

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS SHEET	DESCRIPTION
A-0	SITE LOCATION PLAN, NOTES, LIST OF DRAWINGS
A-1	NYS CODE ANALYSIS
A-2	FIRST AND SECOND FLOOR PLAN
A-3	FIRST AND SECOND FLOOR POWER / TELE DATA AND RCP PLAN
A-4	ELEVATIONS
A-5	PARTITION TYPES AND DETAILS
A-6	ADA TOILET ELEVATIONS AND DETAILS
A-7	DOOR SCHEDULE

GENERAL NOTES

NYS ENERGY CODE / 2020 NYS Energy Construction Code - Commercial - Stretch CLIMATE ZONE 5 - PRESCRIPTIVE REQUIREMENTS - Table C402.1.3		
ENVELOPE COMPONENT	R VALUE REQUIRED	R VALUE PROVIDED EXISTING BUILDING CODE
EXTERIOR WALL	13 + 3.0ci OR R20	R-21
INSULATION ABOVE DECK/R-33		N/A
FLOOR	R-30	N/A
FOUNDATION WALL	R-7.5 ci	N/A
SHARPE INSULATION	R-10/2'-0" down	K-10/2'-0" down
CRAWLSPACE	N/A	N/A
GLAZING	U-.45 SHGC-.36	U-.27 Energy Star Compliant SHGC-.29
SKYLIGHTS	U-.55	N/A
EXTERIOR DOORS	U-.77	U-.77 - Energy Star Compliant
PENETRATION	U-.35	N/A
MEP - Design by others		
EQUIPMENT SIZING: Existing / Design by others		

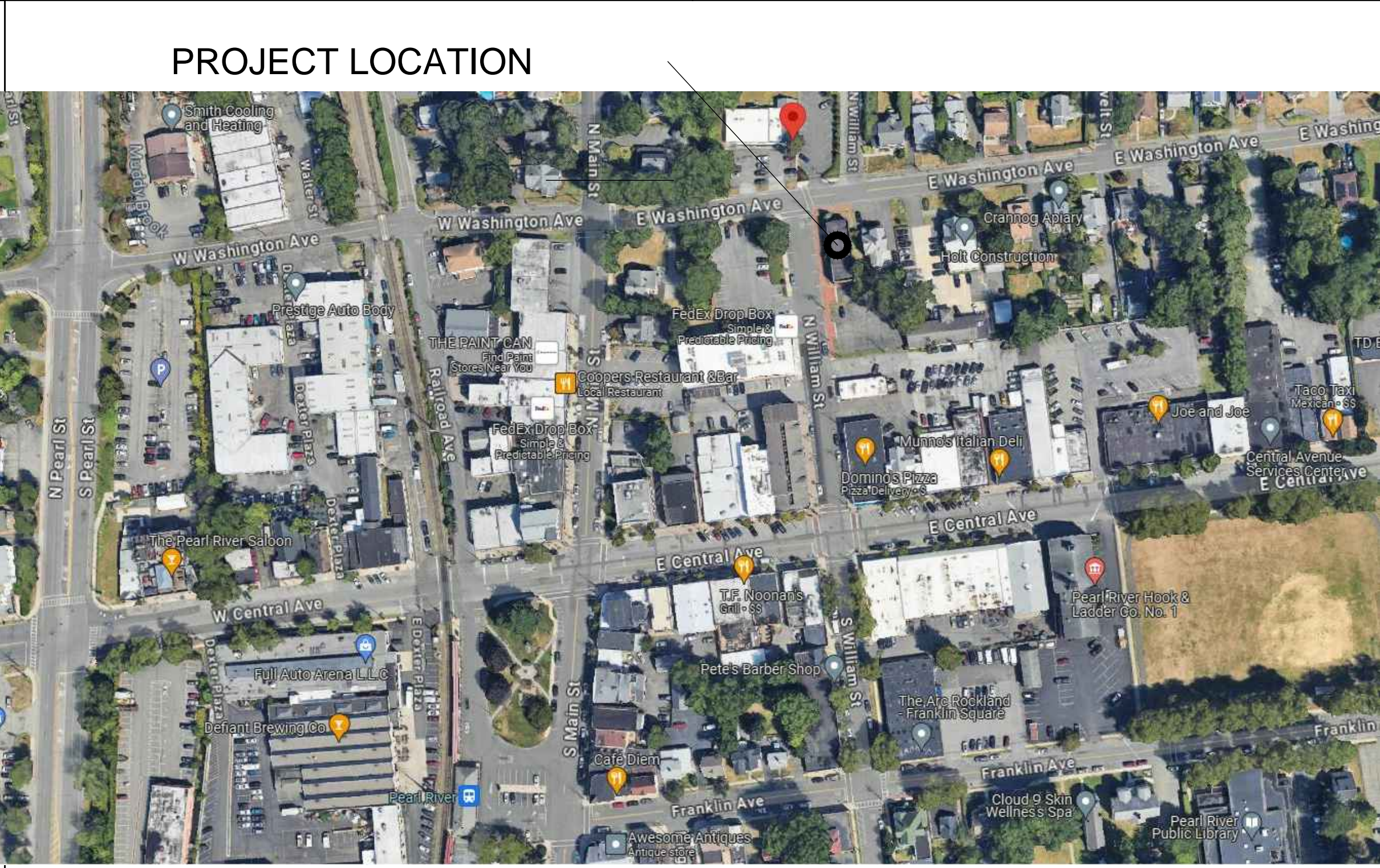
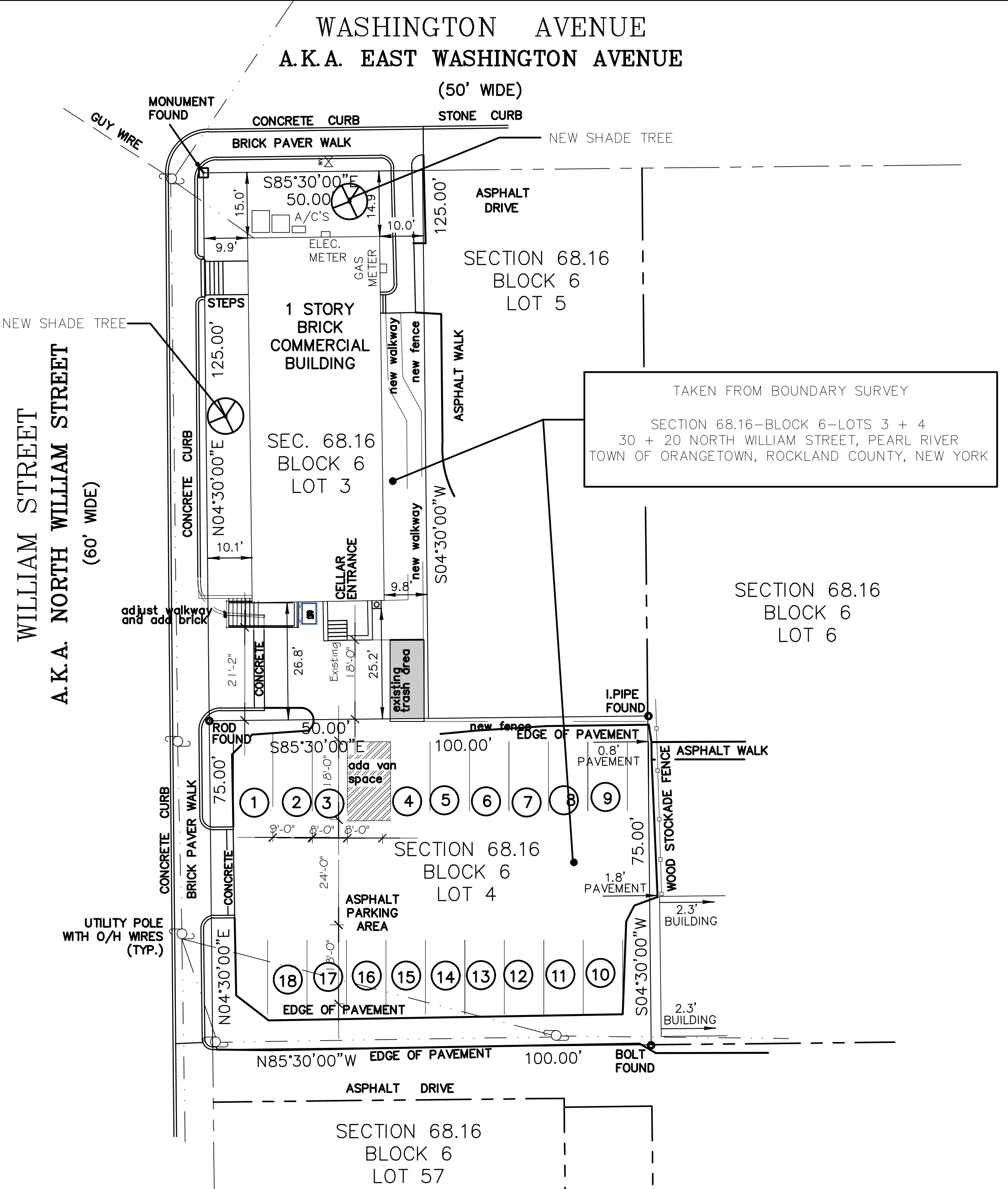
I hereby state to the best of my professional knowledge and abilities that the proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the Current New York State Energy Conservation Construction Code and adopted stretch code. The signature and seal on such documents attests to the above statement.

Karl Ackermann, AIA

- GENERAL NOTE:**
- Code Compliance 4 Building Standards: All work and materials shall conform and comply with all local codes, ordinances and the following authorities as applicable:
2020 NYS Existing Building Code - Primary Compliance - below as referenced
2020 NYS BUILDING CODE
2020 NYS Energy Conservation Construction Code and Stretch Code as applicable
2020 NYS FIRE BUILDING CODE
2020 NYS Mechanical Building Code
2020 NYS FUEL GAS BUILDING CODE
2020 NYS Existing Building Code
2017 National Electric Code
National Fire Underwriter Code
 - Contractor to consider all dimensions approximate pending field verification, prior to construction, consult architect as required.
 - Contractor to furnish and provide all labor materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner, job shall be ready for occupancy in a good workmanship manner with all work done as shown or reasonable intended on documents. It shall include but not limited to:
A. Building permit
B. Certificate of Insurance
C. Demolition as required
D. Excavation
E. Masonry
F. Carpentry
G. Roofing and Flashing
H. Siding
I. Caulking/Sealant
J. Gutters and leaders
K. Insulation
L. Gypsum board and taping
M. Painting and Finishing
N. Trim work
O. Heating
P. Electrical
Q. Plumbing
 - Contractor shall furnish and install interior paint and exterior paint as specified.
 - All framing to be as per partition types if lumber to be #2 Douglas Fir or better. All new work and materials unless otherwise specified shall match existing construction.
 - All materials shall be installed in strict accordance with manufacturers specifications.
 - All windows are to be "ANDERSEN or equal Windows" as shown on the drawings. Prong to include grilles and screens. Contractor to also include interior extension jams for 4/6" stud walls additional extensions required shall be field installed and casing to match existing trim. Contractor to also include hand lift hardware. Contractor to provide epoxy for window finish.
 - Heating contractor shall provide a complete system that meets energy star requirements and NYS State and stretch Codes - if new.
 - Electrical contractor shall provide a complete system as per plans that connects to existing services and panels.
 - Plumbing contractor shall provide a complete system and connect to existing system.
 - Energy Code Compliance shall be Prescriptive Commercial Stretch NYS Code Compliant

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way if an item bearing the seal of an architect is altered. The altering architect shall affix to his item the seal of the architect. The altering architect shall also indicate the date of such alteration, and a specific description of the alteration.

SITE LOCATION PLAN AND VICINITY MAP



BULK TABLE & ZONING

SITE DATA 30 NORTH WILLIAM STREET - PEARL RIVER NY 10965
ZONING BULK TABLE TAX MAP - SECTION SECTION 68.16-BLOCK 6-LOTS 3 + 4 - CS ZONE - GROUP FF

REQUIRED - LOT 3	EXISTING - LOT 3	PROPOSED - LOT 3
LOT REQUIRED 2,500 S.F.	6,250 S.F.	6,250 S.F.
FAR - 1.00 (100 %)	EXISTING FAR - 5,114 / 6,250 S.F. = .818 (81.82 %)	EXISTING FAR - 5,114 / 6,250 S.F. = .818 (81.82 %)
FRONT YARD SET BACK: 0/45'-0" - Corner Lot	EXISTING 14.9' (Washington) - 9.9' (N. William Street)	EXISTING 14.9' (Washington) - 9.9' (N. William Street)
SIDE YARD SET BACK: 0/12'-0"	EXISTING 9.8'	EXISTING 9.8'
COMBINED SIDE YARD SETBACK - 0/25'-0" REQUIRED	n/a - Corner Lot	n/a - Corner Lot
REAR YARD SET BACK: 0/25'-0"	EXISTING NON CONFORMING 18'-0"	EXISTING NON CONFORMING 18'-0"
LOT WIDTH: 25'-0"	EXISTING 25'	EXISTING 25'
STREET FRONTAGE: 25'-0"	EXISTING 175'	EXISTING 175'
HEIGHT 1'-0" PER 1'-4"	EXISTING NO CHANGE	EXISTING NO CHANGE

144 E Central Avenue - SF/Parking Analysis - CS Zone

Principal Structure - Business Use

2,275 s.f. - First Floor (ACTUAL COMMERCIAL S.F.)
2,275 s.f. - Second Floor (ACTUAL COMMERCIAL S.F.)
4,550 s.f. Total

Actual Business area minus stairs / mep
1,055s.f. = 3,495 s.f.

Existing Uses

3,495 s.f. Commercial Office Space
/ 200 s.f. per car = 17 cars (Existing 18)

12 cars provided and 1 ada parking space which is van compliant. (13 required - 14 total provided)

EXISTING SITE LOCATION PLAN

THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY OWNER BY JAMES G. SCHUBERTMAN DATED 3/26/24. THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.

SCALE: 1"=20'-0"

Existing Building Alterations for PR REAL ESTATE PARTNERS LLC

30 North William Street, Pearl River New York, 10965
SBL: SECTION 68.16-BLOCK 6-LOTS 3 + 4

Issue Date:

Revisions	Date
1 Interior Demo Permit	5/10/24
2 Permit	7/15/24
3 ARB	7/30/24
4	

Sheet No.
A-0

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NJ LSC: 7101054500

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NY CODE REVIEW

CODE ANALYSIS

Code Compliance 4 Building Standards: All work and materials shall conform and comply with all local codes, ordinances and the following authorities as applicable:

2020 NYS Existing Building Code - Primary Compliance - below as referenced
2020 NYS BUILDING CODE
2020 NYS Energy Conservation Construction Code and Stretch Code as applicable
2020 NYS FIRE BUILDING CODE
2020 NYS Mechanical Building Code
2020 NYS FUEL GAS BUILDING CODE
2020 NYS Existing Building Code
2017 National Electric Code
National Fire Underwriter Code

NEW YORK STATE EXISTING BUILDING CODE

CHAPTER 6 - CLASSIFICATION OF WORK

SECTION 601 - GENERAL

601.1 Scope.
The provisions of this chapter shall be used in conjunction with Chapters 7 through 12 and shall apply to the alteration, addition and change of occupancy of existing structures, including historic and moved structures, as referenced in Section 301.3.2. The work performed on an existing building shall be classified in accordance with this chapter.

601.1.1 Compliance with other alternatives.
Alterations, additions and changes of occupancy to existing structures shall comply with the provisions of Chapters 7 through 12 or with one of the alternatives provided in Section 301.3.

601.2 Work area.
The work area, as defined in Chapter 2, shall be identified on the construction documents.

SECTION 604 - ALTERATION LEVEL 3

604.1 Scope.
Level 3 alterations apply where the work area exceeds 50 percent of the building area.

604.2 Application.
Level 3 alterations shall comply with the provisions of Chapters 7 and 8 for Level 1 and 2 alterations, respectively, as well as the provisions of Chapter 9.

CHAPTER 9-ALTERATIONS—LEVEL 3

SECTION 901-GENERAL

901.1 Scope.
Level 3 alterations as described in Section 604 shall comply with the requirements of this chapter.

901.2 Compliance.
In addition to the provisions of this chapter, work shall comply with all of the requirements of Chapters 7 and 8. The requirements of Sections 802, 803, 804, and 805 shall apply within all work areas whether or not they include exits and corridors shared by more than one tenant and regardless of the occupant load.

Exception: Buildings in which the reconfiguration of space affecting exits or shared egress access is exclusively the result of compliance with the accessibility requirements of Section 305.7 shall not be required to comply with this chapter.

SECTION 903 -BUILDING ELEMENTS AND MATERIALS

903.1 Existing shafts and vertical openings.
Existing stairways that are part of the means of egress shall be enclosed in accordance with Section 802.2.1 from the highest work area floor to, and including, the level of exit discharge and all floors below.

903.3 Interior finish.
Interior finish in exits serving the work area shall comply with Section 802.4 between the highest floor on which there is a work area to the floor of exit discharge.

SECTION 904 - FIRE PROTECTION

904.1 Automatic sprinkler system

904.1 Automatic sprinkler systems.
An automatic sprinkler system shall be provided in a work area where required by Section 803.2 or this section. - Section noted all conditions do not occur and occupant load under 30.

904.2 Fire alarm and detection systems.
Fire alarm and detection shall be provided in accordance with Section 907 of the Building Code of New York State as required for new construction.

SECTION 905-MEANS OF EGRESS

905.1 General.
The means of egress shall comply with the requirements of Section 805 except as specifically required in Sections 905.2 and 905.3.

905.2 Means-of-egress lighting.
Means of egress from the highest work area floor to the floor of exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the Building Code of New York State.

905.3 Exit signs.
Means of egress from the highest work area floor to the floor of exit discharge shall be provided with exit signs in accordance with the requirements of the Building Code of New York State.

SECTION 906-STRUCTURAL

[B5] 906.1 General.
Where buildings are undergoing Level 3 alterations, the provisions of this section shall apply.

906.2 Existing structural elements resisting lateral loads.
Where work involves a substantial structural alteration, the lateral load-resisting system of the altered building shall be shown to satisfy the requirements of Sections 1609 and 1613 of the Building Code of New York State. Reduced seismic forces shall be permitted.

The work proposed is not a substantial alteration to the existing structure and no increases in loads are proposed.

SECTION 907-ENERGY CONSERVATION

907.1 Minimum requirements.
Level 3 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the Energy Conservation Construction Code of New York State or Residential Code of New York State. The alterations shall conform to the energy requirements of the Energy Conservation Construction Code of New York State as they relate to new construction only. Interior furring walls were demolished and new furring shown on plans with insulation meeting code above requirements of this section to save money on energy. The building is currently a mass wall with no insulation.

NEW YORK STATE EXISTING BUILDING CODE

CHAPTER 8- ALTERATIONS— LEVEL 2 (AS REFERENCED BY LEVEL 3)

SECTION 801 - GENERAL

801.1 Scope.
Level 2 alterations as described in Section 603 shall comply with the requirements of this chapter.

Exception: Buildings in which the reconfiguration is exclusively the result of compliance with the accessibility requirements of Section 305.7 shall be permitted to comply with Chapter 7.

801.2 Alteration Level 1 compliance.
In addition to the requirements of this chapter, all work shall comply with the requirements of Chapter 7.

801.3 Compliance.
New construction elements, components, systems, and spaces shall comply with the requirements of the Building Code of New York State.

Exceptions:

1. Where windows are added they are not required to comply with the light and ventilation requirements of the Building Code of New York State.

2. Newly installed electrical equipment shall comply with the requirements of Section 807.

3. The length of dead-end corridors in newly constructed spaces shall only be required to comply with the provisions of Section 805.6.

4. The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet (2134 mm).

5. New structural members and connections shall be permitted to comply with alternative design criteria in accordance with Section 302.

SECTION 802- BUILDING ELEMENTS AND MATERIALS

802.1 Scope.
The requirements of this section are limited to work areas in which Level 2 alterations are being performed and shall apply beyond the work area where specified.

802.2 Vertical openings.
Existing vertical openings shall comply with the provisions of Sections 802.2.1, 802.2.2 and 802.2.3.

802.2.1 Existing vertical openings.
Existing interior vertical openings connecting two or more floors shall be enclosed with approved assemblies having a fire-resistance rating of not less than 1 hour with approved opening protectives.

802.2.2 Supplemental shaft and floor opening enclosure requirements.
Where the work area on any floor exceeds 50 percent of that floor area, the enclosure requirements of Section 802.2 shall apply to vertical openings other than stairways throughout the floor.

802.4 Interior finish.
The interior finish of walls and ceilings in exits and corridors in any work area shall comply with the requirements of the Building Code of New York State.

Exception: Existing interior finish materials that do not comply with the interior finish requirements of the Building Code of New York State shall be permitted to be treated with an approved fire-retardant coating in accordance with the manufacturer's instructions to achieve the required rating.

802.4.1 Supplemental interior finish requirements.
Where the work area on any floor exceeds 50 percent of the floor area, Section 802.4 shall apply to the interior finish in exits and corridors serving the work area throughout the floor.

Exception: Interior finish within tenant spaces that are entirely outside the work area.

SECTION 803 - FIRE PROTECTION

803.1 Scope.
The requirements of this section shall be limited to work areas in which Level 2 alterations are being performed, and where specified they shall apply throughout the floor on which the work areas are located or otherwise beyond the work area.

NEW YORK STATE BUILDING CODE - (AS REFERENCED BY EXISTING BUILDING CODE LEVEL 1, 2 & 3)

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

SECTION 302 - OCCUPANCY CLASSIFICATION AND USE DESIGNATION

SECTION 304 -BUSINESS GROUP B
B - Business

CHAPTERS - GENERAL BUILDING HEIGHTS AND AREAS

SECTION 504
BUILDING HEIGHT AND NUMBER OF STORIES

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE
B - Type VB - 40 feet

504.4 Number of stories.
The maximum number of stories of a building shall not exceed the limits specified in Table 504.4. - B - Type VB with No sprinklers - 2 stories.

SECTION 506 - BUILDING AREA

TABLE 506.2
B - with no sprinklers - 9,000 s.f.

CHAPTER C TYPES OF CONSTRUCTION

TYPE VB
Primary Frame - 0 Hours
Beaming walls 0 Hours
Exterior - 0 Hours
Interior - 0 Hours
Non Beaming walls and partitions Exterior - 0 Hours
Non Beaming walls and partitions Interior - 0 Hours
Floor Construction - 0 Hours
Roof Construction - 0 Hours

SECTION 1004 - OCCUPANT LOAD

1004.1 Design occupant load.
In determining means of egress requirements, the number of occupants for whom means of egress facilities are provided shall be determined in accordance with this section.

1004.5 Areas without fixed seating.
The number of occupants shall be computed at the rate of one occupant per unit of area as prescribed in Table 1004.5. For areas without fixed seating, the occupant load shall be not less than that number determined by dividing the floor area under consideration by the occupant load factor assigned to the function of the space as set forth in Table 1004.5. Where an intended function is not listed in Table 1004.5, the building official shall establish a function based on a listed function that most nearly resembles the intended function.

Exception: Where approved by the building official, the actual number of occupants for whom each occupied space, floor or building is designed, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.

TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT
Business areas 150 gross

Lower Level
B- OCCUPANCY - 2,104 / 150 = 14 OCCUPANTS
First Floor
B- OCCUPANCY - 1,525 / 150 = 10 - OCCUPANTS

Total = 24 - OCCUPANTS

NEW YORK STATE PLUMBING CODE

SECTION 403-MINIMUM PLUMBING FACILITIES

OCCUPANCY BREAKDOWN
Total = 24 - OCCUPANTS / 2 = 12 MALE & 12 FEMALE

403.1 Minimum number of fixtures.
Plumbing fixtures shall be provided in the minimum number as shown in Table 403.1, based on the actual use of the building or space. Uses not shown in Table 403.1 shall be considered individually by the building official. The number of occupants shall be determined by the Building Code of New York State.

Waterclosets
1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50
lavatory - 1 M & F required - 1 existing M&F and 1 ada M&F new provided - Total 4
1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80 - 1 required - 1 existing 1 ada new provided - Total 4
service sink - existing in mep room

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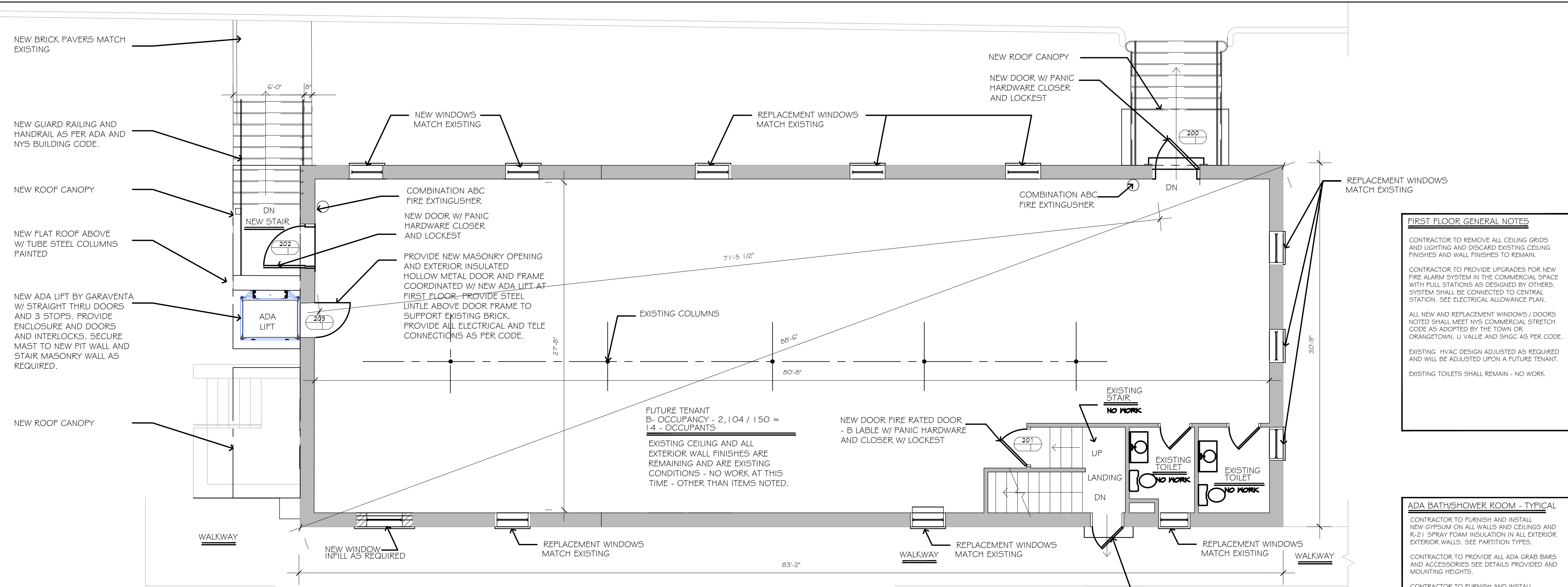
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Existing Building Alterations
for
PR REAL ESTATE PARTNERS LLC
30 North William Street, Pearl River New York, 10965
SBL: SECTION 68.16-BLOCK 6-LOTS 3 + 4

Issue Date:	Revisions
1	Interior Demo Permit 5/10/24
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3	ARB 7/30/24
4	

Sheet No.

A-1



First Floor Construction Plan

3/16" = 1'-0"

FIRST FLOOR GENERAL NOTES

CONTRACTOR TO REMOVE ALL CEILING GRIDS AND LIGHTING AND DISCARD EXISTING CEILING FINISHES AND WALL FINISHES TO REMAIN.

CONTRACTOR TO PROVIDE UPDATES FOR NEW FIRE ALARM SYSTEM IN THE COMMERCIAL SPACE WITH FULL STATIONS AS DESIGNED BY OTHERS. SYSTEM SHALL BE CONNECTED TO CENTRAL STATION. SEE ELECTRICAL ALLOWANCE PLAN.

ALL NEW AND REPLACEMENT WINDOWS / DOORS NOTED SHALL MEET NYC COMMERCIAL STRETCH CODE AS ADOPTED BY THE TOWN OR ORANGETOWN. U VALUE AND SHGC AS PER CODE.

EXISTING HVAC DESIGN ADJUSTED AS REQUIRED AND WILL BE ADJUSTED UPON A FUTURE TENANT.

EXISTING TOILETS SHALL REMAIN - NO WORK.

ADA BATHSHOWER ROOM - TYPICAL

CONTRACTOR TO FURNISH AND INSTALL NEW GYPSUM ON ALL WALLS AND CEILINGS AND R-21 SPRAY FOAM INSULATION IN ALL EXTERIOR EXTERIOR WALLS. SEE PARTITION TYPES.

CONTRACTOR TO PROVIDE ADA GROUND GRAB BARS AND ACCESSORIES SEE DETAILS PROVIDED AND MOUNTING HEIGHTS.

CONTRACTOR TO FURNISH AND INSTALL CERAMIC TILE FLOOR W/ MEMBRANE COATING ON DITRA MATT.

PROVIDE TILE BACKER BOARD + MEMBRANE COATING ON WALLS OF SHOWER BEHIND TILE AREAS. PROVIDE SLOTTED DRAIN AND TILE WATERPROOFING SYSTEM OR ALTERNATE. SHOW ADA BASE RECEPTOR.

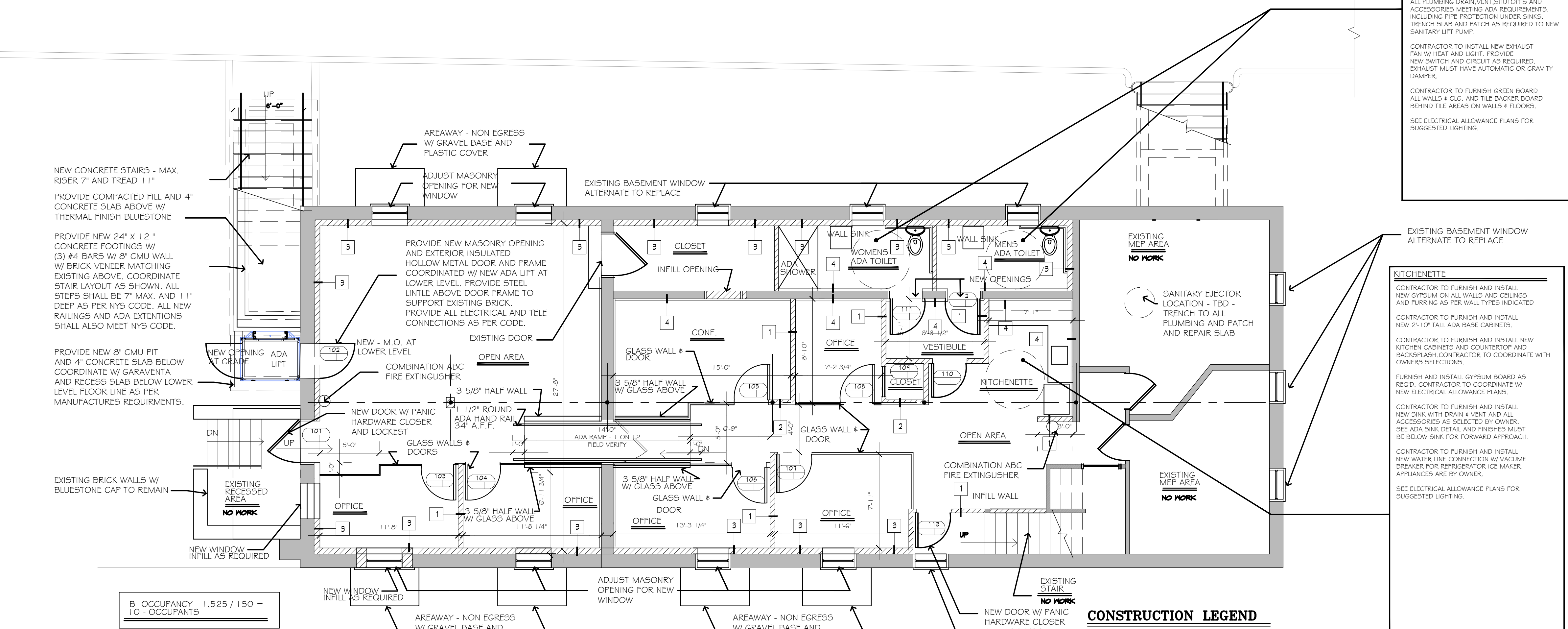
CONTRACTOR TO FURNISH AND INSTALL NEW SHOWER, TOILET AND VANITY AS REQD. WITH ALL PLUMBING DRAIN, VENT SHORTFITS AND ACCESSORIES MEETING ADA REQUIREMENTS. INCLUDING PIPE PROTECTION UNDER SINKS. TRENCH SLAB AND PATCH AS REQUIRED TO NEW SANITARY LIFT PUMP.

CONTRACTOR TO INSTALL NEW EXHAUST FAN W/ HEAT AND LIGHT. PROVIDE NEW SWITCH AND CIRCUIT AS REQUIRED. EXHAUST MUST HAVE AUTOMATIC OR GRAVITY DAMPER.

CONTRACTOR TO FURNISH GREEN BOARD ALL WALLS + CLG. AND TILE BACKER BOARD BEHIND TILE AREAS ON WALLS + FLOORS.

SEE ELECTRICAL ALLOWANCE PLANS FOR SUGGESTED LIGHTING.

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way if an item bearing the seal of an architect is altered. The altering architect shall affix his/her seal and signature to the alteration. If an alteration is made, the date of such alteration, and a specific description of the alteration.



Lower Level Construction Plan

3/16" = 1'-0"

LOWER LEVEL GENERAL NOTES

CONTRACTOR TO REMOVE ALL CEILING GRIDS AND LIGHTING AND DISCARD AND EXPOSE FLOOR JOISTS ABOVE.

ALL NEW AND REPLACEMENT WINDOWS / DOORS NOTED SHALL MEET NYC COMMERCIAL STRETCH CODE AS ADOPTED BY THE TOWN OR ORANGETOWN. U VALUE AND SHGC AS PER CODE.

ALL EXTERIOR WALLS SHALL BE FURRED OUT WITH 3" STEEL STUDS SPACED FROM EXISTING EXTERIOR WALLS AND BE FILLED WITH 4" CLOSED CELL SPRAY FOAM (R-19 OR GREATER) AFTER NEW ELECTRICAL, TELE AND DATA ARE INSTALLED.

CONTRACTOR TO PROVIDE NEW FIRE RATED TYPE X GYPSUM AT CEILING TO PROVIDE A 1 HOUR UL RATED ASSEMBLY. CONTRACTOR TO INSTALL R-1 SOUND CHANNELS PRIOR TO GYPSUM. PROVIDE 4" MINERAL WOOL SOUND BAT AT ALL LOCATIONS ABOVE NEW OFFICE SPACE.

CONTRACTOR TO PROVIDE ALL NEW LIGHTING IN EACH ROOM - SEE ALLOWANCE PLAN. SHALLOW SURFACE LED TYPE WITH UL RATED BACK BOXES.

CONTRACTOR TO PROVIDE UPDATES FOR NEW FIRE ALARM SYSTEM IN THE COMMERCIAL SPACE WITH FULL STATIONS AS DESIGNED BY OTHERS. SYSTEM SHALL BE CONNECTED TO CENTRAL STATION. SEE ELECTRICAL ALLOWANCE PLAN.

CONTRACTOR TO INSTALL ALL NEW FIRE SPRINKLER PIPING ONLY ON FIRST FLOOR CEILING PRIOR TO NEW FINISHES. SYSTEM IS NOT REQUIRED BUT MAY BE NEEDED DEPENDING ON FUTURE TENANT AT SECOND FLOOR. ALL PIPING SHALL BE DESIGNED, PRESSURE TESTED AND CAPPED AT ALL LOCATIONS. PROVIDE SOFFITS AS REQUIRED.

NEW HVAC DESIGN W/ OUTSIDE AIR ARE TO BE DESIGNED BY OTHERS.

Issue Date:
5/10/24

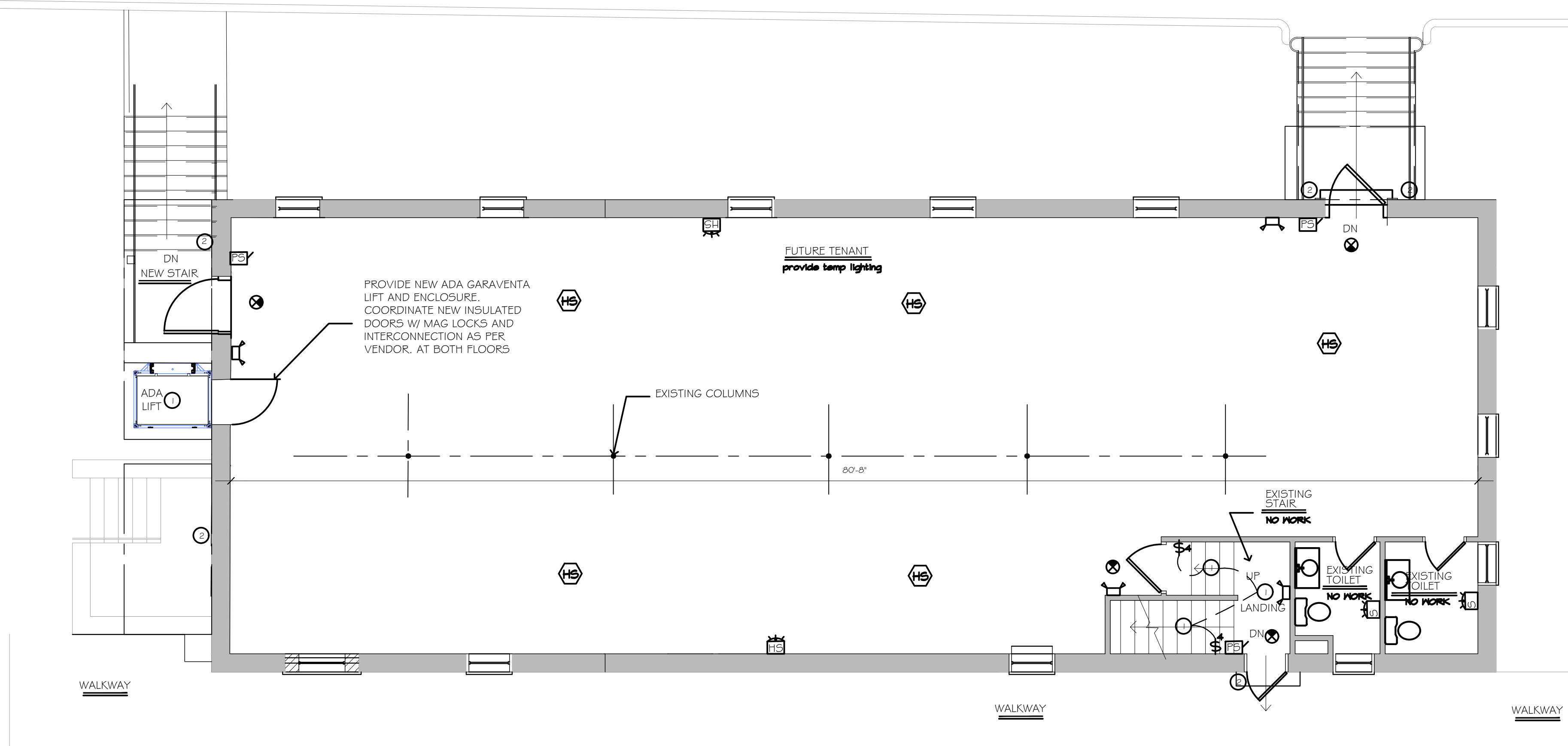
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Sheet No.
A-2

Existing Building Alterations for PR REAL ESTATE PARTNERS LLC
30 North William Street, Pearl River New York, 10985
SBL: SECTION 68.16-BLOCK 6-LOTS 3 + 4

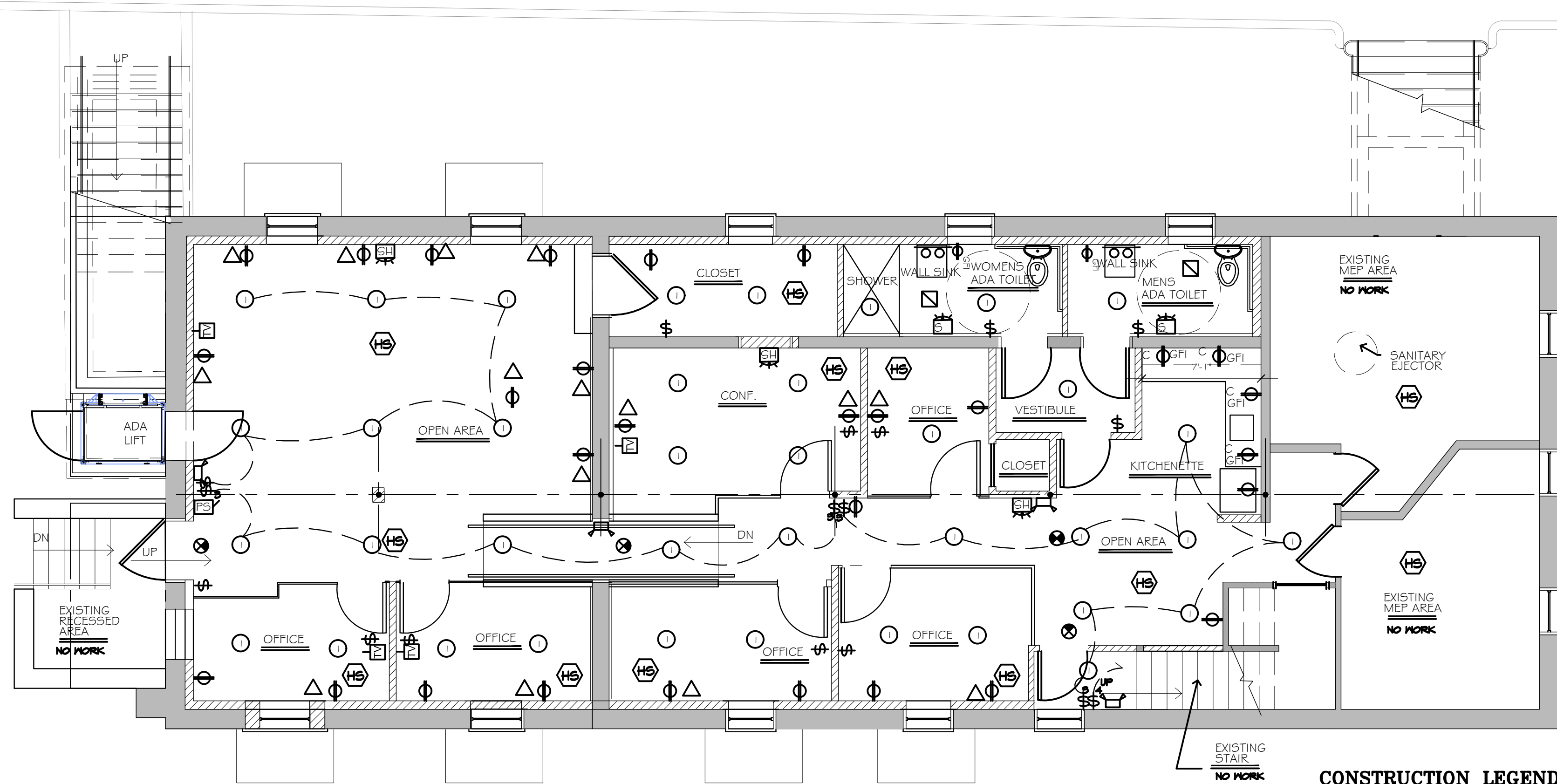
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NJ LSC: 7401049500
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First Floor Electrical Allowance Plan

3/16" = 1'-0"



Lower Level Electrical Allowance Plan

3/16" = 1'-0"

CONSTRUCTION LEGEND

	EXISTING WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW STUD WALL

ELECTRICAL SERVICE - COMMERCIAL
 EXISTING ELECTRICAL SERVICE TO REMAIN.
 ALL ELECTRICAL FIXTURES TO BE ENERGY STAR RATED, IF AS REPLACED.
 CONTRACTOR TO PROVIDE NEW CIRCUITS AS REQUIRED.
 CONTRACTOR TO COORDINATE ALL NEW UTILITIES WITH UTILITY COMPANIES, IF REQUIRED.
 ALL INTERIOR POWER OUTLETS ARE NEW EXISTING ALONG WITH SWITCH LOCATIONS.
 ALL EXTERIOR LIGHTING TO BE REPLACED AND POWER TO REMAIN AS EXISTING OR NEW AS NOTED. DOWNWARD DARK SKY COMPLIANT.

NOTE
 OWNER/ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL NEW WIRING, SWITCHES AND DEVICES AS REQUIRED FOR NEW WORK.

NOTE
 EXISTING MEP SYSTEMS TO REMAIN. NEW PORTIONS DESIGNED BY OTHERS.

NOTE
 INSTALL NEW SMOKE DETECTION AND FIRE PROTECTION - SEE CODE REVIEW AND DESIGN BY OTHERS.

Electrical Fixture Schedule

NOTE: FINAL LOCATION OF ALL FIXTURES TO BE LOCATED IN FIELD WITH OWNER.
 NOTE: ALL OUTLETS, PHONE AND CABLE JACKS TO BE MOUNTED 18" A.F.F. UNLESS NOTED.
 NOTE: ALL SWITCHES AND OUTLETS AT COUNTERS: 14-1/2" MAX. A.F.F.

Symbol	Fixture Type
	3" RECESSED WET RATED LED DOWNLIGHT (PREPARE SURFACE OR BRASS PROVIDE SEALED FIXTURE OR 4" GANG BACK BOX REQUIRED)
	NEW EXTERIOR WALL MOUNTED FIXTURE
	WALL SWITCH
	3 WAY SWITCH
	DUPLEX OUTLET - SEE PLAN FOR HEIGHT
	1/2 SWITCHED DUPLEX RECEPTACLE
	COUNTERTOP HT. DUPLEX RECEPTACLE
	GROUND FAULT INTERRUPTER (SEE PLANS FOR HEIGHT)
	WEATHER PROTECTED OUTLET + GFI
	CABLE TELEVISION RECEPTACLE
	TELEPHONE RECEPTACLE
	EXHAUST FAN W/ HEAT LAMP & LIGHT W/ MOISTURE SENSOR. EXHAUST MUST HAVE AUTOMATIC OR GRAVITY DAMPER.
	VANITY STRIP LIGHT ABOVE ADA MIRROR
	EM LIGHT
	FIRE ALARM PULL
	FIRE ALARM STROBEHORN
	FIRE ALARM STROBE
	EXIST SIGN / COMBO EM LIGHT AT LOCATIONS NOTED
	HARD WIRED INTERCONNECTED COMBO SMOKE/CO2 DETECTOR
C	COUNTER HEIGHT - DEVICE
N	NEW
R	REMOVE
RR	REMOVE RELOCATE
EX	EXISTING TO REMAIN

POWER / TELE DATA GENERAL NOTES:
 FIRE ALARM PULLS & STROBE / HORN SYSTEM DESIGNED BY OTHERS AND SHALL BE APPROVED BY FIRE MARSHALL.
 SMOKE DETECTORS SHALL BE HARDWIRED AND AS APPROVED BY FIRE MARSHALL. CONNECT TO EXISTING SYSTEM.

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Existing Building Alterations for PR REAL ESTATE PARTNERS LLC
 30 North William Street, Pearl River New York, 10965
 SBL: SECTION 68.16-BLOCK 6-LOTS 3 + 4

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 NYS LISC: 027393 - Registered through Date April 30, 2026
 NJ LISC: 7160104500
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Issue Date:

Revisions	Date
1 Interior Demo Permit	5/10/24
2 Permit	7/15/24
3 ARB	7/30/24
4	



TYPICAL WALL CANOPY - by lawrence - SIZE VARIES
NO SCALE



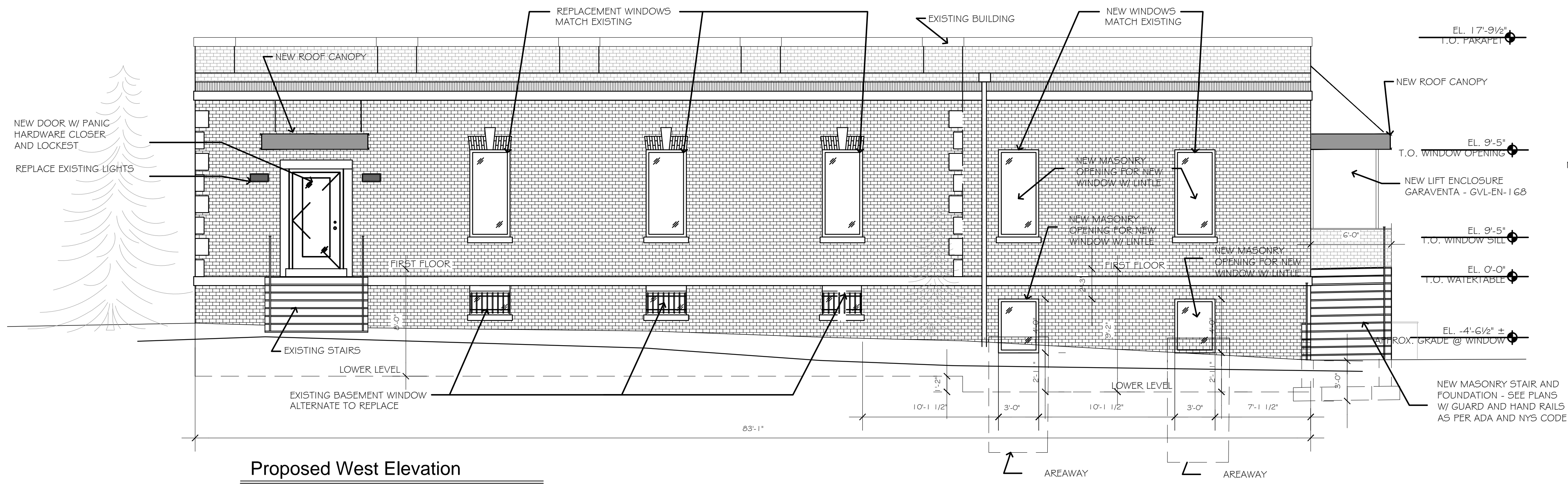
STRAIGHT ON VIEW



LOOKING UP AT FIXTURE

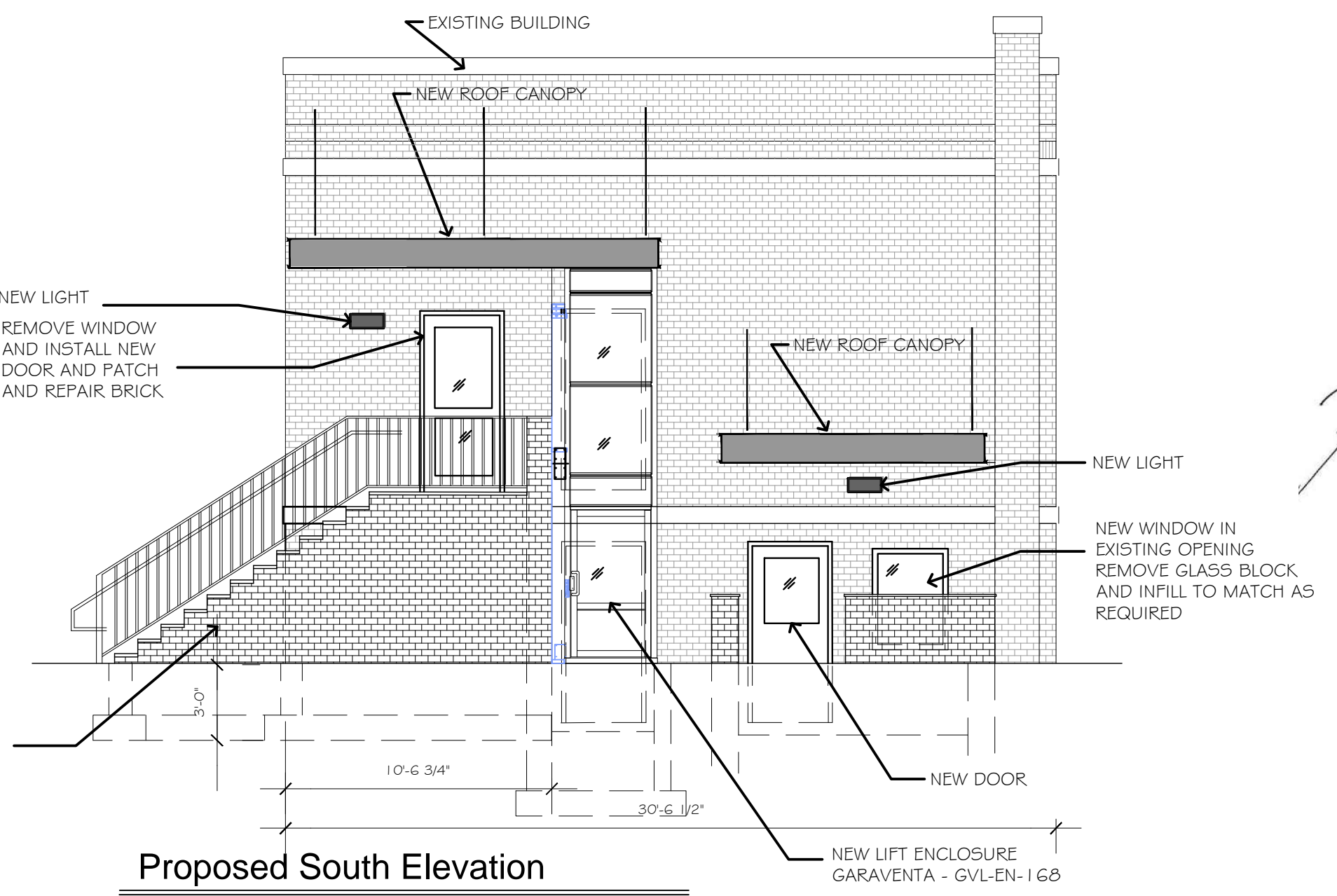
DOWNLIGHTING - COOPER - INVUE - CLEAR CURVE - LED WALL PACK FIXTURE - TAA-CGN-VA1(2800 LUMENS)BA1-?-T30(10CRI-3000K)-U-T2-DP(PLATINUM FINISH)

WALL PACK (WP) LIGHT FIXTURE
NO SCALE



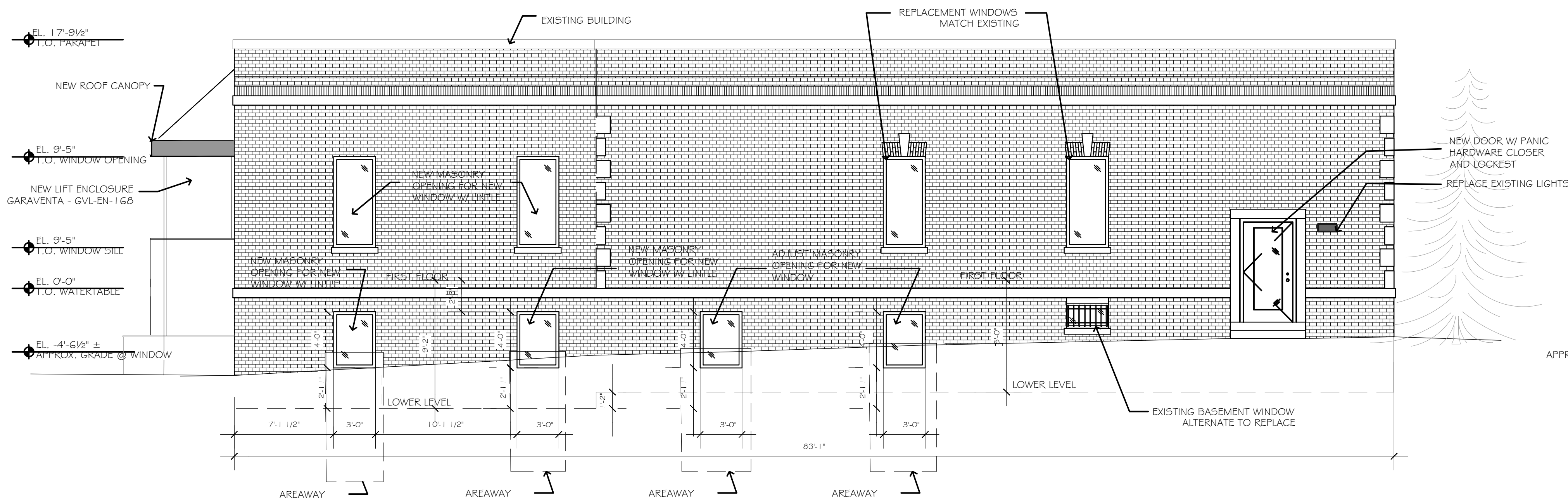
Proposed West Elevation

3/16" = 1'-0"



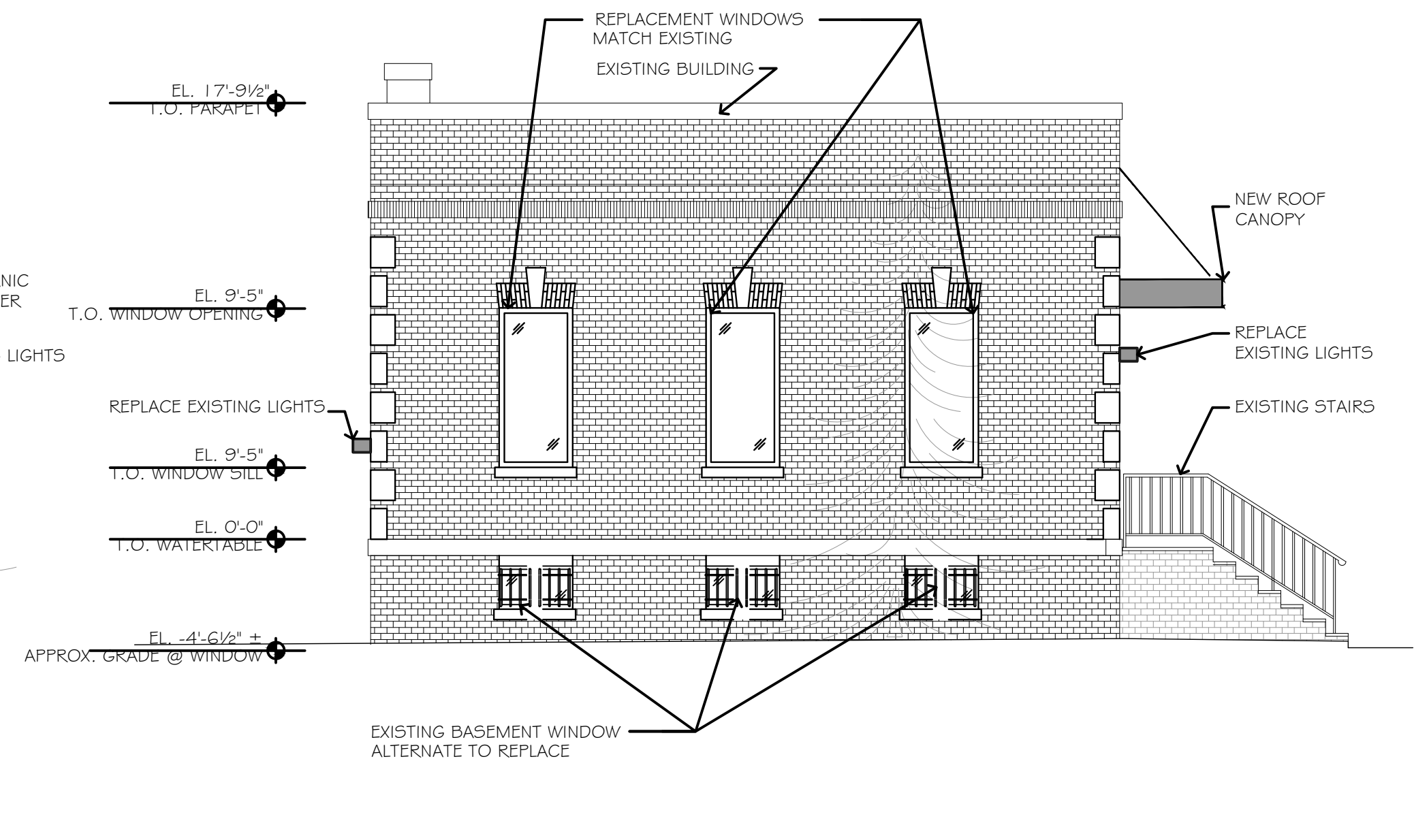
Proposed South Elevation

3/16" = 1'-0"



Proposed East Elevation

3/16" = 1'-0"



Existing North Elevation

3/16" = 1'-0"

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Issue Date:	Revisions
5/10/24	Interior Demo Permit
7/15/24	Permit
7/30/24	ARB

Sheet No.

A-4

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REGISTERED ARCHITECT
STATE OF NEW YORK
027393

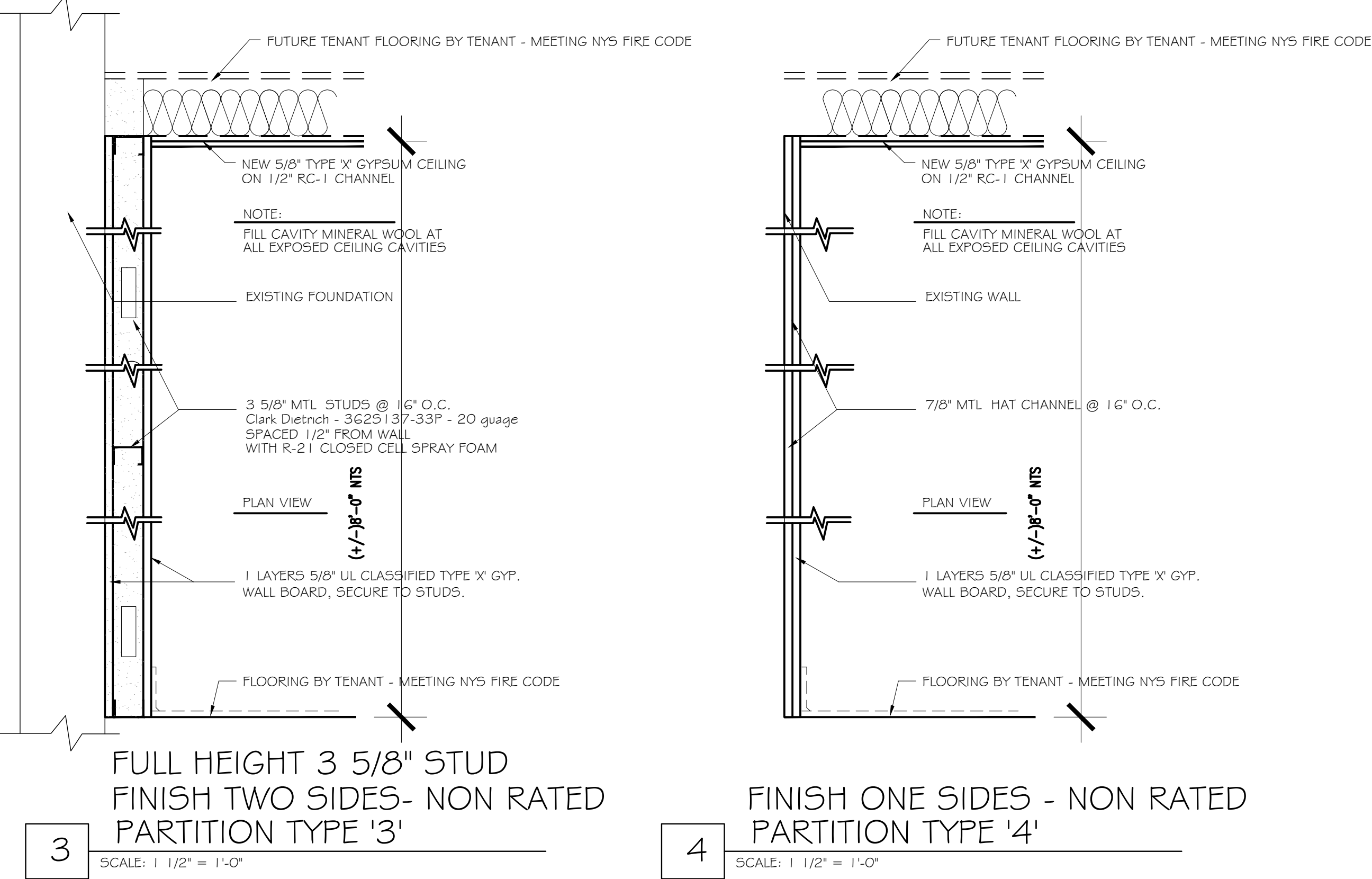
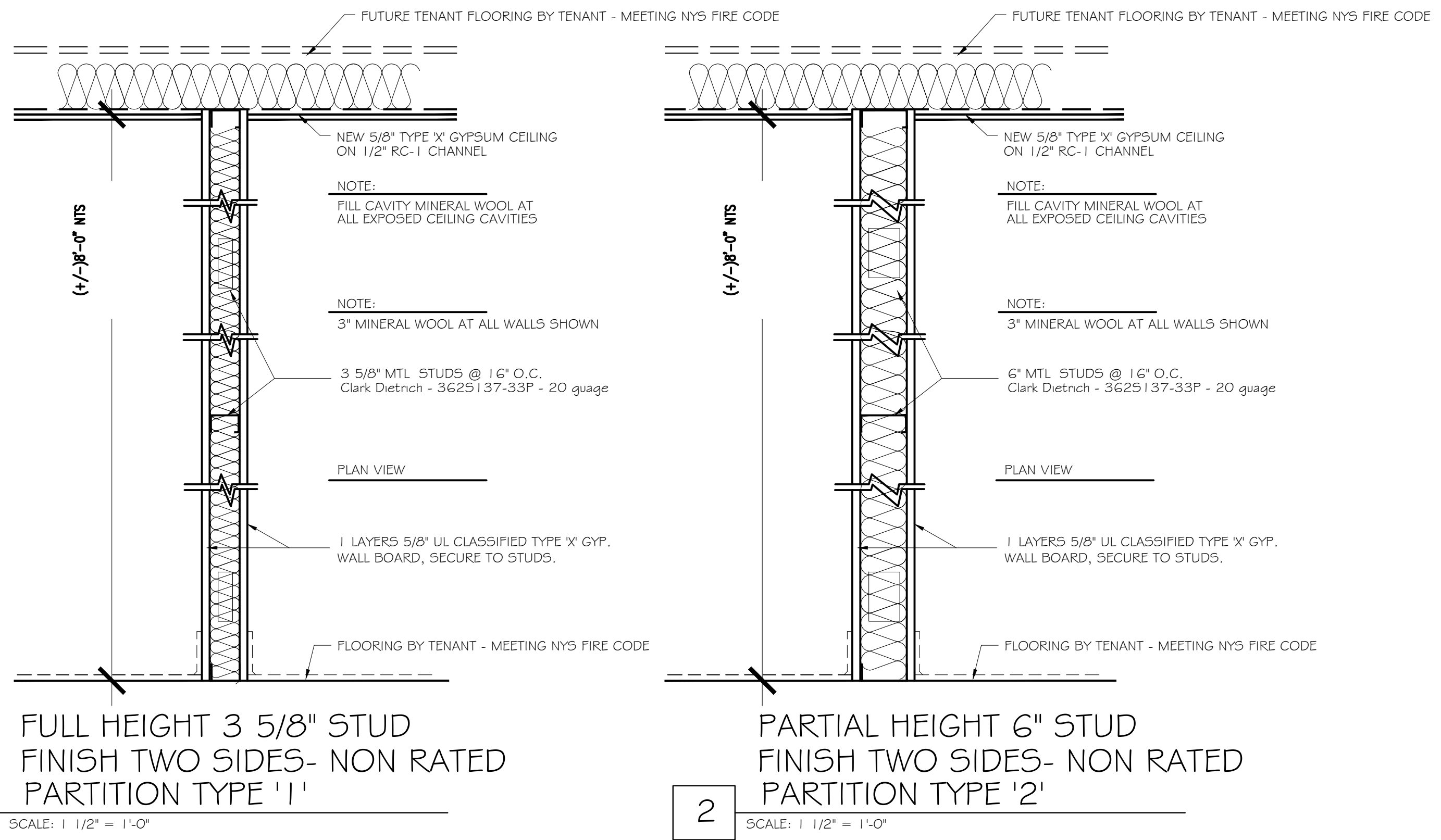
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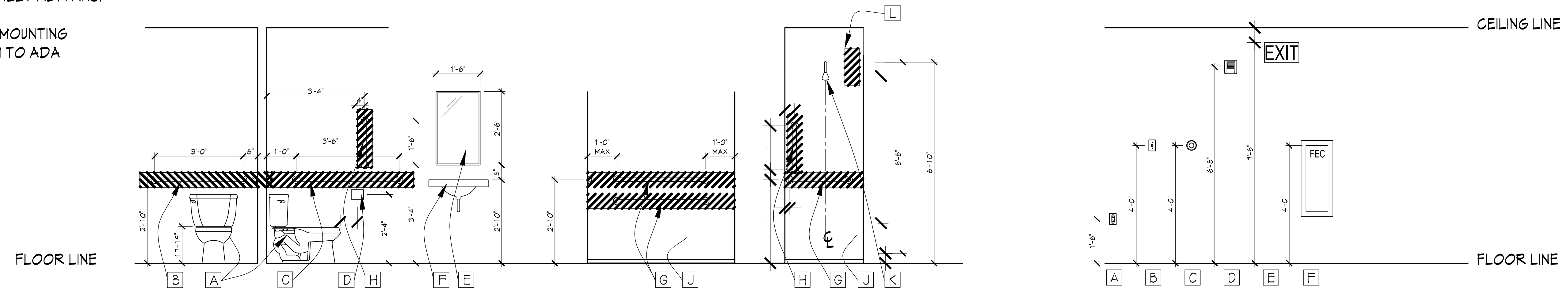


PARTITION TYPES

1" = 1'-0"

TOILET ROOMS CRITERIA

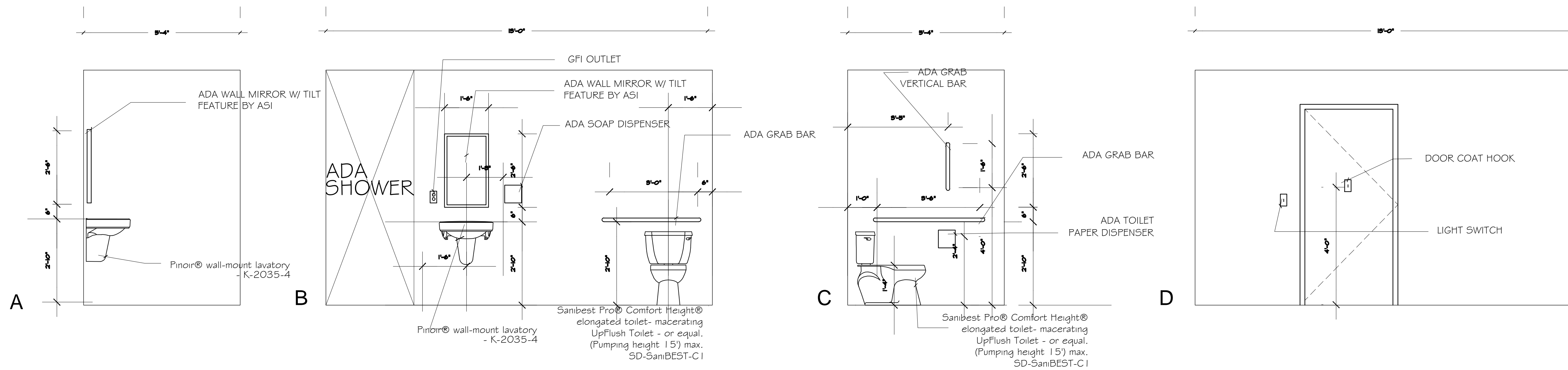
1. GRAB BARS TO MEET ADA ANSI STANDARDS.
2. ALL BLOCKING & MOUNTING SHALL CONFORM TO ADA STANDARDS



- | | | | |
|---|---|--|---|
| A HC COMPLIANT FLOOR MTD TOILET | E WALL MOUNTED MIRRORS | J HC COMPLIANT TILE SHOWER W/ 1/2" MAX BEVEL THRESHOLD | A WALL MOUNTED OUTLET/TELE |
| B TOILET GRAB BAR B-6806-24" PROVIDE AT EACH ADA TOILET | F SINGLE WALL HUNG LAVATORY OR VANITY SINK TOP - SEE PLANS | K SHOWER HEAD ASSEMBLY | B WALL MOUNTED SWITCH |
| C SIDE TOILET GRAB BAR B-6806 42" PROVIDE AT EACH ADA TOILET | G TUB GRAB BAR B-6806 24" MIN PROVIDE AT EACH ADA BATHTUB | L BLOCKING - FOR GLASS ENCLOSURE V.I.F. SCOPE | C WALL MOUNTED THERMOSTAT |
| D TOILET PAPER ROLL DISPENSER- PROVIDE AT EACH TOILET | H SIDE TUB GRAB BAR B-6806 18" MIN PROVIDE AT EACH ADA BATHTUB | [Hatched Area] HATCHED AREA REPRESENT WALL REINFORCING FOR GRAB BARS INSTALLED IN ALL BATHROOMS | D WALL MOUNTED HORN STROBE |
| | | | E WALL MOUNTED EXIT LIGHT - MIN 6" BELOW CEILING |
| | | | F FIRE EXTINGUISHER CABINET |

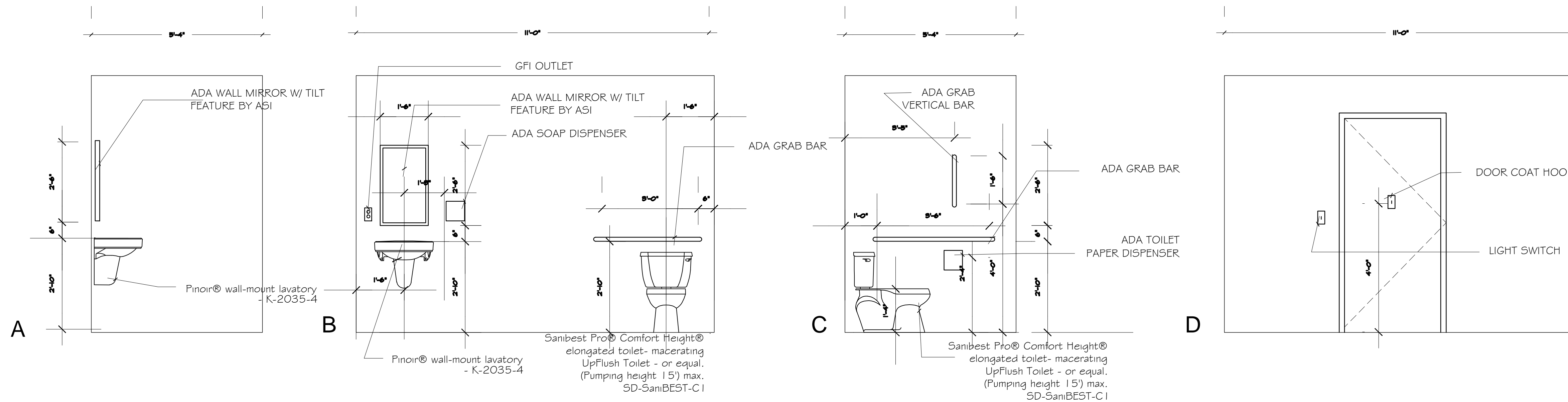
Issue Date:	
Revisions	
1	Interior Demo Permit 5/10/24
2	Permit 7/15/24
3	ARB 7/30/24
4	

Sheet No.
A-5



MENS ENLARGED ADA TYPICAL TOILET ELEVATIONS

1/2" = 1'-0"



MENS ENLARGED ADA TYPICAL TOILET ELEVATIONS

1/2" = 1'-0"

GENERAL ADA TOILET NOTES:

BLOCKING SHALL BE INSTALLED FOR ALL ACCESSORIES SHOWN.

ALL ACCESSORIES SHALL BE BOBRICK CONTOUR SERIES OR EQUAL FOR ADA TOILET SHOWN AND EXISTING TOILETS. FINAL COUNT BY OWNER / CONTRACTOR

ALL ACCESSORIES SHALL BE ADA AND MOUNTED AT ADA HEIGHTS. SEE DOCUMENTS AND MANF. INSTRUCTIONS.

ALL GYPSUM BOARD IN TOILETS SHALL BE MOISTURE RESISTANT OR PAPERLESS. IF TILE IS SELECTED USE APPROVED BACKERBOARD.

CONNECT TO EXISTING HOT WATER HEATER

PROVIDE COLD WATER AT TOILET SUPPLY.

CONNECT ALL DRAINS TO NEW SANITARY PUMP AND CONNECT TO EXISTING HOUSE SANITARY SYSTEM. PROVIDE NEW VENT PIPE THRU ROOF W/ FLASHING BOOT.

BATHROOM ACCESSORIES				NOTES:
TAG	DESCRIPTION	MANUFACTURER	REMARKS	
A	TOILET TISSUE DISPENSER	B-4288		1. MANUFACTURER FOR ALL ACCESSORIES TO BE "BOBRICK" UNLESS OTHERWISE NOTED 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. 3. COORDINATE WORK WITH ALL RELATED TRADES 4. PROVIDE ROUGH FRAMING AND BLOCKING FOR ALL ACCESSORIES.
B	HAND TISSUE DISPENSER UNIT	B43944 - SURFACE MOUNTED		
C	ADA-ACCESSIBLE GRAB BARS	B-6806x42 Grab Bar, B-6806x36 Grab Bar, B-6806x18 Grab Bar		
D	MIRROR	B-294 TILTING ADA MIRROR		
E	MARBLE SADDLE - 1/2" MAX. FLR. TRANS.			
F	HOOK	B-212 HOOK W/ BUMPER		
G	SOAP DISPENSER	B-4112		
H				
I				

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Issue Date:	
Revisions	
1	Interior Demo Permit 5/10/24
2	Permit 7/15/24
3	ARB 7/30/24
4	

Sheet No.
A-6

DOOR SCHEDULE

© Plan Symbol

ALL INTERIOR DOORS ARE 1 1/2" THICK SOLID HOLLOW METAL OR HARDWOOD AS SELECTED BY OWNER

KEY	TYPE	DOOR SIZE	MANUFACTURE	HARDWARE SET	DOOR COLOR	EXTERIOR CASING	EXTERIOR CASING COLOR	INTERIOR CASING	INTERIOR CASING COLOR	INTERIOR CASING/SILLS	EXTENSION JAMBS	SCREEN DOOR	REMARKS
101	ENTRY SYSTEM	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	INSULATED / AS SELECTED BY OWNER
102	ENTRY SYSTEM	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	INSULATED / AS SELECTED BY OWNER COORDINATE WITH LIFT
103	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
104	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
105	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
106	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
107	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
108	GLASS OFFICE DOOR	3'-0"x6'-8"	TEMERED GLASS	LOCKSET	-	-	-	-	-	-	-	N/A	-
109	CLOSET DOOR	2'-6"x6'-8"	HOLLOW METAL	PASSAGE	-	-	-	-	-	-	-	N/A	-
110	PASSAGE DOOR	3'-0"x6'-8"	HOLLOW METAL	PASSAGE	-	-	-	-	-	-	-	N/A	-
111	PRIVACY DOOR	3'-0"x6'-8"	HOLLOW METAL	PRIVACY	-	-	-	-	-	-	-	N/A	-
112	PRIVACY DOOR	3'-0"x6'-8"	HOLLOW METAL	PRIVACY	-	-	-	-	-	-	-	N/A	-
113	LOCKSET	3'-0"x6'-8"	HOLLOW METAL	PRIVACY	-	-	-	-	-	-	-	N/A	FIRE RATED 45 MIN DOOR W/ PANIC HARDWARE
200	ENTRY SYSTEM	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	INSULATED / MATCH EXISTING
201	ENTRY SYSTEM / STAIR	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	FIRE RATED - B LABLE
202	ENTRY SYSTEM	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	INSULATED / MATCH EXISTING
203	ENTRY SYSTEM	3'-0"x6'-8"	HOLLOW METAL;	LOCKSET	-	-	-	-	-	-	-	N/A	INSULATED / AS SELECTED BY OWNER COORDINATE WITH LIFT

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4	

Sheet No.
A-7