to discuss the following with the Board:

- 1. Options and requirements in the event that further engineering evaluation leads to the conclusion that it would not be practical to make the main building safe and suitable for occupancy. We, of course, understand that the look and feel of any replacement or partial replacement of the main building would need to respect the historic look and feel of the area. We stress that this is not our intention unless necessary.
- 2. The potential to (i) install driveway pavers at the Premises and (ii) create a parking area in the rear of the Property. The driveway at the Property is only large enough for two cars. Given our intended use of the buildings on the Property for offices, it would be extremely helpful to have the ability to park vehicles in the rear of the Property. Additionally, this would alleviate the necessity to utilize street parking on Main Street which, given the proximity of the Property to the curve in Main Street where it intersects with Oak Tree Road, we believe would be a safety enhancement. We note that 67 Main Street and 89 Main Street have substantial parking areas in the rear of those properties.
- 3. The ability to add additional space (i.e., a second floor) above the one-story section in the rear of the main building. We understand that any addition would need to blend with and respect the look of the man building.
- 4. Our ability to affix signage to the main building. We would be looking to understand the requirements for signage both identifying Next Chapter Equities as the owner and for any of our tenants at the Property.
- 5. Contractor/engineer recommendations. We would be very receptive and interested to get the names of any contractors and/or engineers that have worked in the Tappan Historic District and whose work was satisfactory to the Board.

{02165949;1}

Orangetown Historical Areas Board of Review January 12, 2023

- 6. Grants/Tax Abatements and Programs. We would appreciate guidance as to any grants, tax abatements, etc. which may be available as a result of the significant investment that we will be making to preserve and restore the historic main building.
- 7. What is the scope and extent of the Board's involvement with renovations to the barn? It is our understanding that the Board's scope of involvement with respect to renovations to the barn structure (built in the 1980s) is significantly less than with respect to the main house. We would like to more clearly understand the scope of that involvement and any restrictions regarding renovations to the barn.

We truly appreciate the opportunity to come before the Board on an informal basis and look forward to restoring this historic Property and being members of the community for many years to come. Short bios of each of us and our company are attached.

Very truly yours,

NEXT CHAPTER EQUITIES LLC, a New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella Member and Manager

Orangetown Historical Areas Board of Review January 12, 2023

NEXT CHAPTER EQUITIES LLC

Next Chapter Equities LLC is a private investment firm seeking strategic investment opportunities primarily in the real estate industry. The firm's two principals, Andrew Rosenberg and Joseph Panzella (see bios below), have a long history in the real estate business and have pooled their resources and experience to create a uniquely positioned firm.

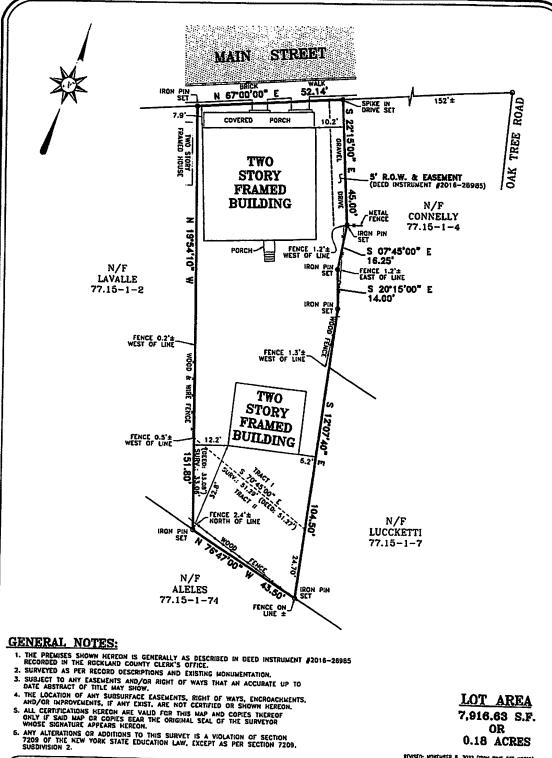
JOSEPH PANZELLA

Joseph Panzella has owned twelve personal and investment properties dating back to 1983. His first property was a co-op apartment which he purchased at the age of 21 and managed and rented for four (4) years before selling. Mr. Panzella acquired his first commercial property in 1984 and a second a couple of years later. He managed and rented these properties until 1998 when they were sold. From 1998 through present, Mr. Panzella has purchased and renovated multiple single family residential properties, both for personal use and for investment purposes. Mr. Panzella is a resident of Haworth, New Jersey and has been a member of the Zoning Board of Adjustment since 2014.

ANDREW ROSENBERG

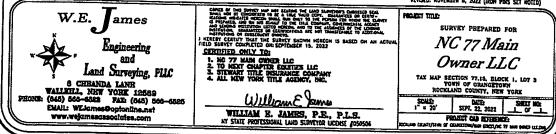
Andrew Rosenberg has been involved in the commercial real estate business for 30 years. In his profession as a commercial real estate attorney representing owners, operators, and developers, he has structured over a hundred commercial real estate investments in various asset classes across the country and has served as a *de facto* general counsel to many clients in the commercial real estate industry. Additionally, Mr. Rosenberg has made numerous investments in commercial properties throughout the United States with positions in both the GP and LP sides of the capital stack. His investments span multiple asset classes. Mr. Rosenberg has been a member of the Borough Council and the Planning Board in Haworth, New Jersey, and has served as the Council Liaison to the Haworth Zoning Board of Adjustment, since 2011.

{02165949;1}

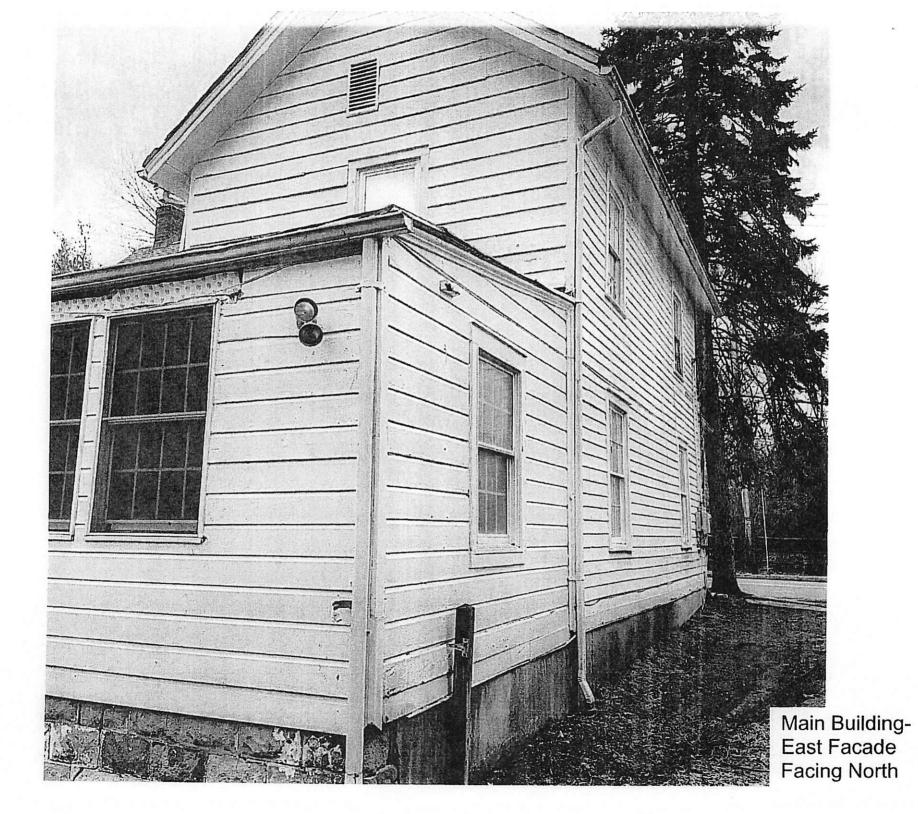


LOT AREA 7,916.63 S.F. OR 0.18 ACRES

REVISED: MOVEMBER 8, 2022 (FROM PINS SET MOTEO)

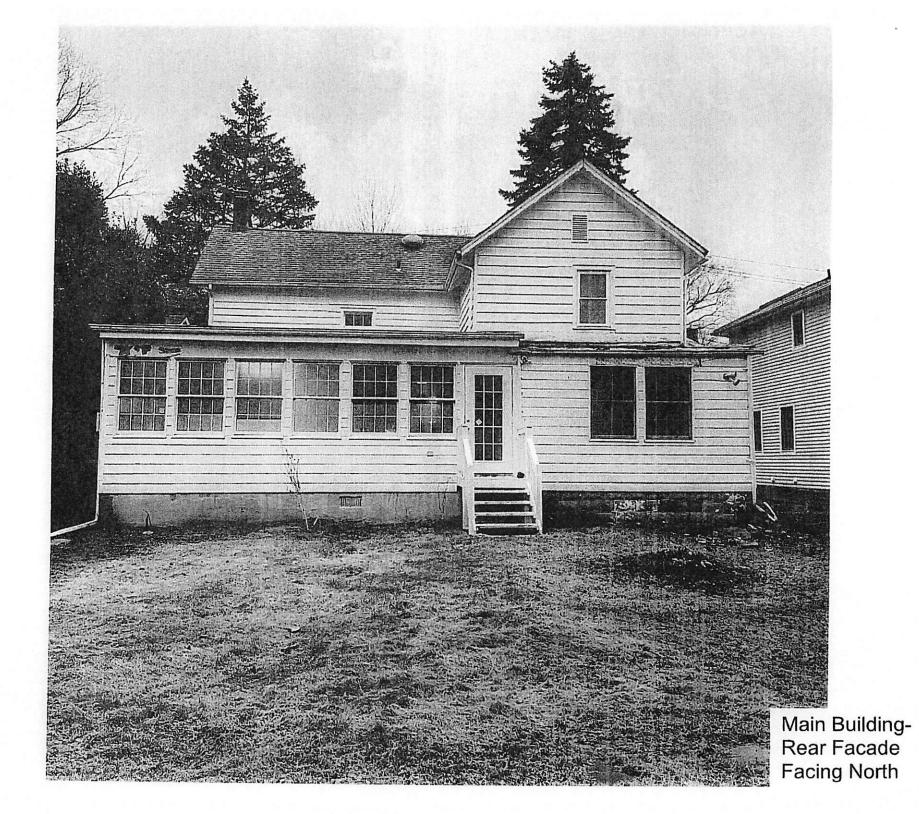


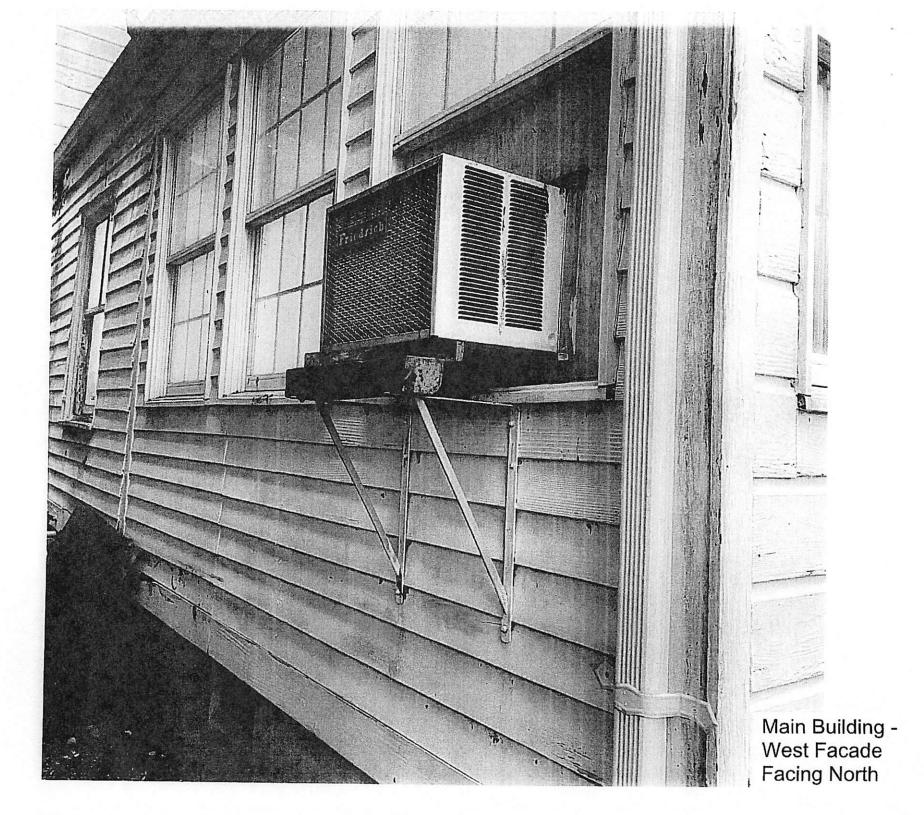


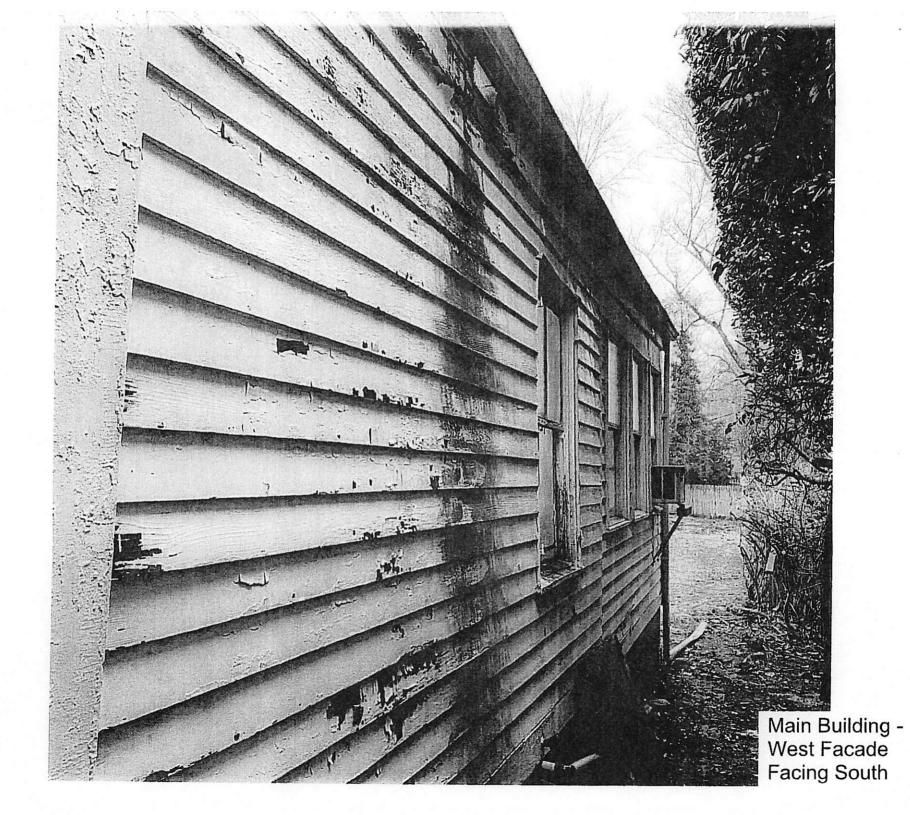


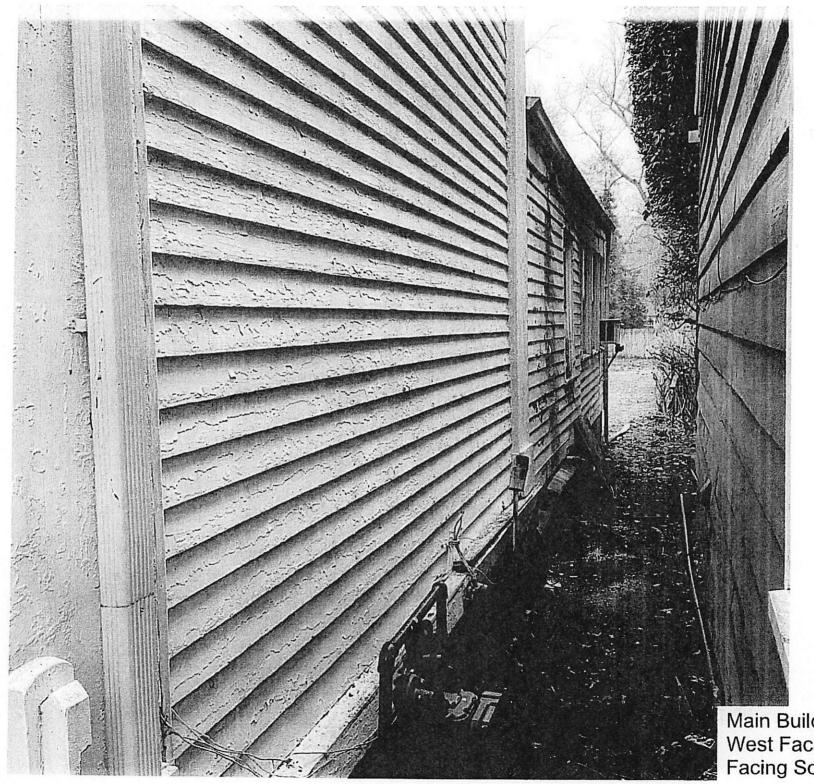


Main Building-East Facade Facing South

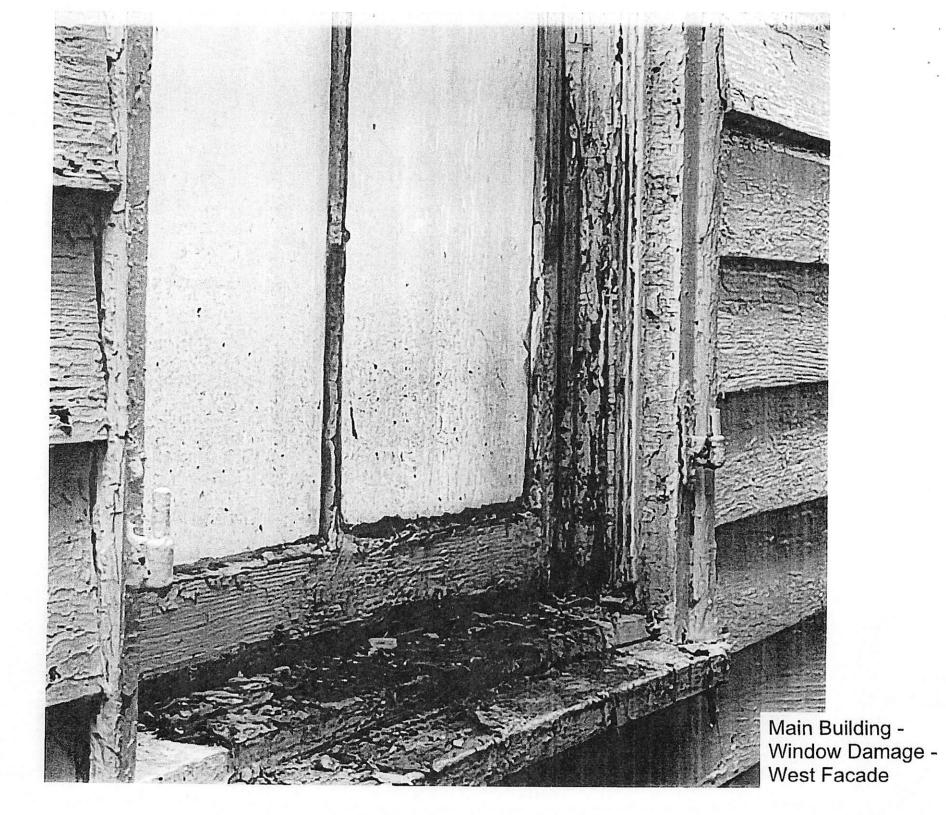


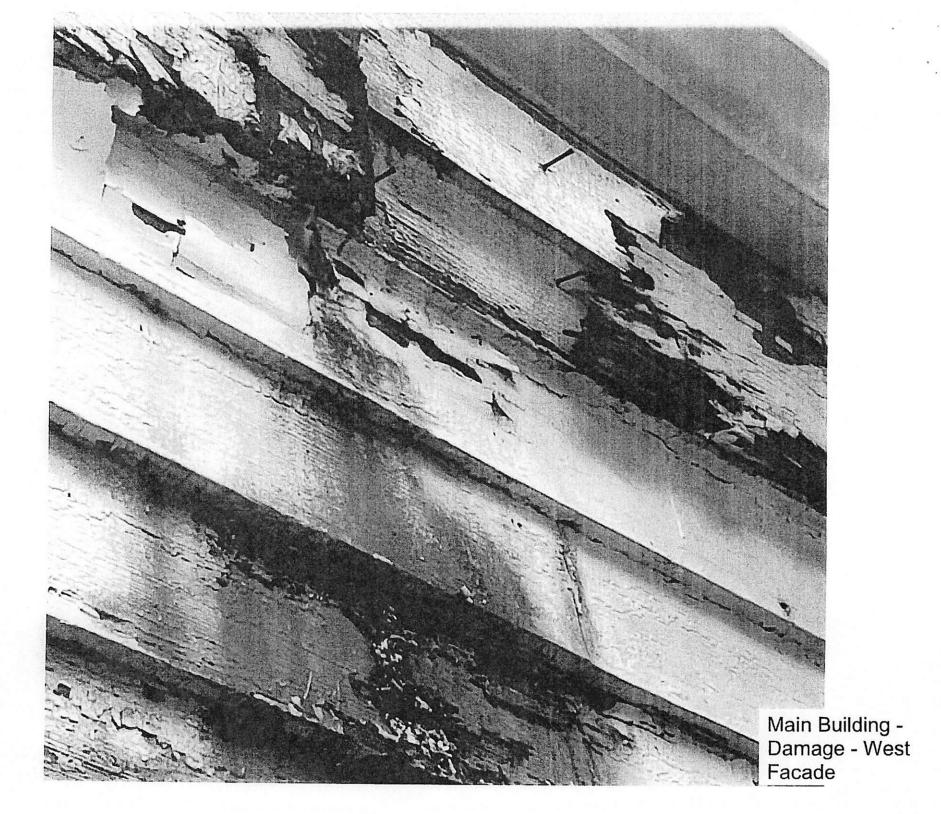






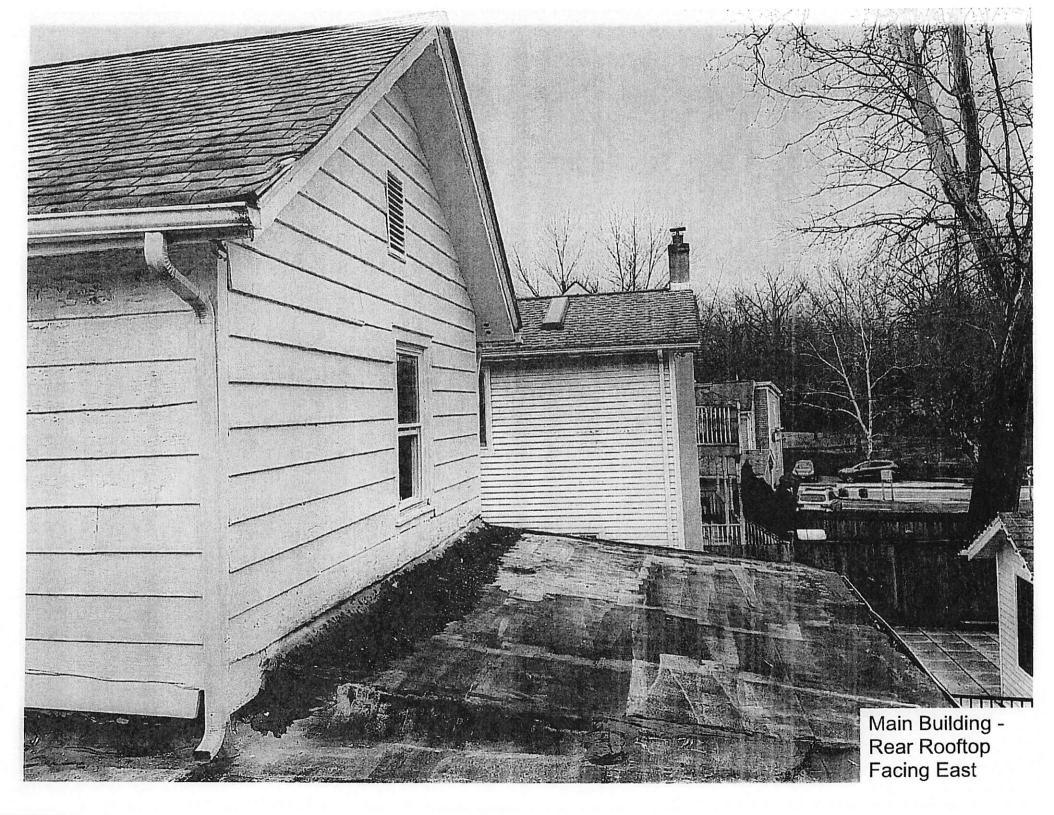
Main Building -West Facade Facing South 2



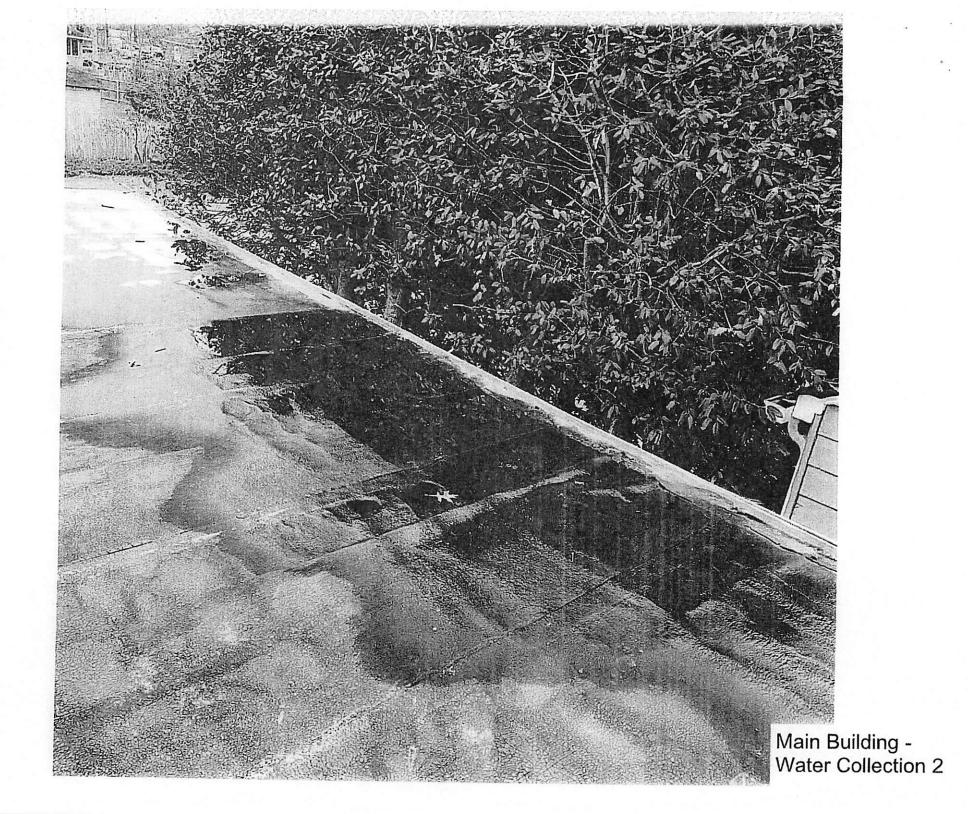




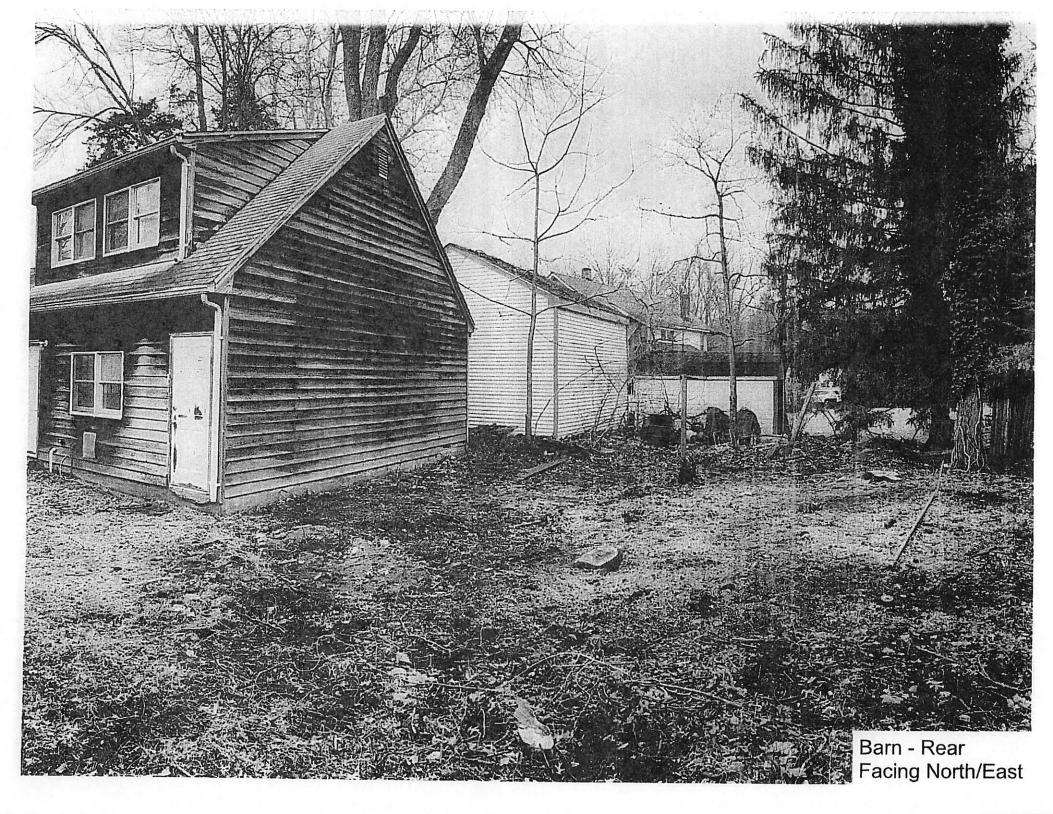




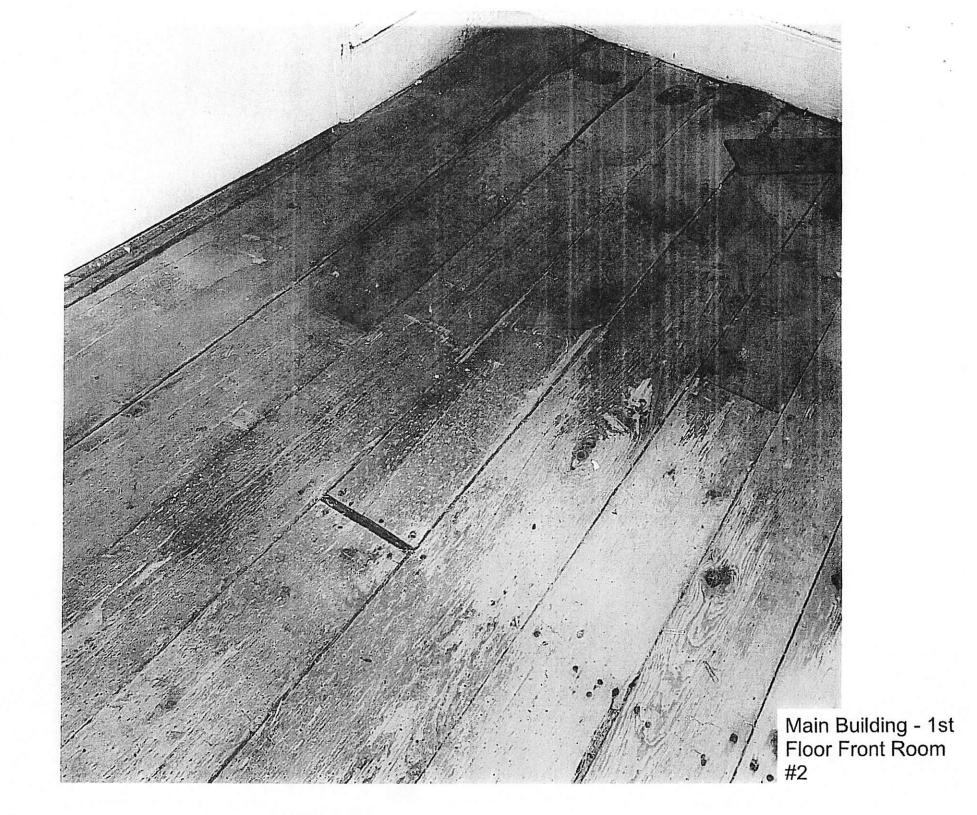


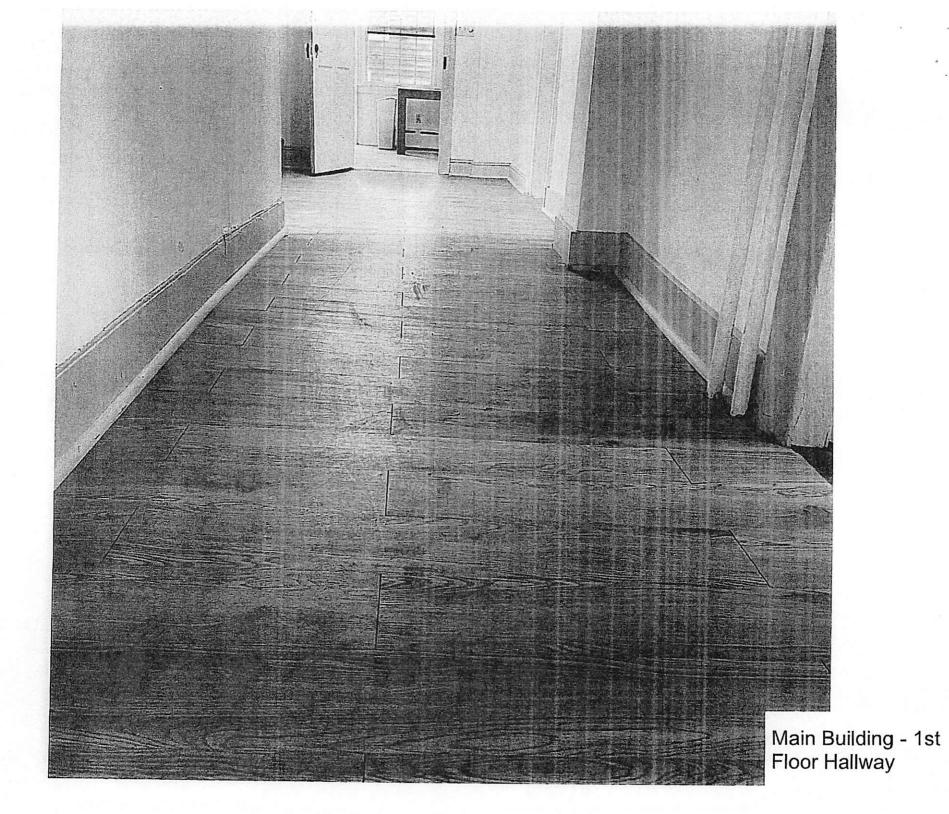




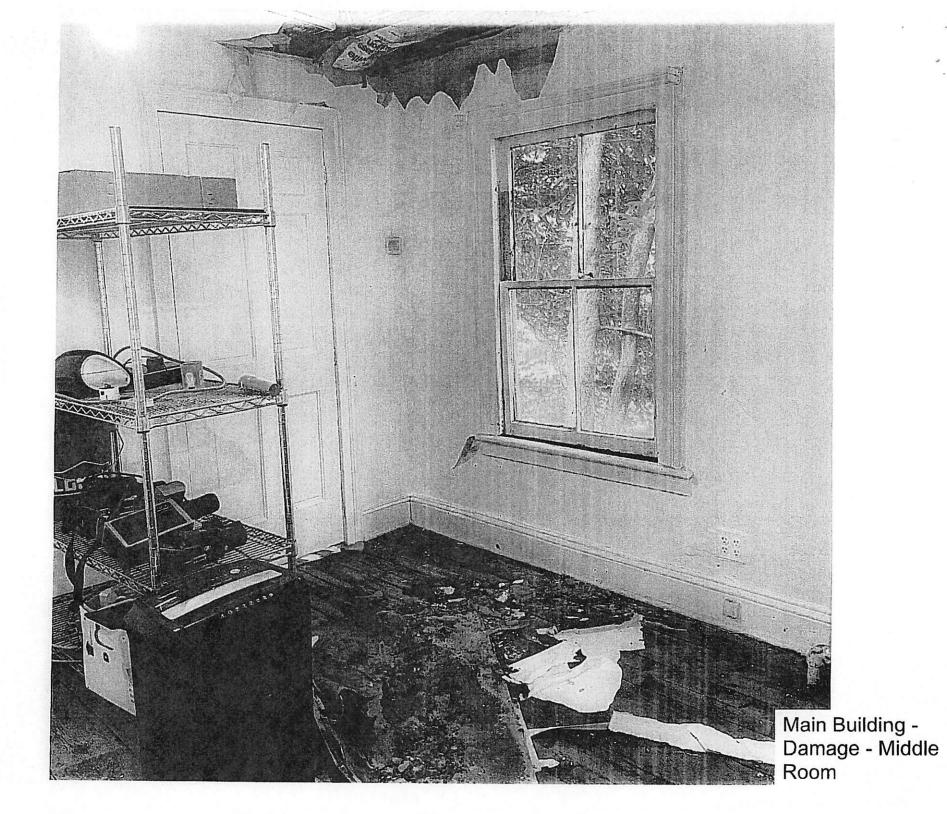


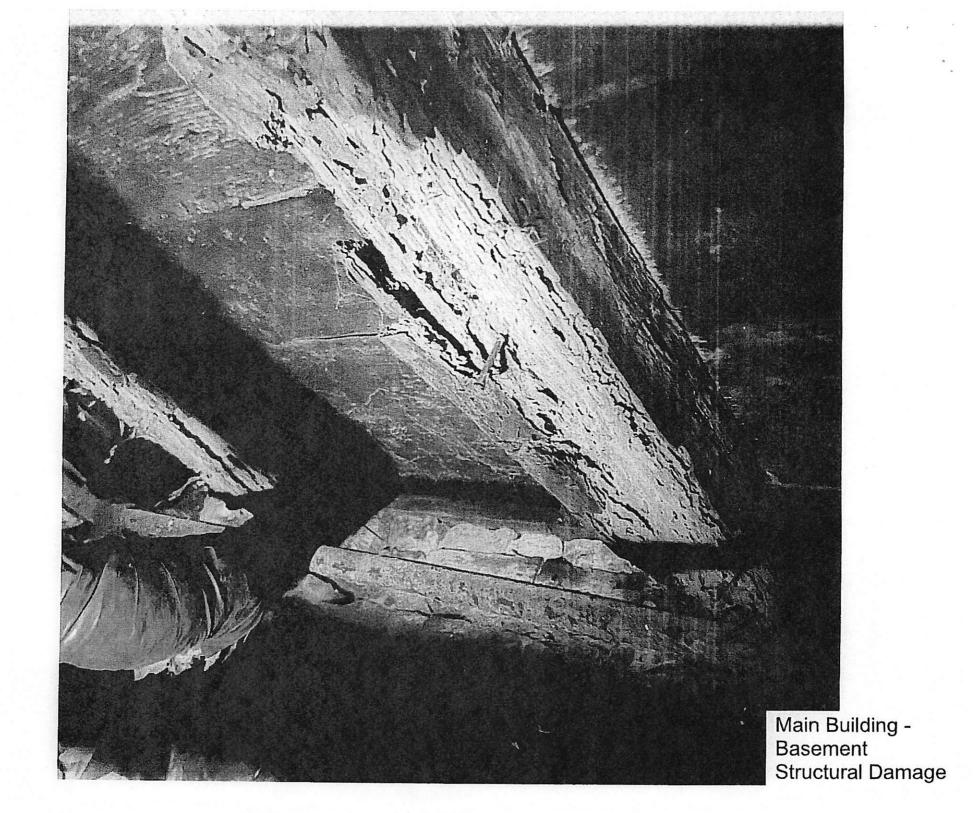


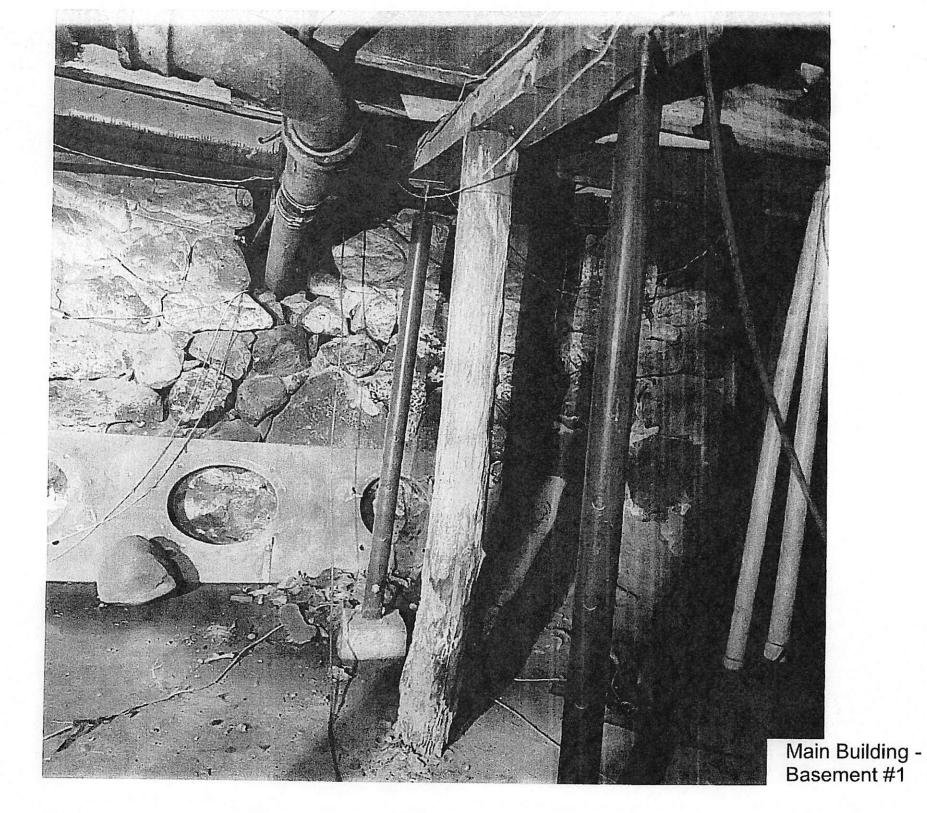


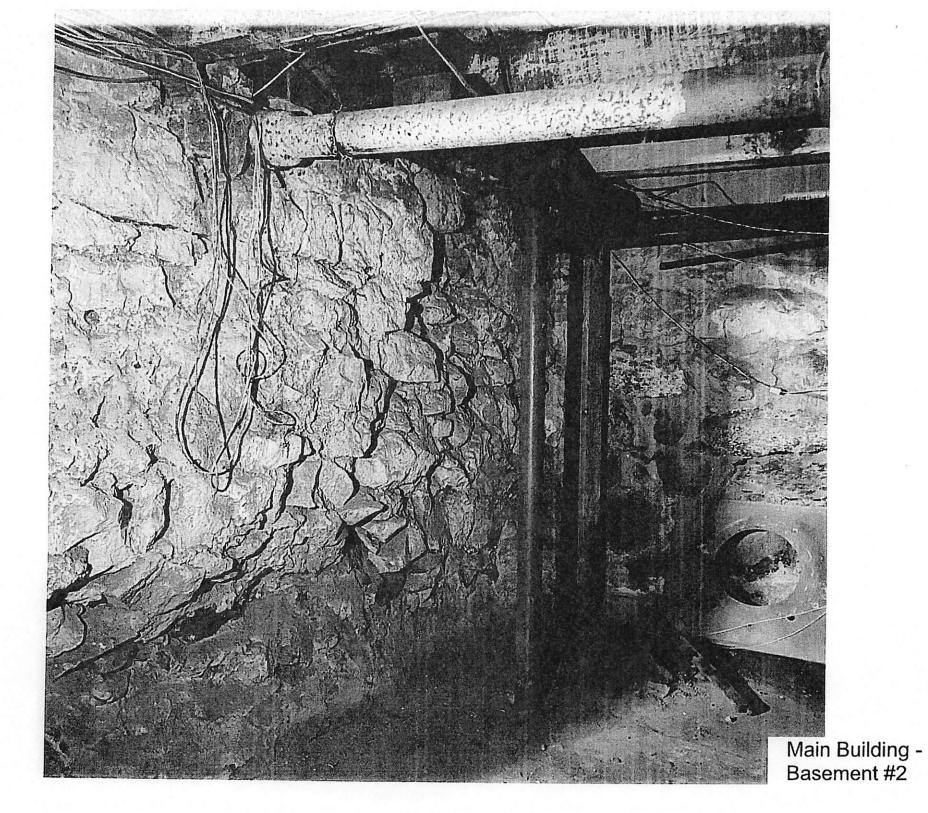


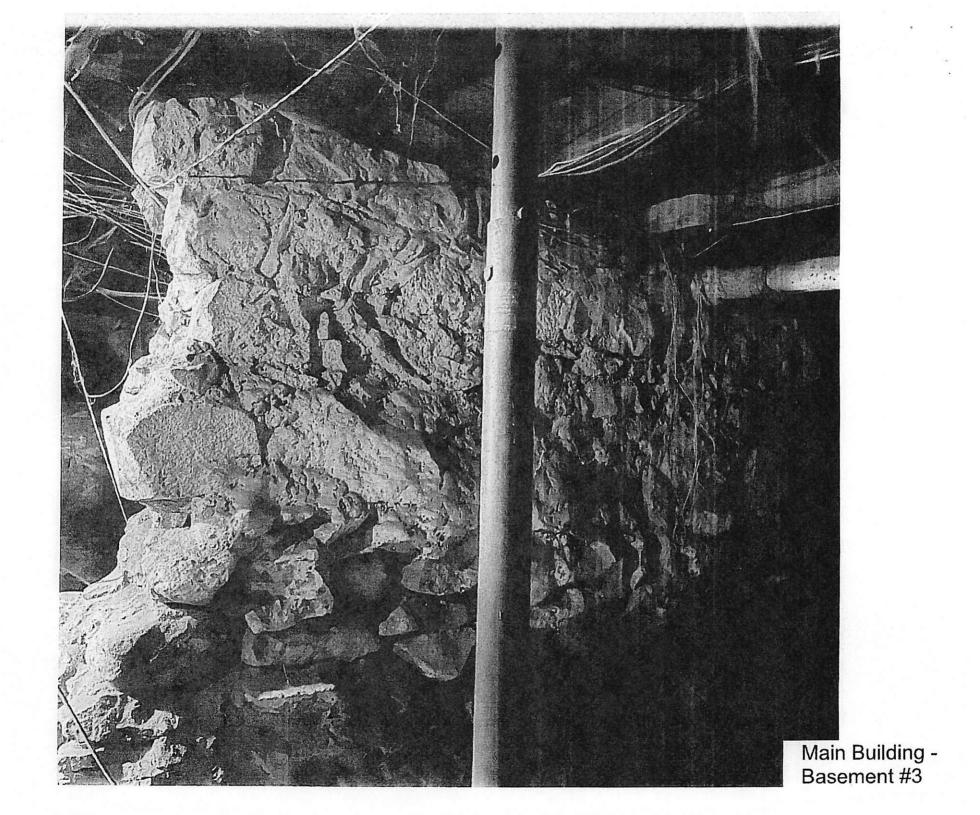


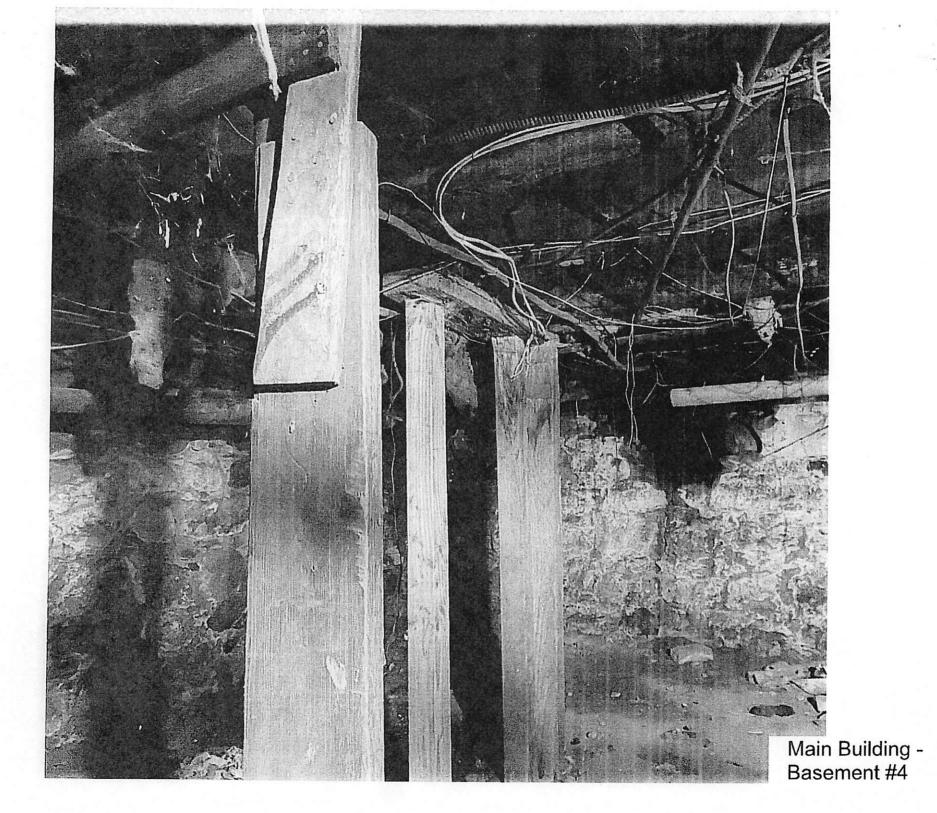


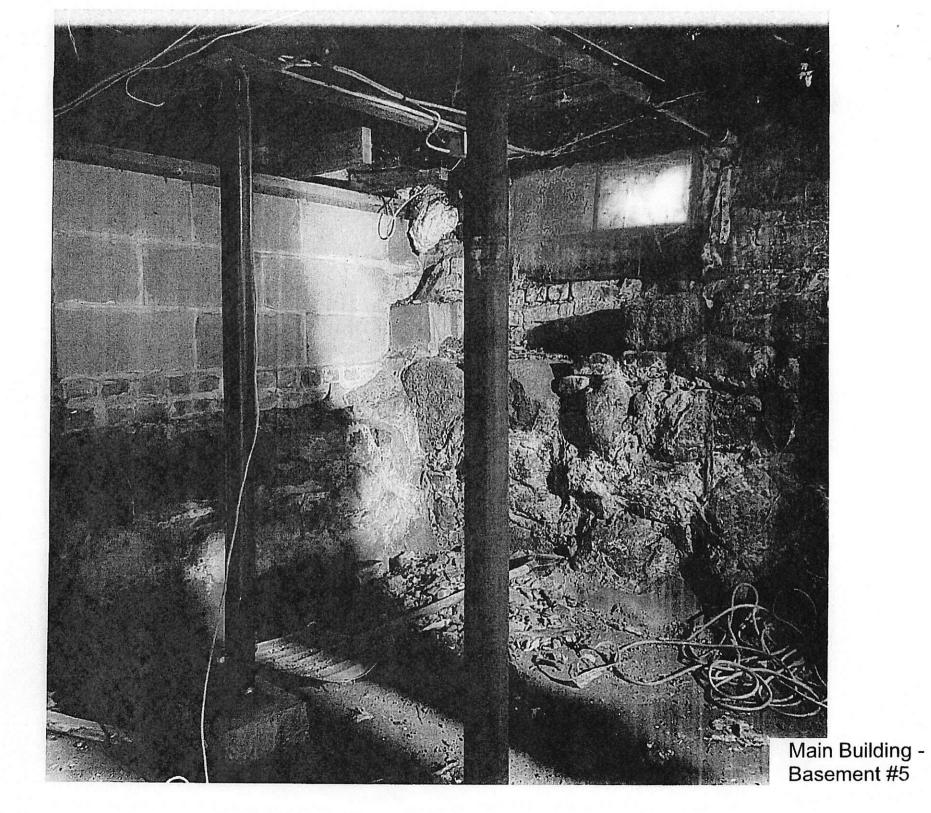


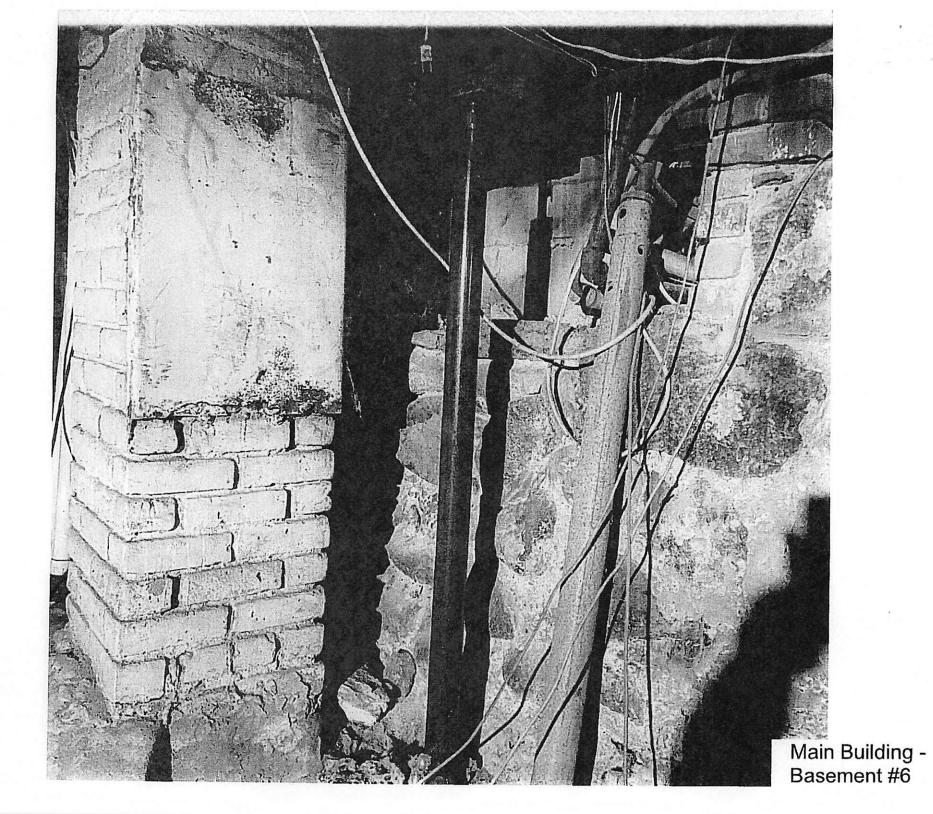














MAIN BUILDING - PROPOSED REAR FACADE



MAIN BUILDING - PROPOSED REAR FACADE