

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 80 LUDLOW LN, PALISADES, NY Section/Block/Lot: 80.06-1-20

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER / NOTES
ROOF:	NATURAL CEDAR	WOOD SHINGLE	EXTG.RESIDENCE HAS GREY ASPHALT SHINGLES MANUF. BY GAF
SIDING:	NATURAL CEDAR	WOOD SHINGLE	EXTG.RESIDENCE HAS CEDAR SHINGLE SIDING.
DECORATIVE SIDING:	N/A	N/A	N/A
SOFFITS & FASCIA:	NATURAL CEDAR	WOOD	N/A
GUTTERS & LEADERS:	N/A FOR PROPOSED	N/A FOR PROPOSED	EXTG. RESIDENCE HAS COPPER COLOR ALUM. GUTTERS/LEADERS
WINDOWS:	DARK BROWN & WHITE	VINYL CLAD	EXTG. RESIDENCE HAS BLACK VINYL CLAD WINDOWS
TRIM:	NATURAL CEDAR	WOOD	EXTG. RESIDENCE HAS AZEK TRIM PAINTED WHITE
SHUTTERS:	N/A	N/A	EXTG. RESIDENCE DOES NOT HAVE SHUTTERS
FRONT DOOR:	NATURAL CEDAR	WOOD	EXTG. RESIDENCE HAS STAINED MAHOGANY DOOR
BACK DOOR:	N/A	N/A	EXTG. RESIDENCE HAS BLACK VINYL CLAD GLASS DOORS
GARAGE DOOR(S):	N/A	N/A	N/A
OTHER DOOR(S):	N/A	N/A	N/A
LIGHTING:	OIL-RUBBED BRONZE	BRASS	REJUVENATION OR EQUAL 7" PENDANT LANTERN FIXTURE
EXISTING LIGHTING:	BLACK	ALUM.	ORVILLE 10" HIGH BLACK MODEL NO.: 33P86
STONE OR ROCK BEING USED ON STRUCTURE:	NATIVE STONE FROM SITE	NATIVE STONE FROM SITE	WHERE POSTS MEET GROUND A NATIVE STONE WILL BE USED.
STONE OR ROCK BEING USED ON WALKWAY(S):	TAN	LIMESTONE	USED AT WALKWAY
GLASS RAILINGS & STANCHION	CLEAR, LOW IRON PATINAED METAL	GLASS STAINLESS STEEL	USED AT BALCONY
EXISTING WIRE RAILINGS	STAINLESS STEEL STAINED WOOD	METAL WOOD	USED AT EXISTING BALCONY

RECEIVED

AUG 29 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 8/27/2024

LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BDR-5659-24
 ASSIGNED
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: GOLEMAN RESIDENCE - ACCESSORY STRUCTURE, WALKWAY, & 2ND FL. BALCONY

Street Address: 80 LUDLOW LANE, PALISADES, NY 10964

Tax Map Designation:

Section: 80.06 Block: 1 Lot(s): 20
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the END ~~side~~ of A PRIVATE RIGHT OF WAY, approximately 900 feet FROM of the intersection of LUDLOW LANE, in the Town of Orangetown in the hamlet/village of PALISADES.

Acreage of Parcel <u>2.66</u>	Zoning District <u>R80</u>
School District <u>SOUTH ORANGETOWN</u>	Postal District <u>PALISADES</u>
Ambulance District <u>SOUTH ORANGETOWN</u>	Fire District <u>SPARKILL - PALISADES</u>
Water District <u>veolia</u>	Sewer District <u>SEPTIC</u>

Project Description: *(If additional space required, please attach a narrative summary.)*

THE PROJECT INCLUDES THE CONSTRUCTION OF AN UNHEATED ACCESSORY STRUCTURE TO BE USED AS A TEAHOUSE, THE CREATION OF TWO SECOND STORY BALCONIES, AND THE INSTALLATION OF A NATURAL STONE WALKWAY FROM THE RESIDENCE TO THE DRIVE AND EXISTING BARN.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing

Date: 8/13/2024 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NONE

Are there streams on the site? If yes, please provide the names. NONE

Are there wetlands on the site? If yes, please provide the names and type:

NONE

Project History:

Has this project ever been reviewed before? YES

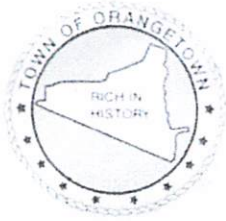
If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

HABR #14-17: FIRST PHASE OF CONSTRUCTION (RECIEVED 06.27.2017)

HABR #19-12: PHASE 2 OF CONSTRUCTION (APPROVED 06.11.2019)

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: 8.7.24 Section: 80.06 Block: 1 Lot: 20

Applicant: Goleman

Address: 80 Ludlow Ln, Palisades, NY

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

Comments: Accessory Structure (Unheated Tea Room)
Rail on upper balconies

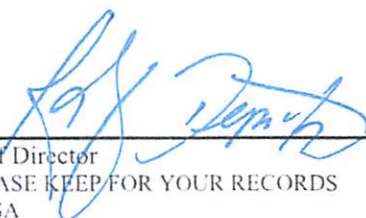
Dear Goleman:

Please be advised that the Building Permit Application # 5659-24, which you submitted on 8.5.24, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023 JSA

8/7/24
Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	80.06-1-18	Panter Residential LLC c/o Jonathan Panter	P.O. Box 629, Palisades, NY 10964
392489	80.06-1-20	Daniel Goleman	80 Ludlow Ln, Palisades, NY 10964
392489	80.06-1-21	64 Ludlow Lane LLC	8 Spruce St Unit 73A, New York, NY 10038
392489	80.06-1-22	Joyfarm LLC	1 Presidential Blvd, Bala Cynwyd, PA 19004
392489	80.06-1-23	Ernest De La Torre	79 Ludlow Ln, Palisades, NY 10964
392489	80.06-1-24	Ernest De La Torre	79 Ludlow Ln, Palisades, NY 10964
392489	80.06-1-25	Morrie E Brown	57 Ludlow Ln, Palisades, NY 10964



Tara and Daniel Goleman

80 Ludlow Lane
Palisades, NY 10964

June 21, 2024

Historical Areas Board of Review (HABR)
Town of Orangetown Building Department
20 Greenbush Road
Orangeburg, NY 10962

RE: HABR Application – 80 Ludlow Lane – Allen D. Ross

To Whom it May Concern:

This letter is to authorize architect Allen D. Ross, of Allen Ross Architecture, LLC, to act as our agent in all matters related to the HABR application for our property at 80 Ludlow Lane, Palisades.

This authorization includes the ability to appear in our stead at any required meetings and to discuss the application with the Board.

Please contact us if you need any additional information.

Sincerely,



Tara Goleman

Dan Goleman and Tara Goleman

cc: Allen D. Ross



August 26, 2022

To: Historical Areas Board of Review
Town of Building Department
20 Greenbush Rd, Orangeburg, NY 10962

Re: 80 Ludlow Lane Palisades, NY 10964
HABR Submission

Enclosed is the HABR application and supporting documentation. The project includes the construction of an unheated accessory structure to be used as a teahouse, the creation of two second floor balconies where there are currently flat roofs, and the installation of a natural stone walkway connecting the residence, existing barn and driveway. I hope you find this information satisfactory, and if you have any questions or comments or need additional information, please do not hesitate to contact me.

Sincerely,



Allen D. Ross, AIA
Principal, Allen Ross Architecture, LLC



DECISION

APPROVED AS PRESENTED

TO: Allen D. Ross (Goleman)
153 Main Street
New Paltz, New York 12561

HABR #22-15
July 12, 2022
Permit#46533

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#22-15: Application of Goleman Residence for review of exterior revisions from previously approved applications (HABR# 14-17 dated November 4, 2014, HABR#17-08 dated July 11, 2017, . HABR# 17-13 dated September 11, 2017 , HABR#19-12 dated June 11, 2019) at an existing single-family residence. The premises are located at 80 Ludlow Lane, Palisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4 (A), Historical Areas Board of Review.
Tax Map Designation: 80.06 / 1 / 20; R-80 zoning district.

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, July 12, 2022 at which time the Board made the following determination:

Allen Ross, Architect and Caitlin Burek, Designer, appeared.

Member Loren Plotkin recused himself, his firm has done business with the applicant.

The following documents were presented:

- 1. Plans labeled "80 Ludlow Lane Residence, Palisades, NY" signed and sealed by Allen Douglas Ross, Architect. (11 pages).

Allen Ross stated that they are back before the Board to remove some of the previously approved items; that here ae elevation changes; the proposed exterior glass railings at the back of he house were removed, the proposed metal guard railing at the rear deck was removed, three proposed window sashes that were connected to each other were removed; the proposed meal balcony over the front door was removed; the meal and wire railing at the front of the house over the mudroom was shortened, and the proposed photovoltaic panels and conduit on the roof was removed; that the front landing, interior stair, and an interior closet were described in more detail and the doors to the roofs at the upper decks were secured so that they are not operable.

Thano Schoppel confirmed that this proposal was not to make any additions, but instead , to remove items that were previously approved, and asked about the security doors on the upper decks.

PUBLIC COMMENT:

No public comment.

TOWN OF ORANGETOWN
2022 JUL 20 PM 3:18
TOWN CLERK'S OFFICE

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed exterior revisions of the previously approved plans:

1. T-001- Omission of sheet A-202 (detail no longer relevant)
2. Site Plan no changes.
3. A-100-Removal of Photovoltaic system components, and electrical conduit routing. Revision to exterior entry landing framing.
4. A-101-Removal of Photovoltaic system components. Revision to exterior entry landing framing.
5. A-102 – Glass railings on balconies removed from scope. Balcony revision outside Bath 202. Existing windows, 212A-C to be permanently secured closed with 3M security film applied.
6. A-103- Plan change a stair hall 309 to include new closet.
7. A-104- Removal of photovoltaic system components. Chimney flue locations updated per filed measurements.
8. A-200- Removal of Photovoltaic system components. Glass railings on balconies removed from scope. Pipe railings at Deck 119 modified. Removal of exterior windows.
9. A-201- Removal of Photovoltaic system components. Glass railings on balconies removed from scope. Addition of exterior wall sconces.
10. A-202- Omitted.
11. A-300- No changes.
12. A-301- Removal of photovoltaic system components.
13. A-302- Not used.
14. A-303- Stair section details added to set.

THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.

***** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.***

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERK'S OFFICE
2022 JUL 20 PM 3:59
TOWN OF ORANGEBOUN

Goleman

HABR# 22-15

Permit #46533

Page 3 of 3

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), the application for the revisions s shown ~ Plans labeled ~80 Ludlow Lane Residence, Palisades, NY” signed and sealed by Allen Douglas Ross, Architect. (11 pages) are APPROVED AS SUBMITTED.

The foregoing resolution to approve design and materials for the proposed exterior revisions of the previously approved plans for property located at 80 Lulow Lane, Palisades, HABR#22-15, as submitted: was presented and moved by Larry Bucciarelli, seconded by Allen Ryf; and carried as follows: Larry Bucciarelli, aye; Thano Schoppel, aye; Margaret Raso, aye; Scott Wheatley, aye; and Allen Ryf, aye. Loren Plotkin was recused. William Walther was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: July 12, 2022

HISTORICAL AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OB/PAL
BUILDING INSPECTOR-G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACAHOR CHAIRMAN

TOWN CLERK'S OFFICE
2022 JUL 20 PM 4:00
TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Allen D. Ross
153 Main Street
New Paltz, New York 12461

HABR #19-12
June 11, 2019
Permit #46533

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#19-12: Application of Goleman Residence for Phase 2 for review of an addition and alteration of an existing single-family residence. The premises are located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4(A), Historical Areas Board of Review.
Tax Map Designation: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, June 11, 2019 at which time the Board made the following determination:

Allen Ross, Architect appeared.

The following documents were presented:

1. Architectural plans dated 08/31/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence first floor Dimension Plan and Second "Floor Dimension Plan" (A-111 and A-112) 2 pages.
2. Architectural plans dated 06/07/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence" (T-001 Title page) A-101: 1st Floor Proposed Plans dated 8/25/2017 latest revision 4/8/2019; A-102 2nd Floor Proposed Plan View last revised 4/8/2019; A-103 3rd Floor Proposed Plan View revised 04/08/ 2019; A-201 Back and Side Exterior Proposed Plans dated 4/8/2019 ; A-202: Front Exterior Proposed Plans dated 4/8/ 2019

Allen Ross testified that there have been some design changes to the plan since the applicant received the last approval; that the spiral staircase has been removed; that the volume of the building is the same; that there is a new opening to the guest bedroom; that the condensers have been moved to the east side of the lot and they will be screened with bushes; that the stairs on the rear deck have been changed from a wide staircase in the center to narrow steps on the sides in order to preserve the pretty rock garden; that the front deck has been increased from 12' to 14' and it is 29" from the ground and does not require a rail because it is under 30"; that part of this deck will have a single pipe rail only and a portion of this deck will not have any rail to preserve the view from the kitchen area of the house to the river; that the 2nd floor decks will have the cable and wood post railing that was previously approved; that three windows were added to be symmetrical and allow light into the entry way below; that the deck in the front layout previously had a depth of 10' and is proposed to have a depth of 16'; that they added an interior stair to the guest room; that the recess on the original house was mirrored to the main and they now have one continuance roof and a window setback, a void, and a solid; that they have simplified things; that the roof plan has three direct chimney stacks; that the double French doors were removed and replaced with the French casement windows; that some doors were switched out for windows and doors were added where there were windows;

TOWN CLERK'S OFFICE
2019 JUN 18 P 1:39
TOWN OF ORANGETOWN

that the siding is natural cedar; that the windows have dark brown sashes that the front door will be solid panel mahogany door with white trim to match the windows and other doors; that the soffits are 2 ¼ vinyl that looks like bead board; that the last three pages of the plans have all of the dimension drawings.

PUBLIC COMMENT:

No public comment.

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed additions and alterations Phase 2 Goleman Residence

1. The roof shall be grey asphalt shingles GAF to match the existing.
2. The siding shall be natural cedar shingles t match existing.
3. The soffits and fascia shall match existing.
4. The gutters and leaders shall be copper colored aluminum.
5. The windows shall be Anderson vinyl clad dark brown.
6. The trim shall be white composite by Azek.
7. The front door shall be natural Mahogany.
8. The other doors shall be Anderson Brown Vinyl Clad.
9. The lighting shall be by Urban Archeology in Brown/ Antique Brass.
10. The walkways shall be bluestone
11. The skylight shall be black Aluminum and Glass by Velux.

THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERK'S OFFICE
2019 JUN 18 P 1:39
TOWN OF ORANGETOWN

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), the application for Phase II of the addition/alteration is APPROVED with the Specific condition that the new entry door shall be rimmed to match the trim boards of the windows.

The foregoing resolution to approve Phase II of the addition/alteration of the Goleman Residence at 80 Ludlow Lane as presented was presented and moved by William Walther, seconded by Loren Plotkin; and carried as follows: William Walther, aye; Thano Schoppel, aye; Scott Wheatley, aye; Larry Bucciarelli, aye; Carol Schelin, aye; and Loren Plotkin, aye. Margaret Raso was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: June 11, 2019

HISTORICAL AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
BUILDING INSPECTOR-G.M.

TOWN CLERK

HABR FILE

TOWN OF ORANGETOWN
2019 JUN 18 P 1:39
TOWN CLERK'S OFFICE

DECISION

APPROVED AS PRESENTED

TO: Caitlyn Burck (Goleman)
218 Gair Street
Piermont, New York 10968

HABR # 17-13
September 11, 2017
Permit #46533

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#17-13: Application of Daniel Goleman for an amendment to HABR#17-08 for renovation/addition to an existing single-family residence located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.

Tax Numbers: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, September 12, 2017 at which time the Board made the following determination:

Caitlyn Burck appeared.

The following documents were presented:

1. A letter dated August 28, 2017 from Caitlyn Burck ,Piermont Dcsign Group, stating the changings that are being requested from the July 11, 2017 approval HABR#17-08.
2. Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages.
3. Kolbe Windows and Doors drawing of the proposed door with transoms.
4. Picture of the proposed outside lighting.
5. Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017

Caitlyn Burck stated that the Goleman’s have listened to the Board regarding the spiral staircase outside and are considering the possibility of an interior staircase to the caretakers apartment; that they are in the process of seeing if this option works but they would like to be able to move forward with the exterior staircase in case the interior plan intrudes on the proposed living spaces too much; that the staircase drawing that they are presenting shows a revised location for the spiral stair; that the original plans placed the staircase on the left side of the house with the stair beginning on grade; that the proposed location moves the staircase onto the back deck platform which reduces the number of steps and which allows easier, safer access in inclement weather; that the small landing with the single door and two windows are being changed to a wider balcony with in swing French doors because this will allow better river views; that this is shown on page A-201; that the bridge for the spiral staircase is located there; that if you look at A-102 the bridge is clear of the roof; that the tread on the staircase is custom fabricated graded tread, that no snow or ice removal is necessary and the risers are open; that if they must be closed for code they can be closed, however they prefer open risers for aesthetics; that the exterior lights have been selected and they will be installed at all exterior doors; and that they would like to come back next month with a few more changes to decks and an answer about the staircase; but in the meantime they would appreciate approval of this staircase in case the interior plans do not work out.

PUBLIC COMMENT:

No comment.

TOWN CLERK'S OFFICE
2017 SEP 14 A 11: 23
TOWN OF ORANGETOWN

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed changes to HABR#17-08 dated July 11, 2017:[Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages; Kolbe Windows and Doors drawing of the proposed door with transoms; Picture of the proposed outside lighting; Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017]

1. The front entry door shall be a Kolbe door with surround transom/sidelight assembly (with simulated divided-lit windows) by Kolbe windows and doors dated 08/10/2017.
2. The Exterior Spiral Staircase shall have horizontal baluster rails (bronze); metal handrail (bronze); slatted metal steps for drainage/traction; bridge decking to match treads; deck to be wood cap/post with bronze cables.
3. All exterior lights by every door shall be Urban Archeology Backbay Wall mount UA0253-W El in Bronze.
4. The front entry window above the door assembly shall match the transom/sidelight specifications.
5. There is a revised location of the spiral staircase (original approved location placed the staircase on the left side of the house with the stair beginning on grade); the new location moved the staircase to the back deck platform.
6. There is a revised width and configuration of the caretakers bedroom balcony as well as entry door and windows; (the original approved plan proposed a small platform at a singled door to enter the room); the new location has a wider balcony with centered single-lite windows.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

***** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.***

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

TOWN CLERK'S OFFICE

2017 SEP 14 11:23

TOWN OF ORANGETOWN

Goleman

HABR# 17-13 amendment of HABR#17-08

Permit #46537

Page 3 of 3

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.

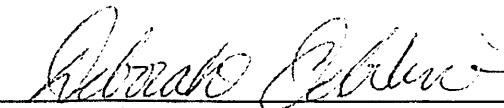
DECISION: In view of the foregoing and the testimony before the Board, the application for the design and materials for the proposed changes to HABR#17-08 dated July 11, 2017:[Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages; Kolbe Windows and Doors drawing of the proposed door with transoms; Picture of the proposed outside lighting; Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017] is APPROVED.

The foregoing resolution to approve the spa was presented and moved by William Walther, seconded by Wayne Garrison; and carried as follows: William Walther, aye; Scott Wheatley, aye; Thano Schoppel, aye; Margaret Raso, aye; Larry Bucciarelli, aye; Carol Schelin, aye; and Wayne Garrison, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: September 12, 2017

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

TOWN OF ORANGETOWN
2017 SEP 14 A 11: 23
TOWN CLERK'S OFFICE

DECISION

APPROVED AS PRESENTED

TO: Daniel Goleman
80 Ludlow Lane
Palisades, New York 10964

HABR # 17-08
July 11, 2017
Permit # 46533

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#17-08: Application of Daniel Goleman for review of an addition and alteration to an existing single-family residence located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.

Tax Numbers: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, July 11, 2017 at which time the Board made the following determination:

Michael Esmay, Architect, Kaitlyn Burke, Designer, appeared.

The following documents were presented:

1. Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)

Michael Esmay, Architect, stated that two years ago they were before the Board with Phase I of the project; that they have finished the first floor and are here for phase II, that they are proposing some small additions and changes to the west side for storage area and a mud room addition and the deck is slightly different and the trellis has been eliminated; that there will be a small balcony off the second floor; that a balcony is a very small balcony; that they are proposing a spiral staircase outside to be the entrance to the caretakers space; that the garage has been eliminated; and an additional air conditioning unit and emergency generator will be installed at the northeast of the dwelling where the other units are and there will not be any motion lights.

Kaitlyn Burke, Designer, stated that the staircase to the caretakers space will not have severe turn; that they are looking at local iron workers to design the staircase; that they are considering the artist, Eric David Laxman; that the staircase has not been designed or picked out yet; that it will have a bronze patina similar to the proposed lights by Urban Archeology; that there will be lights by the two front doors, side doors, French doors and balconies; that the deck will be mahogany with wood posts and bronze cable rails; that the front door has not been selected yet; that it will be a Colby 7' mahogany double door with two transom side lights and a transom above; that the hardware will be rocky mountain bronze hardware; and she will return in September with the staircase and door.

PUBLIC COMMENT:

No public comment.

TOWN OF ORANGETOWN
2017 JUL 20 P 2:34
TOWN CLERK'S OFFICE

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed addition/alteration: [Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)]

1. The roof shall be GAF three tab asphalt shingles in grey to match the existing roof.
2. The siding shall be cedar shingle natural to match existing.
3. There soffits and fascia shall match the existing.
4. The windows shall be vinyl clad wood Andersen windows to match the existing.
5. The trim shall be white composite azek.
6. The brick veneer will match the existing brick veneer.
7. The decks shall be mahogany with wood posts with bronze cable rails.
8. The lighting shall be tug lights by Urban Archeology be every door, 2 front doors, back door, 2 side doors and French doors.
9. The front door and proposed spiral staircase have not been finalized and the applicant will return in September with the choices selected.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

***** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.***

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

TOWN OF ORANGETOWN
2017 JUL 20 P 2: 34
TOWN CLERK'S OFFICE

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.

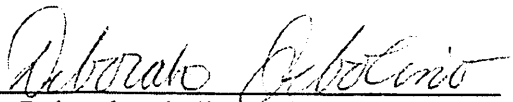
DECISION: In view of the foregoing and the testimony before the Board, the application for the addition/alteration: [Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)] is APPROVED with the Specific Condition that the applicant returns to the Board for approval of the outdoor metal staircase to the caretaker's space and the front door when they are selected.

The foregoing resolution to approve the addition/ alteration was presented and moved by William Walthers, seconded by Margaret Raso; and carried as follows: William Walther, aye; Scott Wheatley, aye Thano Schoppel, aye; and Margaret Raso, aye. Larry Bucciarelli, Carol Schelin and Wayne Garrison were absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: July 11, 2017

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR- G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

TOWN OF ORANGETOWN
2017 JUL 20 P 2:34
TOWN CLERK'S OFFICE

DECISION

APPROVED AS PRESENTED

TO: Daniel and Tara Goleman
80 Ludlow Lane
Palisades, N.Y. 10964

HABR # 16-03
April 12, 2016

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#16-03: Application of Daniel and Tara Goleman for review of a detached accessory building at a single-family residence located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review. Tax Numbers: 80.06 / 1 / 20; R-80 zoning district.

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, April 12, 2016 at which time the Board made the following determination:

Michael Esmay, Architect, appeared.

The following documents were presented:

1. Copy of site plan based on a survey by Joseph T. Caruso, P.E., P.L.S., dated 12/21/1986 signed and sealed by Robert Michael Esmay, Architect, dated 2/29/2016 (1 page).
2. Architectural plans labeled "Accessory Structure for the Goleman Residence" dated 02/29/2016 signed and sealed by Robert Michael Esmay, Registered Architect (1 page).

Michael Esmay stated that his clients would like to remove the existing two-car garage and build an accessory structure to house their two horses; that they have appeared before the Zoning Board and were granted the necessary variances; that the only condition imposed was that the structure be built as shown on the proposed site plan; that the siding would be natural cedar siding, the roof would be gray; the windows would be custom windows; that the door to the second floor would open and hay will be stored there; that the door would be natural color cedar custom sliding door; and that the fence would be a split rail fence and the scale of the building is 25' x 25'.

PUBLIC COMMENT:

No public comment.

TOWN CLERK'S OFFICE
2016 APR 26 AM 10 31
TOWN OF ORANGETOWN

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed accessory structure (Copy of site plan based on a survey by Joseph T. Caruso, P.E., P.L.S., dated 12/21/1986 signed and sealed by Robert Michael Esmay, Architect, dated 2/29/2016; Architectural plans labeled "Accessory Structure for the Goleman Residence" dated 02/29/2016 signed and sealed by Robert Michael Esmay, Registered Architect) :

1. The roof shall be gray asphalt shingles.
2. The siding shall be natural cedar.
3. The soffits and fascia shall be natural cedar.
4. The gutters and leaders shall be 6: half round copper.
5. The windows shall be custom windows with natural cedar trim.
6. The door shall be a custom natural cedar sliding door.
7. Everything on the accessory building shall match/complement the existing house.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

***** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.***

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

TOWN OF ORANGE TOWN
2016 APR 26 AM 10 31
TOWN CLERK'S OFFICE

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREA BOARD OF REVIEW AT (845) 359-841

Goleman
HABR# 16-03
Page 3 of 3

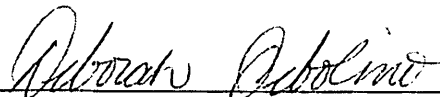
DECISION: In view of the foregoing and the testimony before the Board, the application; for the accessory structure: (Copy of site plan based on a survey by Joseph T. Caruso, P.E., P.L.S., dated 12/21/1986 signed and sealed by Robert Michael Esmay, Architect, dated 2/29/2016; Architectural plans labeled "Accessory Structure for the Goleman Residence" dated 02/29/2016 signed and sealed by Robert Michael Esmay, Registered Architect) is APPROVED.

The foregoing resolution to approve the accessory structure was presented and moved by William Walther, seconded by Margaret Raso; and carried as follows: William Walther, aye; Scott Wheatley, aye; Thano Schoppel, aye; Wayne Garrison, aye; Margaret Raso, aye; Larry Bucciarelli, aye. Joseph Chabot was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: April 12, 2016

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

2016 APR 28 PM 10 31
TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Michael Esmay (80 Ludlow)
17 Van Houton Street
Upper Nyack, New York 10960

HABR # 14-17
November 4, 2014

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#14-17: Application of 80 Ludlow Lane for review of an addition and alteration to an existing single-family residence. The premises are located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.
Tax Numbers: 80.06 / 1 / 20; R-80 zoning district.

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, November 4, 2014 at which time the Board made the following determination:

Michael Esmay, Architect, appeared.

The following documents were presented:

1. Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages).

Michael Esmay, Architect, stated that the house was recently purchased by the Goldman's; that they are moving from Massachusetts to the house; that they are both writers; that the house was built around 1986; that they are adding a third floor to the existing house that will provide two work spaces with river views and a small bathroom; that the second floor is being expanded to add a dance/exercise space and the round sections of the house are being squared off; that the proposed changes are in keeping with the character of the neighborhood; that there will not be a new barn structure; and that the roof shall be slate grey asphalt shingles; the gutter and leaders shall be copper; that windows and doors shall be green and the cedar shingles shall be painted dune gray.

PUBLIC COMMENT:

No public comment.

TOWN CLERKS OFFICE

NOV 13 11 26 AM '14

TOWN OF ORANGETOWN

FINDINGS OF FACT:

1. The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed (Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages).) are complimentary to the District.
1. The roof shall be grey asphalt GAF shingle.
2. The siding shall be painted dune grey cedar shingles.
3. The soffits and fascia shall be grey 1" x6" T & G Pine
4. The gutters and leaders shall be half round copper.
5. The windows shall be forest green vinyl clad wood Andersen window.
6. The trim shall be white composite azek.
7. The garage doors shall be custom wood and glass.
8. There will not be a barn structure constructed at this time.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

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PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERKS OFFICE
2014 NOV 13 AM 11:26
TOWN OF ORANGETOWN

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.


DECISION: In view of the foregoing and the testimony before the Board, the application; addition [Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages)] is APPROVED.

The foregoing resolution was presented and moved by Thano Schoppel, seconded by Larry Bucciarelli; and carried as follows: Larry Bucciarelli, aye; Wayne Garrison, aye; William Walther, aye; Scott Wheatley, aye; and Thano Schoppel, aye. Joseph Chabot and Margaret Raso were absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: November 4, 2014

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR. PB. FILE
PB. ZBA, ACABOR CHAIRMAN

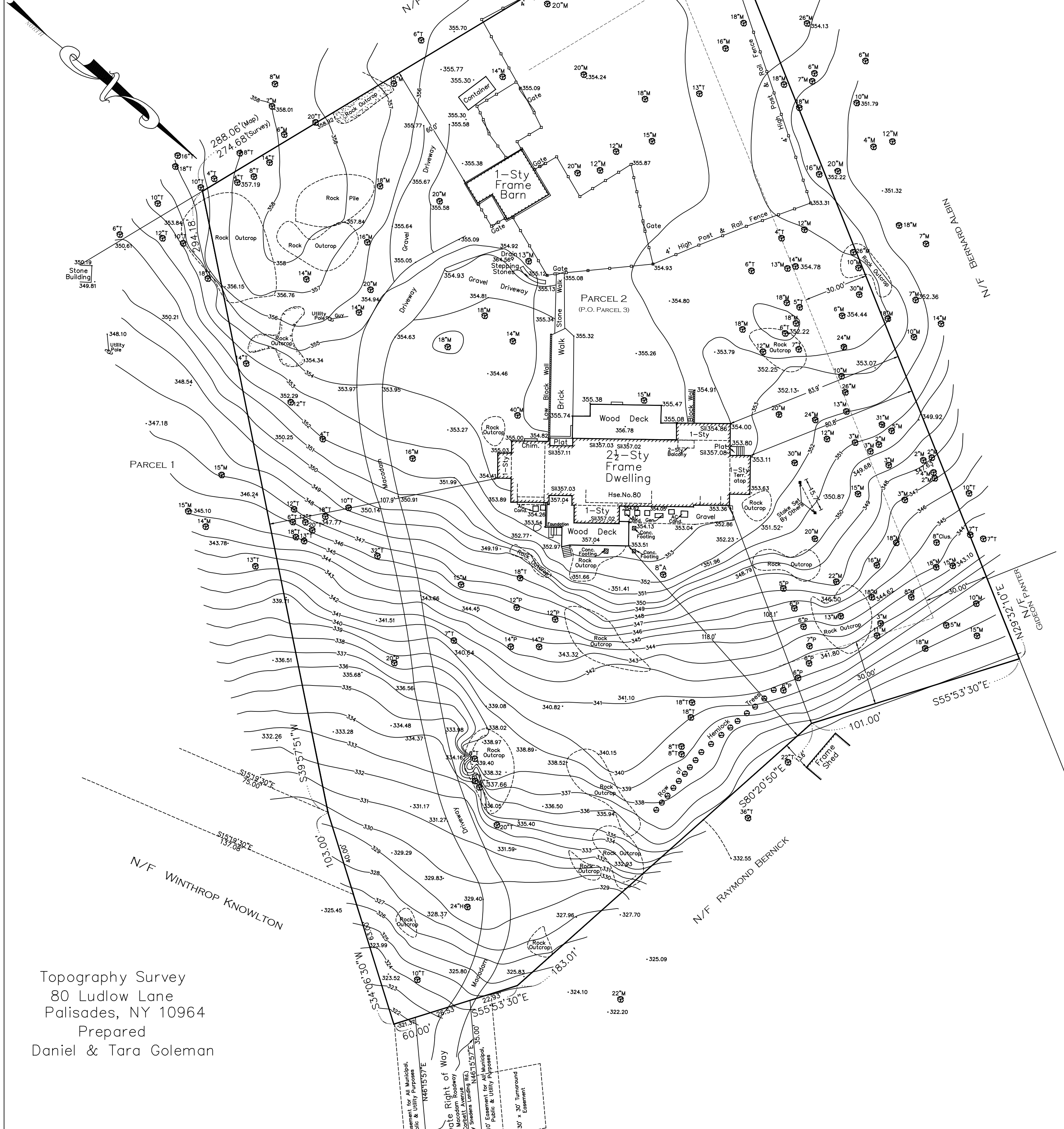
TOWN OF ORANGETOWN
2014 NOV 13 AM 11 26
TOWN CLERKS OFFICE

Survey of plot situate in the Village and Town of Orangetown, County of Rockland and State of New York, shown and designated as Parcel No. 2 on a certain Map entitled, "Minor Subdivision for Grace Knowlton in Palisades, Town of Orange-Town, Rockland County, New York", dated July 9, 1980 revised July 28, 1980 and filed in the Rockland County Clerk's Office on July 13, 1981 in Book 97 of Maps Page 28 as Map No. 5272, also being portion of Parcel No. 3 on a certain map entitled, "Minor Subdivision for Winthrop Knowlton in Palisades, Town of Orangetown, County of Rockland and State of New York, dated February 4, 1967, last revised January 18, 1968 and filed in the Rockland County Clerk's Office on January 25, 1968 in Book 74 of Maps Page 54 as Map No. 3673. Together with an easement in common with others for ingress and egress over a 20 foot wide Right of Way and the Northerly Extension of Ludlow Lane therefrom leading to Corbett Avenue.

Certification: Town of Orangetown

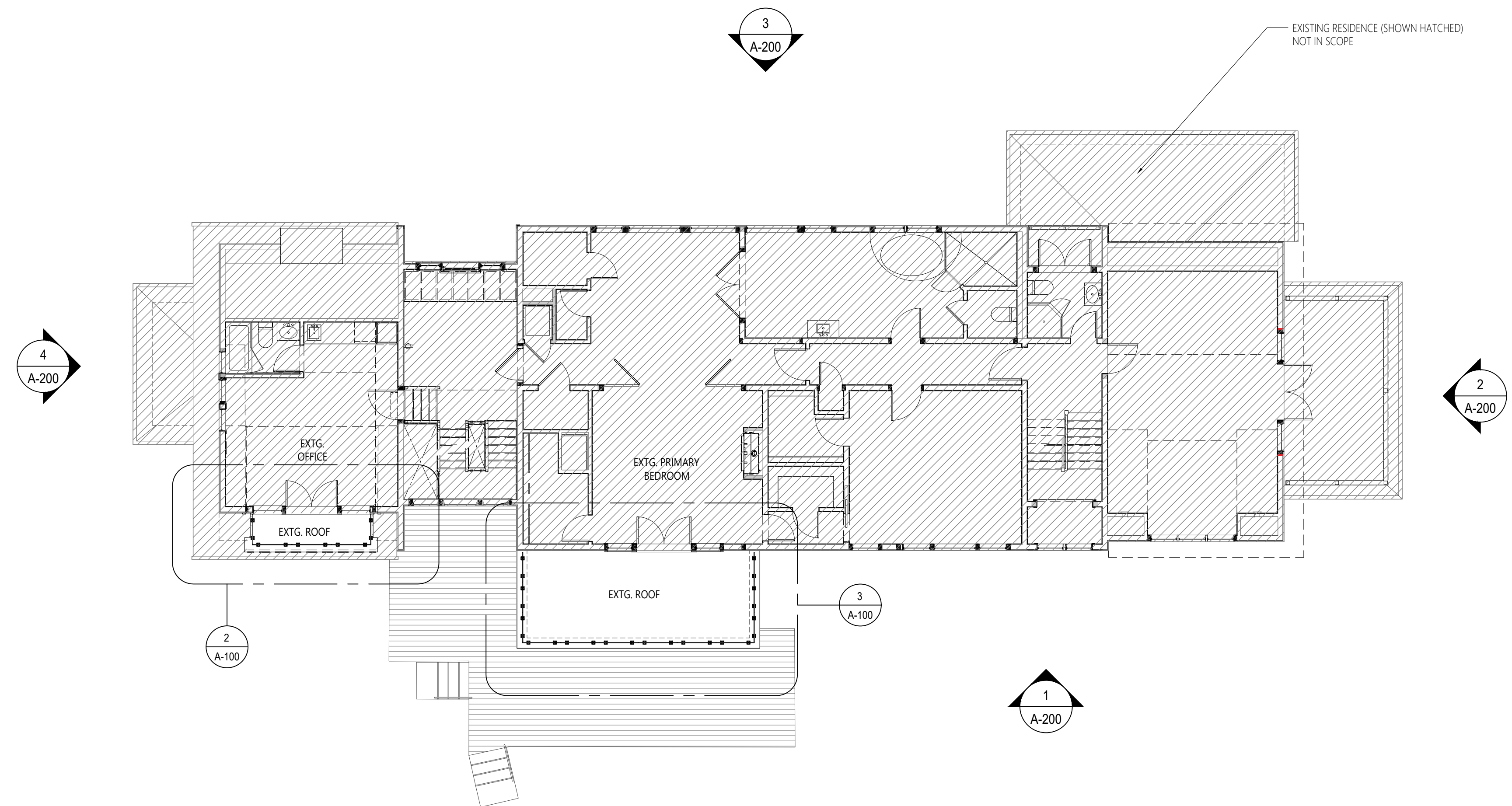
Block1, Lot 20 Area=116,070.6 sq.ft. 2.66 acres

Ronald Persaud
 LAND SURVEYING, P.C.
 15 South Tenth Ave
 Mount Vernon, N.Y. 10550
 Tele : (914) 523-5808
 Email: ronaldpersaud1510@gmail.com



Topography Survey
 80 Ludlow Lane
 Palisades, NY 10964
 Prepared
 Daniel & Tara Goleman

RONALD PERSAUD N.Y.S. LIC. No. 051087

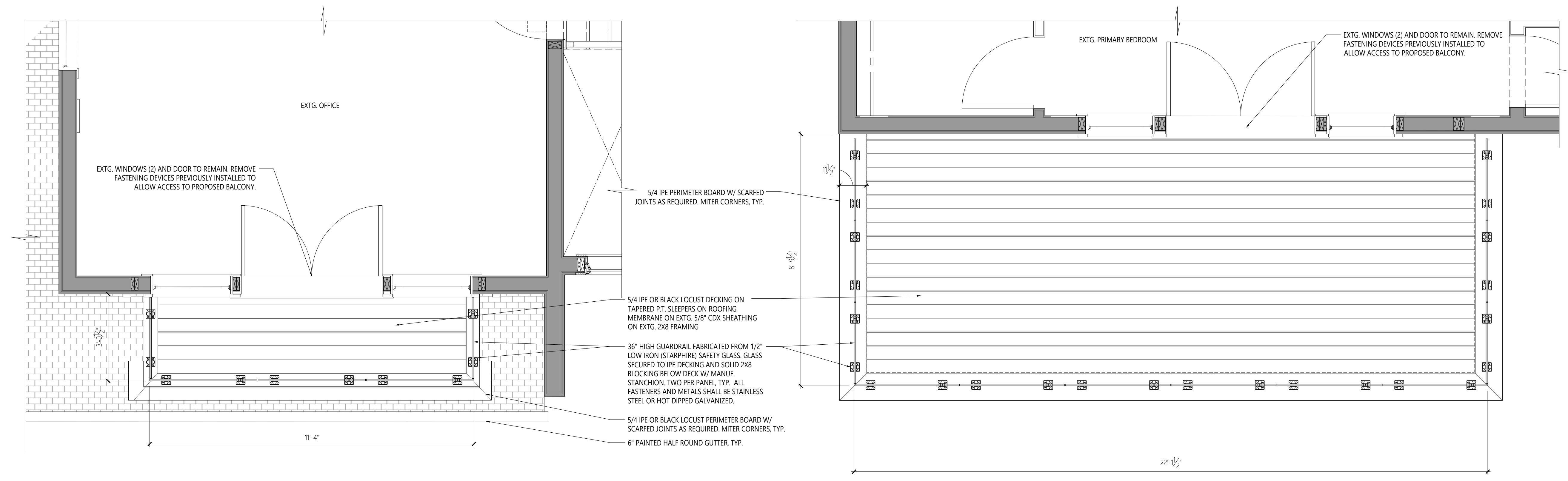


1 SECOND FLOOR KEY PLAN
SCALE: 1/8" = 1'-0"

- ENERGY CODE NOTES:
1. BECAUSE THERE IS NO CONDITIONED SPACE, THERE ARE NO THERMAL ENVELOPE REQUIREMENTS.
 2. THE EXTERIOR AND INTERIOR LIGHT FIXTURES WILL BE LED AND COMPLY WITH THE APPLICABLE NYS ENERGY CODE REQUIREMENTS.

DESIGN LOADS		
ROOF	LIVE LOAD - SNOW	30 PSF
	DEAD LOAD	15 PSF
	WIND LOAD	10 PSF
FLOORS	LIVE LOAD	40 PSF
	DEAD LOAD	15 PSF
RAILINGS		200 LBS. LATERAL
PRESUMPTIVE SOIL BEARING PRESSURE		4,000 PSF

- GENERAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE APPLICABLE BUILDING CODE AND OTHER FEDERAL, STATE, AND MUNICIPAL REGULATIONS. THE WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED AND TO THE BEST OF OUR KNOWLEDGE IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 NEW YORK STATE RESIDENTIAL CODE.
 2. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS, DRAWING NOTES AND SPECIFICATIONS, OR THE STANDARD REFERENCES IN THE DRAWINGS AND NOTES, THE MORE STRINGENT PROVISION SHALL GOVERN.
 3. ANY UNAUTHORIZED MODIFICATION OF PLANS BEARING THE SEAL OF AN ARCHITECT LICENSED BY THE STATE OF NEW YORK IS A VIOLATION OF STATE LAW.
 4. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF WORK AND EQUIPMENT INCLUDED IN THE SCOPE OF WORK. TYPICAL MINOR DETAILS AND ASSEMBLIES ALTHOUGH NOT SHOWN OR SPECIFIED, NECESSARY FOR PROPER CONSTRUCTION AND OPERATION OF ANY PART OF THE WORK, AND TO MATCH THE QUALITY AND APPEARANCE OF ANY EXISTING CONSTRUCTION AND SHALL BE INCLUDED IN THE WORK THE SAME AS IF SPECIFIED OR INDICATED. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK.
 5. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THEIR WORK.
 6. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH BUILDING DEPT. AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK TO START PRIOR TO OBTAINING PERMITS.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFORM TO THESE PLANS AND ALL OTHER APPLICABLE REGULATIONS.
 8. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 9. ALL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, AND SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
 10. INSULATE ANY EXPOSED STUD CAVITY AT AN EXTERIOR WALL, TYP.



2 OFFICE BALCONY DETAIL PLAN
SCALE: 1/2" = 1'-0"

3 PRIMARY BEDROOM BALCONY DETAIL PLAN
SCALE: 1/2" = 1'-0"

08/26/2024	HABR APPLICATION
08/01/2024	PERMIT APPLICATION

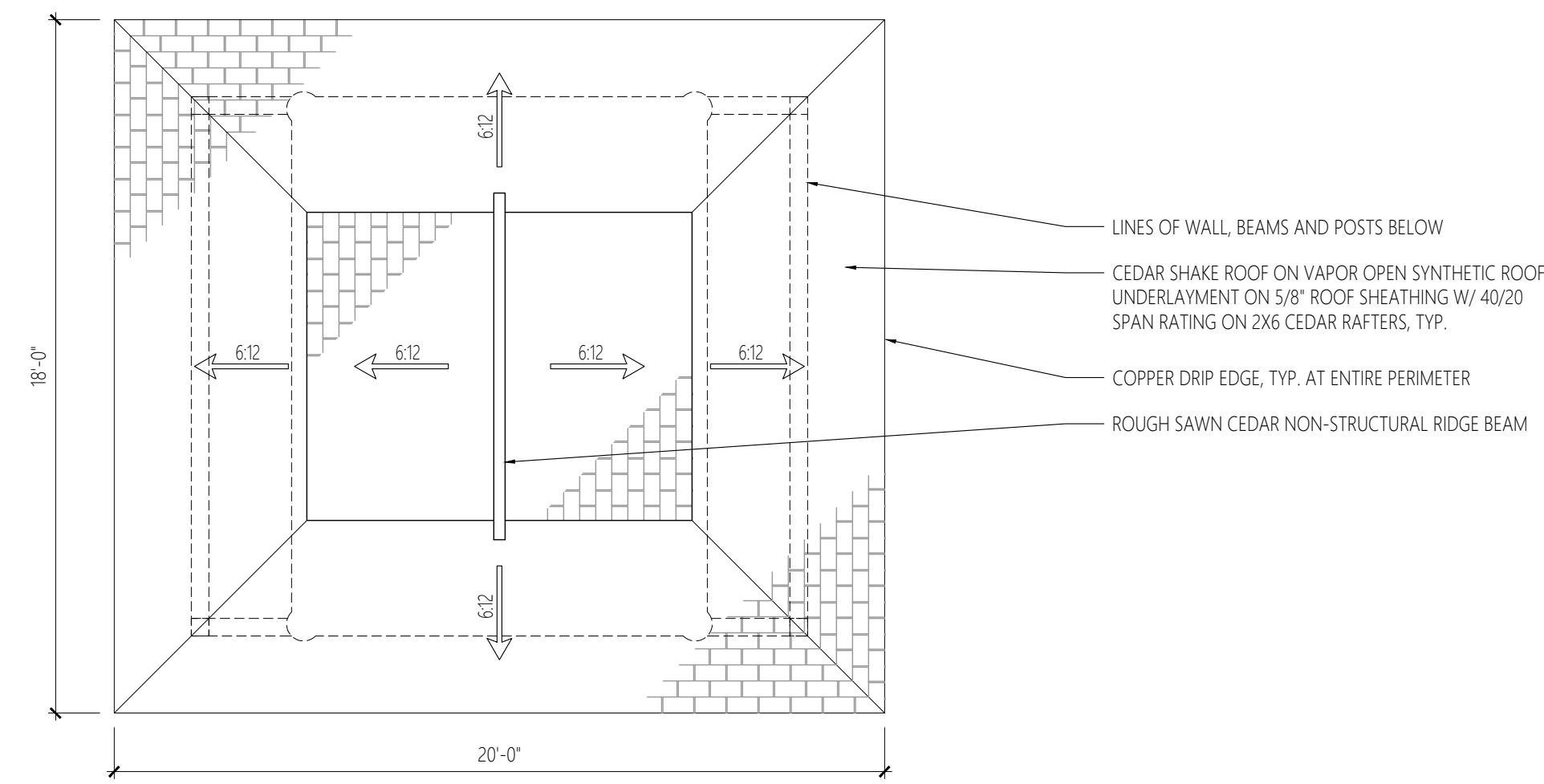
ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

80 LUDLOW LANE RESIDENCE
PALISADES, NY

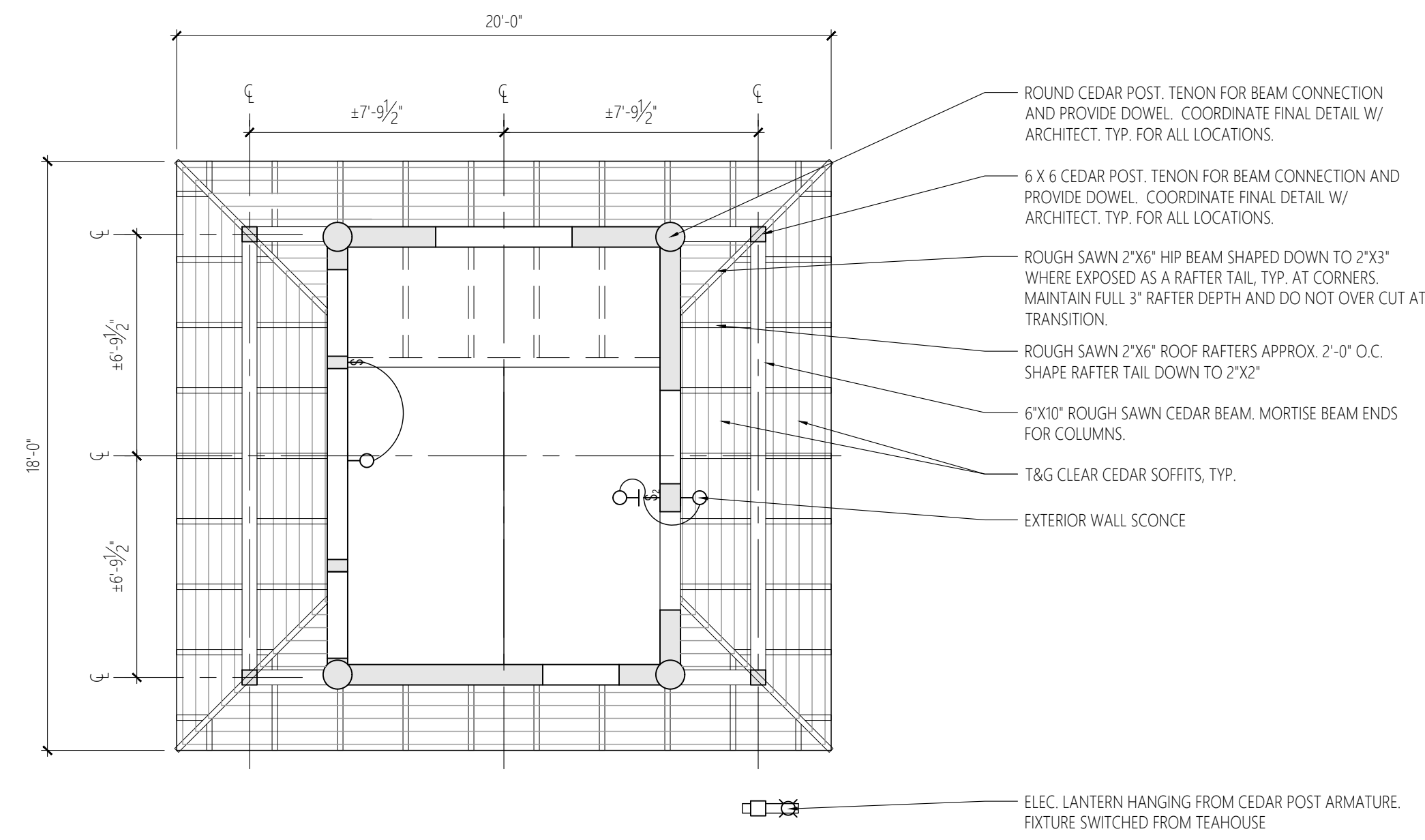
RESIDENCE SECOND FLOOR & DETAIL PLAN



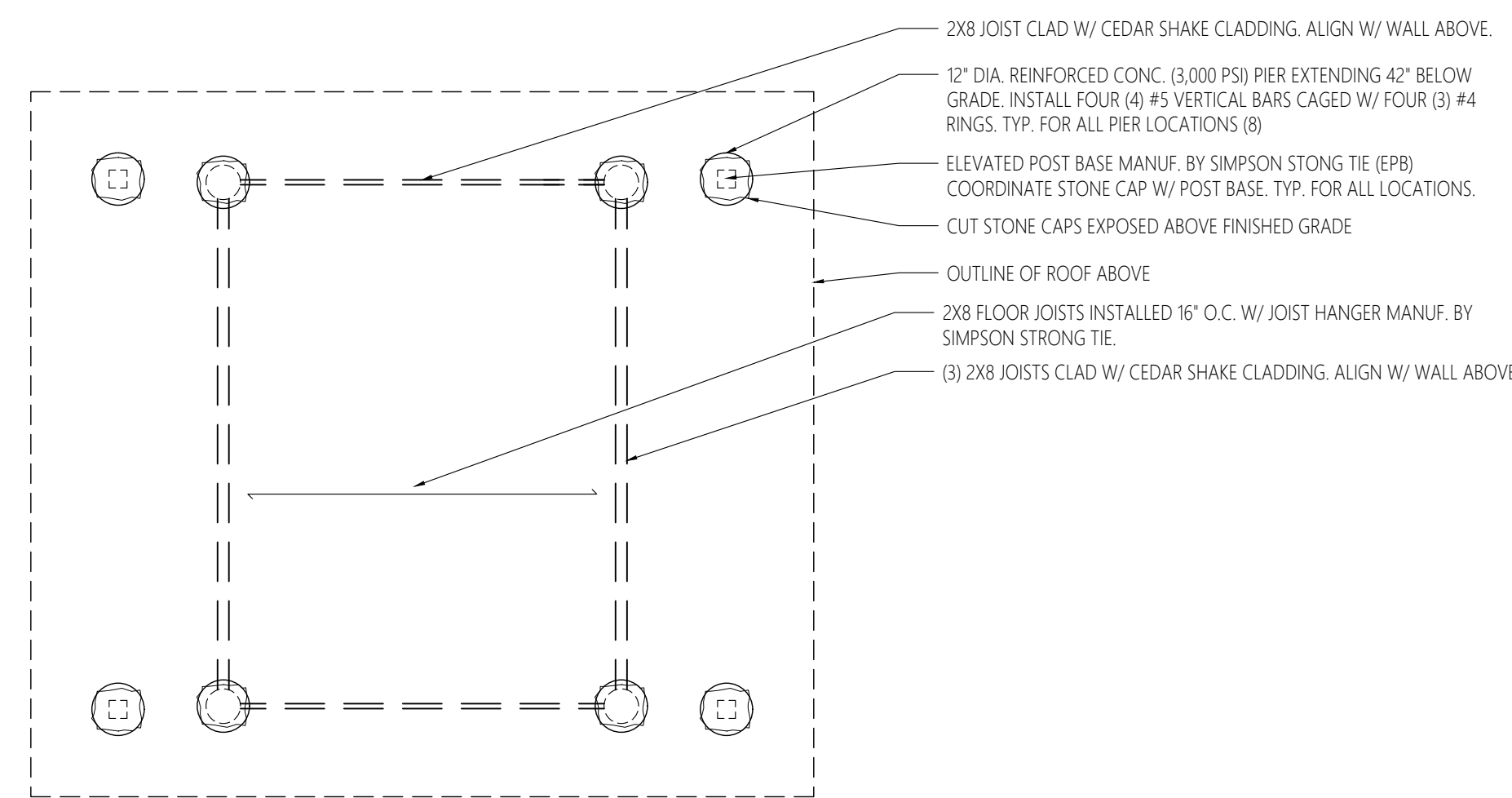
PROJECT NO. 151 LUD
A-100



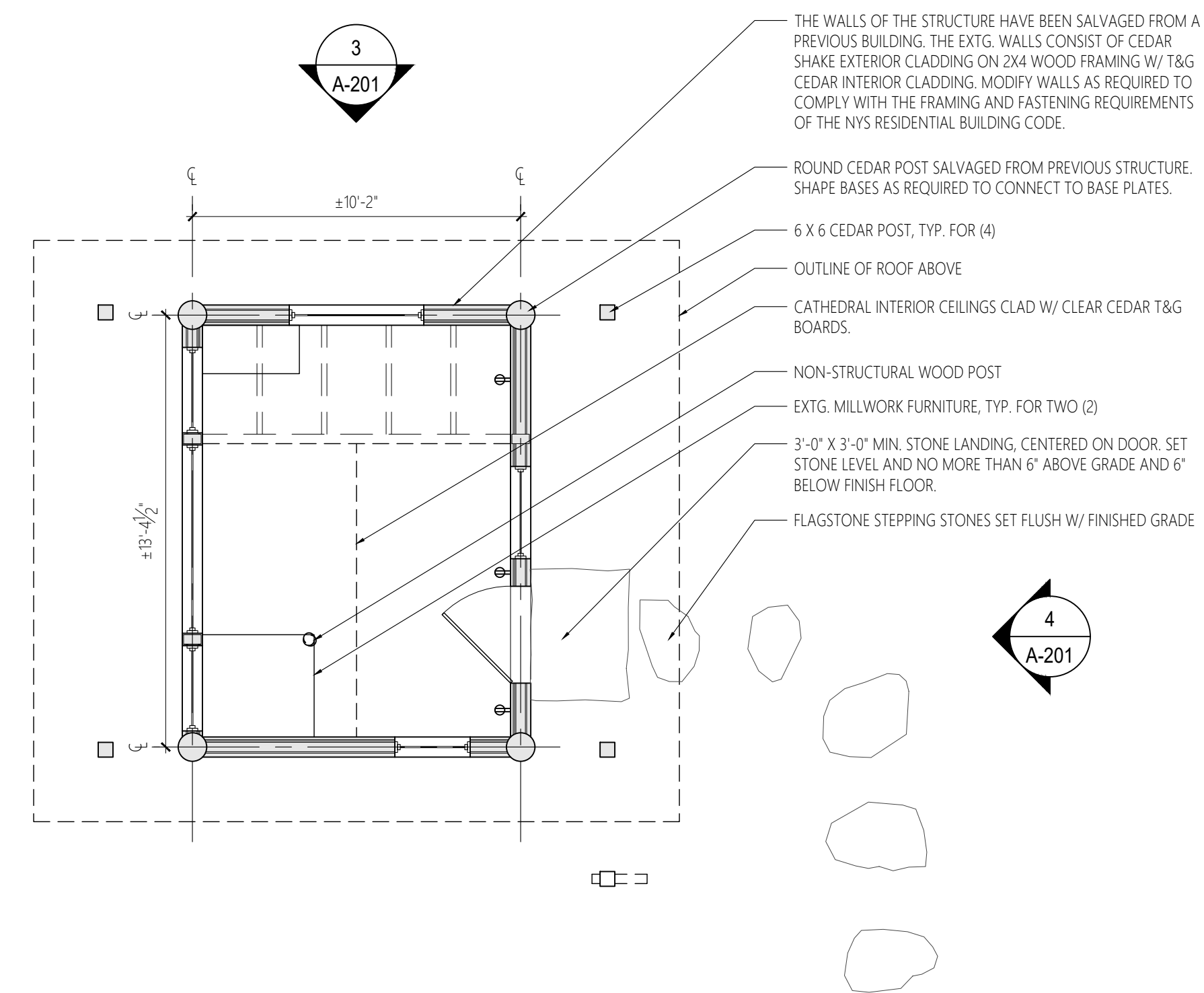
4 ROOF PLAN
SCALE: 1/4" = 1'-0"



3 SCALE: 1/4" = 1'-0"
FIRST FLOOR REFLECTED CEILING PLAN



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ENERGY CODE NOTES:

1. BECAUSE THERE IS NO CONDITIONED SPACE, THERE ARE NO THERMAL ENVELOPE REQUIREMENTS.
2. THE EXTERIOR AND INTERIOR LIGHT FIXTURES WILL BE LED AND COMPLY WITH THE APPLICABLE NYS ENERGY CODE REQUIREMENTS.

DESIGN LOADS

ROOF	LIVE LOAD - SNOW	30 PSF
	DEAD LOAD	15 PSF
	WIND LOAD	10 PSF
FLOORS	LIVE LOAD	40 PSF
	DEAD LOAD	15 PSF
RAILINGS		200 LBS. LATERAL
PRESUMPTIVE SOIL BEARING PRESSURE		4,000 PSF

GENERAL NOTES:

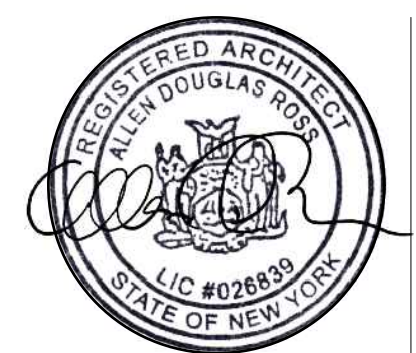
1. ALL WORK SHALL COMPLY WITH THE APPLICABLE BUILDING CODE AND OTHER FEDERAL, STATE, AND MUNICIPAL REGULATIONS. THE WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED AND TO THE BEST OF OUR KNOWLEDGE IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 NEW YORK STATE RESIDENTIAL CODE.
2. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS, DRAWING NOTES AND SPECIFICATIONS, OR THE STANDARD REFERENCES IN THE DRAWINGS AND NOTES, THE MORE STRINGENT PROVISION SHALL GOVERN.
3. ANY UNAUTHORIZED MODIFICATION OF PLANS BEARING THE SEAL OF AN ARCHITECT LICENSED BY THE STATE OF NEW YORK IS A VIOLATION OF STATE LAW.
4. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF WORK AND EQUIPMENT INCLUDED IN THE SCOPE OF WORK. TYPICAL MINOR DETAILS AND ASSEMBLIES ALTHOUGH NOT SHOWN OR SPECIFIED, NECESSARY FOR PROPER CONSTRUCTION AND OPERATION OF ANY PART OF THE WORK, AND TO MATCH THE QUALITY AND APPEARANCE OF ANY EXISTING CONSTRUCTION AND SHALL BE INCLUDED IN THE WORK THE SAME AS IF SPECIFIED OR INDICATED. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THEIR WORK.
6. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH BUILDING DEPT. AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK TO START PRIOR TO OBTAINING PERMITS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFORM TO THESE PLANS AND ALL OTHER APPLICABLE REGULATIONS.
8. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
9. ALL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, AND SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
10. INSULATE ANY EXPOSED STUD CAVITY AT AN EXTERIOR WALL, TYP.

08/26/2024	HABR APPLICATION
08/01/2024	PERMIT APPLICATION

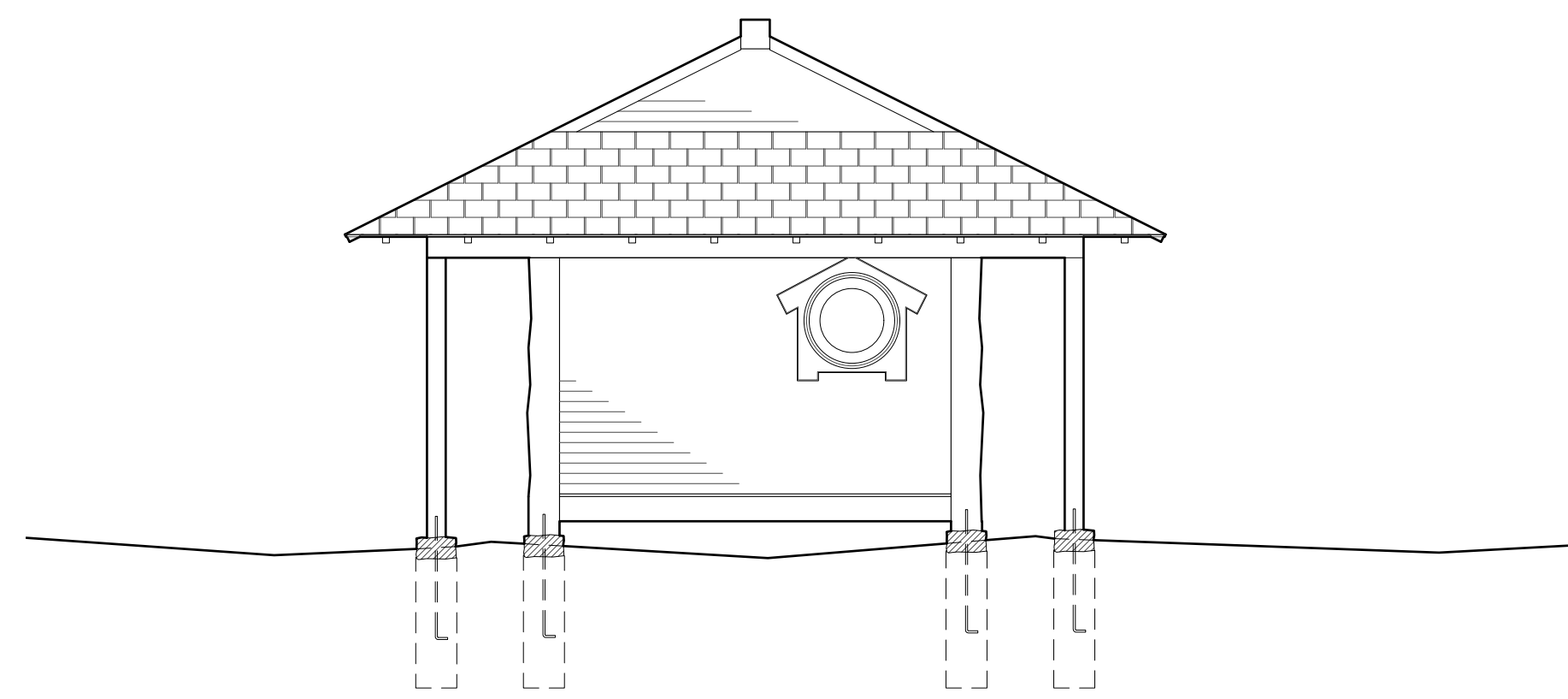
ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY 845.255.0114

80 LUDLOW LANE RESIDENCE
PALISADES, NY

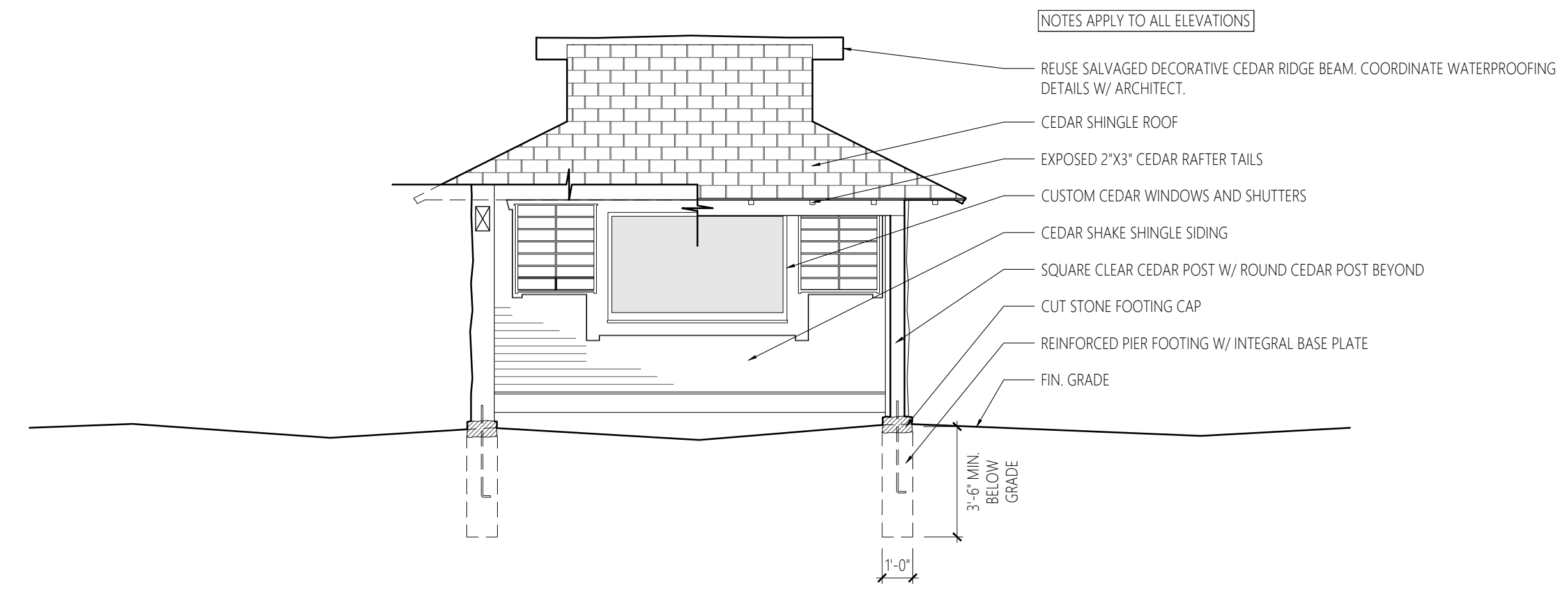
TEAHOUSE PLANS



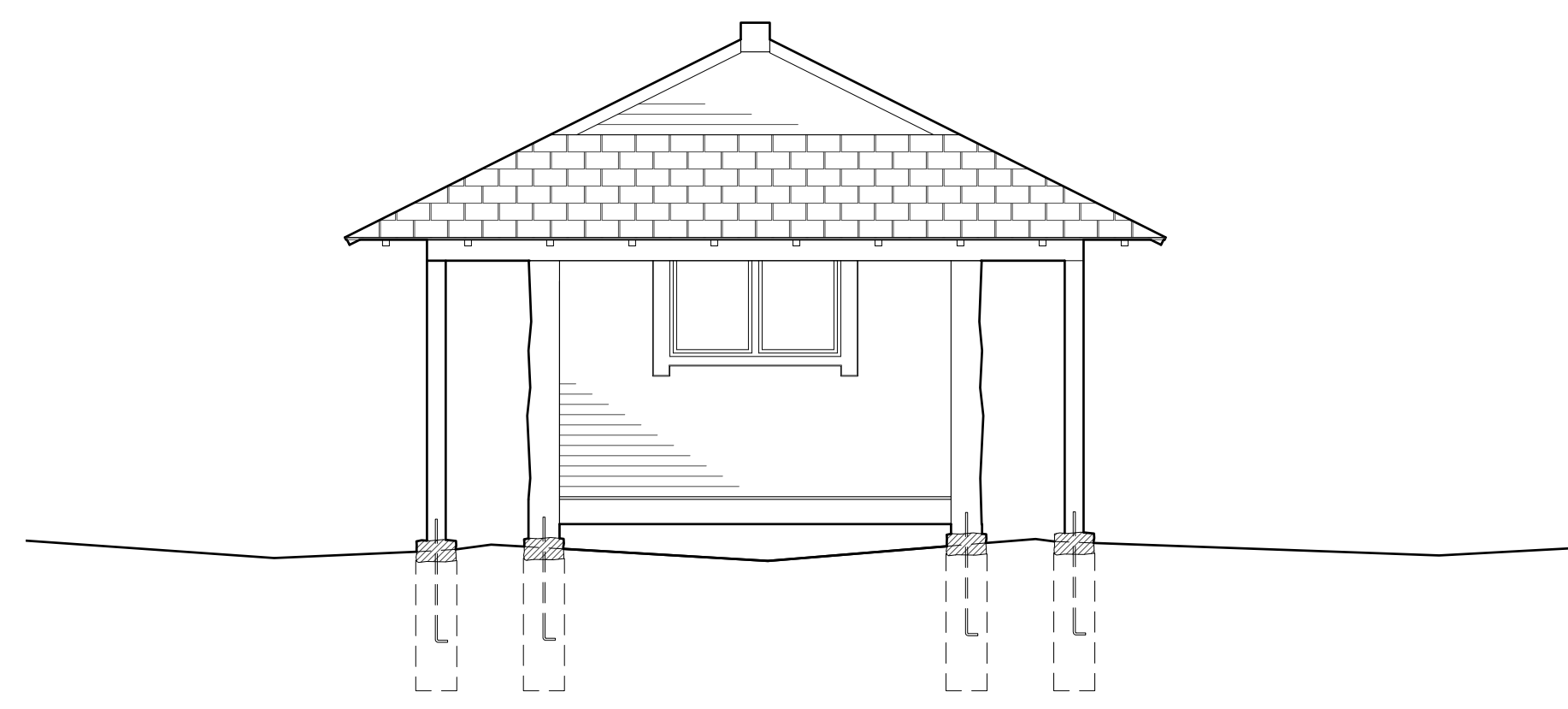
PROJECT NO. 151 LUD
A-101



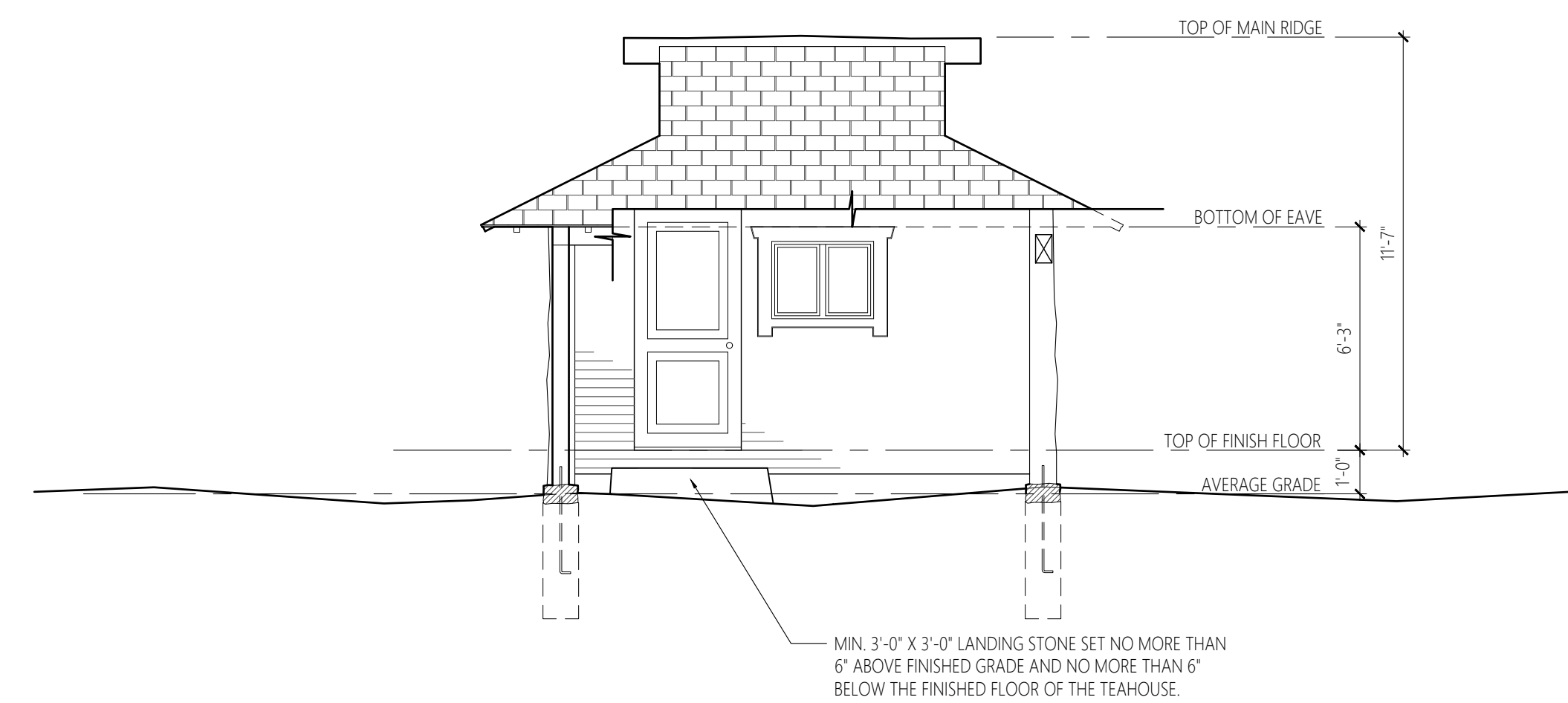
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

08/26/2024 HABR APPLICATION
08/01/2024 PERMIT APPLICATION

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
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80 LUDLOW LANE RESIDENCE
PALISADES, NY

TEAHOUSE ELEVATIONS



PROJECT NO. 151 LUD
A-201



GLASS RAILING-VIEW 1



GLASS RAILING-VIEW 2



TEAHOUSE-VIEW 1



TEAHOUSE-VIEW 2



TEAHOUSE-VIEW 3



TEAHOUSE PHOTOGRAPHS



PROPOSED HANGING LANTERN



PROPOSED GLASS STANCHION - PATINATED STAINLESS STEEL