



**Historical Areas Board of Review(HABR)**

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 77 Main Street, Tappan, NY 10983 Section/Block/Lot: 77.15-1-3

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER	
Roof:	Grey	Asphalt	GAF	
Siding:	White	Wood - cedar or pine	Depends on Availability	
Decorative Siding:	N/A	N/A	N/A	
Soffits & Fascia:	White	Wood and Composite	Azek	
Gutters & Leaders:	White	Aluminum	ALCOA	
Windows:	White	Wood/Aluminum	Marvin	
Trim:	White	Composite	Azek	
Shutters:	Blue or Grey	Composite	Azek	
Front Door:	White	Wood/Glass	Custom	
Back Door:	White	Wood/Glass	Rogue Valley	
Garage Door(s):	N/A	N/A	N/A	
Other Door(s):	N/A	N/A	N/A	
Lighting:	Black	Metal	Kichler	
(Recessed) Lighting:	White	Metal	Halo-Rab	
If any is used	Stone or Rock being used on Structure:	Grey (existing)	Natural	Reuse available on property
	Stone or Rock being used on walkway(s):	Red (existing)	Cement	Cambridge
Other: Deck	White and Grey	Composite	Trex	
Security Cameras	White		TBD	

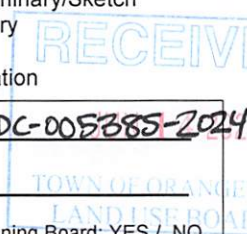
Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 6/18/2024

### LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

**PERMIT#:** BLDC-005385-2024  
**ASSIGNED**  
**INSPECTOR:** \_\_\_\_\_  
Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_



**Project Name:** NC 77 MAIN ST RESTORATION

**Street Address:** 77 Main Street, Tappan, NY 10983

**Tax Map Designation:**  
Section: 77.15 Block: 1 Lot(s): 3  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
On the East side of Main Street, Tappan, NY, approximately 150 feet \_\_\_\_\_ of the intersection of Oak Tree Road, in the Town of Orangetown in the hamlet/village of Tappan.

<b>Acreage of Parcel</b> <u>0.18</u>	<b>Zoning District</b> <u>CS</u>
<b>School District</b> <u>South Orangetown CSD</u>	<b>Postal District</b> <u>10983</u>
<b>Ambulance District</b> <u>South Orangetown</u>	<b>Fire District</b> <u>Tappan</u>
<b>Water District</b> _____	<b>Sewer District</b> <u>Orangetown</u>

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
Alteration, reconstruction, repair and rehabilitation of building - inclusive of framing

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6/12/24 Applicant's Signature: \_\_\_\_\_

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If special permit, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area No

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type:

No

### Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Informal consultations before the Historical Areas Review Board ("Board") on February 14, 2023 (HABR #23-02) and July 11, 2023 (HABR # 23-13). Additionally, a formal review of our application for a prior permit was heard by the Board on March 26, 2024 (HABR # 24-03). The formal hearing was to demolish and rebuild the rear portion of the first floor of the existing building, additional interior demolition, and foundation work.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962



**Jane Slavin, R.A.**  
**Director**

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW**

Date: Feb 5, 2024 Section: 77.15 Block: 1 Lot: 3

Applicant: Joe Panzella

Address: 77 Main St. Tappan, NY

RE: Application Made at: same

Referred For: **Chapter 12, Section 12-4(E) Requires HABR approval**

Comments: Demolish and rebuild rear, first floor portion of existing structure

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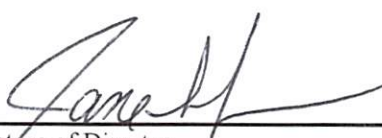
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Dear Joe Panzella :

Please be advised that the Building Permit Application # p24-5385, which you submitted on Jan 17, 2024, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Katlyn Bettmann, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or kbettmann @orangetown.com

Sincerely,  
  
\_\_\_\_\_  
Richard Oliver  
Deputy Building Inspector

6/28/24

  
\_\_\_\_\_  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
1-30-2023 JSA

6/28/24

Date  
Liz DeCort  
Debbie Arbolino

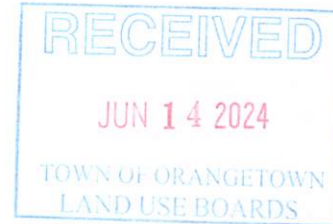
# NEXT CHAPTER EQUITIES LLC

Andrew L. Rosenberg  
Member and Manager

Joseph Panzella  
Member and Manager

June 18, 2024

To: Orangetown Historical Areas Board of Review  
20 Greenbush Road  
Orangeburg, New York 10962



Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. ("**Property**") in December, 2022 and have appeared before the Historical Areas Board of Review ("**Board**") on three (3) prior occasions - two informal consultations in February, 2023 and July, 2023, as well as a formal permit application review in March of this year in connection with the initial phase of our reconstruction and rehabilitation of the building ("**Phase I**"). For your reference, I am attaching copies of the submissions that we made in connection with each of our prior meetings before the Board.

We expect Phase I to be completed by the end of this month and are looking forward to the next phase of this project. We are now appearing before the Board as a result of our filing of a permit application for the full rehabilitation, reconstruction and renovation of the building. As we have stressed in each of our prior appearances before the Board, we have approached, and will continue to approach, each phase of this renovation with the overriding goal of keeping the existing historic look and feel of the property while using materials that offer longevity and energy efficiency and have a period appropriate appearance.

Although not directly relevant to the permit application being reviewed by the Board but indicative of our desire and efforts to preserve the history of the property, we thought that the Board would be interested to know that, during the excavation at the property, we discovered a number of artifacts (e.g., pots, bottles, plates, etc.) in various states of repair. Upon finding the first such item, we subsequently went through the excavated material manually to check for additional items before disposing of the material. We hope to donate some of these items to the Tappantown Historical Society once the renovation/rehabilitation is completed.

{02221496;1}

463 Livingston Avenue, Suites 102-166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

# **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review  
June 18, 2024  
Page 2 of 2



We truly appreciate the continued courtesy and cooperation of the Board in connection with this restoration and rehabilitation.

Very truly yours,

**NEXT CHAPTER EQUITIES LLC**, a  
New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg  
Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella  
Member and Manager

{02221496;1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

RECEIVED  
JUN 14 2024  
TOWN OF ORANGETOWN  
LAND USE BOARD

AREA (COVERAGE) SUMMARY		
	EXISTING	PROPOSED
BUILDING	1647 S.F.	1644 S.F.
ACCESSORY BUILDING	575 S.F.	575 S.F.
COVERED PORCH	204 S.F.	204 S.F.
WOOD LANDING & STAIR	30 S.F.	0 S.F.
DRIVEWAY	522 S.F.	522 S.F.
FRONT STEPS / WALKWAY	44 S.F.	44 S.F.
RAMP / STAIR / WALKWAY	0 S.F.	312 S.F.
IMPERVIOUS COVERAGE	3022 S.F.	3301 S.F.

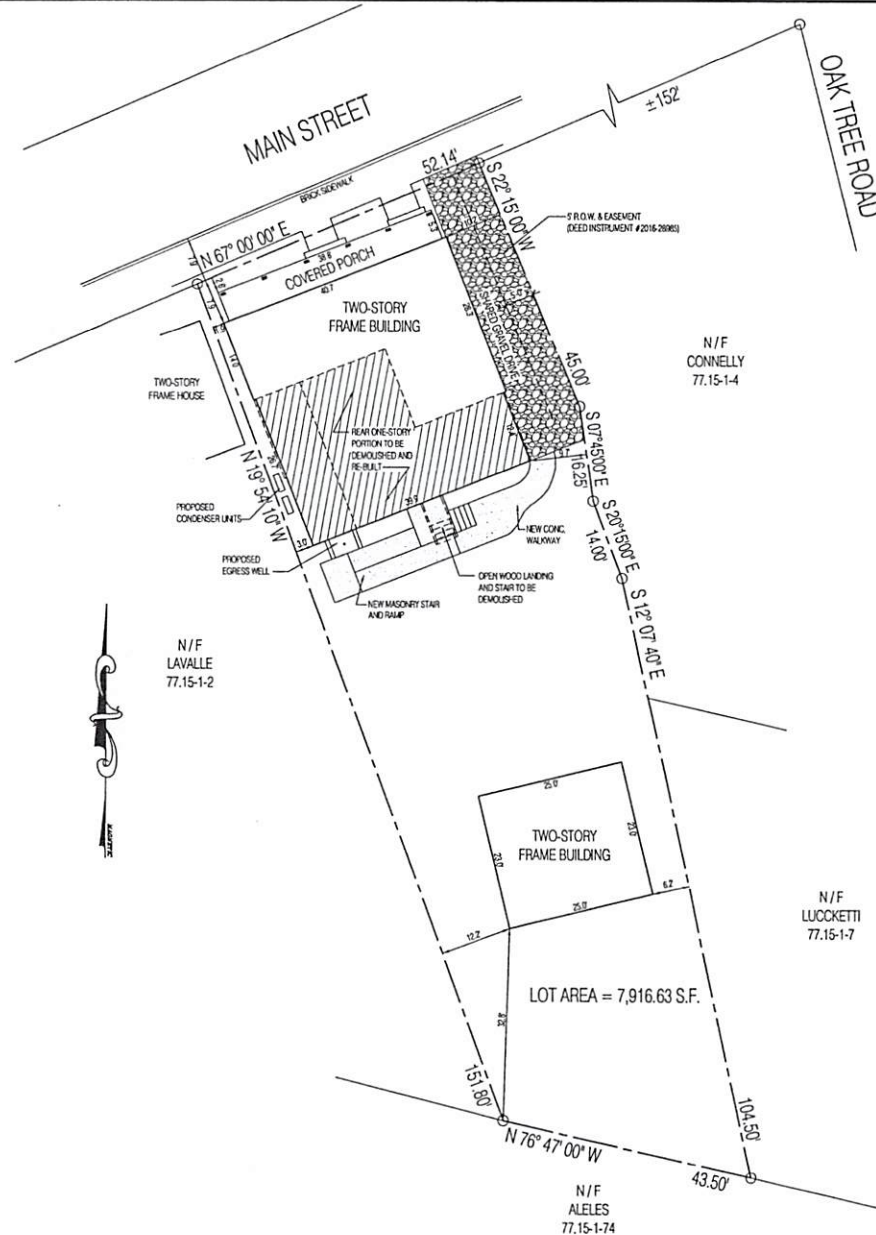
F.A.R. BREAKDOWN:		
	EXISTING	PROPOSED
BASEMENT:	0 S.F.	829 S.F.
FIRST FLOOR:	1647 S.F.	1644 S.F.
SECOND FLOOR:	814 S.F.	814 S.F.
TOTAL FLOOR AREA:	2461 S.F.	3287 S.F.

ORANGETOWN BULK TABLE CS (COMMUNITY SHOPPING) DISTRICT				
	REQUIRED	EXISTING	PROPOSED	VARIANCE
MAX. FLOOR AREA RATIO	1.0	2461 / 7916 S.F. = .32	3287 / 7916 S.F. = .42	NO
MINIMUM LOT AREA	2,500 S.F.	7,916 S.F.	7,916 S.F.	NO
MINIMUM LOT WIDTH	25'	52.3'	52.3'	NO
MINIMUM STREET FRONTAGE	25'	52.14'	52.14'	NO
FRONT YARD SETBACK	NONE	2.8'	2.8'	NO
SIDE YARD SETBACK	0' / 12'	1.9'	1.9'	NO (EXISTING)
TOTAL SIDE SETBACK	0' / 25'	11.8'	11.8'	NO (EXISTING)
REAR YARD SETBACK	25'	32.8'	32.8'	NO
BUILDING HEIGHT	18' PER FT. SETBACK = 21.06'	15.7' / 21.9 FT. TO AVG. ROOF	15.7' / 21.9 FT. TO AVG. ROOF	NO (EXISTING)
IMPERVIOUS COVERAGE	75%	38.16%	41.7%	NO
PARKING	1 SPACE / 200 S.F. AREA (OFFICES AND RETAIL)	2 SPACES (13 REQUIRED)	2 SPACES (13 REQUIRED)	NO (EXISTING)
PARKING LOT ACCESS WIDTH	20'	10.2'	10.2'	NO (EXISTING)
PARKING LOT AISLE WIDTH	N/A	N/A	N/A	N/A

SECTION 77.15, BLOCK 1, LOT 3

SITE PLAN BASED ON A SURVEY PREPARED BY W.E. JAMES  
LAND SURVEYOR OF WALKILL, NY DATED SEPT. 22, 2022

2 BULK TABLE  
NO SCALE



1 SITE PLAN  
SCALE: 1" = 10'

Alteration and  
Reconstruction of  
Office Building

Next Chapter  
Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

TAX MAP# 77.15-1-3  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION - ADDITIONS - RENOVATIONS  
CONSULTANT

Issues and Revisions		
No.	Date	Issues and Revisions
1.	7/1/23	HISTORIC BOARD MEETING #2
2.	11/10/23	CONCEPT PLANS
3.	11/02/23	CONCEPT PLANS #2
4.	11/02/24	FOUNDATION AND THE FLOOR
5.	11/02/24	ADDED SITE AND BULK TABLE
6.	5/2/24	REVISED FOUNDATION
7.	5/10/24	FRAMING PERMIT A.H.A.B.R.

Kevin Brodie NY License No. 027039

Drawing Description: SITE PLAN  
Project Number: 2324  
Computer File: PLAN\_01  
Scale: 1" = 10'

SP1.00





Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC  
 350 Pine Lane  
 Haworth, NJ 07641

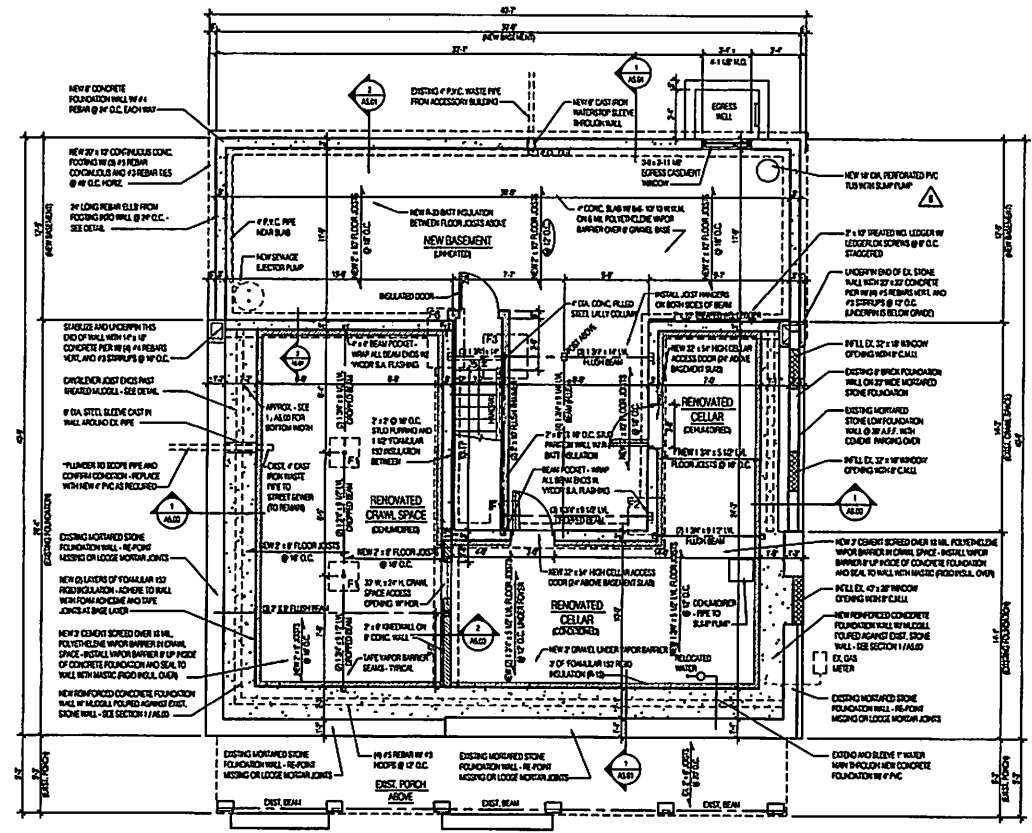
TAX MAP# 77.15-1-3  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

ARCHITECT  
 KEVIN BRODIE  
 210 SPRING STREET  
 MICHIGUE, NY 10850  
 TEL: 845-920-2504  
 EMAIL: KBROD7@GPTONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
 NEW CONSTRUCTION • ADDITIONS • RENOVATIONS

FOOTING SCHEDULE	
F1	24" x 24" x 12" DEEP CONC. FOOTING W/ #4 BARS EACH WAY
F2	27" x 30" x 12" DEEP CONC. FOOTING W/ #5 BARS EACH WAY
F3	30" x 30" x 14" DEEP CONC. FOOTING W/ #5 BARS E.W.
F4	42" x 42" x 14" DEEP CONC. FOOTING W/ #5 BARS EACH WAY
F5	48" x 48" x 14" DEEP CONC. FOOTING W/ #5 BARS EACH WAY
F6	30" x 42" x 12" DEEP CONC. FOOTING W/ #5 BARS L.W. & #5 BARS E.W.

GENERAL NOTES:  
 1. INSTALL BOLD FLOORING AT ENDS OF JOISTS BEARING ON/TO OTHER JOISTS OR WALLS.  
 2. INSTALL METAL HANGERS AT ALL JOIST/CEILING BEAM CONNECTIONS.  
 3. INSTALL METAL JOIST BRACING AT MID PTS. OF ALL JOISTS WITH A SPAN LENGTHS GREATER THAN 11 FT.  
 4. APPLY TYPICAL FIRE RATED INSULATION AND PROTECTION BOARD OVER NEW CONCRETE FOUNDATION AT HERE SHOWN.



FOUNDATION NOTES:  
 1. SHORE AND BRACE EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION.  
 2. NO GAS FLUENCE SHALL BE LOCATED IN CHINA SPACE OR CELLAR SO NO GAS SHALL BE EXPULSED.  
 3. THE COMBINED CHINA AND CHINA SPACE SHALL HAVE A SLIPPERY SURFACE AT THE WEST END OF THE CHINA SPACE AND A 1" x 4" HARDWOOD TRAPDOOR GRIFF AT THE SOUTH END OF THE CHINA SPACE. THE HANDRAIL SHALL BE SET @ 36" OF BR.  
 4. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 5. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 6. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 7. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 8. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 9. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.  
 10. FOMULAR 185 PROTECTIVE FLOORING SHALL BE PLACED TO PROTECT ALL FLOORING FROM CONSTRUCTION. SEE SPECIFICATIONS FOR CHINA SPACE.

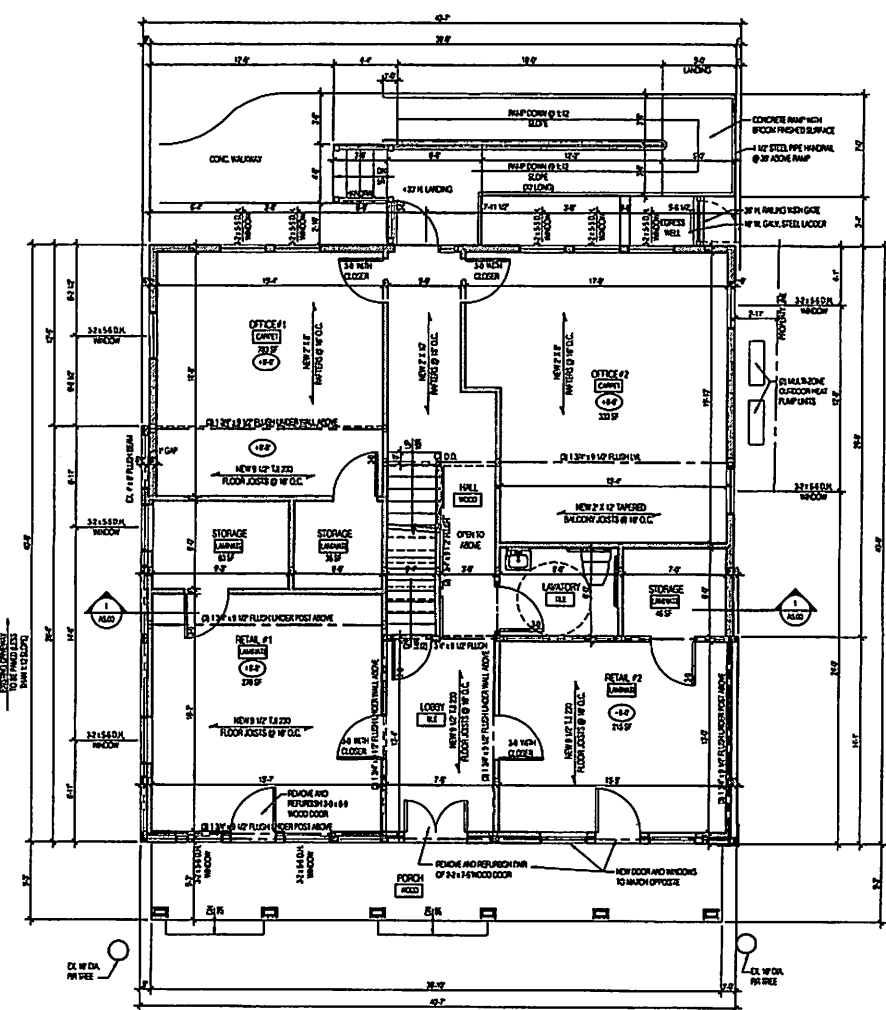
1 FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"

Revisions and References		
No.	Date	Revised and Revisions
1	1/11/2023	HISTORIC BOARDS MEETING #2
2	1/11/2023	CONCEPT PLANS #2
3	1/11/2023	CONCEPT PLANS #2
4	1/11/2023	FOUNDATION AND 1st FLOOR
5	1/11/2023	ADDED SITE AND BULK TABLE
6	1/11/2023	REVISED FOUNDATION
7	1/11/2023	FRAMING PERMIT & M.A.B.R.

Registration and Drawing  
 Kevin Brodie NY License No. 427329

Drawing Description	
FOUNDATION PLAN	
Project Number:	2234
Computer File:	PLAN 00
Scale:	

A2.00



**FLOOR AREAS:**  
 EXIST. FIRST FLOOR = 1443 SF.  
 PROPOSED FIRST FLOOR = 1438 SF.  
 EXIST. SECOND FLOOR = 814 SF.  
 TOTAL AREA = 2257 SF.  
 EXIST. ACCESSORY STRUCTURE = 843 SF.

**OCCUPANCY CALCULATIONS:**  
 RETAIL AREA (AS PER TABLE) = 82 SF PER OCCUPANT  
 RETAIL STORAGE = 333 SF. PER OCCUPANT  
 OFFICE AREA (AS PER TABLE) = 138 SF PER OCCUPANT  
 RETAIL = 2485 SF (811 = 9 OCCUPANTS)  
 OFFICE = 2233 SF (711 = 8 OCCUPANTS)

**1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**Alteration and Reconstruction of Office Building**

**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

**TAX MAP# 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

**ARCHITECT**  
 KEVIN BRODIE  
 ARCHITECT  
 219 SPRING STREET  
 MONROE, NY 10950  
 TEL: 845-929-2804  
 EMAIL: KBROD7@OPTONLINE.NET

**RESIDENTIAL AND COMMERCIAL DESIGN**  
 NEW CONSTRUCTION • ADDITIONS • REMODELS

**Issues and Revisions**

No.	Date	Issues and Revisions	By	Check
1.	7/11/23	HISTORIC BOARD MEETING #2	KB	KB
2.	1/18/23	CONCEPT PLANS	KB	KB
3.	11/22/22	CONCEPT PLANS #2	KB	KB
4.	1/2/24	FOUNDATION AND 1st FLOOR	KB	KB
5.	1/2/24	ADDED SITE AND BULK TABLE	KB	KB
6.	8/2/24	REVISED FOUNDATION	KB	KB
7.	8/10/24	FRAMING PERMIT & H.A.B.R.	KB	KB

**Preparation and Date:**  
 Kevin Brodie NY License No. 62709

**Drawing Description:**  
 FIRST FLOOR PLAN  
 SECOND FLOOR PLAN

Project Number: 2224  
 Computer File: PLAN 01

Scale: 1/4" = 1'-0"

**A2.01**

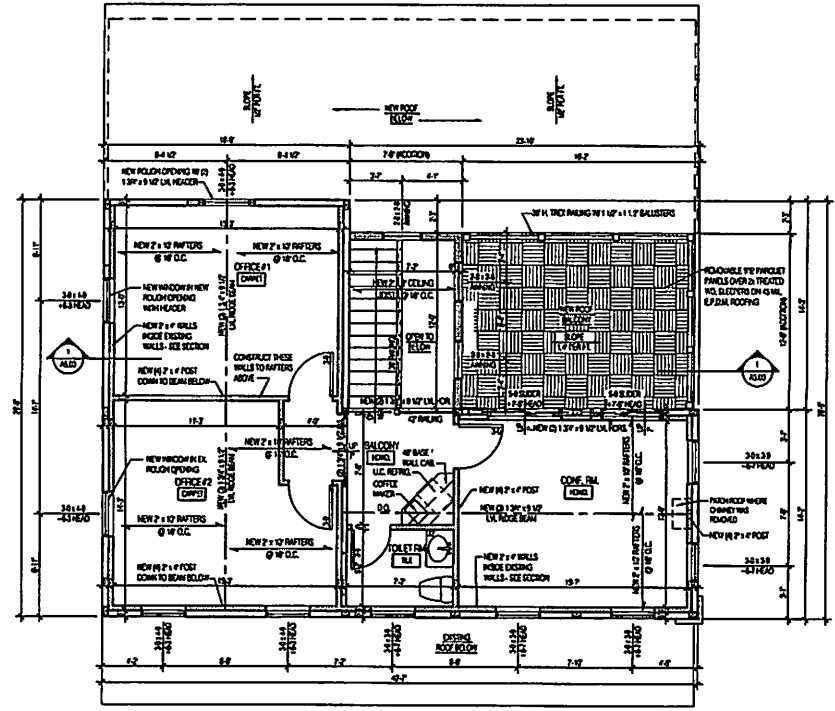
**Alteration and Reconstruction of Office Building**

**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

**TAX MAP# 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

**ARCHITECT**  
**KEVIN BRODIE ARCHITECT**  
 210 SPRING STREET  
 MENHARD, NY 10953  
 TEL: 845-920-3504  
 EMAIL: KBROD7@OPTONLINE.NET

**RESIDENTIAL AND COMMERCIAL DESIGN**  
 NEW CONSTRUCTION • ADDITIONS • RENOVATIONS



- GENERAL NOTES:**
1. ALL SECOND FLOOR DOOR AND WINDOW HEADERS TO BE (2) 1 3/4" x 12" LVL MEMBERS UNLESS OTHERWISE NOTED.
  2. INSTALL SOLID BLOCKING BELOW POSTS.
  3. ALL DIMENSIONS TAKEN TO NOMINAL STUD WIDTH.
  4. INSTALL METAL JOIST HANGERS AT ALL MEMBERS FRAMING INTO FLUSH BEAMS.
  5. SECOND FLOOR INTERIOR DOORS TO BE 6'-8" HIGH. DOORS TO BE SOLID CORE M.D.F.
  6. ALL WINDOWS TO BE YELL CLAD WOOD ARCHITECTURE SERIES CASEMENT WINDOWS WITH 7/8" HISTORICAL GRILLES (SOLL LOW E GLAZING (3/4" U-VALLES).
  7. SEE SECTIONS FOR EXTERIOR WALL INSTALLATION.
  8. ALL RAFTERS TO RECEIVE 6" OF CLOSED CELL POLYURETHANE SPRAY FOAM (P-42).
  9. HEATING AND COOLING TO BE PERFORMED BY MULTIZONE SPLIT SYSTEM HEAT PUMPS (TO BE DESIGNED BY OTHERS).

 **NORTH**  
 SECOND FLOOR AREA = 814 S.F.

**OCCUPANCY CALCULATIONS:**  
 OFFICE AREA (BUSINESS) = 102 SF PER OCCUPANT  
 OFFICE = 814 SF @ OCCUPANTS

Issue and Revisions	By	Check
1. 1/11/23 HISTORIC BOARD MEETING #2	KB	KB
2. 1/18/23 CONCEPT PLANS	KB	KB
3. 1/25/23 CONCEPT PLANS #2	KB	KB
4. 1/27/24 FOUNDATION AND 1ST FLOOR	KB	KB
5. 1/28/24 ADDED SITE AND BULK TABLE	KB	KB
6. 6/22/24 REVISED FOUNDATION	KB	KB
7. 6/20/24 FRAMING PERMIT & H.A.B.A.	KB	KB

**Revisions and Approvals**  
 Kevin Brodie NY License No. 63709

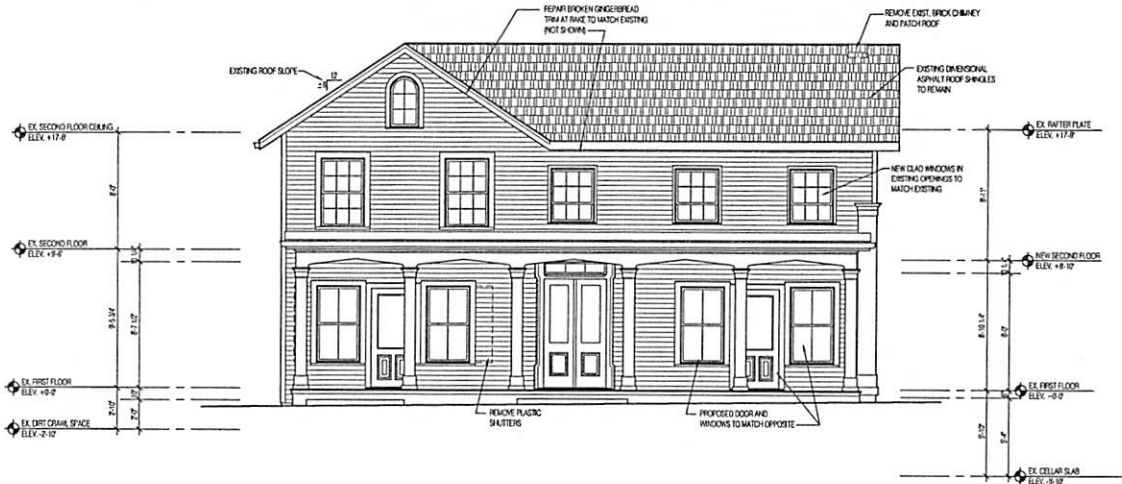
**Drawing Description:**  
 SECOND FLOOR PLAN

**Project Number:** 2334  
**Computer File:** PLAN 01

**Scale:** 1/8" = 1'-0"



1 EXISTING FRONT(NORTH) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED (NORTH) ELEVATION  
SCALE: 1/4"=1'-0"

**Alteration and Reconstruction of Office Building**

CLIENT  
**Next Chapter Equities, LLC**  
350 Pine Lane  
Haworth, NJ 07641

PROJECT LOCATION  
**TAX MAP# 77.15-1-3**  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

ARCHITECT  
**KEVIN BRODIE ARCHITECT**  
218 SPRING STREET  
MORRIS PLAZA, NY 10950  
TEL: 845-928-2504  
EMAIL: KBROD7@OPTONLINE.NET



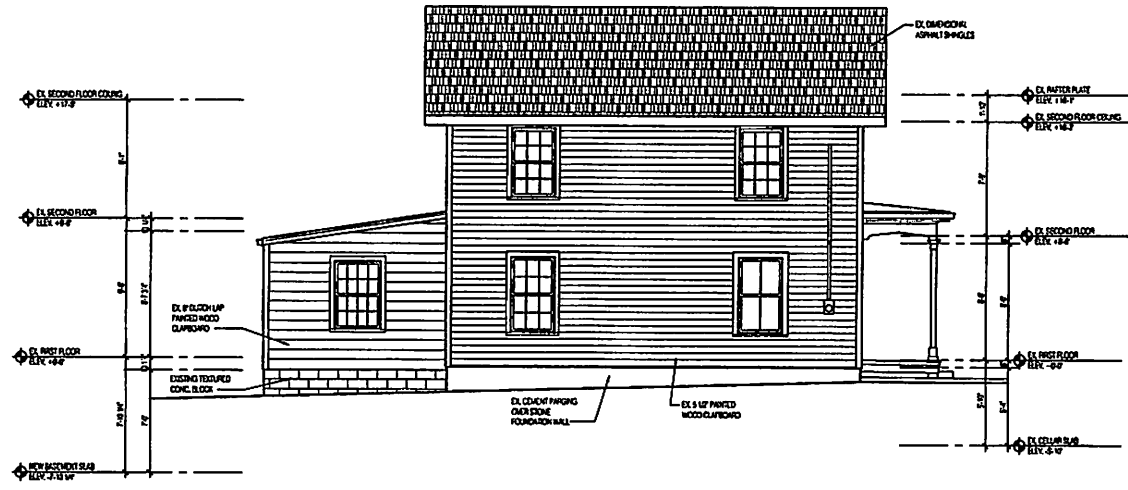
RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION • ADDITIONS • RENOVATIONS  
CONSULTANT

Issues and Revisions		
No.	Date	Issues and Revisions
1.	7/11/23	HISTORIC BOARD MEETING #2
2.	11/7/23	CONCEPT PLANS #1
3.	11/20/23	CONCEPT PLANS #2
4.	1/12/24	FOUNDATION AND 1st FLOOR
5.	1/26/24	ACCEDED SITE AND BULK TABLE
6.	5/22/24	REVISED FOUNDATION
7.	6/10/24	FRAMING PERMIT & H.A.B.R.

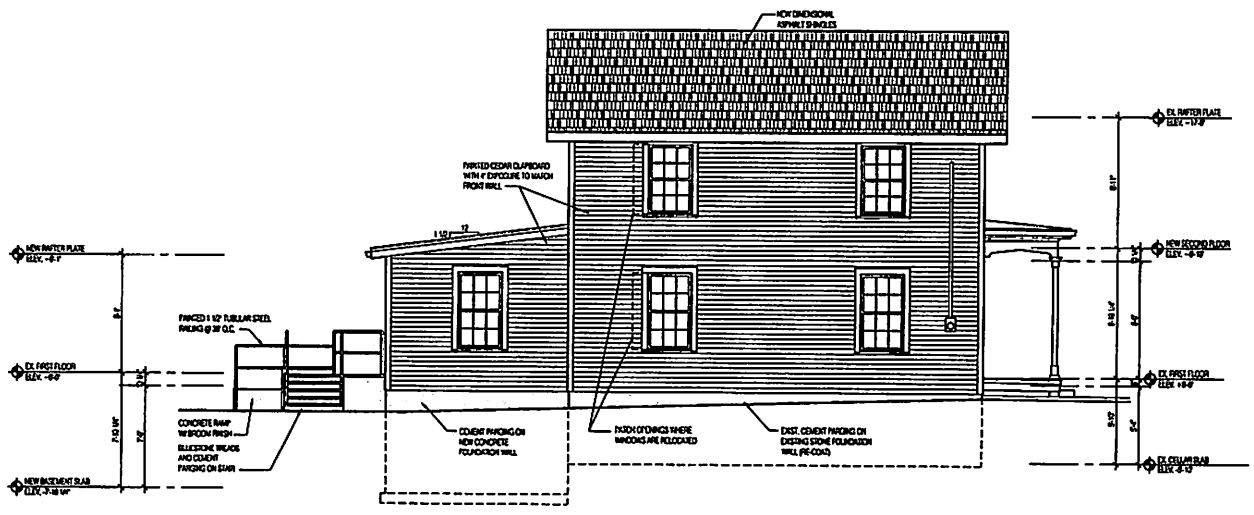
Registration and Signature  
Kevin Brodie NY License No. 627029

Drawing Descriptions	
	ELEVATIONS
Project Number:	2504
Computer File:	ELEV_00
Scale:	1/4"=1'-0"

A4.00



**1 EXISTING LEFT (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED LEFT (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"

**Alteration and Reconstruction of Office Building**

**Next Chapter Equities, LLC**  
350 Pine Lane  
Haworth, NJ 07641

**TAX MAP# 77.15-1-3**  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

**ARCHITECT**  
KEVIN BRODIE ARCHITECT  
218 SPRING STREET  
MONROE, NY 10950  
TEL: 845-920-2504  
EMAIL: KBROD7@GPTONLINE.NET

**RESIDENTIAL AND COMMERCIAL DESIGN**  
NEW CONSTRUCTION • ADDITIONS • RENOVATIONS

**Revisions and Revisions**

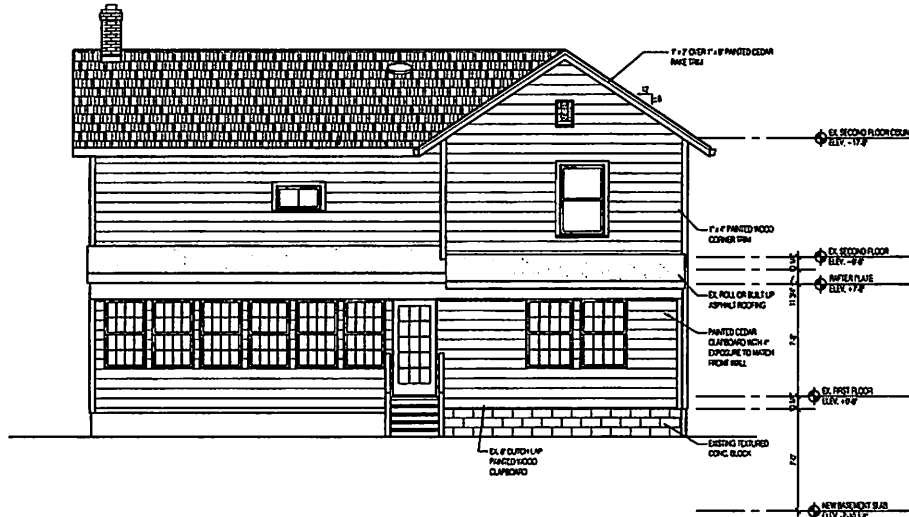
NO.	DATE	ISSUE AND REVISIONS	BY	CHECK
1.	1/11/03	HISTORIC BOARD MEETING #2	KB	KB
2.	1/16/03	CONCEPT PLANS	KB	KB
3.	1/16/03	CONCEPT PLANS #2	KB	KB
4.	1/17/04	FOUNDATION AND 1ST FLOOR	KB	KB
5.	1/20/04	ADDED SITE AND PLANK TABLE	KB	KB
6.	6/24/04	REVISED FOUNDATION	KB	KB
7.	8/10/04	FRAMING PERMIT & H.A.B.A.	KB	KB

**Registration and Expiration**  
Kevin Brodie NY License No. 627879

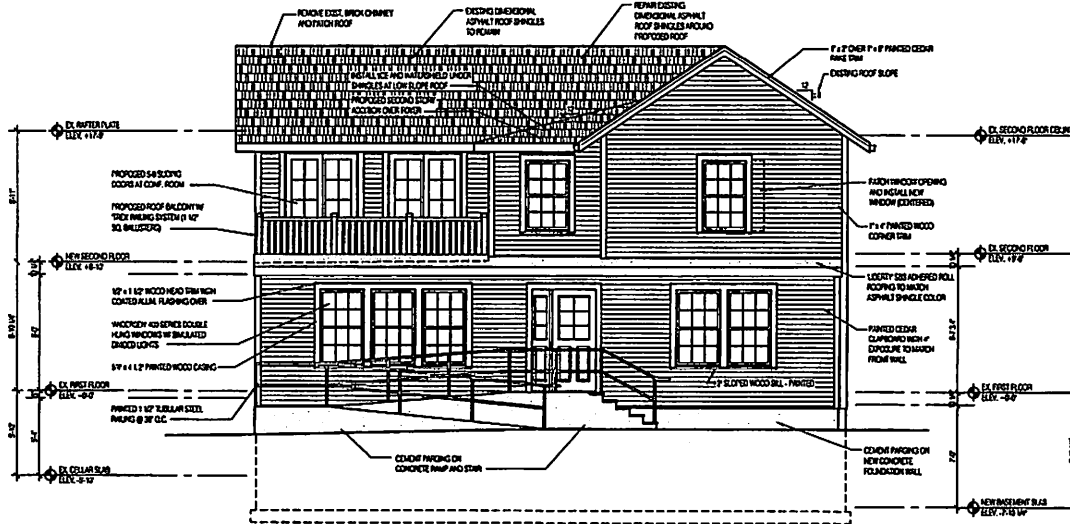
**Drawing Descriptions**

ELEVATIONS	
Project Number:	2524
Computer File:	ELEV_00
Scale:	0

A4.01



1 EXISTING REAR (SOUTH) ELEVATION  
SCALE: 1/8"=1'-0"



2 PROPOSED REAR (SOUTH) ELEVATION  
SCALE: 1/8"=1'-0"

**Alteration and Reconstruction of Office Building**

**CLIENT**  
Next Chapter Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

**PROJECT LOCATION**  
TAX MAP# 77.15-1-3  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

**ARCHITECT**  
KEVIN BRODIE ARCHITECT  
210 SPRING STREET  
MENDOTA, NY 12545  
TEL: 845-928-2504  
EMAIL: KBROD7@GPTONLINE.NET  
RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION • ADDITIONS • RENOVATIONS  
FORMALISTART



**Issues and Resolves**

No.	Date	Issues and Resolves	By	Check
1.	1/11/23	HISTORIC BOARD MEETING #2	KS	CB
2.	1/18/23	CONCEPT PLANS	KS	KB
3.	1/25/23	CONCEPT PLANS #2	KS	KB
4.	2/2/23	FOUNDATION AND 1ST FLOOR	KS	KB
5.	2/22/24	ADDED SITE AND RISE TABLE	KS	KB
6.	8/22/24	REVISED FOUNDATION	KS	KB
7.	8/22/24	FRAMING PERMIT & H.A.B.R.	KS	KB

**Registration and Signatures**

Kevin Brodie NY License No. 13500

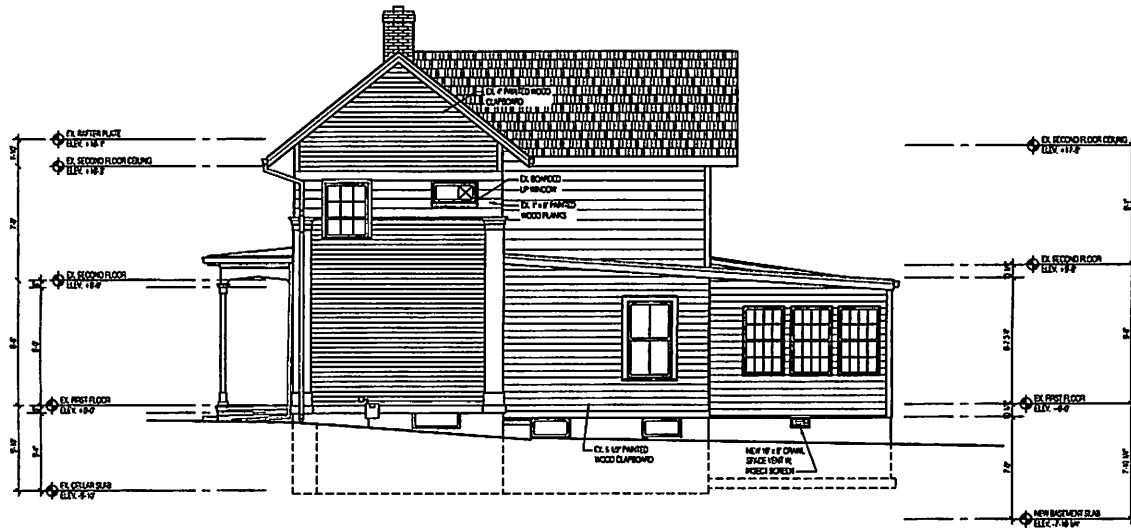
**Drawing Descriptions**

ELEVATIONS

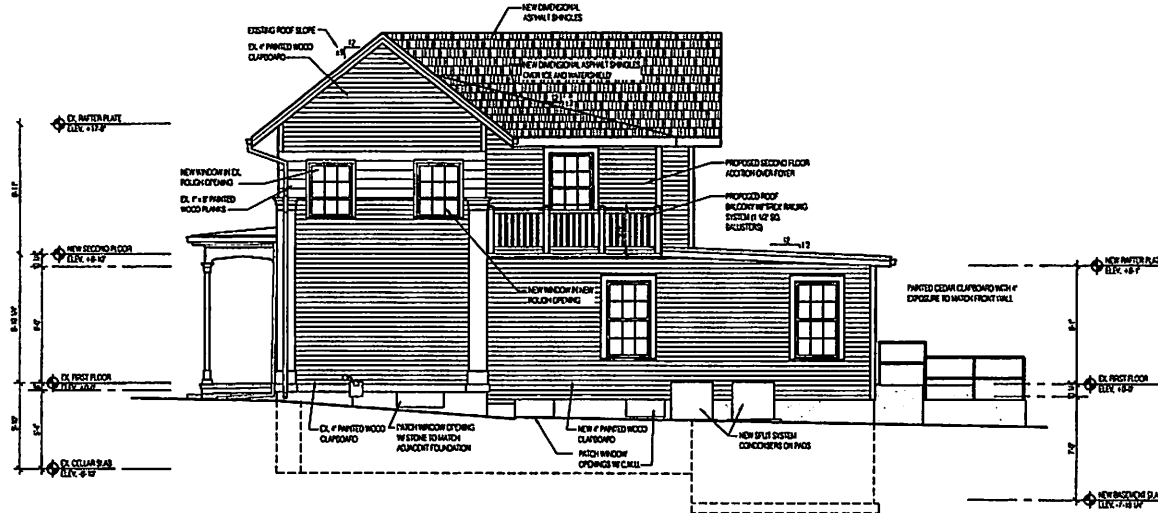
Project Number: 2324  
Computer File: ELEV 00

Scale: 1/8" = 1'-0"

A4.02



**1 EXISTING RIGHT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED RIGHT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

**Alteration and Reconstruction of Office Building**

**Next Chapter Equities, LLC**  
350 Pine Lane  
Haworth, NJ 07641

**TAX MAP# 77.15-1-3**  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

**ARCHITECT**  
KEVIN BRDDE  
ARCHITECT  
219 SPRING STREET  
MONROE, NY 10950  
TEL: 845-920-3504  
EMAIL: KBRDD7@OPTONLINE.NET

**RESIDENTIAL AND COMMERCIAL DESIGN**  
NEW CONSTRUCTION • ADDITIONS • RENOVATIONS

Issues and Resolves				
No.	Date	Issues and Resolves	By	Check
1.	7/11/23	HISTORIC BOARD MEETING #2	KB	KB
2.	1/17/23	CONCEPT PLANS	KB	KB
3.	1/18/23	CONCEPT PLANS #2	KB	KB
4.	1/18/23	FOUNDATION AND 1ST FLOOR	KB	KB
5.	1/20/24	ADDED SITE AND BULK TABLE	KB	KB
6.	8/22/24	REVISED FOUNDATION	KB	KB
7.	8/19/24	FRAMING PERMIT & N.A.B.A.	KB	KB

**Registration and Seals**  
Kevin Brdde NY License No. 027819

**Drawing Description:** ELEVATIONS  
**Project Number:** 224  
**Computer File:** ELEV\_02  
**Scale:** 1/4" = 1'-0"

# Alteration and Reconstruction of Office Building

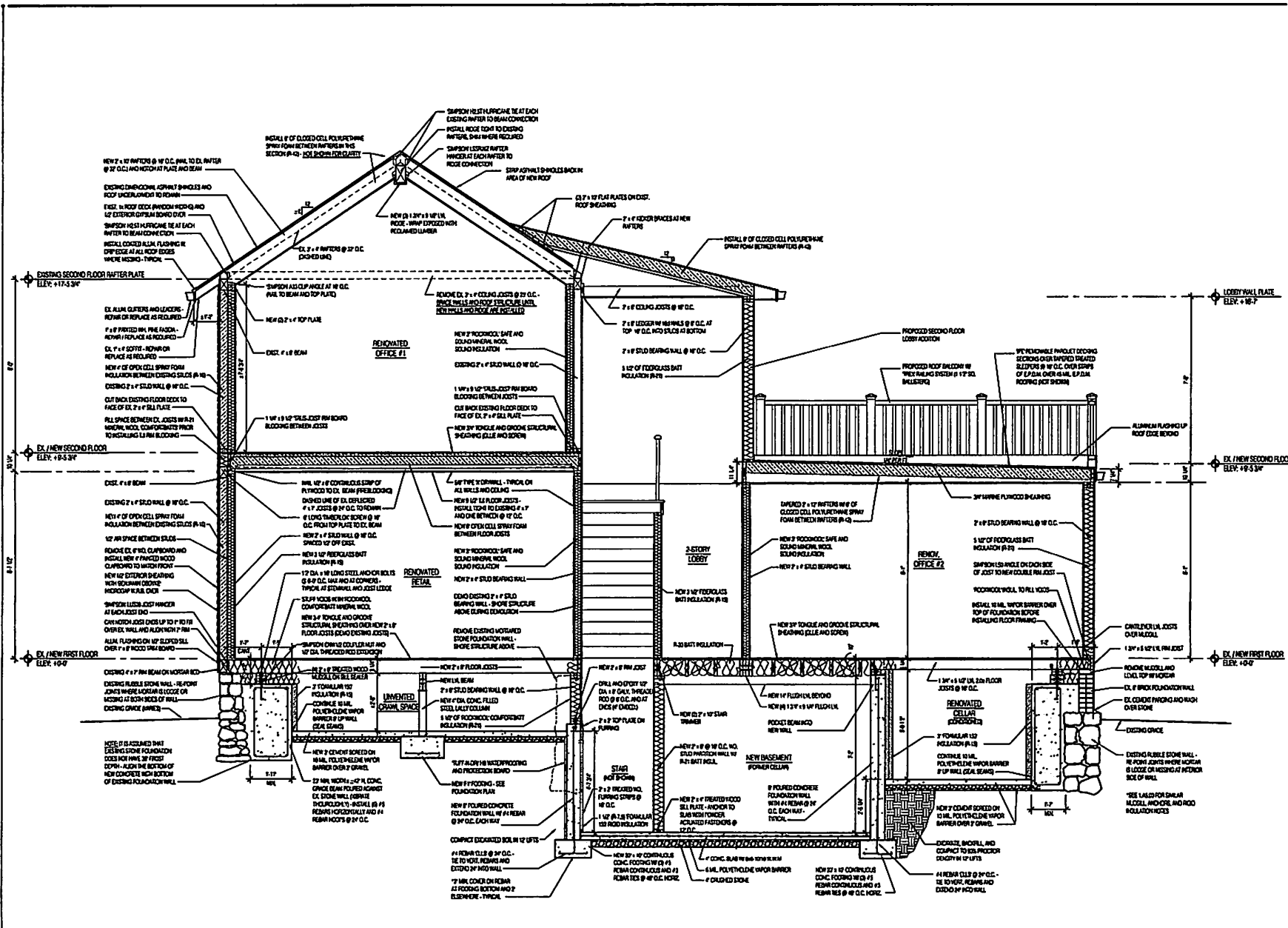
CLIENT  
**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

PROJECT LOCATION  
**TAX MAP# 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

ARCHITECT  
**KEVIN BRIDDE ARCHITECT**  
 210 S PRING STREET  
 MONROE, NY 10950  
 TEL: 845-928-2504  
 EMAIL: KBRD07@PPONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
 NEW CONSTRUCTION • ADDITIONS • RENOVATIONS

CONTRACTOR



No.	Date	Revisions and Remarks	By	Check
1	1/11/2023	HISTORIC BOARD MEETING #2	KS	KS
2	1/11/2023	CONCEPT PLANS	KS	KS
3	1/11/2023	CONCEPT PLANS #2	KS	KS
4	1/11/2023	FOUNDATION AND 1st FLOOR	KS	KS
5	1/11/2023	FOUNDATION AND 1st FLOOR	KS	KS
6	1/11/2023	ADDED SITE AND RAIL TABLE	KS	KS
7	1/11/2023	REVISED FOUNDATION	KS	KS
8	1/11/2023	FRAMING PERMIT & MATERIAL	KS	KS

Revisions and Approvals  
 Kevin Bridde NY License No. 62104

Drawing Description	
1	BUILDING SECTIONS
Project Number:	2204
Computer File:	SECTION
Scale:	1/2" = 1'-0"

**1 SECTION THROUGH CENTER OF BUILDING**  
 SCALE: 1/2" = 1'-0"

**A5.00**



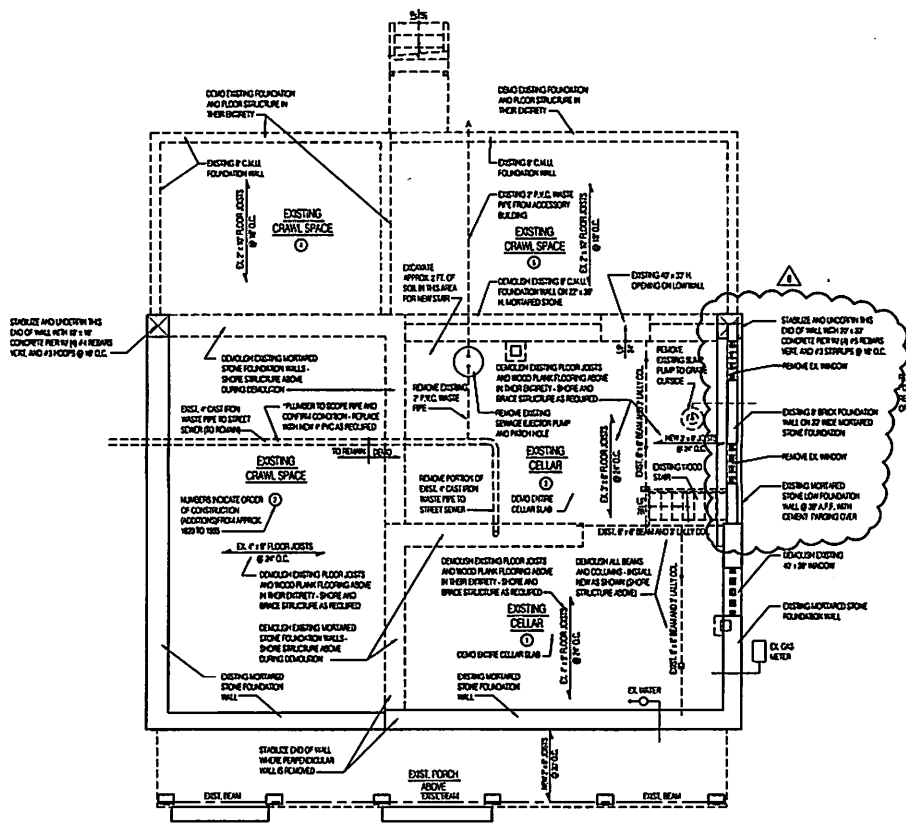
# Alteration and Reconstruction of Office Building

**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

PROJECT LOCATION  
**TAX MAP # 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

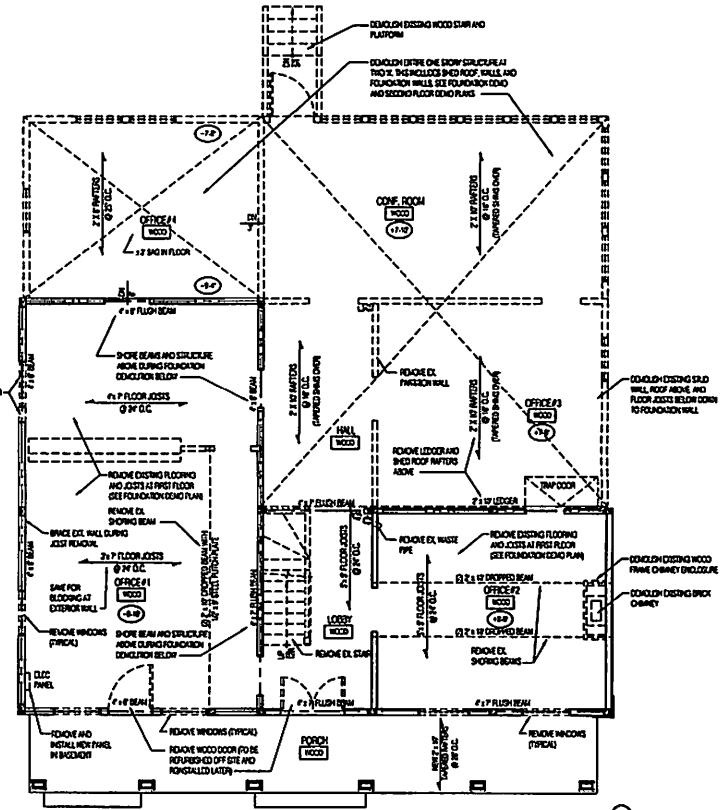
ARCHITECT  
**KEVIN BRODIE ARCHITECT**  
 219 D PRINDLE STREET  
 MONROE, NY 10950  
 TEL: 845-928-2504  
 EMAIL: KBROD7@OPTONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
 NEW CONSTRUCTION • ADDITIONS • RENOVATIONS



**DEMOLITION NOTES:**  
 1. IF IT IS ASSUMED THAT DEMOLITION AND NEW CONSTRUCTION WILL BE PERFORMED IN CONSECUTIVE PHASES SO THE EXISTING STRUCTURE REMAINS UPRIGHT.  
 2. SHORE AND BRACE EXISTING FOUNDATION WALLS AS REQUIRED DURING DEMOLITION AND RE CONSTRUCTION

**1 FOUNDATION DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISIONS	BY	CHECK
1.	1/11/23	HISTORIC BOARD MEETING #2	KB	KB
2.	1/14/23	CONCEPT PLANS #2	KB	KB
3.	1/16/23	CONCEPT PLANS #2	KB	KB
4.	1/27/23	FOUNDATION AND 1ST FLOOR	KB	KB
5.	1/30/23	ADDED SITE AND BULK TABLE	KB	KB
6.	8/29/24	REVISED FOUNDATION	KB	KB
7.	8/10/24	FINANCING PERMIT & N.A.B.A.	KB	KB

Registration and Seals  
 Kevin Brodie NY License No. 62393P

Drawing Description  
**FOUNDATION DEMOLITION PLAN**  
**FIRST FLOOR DEMOLITION PLAN**

Project Number: 2224  
 Computer File: PLAN\_01  
 Scale: 1/4" = 1'-0"

**D1.00**

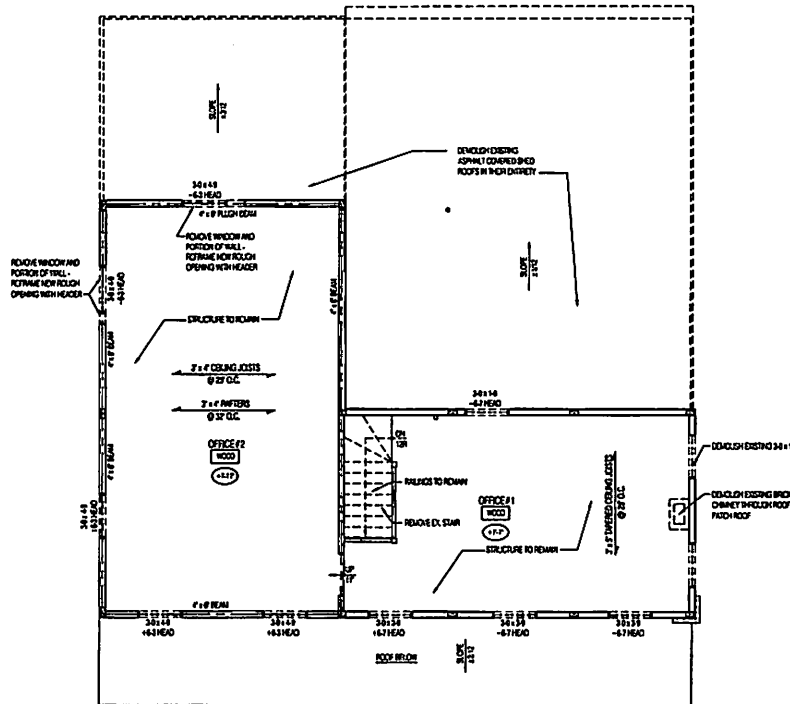
Alteration and  
Reconstruction of  
Office Building

Next Chapter  
Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

TAX MAP# 77.15-1-3  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

ARCHITECT  
KEVIN BRODIE  
ARCHITECT  
210 SPRING STREET  
MONROE, NY 10950  
TEL: 845-928-2804  
EMAIL: KBROD7@GPTONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION - ADDITIONS - RENOVATIONS



No.	Date	Revisions and Remarks	By	Check
1.	1/11/20	HISTORIC BOMBO MEETING #2	KB	KB
2.	1/11/20	CONCEPT PLANS	KB	KB
3.	1/20/20	CONCEPT PLANS #2	KB	KB
4.	1/27/20	FOUNDATION AND 1st FLOOR	KB	KB
5.	1/20/20	ADDED SITE AND WALK TABLE	KB	KB
6.	6/20/20	REVISED FOUNDATION	KB	KB
7.	8/10/20	FRAMING PERMIT & H.A.B.R.	KB	KB

Architect and Designer  
Kevin Brodie NY License No. 027099

Drawing Description  
**SECOND FLOOR DEMOLITION PLAN**

Project Number: 2334  
Computer File: PLAN 01  
Scale: 1/4" = 1'-0"

1 SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/4"=1'-0"

D2.00

# **NEXT CHAPTER EQUITIES LLC**

Andrew L. Rosenberg  
Member and Manager

Joseph Panzella  
Member and Manager

January 24, 2024

To: Orangetown Historical Areas Board of Review  
20 Greenbush Road  
Orangeburg, New York



Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. ("Property") in December, 2022 and appeared informally before the Historical Areas Board of Review ("Board") in February, 2023 and again in July, 2023, to obtain clarification as the Board's scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property. For your reference, I am attaching copies of the submissions that we made in connection with each of our prior meetings before the Board.

We were encouraged by the Board's receptiveness to our plans for the restoration of the Premises at each of the meetings we attended. We believe that the Board will be pleased to hear that we are no longer pursuing the option of taking down the entire building with the exception of the front facade and rebuilding it. Although the Board was receptive to this conceptually, all exterior walls of the building will now remain intact.

We are now appearing before the Board as a result of our filing of a permit application for certain foundation work to be performed at the Premises as well as the removal of a portion of the rear of the main building constructed on the Premises, in connection therewith. When the permit application was filed, we were advised by Ken Loudon and Jane Slavin that our application would have to go before the HABR due to the fact that the outside of the building was affected (i.e., a small portion of the rear of the structure was being removed). We will bring photographs of the interior of the building to the hearing.

Please be assured, we understand and fully intend to proceed with a further full formal appearance before the HABR (with full plans, materials information, etc.) in connection with the next phase of the project which will involve the full restoration/reconstruction of the building.

{02221496;1}

463 Livingston Avenue, Suites 102-166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

# **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review  
January 24, 2024  
Page 2 of 2

We truly appreciate the opportunity to once again appear before the Board in connection with this restoration and rehabilitation.

Very truly yours,

**NEXT CHAPTER EQUITIES LLC, a**  
New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg  
Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella  
Member and Manager

{02221496:1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 1/24/2024

**LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> <u>Commercial</u> <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> <u>Residential</u> <input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
---	---

**PERMIT#:** \_\_\_\_\_  
**ASSIGNED**  
**INSPECTOR:** \_\_\_\_\_

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** NC 77 MAIN ST RESTORATION

**Street Address:** 77 Main Street, Tappan, NY 10983

**Tax Map Designation:**  
 Section: 77.15 Block: 1 Lot(s): 3  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
 On the East side of Main Street, Tappan NY, approximately 150 feet of the intersection of Oak Tree Road, in the Town of Orangetown in the hamlet/village of Tappan.

<b>Acreage of Parcel</b> <u>0.18</u> <b>School District</b> <u>South Orangetown CSD</u> <b>Ambulance District</b> <u>South Orangetown Ambulance</u> <b>Water District</b> _____	<b>Zoning District</b> <u>CS</u> <b>Postal District</b> <u>10983</u> <b>Fire District</b> <u>Tappan</u> <b>Sewer District</b> <u>Orangetown</u>
--	--

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
This first phase of the rehabiliation work is limited to shoring up and stabilizing the foundation of the historic building including the removal of a small portion of the rear of the building.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
 Date: 2/23/24 Applicant's Signature: \_\_\_\_\_

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

If **subdivision**: N/A

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

If **site plan**: N/A

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for. N/A

\_\_\_\_\_  
\_\_\_\_\_

### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

### Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

\_\_\_\_\_  
\_\_\_\_\_

# APPLICATION REVIEW FORM

## Applicant's Signature and Certification

State of New York )  
County of Rockland ) SS.:  
Town/Village of Orangetown/Tappan )

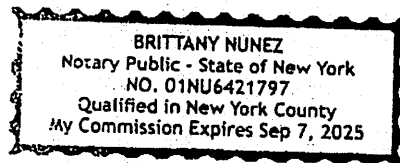
I, ANDREW ROSENBERG hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Signature: 

Mailing Address: 463 Livingston Avenue  
Suite 102-166  
Norwood, NJ 07648

SWORN to before this

23rd day of January, 2024  
Brittany Nunez  
Notary Public



## Owner/Applicant's Consent Form to Visit Property

I, ANDREW ROSENBERG, as Manager of NC 77 MAIN OWNER LLC, owner/applicant of the property described in the application submitted to the town/village board, planning board, zoning board of appeals and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question at a reasonable time during the day.

  
Owner/Applicant Signature

SWORN to before this

23rd day of January, 2024  
Brittany Nunez  
Notary Public



APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York )
County of Rockland ) SS.:
Town/Village of Orangetown/Tappan )

I, ANDREW ROSENBERG being duly sworn, hereby depose and say
that I reside in the county of Bergen in the state of
New Jersey.

I am the (\* Manager of the ) owner in the fee simple of premises located
at: 77 Main Street, Tappan, NY 10983

described in a certain deed of said premises recorded in the Rockland County
Clerk's Office in Liber of conveyances, page Assessment Number: 2022-00043716

Said premises have been in my/its possession since December 2022
Said premises are also known and designated on the Town of Orangetown.
Tax Map as: section: 77.15 block: 1 lot(s): 3

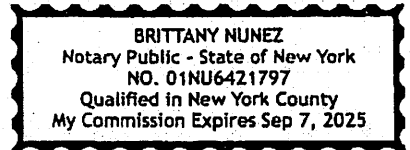
I hereby authorize the within application on my behalf and that the statement of fact contained in said
application are true, and agree to be bound by the determination of the board.

Owner Signature: [Handwritten Signature]

Mailing Address: 463 Livingston Avenue
Suite 102-166
Norwood, NJ 07648

SWORN to before this

23rd day of JANUARY, 2024
Brittany Nunez
Notary Public



\*If owner is a corporation, fill in the office held by deponent and name of corporation, and provide a
list of all directors, officers and stockholders owning more than 5% of any class of stock.



APPLICATION REVIEW FORM

Affidavit Pursuant to Section 809 of the General Municipal Law

State of New York )
County of Rockland ) SS.:
Town/Village of Orangetown/Tappan )

I, Andrew Rosenberg, being duly sworn, hereby depose and say that all the following statements and the statements contained in the papers submitted herewith are true and that the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

1. Print or type full name and post office address

463 Livingston Avenue, Suite 102-166, Norwood, NJ 07648

Certifies that he/she is owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner that he/she has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application for the relief set forth:

2. To the of the Town/Village of Orangetown/Tappan, Rockland County, New York:

Application, petition or request is hereby submitted for:

- ( ) Variance or modification from the requirement of Section ;
( ) Special permit per the requirements of Section ;
( ) Review and approval of proposed subdivision plat;
( ) Exemption from a plat or official map;
(✓) An order to issue a certificate, permit or license;
( ) An amendment to the Zoning Ordinance of Official Map or change thereof;
( ) Other (explain) ;

To permit construction, maintenance and use of Certain work to shore up and support the foundation of the historic building including the removal of a small portion of the rear of the building.

3. Premises affected are in a CS zone and from the Town of Orangetown

Tax map, the property is known as Section 77.15, Block, 1, Lot(s) 3.

**APPLICATION REVIEW FORM**

4. There is no state officer, Rockland County officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

5. To the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of ORANGETOWN in the petition, request or application or in the property or subject matter to which it relates:

**(IF NONE, SO STATE)**

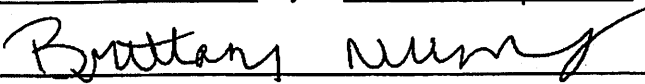
- a. Name and address of officer or employee NONE
- b. Nature of interest \_\_\_\_\_
- c. If stockholder, number of shares \_\_\_\_\_
- d. If officer or partner, nature of office and name of partnership \_\_\_\_\_
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. \_\_\_\_\_
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town of Orangetown.

6. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

Signature: 

Mailing Address: 463 Livingston Avenue  
Suite 102-166  
Norwood, NJ 07648

SWORN to before this

23<sup>rd</sup> day of JANUARY, 2024  
  
Notary Public



**APPLICATION REVIEW FORM**

**AFFIDAVIT**

State of New York     )  
County of Rockland   ) SS.:  
Town/Village of Orangetown/Tappan                     )

I, ANDREW ROSENBERG being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the HABR (*board*) in the town/village of Orangetown/Tappan affecting property located at 77 Main Street, Tappan, NY 10983, Rockland County, New York.

That the following are all of the owners of property \_\_\_\_\_ (*distance*) from the premises as to which this application is being taken.

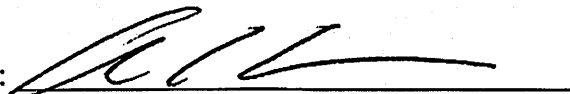
SECTION-BLOCK-LOT	NAME	ADDRESS
77.15 - 1 - 3	NC 77 MAIN OWNER LLC	77 Main Street, Tappan, NY 10983

# APPLICATION REVIEW FORM

## Reimbursement for Professional Consulting Services

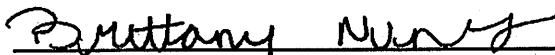
The Town/Village Board, Planning Board and Zoning Board of Appeals in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with such charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village for the cost of such consultant services upon receipt of the bill. Such reimbursement shall be made prior to final action on the application.

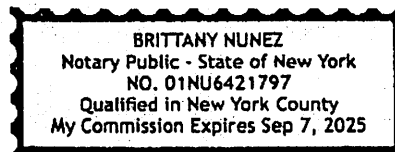
Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full.

Applicant's Signature: 

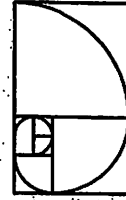
SWORN to before this

23rd day of JANUARY, 2024

  
Notary Public



**KEVIN BRODIE  
ARCHITECT  
218 SPRING STREET  
MONROE, NY 10950  
TEL: (845) 928-2504  
FAX: (845) 827-6123  
EMAIL: KBROD7@OPTONLINE.NET**



January 12, 2024

Building Inspector  
Town of Orangetown  
Building Department  
20 South Greenbush Road  
Orangeburg, NY 10962

**Re: Partial Demo and Foundation Remediation**  
Next Chapter Equities, LLC  
77 Main Street  
Tappan, NY 10983  
Tax ID# 77.15-1-3

Dear Building Inspector,

After months of careful planning and consultation with a Structural Engineer and contractors we have decided to do a partial demolition and reconstruction. We met with the Historical Areas Board of Review on July 11, 2023. At this meeting we explained the poor condition of the foundation and wood frame structure. One option was to demolish the entire structure leaving only the front wall intact. The Historic Board was fine with this as long as new construction matched the materials and details of the front wall.

We have decided that this was cost prohibitive and have taken a hybrid approach. The rear one story shed roof additions will be demolished in their entirety. The Foundation Demolition Plan on drawing D1.00 enclosed shows numbers '1' through '5'. This was the order of additions with '1' being the original building. This structure was constructed as a two-story post and beam structure with a shed roof around 1830. In the 1860's a two-story addition (section '2') was added to create an L-shaped structure. The addition included a new gable roof on keewalls constructed over section '1'. Sections #3, 4, and 5 were added on in that order from 1880 to 1982. They are all one story and all in poor condition.

The attached plans show Sections #3, 4, and 5 being demolished in their entirety. A new one story structure with a full basement for Utility / Storage use will be constructed here. The exterior will have a shed roof similar to the existing. We will obtain approvals from the HABR once all drawings are complete. Since the new foundations and first floor framing will take a while to complete, we are proposing doing this work now as Phase '1'. Drawings for the remainder of work will be issued as Phase '2' in the next couple of months.

Partial Demo and Foundation Remediation

1/16/2024

Page 2

The attached drawings have no increase in height or footprint. In fact the footprint will be slightly decreased as we are pulling the left rear (southeast) side wall in 3". No work except demolition and shoring will continue above the first floor deck until Phase '2' plans are approved. The front wall, porch, and roof will remain untouched. Please call me if you have any questions.

Best Regards,

Kevin Brodie, R.A.



**Alteration and Reconstruction of Office Building**

**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

**TAX MAP# 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

**ARCHITECT**  
 KEVIN BERRIE  
 ARCHITECT  
 818 SPRING STREET  
 HAWORTH, NY 10840  
 TEL: 943-938-2504  
 EMAIL: kberr07@optonline.net

**RESIDENTIAL AND COMMERCIAL DESIGN**  
 ARCHITECTURE + INTERIOR DESIGN

**Issued for Demolition, Foundation, and New First Floor Framing and Floor Sheathing ONLY**

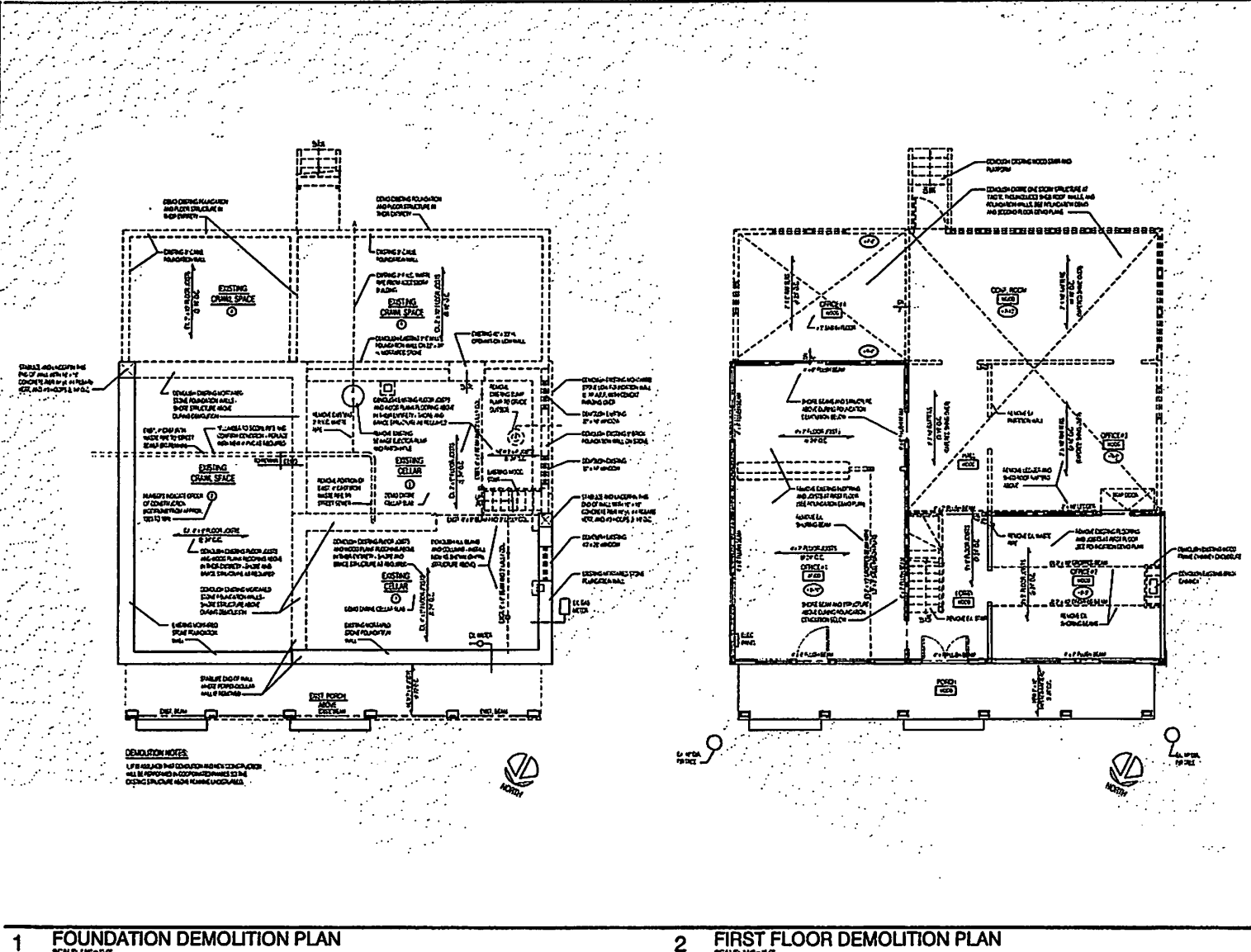
Rev	Description	By	Date
1	ISSUED FOR FOUNDATION, NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY	K.B.	12/13/17
2	ISSUED FOR FOUNDATION, NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY	K.B.	12/13/17
3	ISSUED FOR FOUNDATION, NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY	K.B.	12/13/17
4	ISSUED FOR FOUNDATION, NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY	K.B.	12/13/17



**Project Description:**  
 FOUNDATION DEMOLITION PLAN  
 FIRST FLOOR DEMOLITION PLAN

**Project Number:** 230  
**Computer File:** PLAN 01

**D1.00**



**1 FOUNDATION DEMOLITION PLAN**  
 SCALE: 1/4"=1'-0"

**2 FIRST FLOOR DEMOLITION PLAN**  
 SCALE: 1/4"=1'-0"



**Alteration and  
Reconstruction of  
Office Building**

**Next Chapter  
Equities, LLC**  
350 Pine Lane  
Haworth, NJ 07641

PROJECT LOCATION:  
**TAX MAP# 77.15-1-3**  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

ARCHITECT:  
**KEVIN ERDIE  
ARCHITECT**  
218 SPRING STREET  
MICHIGAN, NY 10954  
TEL: 845-028-2504  
EMAIL: KERDIE7@GPTONLINE.NET



RESIDENTIAL AND COMMERCIAL DESIGN  
with architectural, engineering, and interior design

**Issued for  
Demolition,  
Foundation,  
and New First Floor  
Framing and Floor  
Sheathing ONLY**

No.	Date	Drawn and Revisions	By	Check
1	1/15/21	PRELIMINARY CONCEPT PLAN	KE	KE
2	1/15/21	CONCEPT PLAN	KE	KE
3	1/15/21	TIFF CUT PLAN	KE	KE
4	1/15/21	FOUNDATIONS AND FLOOR	KE	KE

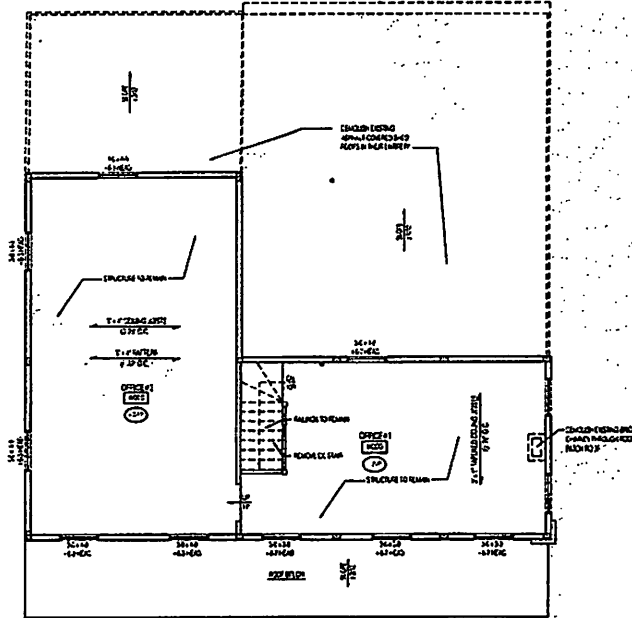
Professional and Signature  
Kevin Erdie NY License No. 42341



Drawing Description:  
**SECOND FLOOR DEMOLITION PLAN**

Project Number: 2334  
Drawing No: PLAN 01  
Date: 1/15/21

**D2.00**



**1 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

# Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

TAX MAP# 77.15-1-3

77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

ARCHITECT  
KEVIN BROOKS ARCHITECT  
218 SPRING STREET  
ROCKLAND, NY 10950  
TEL: 845-920-2804  
EMAIL: KBROOK7@OPTONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION • RENOVATION • RESTAURANTS

Issued for  
Demolition,  
Foundation, and  
New First Floor  
Framing and Floor  
Sheathing ONLY

Rev.	Date	By	Check
1	11/13/13	KEVIN BROOKS ARCHITECT	12/18/13
2	11/13/13	CONCEPT PLAN	11/13/13
3	11/13/13	FLOOR PLAN	11/13/13
4	11/13/13	FOUNDATION PLAN	11/13/13

Scale: As Shown  
NY License No. 45764



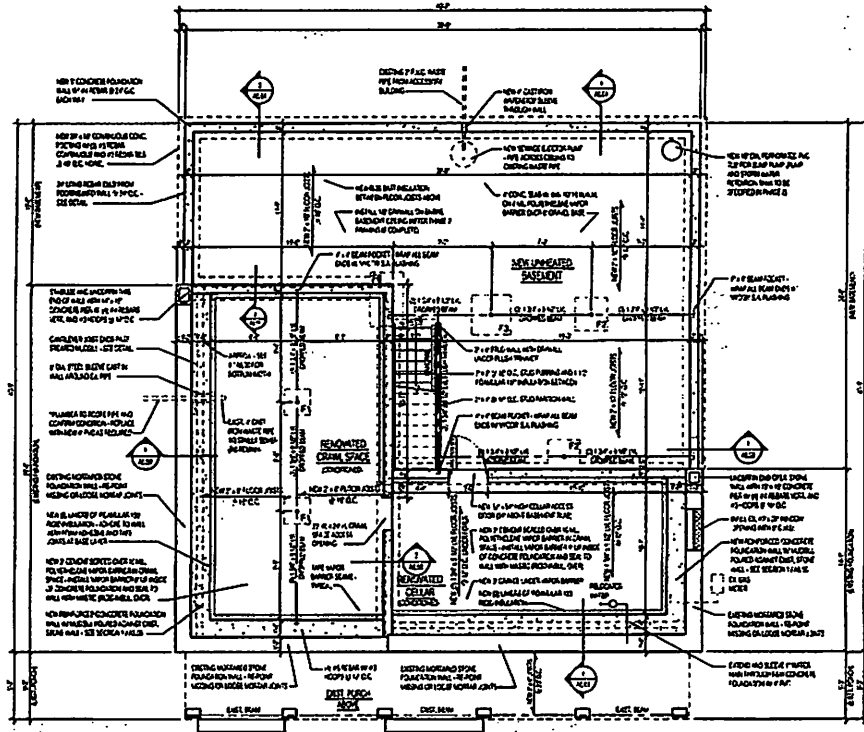
Drawing Conventions

Foundation Plan
Sheet Number: 101
Project No: 101
Scale: 1/8" = 1'-0"

A2.00

FOOTING SCHEDULE	
F1	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.
F2	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.
F3	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.
F4	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.
F5	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.
F6	24" x 24" x 12" DEEP CONC. FOOTING @ 24" x 24" BARS @ 12" O.C.

**GENERAL NOTES:**  
1. FOUNDATION SHALL BE CONSTRUCTED AS SHOWN UNLESS OTHERWISE NOTED.  
2. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
3. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
4. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
5. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.



**FOUNDATION NOTES:**  
1. SHOW BRACING DETAILS THROUGHOUT CONSTRUCTION AND DEMOLITION.  
2. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
3. THE FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
4. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.  
5. ALL FOUNDATION SHALL BE CONSTRUCTED WITH PROPER BRACING AND SHORING.

1 FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

Alteration and  
Reconstruction of  
Office Building

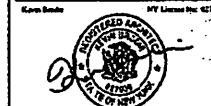
Next Chapter  
Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

TAX MAP# 77.15-1-3  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

RESIDENTIAL AND COMMERCIAL DESIGN  
with construction - additions - renovations

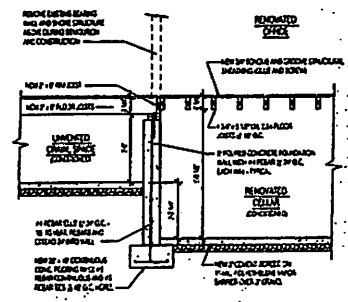
Issued for  
Demolition,  
Foundation, and  
New First Floor  
Framing and Floor  
Sheathing ONLY

Rev.	Description	Date
1	ISSUED FOR PERMITS	10/15/14
2	ISSUED FOR PERMITS	10/15/14
3	ISSUED FOR PERMITS	10/15/14
4	ISSUED FOR PERMITS	10/15/14

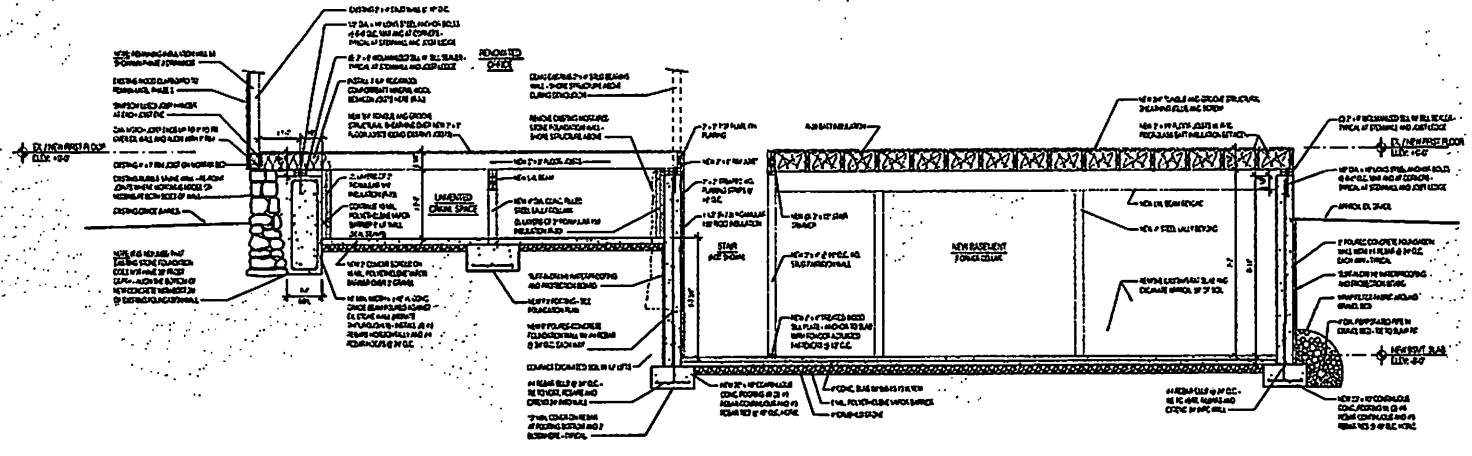


Project Number: 2014  
Drawing Number: SECTION

A5.00



2 DETAIL AT CRAWL SPACE / CELLAR AT FRONT  
SCALE: 1/2" = 1'-0"



1 SECTION THROUGH CENTER OF BUILDING  
SCALE: 1/2" = 1'-0"

# Alteration and Reconstruction of Office Building

**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

TAX MAP# 77.15-1-3  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

ARCHITECT  
**KEVIN BROOK**  
 ARCHITECT  
 518 SPRING STREET  
 HAWORTH, NJ 07641  
 TEL: 973-928-2500  
 EMAIL: KBROOK@GOPHONELINE.NET  
 RESIDENTIAL AND COMMERCIAL DESIGN  
 NEW CONSTRUCTION • ADDITIONS • REMODELS  
 10/20/14

Issued for Demolition, Foundation, and New First Floor Framing and Floor Sheathing ONLY

Rev.	By	Date	Description
1	KB	10/20/14	ISSUED FOR DEMOLITION, FOUNDATION, AND NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY
2	KB	10/20/14	ISSUED FOR DEMOLITION, FOUNDATION, AND NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY
3	KB	10/20/14	ISSUED FOR DEMOLITION, FOUNDATION, AND NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY
4	KB	10/20/14	ISSUED FOR DEMOLITION, FOUNDATION, AND NEW FIRST FLOOR FRAMING AND FLOOR SHEATHING ONLY

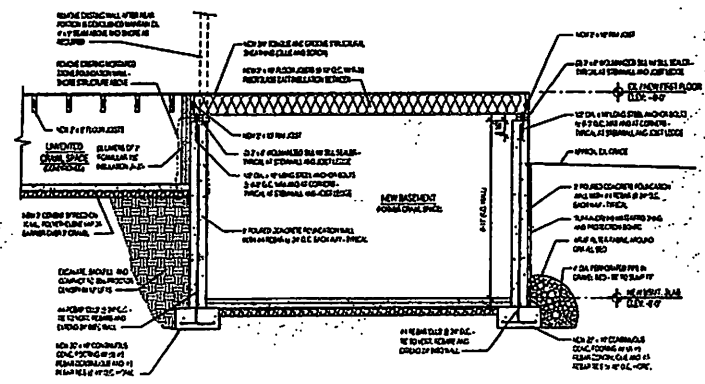
Scale: 1/4" = 1'-0"

DATE: 10/20/14

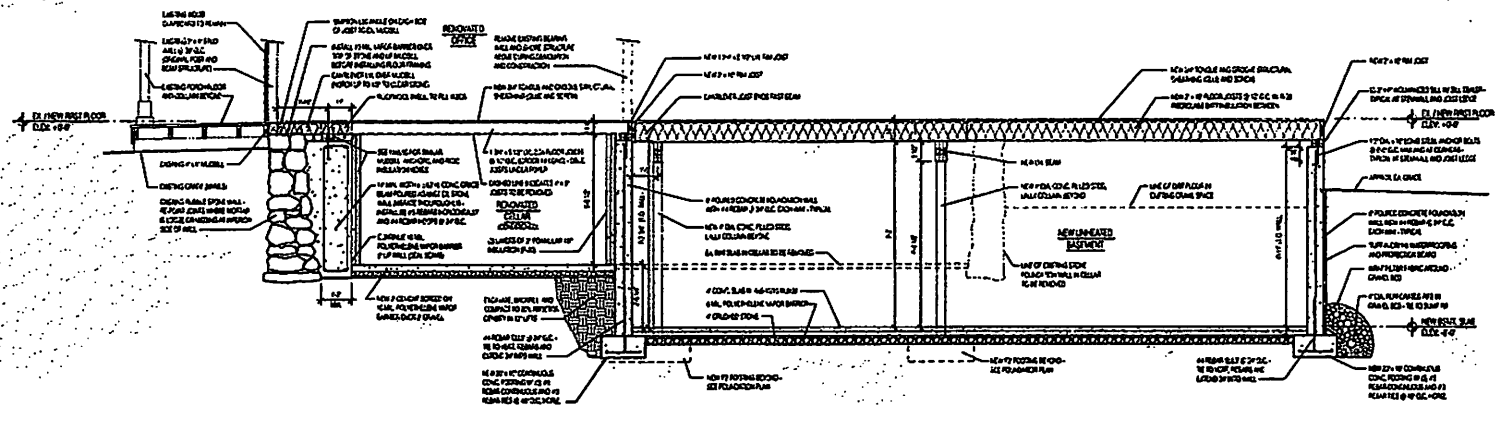
PROJECT: 220

SECTION: SECTION

Scale: 1/4" = 1'-0"



**2 DETAIL AT LEFT REAR CORNER OF BUILDING**  
 SCALE: 1/4" = 1'-0"



**1 SECTION THROUGH RIGHT SIDE OF BUILDING**  
 SCALE: 1/4" = 1'-0"

A5.01

# **NEXT CHAPTER EQUITIES LLC**

Andrew L. Rosenberg  
Member and Manager

Joseph Panzella  
Member and Manager

June 26, 2023

To: Orangetown Historical Areas Board of Review  
20 Greenbush Road  
Orangeburg, New York



Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. (“Property”) in December, 2022 and appeared informally before the Historical Areas Board of Review (“Board”) in February, 2023 to obtain clarification as the Board’s scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property. Since the time of our first appearance before the Board, we have retained an architect in connection with the rehabilitation of the property and done substantial due diligence on the current condition of the Property and what would be required to turn the Property into a first-class commercial property while maintaining the historic nature, look, and feel of the exterior. As we mentioned at our first appearance before the Board, the historic nature of the Property is what drew us to it in the first place.

We have demolished the interior of the Property so that the framing and exterior walls are all visible. This was an important step in being able to determine the condition of the “bones” of the building. Once the framing and exterior walls were exposed, we performed a detailed walk-through and inspection of the property with our architect and a structural engineer. Unfortunately, what we found is a building with significant structural issues, some of which will be very difficult, if not impossible, to remedy while maintaining the existing structure. Our original and current goal is to maintain the historic nature and look unchanged on the outside while providing Tappan with a structurally sound and modernized building that will be an asset to the Tappan Historic District for many years to come.

In light of the foregoing, we have requested this additional informal appearance before the Board to discuss the possibility of taking down and reconstructing the entire building **except for the front façade** which would be maintained – appropriately braced and supported while the rest of the building is undergoing reconstruction. We are not yet certain if we will decide to go this route; however, prior to investing significant further engineering and architecture dollars in this project, we wanted to obtain some clarity on the options available to us.

We have included a number of photographs with narratives prepared by our architect so that you can see the condition of various parts of the building structure. For further clarity, our architect (Kevin Brodie) will be attending the Board meeting with us. Additionally, we think that it would be extremely

{02221496:1}

Haworth, New Jersey 07641 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

# ***NEXT CHAPTER EQUITIES LLC***

Orangetown Historical Areas Board of Review  
June 26, 2023

beneficial if one or two of the members of the Board could meet and walk through the building with us prior to our meeting to get a first-hand look and feel.

We truly appreciate the opportunity to once again appear before the Board, this time with our architect, on an informal basis to further discuss this restoration and rehabilitation. We have reattached our bios so that you have them handy.

Very truly yours,

**NEXT CHAPTER EQUITIES LLC, a**  
New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg  
Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella  
Member and Manager

{02221496:1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

# **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review  
June 26, 2023

## **NEXT CHAPTER EQUITIES LLC**

Next Chapter Equities LLC is a private investment firm seeking strategic investment opportunities primarily in the real estate industry. The firm's two principals, Andrew Rosenberg and Joseph Panzella (see bios below), have a long history in the real estate business and have pooled their resources and experience to create a uniquely positioned firm.

### **JOSEPH PANZELLA**

Joseph Panzella has owned twelve personal and investment properties dating back to 1983. His first property was a co-op apartment which he purchased at the age of 21 and managed and rented for four (4) years before selling. Mr. Panzella acquired his first commercial property in 1984 and a second a couple of years later. He managed and rented these properties until 1998 when they were sold. From 1998 through present, Mr. Panzella has purchased and renovated multiple single family residential properties, both for personal use and for investment purposes. Mr. Panzella is a resident of Haworth, New Jersey and has been a member of the Zoning Board of Adjustment since 2014.

### **ANDREW ROSENBERG**

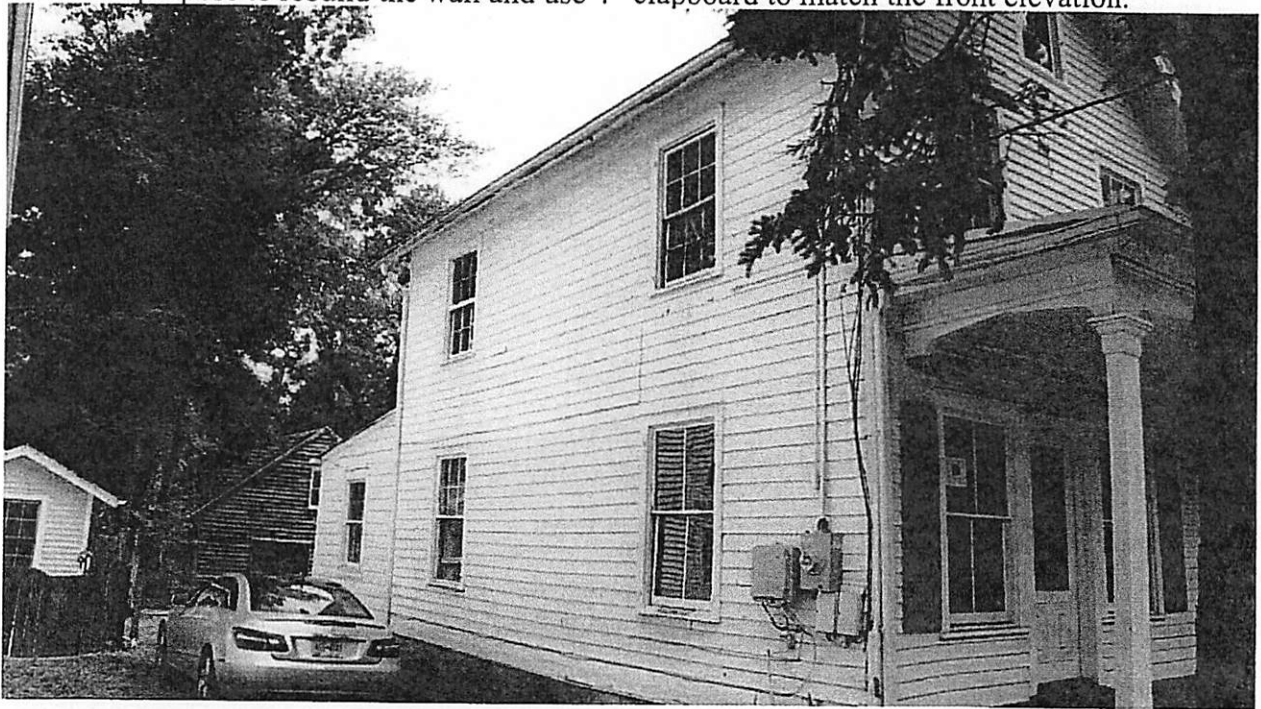
Andrew Rosenberg has been involved in the commercial real estate business for 30 years. In his profession as a commercial real estate attorney representing owners, operators, and developers, he has structured over a hundred commercial real estate investments in various asset classes across the country and has served as a *de facto* general counsel to many clients in the commercial real estate industry. Additionally, Mr. Rosenberg has made numerous investments in commercial properties throughout the United States with positions in both the GP and LP sides of the capital stack. His investments span multiple asset classes. Mr. Rosenberg has been a member of the Borough Council and the Planning Board in Haworth, New Jersey, and has served as the Council Liaison to the Haworth Zoning Board of Adjustment, since 2011.

{02221496:1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)



Cement Parging over bulging stone foundation at left (east) wall. Note inconsistent clapboard width from original front wall. We propose to rebuild this wall with concrete and use salvaged stone to build a new stone veneer wall to mimic what was originally there. We also propose to rebuild the wall and use 4" clapboard to match the front elevation.



Will copy windows here with new simulated divided light windows. Note the inconsistent grill patterns of 2/2 (Victorian) and 6/6 (Colonial). We will present three options, one as is, one with 2/2 at first floor and 6/6 at second (like front has), and one with all 6/6 lites.

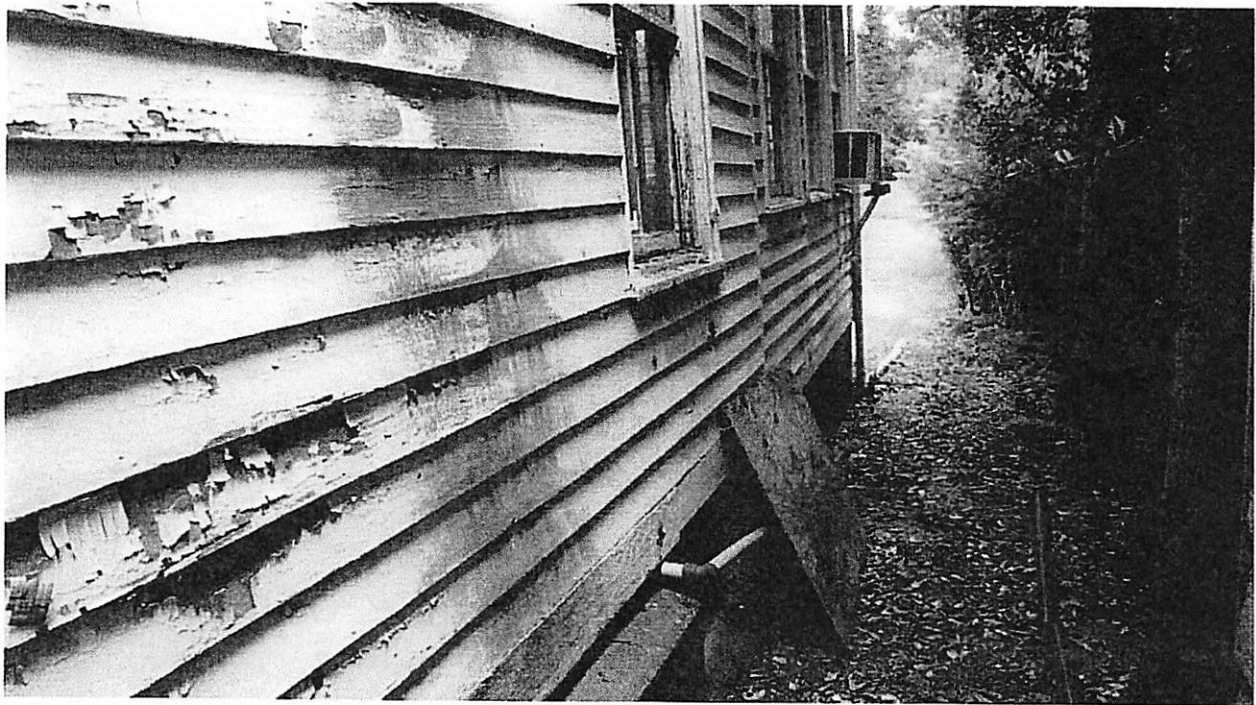




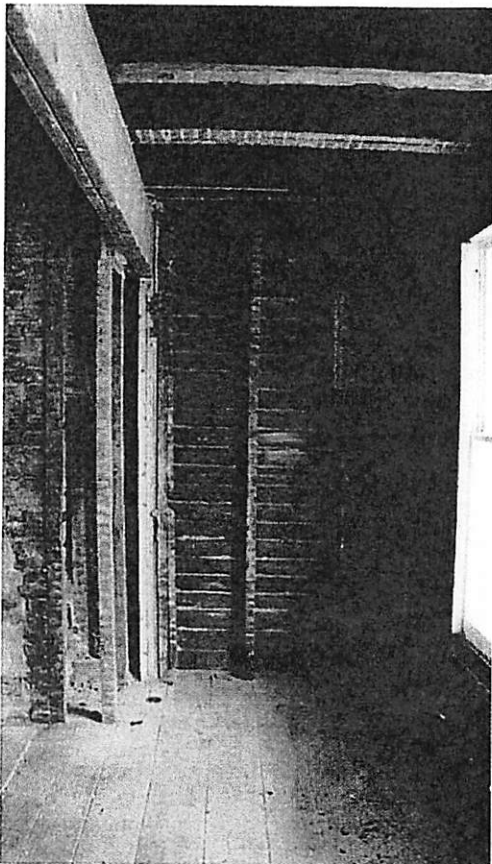
The front elevation and porch will remain as-is except for paint and new windows. We would like to add a door between the windows at the right side for symmetry and retail access from the porch.



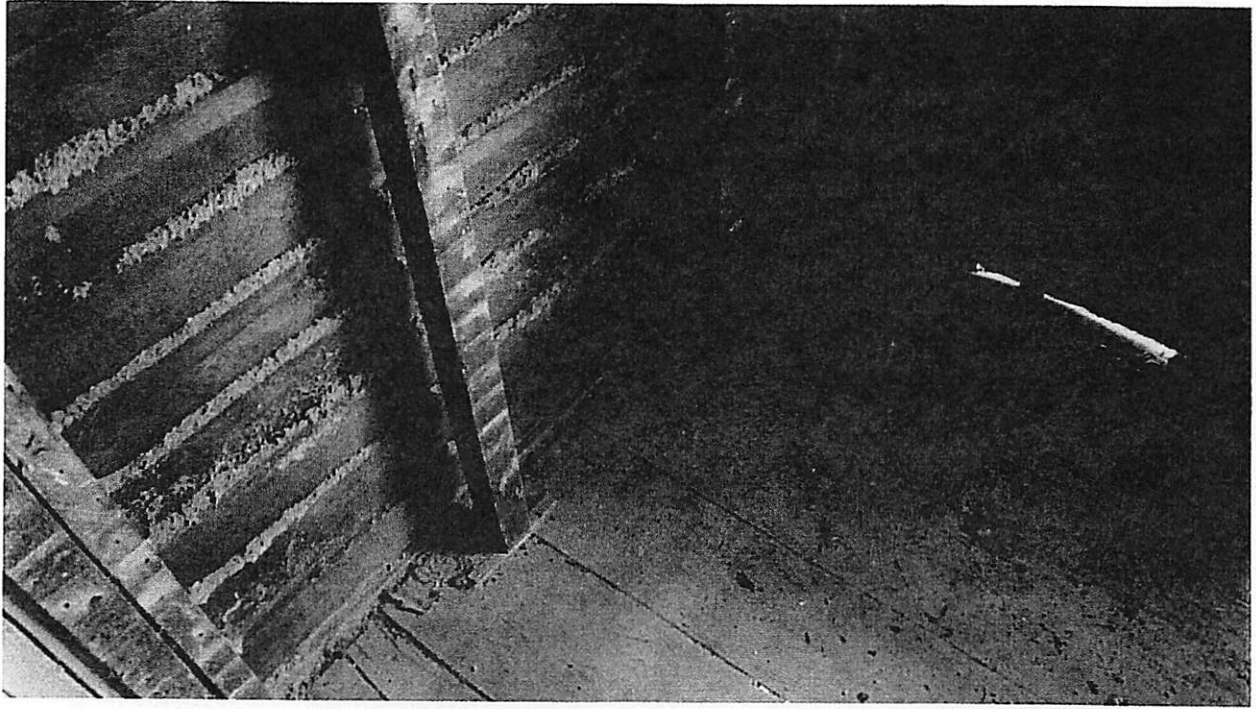
This photo shows the decaying sill plate which is causing the west wall to sink and become more unstable in the future. I propose reconstructing this wall with corner pilasters and 4" clapboard to match the front elevation. 2/3 of this wall will be demolished anyway since they were additions.



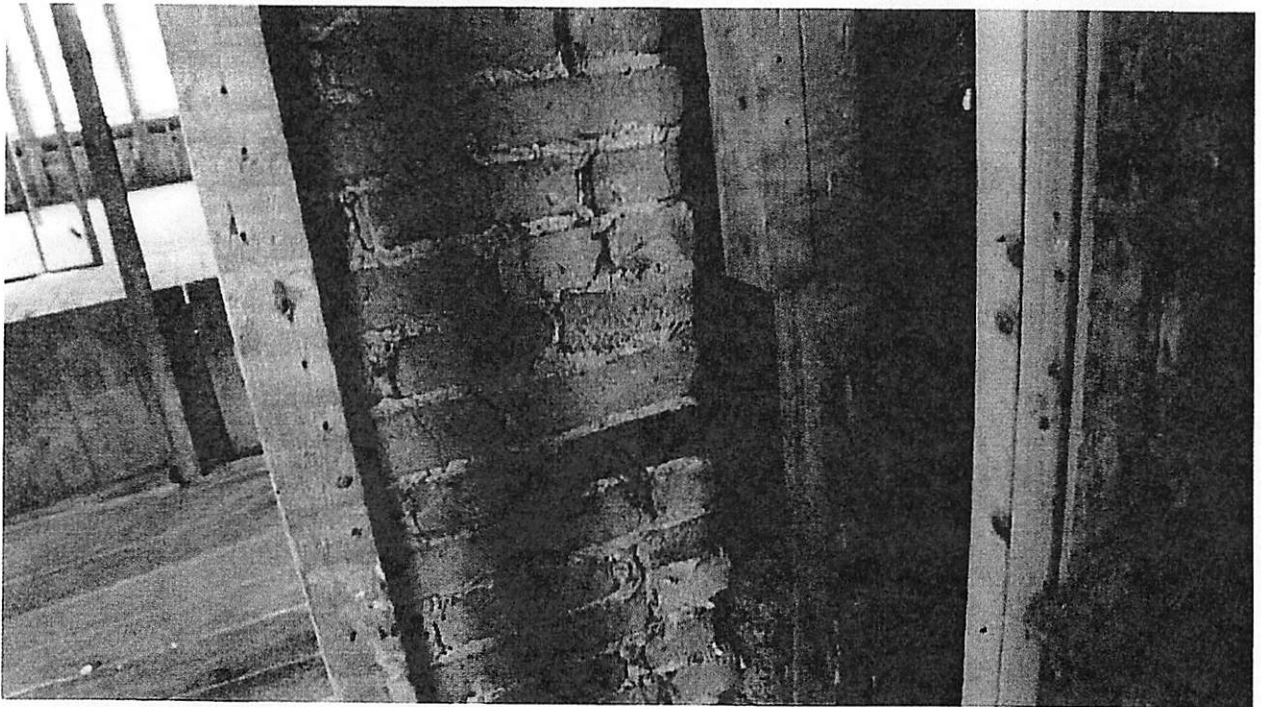
Here is the rear portion of the west wall to be demolished. One thing to note is that the west wall is located 4 feet away from the neighboring house and very little of it is visible from the street.



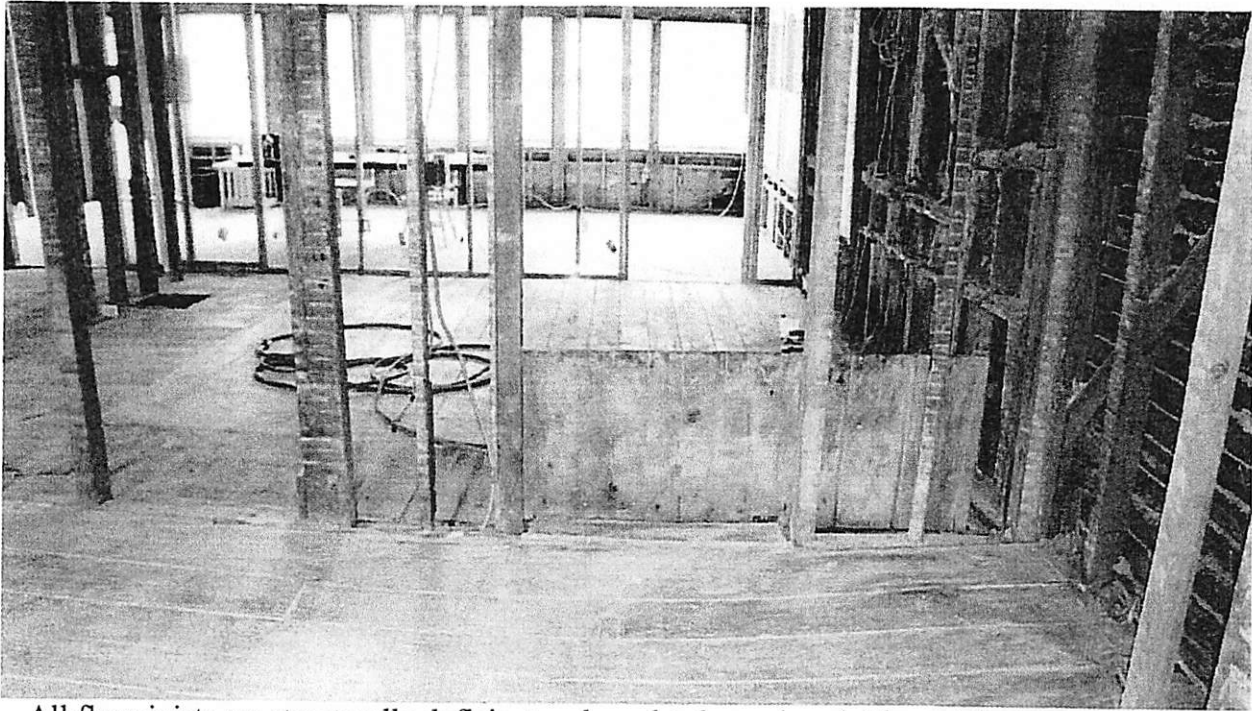
This photo shows the interior of the west wall. There are 2" x 4" wall studs at 36" o.c. spacing. The clapboard is nailed directly to them. This wall is structurally deficient, the mudsill is rotting and sinking, and there is no vapor barrier under the siding. We would like to demolish and reconstruct this wall with 4" clapboard on the exterior to match the front wall.



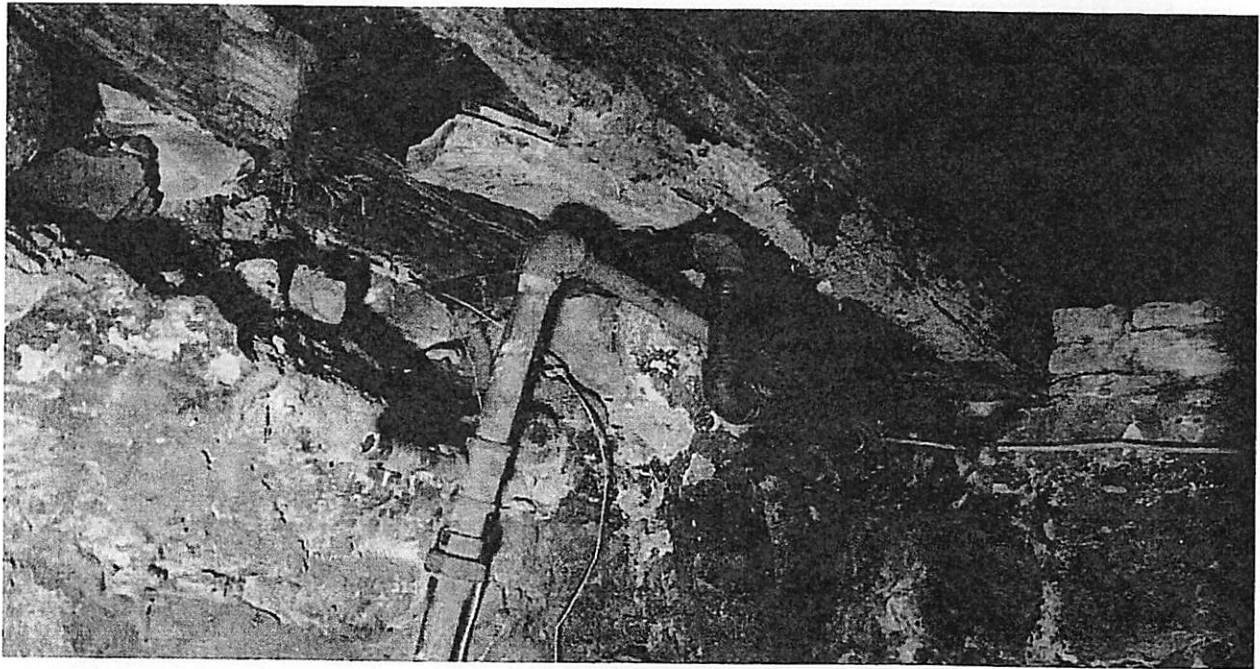
Here is a closer look at the west wall construction from inside. Note the daylight coming from under the north wall. Although not visible here due to old cellulose insulation blocking it, there is daylight coming in between the exterior clapboards as well in many locations.



This is an abandoned brick chimney that is structurally unstable and does not have proper support in the basement. We propose removing this. It is not a significant architectural element from the street and is barely visible mainly due to the large pine tree in front.



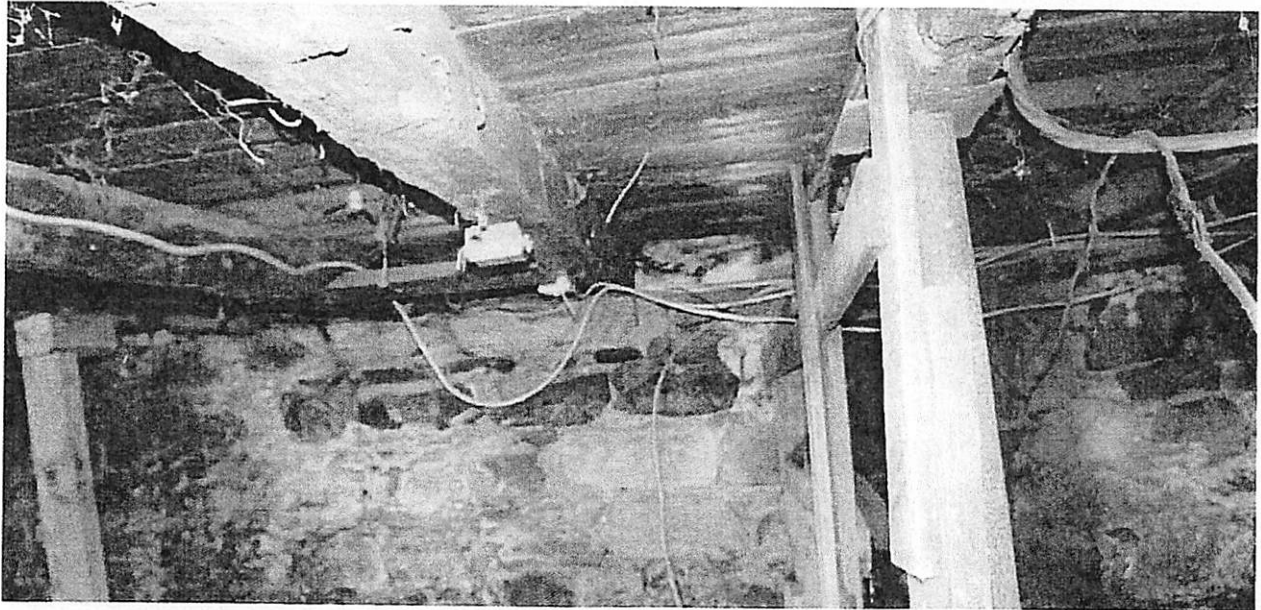
All floor joists are structurally deficient and need to be replaced. The original portion of the house shown above has a sagging and wavy floor system. Most rooms have at least 2" of deflection at the center of the floor. In order to save the floors, each room would have to have the exterior walls individually braced while the floor joists are removed and replaced.



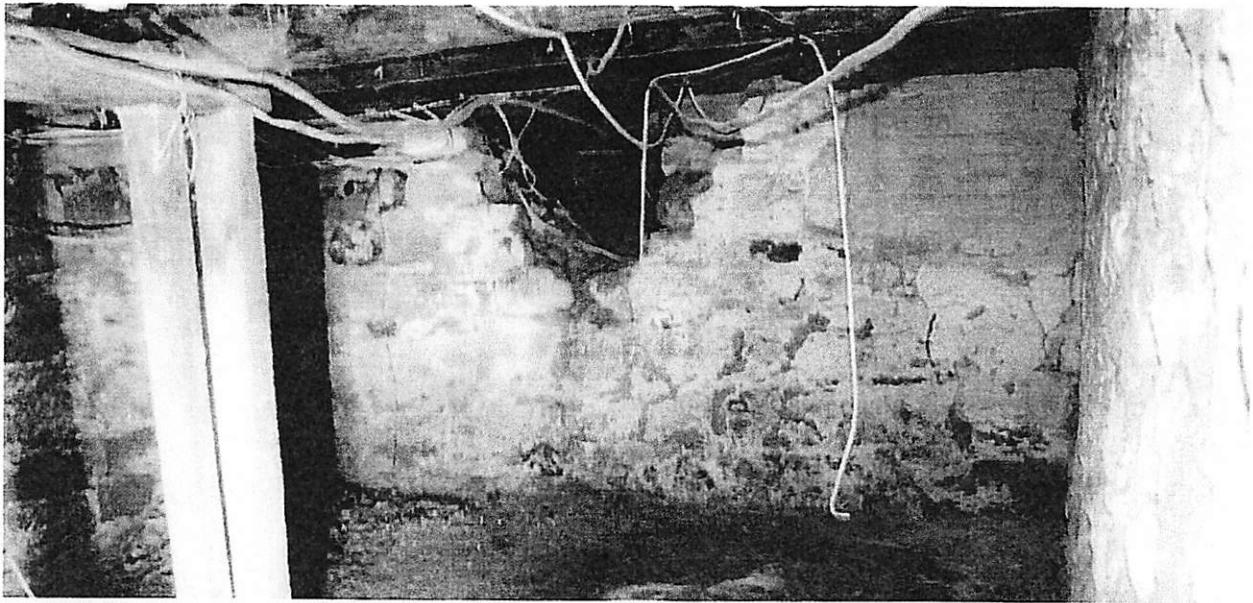
All joist ends bear on the stone foundation walls directly. Because of this, many are rotting. The only way to replace these is to install new joists on beams with footings with lally columns. In addition there is no good way to tie the new floor structure into the damp and rotted wall framing and joist ends on the foundation. Demolishing the exterior walls and constructing a new foundation will be better for longevity and structural soundness.



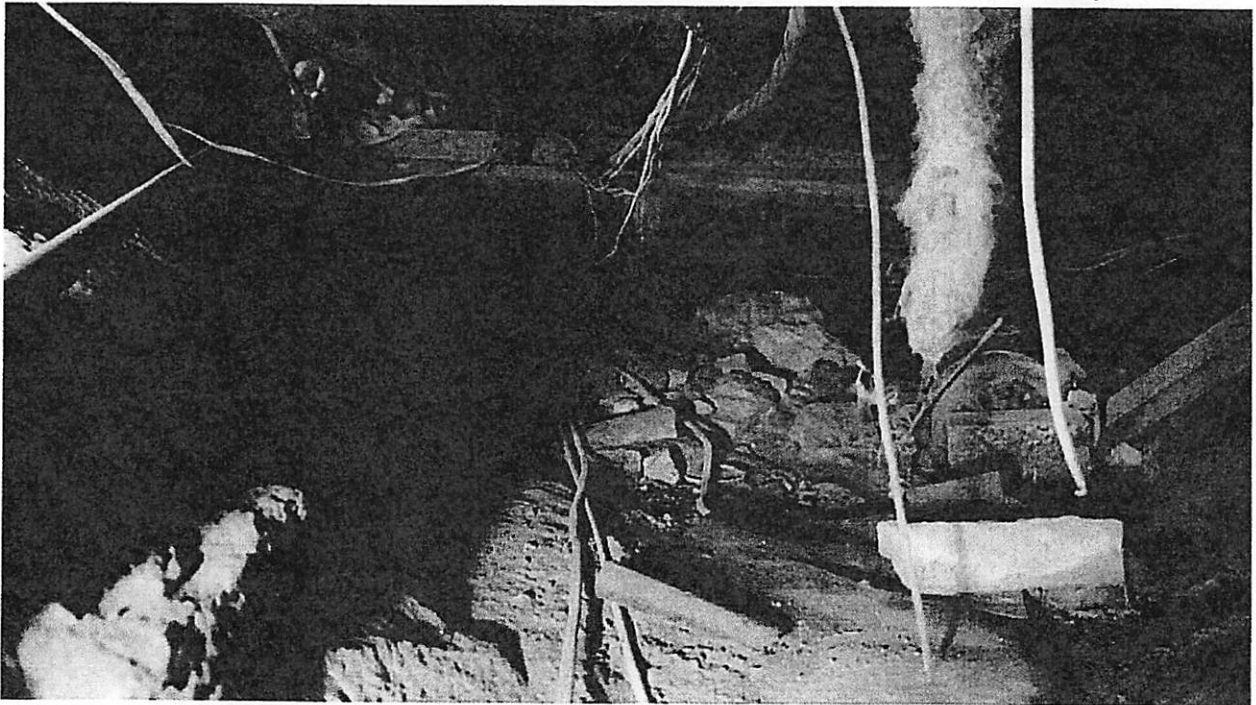
The east foundation wall (under right side wall in photo) has settled approximately 2" which creates a slope in the floor in addition to the sagging. The joists at this floor are 3" x 7" at 24" on center spanning 16 feet. They, and all joists, are seriously deficient. A beam was previously added to prevent collapse but this has not addressed any of the floor issues.



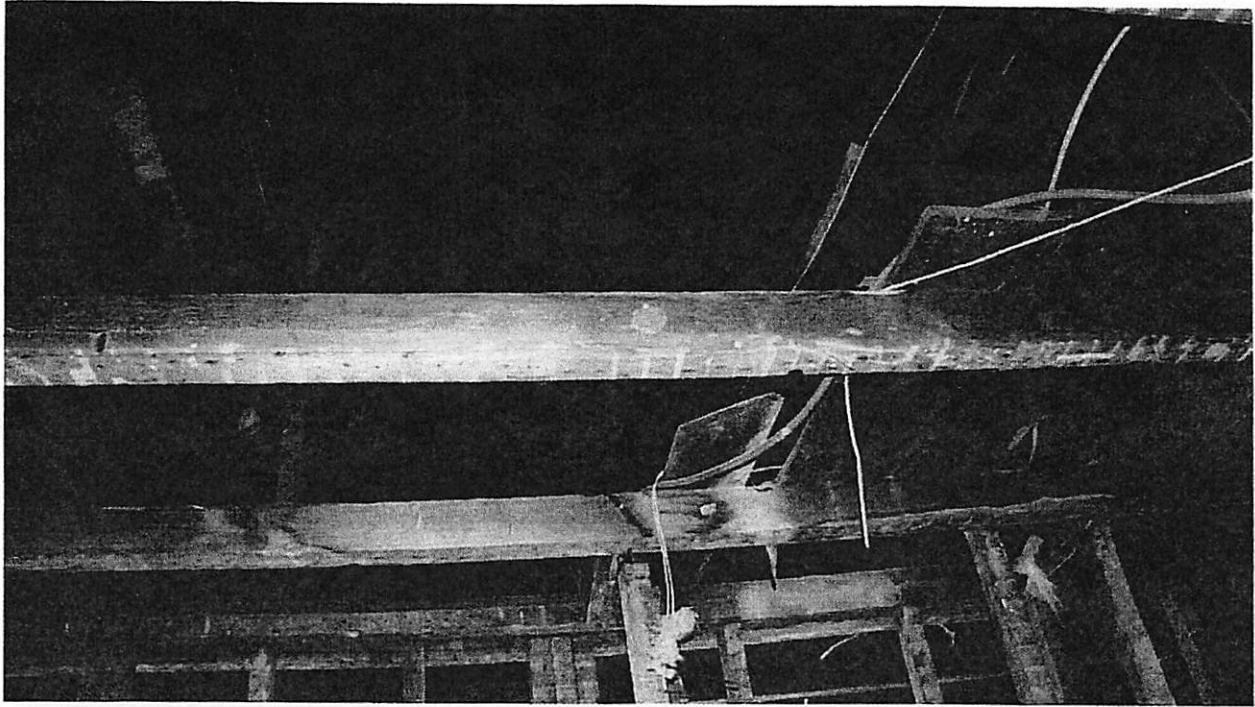
The original portion of the house (northwest quadrant) has a 20" wide stone foundation which does not have footings. There is some structural settling of about 2" present in some areas. There is 5' of headroom in the cellar here. Since the walls and floor have no waterproofing there is constant moisture and standing water in the basement even with two sump pumps existing.



This is the wall separating the original cellar from the crawl space added at the northeast side. The existing slab needs to be replaced in order to install french drains and a vapor barrier on gravel. As noted on page 5, a network of footings, columns, and beams needs to be added to support the new joist ends as we can't bear them on the stone. This creates an issue with lateral support at the stone wall which will be difficult to remedy.



The northeast addition was constructed on a 2 ft. high crawl space with a dirt floor. This makes access nearly impossible and the floor here needs to be replaced and leveled. The dirt floor will need a vapor barrier and the entire perimeter will need insulation which will be difficult to install.



The original northwest quadrant of the building had a flat roof with tapered rafters as shown above. When the northeast portion (left side) was added, a gable roof and the front porch were constructed to create a Victorian Gothic structure. When they did this they added 2" x 4" kneewalls above the existing walls. These walls have about 1" of outward lean since they are disconnected from the structure below and have no lateral ties (see photo below). In addition the rafters are 3" x 4" rafters @ 32" o.c. which is very inadequate. The best way to repair this is to demolish and replace the rafters.



The ceiling height in the original portion shown on page 8 is 7'-2". This does not meet building code. To raise the ceiling the joists would have to be removed which is impossible because the walls will splay outward. The amount of new wood studs, steel plates, bracing, rafters, and ties required to reinforce the existing roof and wall structure would be economically burdensome. We propose demolishing the roof and replacing it with a new roof. It will appear identical on the exterior as all rafter tails and eaves will match existing. The gingerbread trim will be removed at the front and replaced to match. Most of it can be salvaged and missing sections be replicated.

We propose maintaining the front foundation wall, front wall, and porch above and demolishing the the remaining structure. A new reinforced concrete foundation wall would be constructed in front of the stone at the north side in side the cellar. The 5 ft. cellar would be replaced with a new cellar that would step down at the rear to a new Basement. New concrete walls would be constructed on 3 sides to make a new Cellar and Basement with waterproofed walls. This would meet current building and energy codes and provide a level, stable base to construct the new building while preserving the street facade. The new structure would have 4" clapboards and trim to match the front. The present structure is a hodgepodge of 5" clapboard, 8" clapboard, and 7" Dutch lap siding. The new structure will tie into the existing facade seamlessly and bring the entire building up to present day codes which we believe is in everyone's interest.



# **NEXT CHAPTER EQUITIES LLC**

Andrew L. Rosenberg  
Member and Manager

Joseph Panzella  
Member and Manager

January 12, 2023

To: Orangetown Historical Areas Board of Review  
20 Greenbush Road  
Orangeburg, New York



Ladies and Gentlemen:

We are the new owners of the property located at 77 Main Street. ("Property") and have asked for this informal appearance before the Historical Areas Board of Review ("Board") to obtain clarification as to the Board's scope of review, requirements, and procedures with respect to our proposed renovation and restoration of the Property.

Although more complete bios of our company and each of us are included at the end of this letter, it bears noting at the outset that we are both actively involved in our home community of Haworth, New Jersey (specifically with respect to the land use boards) and have a deep sense of respect for the value of historical structures such as those erected on the Property. In fact, the historic nature of the Property is what drew our attention to it in the first place. Our intention is to use and occupy the Property as our main office and to lease any excess space for "clean" office use.

There are two structures erected on the Property. The "main house" appears from our research to have been constructed between 1830 and 1836 with certain expansions in the 1850s. The "barn" located at the rear of the Property, south of the main house, was constructed in the 1980s. We have included various photographs of the Property, as well as a copy of a current survey of the Property, in our package for your convenience and reference.

The Property has been neglected and is in major disrepair. Among other things, our inspections of the main building, both before and after our acquisition of the Property has disclosed extensive structural issues including, but not limited to, (i) compromised floor joists and structural support posts on which the main house sits, (ii) significant slope and sagging issues with respect to the floors inside the building, and (iii) likely foundation issues although we have not yet had the opportunity to fully investigate these.

Our intention is to work with engineers and other professionals that have experience with historic structures to resolve the structural issues, fully modernize the systems in the main building and renovate the interior, and otherwise create a building which fully respects the Property's history while being suitable for occupancy as a modern office. Some specific examples of the work that we intend to undertake is:

{02165949;1}

Haworth, New Jersey 07641 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

# **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review

January 12, 2023

- upgrade/replace all plumbing and electrical piping, wiring and systems
- install central air-conditioning
- remove plaster from the interior of all exterior walls in order to install installation and a vapor barrier to increase the energy efficiency of the main building
- upgrade/replace all windows and exterior doors to the main building to reclaim the ability to open and close all windows and further increase the energy efficiency of the main building
- replace all damaged and rotted wood located throughout the interior and exterior of the building

In addition to discussing the Board's requirements in connection with the work note above, we would also like to discuss the following with the Board:

1. **Options and requirements in the event that further engineering evaluation leads to the conclusion that it would not be practical to make the main building safe and suitable for occupancy.** We, of course, understand that the look and feel of any replacement or partial replacement of the main building would need to respect the historic look and feel of the area. We stress that this is not our intention unless necessary.
2. **The potential to (i) install driveway pavers at the Premises and (ii) create a parking area in the rear of the Property.** The driveway at the Property is only large enough for two cars. Given our intended use of the buildings on the Property for offices, it would be extremely helpful to have the ability to park vehicles in the rear of the Property. Additionally, this would alleviate the necessity to utilize street parking on Main Street which, given the proximity of the Property to the curve in Main Street where it intersects with Oak Tree Road, we believe would be a safety enhancement. We note that 67 Main Street and 89 Main Street have substantial parking areas in the rear of those properties.
3. **The ability to add additional space (i.e., a second floor) above the one-story section in the rear of the main building.** We understand that any addition would need to blend with and respect the look of the main building.
4. **Our ability to affix signage to the main building.** We would be looking to understand the requirements for signage both identifying Next Chapter Equities as the owner and for any of our tenants at the Property.
5. **Contractor/engineer recommendations.** We would be very receptive and interested to get the names of any contractors and/or engineers that have worked in the Tappan Historic District and whose work was satisfactory to the Board.

{02165949;1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

## **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review  
January 12, 2023

6. **Grants/Tax Abatements and Programs.** We would appreciate guidance as to any grants, tax abatements, etc. which may be available as a result of the significant investment that we will be making to preserve and restore the historic main building.
7. **What is the scope and extent of the Board's involvement with renovations to the barn?** It is our understanding that the Board's scope of involvement with respect to renovations to the barn structure (built in the 1980s) is significantly less than with respect to the main house. We would like to more clearly understand the scope of that involvement and any restrictions regarding renovations to the barn.

We truly appreciate the opportunity to come before the Board on an informal basis and look forward to restoring this historic Property and being members of the community for many years to come. Short bios of each of us and our company are attached.

Very truly yours,

**NEXT CHAPTER EQUITIES LLC, a**  
New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg  
Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella  
Member and Manager

{02165949;1}

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# **NEXT CHAPTER EQUITIES LLC**

Orangetown Historical Areas Board of Review  
January 12, 2023

## **NEXT CHAPTER EQUITIES LLC**

Next Chapter Equities LLC is a private investment firm seeking strategic investment opportunities primarily in the real estate industry. The firm's two principals, Andrew Rosenberg and Joseph Panzella (see bios below), have a long history in the real estate business and have pooled their resources and experience to create a uniquely positioned firm.

### **JOSEPH PANZELLA**

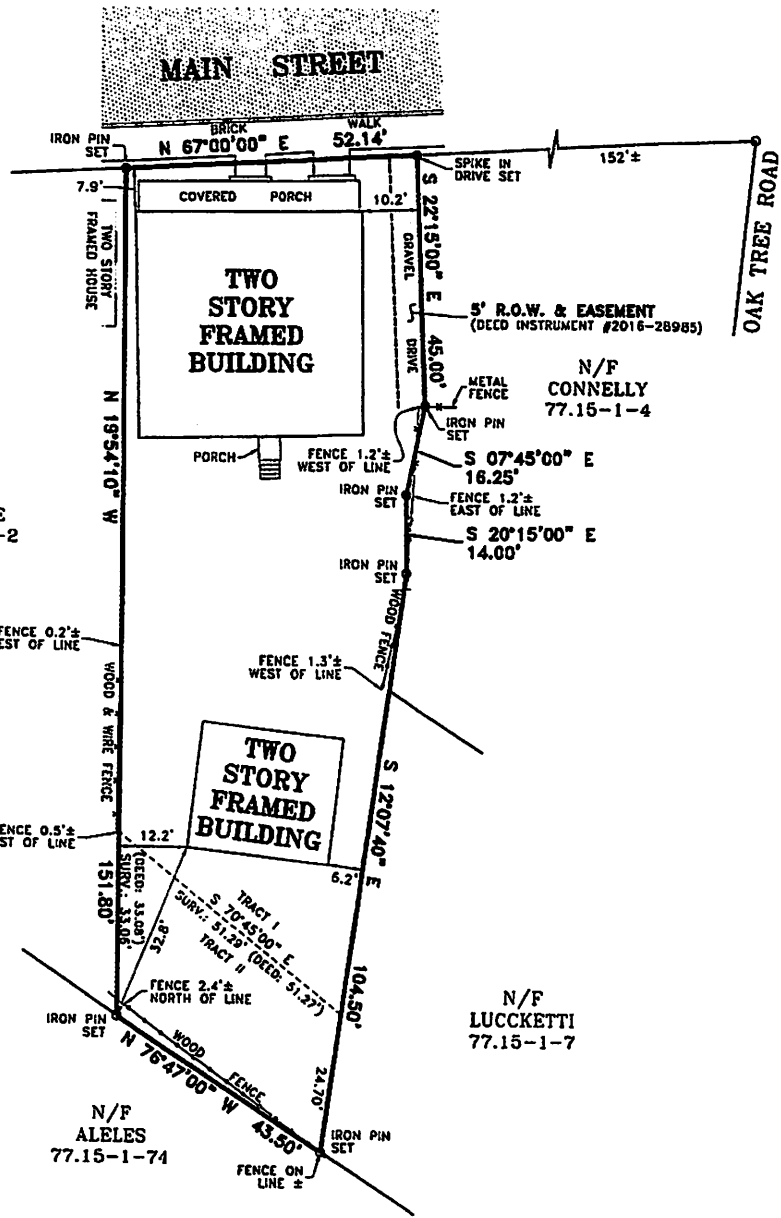
Joseph Panzella has owned twelve personal and investment properties dating back to 1983. His first property was a co-op apartment which he purchased at the age of 21 and managed and rented for four (4) years before selling. Mr. Panzella acquired his first commercial property in 1984 and a second a couple of years later. He managed and rented these properties until 1998 when they were sold. From 1998 through present, Mr. Panzella has purchased and renovated multiple single family residential properties, both for personal use and for investment purposes. Mr. Panzella is a resident of Haworth, New Jersey and has been a member of the Zoning Board of Adjustment since 2014.

### **ANDREW ROSENBERG**

Andrew Rosenberg has been involved in the commercial real estate business for 30 years. In his profession as a commercial real estate attorney representing owners, operators, and developers, he has structured over a hundred commercial real estate investments in various asset classes across the country and has served as a *de facto* general counsel to many clients in the commercial real estate industry. Additionally, Mr. Rosenberg has made numerous investments in commercial properties throughout the United States with positions in both the GP and LP sides of the capital stack. His investments span multiple asset classes. Mr. Rosenberg has been a member of the Borough Council and the Planning Board in Haworth, New Jersey, and has served as the Council Liaison to the Haworth Zoning Board of Adjustment, since 2011.

{02165949;1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)



**GENERAL NOTES:**

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED INSTRUMENT #2016-28985 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.

**LOT AREA**  
**7,916.63 S.F.**  
**OR**  
**0.18 ACRES**

REVISED: NOVEMBER 8, 2022 (IRON PINS SET NOTED)

**W.E. James**  
 Engineering  
 and  
 Land Surveying, PLLC  
 8 CHERANDA LANE  
 WALLKILL, NEW YORK 12588  
 PHONE: (845) 509-6528 FAX: (845) 509-6525  
 EMAIL: WJames@optonline.net  
 www.wjamesassociates.com

COPIES OF THIS SURVEY MAP MAY BE OBTAINED FROM THE LAND SURVEYOR'S OFFICE OR FROM THE COUNTY CLERK'S OFFICE. THIS SURVEY MAP IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. PERMISSION IS GRANTED TO THE USER TO MAKE A SINGLE COPY OF THIS SURVEY MAP FOR PERSONAL USE ONLY. ALL OTHER RIGHTS ARE RESERVED. THE USER AGREES TO HOLD THE SURVEYOR HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE SURVEYOR BY ANY THIRD PARTY AS A RESULT OF THE USER'S USE OF THIS SURVEY MAP. THIS PERMISSION IS LIMITED TO THE ORIGINAL SURVEY MAP AND DOES NOT EXTEND TO ANY REVISIONS OR CORRECTIONS. THE USER AGREES TO HOLD THE SURVEYOR HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE SURVEYOR BY ANY THIRD PARTY AS A RESULT OF THE USER'S USE OF THIS SURVEY MAP.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON SEPTEMBER 15, 2022

**SENTINEL ONLY TO:**

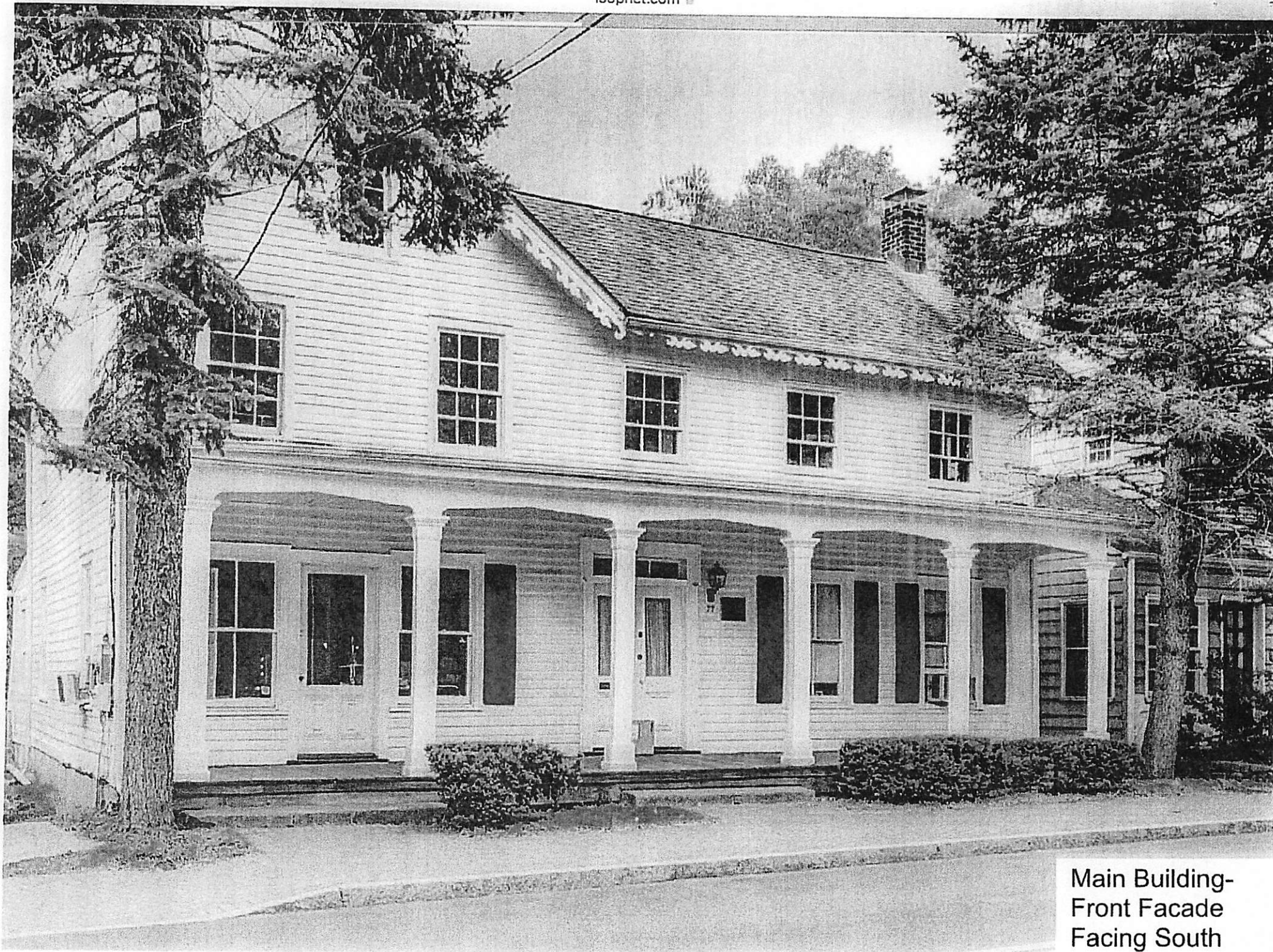
1. NC 77 MAIN OWNER LLC
2. TO NEXT CHAPTER REALTY LLC
3. STEWART TITLE INSURANCE COMPANY
4. ALL NEW YORK TITLE AGENCY, INC.

*William E. James*  
**WILLIAM E. JAMES, P.E., P.L.S.**  
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

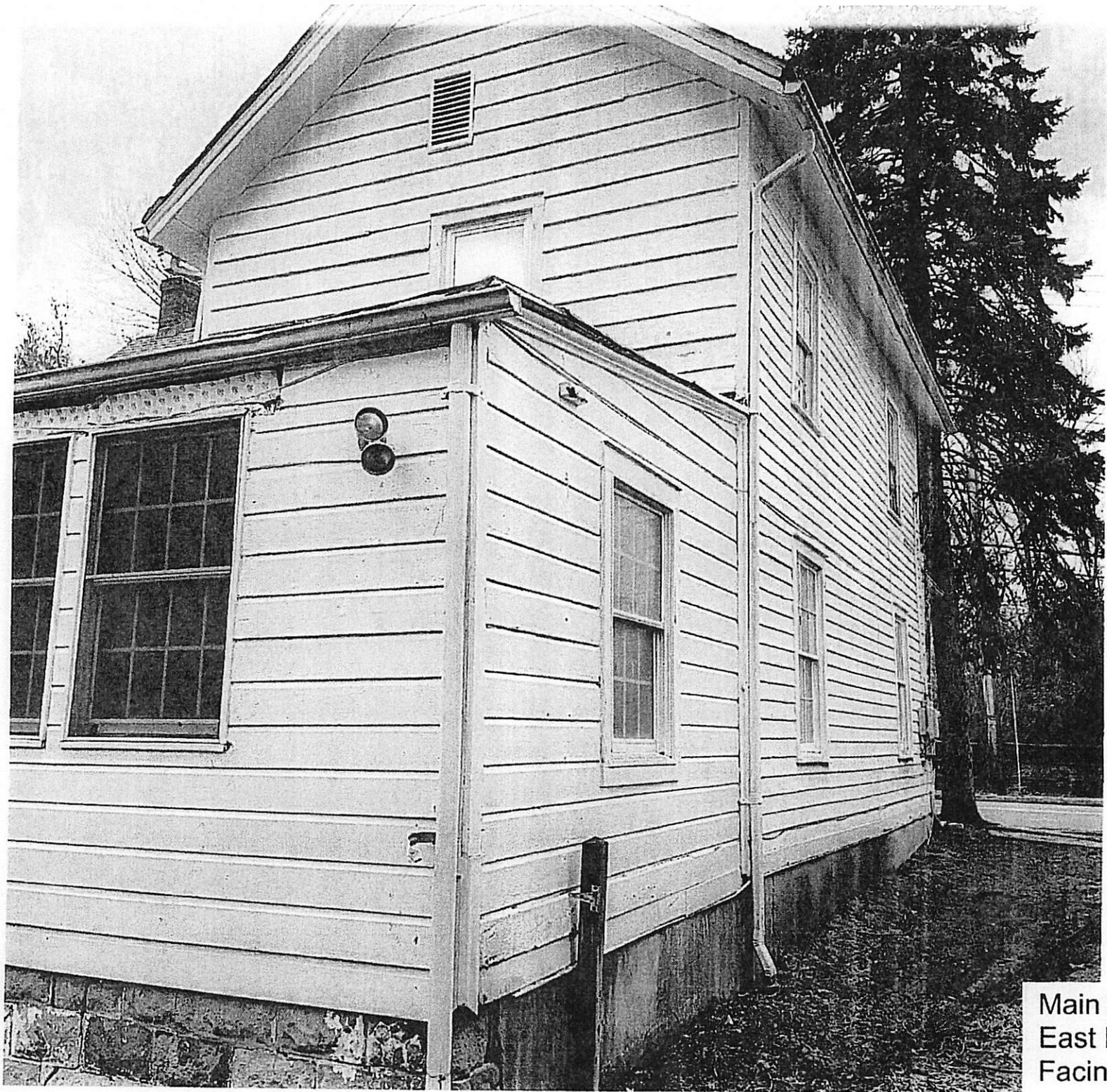
**PROJECT TITLE:**  
 SURVEY PREPARED FOR  
**NC 77 Main  
 Owner LLC**  
 TAX MAP SECTION 77.18, BLOCK 1, LOT 3  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

SCALE: 1" = 20'	DATE: SEPT. 22, 2022	SHEET NO: 1 OF 1
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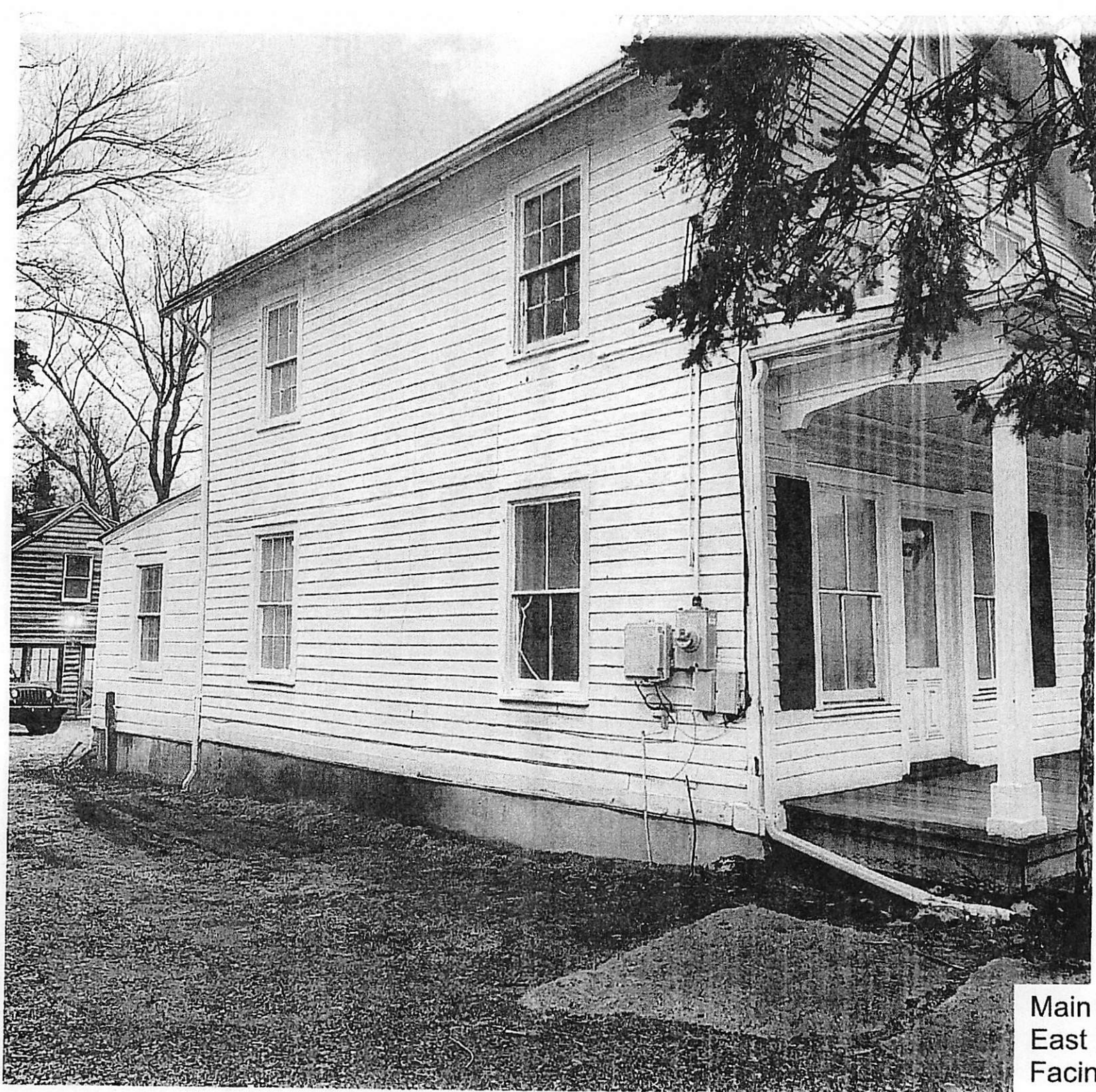
**PROJECT CAD REFERENCE:**  
 ROCKLAND COUNTY/SECTION 77.18/BLOCK 1/Lot 3/NC 77 MAIN OWNER LLC



Main Building-  
Front Facade  
Facing South

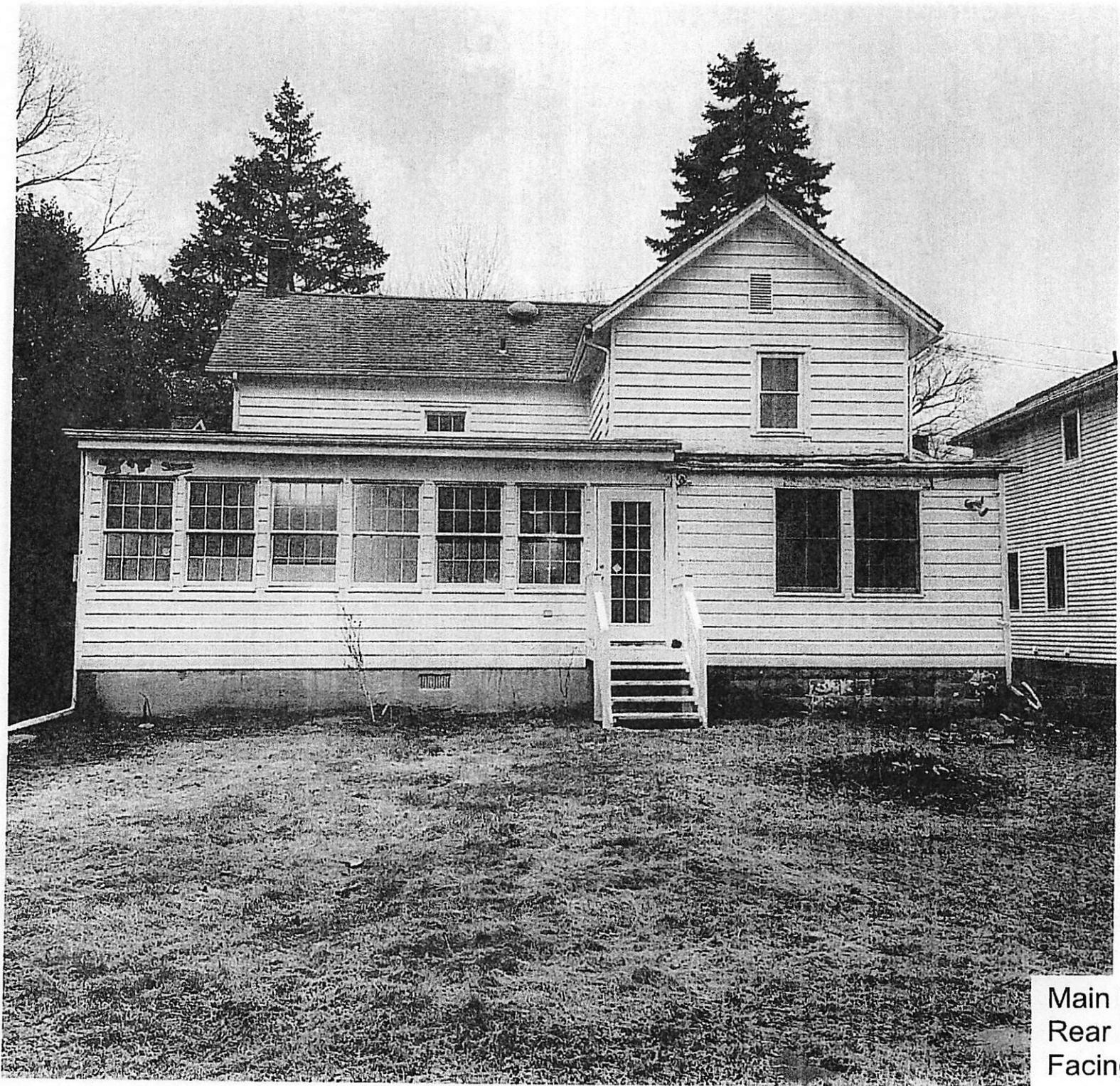


Main Building-  
East Facade  
Facing North

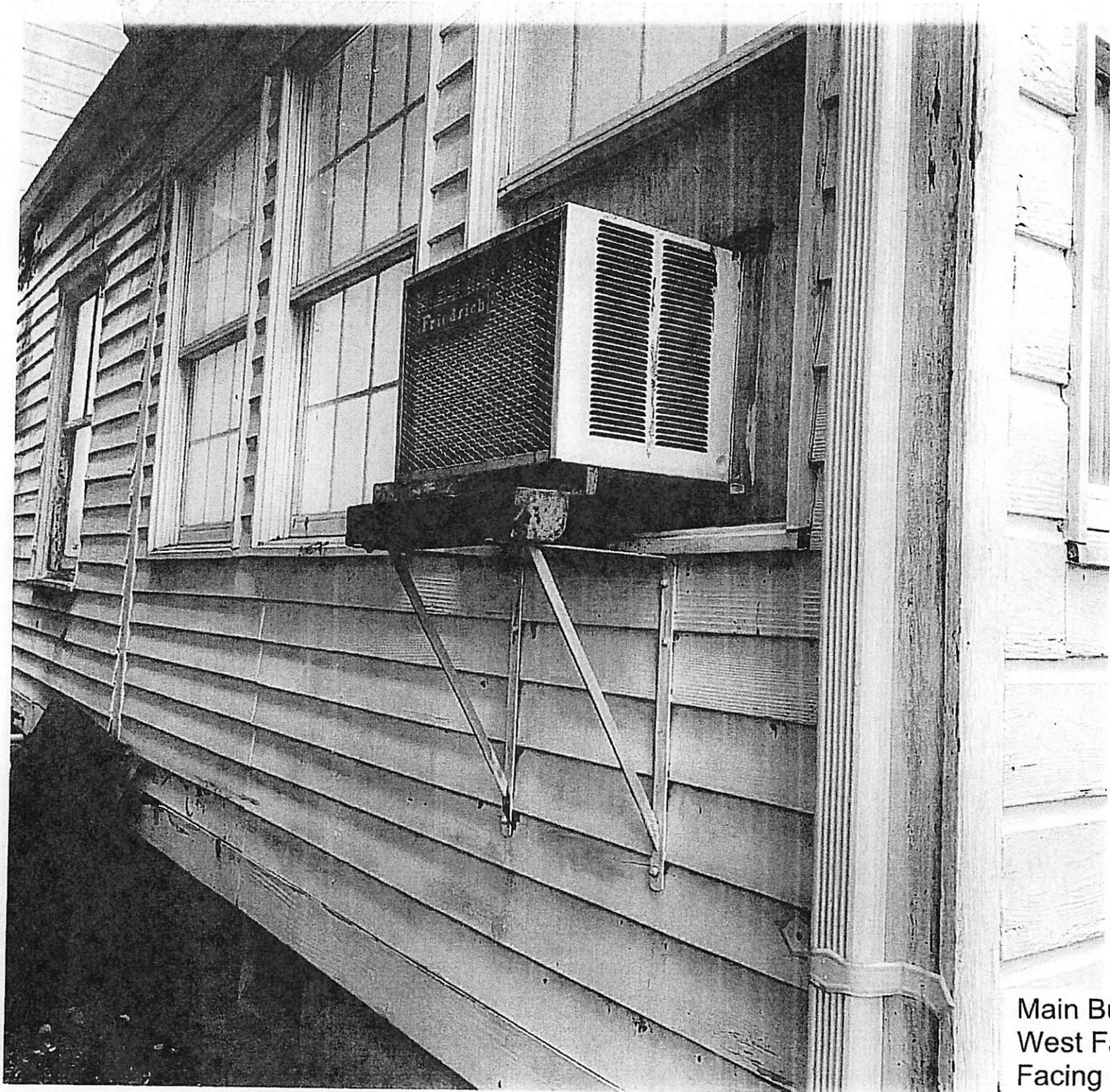


Main Building-  
East Facade  
Facing South

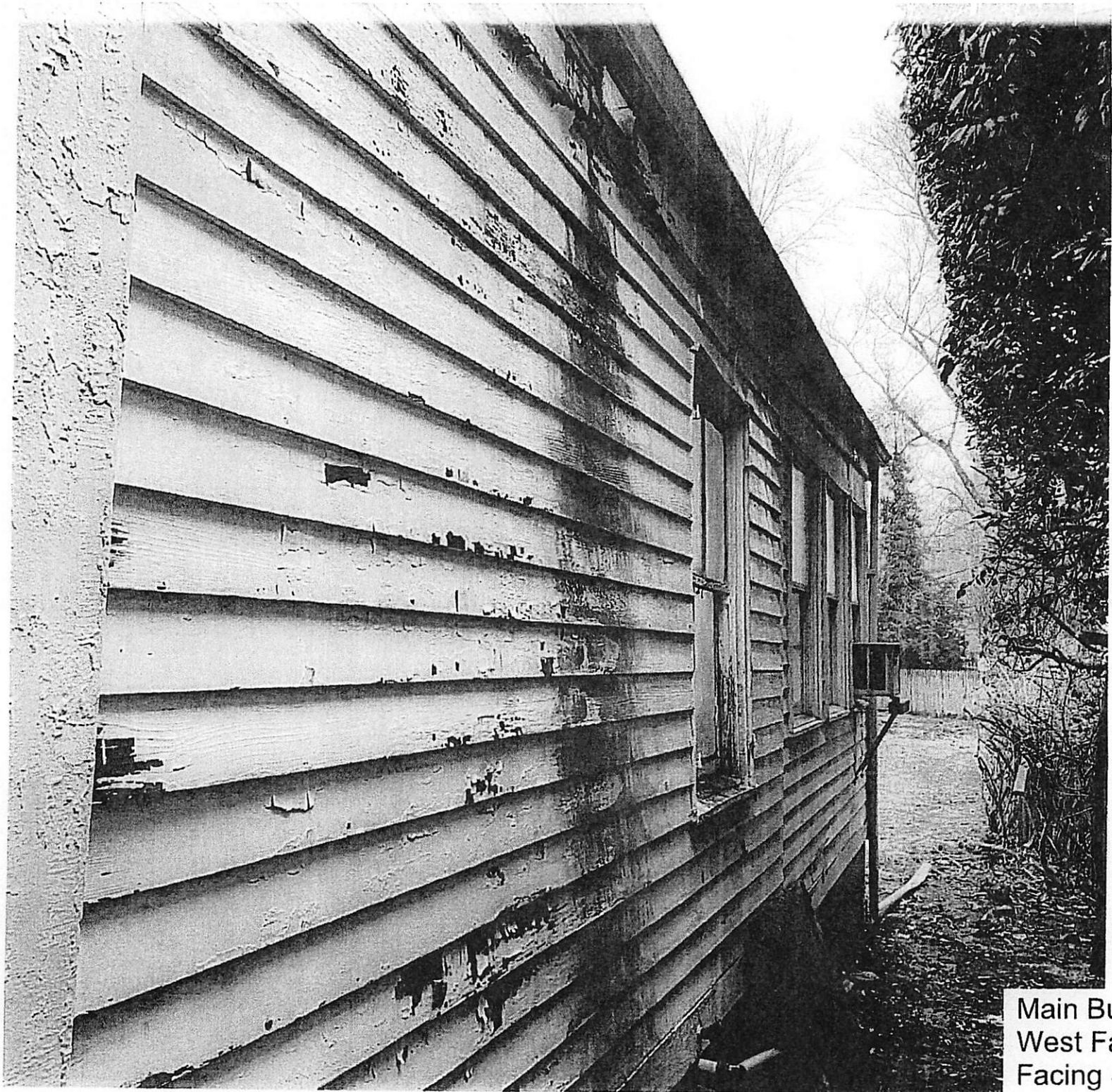




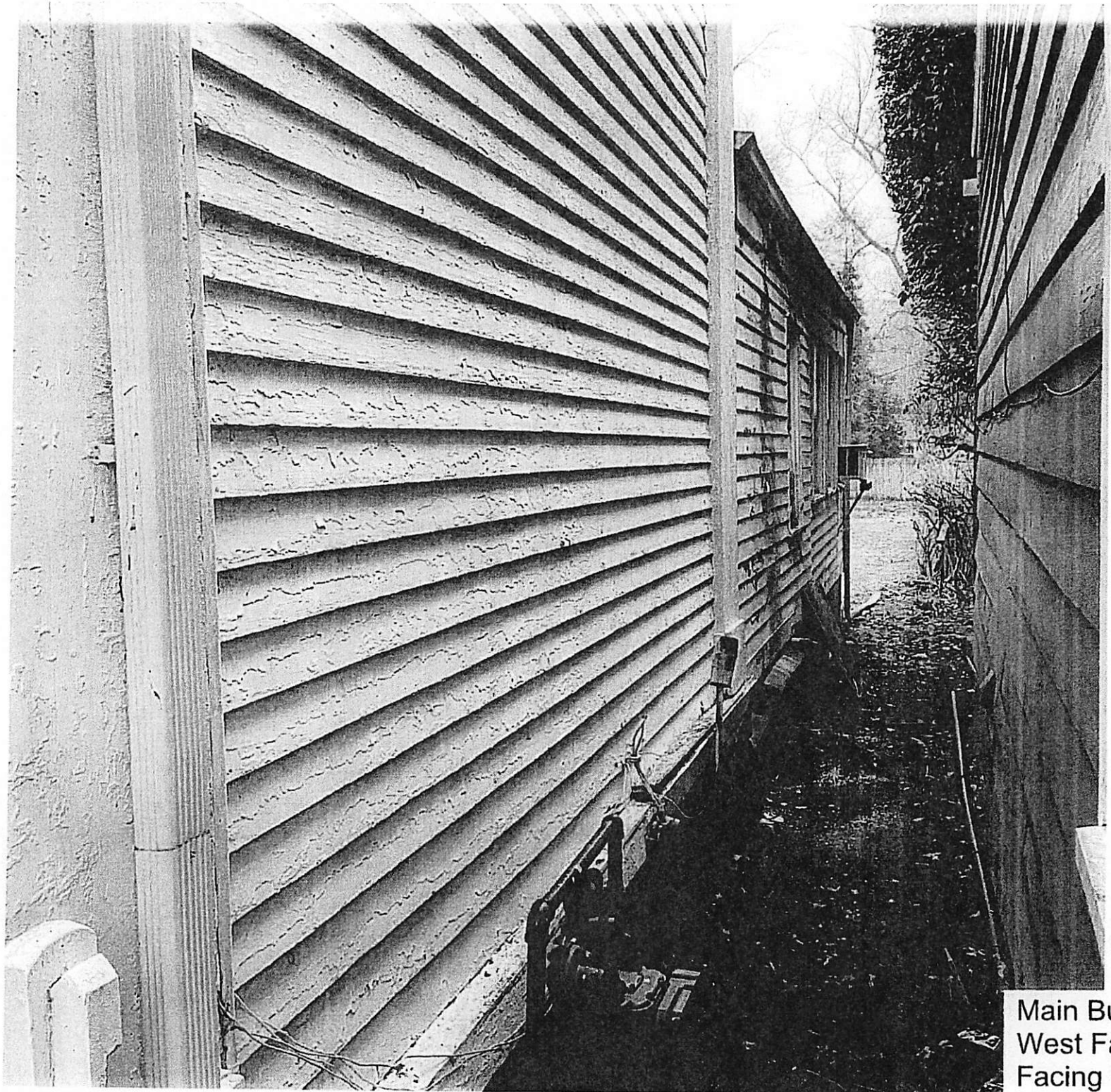
Main Building-  
Rear Facade  
Facing North



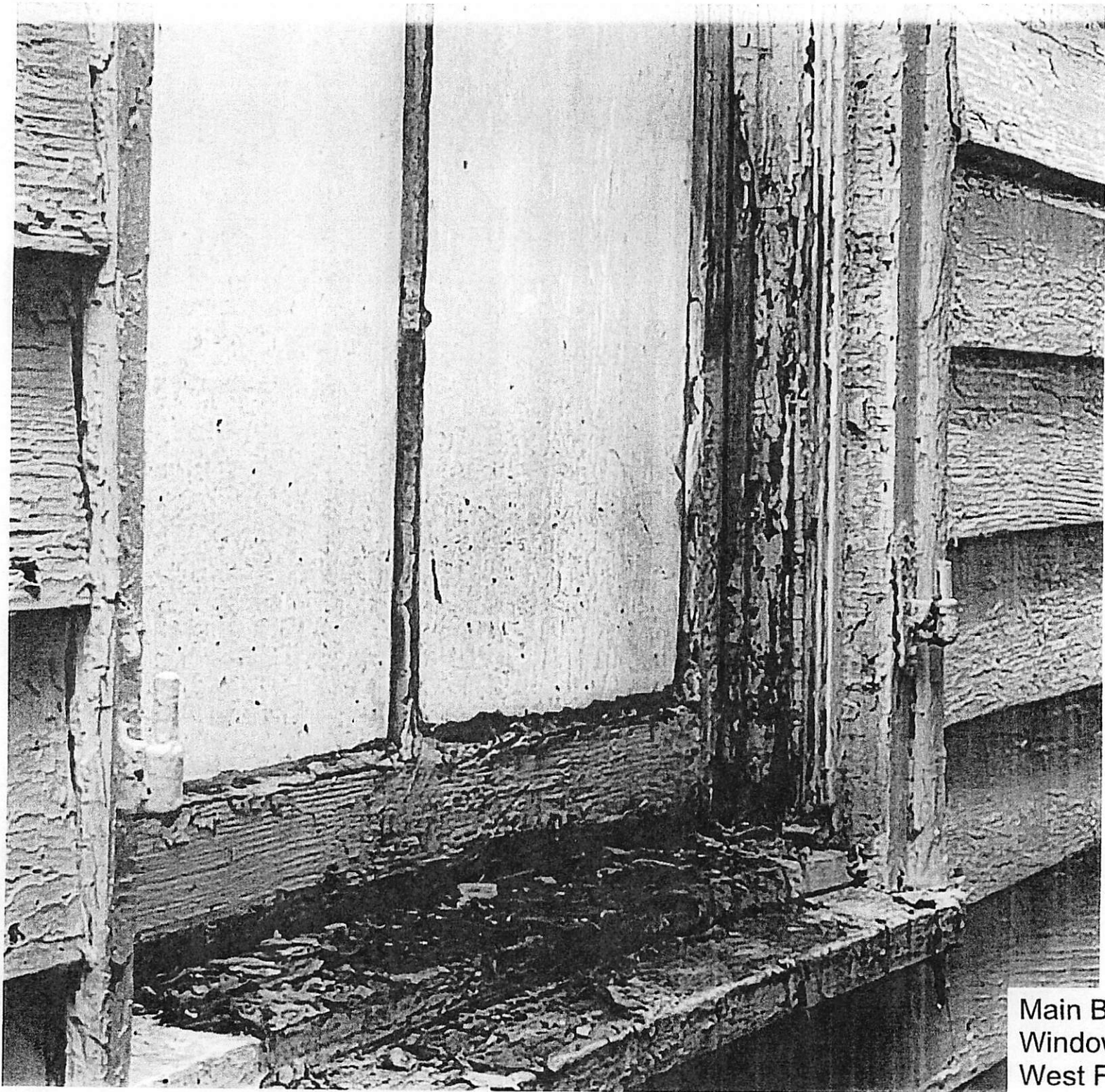
Main Building -  
West Facade  
Facing North



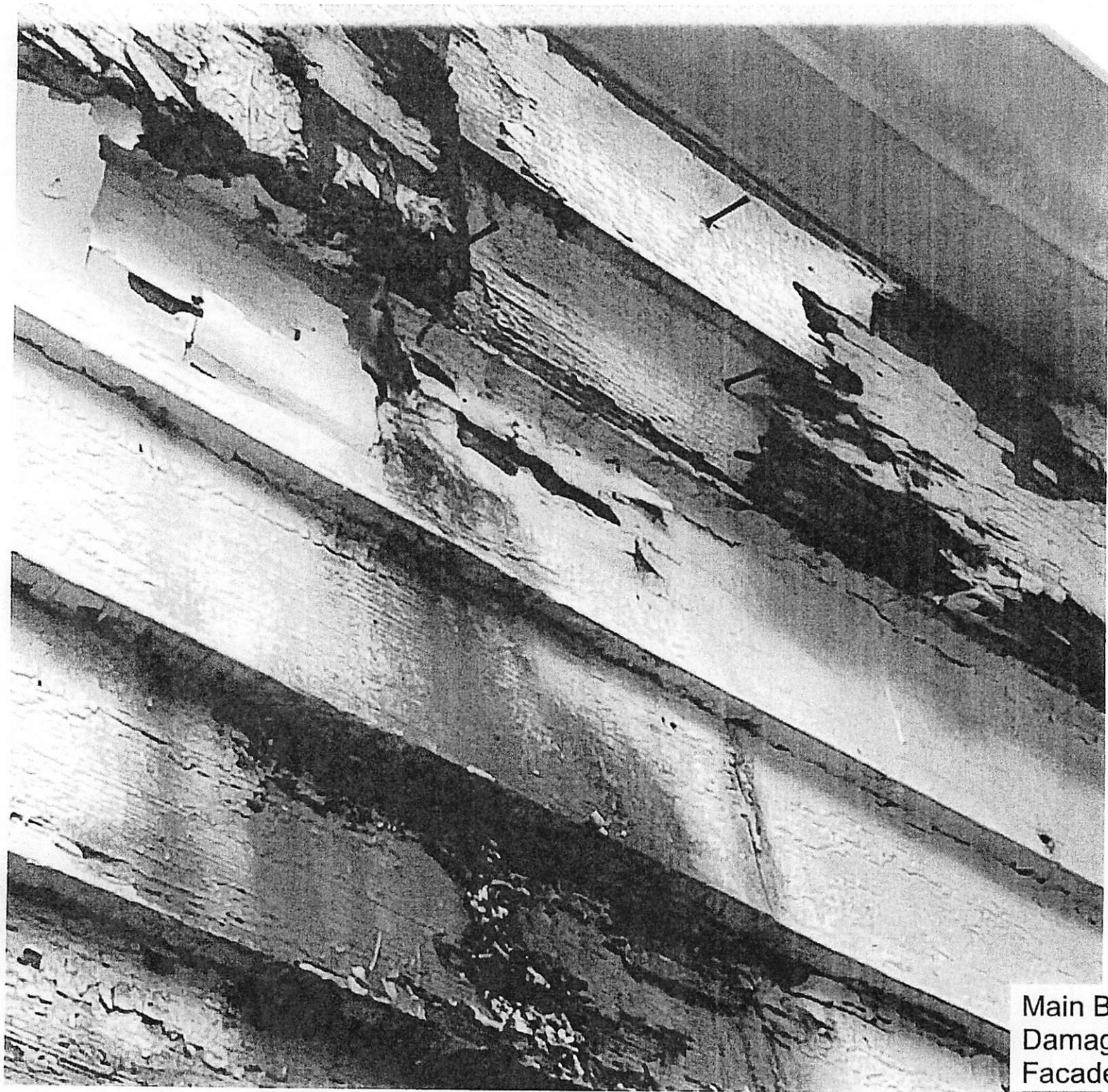
Main Building -  
West Facade  
Facing South



Main Building -  
West Facade  
Facing South 2



Main Building -  
Window Damage -  
West Facade



Main Building -  
Damage - West  
Facade

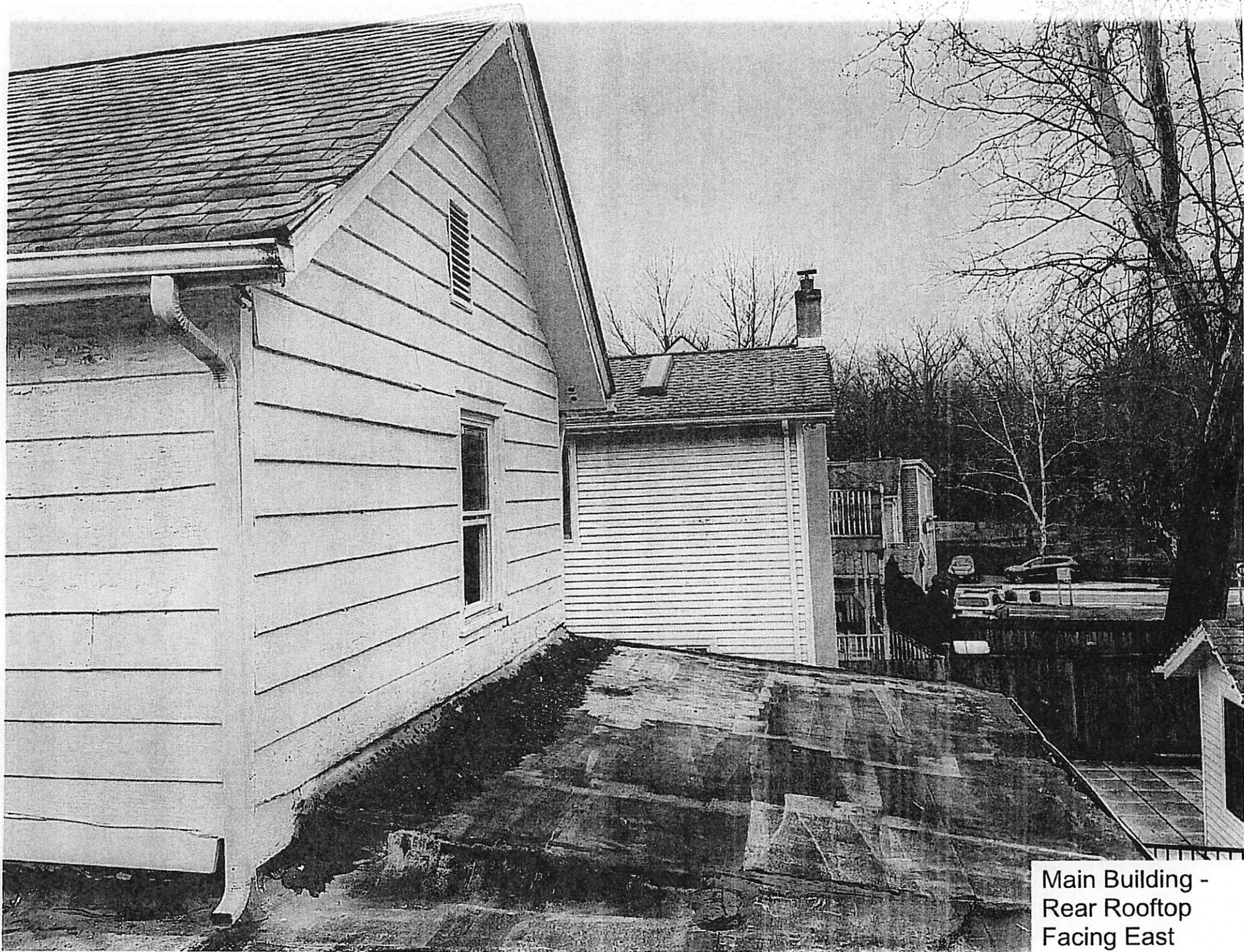


Main Building -  
Rear Rooftop  
Facing Northeast



Main Building -  
Rear Rooftop  
Facing West

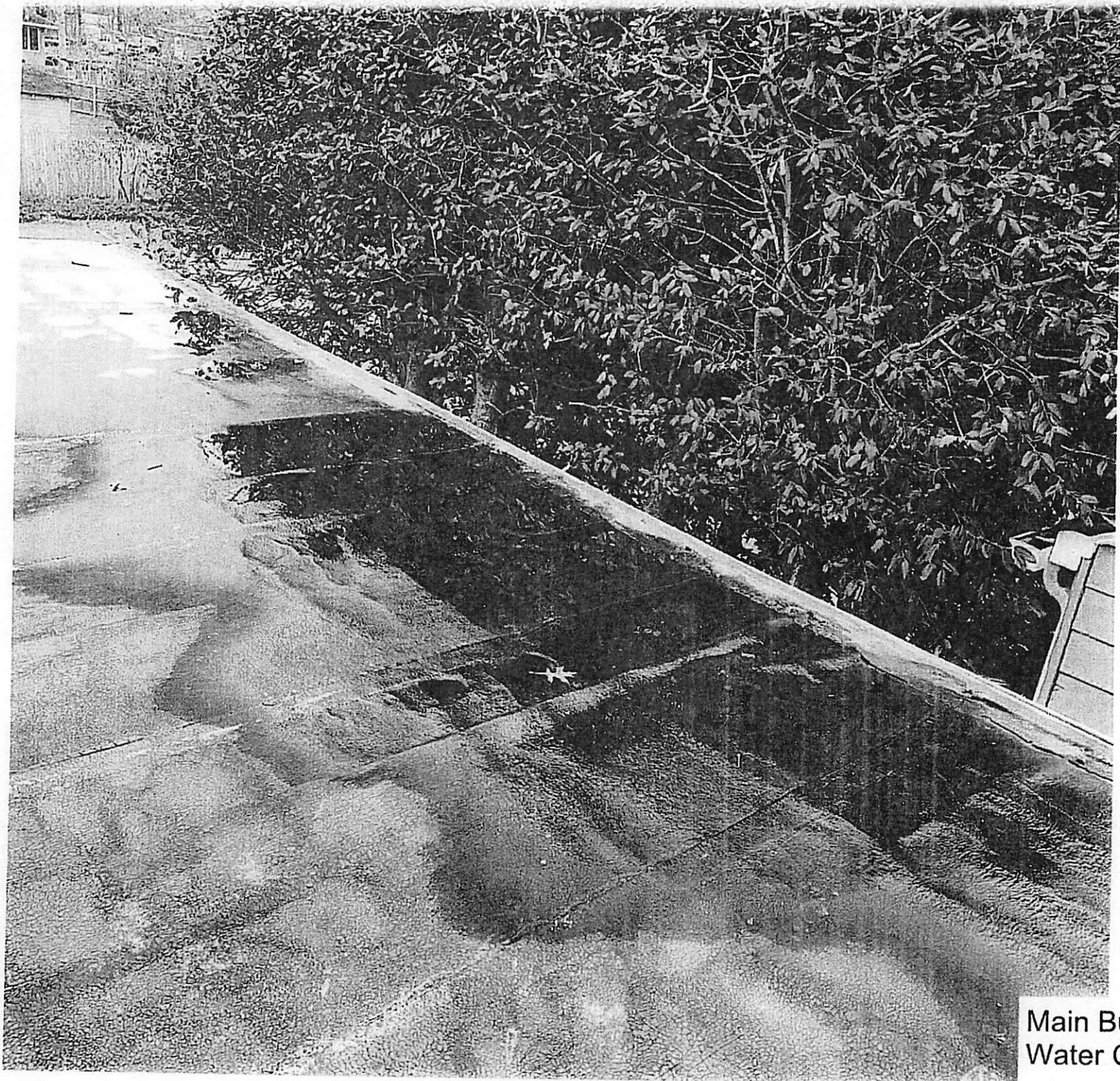




Main Building -  
Rear Rooftop  
Facing East



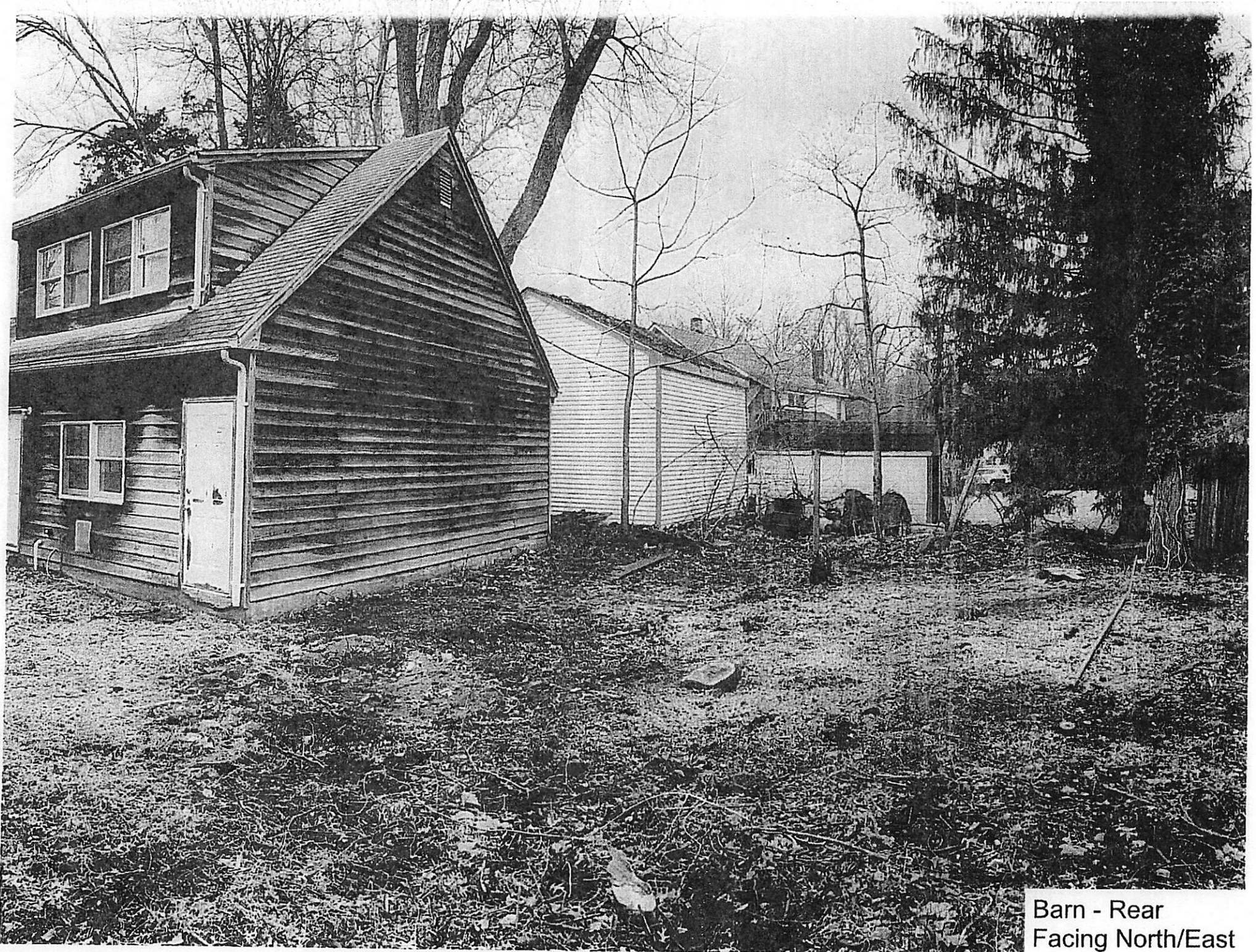
Main Building -  
Water Collection  
Facing West



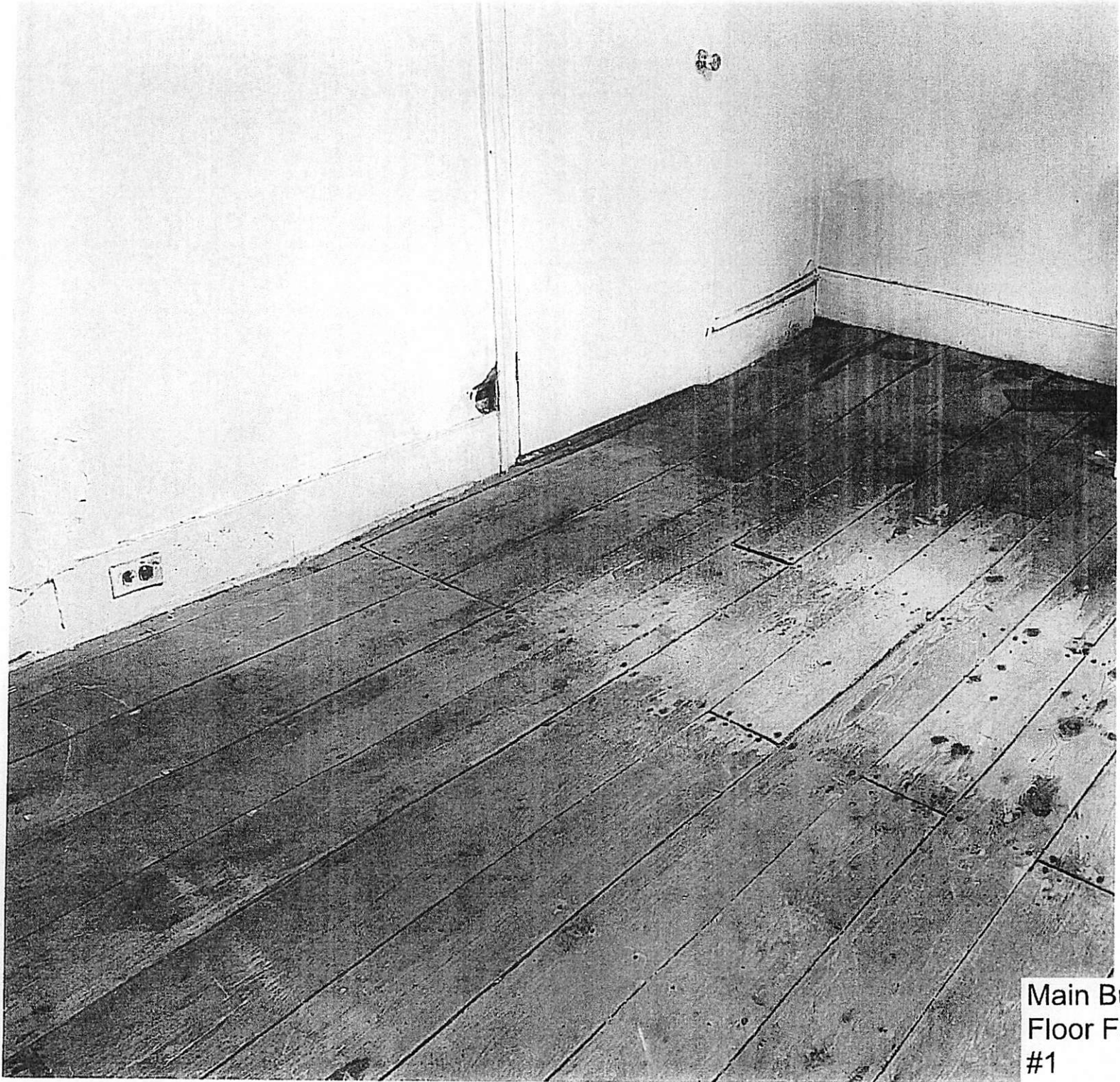
Main Building -  
Water Collection 2



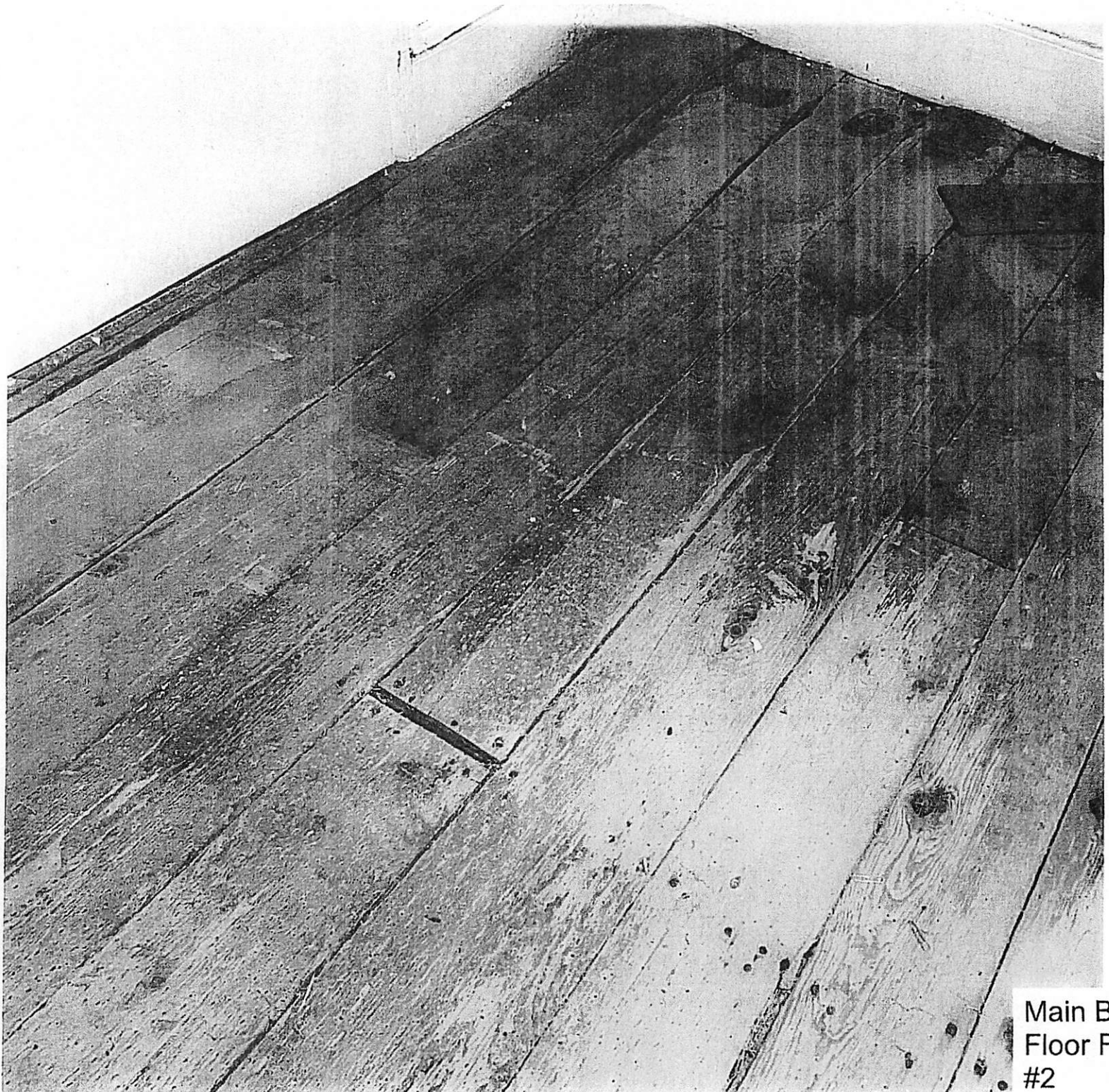
Barn - Front  
Facing South



Barn - Rear  
Facing North/East



Main Building - 1st  
Floor Front Room  
#1



Main Building - 1st  
Floor Front Room  
#2



Main Building - 1st  
Floor Hallway

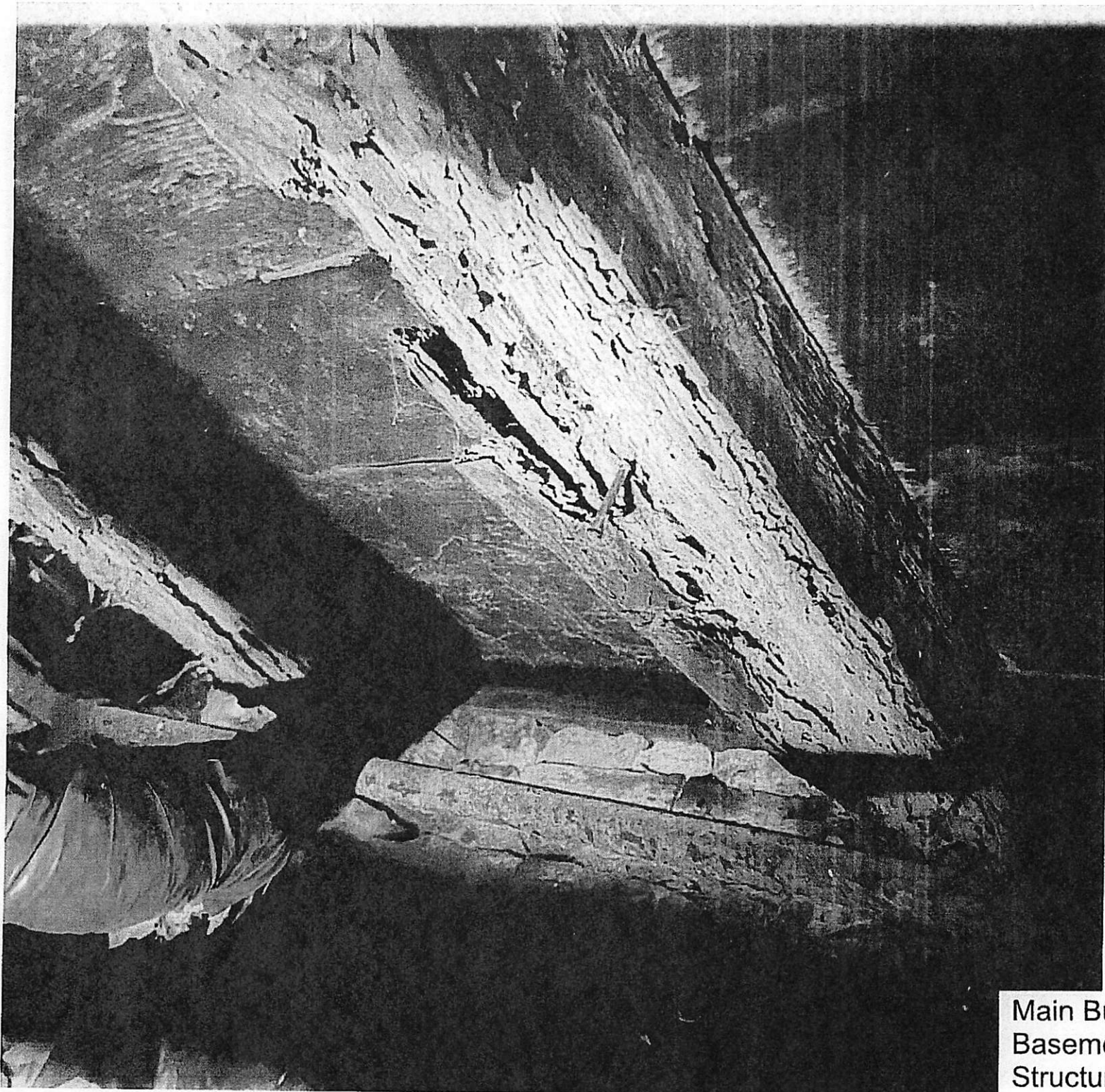




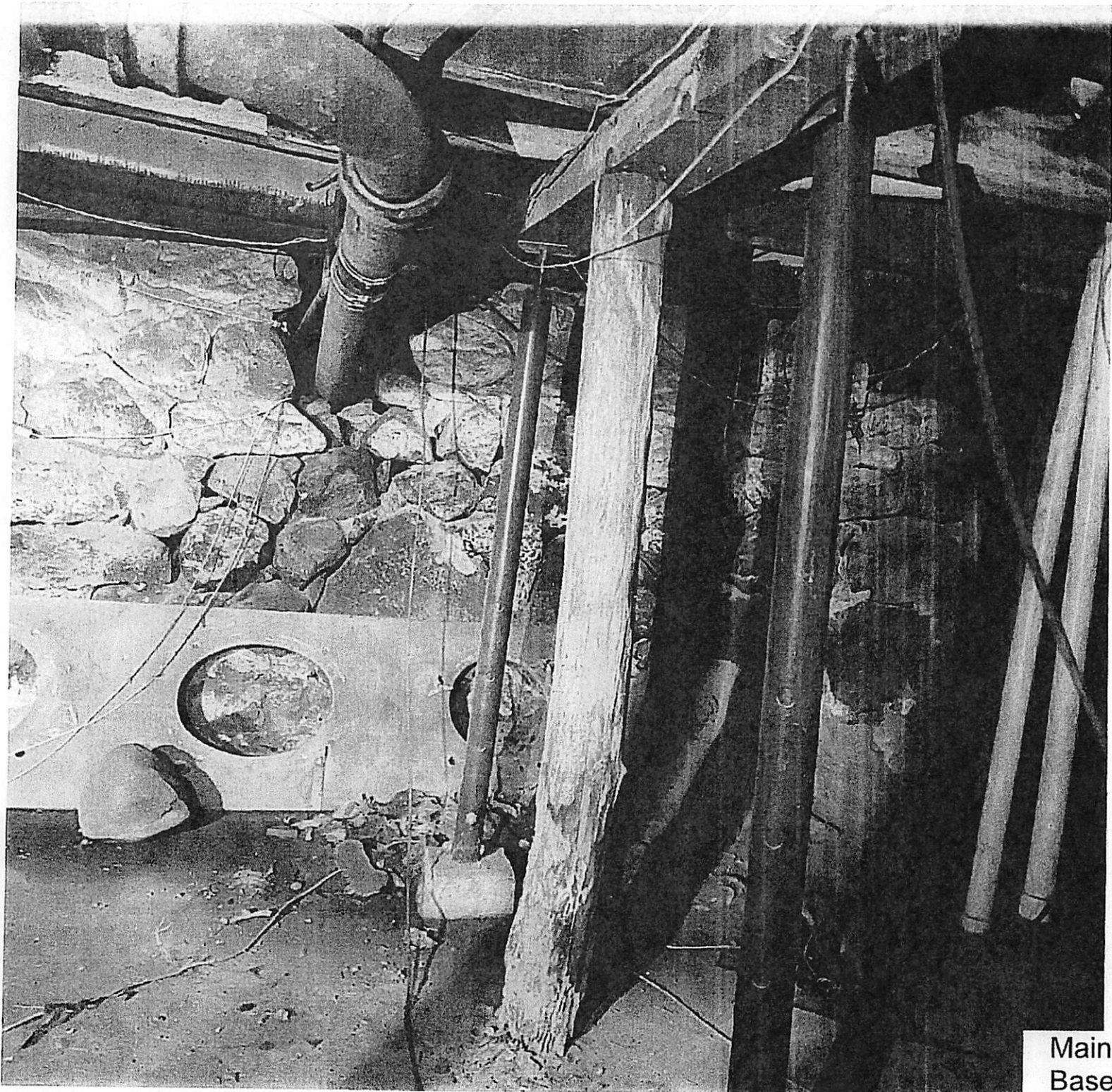
Main Building -  
2nd Floor Hallway



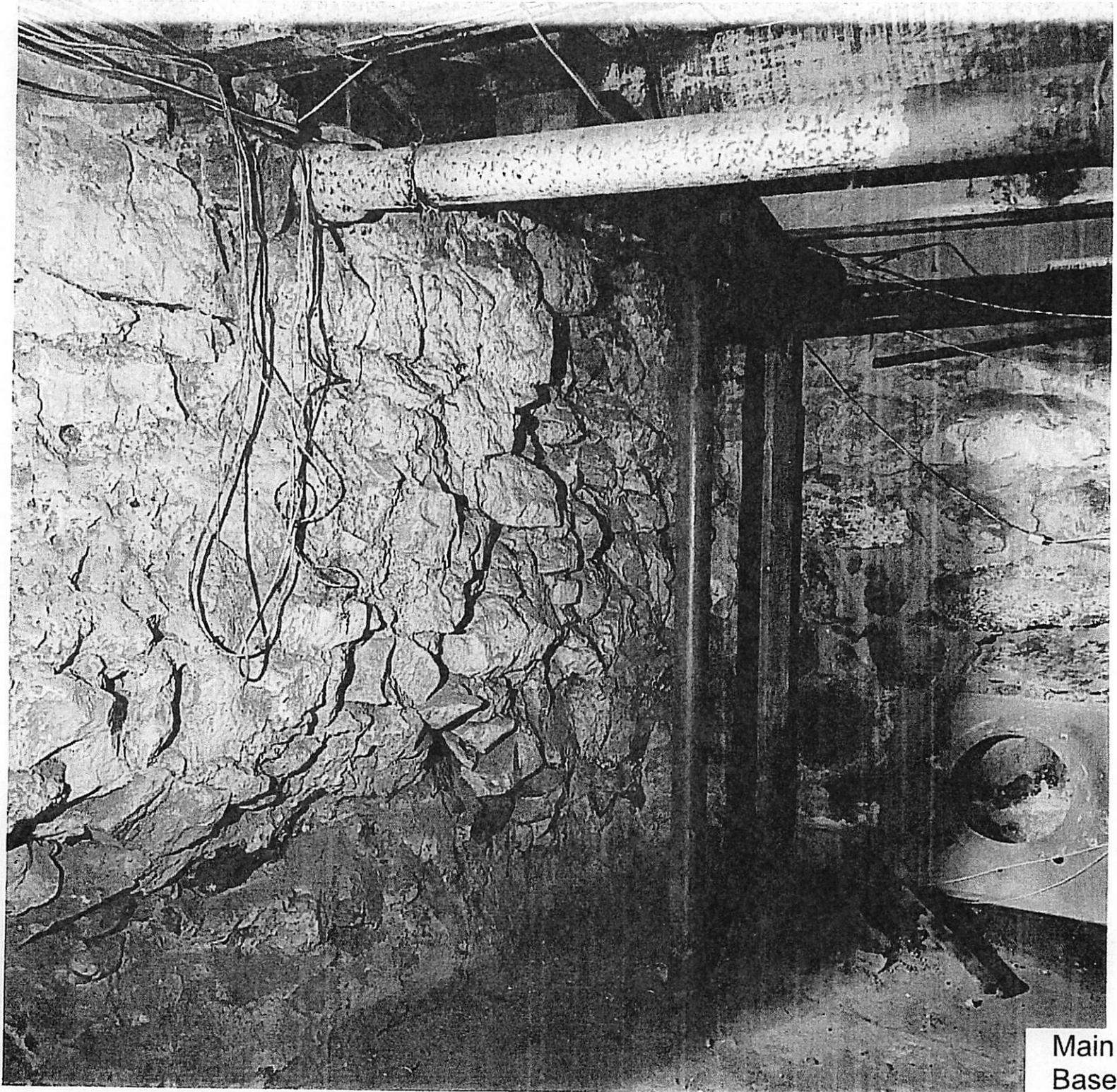
Main Building -  
Damage - Middle  
Room



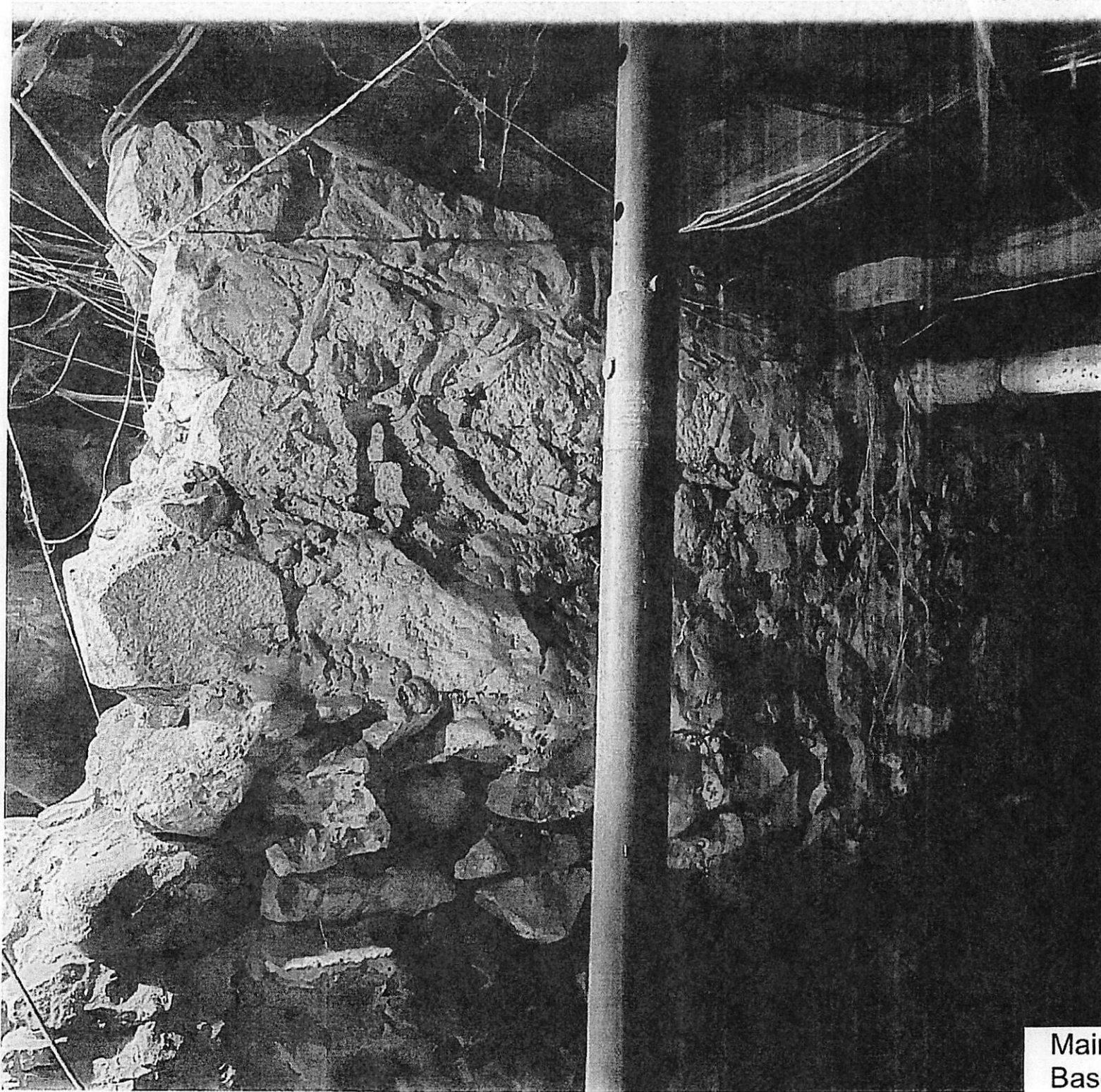
Main Building -  
Basement  
Structural Damage



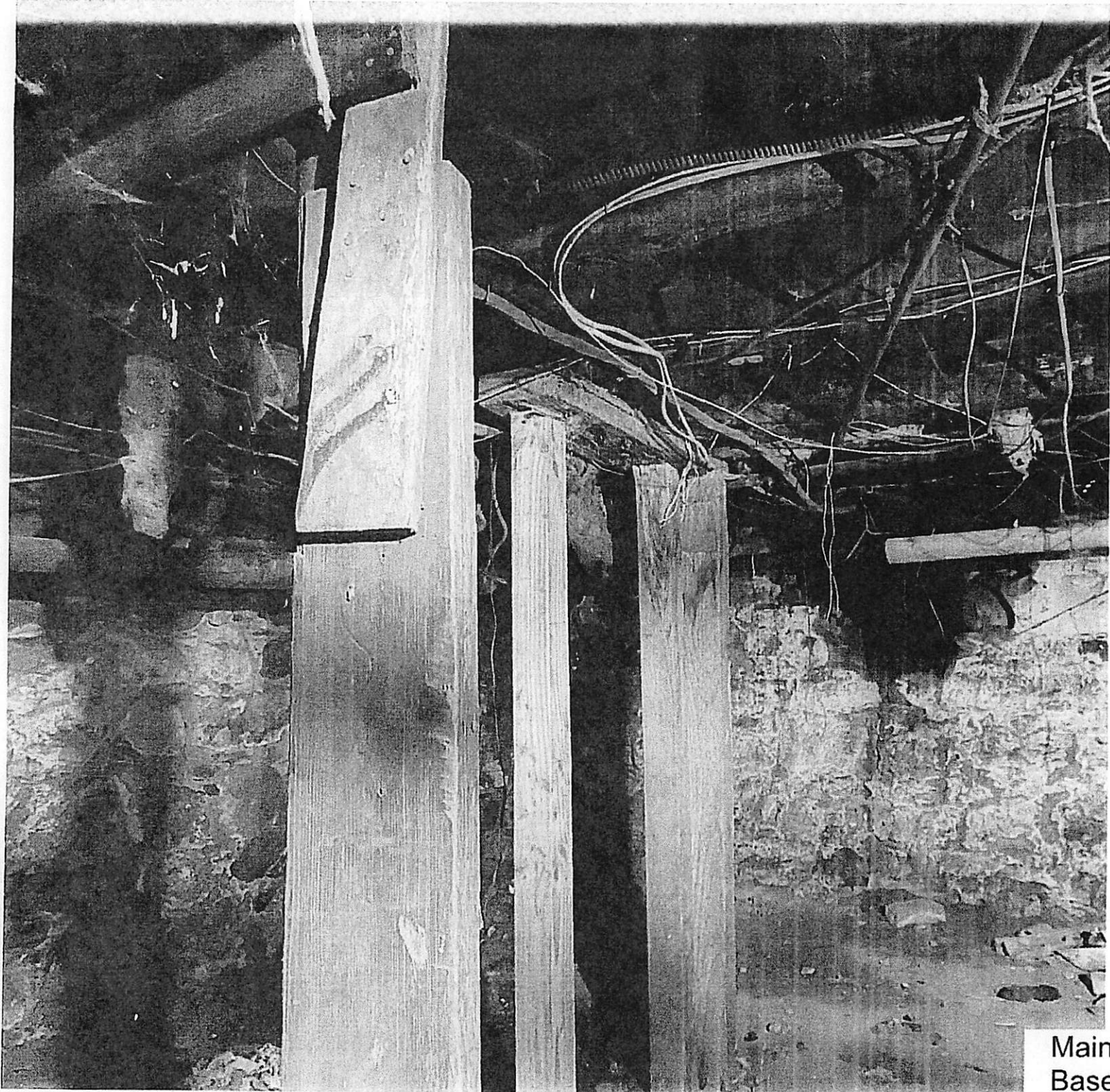
Main Building -  
Basement #1



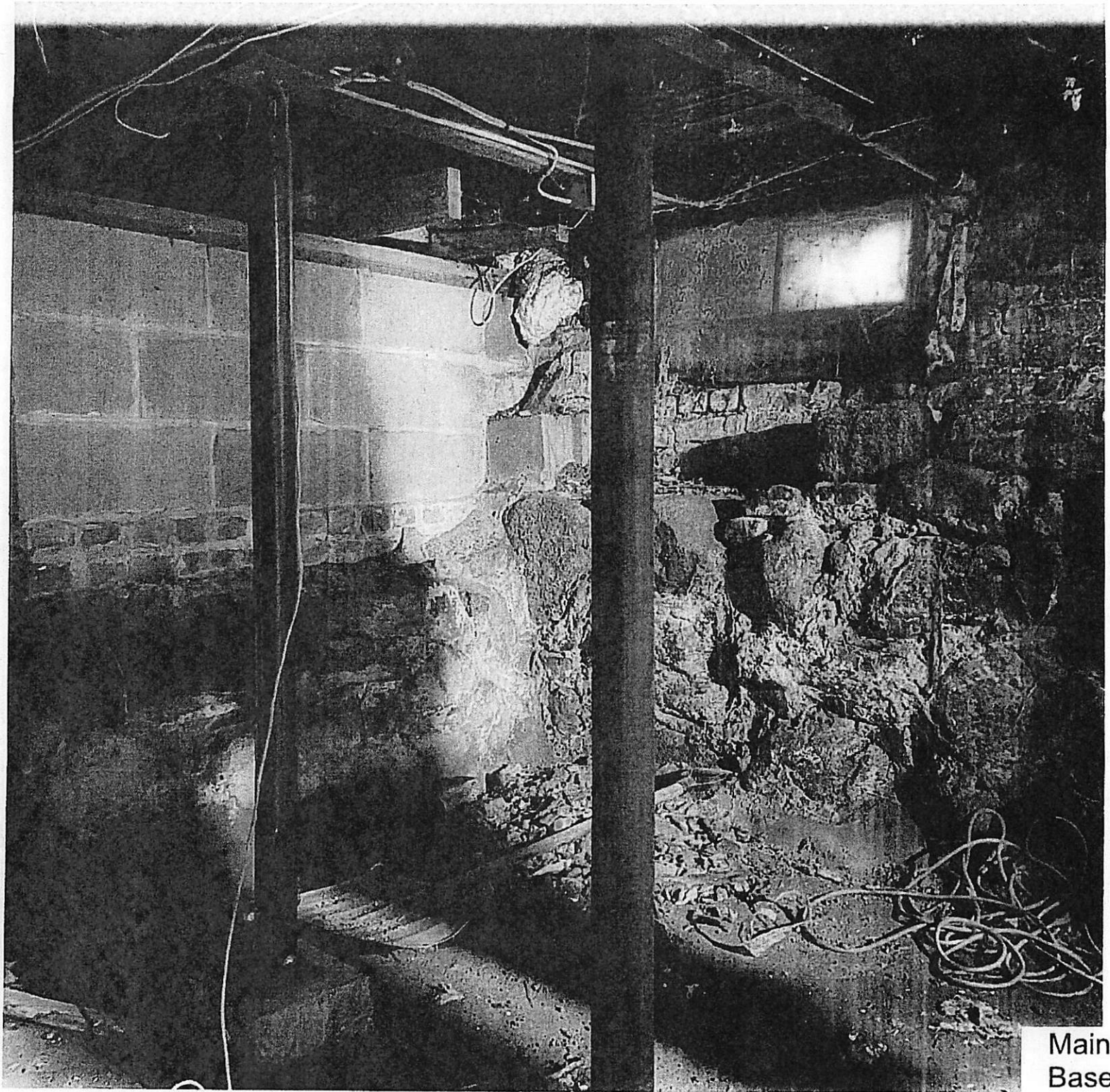
Main Building -  
Basement #2



Main Building -  
Basement #3

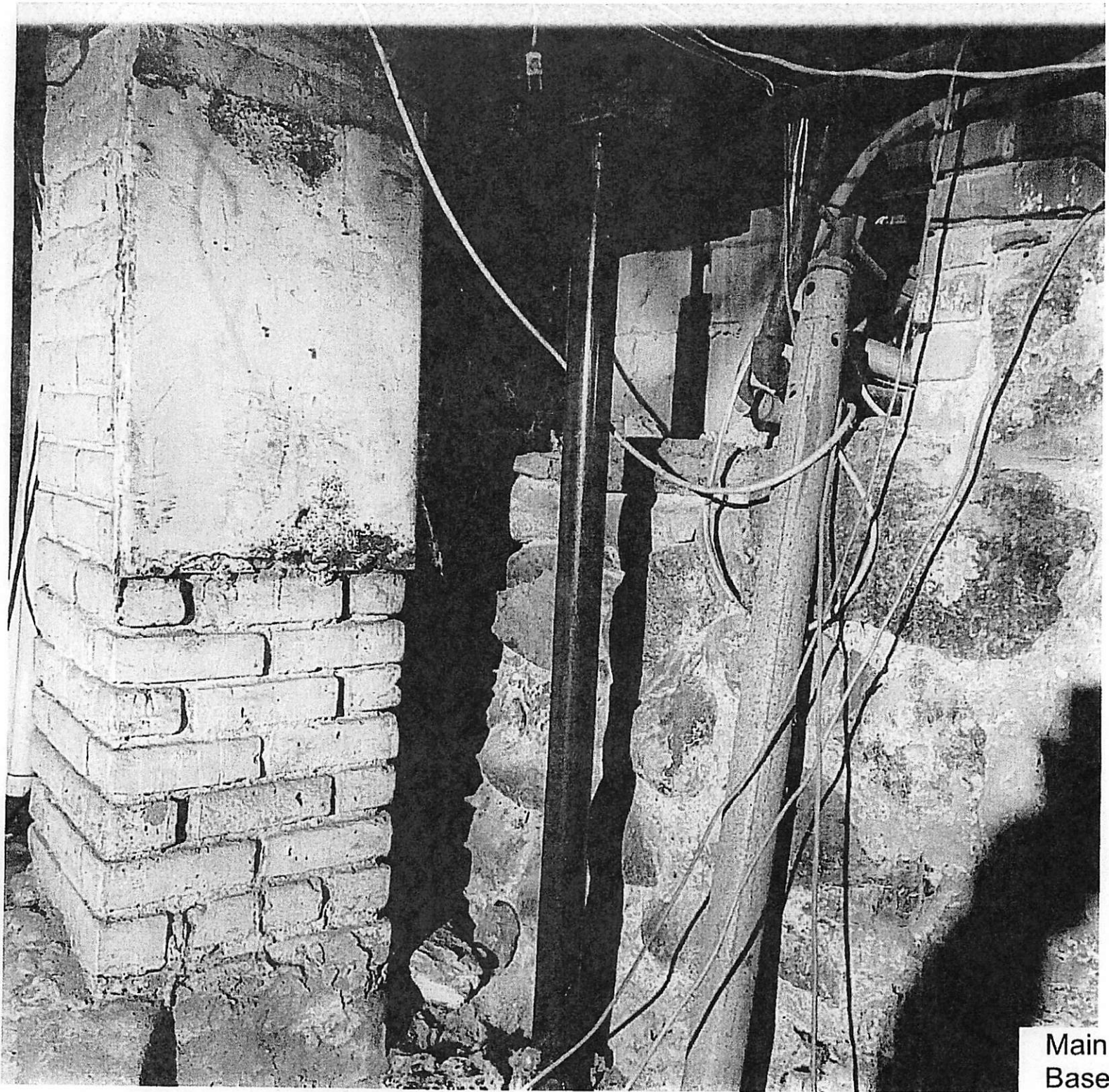


Main Building -  
Basement #4



Main Building -  
Basement #5





Main Building -  
Basement #6



MAIN BUILDING - PROPOSED REAR FACADE



MAIN BUILDING - PROPOSED REAR FACADE