

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: September 18, 2024

TO: OBAPAE
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Veolia
CSX

ACOE
Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
NYS Dept of Environmental
Conservation
NYS Thruway Auth.

This matter is scheduled for: October 16, 2024

Review of Plans: Samantha Collins, 278 Piermont Avenue, South Nyack, NY

Section: 66.70 Block: 1 Lot: 12; RG-6 zone

RG-6 District, NYStretch Energy Code, Climate zone 5, (Fen U-Factor: 0.27 required, with 0.30 proposed) for the replacement of windows which require energy compliance at an existing single-family residence.

Please review the information enclosed and provide comments.
These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 West Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: October 16, 2024

- Comments attached
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, October 16, 2024.** Kindly forward your completed review to this office by **October 16, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-4639-24
 ASSIGNED
 INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: ADDITION & RENOVATIONS @ COLLINS RESIDENCE

Street Address: 278 PIERMONT AVENUE
SOUTH NYACK NY 10960

Tax Map Designation:

Section: 66.70 Block: 1 Lot(s): 12
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the WEST side of PIERMONT AVENUE, approximately 0 feet SOUTH of the intersection of CORNELIUS AVENUE, in the Town of ORANGETOWN in the hamlet/village of SOUTH NYACK.

Acreage of Parcel <u>0.29</u>	Zoning District <u>SN-RG-6</u>
School District <u>NYACK FREE UNION</u>	Postal District <u>NYACK</u>
Ambulance District <u>NYACK AMBULANCE</u>	Fire District <u>NYACK</u>
Water District <u>VEOLIA</u>	Sewer District <u>ORANGETOWN N°1</u>

Project Description: (If additional space required, please attach a narrative summary.)

REPLACE EXISTING SINGLE-PANE WINDOWS THROUGHOUT HOUSE W/ ENERGY-EFFICIENT UNITS

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 9/11/24 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 2,996
- 2) Total square footage 2,996
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No.

Are there **streams** on the site? If yes, please provide the names. No.

Are there **wetlands** on the site? If yes, please provide the names and type:

No.

Project History:

Has this project ever been reviewed before? No.

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 9.17,24 Section: 66.70 Block: 1 Lot: 12

Applicant: Collins

Address: 278 Piermont Ave, South Nyack

RE: Application Made at: same

Referred For:

Stretch Code requires U-27 with U-30 proposed


Comments:

Windows require energy compliance variance from Stretch Code

Dear Collins:

Please be advised that the Building Permit Application # 4639-24, which you submitted on 2.1.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann @orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

9/17/24




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

9/17/24
Date
Liz DeCort
Debbie Arbolino

CC: Liz DeCort
Debbie Arbolino

APPLICATION REVIEW FORM

ANN MARIE TLSTY
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01TL6227381
 Qualified in Rockland County
 My Commission Expires 8.30.2026

AFFIDAVIT

Ann Marie Tlsty
RES

State of New York)
 County of Rockland) SS.:
 Town/Village of Nyack)

I, ROBERT SILARSKI AIA being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the ZONING BOARD OF APPEALS (board) in the (town)/village of ORANGETOWN affecting property located at _____, Rockland County, New York.

That the following are all of the owners of property 200' (distance) from the premises as to which this application is being taken.

SECTION-BLOCK-LOT	NAME	ADDRESS
66.70-1-7	Jennifer Attebery	266 Piermont Ave, South Nyack, NY 10960
66.70-1-8.1	Jonathan Miller	270 Piermont Ave, South Nyack, NY 10960
66.70-1-8.2	Arjun Rai	8 Mansfield Ave, South Nyack, NY 10960
66.70-1-9	John Slotwinski	272 Piermont Ave, So Nyack, NY 10960
66.70-1-10	Jeffrey Saltzberg	274 Piermont Ave, South Nyack, NY 10960
66.70-1-11	Christopher E Langston	278 Piermont Ave, South Nyack, NY 10960
66.70-1-12	Samantha Collins	278 Piermont Ave, So Nyack, NY 10960
66.70-1-13	Thomas A Carney	9-11 Cornelson Ave, South Nyack, NY 10960
66.70-1-14	NYS Mental Retardation & COUNTY TREASURER	ROCKLAND CNTY OFFICE, NEW CITY, NY 10956
66.70-1-15	Andrea Composto	79 Smith Av, So Nyack, NY 10960
66.70-1-16	21 Cornelson LLC	1356 45th St, Brooklyn, NY 11219
66.70-1-17	Cache LLC	5 Pasadena Rd, Bronxville, NY 10708
66.70-1-18.1	Alessandra R Ziegler	14 Cornelson Ave, S Nyack, NY 10960
66.70-1-18.2	Sean M Enright	10 Cornelson Ave, Nyack, NY 10960
66.70-1-19	20 Cornelson Avenue LLC	246 S Blvd, South Nyack, NY 10960
66.70-1-20	285 South Broadway LLC	136 Sicketown Rd, W Nyack, NY 10994
66.70-1-22	Ian Russell	281 So Broadway, Nyack, NY 10960
66.70-1-23	Richardo Tegni	135 Grand St, Newburgh, NY 12550
66.70-1-24	Jeffrey Walker	277 South Broadway, South Nyack, NY 10960
66.70-1-25	Matthew Richmond	275 S Broadway, South Nyack, NY 10960
66.70-1-26	Paul Fishkin	15 Mansfield Ave, South Nyack, NY 10960
66.70-1-27	Igor Krol	13 Mansfield Ave, South Nyack, NY 10960
66.70-1-28	Dennis Predovic	11 Mansfield Ave, So Nyack, NY 10960
66.70-1-29	Christopher Shafer	9 Mansfield Ave, S Nyack, NY 10960
66.70-1-30	Brandon Donohar	7 Mansfield Ave, S Nyack, NY 10960
66.70-1-31	Mitchell O'Brien	5 Mansfield Av, So Nyack, NY 10960
66.70-1-32	Clifford T Weathers	10 Mansfield Ave, So Nyack, NY 10960
66.70-1-33	Michael Sayles	36 Plaza St Apt 10F, Brooklyn, NY 11238
66.70-2-25	Markus Ward	52 Glen Byron Ave, South Nyack, NY 10960
66.70-2-26	Robert D Laufer	50 Glen Byron Ave, So Nyack, NY 10960
66.70-2-27	Thomas O'Hanlon	48 Glen Byron Ave, South Nyack, NY 10960
66.70-2-37	Desiree Giler-Mann	275 Piermont Ave, So Nyack, NY 10960
66.70-2-38	Suzanne H Graham	279 Piermont Ave, So Nyack, NY 10960
66.70-2-39	Marc Massay	281 Piermont Ave, So Nyack, NY 10960
66.70-2-40	Rose M Pugliese	132 Maple Brook Rd, Tuxedo, NY 10987
66.70-2-41	Stephen H Sorota	285 Piermont Ave, South Nyack, NY 10960
66.70-2-42	Cory Forman	2 Gurnee Ave, Nyack, NY 10960
66.70-2-43	Cory Forman	2 Gurnee Ave, Nyack, NY 10960
66.70-2-44	Paige Koudijs	4 Gurnee Ave, South Nyack, NY 10960
66.70-2-45	Francis Cooney Jr	6 Gurnee Av, So Nyack, NY 10960
66.70-2-48	Ryan W Newsome	11 Gurnee Ave, So Nyack, NY 10960
66.70-2-49	Thomas J Biaso III	1 Gurnee Ave, South Nyack, NY 10960

PROJECT SUMMARY

Addition & Renovations to the Collins Residence
278 Piermont Avenue | South Nyack NY 10960

31 July 2024
S&Co. 2318

The project involves the renovation of and a kitchen addition to the subject property. The three-story, wood-framed, eclectically styled 19th C. single-family residence is located at the northwest corner of Piermont and Cornelison Avenues in South Nyack NY and holds some historical significance as the birthplace of Joseph Cornell, a noted 20th C. American visual artist who was one of the pioneers and most celebrated exponents of “assemblage” art, as well as an avant-garde experimental filmmaker.

The structure consists of nominal 2x4 wood framing with wood clapboard and shingle siding without sheathing beneath. The interior consists of plaster walls over wood lath; as is typical of residential structures of the period in this region, there is no insulation at the exterior walls. The scope of the renovation includes the maintenance of the plaster walls, all of which are in acceptable or better condition, as well as the replacement of all of the house’s windows, which have suffered from a lack of maintenance and associated deterioration over many decades, rendering nearly all of them inoperable and damaged beyond repair. It is important to reiterate that the plaster interior walls will remain intact, and that the existing 3½” to 4” framing depth will not accommodate insulation that will provide the R-value required to meet code.

The addition was designed to enlarge the kitchen, which had remained a 19th C. servant’s kitchen, to 21st C. standards. The exterior walls and windows were designed to meet the *2020 NYStretch Energy Code* in effect in the Town of Orangetown. According to Table R401.1.2/Part 3 of this code, fenestration is required to have a U-factor of .27. However, due to an error on the part of the vendor, Andersen windows with a U-value of .30 were delivered and subsequently installed throughout the house at both the new addition and existing construction. The U-value of .28 does exceed the fenestration U-value of .30 prescribed in Table R401.1.2 of the *2020 Energy Conservation Construction Code of New York State*.

We are requesting a variance to allow fenestration with a U-value of .30 as per the *2020 Energy Conservation Construction Code of New York State* where fenestration with a U-value of .27 is required as per the *2020 NYStretch Energy Code* for the following reasons:

- 1) The .30 U-value replacement windows throughout the house were installed in existing uninsulated walls which diminishes, if not effectively eliminates, the effect of the .03 shortfall in U-value.
- 2) The new walls at the addition at which the .30 U-value windows were installed meet the criteria described by the *2020 NYStretch Energy Code*.
- 3) The U-value of .30 matches the minimum fenestration U-value of .30 prescribed in Table R401.1.2 of the *2020 Energy Conservation Construction Code of New York State*.
- 4) The difference in U-value between the *2020 NYStretch Energy Code* requirement and the installed fenestration is *de minimis*, at .03.
- 5) The shortfall in fenestration U-value is insignificant when weighed against the shortfall in energy efficiency in the structure as whole and considering the scope of the renovation.
- 6) The removal and replacement of the newly installed windows represents a substantial financial hardship that is out of proportion with the intended effect of the *2020 NYStretch Energy Code*.
- 7) The local code enforcement officer has indicated his concurrence with the foregoing.

In closing, we appreciate your consideration and your assistance in resolving this issue.



To Whom It May Concern:

We, Daniel and Samantha Collins, as the owners of the property known as 278 Piermont Avenue in the Hamlet of South Nyack, Town of Orangetown, Rockland County, New York 10960, do hereby authorize the officers of S&Co. | Architecture + Design, located at 41A North Broadway, Nyack NY 10960, to act as our agent for any and all matters, including appearances before all concerned Boards and Agencies, related to the property described above.

Daniel T. Collins

Daniel Collins

9-11-24

Date

Sau

Samantha Collins

9/11/2024

Date



Clerk of Boards Review:
Date: _____ Initials: _____

Building Dept. (Accepted By):
Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
20 Greenbush Road
Orangeburg, New York 10962
Tel: (845) 359-8410 ext. 4330
Website: www.orangetown.com

THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.

PROJECT NAME: ADDITION & RENOVATIONS @ COLLINS RESIDENCE
PROPERTY ADDRESS: 218 PIERMONT AV SOUTH NYACK NY 10960
TAX LOT ID: 06.70-1-12
NAME OF APPLICANT: ROBERT SILARSKI AIA
OWNER OF PROPERTY: DANIEL & SAMANTHA COLLINS
Land Use Application/Brief Description of Project: REPLACE EXISTING SINGLE-PANE WINDOWS W/
ENERGY-EFFICIENT UNITS

PART ONE:



1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required of both the owner and applicant (if not the same) when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).

Name of Entity:	 S&Co. Architecture + Design
Address:	41A North Broadway Nyack NY 10960
Telephone Number:	845 558.1516
EMail Address:	ROBS@SCDARCH.COM
State/Date of Formation:	2008/NY
Contact Person:	ROBERT SILARSKI AIA

RECEIVED
SEP 16 2024
TOWN OF ORANGETOWN
LAND USE BOARDS

PART TWO:

6. Please list all persons, officers, limited or general partners, directors, members, shareholders, managers, authorized persons, beneficial owners, and any others with any interest in or with the above referenced entity.
7. Please NOTE that an "authorized person" means an individual or entity, whether or not a shareholder, member, officer or director, or person identified by any other title, who is authorized to act, solely or in conjunction with others, on behalf of or for the Entity.
8. List all persons with a membership or voting interest or controlling position in the Entity. Please provide that parties' business or personal address and telephone number, email address and other contact information.
9. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).

Name of Individual	Address	Telephone	Email	Interest or Role in Entity
1. ROBERT SIWASKI AIA	 S&Co. Architecture + Design	845.558.1516	ROBSO@S&COARCH.COM	PRINCIPAL
2.	 41A North Broadway			
3.	Nyack NY 10960			
4.				
5.				
6.				

PART THREE:

10. Is any person identified in Part TWO currently employed by or hold a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
11. Is any person identified in PART TWO the spouse, sibling, parent, child, or grandchild of any individual who is employed by or holds a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
12. Does any person identified in PART TWO perform services for or have a contract, or employed by an entity that has a contract to perform services for the Town of Orangetown? Please circle: YES NO
13. If the answer is "YES" to any of the above, please provide a supplement sheet and list every Board, Department, Office, agency or other position with the Town of Orangetown in which the party has a position, paid or unpaid, or provides services for, and identify the agency, title and date of hire.

PART FOUR:

14. The information contained herein shall be updated with the Town of Orangetown Office of Building Clerk and Clerk of the Boards no later than THIRTY (30) DAYS after any change in information.
15. NOTE: Any person who (a) provides false or fraudulent beneficial ownership information; (b) willfully fails to provide complete or updated information; or (c) during the application process, fails to obtain or maintain credible, legible and updated beneficial ownership information shall be subject to suspension of any pending application by the applicant entity, or a "stop work" order on any work relating to the application, or both, in addition to any other applicable penalties under the Town Code, or State and Federal Statute, or both.



STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)

I, ROBERT SILARSKI AIA, being duly sworn, deposes and says that I am (Title) PRINCIPAL, an active or qualified member of the S+CO. ARCHITECTURE+DESIGN, a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.

RESI
Signature

Sworn to and subscribed in my presence

This 10 day of SEPTEMBER, 2024

Ann Marie Tlsty
NOTARY PUBLIC

ANN MARIE TLSTY
NOTARY PUBLIC-STATE OF NEW YORK
No. 01TL6227381
Qualified In Rockland County
My Commission Expires 8-30-2024

RECEIVED
SEP 16 2024
TOWN OF ORANGETOWN
LAND USE BOARDS



SOLD BY:

Dykes Lumber Company Tallman
PO Box 857
Weehawken, NJ 07087-0857
Fax: 201-867-2981

SOLD TO:



CREATED DATE
8/29/2024

LATEST UPDATE
8/29/2024

OWNER
John Nolan



Performance Report

QUOTE NAME
WILLOW TREE

QUOTE NUMBER
6343954

CUSTOMER PO#

TRADE ID

ORDER NOTES: *** THE BUYER IS RESPONSIBLE FOR ALL SPECIFICATIONS, SIZES AND QUANTITIES *******

DELIVERY NOTES:

Qty	Line	Pos	Unit Type / Dimensions	Unit Width	Unit Height	Unit Sqft	Total Sqft	U-Value	SHGC	VL	ER	Weighted Contribution to Entire Job	CPD Number
2	100	A1	WDHI 2' 6 1/8"X5' 6"	30 1/8"	66"	13.81	27.62	0.3	0.28			8.29	AND-N-74-01055-00007
1	200	A1	WDHI 2' 8"X5' 6"	32"	66"	14.67	14.67	0.3	0.28			4.4	AND-N-74-01055-00007
1	300	A1	WPWI 3'X3'	36"	36"	9	9	0.3	0.29			2.7	AND-N-77-02128-00001
1	400	A1	WDHI 2' 8"X5' 6"	32"	66"	14.67	14.67	0.3	0.28			4.4	AND-N-74-01055-00007
1	500	A1	WDHI 3' 9 5/8"X5'	45 5/8"	60"	19.01	19.01	0.3	0.28			5.7	AND-N-74-01055-00007
1	600	A1	WDHI 2'X4' 9 5/8"	24"	57 5/8"	9.	9.	0.3	0.28			2.88	AND-N-74-01055-00007
						599999	599999						
2	700	A1	WDHI 2' 3 3/4"X4' 9 5/8"	27 3/4"	57 5/8"	11 1	22.2	0.3	0.28			6.66	AND-N-74-01055-00007
1	800	A1	WDHI 2'X4' 9 5/8"	24"	57 5/8"	9.	9.	0.3	0.28			2.88	AND-N-74-01055-00007
						599999	599999						
1	900	A1	WDHI 2' 8"X5' 5 3/4"	32"	65 3/4"	14.61	14.61	0.3	0.28			4.38	AND-N-74-01055-00007
2	1000	A1	WDHI 2' 6 1/4"X5' 6"	30 1/4"	66"	13.86	27.72	0.3	0.28			8.32	AND-N-74-01055-00007
1	1100	A1	WDHI 2' 2"X4'	26"	48"	8.67	8.67	0.3	0.28			2.6	AND-N-74-01055-00007
1	1200	A1	WDH 2' 1 1/2"X5' 2"	25 1/2"	62"	10.98	10.98	0.3	0.28			3.29	AND-N-66-00930-00001
1	1300	A1	WDH 2' 1 1/2"X5' 2"	25 1/2"	62"	10.98	10.98	0.3	0.28			3.29	AND-N-66-00930-00001

1	1400	A1	WPW 5' 1 1/4"X5' 2"	61 1/4"	62"	26.37	26.37	0.28	0.28	7.38	AND-N-67-02409-00001
1	1500	A1	WDHI 2' 8"X5' 6"	32"	66"	14.67	14.67	0.3	0.28	4.4	AND-N-74-01055-00007
1	1600	A1	WDHI 2' 8"X5' 6"	32"	66"	14.67	14.67	0.3	0.28	4.4	AND-N-74-01055-00007
1	1700	A1	WDHI 2' 8"X5' 1 1/2"	32"	61 1/2"	13.67	13.67	0.3	0.28	4.1	AND-N-74-01055-00007
1	1800	A1	WDHI 2' 8"X5' 1 1/2"	32"	61 1/2"	13.67	13.67	0.3	0.28	4.1	AND-N-74-01055-00007
3	1900	A1	WDHI 2' 6"X4'	30"	48"	10	30	0.3	0.28	9	AND-N-74-01055-00007
2	2000	A1	WDHI 2' 2 1/4"X4'	26 1/4"	48"	8.75	17.5	0.3	0.28	5.25	AND-N-74-01055-00007
1	2100	A1	PSA 2' 1/8"X1' 8"	24 1/8"	20"	3.35	3.35	0.29	0.29	0.97	AND-N-2-03762-00001

Total Job Summary	Total Sqft	Total Weighted Contribution to Entire Job	Total Weighted Average	Percentage of Total Job
Rated Units:	333.229898	99.41	0.3	100%
Non-Rated Units:	0			0%

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

GENERAL NOTES AND CONDITIONS

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH ALL APPLICABLE PORTIONS OF THE 2020 EDITION OF THE NEW YORK STATE CODES, INCLUDING BUT NOT LIMITED TO THE BUILDING CODE, RESIDENTIAL CODE, EXISTING BUILDING CODE, MECHANICAL CODE, PLUMBING CODE, GAS CODE, ELECTRICAL CODE, PROPERTY MAINTENANCE CODE AND ENERGY CONSERVATION CONSTRUCTION CODE INCLUDING THE 2020 NYS FIRE CODE AS WELL AS THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTION ASSOCIATION, AND ALL FEDERAL AND STATE REGULATIONS AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK. GC SHALL NOTIFY ARCHITECT OF ERRORS, OMISSIONS OR DEVIATIONS FROM SAME PRIOR TO PERFORMING THE WORK.
- THE WORK SHALL COMPLY WITH THAT DESCRIBED BY THESE CONTRACT DOCUMENTS. ITEMS NOT INCLUDED ARE THOSE DENOTED AS "EXISTING", "N.C.", "BY OTHERS" OR "BY OWNER". GC IS RESPONSIBLE FOR ALL DESIGN NOT SPECIFICALLY & COMPLETELY SHOWN AND DIMENSIONS RELYING FROM REVIEW OF THESE DRAWINGS SHALL BE TOTALLY THE RESPONSIBILITY OF THE PARTY MAKING THE ASSUMPTIONS.
- THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURERS LITERATURE, PERFORMANCE DATA, ETC. IN ORDER THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION ADJACENT CONSTRUCTION OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE. THE NECESSARY CHANGES AND MODIFICATION TO THE AFFECTED WORK SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL EXPENSE TO THE OWNERS. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE ARCHITECT DUE TO CONTRACTORS' FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.
- THE MANUFACTURER'S SPECIFICATIONS ARE APPROVED FOR USE IN THE PROJECT AND ARE HEREBY MADE A PART OF THESE NOTES WITH THE SAME FORCE AND EFFECT AS THOUGH HEREBY WRITTEN OUT IN FULL, EXCEPT THAT WHEREVER THE DRAWINGS REQUIRE HIGHER MEMBERS, BETTER QUALITY MATERIALS, OR ARE OTHERWISE MORE STRINGENT, THESE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, FIELD CONDITIONS OR OTHER INCONSISTENCIES OR NEED FOR CLARIFICATION PRIOR TO OR DURING CONSTRUCTION.
- ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS CONTRACT SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE USE OF OLD OR SECOND-HAND MATERIALS IS STRICTLY FORBIDDEN. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND WORKMANSHIP. MATERIALS SHALL BE USED IN ACCORDANCE WITH RECOMMENDED PRACTICES AND MANUFACTURER'S INSTRUCTIONS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS. PRIOR TO START OF WORK, GC SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL FIELD CONDITIONS AND ALL DIMENSIONS CALLED OUT IN THE CONTRACT DOCUMENTS AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE ACTUAL PERMIT AND FOR THE PLUMBING AND SECURING OF ALL INSPECTIONS SUCH AS FRAMING, PLUMBING, ELECTRICAL, INSULATION, ETC.
- THE GENERAL CONTRACTOR SHALL GIVE THE OWNER A WRITTEN GUARANTEE COVERING ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNERS REPRESENTATIVE (CONFIRMED IN WRITING), AND HE SHALL, UPON NOTICE PROMPTLY MAKE GOOD AT HIS OWN EXPENSE ALL DEFECTS IN MATERIAL AND WORKMANSHIP DURING THIS PERIOD WITHOUT ANY COSTS TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL FURNISH TO THE OWNERS REPRESENTATIVE CERTIFICATES OF WORKMANSHIP INSURANCE AND CERTIFICATES OF COMPREHENSIVE LIABILITY AND PROPERTY DAMAGES INSURANCE COVERING ALL PERSONNEL EMPLOYED IN THE EXECUTION OF THE WORK, IN THE AMOUNTS AS REQUIRED BY THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE REQUIRES THE CONTRACTOR TO INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS AGAINST CLAIMS AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, AND ALL OTHER COSTS OF DEFENSE, ARISING OUT OF THE WORK PERFORMED BY OR THE DUTIES OF THE CONTRACTOR, HIS SUBCONTRACTORS, OR THE AGENTS, EMPLOYEES, OR SUB-SUBCONTRACTORS OF ANY OF THEM.
- THE OBLIGATION OF THE CONTRACTOR UNDER THIS SECTION SHALL NOT EXTEND TO THE LIABILITY OF THE ARCHITECT, HIS AGENTS OR EMPLOYEES ARISING OUT OF PREPARATION OR APPROVAL OF DRAWINGS, REPORTS, SURVEYS, CHANGE ORDERS, DESIGNS OR SPECIFICATIONS.
- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE GIVEN TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT SAID ADDITIONAL INFORMATION OR DRAWINGS ARE TO BE OF EQUAL FORCE WITH THESE DRAWINGS.
- SCALE DRAWINGS, WHICH THEY ARE INTENDED TO AMPLIFY, DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK, BUT NOT CARRIED OUT FULLY FOR THE OTHER PORTIONS, SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
- GC SHALL BE RESPONSIBLE FOR QUALITY CONTROL OF THE WORK AND SHALL PERFORM SUFFICIENT INSPECTION AND TESTING OF ALL ITEMS OF WORK, INCLUDING THAT OF ANY OF HIS SUBCONTRACTORS, TO ENSURE CONFORMANCE TO THE CONTRACT DOCUMENTS FOR MATERIALS, WORKMANSHIP, CONSTRUCTION, FINISH FUNCTIONAL PERFORMANCE AND IDENTIFICATION.
- GC SHALL REQUIRE SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED PERSONNEL TO OBSERVE FIELD CONDITIONS, CONDITIONS OF SURFACES & INSTALLATION, QUALITY OF WORKMANSHIP, TESTING, AND TO MAKE APPROPRIATE RECOMMENDATIONS ON AN AS-NEEDED BASIS.
- GC SHALL PROVIDE AND BEAR SOLE RESPONSIBILITY FOR THE DESIGN AND ERECTION OF ALL NECESSARY SCAFFOLDS, FORMS, SHEETING, SHORING, TEMPORARY AND PERMANENT BRACINGS AND SUPPORT AS REQUIRED BY THE WORK FOR THE COMPLETE AND SAFE INSTALLATION OF SAME. ALL ITEMS SHALL BE PROVIDED IN ACCORDANCE WITH BEST STANDARD PRACTICE AND APPLICABLE NATIONAL AND LOCAL CODES. DO NOT CUT OR REMOVE CONSTRUCTION WHICH MAY WEAKEN OR IMPAIR THE STRUCTURAL INTEGRITY OF THE ADJOINING PROPERTIES OR THE STRUCTURE IN PROGRESS WITHOUT THE NOTIFICATION OF THE OWNERS REPRESENTATIVE OR THE ARCHITECT WELL IN ADVANCE.
- GC SHALL TAKE CARE TO PROTECT AND GUARD AGAINST MOVEMENT, SETTLEMENT AND COLLAPSE OF AND INCIDENTAL DAMAGE TO ALL PORTIONS OF ADJACENT PROPERTIES AFFECTED BY THE WORK.
- EXISTING UTILITIES SERVING THE PROPERTY AND ADJACENT PROPERTIES SHALL NOT BE INTERRUPTED WITHOUT PRIOR AUTHORIZATION FROM THE OWNERS REPRESENTATIVE OR ARCHITECT. GC TO PROVIDE TEMPORARY SERVICES AS REQUIRED, AND SHALL REMOVE, SEAL, CAP, DISCONNECT AND MAKE SAFE ALL UTILITIES TO BE DEMOLISHED AT THEIR POINT OF ORIGIN SUCH THAT THEY DO NOT INTERFERE WITH THE WORK.
- GC SHALL PROVIDE ALL NECESSARY SAFEGUARDS FOR THE PROTECTION AND SAFETY OF ALL VISITORS TO THE SITE, HIS OWN WORKERS AND THE WORK ITSELF. GC WILL BEAR FULL RESPONSIBILITY IN THE EVENT OF DAMAGE OR ACCIDENT.
- GC SHALL NOTIFY ARCHITECT/OWNERS REPRESENTATIVE IF VERMIN OR PEST CONTROL IS REQUIRED. SUCH REQUIRED CONTROL SHALL BE THE RESPONSIBILITY OF THE OWNER.
- GC TO PROVIDE ANY AND ALL SUITABLE METHODS AVAILABLE TO LIMIT THE AMOUNT OF DIRT AND DUST WITHIN AND ADJACENT TO THE SITE AND TO KEEP THE NOISE LEVEL AT THE LOWEST POSSIBLE LEVEL. WHEN ADJACENT STRUCTURES ARE OCCUPIED, GC SHALL COMPLY WITH ALL LOCAL LAWS REGARDING THE DAILY COMMENCEMENT AND CESSATION OF CONSTRUCTION ACTIVITIES AND SHALL ACCOUNT FOR SAME IN THEIR COSTS AND THE BUDGETING.
- GC SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO AVOID DAMAGING EXISTING PLANTINGS TO BE SAVED AS INDICATED BY THE DRAWINGS OR ON ADJACENT PROPERTIES. OWNER IS RESPONSIBLE FOR THE TEMPORARY RELOCATION OF PLANTINGS INTENDED FOR REUSE, AND FOR THE REPLANTING OF SAME.
- GC IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ANY AND ALL EXISTING AND UNDERGROUND UTILITY LINES PRIOR TO PERFORMING ANY EXCAVATION, NOTIFYING THE ARCHITECT/OWNERS REPRESENTATIVE OF ANY SUCH LOCATIONS, AND TAKING ADEQUATE PROTECTION MEASURES TO ENSURE UNINTERRUPTED UTILITY SERVICE TO THE PROJECT AND TO ADJACENT PROPERTIES.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A DOCUMENT ADD. CURRENT EDITION) SHALL FORM PART OF THE GENERAL CONTRACT AND EACH DIVISION THEREOF, AND SHALL BE CAREFULLY READ AND ADHERED TO BY THE GENERAL CONTRACTOR ("THE CONTRACTOR") AND BY EACH SUBCONTRACTOR EMPLOYED IN CONNECTION WITH THE WORK. WHERE CONFLICTS OCCUR BETWEEN THE GENERAL CONDITIONS AND THESE SUPPLEMENTARY GENERAL CONDITIONS, THE MORE STRINGENT SHALL GOVERN.
- THESE SPECIFICATIONS ARE OF THE BRIEF OR STREAMLINED TYPE AND INCLUDE INCOMPLETE SENTENCES, THE OMISSION OF WORDS AND PHRASES SUCH AS THE CONTRACTOR SHALL, "AS NOTED ON THE DRAWINGS," "ACCORDING TO THE PLANS," "A," AND "AND," ARE INTENTIONAL SECTIONS NOT SPECIFICALLY INCLUDED HEREBY MAY BE INCLUDED AS PART OF THE PROJECT IF SHOWN IN THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, OPERATIONS, SERVICES, APPLIANCES OR METHODS LISTED, MENTIONED, OR SCHEDULED ON THE DRAWINGS OR HEREIN, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, AND INCIDENTALS REQUIRED FOR THEIR COMPLETION.
- WHENEVER THE WORDS "APPROVED," "SATISFACTORY," "DIRECTED," "SUBMITTED," "INSPECTED" OR SIMILAR WORDS ARE USED, IT SHALL BE ASSUMED THAT THE WORD "ARCHITECT" FOLLOWS THE WORDS AS THE OBJECT OF THE CLAUSE.
- ALL REFERENCES TO KNOWN STANDARDS, SPECIFICATIONS, ETC. SHALL MEAN AND INTEND THE LATEST EDITION OF SUCH SPECIFICATIONS.
- CODES
 - ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, LOCAL AND FIRE CODES.
 - IT IS ASSUMED THAT THE CONTRACTOR HAS THOROUGHLY EXAMINED WITH THE JOBSITE, INCLUDING MEANS OF ACCESS THERETO, IN ORDER TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS, INCLUDING SITE GRADING, SUCH KNOWN EXISTING CONDITIONS SHALL NOT FORM A BASIS FOR EXTRA FEES OR TIME WITH REGARD TO

- THE WORK
 - PRIOR TO COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - IF THE CONTRACTOR WISHES TO SUBSTITUTE A PRODUCT, MATERIAL, DETAIL OR PROCEDURE FOR ONE SPECIFIED HEREIN OR SHOWN ON THE DRAWINGS, HE MUST SUBMIT SUPPORTING DOCUMENTS, MATERIALS, SAMPLES, ETC. AS NEEEDED TO THE ARCHITECT TO DEMONSTRATE EQUALITY TO THAT WHICH WAS SPECIFIED. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTION WITH NO CHANGE TO THE CONTRACT SUM OR SCHEDULE.
- DEFINITIONS
 - "FURNISH" AND "SUPPLY" ARE USED INTERCHANGEABLY, AND HAVE THE SAME MEANING.
 - "INSTALL" MEANS UNLOAD, CAREFULLY STORE, PROTECT, ASSEMBLE, SET IN PLACE, SECURE, CONNECT AND WIRE AS REQUIRED TO COMPLETE THE WORK.
 - "PROVIDE" MEANS FURNISH AND INSTALL.
 - "N.C." AND "BY OTHERS" MEANS NOT IN CONTRACT.
 - "DRAWINGS" AND "CONTRACT DRAWINGS" ARE USED INTERCHANGEABLY, AND HAVE THE SAME MEANING.
 - "CONTRACT DOCUMENTS" REFERS TO THE DRAWINGS AND SPECIFICATIONS, AND ANY MODIFICATIONS THERETO, INCLUSIVE.
- DRAWINGS
 - ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS AND ACCEPTED TRADE STANDARDS CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS, UNLESS MORE STRINGENT METHODS ARE SPECIFIED HEREIN OR SHOWN ON THE DRAWINGS. IN BUSINESS DAYS IN WHICH THE CONTRACTOR IS AN OCCASIONAL VISITOR TO THE JOB SITE, THE DESIGN OF THE ARCHITECT SHALL BE CONSIDERED FINAL, NO INCREASE IN THE CONTRACT PRICE SHALL RESULT AS A RESULT OF ANY SUCH DISCREPANCY.
 - THE CONTRACTOR SHALL MAINTAIN ON-SITE AT LEAST ONE LEGIBLE, COMPLETE AND CURRENT SET OF CONTRACT DOCUMENTS FOR REFERENCE, IN ADDITION TO THOSE SET FORTH BY INDIVIDUAL TRADES. IN ADDITION, CONTRACTOR SHALL MAINTAIN ON SITE ALL SKIS, APPROVED SAMPLES, SHOP DRAWINGS, SUB-TITLES, MEMORANDA, AND OTHER RELEVANT COMMUNICATIONS, DRAWINGS, SUB-TITLES AND DOCUMENTS WHICH SHALL BE MAINTAINED IN AN ACCESSIBLE FASHION. ALL SETS OF DRAWINGS SHALL BE KEPT CURRENT. NO SUPERSEDED DRAWINGS SHALL BE USED ON SITE.
 - SHOP DRAWINGS
 - THE CONTRACTOR SHALL PROVIDE ONE (1) ELECTRONIC SET AND TWO (2) PAPER SETS OF SHOP DRAWINGS TO THE ARCHITECT FOR ALL CUSTOM MILLWORK, CABEWK AND METALWORK ITEMS. THE ARCHITECT SHALL HAVE SEVEN (7) BUSINESS DAYS IN WHICH TO RETURN REVIEWED SHOP DRAWINGS TO THE CONTRACTOR WITHOUT IMPACT TO THE PROJECT SCHEDULE.
 - SCHEDULED INSPECTIONS
 - THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS, AND SHALL NOTIFY ARCHITECT OF SAME AT LEAST 48 HOURS IN ADVANCE.
 - COOPERATION
 - ALL TRADES SHALL CONSULT TOGETHER AND SO LAY OUT THEIR WORK THAT THERE WILL BE NO CONFLICT IN THE INSTALLATION OF THE VARIOUS PARTS.
 - EXTRA WORK
 - OMITTING MATERIALS IN ONE PART OF THE WORK AND PLACING SAME AMOUNT AND KIND IN ANOTHER PART SHALL NOT BE COUNTED AS AN ADDITION OR DEDUCTION FROM THE CONTRACT PRICE. ALL EXTRAS AND CHANGES IN THE WORK SHALL BE GOVERNED BY THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF THE BUILDING; (A) THIRTEENTH EDITION) AND THE CONTRACTOR IS HEREBY NOTIFIED THAT ANY "EXTRA" WORK WILL BE RECOGNIZED AS AN ADDITIONAL, COST OVER AND ABOVE THE CONTRACT SUM ONLY WHEN SUBSTANTIAL TO THE PROJECT AND APPROVED BY THE ARCHITECT AND COUNTERSIGNED BY THE ARCHITECT AND AT A SPECIFIED PRICE.
 - WORKMANSHIP
 - ALL MATERIALS & WORKMANSHIP TO BE OF BEST QUALITY, INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MANUFACTURER'S INSTRUCTIONS AND ACCEPTED TRADE STANDARDS, UNLESS MORE STRINGENT METHODS ARE SPECIFIED HEREIN OR SHOWN ON THE DRAWINGS.
 - FOREMAN
 - THE GENERAL CONTRACTOR SHALL PERSONALLY BE RESPONSIBLE FOR THE DISCHARGE OF THE SPECIFIED DUTIES AND OBLIGATIONS IMPOSED BY THE CONTRACT DOCUMENTS. IF THE CONTRACTOR IS UNABLE OR UNWILLING TO MAINTAIN AN EXTENDED SUPERVISION OF THE WORK, HE SHALL PLACE AN EXPERIENCED FOREMAN IN CHARGE WHO SHALL BE RESPONSIBLE FOR REPRESENTING HIM AT ALL TIMES, COORDINATE THE SUBCONTRACTORS WORK, CHECK & VERIFY ALL DETAILS, SHOP DRAWINGS, MEASUREMENTS, ETC. AND TRANSMIT THE ARCHITECT'S INSTRUCTIONS.
 - SERVICES DURING CONSTRUCTION
 - THE CONTRACTOR WILL PAY ALL COSTS FOR ALL UTILITIES, INCLUDING WATER, ELECTRIC, GAS AND TELEPHONE.
 - CLOSURE
 - THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL OPERATING, MAINTENANCE AND SPARE PARTS MANUALS FOR ALL MECHANICAL, ELECTRICAL AND SIMILAR EQUIPMENT. THE CONTRACTOR SHALL PROVIDE OPERATING INSTRUCTIONS IN THE FORM OF A DEMONSTRATION TO THE OWNER FOR ALL SUCH EQUIPMENT.
 - PRIOR TO TURN-OVER OF THE PROJECT TO THE OWNER, THE CONTRACTOR SHALL REMOVE ALL UNUSUED MATERIAL, EQUIPMENT AND DEBRIS AND SHALL THOROUGHLY CLEAN AND DUST ALL SURFACES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, GLASS, FLOORS, ELECTRICAL DEVICES, PLUMBING FIXTURES AND MILLWORK. REMOVE ALL PROPRIETARY LABELS FROM THE WORK EXCEPT WHERE REQUIRED BY CODE OR PERMANENT LABELING.
 - BESIDES THE GENERAL ROOM CLEANING, THE GENERAL CONTRACTOR, AT HIS OWN COST AND EXPENSE, SHALL BE RESPONSIBLE FOR THE FINAL CLEANING AND RESTORATION OF AFFECTED AREAS IN A MANNER ACCEPTABLE TO THE ARCHITECT OR OWNER. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL BULK DEBRIS, SUCH AS CARTONS AND CRATES, RESULTING FROM HIS OWN INSTALLATION. EACH CONTRACTOR SHALL CLEAN ALL FIXTURES AND EQUIPMENT INSTALLED UNDER HIS CONTRACT.
 - GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL WORK (LABOR, MATERIALS AND EQUIPMENT) FOR AT LEAST ONE YEAR FROM DATE OF COMPLETION OF THE PROJECT, AND SHALL SUBMIT SUCH GUARANTEE IN WRITING.
 - THE CONTRACTOR SHALL MAKE PAYMENTS ONLY AFTER APPROVAL BY THE ARCHITECT OF ALL BILLS FOR PAYMENT. THE ARCHITECT SHALL DECIDE WHAT IS PROPERLY DUE. NO PAYMENTS BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF WORK OR MATERIALS THAT ARE NOT IN ACCORDANCE WITH THE CONTRACT.
 - THE ARCHITECT MAY OBJECT TO THE WITHDRAWAL OR CANCELLATION OF SUBSEQUENTLY DISCOVERED EVIDENCE, NULLIFY THE WHOLE OR ANY PART OF A PAYMENT TO SUCH EXTENT AS MAY BE NECESSARY, TO PROTECT THE OWNER FROM LOSS ON ACCOUNT OF:
 - DEFECTIVE WORK NOT REMEDIATED;
 - CLAIMS FILED OR REASONABLE EVIDENCE INDICATING PROBABLE FILING OF CLAIMS;
 - FAILURE OF THE CONTRACTOR TO MAKE PAYMENTS PROPERLY TO A SUBCONTRACTOR, OR FOR MATERIAL OR LABOR;
 - A REASONABLE DOUBT THAT THE CONTRACT CAN BE COMPLETED FOR THE BALANCE THEN UNPAID;
 - DAMAGE TO ANOTHER CONTRACTOR;
 - THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, IF REQUIRED, RECEIPTS OR OTHER VOUCHERS, SHOWING HIS PAYMENTS FOR MATERIALS AND LABOR, INCLUDING PAYMENTS TO SUBCONTRACTORS.
 - THE ARCHITECT SHALL SPECIFY THE FORM AND TYPE OF APPLICATION FOR PAYMENTS BY THE CONTRACTOR, AND MAY REQUIRE SUPPORTING EVIDENCE AS TO THE CORRECTNESS OF THE SCHEDULE OF VALUES FOR VARIOUS PARTS OF THE WORK. IF THE PAYMENTS ARE MADE FOR MATERIALS DELIVERED AND STORED AT THE SITE, BUT NOT INCORPORATED IN THE WORK, THEY SHALL BE CONDITIONED ON THE SUBMISSION BY THE CONTRACTOR OF BILLS OF SALE OR SUCH OTHER EVIDENCE AS WILL ESTABLISH THE OWNERS TITLE.
 - THE FINAL WORK WILL BE WITHHELD UNTIL COMPLETION OF THE JOB, CLEAN-UP OF THE JOB SITE, PROOF THAT ALL OBLIGATIONS HAVE BEEN PAID, AND OBTAIN ACCEPTANCE BY THE ARCHITECT OR OWNER.
 - LIABILITY AND INSURANCE
 - CERTIFICATES OF CONTRACTORS AND SUBCONTRACTORS' INSURANCE SHALL BE FILED WITH THE OWNER BEFORE COMMENCEMENT OF WORK. IF A SUBCONTRACTOR HAS BEEN ADDED TO THE CONTRACTORS' INSURANCE POLICY OR POLICES, A RIDER TO THAT EFFECT MUST BE FILED WITH THE OWNER BEFORE COMMENCEMENT OF WORK.
 - THE CONTRACTOR AND SUBCONTRACTORS SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER FROM AND AGAINST ALL LOSSES AND CLAIMS, DEMANDS, PAYMENTS, SUITS, RECOVERIES AND JUDGMENTS OF EVERY NATURE AND DESCRIPTION SOUGHT OR RECOVERED AGAINST HIM BY REASON OF AN ACT OR OMISSION BY THE CONTRACTOR, HIS AGENTS OR EMPLOYEES, IN THE EXECUTION OF THE WORK OR IN GUARDING OF IT.
 - ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC., OSHA OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
 - WARRANTY OF LIEN
 - AT COMPLETION OF WORK AND PRIOR TO OR CONCURRENT WITH FINAL PAYMENT, GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER A COMPLETE RELEASE FROM ALL LIENS IN CONNECTION WITH THIS CONTRACT.
 - THEFT AND BREAKAGE CLAUSE
 - RESPONSIBILITY FOR THE CARE & PROTECTION OF THE WORK COVERED BY THE CONTRACT SHALL REST WITH THE CONTRACTOR UNTIL IT HAS BEEN ACCEPTED BY THE OWNER. CONTRACTOR IS TO PROTECT PROPERTY & MATERIAL AGAINST THEFT, INJURY & DAMAGES FROM ALL CAUSES UNTIL ACCEPTANCE BY THE OWNER.
 - WORK WILL NOT BE CONSIDERED "COMPLETE" OR "SUBSTANTIALLY COMPLETE" UNTIL RELEASE OF ALL LIENS, AND INSPECTION CERTIFICATES AND CERTIFICATE OF OCCUPANCY ARE RECEIVED BY THE OWNER.

ZONING ANALYSIS Town of Orangeburg §3.19/Hamlet of South Nyack Gen'l Use, Bulk & Flag Regulations

Address: 278 Piermont Avenue
 Owners: Daniel & Samantha Collins
 Section/Block/Lot: 66.70-1-12
 Zone: SN-RG-6/General Residential
 Current Use(s): One-Family Residence
 Proposed Use(s): One-Family Residence

PRINCIPAL BUILDING	REQUIRED/ALLOWABLE	EXISTING	PROPOSED	NET CHANGE
Minimum Total Lot Size (Area 1)	6,000 sf	12,516 sf	12,516 sf	none
Minimum Street Frontage	60'	224.73'	224.73'	none
Minimum Total Lot Coverage	50%	13%	15.5%	+2.5%
Minimum Front Yard	25'	37.1'	37.1'	none
Minimum Side Yard	12'	15.5'	15.5'	none
Two Side Yards Total	25'	n/a	n/a	none
Minimum Rear Yard	20'	37.5'	37.5'	none
Minimum Building Height (b)	36/3 stories	30.5/2.5 st	30.5/2.5 st	none

↑ This is a corner lot as such, it has (2) front yards and (1) side yard; the northern yard is designated as the rear yard

EXTERIOR DOOR & WINDOW SCHEDULE

NOTES:
 1) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND THE DRAWINGS PRIOR TO PROCEEDING AND TO PROVIDE SHOP DRAWINGS OF EACH UNIT FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO CONFIRMING ORDER

CODE	LOCATION	ROUGH OPENING	TYPE	REMARKS
A	NORTH ELEV. QTY: 3	2'-6 3/8" (W) x 4'-9 1/2" (H)	NEW D.H. WINDOW IN NEW OPENING	• MARVIN SIGNATURE ULTIMATE WOOD DOUBLE HUNG UNIT L20W42G4 • MUNTINS: 5/8" WOOD PROFILE IN A 6-OVER6 CONFINER AS PER DWG'S • SIMULATED DIVIDED LITE W/SPACER BAR (SOL.) • FINISH @ EXT: PRIMED PNE/FINISH @ INT: PRIMED WHITE • DUAL PANE LOW-EBS GLASS-U-VALUE ≤ .27 • SIGNATURE ULTIMATE LOCK & KEYSERFINISH = POLISHED CHROME • PTD WOOD CASINGS/SLI DMS & THICKNESSES BY GC TO MATCH EXISTING • BRIGHT W/NDW SCREEN W/CLEAR ALUMINUM SURROUND - FINISH TBD • PROVIDE CONTINUOUS EXT SHILL W/CHORN ENTS FOR FIELD TRIMMING
	WEST ELEV. QTY: 1	2'-6 3/8" (W) x 5'-6 1/2" (H) (VIP)	NEW D.H. WINDOW IN NEW OPENING	• SIZE TO MATCH EXISTING D.H. WINDOW @ WEST WALL DINING • MARVIN SIGNATURE ULTIMATE WOOD DOUBLE HUNG UNIT L20W42G4 (VIP) • MUNTINS: 5/8" WOOD PROFILE IN A 6-OVER6 CONFINER AS PER DWG'S • SIMULATED DIVIDED LITE W/SPACER BAR (SOL.) • FINISH @ EXT: PRIMED PNE/FINISH @ INT: PRIMED WHITE • DUAL PANE LOW-EBS GLASS-U-VALUE ≤ .27 • SIGNATURE ULTIMATE LOCK & KEYSERFINISH = POLISHED CHROME • PTD WOOD CASINGS/SLI DMS & THICKNESSES BY GC TO MATCH EXISTING • BRIGHT W/NDW SCREEN W/CLEAR ALUMINUM SURROUND - FINISH TBD • PROVIDE CONTINUOUS EXT SHILL W/CHORN ENTS FOR FIELD TRIMMING
B	EAST ELEV. QTY: 1	3'-2" (W) x TBD	NEW FR. TRANSOM IN NEW OPENING	• ENTRY DOOR: TRUSTILE BY MARVIN RESILIENT INTERIOR DOOR PLUS MULLED TRANSOM AS PER DRAWINGS/FRAME CODE E904 • 1 1/2" THICK W/NTX ROMAN OSGE (OS) MUNTINS SIMULATED DIVIDED LITES IN 2W X 3H @ DOOR AND 2W X 3H @ TRANSOM • DOOR LEAF HEIGHT = 3'-0" W/ X HST TO MATCH EXISTING INTERIOR LITES • ROMAN OSGE (OS) STICKS W/FLAT PANEL • FINISH @ EXT & INT: PAINTED • DUAL PANE ARBORW/NT L0-E27Z GLASS-U-VALUE ≤ .27 • PTD W/NTX CASINGS/SLI DMS & THICKNESSES BY GC TO MATCH EXISTING • HARDWARE SET 2
	WEST ELEV. QTY: 1	EXIST	EXIST	• ENTRY DOOR: TRUSTILE BY MARVIN W/DOOR/SCREEN DOOR FLTD 1 1/2" THICK • ROMAN OSGE (OS) STICKS W/FLAT PANEL • PTD W/NTX CASINGS/SLI DMS & THICKNESSES BY GC TO MATCH EXISTING • FINISH @ EXT & INT: PAINTED • HARDWARE SET 2A
C	EAST ELEV. QTY: 1	EXIST	EXIST	• EXISTING HISTORIC ELLIPTICAL WINDOW TO BE REFINISHED/REGLAZED AS READ • PROVIDE COMPRESSION/INT INSUL STORM WINDOW W/LOW-E GLASS, 1"DOVY W/NTX/SLI GRADE SLIP & WHITE FRAME OR APPROVED EQUAL • NO MUNTINS
	WEST ELEV. QTY: 1	EXIST	EXIST	• EXISTING HISTORIC ELLIPTICAL WINDOW TO BE REFINISHED/REGLAZED AS READ • PROVIDE COMPRESSION/INT INSUL STORM WINDOW W/LOW-E GLASS, 1"DOVY W/NTX/SLI GRADE SLIP & WHITE FRAME OR APPROVED EQUAL • NO MUNTINS

INTERIOR DOOR SCHEDULE

NOTES:
 1) GC TO CONFIRM SIZES/HANDINGS AND PROVIDE ORDER LIST/SHOP DRAWINGS AS REGD PRIOR TO FINALIZING ORDER
 2) IN THE EVENT OF DIFFERENCES OR DISCREPANCIES BETWEEN THE DRAWINGS AND THIS SCHEDULE, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING

#	QTY	FROM	TO	TYPE	W	H	THICK	FRAME	DOOR	HWDR SET	REMARKS
1	1	HALL	FOR RM	BARREL HUNG	2'-0"	6'-6"	1-3/8"	TO MATCH EXISTING	SOLID WOOD FINISH TBD	1B	5-PNL TO MATCH EXISTING FR. ROYER TO HALL/TRANSOM 178500 W/FLAT PANEL & OS-RODAN OSGE STICKS OR ARVQ EIG
2	1	BASEMENT STAR	HALL	BARREL HUNG	2'-0"	6'-6"	1-3/8"	TO MATCH EXISTING	SOLID WOOD FINISH TBD	1A	5-PNL TO MATCH EXISTING FR. ROYER TO HALL/TRANSOM 178500 W/FLAT PANEL & OS-RODAN OSGE STICKS OR ARVQ EIG
3	1	KITCHEN	PANTRY	BARREL HUNG	2'-4"	6'-6"	1-3/8"	TO MATCH EXISTING	PAINTED WOOD	1B	5-PNL TO MATCH EXISTING FR. ROYER TO HALL/TRANSOM 178500 W/FLAT PANEL & OS-RODAN OSGE STICKS OR ARVQ EIG

DOOR HARDWARE SCHEDULE

NOTES:
 1) IN THE EVENT OF DIFFERENCES OR DISCREPANCIES BETWEEN THE DRAWINGS AND THIS SCHEDULE, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING
 2) ALL DOOR HANDLE SETS MOUNTING HEIGHTS TO MATCH EXISTING
 3) ALL HWDRS TO BE SQUARE-CORNERED, RADIUS-CORNERED HWDRS WILL NOT BE ACCEPTED
 4) ALL HWDRS TO BE FINISHED AND RETAILED BY GC/UNL

HARDWARE SET 1 (POWDER ROOM)

ITEM	QTY	DESCRIPTION	FINISH	REMARKS
1 PR. 3-1/2" SQUARE CORNER FULL MORTISE DOOR HWDR	1	1035.260	BALDWIN	POLISHED CHROME
BALL FINAL		1090.280	BALDWIN	POLISHED CHROME
MORTISE PRIVACY LATCHSET (HALL SIDE)		8024XXX (KN2B) + 8025XXX (RO2B)	BALDWIN	TBD
MORTISE PRIVACY LATCHSET (POWDER RM SIDE)		8024XXX (KN2B) + 8025XXX (RO2B)	BALDWIN	POLISHED CHROME
(1) 3" WALL DOOR BUMPER		4048.260	BALDWIN	POLISHED CHROME

HARDWARE SET 1A (BASEMENT)

ITEM	QTY	DESCRIPTION	FINISH	REMARKS
1 PR. 3-1/2" SQUARE CORNER FULL MORTISE DOOR HWDR	1	1035XXX	BALDWIN	TBD
BALL FINAL		1090XXX	BALDWIN	TBD
MORTISE PASSAGE LATCHSET (BOTH SIDES)		8024XXX (KN2B) + 8025XXX (RO2B)	BALDWIN	TBD

HARDWARE SET 1B (PANTRY)

ITEM	QTY	DESCRIPTION	FINISH	REMARKS
1 PR. 3-1/2" SQUARE CORNER FULL MORTISE DOOR HWDR	1	1035.260	BALDWIN	POLISHED CHROME
BALL FINAL		1090.280	BALDWIN	POLISHED CHROME
MORTISE PASSAGE LATCHSET (BOTH SIDES)		8024XXX (KN2B) + 8025XXX (RO2B)	BALDWIN	POLISHED CHROME
(1) 3" WALL DOOR BUMPER		4048.260	BALDWIN	POLISHED CHROME

HARDWARE SET 2 (EXTERIOR ENTRY DOOR)

ITEM	QTY	DESCRIPTION	FINISH	REMARKS
1/2 PR. 4" SQUARE CORNER FULL MORTISE DOOR HWDR	1	1040.260	BALDWIN	POLISHED CHROME
BALL FINAL		1090.260	BALDWIN	POLISHED CHROME
ENTRY SET (INTERIOR)		TBD	TBD	POLISHED CHROME
ENTRY SET (EXTERIOR)		TBD	TBD	TBD
(1) 3" WALL DOOR BUMPER		4048.260	BALDWIN	POLISHED CHROME

HARDWARE SET 2A (EXTERIOR STORM/SCREEN DOOR)

ITEM	QTY	DESCRIPTION	FINISH	REMARKS
(2) SURFACE MTD SCREEN DOOR HWDR IN WALL TYP		8-084-8286-XXX	HOUSE OF ANTIQUE HARDWARE	TBD
NEW YORK TUBULAR SCREEN DOOR LATCHSET		85-026H-851-8365U-XXX	HOUSE OF ANTIQUE HARDWARE	TBD

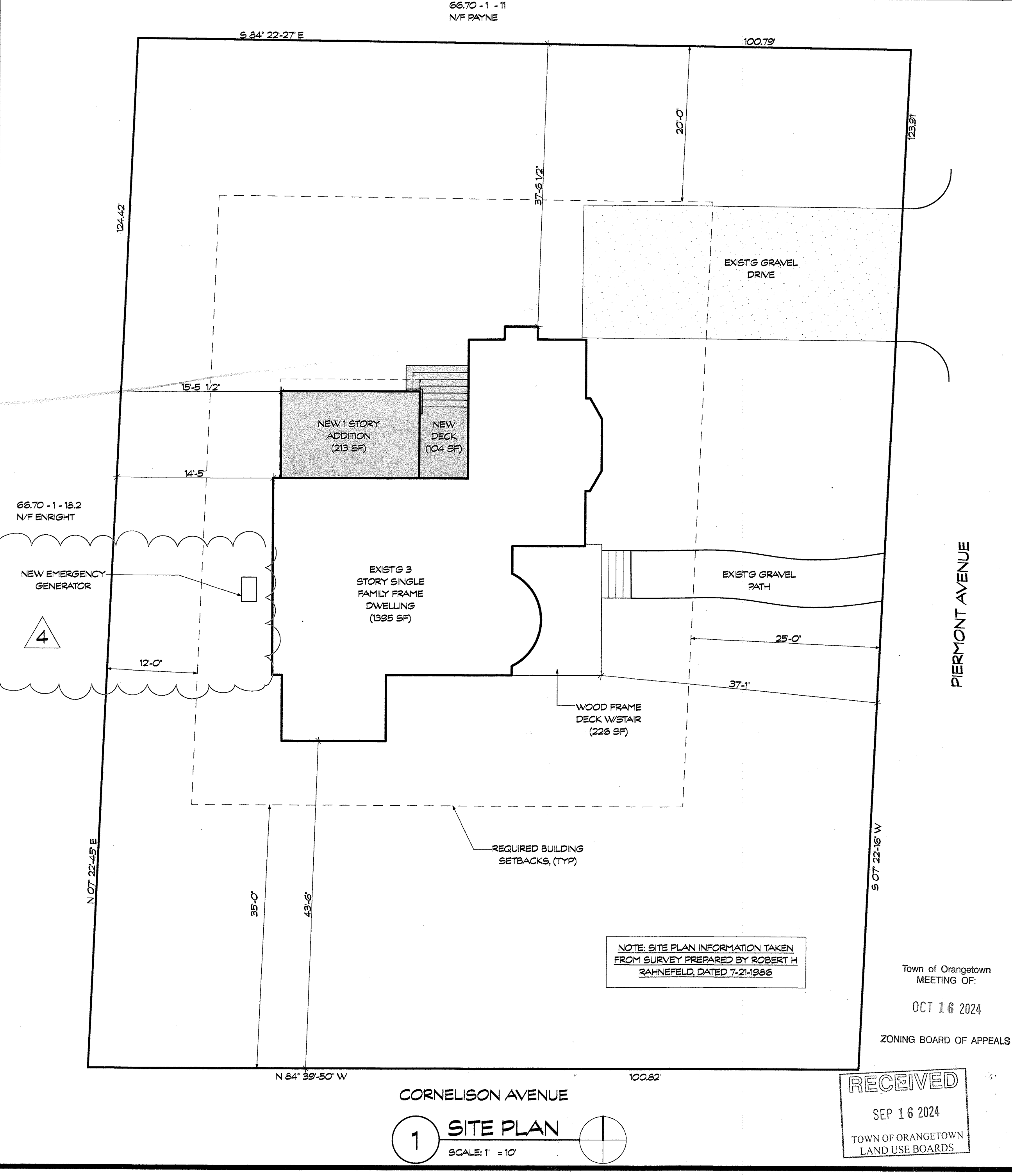
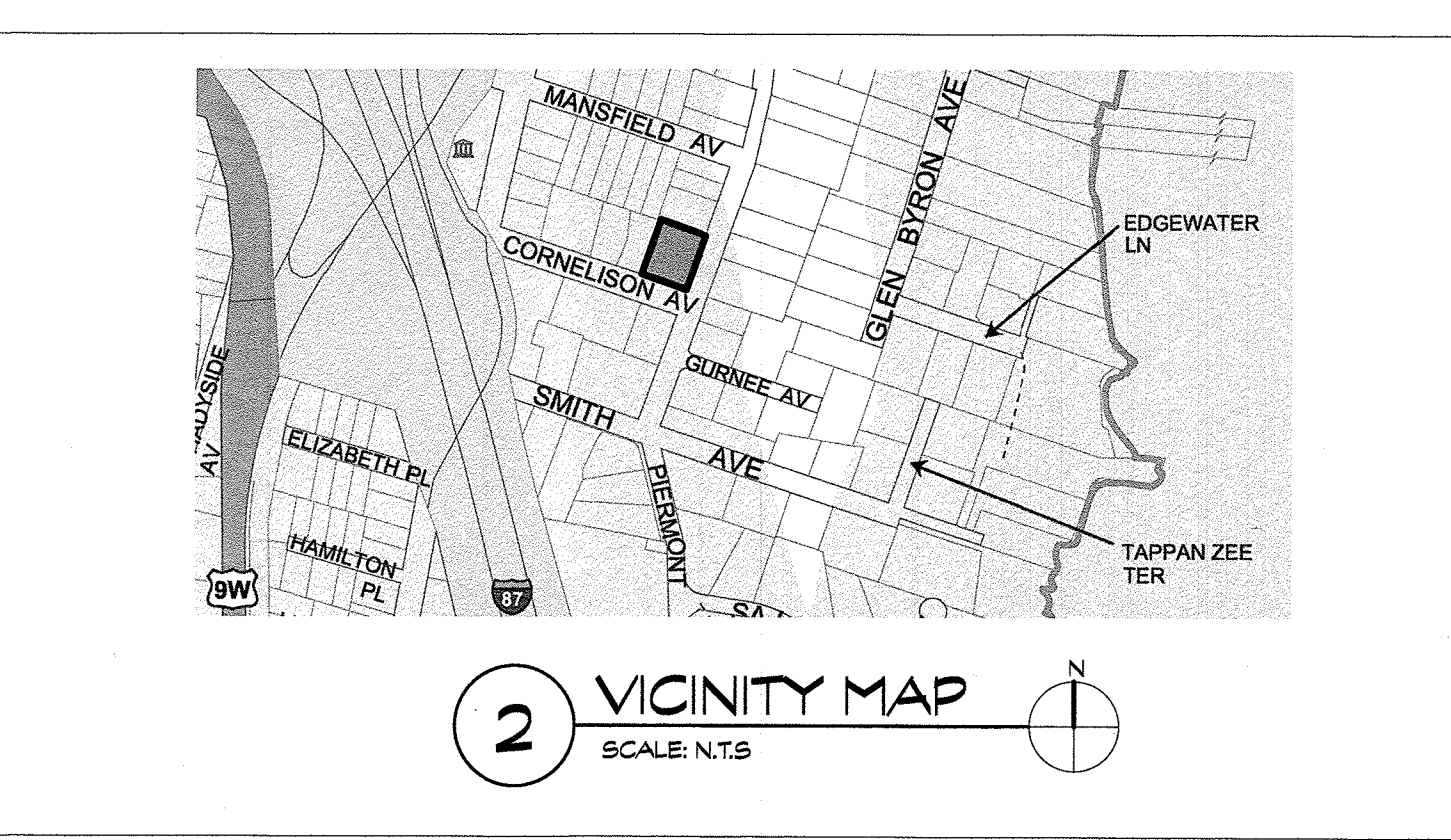
FIXTURE & APPLIANCE SCHEDULE

NOTES:
 1) OWNERS TO REVIEW AND APPROVE PRIOR TO ORDERING

ITEM	QTY	MFR#	DESCRIPTION
COOKTOP	1	WOLF IC3936CS	36" COOKTOP W/5 SEALED BURNERS - STANDARD DEPTH - STAINLESS STEEL KNOBS
WALL OVEN	1	WOLF E203067HBT	36" CLASSIC SERIES STAINLESS STEEL WALL OVEN - STAINLESS STEEL/TRANSITIONAL DESIGN
EXHAUST HOOD	1	ZEPHYR 824T-8400S	36" ZEPHYR CORE COLLECTION PYRAMID CHIMNEY ISLAND HOOD - 1-VENTED TO EXTERIOR - STAINLESS STEEL
MICROWAVE DRAWER	1	SHARP 850C240ABY	24" MICROWAVE DRAWER - STAINLESS STEEL
DISHWASHER	1	ASKO D2686STKXLS	24" 30 SERIES DISHWASHER - STAINLESS STEEL - TUBULAR HANDLE
REFRIGERATOR	1	SUB-ZERO IC13850JPDCE1	30" CLASSIC SERIES STAINLESS STEEL REFRIGERATOR - FRENCH DOOR/BOTTOM FREEZER - WATER DISPENSER, TUBULAR HANDLES
WINE COOLER	1	SUB-ZERO ICEL2450WR	24" DISPENSER SERIES UNDERCOUNTER WINE COOLER - RIGHT-HAND FINISH - STAINLESS STEEL GLASS DOOR PANEL W/TUBULAR HANDLE
GARBAGE DISPOSAL	1	INSINERATOR #74298A	EVOLUTION ESSENTIAL 1/2 HP GARBAGE DISPOSAL W/WOOD & BINK TOP SWITCH, 3/4 HP
KITCHEN SINK	1	KRAUS KXV101027	16" 27" WORKSTATION UNDERCOUNTER SINGLE BOWL W/ACCESSORIES - 16 GA STAINLESS STEEL - GC TO CONFIRM W/OWNER PRIOR TO ORDER
KITCHEN FAUCET	1	KRAUS HKP2620SPB	16" 27" PULL-DOWN SINGLE HANDLE KITCHEN FAUCET - SPOT-FREE STAINLESS STEEL - GC TO CONFIRM W/OWNER PRIOR TO ORDER
POWDER ROOM WC	1	TOTO M585414EBC1	ECO ULTRAMAX ONE-PIECE TOILET, 1.28 GPF, ELONGATED BOWL - COLOR: COTTON
POWDER ROOM VNTY	1	LACAVA #2940201	16" VANITY TOP PORCELAIN SINK, ONE HOLE - COLOR: WHITE
POWDER ROOM VNTY	1	LACAVA #144R4W2	16" MARETTA WALL-MOUNT UNDERCOUNTER VANITY - FINISH TBD - ADD (1) MARETTA K103-CR CABINET PULL
POWDER ROOM SHELVE	2	LACAVA #8080-001	16" MARETTA WALL-MOUNT SHELVES - COLOR: WHITE
POWDER ROOM FAUCET	1	LACAVA #410-CR	16" PLUG BACKMOUNT, SINGLE-HOLE FAUCET - POLISHED CHROME

DRAWING LIST

- A-001 TITLE SHEET
- A-100 PLANS
- A-200 ELEVATIONS & SECTION
- A-400 INTERIOR ELEVATIONS
- E-100 RCP/POWER PLAN
- D-100 DRAINAGE PLAN



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REGISTERED ARCHITECT
 STATE OF NEW YORK
 017748

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**ADDITION & RENOVATIONS
@ COLLINS RESIDENCE**

278 PIERMONT AVE | SOUTH NYACK, NY 10986
66.70 - 1 - 12

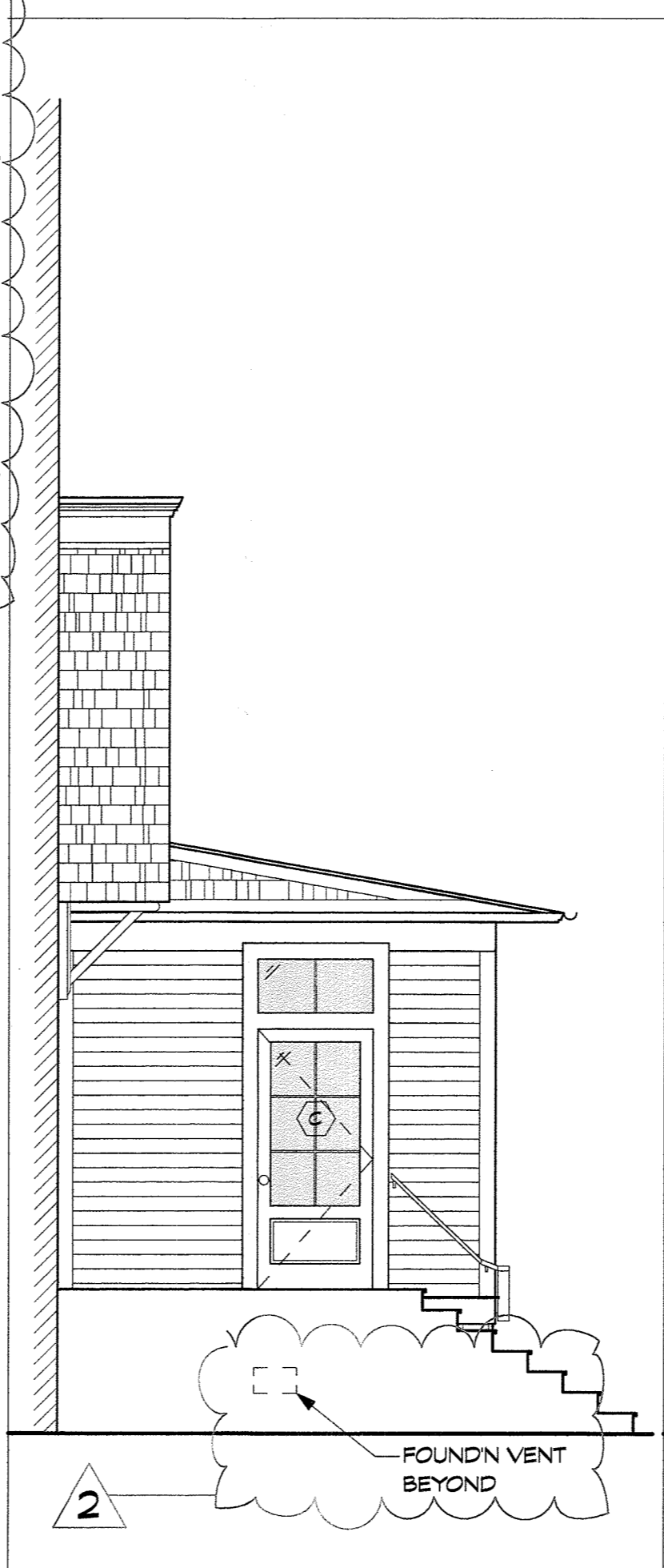
MARK	DATE	DESCRIPTION
3 JUL 2024		ENERGY CODE CLARIFICATION
27 JUN 2024		NEW WINDOWS CALL OUT
28 FEB 2024		BUILDING CODE CLARIFICATION
18 FEB 2024		FOUNDATION INSULATION TABLE
15 FEB 2024		DECK FINISHING CLARIFICATION
22 DEC 2023		FOR PERMIT

LEGEND:

- EXIST'G WINDOW TO REMAIN
- NEW WINDOW
- WINDOW DESIGNATION



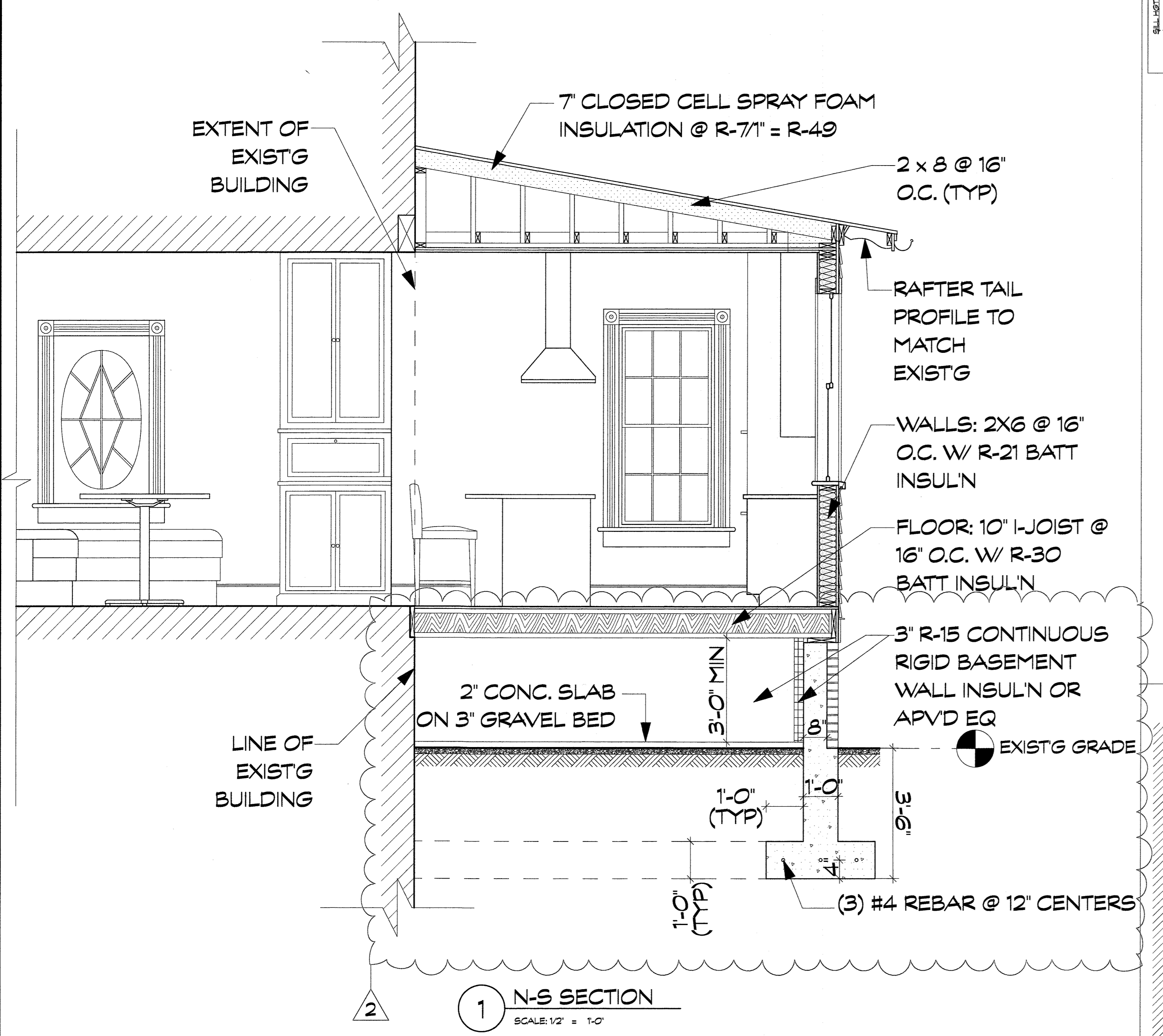
A WEST ELEVATION
SCALE: 1/4" = 1'-0"



C EAST ELEVATION
SCALE: 1/4" = 1'-0"



B NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 N-S SECTION
SCALE: 1/2" = 1'-0"

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT

Climate Zone 5 Table R402.1.2/Part 3-2020 NYStretch Energy Code

	Fenestration U-factor	Skylight U-factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
Required	0.27	0.5	NR	49	21 Int. or 20+5 or 13+10	15/20	30	15/19	10, 4'	15/19
Provided	0.27	-none-	NR	49	21	15	30	NA	10, 4'	15

LEGEND:

EXIST'G WINDOW TO REMAIN

NEW WINDOW

WINDOW DESIGNATION



2 SOUTH ELEVATION



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND

EXISTING PARTITION TO REMAIN

EXISTING TO BE REMOVED

NEW PARTITION

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

NEW DOOR

NEW POCKET DOOR

ROOM NAME

BASE MATERIAL

FLOOR MATERIAL

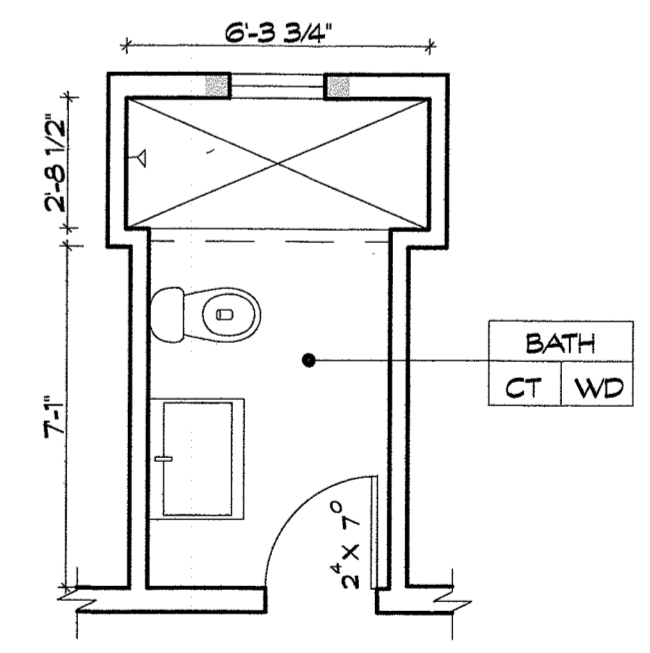
WALL TYPE DESIGNATION (SEE SHEET A-001)

DOOR TYPE DESIGNATION (SEE DOOR SCHED)

INTERIOR ELEV MARKER

SECTION MARKER

ELEVATION MARKER



3 UPPER LEVEL BATHROOM
SCALE: 1/4" = 1'-0"

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Architecture + Design

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REGISTERED ARCHITECT
ROBERT E. SULLIVAN
STATE OF NEW YORK
01774

NYS LICENSE EXPIRES NOV. 2026

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ADDITION & RENOVATIONS @ COLLINS RESIDENCE
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66.70 - 1 - 12

MARK	DATE	DESCRIPTION
A	21 JUL 2024	ENERGY CODE CLARIFICATION
A	27 JUN 2024	NEW WINDOWS CALL OUT
A	28 FEB 2024	BUILDING CODE CLARIFICATION
A	19 FEB 2024	FOUNDATION NOTATION/ILLUSTRATION TABLE
A	15 FEB 2024	DECK FRAMING CLARIFICATION FOR PERMIT
A	22 DEC 2023	

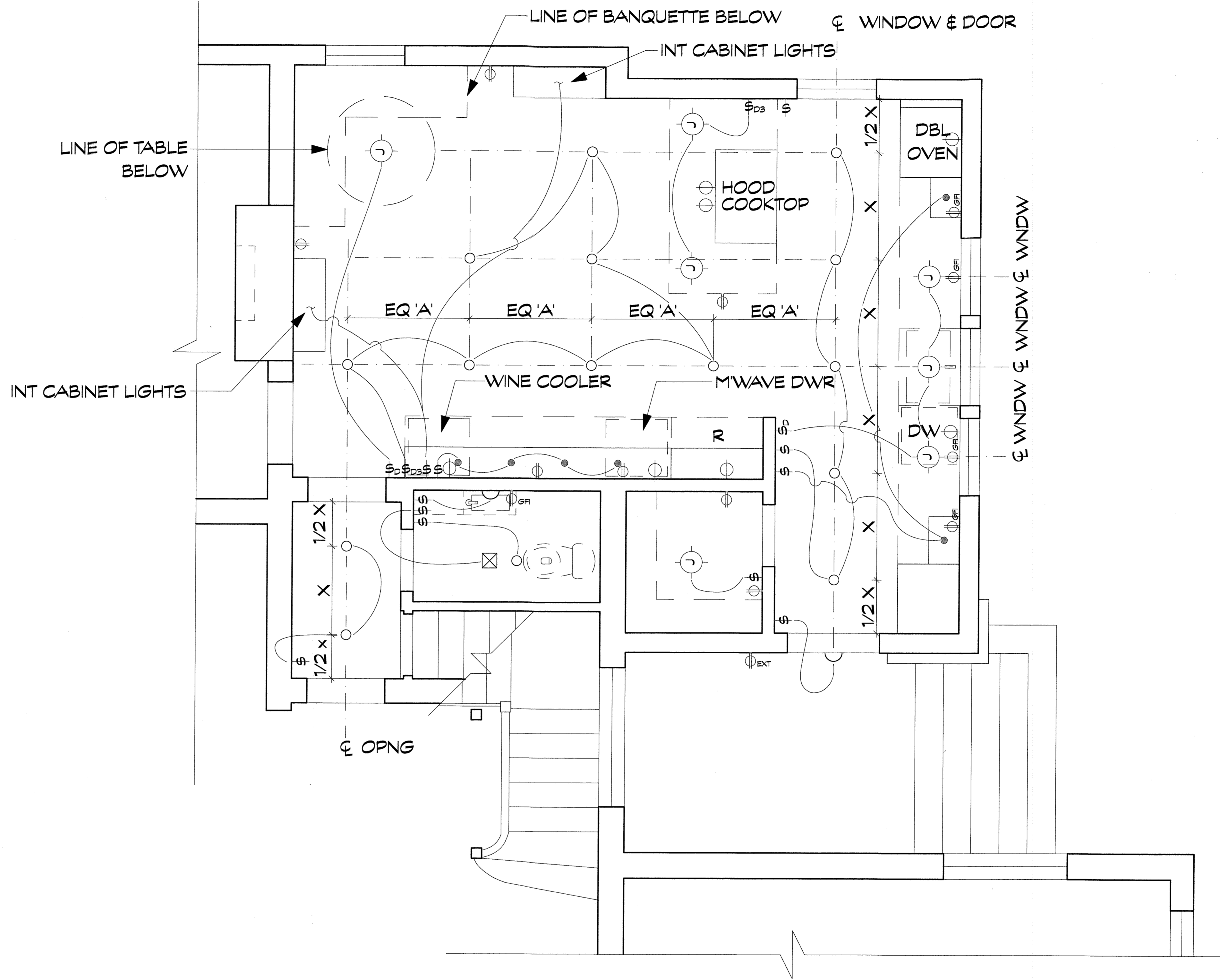
EXTERIOR ELEVATIONS & BATHROOM PLAN
SCALE AS NOTED



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**ADDITION & RENOVATIONS
@ COLLINS RESIDENCE**
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- LEGEND**
- Ⓢ SWITCH, 'LUTRON DIVA' OR APPROVED EQ, MOUNTED @ 48" A.F.F. (U.O.N.)
 - Ⓢ₃ 3 WAY SWITCH, 'LUTRON DIVA' OR APPROVED EQ, MOUNTED @ 48" A.F.F.
 - Ⓞ DEDICATED OUTLET (RECESSED)
 - Ⓞ_C CEILING-MOUNTED JUNCTION BOX FOR FIXTURE BY OWNER, INST BY GC
 - Ⓞ_{EXT} EXTERIOR GRADE DUPLEX OUTLET
 - Ⓞ_{GFI} DUPLEX OUTLET APV'D FOR WET AREAS - LUTRON DIVA OR APPROVED EQUIV. MOUNTED HORIZONTALLY @ 2-1/2" ABOVE FINISHED COUNTER-TOP TO CENTER-LINE (U.O.N.)
 - Ⓞ DUPLEX OUTLET, LUTRON 'DIVA' OR APPROVED EQ, MOUNTED VERTICALLY @ 12" A.F.F. OR 2-1/2" ABOVE COUNTER-TOP TO CENTER-LINE. VERIFY ALL LOCATIONS W/ ARCHT. PROVIDE GFI @ WET AREAS & EXTERIOR GRADE EQUIPMENT @ EXTERIOR PER CODE.
 - Ⓢ_D DIMMER SWITCH, 'LUTRON DIVA' OR APPROVED EQ, MOUNTED @ 48" A.F.F. (U.O.N.)
 - Ⓢ_{D3} 3 WAY DIMMER SWITCH, 'LUTRON DIVA' OR APPROVED EQ, MOUNTED @ 48" A.F.F.
 - '2" STANDARD LED PLUCK LIGHT BY LIGHTHEADED LIGHTING OR APV'D EQ, #511-050-05-27-D10W-DIM-120"
 - 'OPUS SHALLOW 3" STANDARD LED BY LIGHTHEADED LIGHTING OR APV'D EQ, #T33SRF-TAWS-00-OPEN-370-27-3014-S-120-R3P-F-R-T
 - Ⓜ WALL SCONCE BY OWNER, INST BY GC, CONFIRM HT W/ ARCHT
 - Ⓜ WHIP FOR LTG TBD



1 RCP/POWER PLAN
SCALE: 1/2" = 1'-0"

MARK	DATE	DESCRIPTION
△	31 JUL 2024	ENERGY CODE CLARIFICATION
△	27 JUN 2024	NEW WINDOWS CALL OUT
△	29 FEB 2024	BUILDING CODE CLARIFICATION
△	19 FEB 2024	FOUNDATION NOTES/INSULATION TABLE
△	15 FEB 2024	DECK FRAMING CLARIFICATION
△	22 DEC 2023	FOR PERMIT