

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: August 7, 2024

TO: OBAPAE
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Veolia
CSX

ACOE
Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
NYS Dept of Environmental
Conservation

This matter is scheduled for: September 18, 2024

Review of Plans: Boera, 107 S. Main St., Pearl River, New York

Section: 68.20 Block: 5 Lot: 57; CO zone

Chapter 43, CO District, Section 3.12, Group NN, Column 4 (floor area ratio: 20% permitted, with 34.5% proposed), Column 8 (side yard: 35' required, with 10' proposed), Column 9 (total side yard: 90' required, with 20' proposed), Column 12 (maximum building height: 6"/ft (15.15') required, with 16.6' (5.5"/ft) proposed).

Existing non-conforming (ENC) lot area, lot width:

from Section 9.2 (degree of non-conforming bulk not to be increased),
from section 9.34 (non-conforming use may be increased 1 time, with 2nd time proposed), and
from Section 9.34 (non-conforming use may be increased up to 50%, with 84% proposed) for a two-story addition with deck at the rear of the house. The premises are located at 107 S. Main Street, Pearl River, New York and identified on the Orangetown Tax Map as Section 68.20, Block 5, Lot 57 in the CO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: September 18, 2024

Comments attached

No Comments at this time. Please send future correspondence for review.

No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 18, 2024**. **Kindly forward your completed review to this office by September 18, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 8/6/24

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final Interpretation
<input checked="" type="checkbox"/> Special Permit	
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-4510-23
 ASSIGNED
 INSPECTOR: Ken

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: BOERA

Street Address: 107 South Main Street
Pearl River NY 10965

Tax Map Designation: Section: 68.20 Block: 5 Lot(s): 67
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the West side of South Main Street, approximately 300 feet South of the intersection of Telfer Rd, in the Town of Orangetown in the hamlet/village of Pearl River.
Acreage of Parcel 0.165 Zoning District C0
School District Pearl River Postal District Pearl River
Ambulance District Pearl River Fire District Pearl River
Water District Veolia Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)
2 story addition with deck

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 8/6/24 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 7.5.24 Section: 68.20 Block: 5 Lot: 57

Applicant: Boera

Address: 107 S Main, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43 Table 3.12, CO District, Col 2 Group NN, Col 4 Max FAR 20% w/ 34.5% prop'd, Col 8 Side Yd 35' required w/ 10' prop'd, Col 9 Total Side Yd 90' w/ 20' prop'd, Col 12 max Ht 6"/ft (15.15') w/ 16.6' prop'd (5.5"/ft).

Existing Non-Conforming (ENC) Lot area, Lot width

Ch 43, Section 9.2 Degree of non-conforming bulk not to be increased

Ch 43, Section 9.34 Non-conforming use may be increased 1 time w/ 2nd time prop'd

Ch 43, Section 9.34 Non-conforming use may be increase up to 50% w/ 84% prop'd

7 Variances required

Comments:

side yd, total side yd, height, FAR,

9.2 bulk increase, 9.34 2nd increase, 9.34 84% increase

Dear Boera:

Please be advised that the Building Permit Application # 4510-23, which you submitted on 12.19.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com.

Sincerely,



Richard Oliver
Deputy Building Inspector

7/5/24



Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

7/9/24

Date
Liz DeCort
Debbie Arbolino



SWIS	PRINT KEY	NAME	ADDRESS
392489	68.20-5-2	Sidetrack Properties LLC	35 W Jefferson Ave, Pearl River, NY 10965
392489	68.20-5-3.1	Sidetrack Properties LLC	35 W Jefferson Ave, Pearl River, NY 10965
392489	68.20-5-3.2	Sidetrack Properties LLC	35 W Jefferson Ave, Pearl River, NY 10965
392489	68.20-5-49	Brian R Quezada	120 S Main St, Pearl River, NY 10965
392489	68.20-5-50	William B Mott	116 S Main St, Pearl River, NY 10965
392489	68.20-5-51	Ann Riordan	112 So Main St, Pearl River, NY 10965
392489	68.20-5-52	Keith Braunfotel	12 Balmoral Dr, New City, NY 10956
392489	68.20-5-53	Timothy J Sheridan	99 Yale Ter, Blauvelt, NY 10913
392489	68.20-5-54	Kurt Niemeyer	96 S Main St, Pearl River, NY 10965
392489	68.20-5-55	John Purcell	6 Glen Eagles Ct, New City, NY 10956
392489	68.20-5-56	Anthony J Nery	103 So Main St, Pearl River, NY 10965
392489	68.20-5-57	William Boera	107 So Main St, Pearl River, NY 10965
392489	68.20-5-58	Chester Mc Guire	111 S Main St, Pearl River, NY 10965
392489	68.20-5-59	Liburn Qosja	25 Dutchess Dr, Orangeburg, NY 10962
392489	68.20-5-60	Joe Zwyhun	111 S Middletown Rd, Pearl River, NY 10965
392489	68.20-5-61	William X Holland	126 N Pilgrim Ct, Pearl River, NY 10965

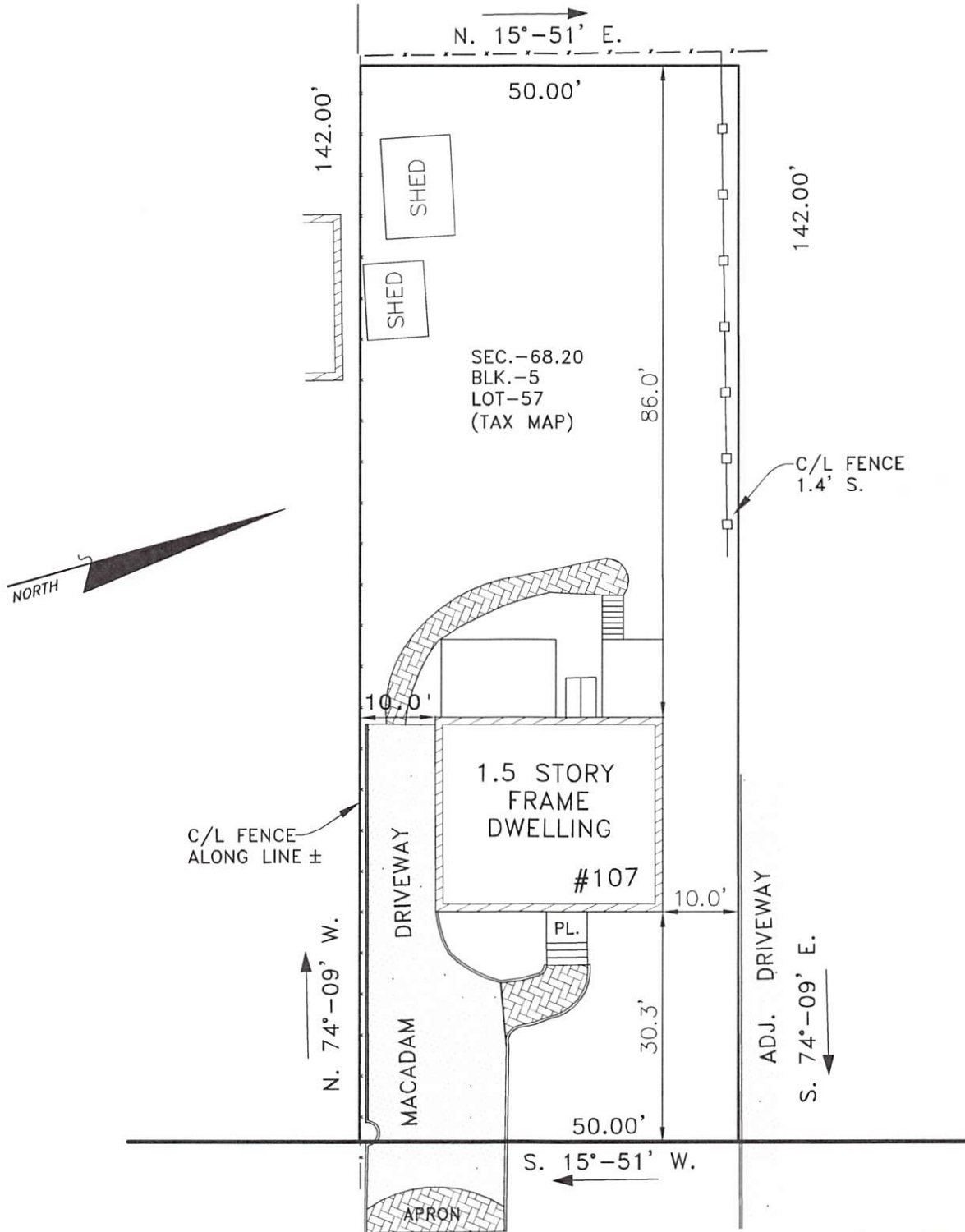
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AUG 6 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

OFFSET DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



SOUTH MAIN STREET
SURVEY OF PROPERTY
 107 SOUTH MAIN STREET
 LOT 57, BLOCK 5, SECTION 68.20
 PEARL RIVER, ROCKLAND CO., NY

ZONING BOARD OF APPEALS

SEP 18 2024

MEETING OF:

Town of Orangetown

"CO" ZONE (COMMERCIAL OFFICE)

ITEM	REGULATION	EXISTING	PROPOSED	PROPOSED
LOT AREA	10,000 SF	7,100 SF*	NO CHANGE	YES
MIN. LOT WIDTH	150 FT	50 FT*	NO CHANGE	YES
MIN. FRONT SETBACK	30 FT	30.3 FT	NO CHANGE	YES
MIN. SIDE YARD (1)	35 FT	10 FT*	NO CHANGE	YES
MIN. SIDE YARDS (2)	90 FT	20 FT*	NO CHANGE	YES
MIN. REAR SETBACK	50 FT	86 FT	60 FT	NO
MAX. HEIGHT	6 IN./1 FT	EXIST.	NO CHANGE	YES
MAX. F.A.R.	0.20	0.195	0.345	YES

* DENOTES VARIANCE REQ'D.

SCALE: 1"=20' DATE: NOV. 7, 2023

STEPHEN F. HOPPE, L.S.
 LICENSED PROFESSIONAL LAND SURVEYOR
 303 ROUTE 303
 PEARL RIVER, NEW YORK 10983
 LIC. NO. 50539



L.S.

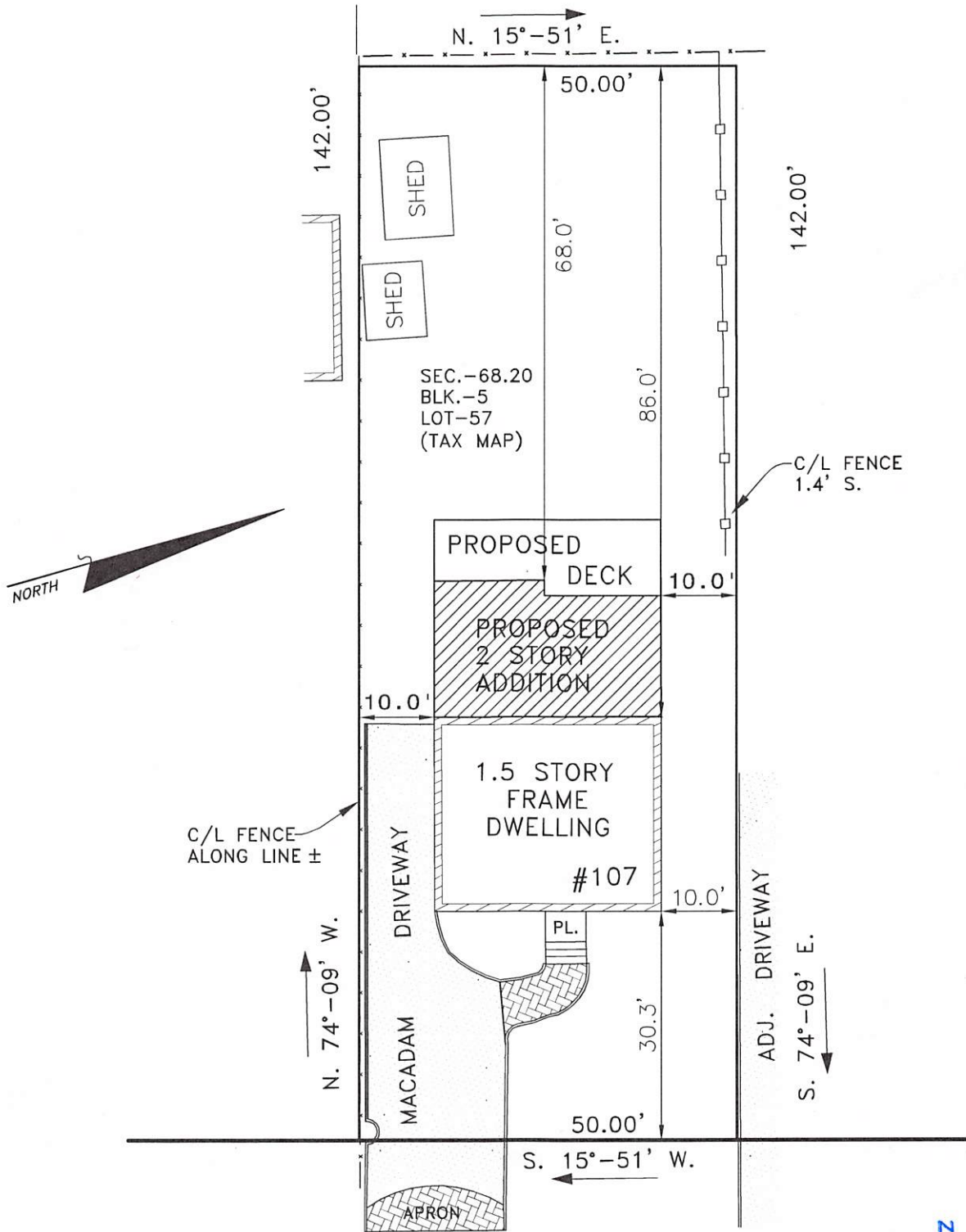
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TOWN OF ORANGETOWN
 LAND USE BOARDS

OFFSET DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

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**SOUTH MAIN STREET
SURVEY OF PROPERTY
107 SOUTH MAIN STREET
LOT 57, BLOCK 5, SECTION 68.20
PEARL RIVER, ROCKLAND CO., NY**

ZONING BOARD OF APPEALS

SEP 18 2024

Town of Orangetown
MEETING OF

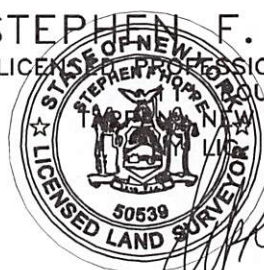
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STEPHEN F. HOPPE, L.S.
LICENSED PROFESSIONAL LAND SURVEYOR
107 SOUTH MAIN STREET, SUITE 303
PEARL RIVER, NY 10983
LICENSE NO. 50539



Stephen F. Hoppe

L.S.

RECEIVED

AUG 6 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

7. THERMAL AND MOISTURE PROTECTION

BUILDING WRAP BY TYVEK OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED.
 BATT INSULATION TO BE FIBERGLASS BATTS W/ VAPOR BARRIER, R-20 WALLS, R-49 CEILING/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE, FIRE-RETARDANT WHERE REQUIRED.
 RIGID INSULATION TO BE POLYISOCYANURATE, 2" AT SLAB EDGE AND FOUNDATION PERIMETER, 24" DOWN AND 24" IN.
 CERTASPRAY™ SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS.
 VAPOR BARRIER TO BE 6 MIL POLYETHYLENE, OVERLAP AND TAPE SEAMS.
 FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND SEAL. PROVIDE SIMILAR DRIP EDGE, SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL FLASHING CRICKETS AS REQUIRED.
 PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C420.
 PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 914 BY TREMCO OR 5M FIRE PRODUCTS.
 WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 1" EXPOSURE, SINGLE BACK-PRIMED. USE NO. 1, BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND FINISHE BUREAU MANUAL.
 PREMIUM VINYL SIDING BY "ALCOA" MAGIC SERIES, CEDAR SHAKE PATTERN CD-TOP. INSTALL PER ASTM D3674, .06 MIN. THICKNESS, WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.
 WOOD TRIM TOP BE SELECT PINE OR POPLAR, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SHINGLE STYLES.
 PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.
 PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAWE VENTS. 800 MIN. VENT TO SF RATIO.
 ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER USE ICE & WATER SHIELD AT BOTTOM 26" FROM GUTTER AND AT VALLEYS, BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT TO BE INSTALLED FROM EDGE OF EAWE TO A POINT NOT LESS THAN 24" BEYOND INTERIOR FACE OF EXTERIOR WALL. PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANUAL.
 COPPER STANDING SEAM ROOFING TO BE 16 OZ. WITH LOCKING SEAMS SPACED 16" O.C. INSTALLED IN ACCORDANCE WITH COPPER DEVELOPMENT ASSOC. STANDARDS. PROVIDE ALL NECESSARY CLOSURE PIECES, BRACKETS, CLIPS AND UNDERLAYMENTS AS REQ. PROVIDE SEPARATOR MEMBRANE TO PREVENT GALVANIC ACTION WITH NON-COMPATIBLE METALS.

8. WINDOWS AND DOORS

WINDOWS ARE PELLA OR ANDERSON WINDOWS, VINYL GLAD (MATCH EXISTING) V.I.F., INSUL., LOW E (30 U MAX.) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK'S). FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.
 HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY"; LOCKSETS AND LATCHSETS-"YALE"; SELF-CLOSING HINGES-"BOMMER"; SLIDING DOOR SETS & POCKET SLIDERS-"HASER"; WEATHERSTRIPING & THRESHOLDS-"PEMCO"; DOOR STOPS & BIFOLD DOOR SETS-"STANLEY". FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION STANDARDS.
 EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE 1 3/4" PINE 1000 SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN, WITH FRAME. (OR AS NOTED ON DRAWINGS).
 INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE 1 3/8" PANEL PINE 1000 SERIES WITH FRAME. (OR AS NOTED ON DRAWINGS).
 STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR. INTERIOR USE SHALL BE 16 GA. FRAMES WITH 16 GA. STEEL FACE DOOR.

9. FINISHES

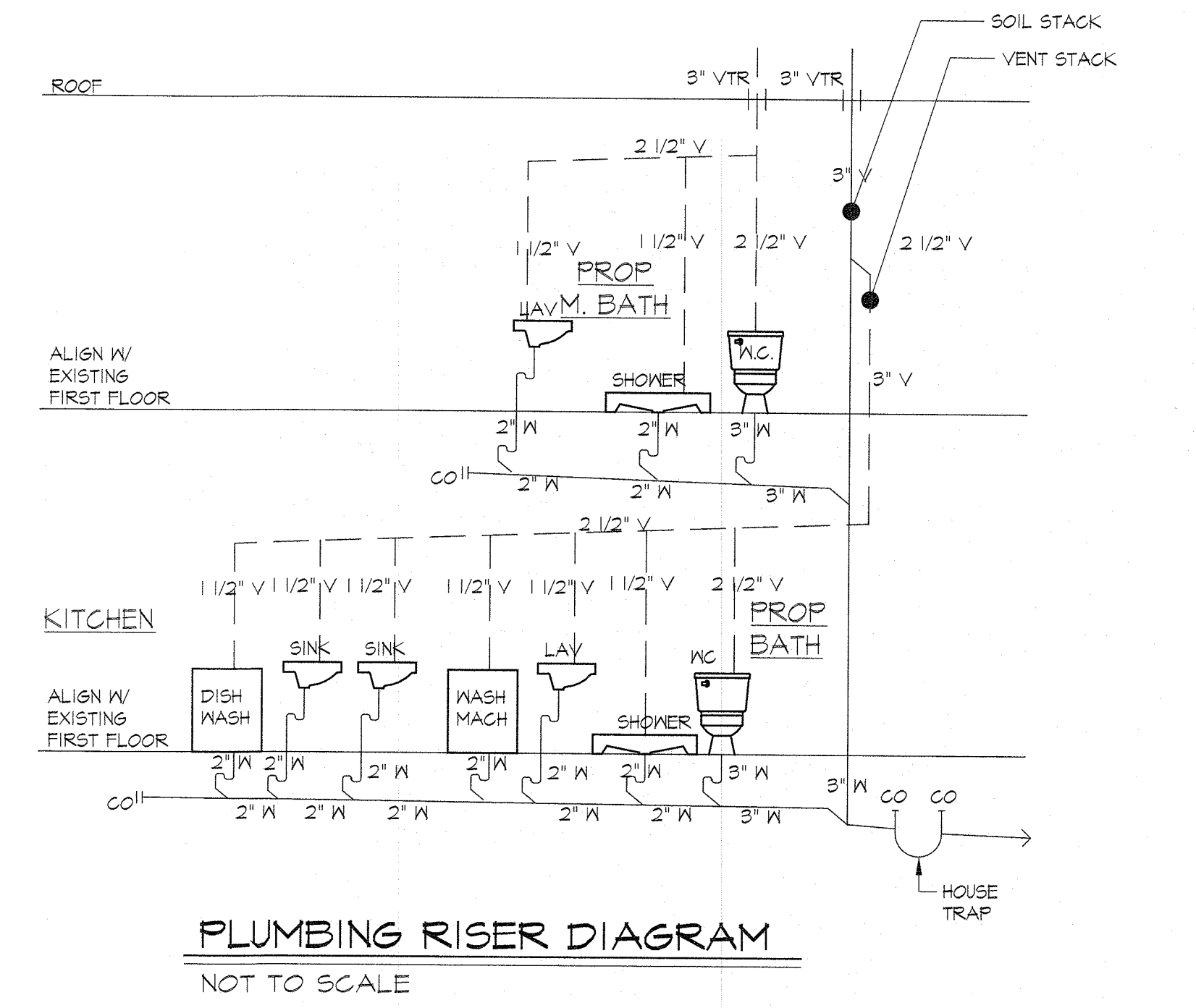
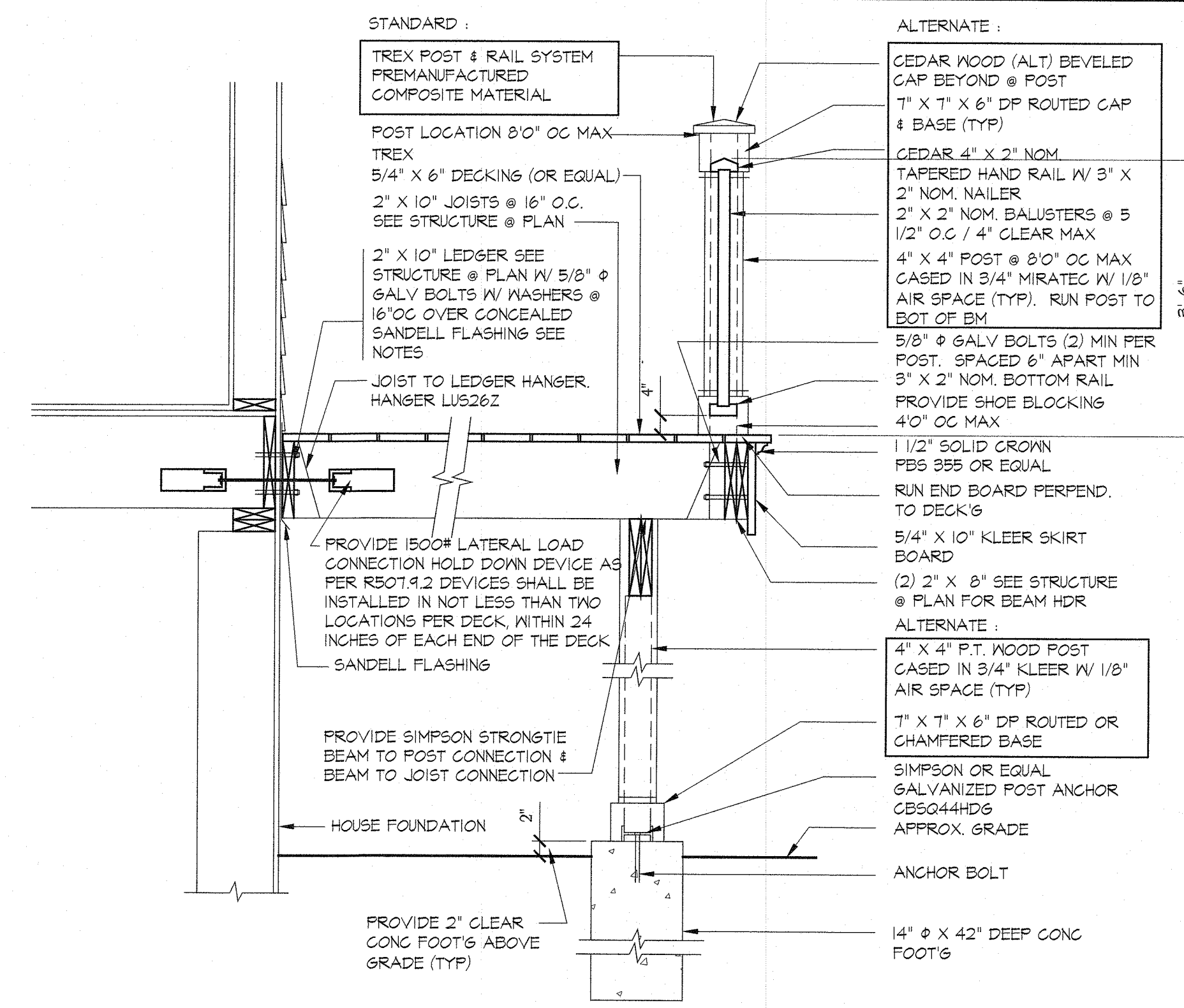
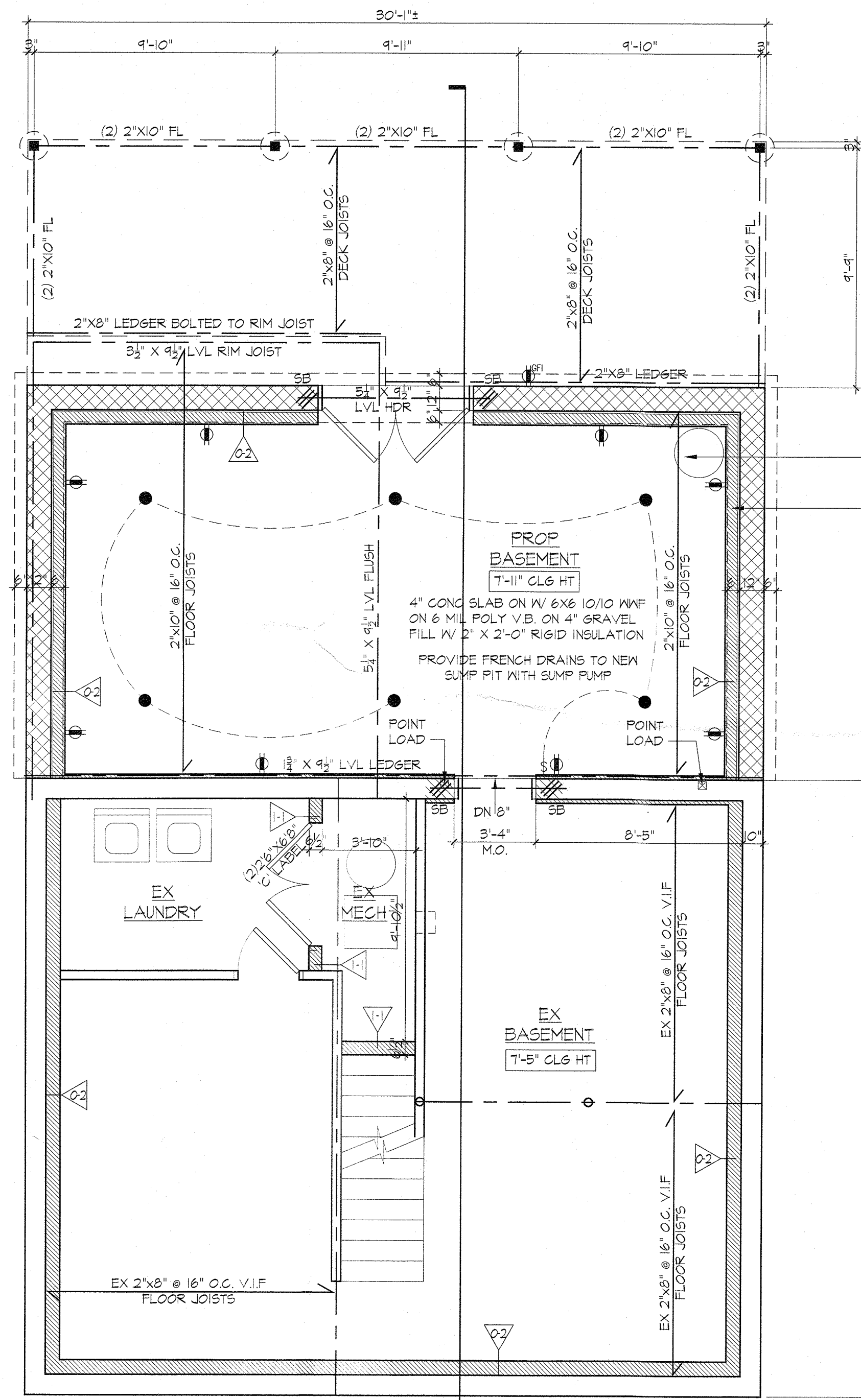
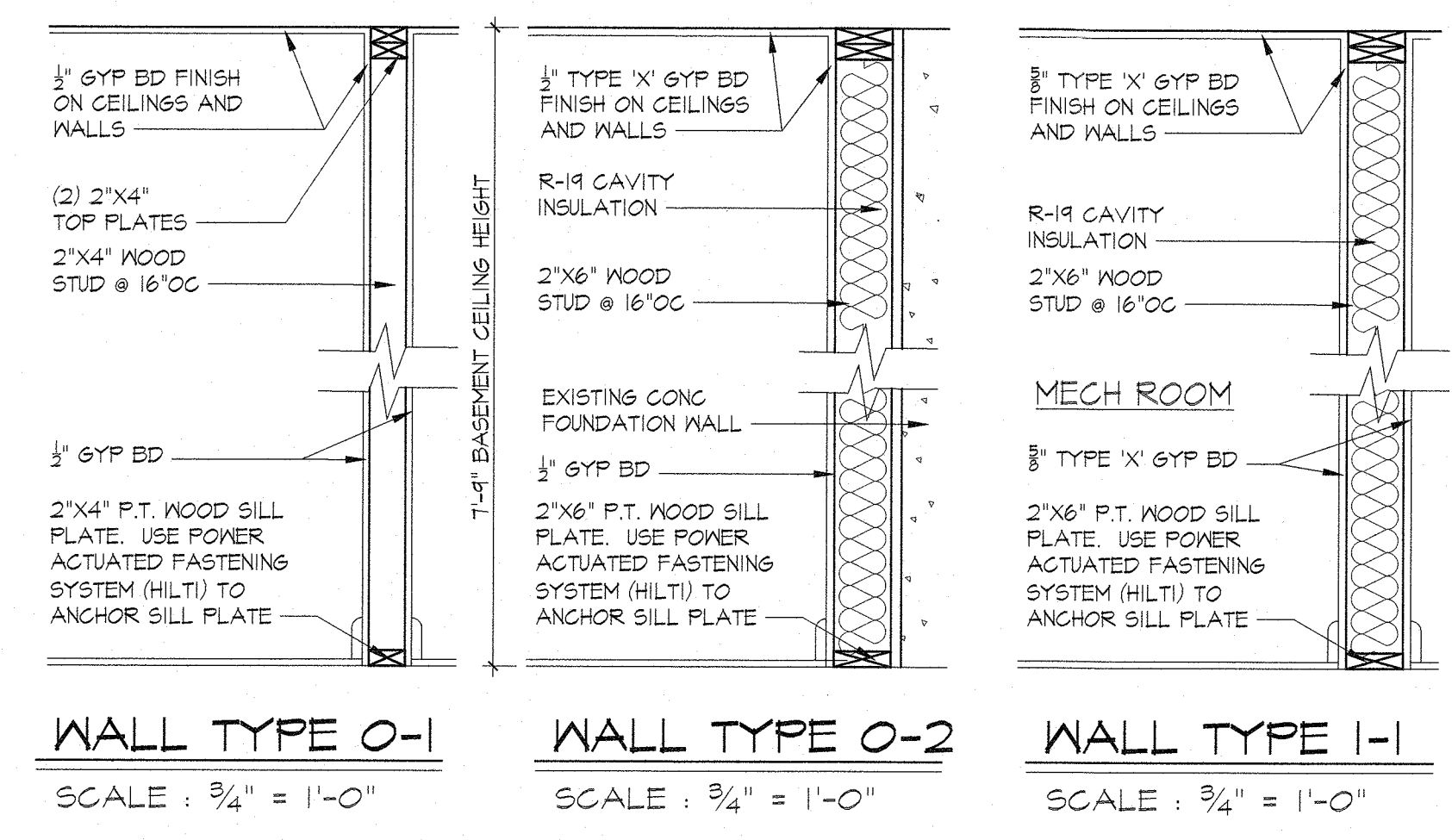
UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X, USE WR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCORED AND SLIDED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL).
 PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.
 STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREDS, CORNER BEADS, AND ACCESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.
 WOOD FLOOR TO BE 3/4" X 2 1/4" T & G OAK TO MATCH EXIST'S (SEE FIN. SCHED. IN BLDG FELT AND CAVITY INSUL. WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES. ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.
 CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE, GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL. TO DRAIN W/ FULLY BONDED PVC LINER-PAN BELOW.
 USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.
 PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR TILE. TURN UP 4" AT WALLS.
 PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN- FOR TRIM AND DOORS, INTERIOR OMB, EGGSHELL LUSTER- WALLS
 SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2" X 2" MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100 FOOT-CANDLES.
 PROVIDE 10% ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

10. SPECIALTIES

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND

II. EQUIPMENT

ANCHORAGE WHERE REQUIRED.
 INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO: DISHWASHER, M/L OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.
 KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN STOCK SIZES W/ FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER SLIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE. SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER ANI SECTION I700, STRAIGHT, LEVEL, AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.
 PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 KITCHEN COUNTERTOPS TO BE 1 1/4" THK. MED. GREY PIETRO GORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BACKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANGS BEYOND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FINEST SEAMS POSSIBLE.
 PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH ANI SECTION 400.
 SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FINEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.
15. MECHANICAL
 PLUMBING - DOMESTIC WATER PIPING SHALL BE COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE CAST IRON. STORM UNDERGR. SHALL BE F.V.C. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE.
 PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE
 ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES.
 PROVIDE NEW 80 GAL GAS FIRED HW HEATER, COORD. LOCATION W/ ARCH. ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED OR SATIN CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL.
 PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE VALVES WHERE REQUIRED.
 HVAC - PROVIDE AND MODIFY DUCTWORK, REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDORS WHEN OUTSIDE TEMPERATURE REACHES 40 DEGREES, AND TO DEGREES WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. LOCATE NEW HVAC UNIT IN ATTIC, SEPARATELY ZONE 1ST FL AND 2ND FL. PROVIDE PROGRAMMABLE THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WITHIN PROPERTY LINE SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADER. PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE IS. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB RATINGS.
 PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
 PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.
 FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD. PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY.
 CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM, PROVIDE (1) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION @B WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.
 PROVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY S310 OR EQUAL, IN SUITABLE POLYETHYLENE PIT. ACCESSORIES: PIPING, CONNECT TO PERIMETER FRENCH DRAIN AND PROVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. 1" PIT PER 1000' SF BSMT
 PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPPED IN LAYER OF 1" GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF 1/1000. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITH 4" OF SUMP PIT TOP. CONTACT OWNER FOR ALARM NOTIFICATION INSTRUCTIONS.
 PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (12.6 MBTU) WITH CONDENSOR AND REQ. ACCESSORIES. LOCATE CONDENSOR PER OWNER'S DIRECTION
 DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACOUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS
 GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.
 BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.
 DUCT INSULATION:
 SUPPLY DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8
 RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-4
 SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8
 RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2
 INSULATION IS NOT REQUIRED ON RETURN DUCTS IN BASEMENTS.



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06-25-24	REVISIONS AS PER BUILDING DEP'T
02-23-24	REVISIONS AS PER BUILDING DEP'T
08-23-22	ISSUED FOR BUILDING PERMIT
09-25-21	INITIAL DESIGN
DATE	SUBMISSIONS / REVISIONS

PROPOSED ADDITION FOR:
DANIEL BACHINI & CATHRYN BOERA
 107 SOUTH MAIN STREET
 PEARL RIVER NY, 10965

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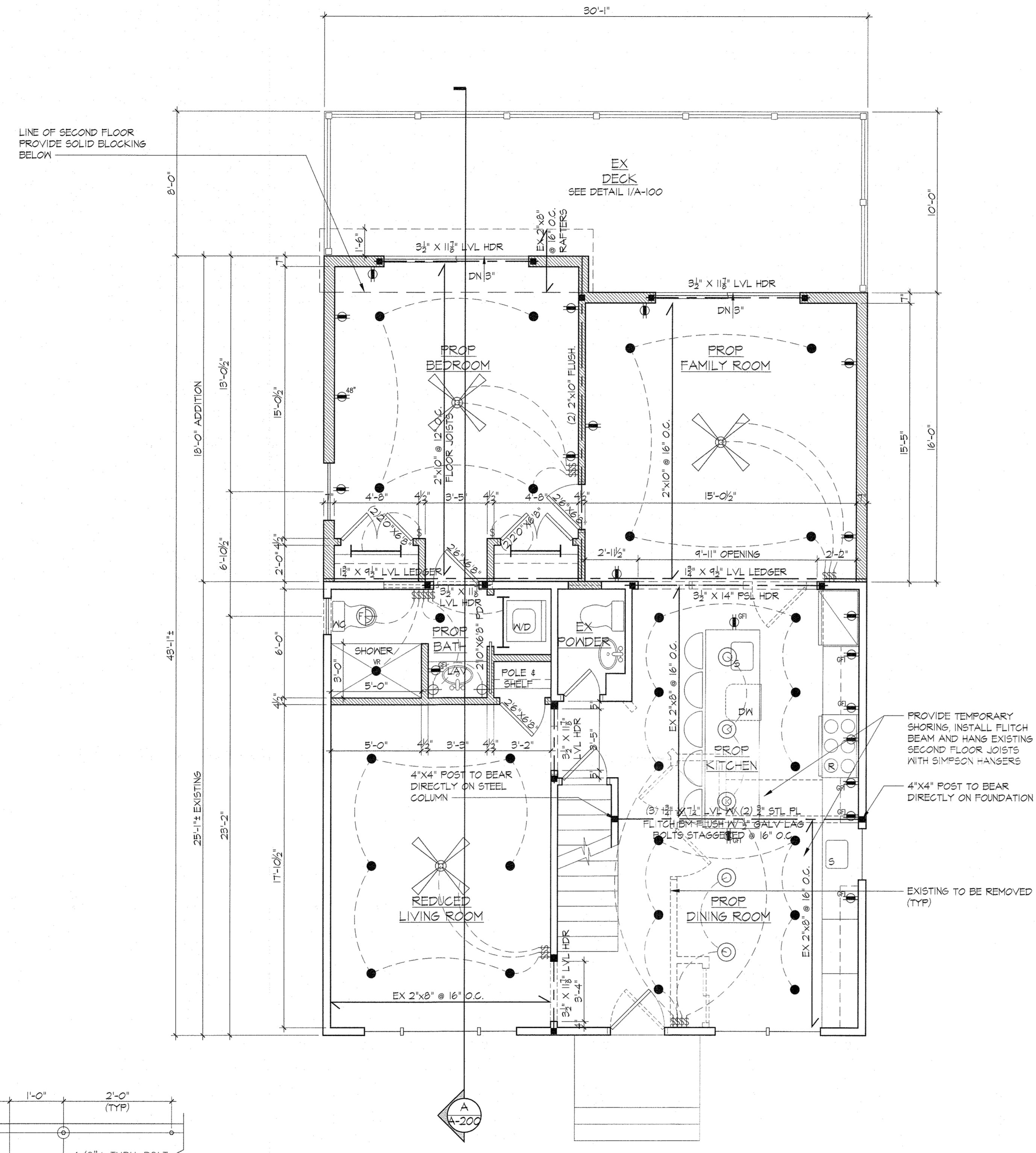
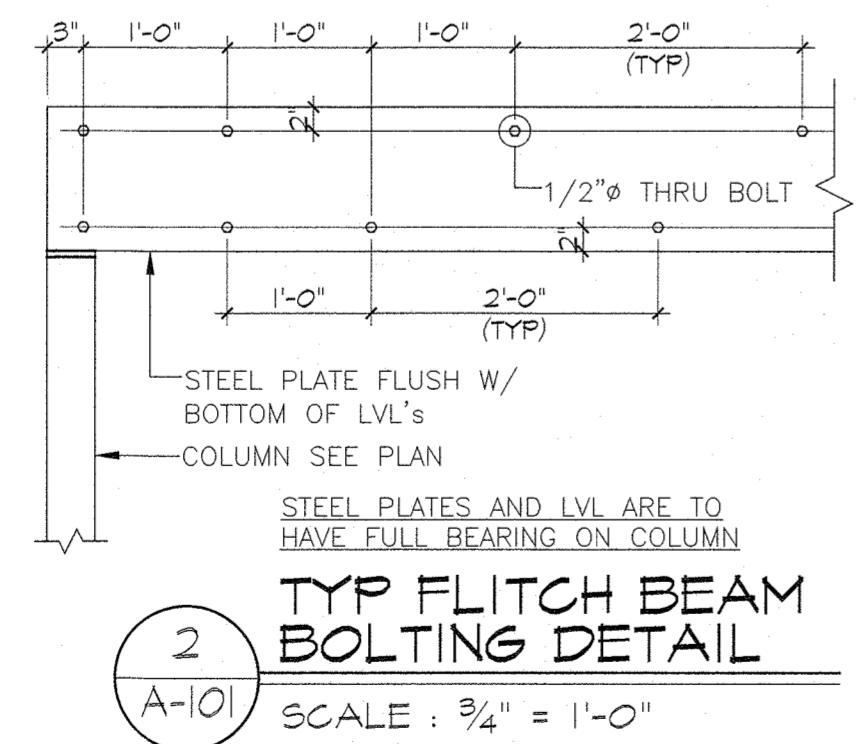
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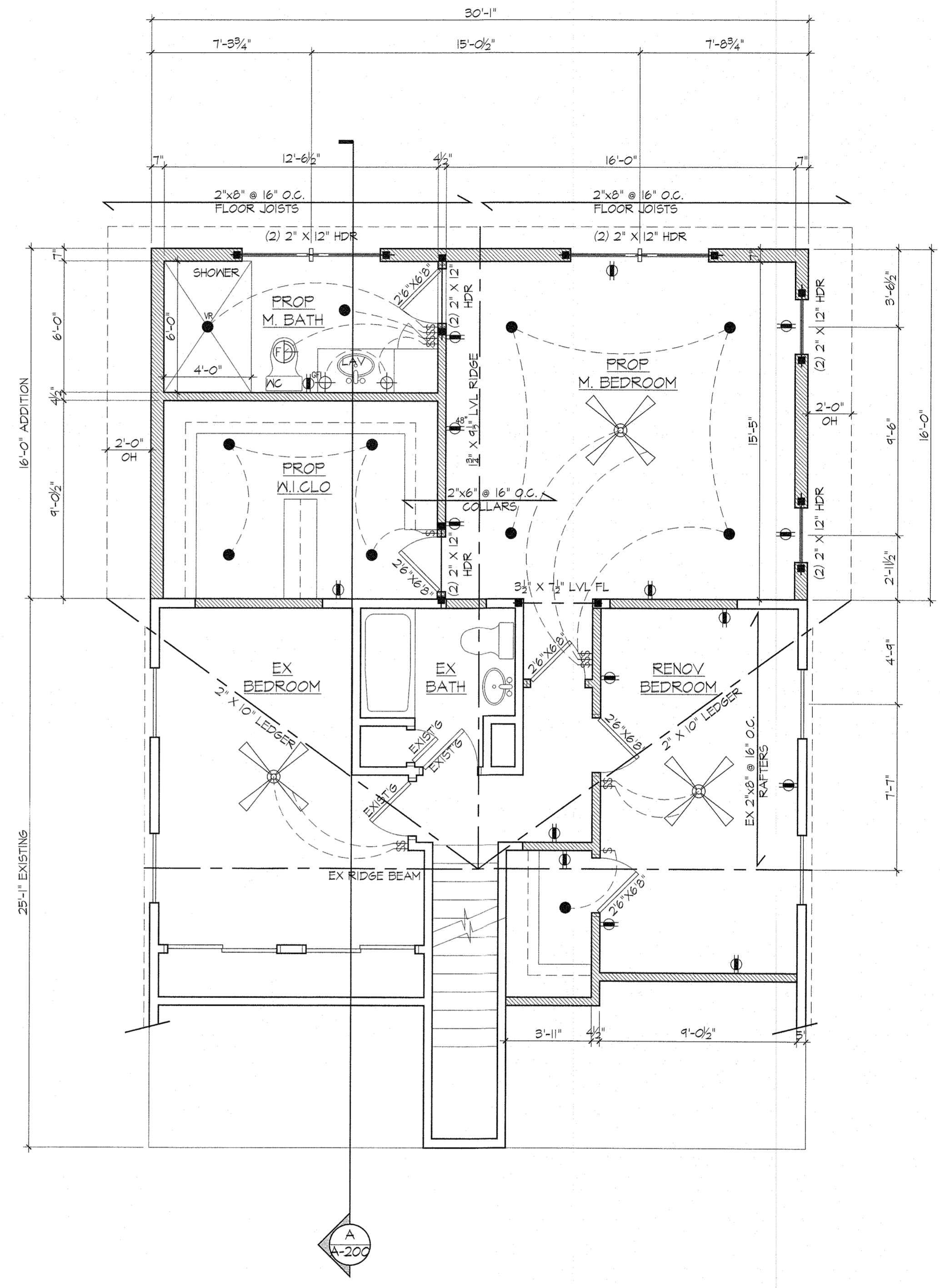
A-100

SYMBOL	DESCRIPTION
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
	SECTION OR ELEVATION REFERENCE
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
	WINDOW SYMBOL
	EXISTING CONSTRUCTION TO REMAIN
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION
	NEW CONSTRUCTION WALL

SYMBOL	DESCRIPTION
	NEW ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REOD (GFI-DENOTES GROUND FAULT INTERRUPTER)
	RECESSED ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED
	NEW ELECTRICAL QUADRIPLUX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	NEW FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
	ELECTRICAL JUNCTION BOX
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE
	SURFACE INCANDESCENT PENDANT LIGHTING FIXTURE
	WALL SCONCE FOR BATHROOMS
	INTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
	EXT. EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
	FLOOD LIGHT WITH 150 W FAR LAMPS
	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE
	SURFACE MOUNTED CEILING LIGHTING FIXTURE
	LED LIGHTING STRIP
	PORCELAIN SOCKET, LED LAMPS
	FANLIGHT, DUCT TO EXTERIOR, NET LOCATION "PANASONIC" MODEL ###
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.
	HEAT DETECTOR HARDWIRED & INTERCONNECTED
	SMOKE / CARBON MONOXIDE DETECTOR COMBO, HARDWIRED & INTERCONNECTED
	SMOKE DETECTOR HARDWIRED & INTERCONNECTED
	CEILING DIFFUSER (SUPPLY), WHITE
	CEILING REGISTER (RETURN), WHITE
	CEILING FAN & LIGHT



FIRST FLOOR PLAN



SECOND FLOOR PLAN

UZZIAH COOPER JR. DESIGNS

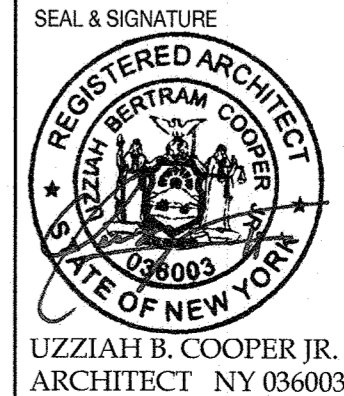
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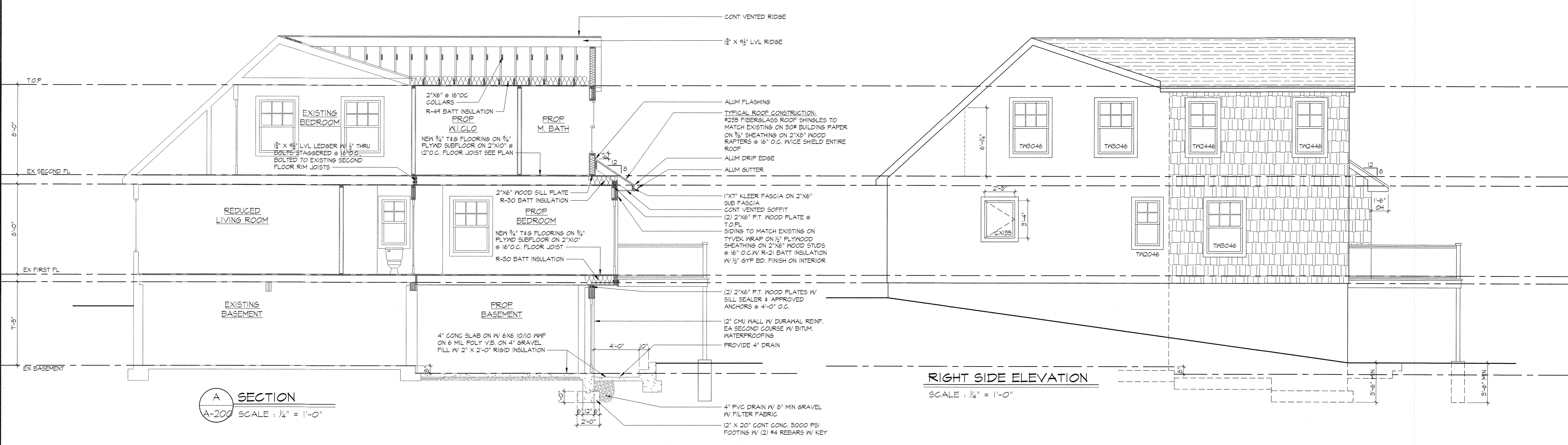
**FIRST FLOOR PLAN
SECOND FLOOR PLAN**

PROPOSED ADDITION FOR:
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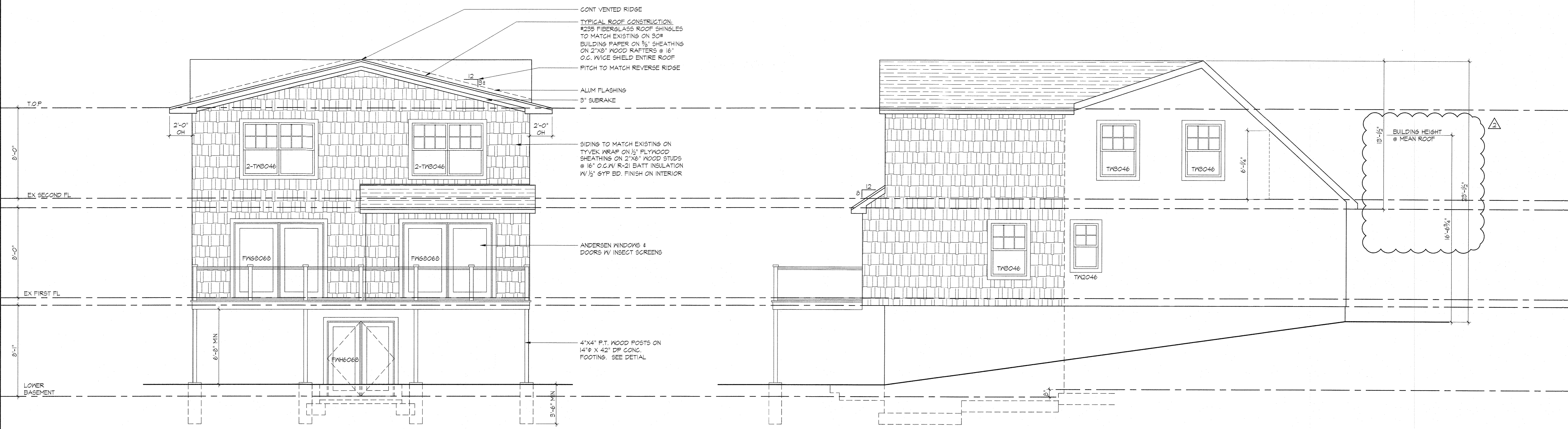


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DRAWING NO.:	A-101		



A SECTION
A-200 SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

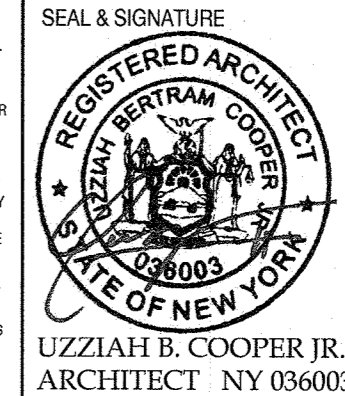
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ELEVATIONS

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