ZONING BOARD OF APPEALS

Town of Orangetown 20 Greenbush Road

Orangeburg, New York 10962

(845) 359-8410 (ex. 4316)

Date: August 7, 2024

TO: OBAPAE

Rockland County Sewer District #1 New York State Dept. of Transportation Palisades Interstate Park Commission

Orange and Rockland Utilities

Veolia

CSX

ACOE

Rockland County Drainage Rockland County Health Rockland County Planning Rockland County Highway NYS Dept of Environmental

Conservation

This matter is scheduled for: September 18, 2024

Review of Plans: Boera, 107 S. Main St., Pearl River, New York

Section: 68.20 Block: 5 Lot: 57; CO zone

Chapter 43, CO District, Section 3.12, Group NN, Column 4 (floor area ratio: 20% permitted, with 34.5% proposed), Column 8 (side yard: 35' required, with 10' proposed), Column 9 (total side yard: 90' required, with 20' proposed), Column 12(maximum building height: 6"/ft (15.15') required, with 16.6'(5.5"/ft) proposed).

Existing non-conforming (ENC) lot area, lot width:

from Section 9.2 (degree of non-conforming bulk not to be increased),

from section 9.34 (non-conforming use may be increased 1 time, with 2nd time proposed), and from Section 9.34 (non-conforming use may be increased up to 50%, with 84% proposed) for a two-story addition with deck at the rear of the house. The premises are located at 107 S. Main Street, Pearl River, New York and identified on the Orangetown Tax Map as Section 68.20, Block 5, Lot 57 in the CO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: <u>KBettmann@orangetown.com</u>

Zoning Board Meeting Date: September 18, 2024

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on <u>Wednesday</u>, <u>September 18, 2024</u>. Kindly forward your completed review to this office by September 18, 2024.

Reviewing Agency		
Name:	Date:	
Signature:		
Thank you, Katlyn Bet	tmann	

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 46/24

*	Please check a Commercial	all that apply: Residential	
	Planning Board	Historical	Board
	Zoning Board of Appeals		ural Board
	Subdivision Number of Lots Site Plan Conditional Use	Consultation Pre-Prelimina Preliminary Final	
	 ↓ Special Permit ↓ Variance ☐ Performance Standards Review ☐ Use Variance ☐ Other (specify): 	ASSIGNED INSPECTOR: Ke Referred from Planning	12-4510-83
	P 0 = N 4	Board meeting:	
Project Nam			
Street Addre	ess: 107 forth M	ain Street	
	fear Rever 1	4 10965	
Tax Map De	Section: 6820 Block		_ot(s):
Directional	Location:		
On the We	74 /	ection of Telferm. of Pearl Kive	, approximately , in the
	ol District Pearl News	Zoning District	A
	lance District Feat Kive	Postal District_ Fire District	IVA:
	District Yeolia	Sewer District_	
Project Des	cription: (If additional space required	d, please attach a narrati	ive summary.)
	\sim		
The undersigned	ed agrees to an extension of the statutory Applicant's Signature:	time limit for scheduling a	
7			RECEIVED
			AUG 6 2024
		_	TOWN OF ORANGETOWN

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

lf subdivis	ion:
1)	Is any variance from the subdivision regulations required?
2)	Is any open space being offered? If so, what amount?
3)	Is this a standard or average density subdivision?
lf site plan	
1)	Existing square footage
2)	Total square footage
3)	Number of dwelling units
If special p	Dermit, list special permit use and what the property will be used for.
Environme	ental Constraints:
and net area_	pes greater than 25%? If yes, please indicate the amount and show the gross eams on the site? If yes, please provide the names
Are there wet	lands on the site? If yes, please provide the names and type:
Project Hi	story: ct ever been reviewed before?
	a narrative, including the list case number, name, date, and the board(s) you appeared
before, and th	ne status of any previous approvals.
· · · · · · · · · · · · · · · · · · ·	
•	
List tax map s	section, block & lot numbers for all other abutting properties in the same ownership as
this project.	
•	



OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director (845)359-8410

Fax: (845) 359-8526

AUG 6 2024

TOWN OF ORANGETOWN LAND USE BOARDS

REFERRAL TO THE ZONING BOARD OF APPEALS

	Date:	7.5.24	Section:	68.20	Block:	5	Lot:	57
	Applicant:	Boera						
	Address: _	107 S Mai	in, Pearl F	River, NY				
×	RE: Applie	cation Made a	nt: same					
Referr	ed For:							
Yd 35 16.6' Existi Ch 43 Ch 43	requried v prop'd (5.5' ng Non-Col 3, Section 9 3, Section 9 riances real tents:	w/ 10' prop'd, l'/ft). nfomring (ENG). 2 Degree of l 34 Non-confor 34 Non-confo	Col 9 Total C) Lot area, non-conforn rming use m omrin use m	Side Yd 90' y Lot width ning bulk not nay be increa nay be increa	w/ 20' prop'd to be increased 1 time vase up to 50°	l, Col 12 m ased w/ 2nd time	ax Ht 6"/ft (p'd, Col 8 Side 15.15') w/
		bulk increa			······································	4% incre	ase	And the second s
Please 12.19 the Zor	.23 ning Board	that the Build, has been refe of Appeals, She can be rea	erred to the Katlyn Bettn	Town of Ora	angetown Zo sist you in th	oning Boar e preparati	d of Appeal ion necessar	
	Sincerely, Richard Ol Deputy Bu	liver tilding Inspect	7/57 tor	ly				
	Signature of NOTE, PLE 1-39-2023	Janus of Director EASE KEEP FOI	R YOUR REC	CORDS		7/9 cc:	Date Liz DeCo Debbie A	

SWIS	PRINT KEY	NAME
392489 392489 392489 392489 392489 392489 392489 392489 392489 392489 392489 392489 392489 392489	68.20-5-2 68.20-5-3.1 68.20-5-3.2 68.20-5-3.2 68.20-5-50 68.20-5-51 68.20-5-51 68.20-5-53 68.20-5-54 68.20-5-55 68.20-5-56 68.20-5-56 68.20-5-57 68.20-5-58 68.20-5-58	Sidetrack Properties LLC Sidetrack Properties LLC Sidetrack Properties LLC Sidetrack Properties LLC Brian R Quezada William B Mott Ann Riordan Keith Braunfotel Timothy J Sheridan Kurt Niemeyer John Purcell Anthony J Nery William Boera Chester Mc Guire Liburn Qosja
392489 392489	68.20-5-60 68.20-5-61	Joe Zwyhun William X Holland

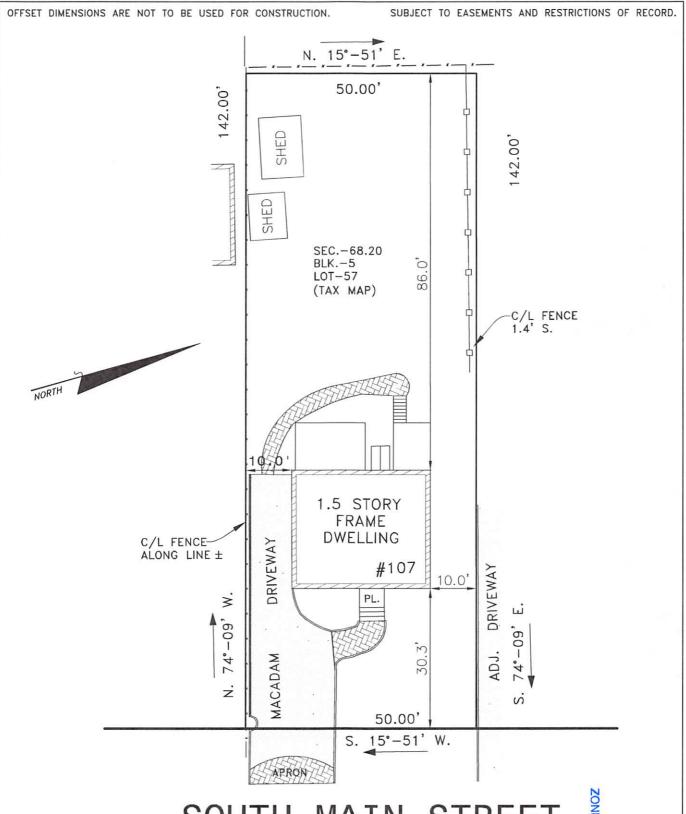
ADDRESS

35 W Jefferson Ave,Pearl River, NY 10965
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120 S Main St,Pearl River, NY 10965
116 S Main St,Pearl River, NY 10965
112 So Main St,Pearl River, NY 10965
112 So Main St,Pearl River, NY 10965
12 Balmoral Dr,New City, NY 10956
99 Yale Ter,Blauvelt, NY 10913
96 S Main St,Pearl River, NY 10965
6 Glen Eagles Ct,New City, NY 10965
103 So Main St,Pearl River, NY 10965
107 So Main St,Pearl River, NY 10965
111 S Main St,Pearl River, NY 10965
25 Dutchess Dr,Orangeburg, NY 10962
111 S Middletown Rd,Pearl River, NY 10965



AUG 6 2024

TOWN OF ORANGETOWN LAND USE BOARDS



SOUTH MAIN STREET

SURVEY OF PROPERTY

107 SOUTH MAIN STREET LOT 57, BLOCK 5, SECTION 68.20 PEARL RIVER, ROCKLAND CO., NY

CO" ZONE (COMMERCIAL OFFICE)	Œ)
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ITEM	REGULATION	EXISTING	PROPOSED	PROPOSED
LOT AREA	10,000 SF	7,100 SF *	NO CHANGE	YES
MIN. LOT WIDTH	150 FT	50 FT*	NO CHANGE	YES
MIN. FRONT SETBACK	30 FT	30.3 FT	NO CHANGE	YES
MIN. SIDE YARD (1)	35 FT	10 FT*	NO CHANGE	YES
MIN. SIDE YARDS (2)	90 FT	20 FT*	NO CHANGE	YES
MIN. REAR SETBACK	50 FT	86 FT	60 FT	NO
MAX. HEIGHT	6 IN./1 FT	EXIST.	NO CHANGE	YES
MAX. F.A.R.	0.20	0.195	0.345	YES

^{*} DENOTES VARIANCE REQ'D.

HOPPE, L.S. SIONAL LAND SURVEYOR WTE 303

SCALE: 1"=20' DATE: NOV. 7, 2023

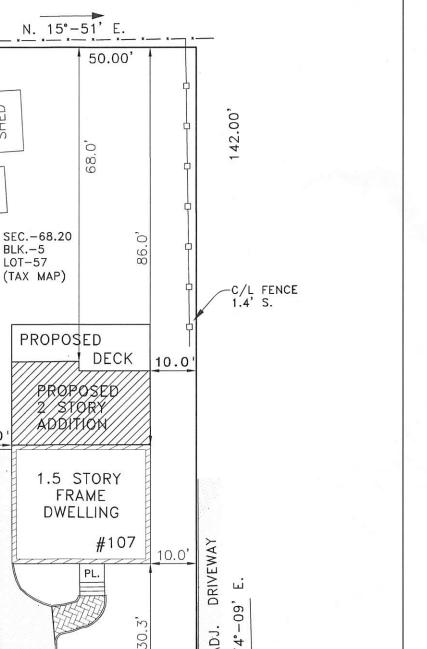
YORK 10983 Q. 50539

7250-23

AUG 6 2024

RECEIVED

TOWN OF ORANGETOWN LAND USE BOARDS



SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

SOUTH MAIN STREET

50.00' S. 15°-51'

SURVEY OF PROPERTY

107 SOUTH MAIN STREET LOT 57, BLOCK 5, SECTION 68.20 PEARL RIVER, ROCKLAND CO., NY

	REGULATION	EXISTING	PROPOSED	PROPOSED
	10,000 SF	7,100 SF *	NO CHANGE	YES
	150 FT	50 FT*	NO CHANGE	YES
,	70 FT	70 7 FT		VEC

LUI AREA	10,000 31	/,100 Sr	NO CHANGE	152
MIN. LOT WIDTH	150 FT	50 FT*	NO CHANGE	YES
MIN. FRONT SETBACK	30 FT	30.3 FT	NO CHANGE	YES
MIN. SIDE YARD (1)	35 FT	10 FT*	NO CHANGE	YES
MIN. SIDE YARDS (2)	90 FT	20 FT*	NO CHANGE	YES
MIN. REAR SETBACK	50 FT	86 FT	60 FT	NO
MAX. HEIGHT	6 IN./1 FT	EXIST.	NO CHANGE	YES
MAX. F.A.R.	0.20	0.195	0.345	YES

"CO" ZONE (COMMERCIAL OFFICE)

OFFSET DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

NORTH

SHED

SHED

10.0

DRIVEWAY

MACADAM

APRON

₹

74.-09

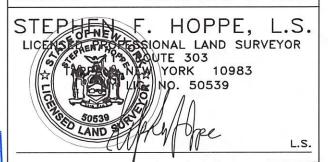
C/L FENCE ALONG LINE ±

* DENOTES VARIANCE REQ'D.

ITEM

OT ADEA

SCALE: 1"=20' DATE: NOV. 7, 2023



AUG 6 2024

TOWN OF ORANGETOWN LAND USE BOARDS

7250-23

ZONING BOARD OF APPEALS

I. GENERAL REQUIREMENTS

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT UZZIAH COOPER JR. ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS), 2020 ENERGY CONSERVATION CONSTRUCTION CODE (ECCCNYS), ALL 2020 CODE OF NEW YORK STATE EDITIONS. ALL TOWN APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.

ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM UZZIAH COOPER JR. ARCHITECT PRIOR TO INSTALLATION.

REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS, PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.

SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.

PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE

PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES MATERIALS, INSTALLED WORK AND PERSONNEL.

ALL MECHANICALELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN. MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED

THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.

THE GC SHALL COORDINATE THE WORK OF ALL TRADES.

THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.

SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGRREMENT IN AIA 6702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.

ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.

WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.

PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.

WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.

THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE.

WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS

CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX CREDIT PURPOSES, THIS INCLUDES, BUT IS NOT LIMITED TO WINDOWS, EXTERIOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CAULKING, WEATHERSEALS, HOT WATER PRODUCTION, ENERGY SAVING LAMPS.

CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.

CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.

2. SITEMORK

PROVIDE PROTECTION OF ALL TREES AND PLANTING THAT MAY BE AFFECTED BY THE CONSTRUCTION ACTIVITIES.

PROVIDE SILT FENCE AT ADJACENT AREAS TO EXCAVATION \$, GRADING AND CONSTRUCTION.

STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER. REGRADE, AND RE-SEED ALL DISTURBED

ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAINAGE AWAY FROM STRUCTURE.

SOIL SHALL BE EXCAVATED AS REQUIRED, FIELD VERIFY 2 TON/SF BEARING CAPACITY, AND BE FREE OF DEBRIS, WASTE, FLOWING WATER, VEGETATION OR OTHER DELETERIOUS MATTER. NOTIFY ARCHITECT OF SUBSTANDARD SOIL CONDITIONS.

SUBSTANDARD SOIL CONDITIONS MUST BE REMOVED TO A DEPTH OF ADEQUATE BEARING CAPACITY AND THEN REPLACED WITH ENGINEERED COMPACTED FILL WHICH SHALL CONSIST OF CLEAN WELL GRADED SAND AND GRAVEL COMPACTED TO 95% DENSITY, PLACED IN 8" LIFTS WITH EACH LAYER AND BASE EARTH LAYER THOROUGHLY COMPACTED BY MAKING 4 PASSES WITH A VIBRATORY PLATE.

AREAS WITHIN 6' OF EXISTING CONSTRUCTION (WHOSE SOIL HAS NOT BEEN DISTURBED WITHIN 30 YEARS) SHALL BE CONSIDERED BACKFILL AND REQUIRES ADDITIONAL SOIL TAMPING TO DEMONSTRATE 95% COMPACTION AT SOIL BEARING FACE.

PROVIDE CLEAN FILL WHERE REQUIRED TO MATCH ADJACENT GRADES AS REQUIRED., OR AS SHOWN ON THE DRAWINGS. BACKFILLING SHALL BE PERFORMED IN 8" LIFTS AND COMPACTED TO ACHIEVE RECOMMENDED ACI DENSITIES.

LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATION, OBTAIN REQUIRED APPROVALS AND INSPECTIONS.

CALL BEFORE YOU DIG, 811, OR EXCAVATE 1-800-962-7962. CONFIRMATION NUMBER MUST BE

TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BEDDED WITH GRAVEL. COORDINATE WITH ALL TRADES. PLACE SUBGRADE PLASTIC WARNING TAPE ABOVE LINES I' BELOW GRADE.

DO NOT BACKFILL AGAINST FOUNDATION UNTIL CONC./CMU INSTALLATION HAS REACHED .75 % OF ULTIMATE STRENGTH.

GRAVEL FOR DRAINAGE, TO BE CLEAN BANK-RUN I' STONE KEEP EXCAVATION CLEAR OF WATER BY PUMPING OR OTHER APPROVED MEANS.

100 GAL. DRYMELL TO BE 4' X 4' X 4' OF 2" MIN GRAVEL, NO FINES , TOP 12" BELOW GRADE. FULLY WRAPPED IN FILTER FABRIC WITH 6" PVC INLET AND MARKER STONE., IO' MIN AWAY FROM HOUSE & PROP. LINES.

1800 GAL DRYWELL TO BE 8' DIAM X 6' HIGH PERFORATED PRECAST CONCRETE W/ PRECAST CONC. LID, W. MANHOLE AND LIFTING RING. WRAP PRECAST DRYWELL IN 12" THICK LAYER OF 2" GRAVEL A SIDES AND BELOW, PROVIDE FILTER FABRIC LAYER SEPARATOR. INFLUENT PIPE MIN 6" PVC, IO' AWAY FROM HOUSE AND PROP. LINES.

550 GAL DRYWELL TO BE PVC INFILTRATOR BY "CULTEC" OR EQUAL MODEL 330 RECHARGER H-20 WITH 418 GALLON CAPACITY SURROUNDED BY 12" LAYER OF I " GRAVEL ON ALL SIDES, BOTTOM AND TOP, FULLY WRAPPED IN FILTER FABRIC FED BY 6" PVC INLET. SEE DETAILS

REMOVE, BALL & BURLAP AFFECTED PLANTINGS AND WATER AND MAINTAIN DURING CONSTRUCTION, REPLANT ACCORDING TO OWNERS DIRECTIONS. NEW PLANTINGS AND RELATED GRADING AND TOPSOILD TO BE COORDINATED WITH OWNERS INSTALLER.

SUBGRADE SPRINKLER IRRIGATION SYSTEMS TO BE REPAIRED/REPLACED TO PROPER WORKING ORDER WHEN ENCOUNTERED. PROVIDE AQUASTAT AND TIMER PER OWNERS DIRECTION.

3. CONCRETE

- 1. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI.
- 2. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000
- 3. AGGREGATES SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND.
- 4. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM CI50, TYPE I 5. DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTMA615, GRADE 60. 6. STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN
- CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE 7. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185.
- SHEETS ONLY NO ROLLS, PER ACI ASTM A185. 8. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.
- 9. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KWIK BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" ADHESIVE ANCHORS
- 10. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO 3'-6"BELOW GRADE, OR TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING. SEQUENCE 3' WIDE POURS TO AVOID DAMAGE TO STRUCTURE
- II. SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-ENTRAINED 3000 PSI WITH 6x6 WWF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINTS AT 5' O.C. FLOAT FINISH INDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED SLABS. APPLY CURING COMPOUND. FINISH IN ACCORDANCE WITH ACI 318.
- 12. OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS. 13. CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5".
- 14. PROVIDE ADEQUATE WEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER A.C.I. GUIDELINES AND PER ASTM C94.
- 15. COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OPENINGS, CHASES AND RELATED FORMING REQUIREMENTS.
- 16. VERIFY CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTURE CONTENT BY PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION.
- 17. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON 2 TON PSF MIN. UNDISTURBED SOIL. IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY ARCHITECT BEFORE PROCEEDING. DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL

COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL MASONRY WORK, MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE, OR ARE EXPECTED TO PRODUCE AMBIENT TERMPERATURES BELOW 40°F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.

CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR. U-I), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUPERIMPOSED LOAD, GROUT SHALL BE LEAN WITH & TP 10" SLUMP, WHEN USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE FULL. PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNLESS NOTED

USE TYPE M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHERE, MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING.

PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364, WITH ALL REQUIRED STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF. SLOPE HORIZONTAL SURFACES AT LEAST 1:12. PROVIDE DRIPS ON PROJECTING ELEMENTS. PROVIDE FULL TOOLED MORTAR JOINTS.

EXTEND CHIMNEY WITH MATCHING BRICK (NOTE TEXTURE AND COLOR). PROVIDE ANCHORS WHERE REQ., USE TYPE N MORTAR. PROVIDE MORTAR WASH AT TOP. EXTEND FLUES TO NEW HEIGHT. PROVIDE CAP AND SCREEN.

BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED.

BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS.

PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.

THIN BRICK VENEER SYSTEM BY: "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2' X 4' EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE MEATHERING BRICK FROM "GLEN GERY CORP" AND AND GROUT FROM "AMBRICO MORTAR MIX". SUBMIT SAMPLE BRICK AND 2 X 2' MOCKUP FOR APPROVAL.

FLAGSTONE AND SLATE PAVERS TO BE | 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 4" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED SOIL.

BRICK TO BE 2 I/4 TH SET ON 2" STONE DUST ON FILTER FABRIC, ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAIINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.

MASONRY CHIMNEY AND FIREPLACES: WHERE SHOWN ON THE PLANS, SHALL BE BRICK OR

OUTLINE SPECIFICATIONS

STONE WHERE EXPOSED AND LAID IN A FULL BED OF CEMENT MORTAR WITH WELL TOOLED JOINTS. FLUES TO BE FIRE CLAY SIZE SHOWN ON THE PLANS. PROVIDE CAST IRON DAMPER, AS PIT AND CLEAN-OUT DOORS. PROVIDE FOR PROPER CLEARANCES WITH COMBUSTIBLE CONSTRUCTION, FIRE STOP AT ALL CLEARANCES WITH NON-COMBUSTIBLE MATERIAL. CONTRACTOR SHALL ENSURE PROPER CLEARANCES OF CHIMNEY AND FIREPLACE PER N.Y.S. BUILDING AND ENERGY CODES.

PRE FAB CHIMNEY AND FIREPLACE: INSTALLATION OF PREFAB FLUES AND FIREPLACES SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION, INSTALL FIRESTOPS AS REQUIRED BY CODE. FIRPLACE SHALL BE METAL PREFAB WITH COMPATIBLE FLUE AND SHALL BE UL LISTED. NOTE 2" CLEARANCE WHERE REQUIRED TO COMBUSTIBLE MATERIAL OR PER CODE.

FIREPLACES SHALL HAVE TEMPERED GLASS FIRE DOORS AND CLOSABLE COMBUSTION AIR INTAKE DUCTS AND COMPLY WITH N.Y.S. ENERGY CODE.

DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF ASPHALT WATERPROOFING OVER 1 CEMENT PARGE (BLOCK WALL) OR CEMENT WASH (POURED WALL) PROVIDE 4" PERFORATED PIPE FOOTING DRAIN LAID IN 16" D STONE WITH LAYER OF SALT HAY AND FILTER FABRIC OVER. DRAIN TO OUTFLOW ABOVE GROUND OR STONE DRYWELL.

5. METALS

- 1. THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC.
- 2. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL WELDING CODE", THE AWS; DI.13. WELDING ELECTRODES SHALL BE ETOXX FOR SMAW; AND LOW HYDROGEN.
- 3. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN FOR FIELD WELDING.
- 4. STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36. STRUCTURAL STEEL FOR W SECTION BEAMS SHALL BE 50 KSI A-992. 5. STRUCTURAL STEEL PIPES SHALL BE IN COMPLIANCE WITH ASTM A501. WHERE USED FOR
- COLUMNS, THE CENTER VOID SHALL BE ENTIRELY GROUT FILLED SOLID. . STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B. . STRUCTURAL BOLTS SHALL BE MANUFACTURED TO ASTM A307, GRADE B.
- . ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH SSPC-SP3 FOR POWER TOOL CLEANING. PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS
- MANUFACTURED BY THE TNEMEC CO. IO. STEEL RAILINGS TO BE FABRICATED PER ASTM A500 & ASTM A53 FROM 🖥 BAR-STOCK AT BALUSTERS, 2" SQ. TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST
- WITHSTAND 200#/LF AS GUARDRAILS, 50#/LF AS HANDRAILS. IÍ. ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY 6063-T5/T52. STAINLESS STEEL TUBING PER ASTM A554. SUBMIT 2" X 2" MINIMUM
- SAMPLE FOR APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1 12. LIGHT GAUGE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE PUBLICATIONS.
- 13. PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" TH STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION

6. WOOD AND PLASTICS

INSTRUCTIONS.

PARTITIONS.

- THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST
- ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSIF(C) = 325 PSI(PERPEN) F(C) = 825 PSI(PARA)
- 3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%. 4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.
- 5. THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
- 6. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL | INT-DFPA" 7. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL | EXT-DFPA" 8. JOIST/RAFTER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR
- SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF. 9. NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:
- PLYWOOD OVER JOISTS 6" O/C; MIN 16D NAILS PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D
- NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS IO. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO MEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE, PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE
- PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 II. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE

REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH

- APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-O! 12. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS
- DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING

INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.

SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.

CROSS BRIDGE JOISTS AT MIDSPAN OR & O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

AND WHERE REQUIRED BY CODE. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL

FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS

MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF. PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL

SHOP DRAWINGS FOR APPROVAL. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.

DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT

FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.

MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE, SCARF JOINTS.

EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-1000-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.

ZONING SCHEDULE SECTION-BLOCK-LOT 68.20-5-57

ACTUAL LOT AREA (SF):

SIDE YARD S.B. (1)

SIDE YARD S.B. (2)

SIDE YARD TOTAL

TOTAL LIVING AREA (SF)

CELLAR AREA (SF)

ATTIC (SF)

REAR YARD S.B.

ZONE: CO	USE GROUP:	R-3	CLASS: 51	Americans and a desire of the second blacker to see that a second
	EEST AND THE SECRET AND	t takkolorinika (h. 1966). An eta	all for the second field in the declarity flowers of the field in the second for	umanajadi Siparudi (j. 14. jainamin jajalpalpada) Silmuu Kuunan diddigi (ar. pajauju phipojaja
CRITERIA	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT AREA (SF)	10,000	7,100	NO CHANGE	YES
			-	
LOT WIDTH	150'	50.00'	NO CHANGE	YES
HEIGHT	6 in./1 Ft	16.60'	NO CHANGE	YES
	15.15'			
FRONT YARD S.B. (1)	30'	30.30'	NO CHANGE	NO
		· · · · · · · · · · · · · · · · · · ·		

10.00

10.00

20.00

86.00'

1064

481

0

7,100 MINIMUM LOT AREA: 10,000 SF

NO CHANGE

NO CHANGE

NO CHANGE

60.00

2330

1236

0

YES

YES

YES

NO ·

1					1
	FLOOR AREA RATIO	0.20	0.195	0.345	YES
GES	FLOOR AREA RATIO (SF)	1420.0	1386	2450.0	
				·	
VER					
COV			·		
-					
	111				
		EXISTING	ADDED	TOTAL PROP	The of the distribution of the section of the secti
TA	VOLUME (CF)	23500	10250	33750	
DAT	FIRST FLOOR AREA (SF)	755	583	1338	eranginan inan serang manahasi merangan terang di ang serang serang serang serang serang serang serang serang
r. L	SECOND FLOOR AREA (SF)	511	481	992	ura estrución de el reconoción cue en cuente acuante de el estado en como en consensación de cue

35'

35'

90'

50'

1266

755

0

LOT COVERAGE CALCULATIONS		eginens, and a single section of the	gen in familie. I will have the control of the cont
ACTUAL LOT AREA	7100	SF	gale of the least of least personal and the least operation with the least of least and designed and least operation of the least operation operation of the least operation o
FLOOR AREA RATIO:	0.20	MAX	And the second s
	EXISTING (SF)	ADDED (SF)	TOTAL PROP (SF)
FIRST FLOOR AREA	755	583	1338
SECOND FLOOR AREA	511	481	992
SHED	120	0	120
TOTAL SF	1386	1064	2450
TOTAL BUILD'G / LOT AREA (%)	0.195	0.150	0.345

PERCENTAGE OF EXPANSION AS PER CHAPTER 43 SECTION 9.34

PROPOSED FLOOR AREA / EXISTING FLOOR AREA = % (1064SF / 1266SF) * 100% = 84% OF EXPANSION

SECTION 9.34 ALLOWS A ONE TIME EXPANSION WHICH WAS A DECK EXPANSION IN 1991. THIS EXPANSION WILL ALSO REQUIRE A VARIANCE

N 15°-51'-00" W EXISTING SHED 120 SF EXISTING SHED 80 SF PROP DECK 272 SF PROPOSED TWO STORY ADDITION 510 SF 1.5 STORY FRAME DWELLING EXISTING 1.5 STORY DWELLING 753 SF EXISTING STOOP 41 SF EXISTING WALKWAY EXISTING 48 SF DRIVEWAY 816 SF 5 15°-51'+00" W ± 50.00' S. MAIN STREET

5CALE : |" = 20'-0"

SURVEY INFO TAKEN FROM STEPHEN F. HOPPE, L.S.

DATED: 11-07-23

TAPPAN, NY 10983

LOADING DESIGN CRITERIA LIVE LOAD DEAD LOAD TOTAL LOAD FIRST FLOOR 40 PSF 15 PSF 55 PSF SECOND FLOOR 30 PSF 15 PSF 45 PSF ATTIC 20 PSF 10 PSF 30 PSF ROOF 30 PSF 17.5 PSF

BUILDING DEPARTMENT NOTES

THIS PROJECT INVOLVES A PROPOSED TWO STORY ADDITION TO AN EXISTING TWO STORY FRAME DWELLING, A REAR PORCH IS ALSO PROPOSED MEETING OF:

USE GROUP:

ALL CONCRETE MIN. Fb = 3.500 PSI

ZONING BOARD OF APPEAL CONSTRUCTION TYPE: 5B UNPROTECTED

SEP 18 2024 AUG 6 2024 TOWN OF ORANGETOWN LAND USE BOARDS

47.5 PSF

PROPOSED ADDITION FOR:

DANIEL BACHINI & CATHRYN BOERA

107 SOUTH MAIN STREET PEARL RIVER NY, 10965

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ISSUE DATE: PROJECT NO: 06-25-24 #21-19 DRAWN BY: CHECKED BY: UΖ SCALE: SHEET NO: AS NOTED 1 OF 4 DRAWING NO:

UZZJAG COOPER JR. DESIGNS

06-25-24 | REVISIONS AS PER BUILDING DEP'T 403 E 32ND St. Paterson NJ 07504 02-23-24 REVISIONS AS PER BUILDING DEP'T 845-821-1472 UzziahCooperRA@hotmail.com 08-23-22 ISSUED FOR BUILDING PERMIT 09-25-21 | INITIAL DESIGN DATE SUBMISSIONS / REVISIONS

PLOT PLAN ZONING & NOTES

. THERMAL AND MOISTURE PROTECTION

BUILDING WRAP BY "TYVEK" OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED.

BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-20 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE, FIRE-RETARDANT WHERE REQUIRED.

RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FOUNDATION PERIMETER, 24" DOWN AND 24" IN.

CERTASPRAY", SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY

CERTAINTEED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS.

VAPOR BARRIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE SEAMS.

FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED CRICKETS AS REQUIRED.

PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED, INSTALL PER ASTM C920.

PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS.

WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, FULLY BACK-PRIMED. USE NO I. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU

PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D3679. .06 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO

WOOD TRIM TOP BE SELECT PINE OR POPLAR, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SHINGLE

PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAVE VENTS. 500 MIN. VENT TO SF RATIO.

ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT TO BE INSTALLED FROM EDGE OF EAVE TO A POINT NOT LESS THAN 24" BEYOND INTERIOR FACE OF EXTERIOR WALL. PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF

COPPER STANDING SEAM ROOFING TO BE 16 OZ. WITH LOCKING SEAMS SPACED 16" O.C. INSTALLED IN ACCORDANCE WITH COPPER DEVELOPMENT ASSOC. STANDARDS. PROVIDE ALL NECESSARY CLOSURE PIECES, BRACKETS, CLIPS AND UNDERLAYMENTS AS REQ. PROVIDE SEPARATOR MEMBRANE TO PREVENT GALVANIC ACTION WITH NON-COMPATIBLE METALS.

8. WINDOWS AND DOORS

WINDOWS ARE PELLA OR ANDERSON WINDOWS, VINYL CLAD (MATCH EXISTING) V.I.F., INSUL , LOW E (.30 U MAX.) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.

HARDMARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS- "YALE", SELF-CLODING HINGES-"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", WEATHERSTRIPING & THRESHOLDS-"PEMKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY" FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER

EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE I 3/4" PINE 7000 SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN. WITH FRAME. (OR AS NOTED ON DRAWINGS)

INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE I 3/8" ___ PANEL PINE 1000 SERIES WITH FRAME (OR AS NOTED ON DRAWINGS)

STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR, INTERIOR USE SHALL BE IG GA. FRAMES WITH 18 GA. STEEL FACE DOOR.

1. FINISHES

JNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCREWED AND GLUED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS: USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL).

PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.

STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.

MOOD FLOOR TO BE 3/4"X 2 1/4" T &G OAK TO MATCH EXIST'G (SEE FIN. SCHED.)W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS

CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF, COLOR TO BE SELCTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL TO DRAIN W/ FULLY BONDED PVC LINER-PAN BELOW.

USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.

PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. \$ MARBLE FLOOR TILE. TURN UP 4" AT WALLS.

PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN- FOR TRIM AND DOORS, INTERIOR GMB: EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100

PROVIDE 10% ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

10. SPECIALTIES

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND

ANCHORAGE WHERE REQUIRED.

II. EQUIPMENT

INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : DISHWASHER M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL

KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AWI SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.

PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

KITCHEN COUNTERTOPS TO BE I I/4in. MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH, COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE, BASKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOUND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.

PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH AWI SECTION 400.

SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS

15. MECHANICAL

PLUMBING - DOMESTIC WATER PIPING SHALL BE COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE CAST IRON, STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK, GAS SERVICE LINES SHALL BE BLACK IRON PER CODE.

PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.

ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES.

PROVIDE NEW 80 GAL GAS FIRED HW HEATER, COORD, LOCATION W/ ARCH, ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED OR SATIN CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL.

PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE VALVES WHERE REQUIRED.

HVAC- PROVIDE AND MODIFY DUCTWORK REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE REACHES O DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. LOCATE NEW HVAC UNIT IN ATTIC, SEPARATELY ZONE IST FL AND 2ND FL. PROVIDE PROGRAMMABLE THERMOSTATS, HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WITHIN PROPERTY LINE SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADER. PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE 13. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB RATINGS.

PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.

PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.

FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD. PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY.

CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVIDE (I) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION, 95' WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.

PROVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY SJIO OR EQUAL IN SUITABLE POLYETHYLENE PIT, ACCESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND PROVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. I PIT PER 1000 SF BSMT

PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPPED IN LAYER OF I" GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF IV: 100H. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITH 4" OF SUMP PIT TOP. CONTACT OWNER FOR ALARM NOTIFICATION INSTRUCTIONS.

PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (12.6 MBTU) WITH CONDENSOR AND REQ. ACCESSORIES. LOCATE CONDSENSOR PER OWNER'S DIRECTION

DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACOUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS

GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM, ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR

BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

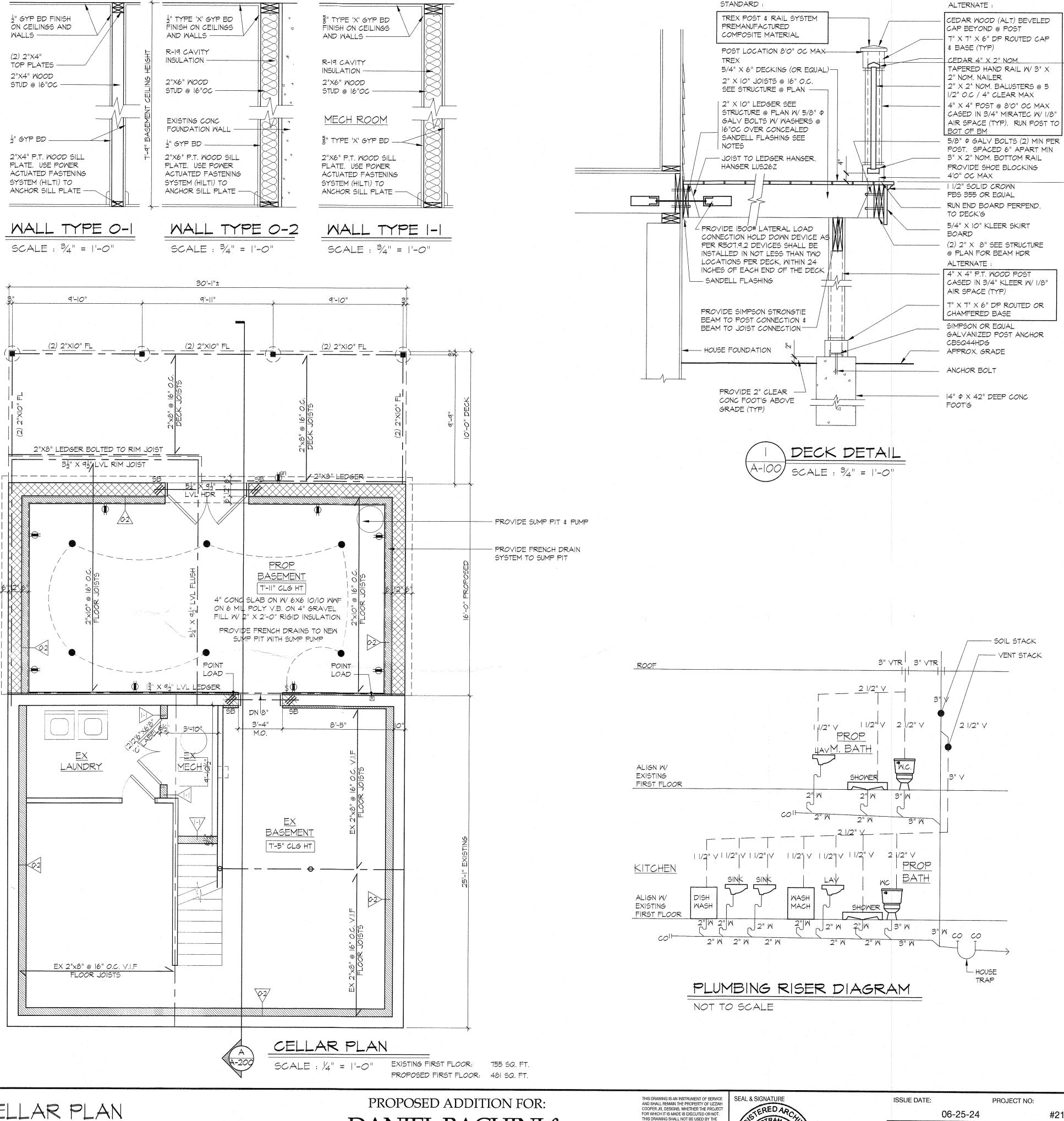
DUCT INSULATION:

SUPPLY DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8 RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO

SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8

RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2

INSULATION IS NOT REQUIRED ON RETURN DUCTS IN BASEMENTS



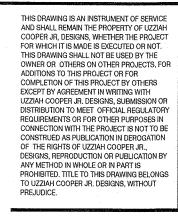
UZZJAG COOPER JR. DESIGNS

403 E 32ND St. Paterson NJ 07504 845-821-1472 UzziahCooperRA@hotmail.com 06-25-24 | REVISIONS AS PER BUILDING DEP'T 02-23-24 REVISIONS AS PER BUILDING DEP'T 08-23-22 | ISSUED FOR BUILDING PERMIT 09-25-21 | INITIAL DESIGN DATE SUBMISSIONS / REVISIONS

CELLAR PLAN WALL TYPE & DECK DETAIL PLUMBING RISER DIAGRAM

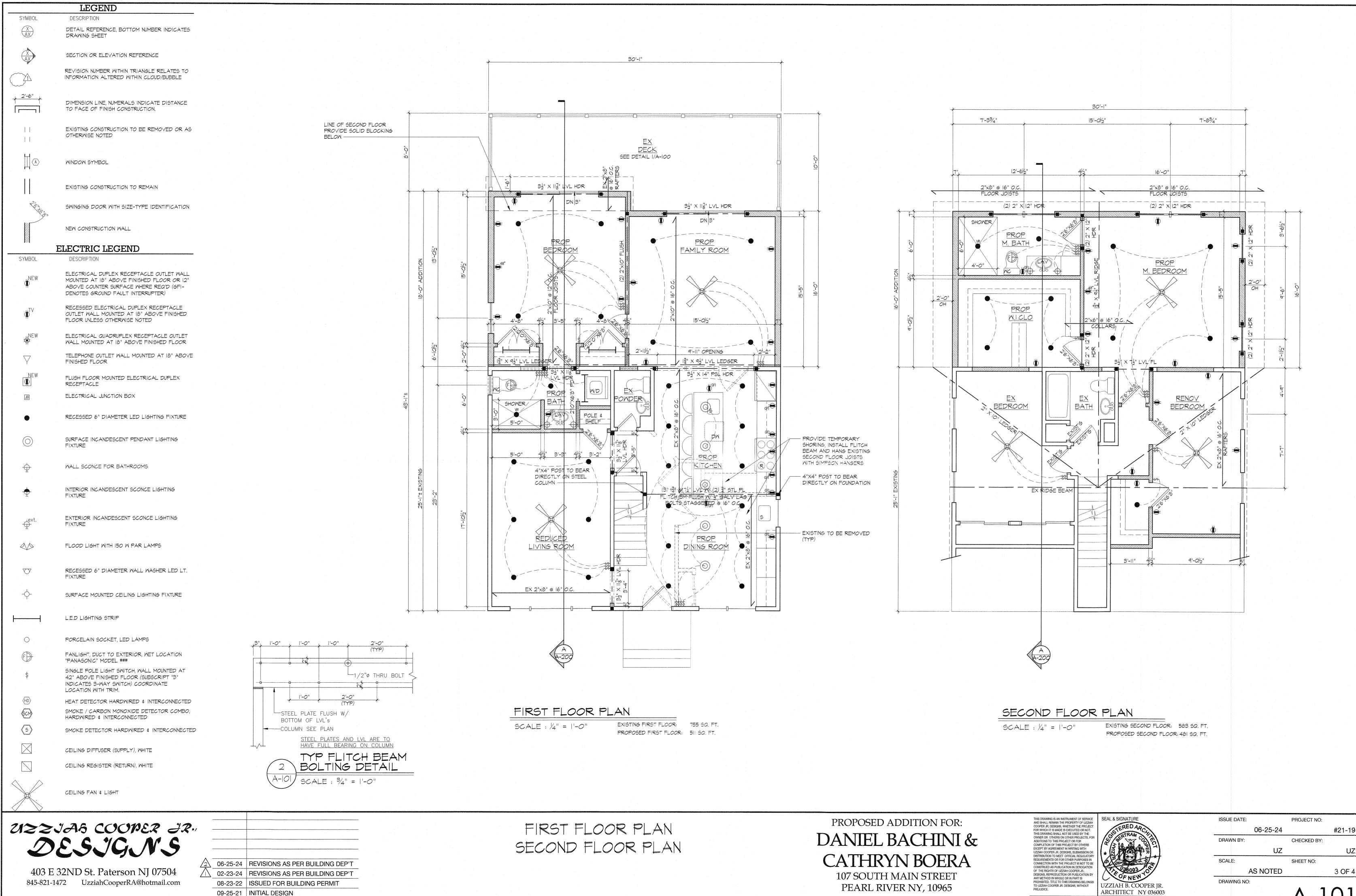
DANIEL BACHINI & CATHRYN BOERA

107 SOUTH MAIN STREET PEARL RIVER NY, 10965





#21-19 DRAWN BY: CHECKED BY: SCALE: SHEET NO: AS NOTED 2 OF 4 DRAWING NO:



DATE SUBMISSIONS / REVISIONS

