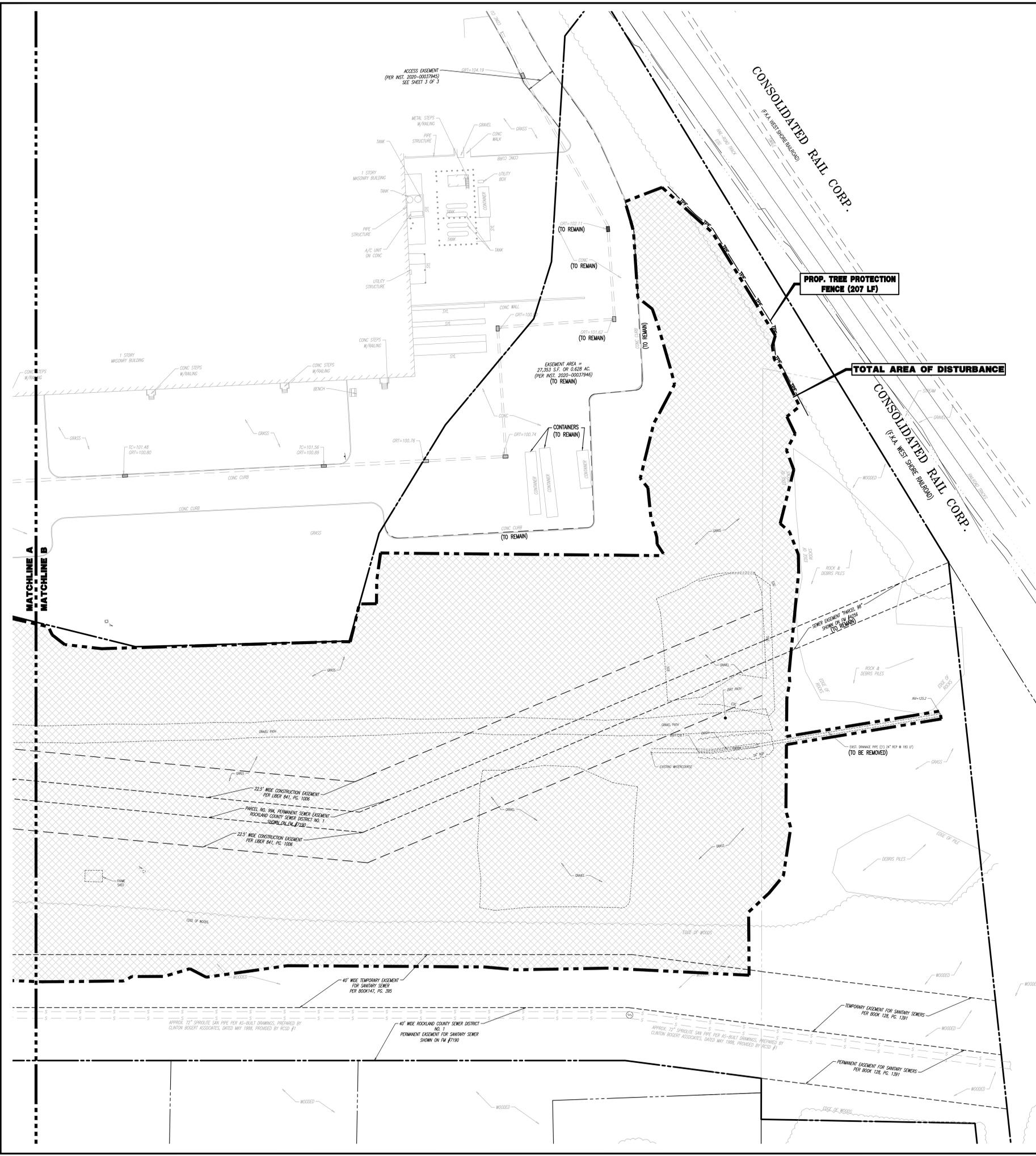


Plotfile: 07/10/24 - 308_Plan_01.dwg; Site Plans\071922\02023\023\023.dwg; 06 DEMOLITION PLAN 'B'



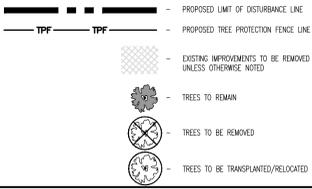
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL TRUSS MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FOUNDATIONS.
8. REMOVE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING RETAINMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PARKING OR BREAK-BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PRESSUREWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND SOIL RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE DISTURBANCE REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM BEANS, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL, PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERLIE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER BY PLACEMENT TO SPEC OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOIL OR BURIED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITIVE ALL UTILITY SHUTDOWN AND SANITARY LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

NOTES

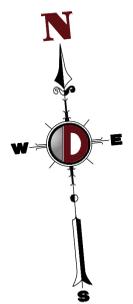
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.
5. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
6. THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.

DEMOLITION PLAN LEGEND



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: ALL EXISTING UTILITIES TO REMAIN, UNLESS SPECIFICALLY NOTED.



NO.	DATE	REVISIONS
1	02/07/24	REV. PER PLANNING BOARD SUBMISSION
2	02/07/24	REV. PER PLANNING BOARD SUBMISSION
3	02/07/24	REV. PER PLANNING BOARD SUBMISSION
4	02/07/24	REV. PER PLANNING BOARD SUBMISSION

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PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
14 AND 140 LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 02/07/24

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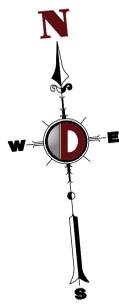
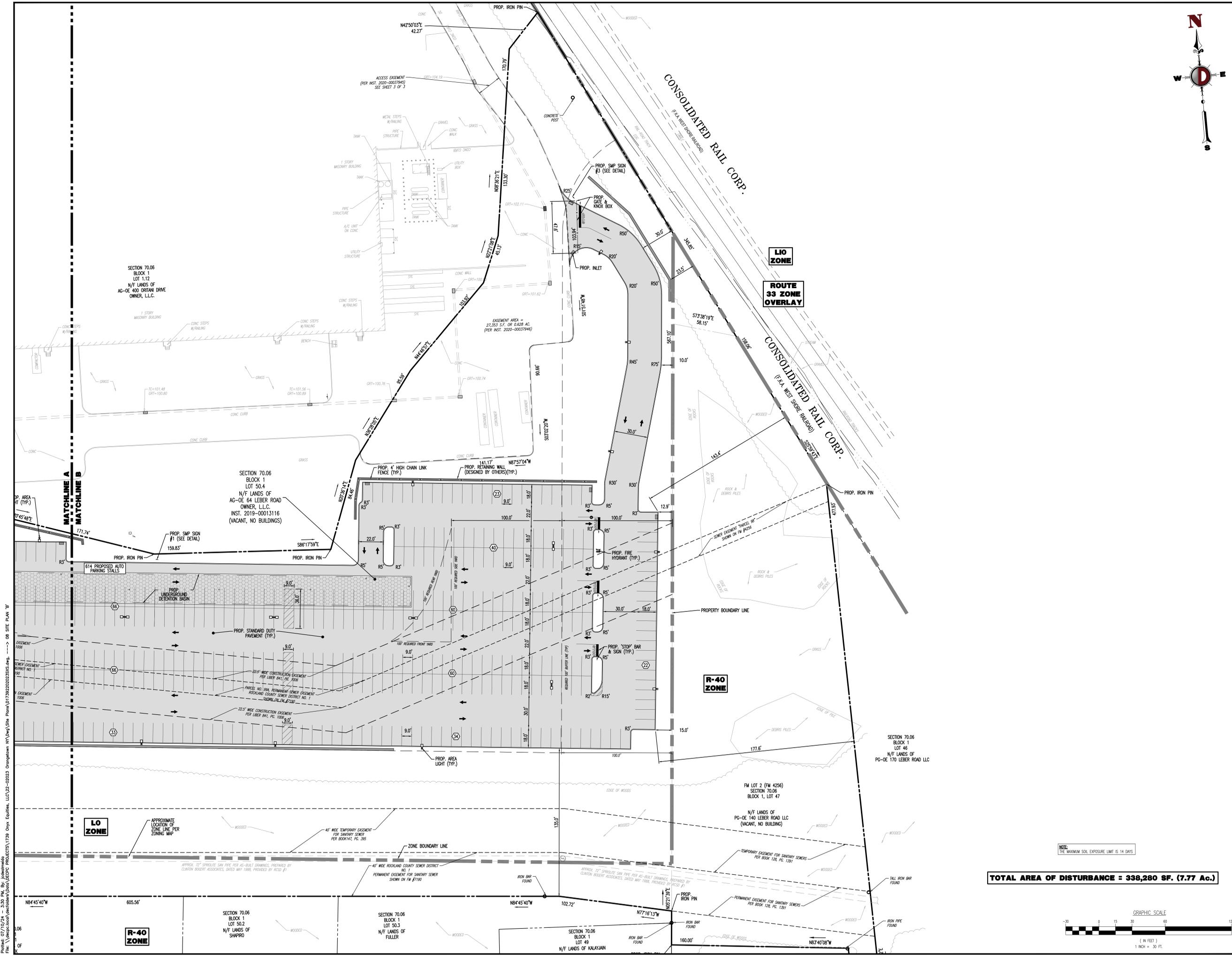
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623

ZACHARY A. HAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 130771

TITLE: **DEMOLITION PLAN 'B'**

SCALE: (H) 1"=30'
(V) 1"=30'
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **5** of 30
Rev. #:



NO.	DATE	REVISION
1	10/02/2023	ISSUE FOR PERMITTING
2	10/02/2023	REVISED PER COMMENTS
3	10/02/2023	REVISED PER COMMENTS
4	10/02/2023	REVISED PER COMMENTS
5	10/02/2023	REVISED PER COMMENTS

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PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
64 AND 140 LEBER ROAD
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

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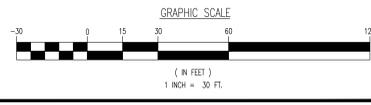
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623



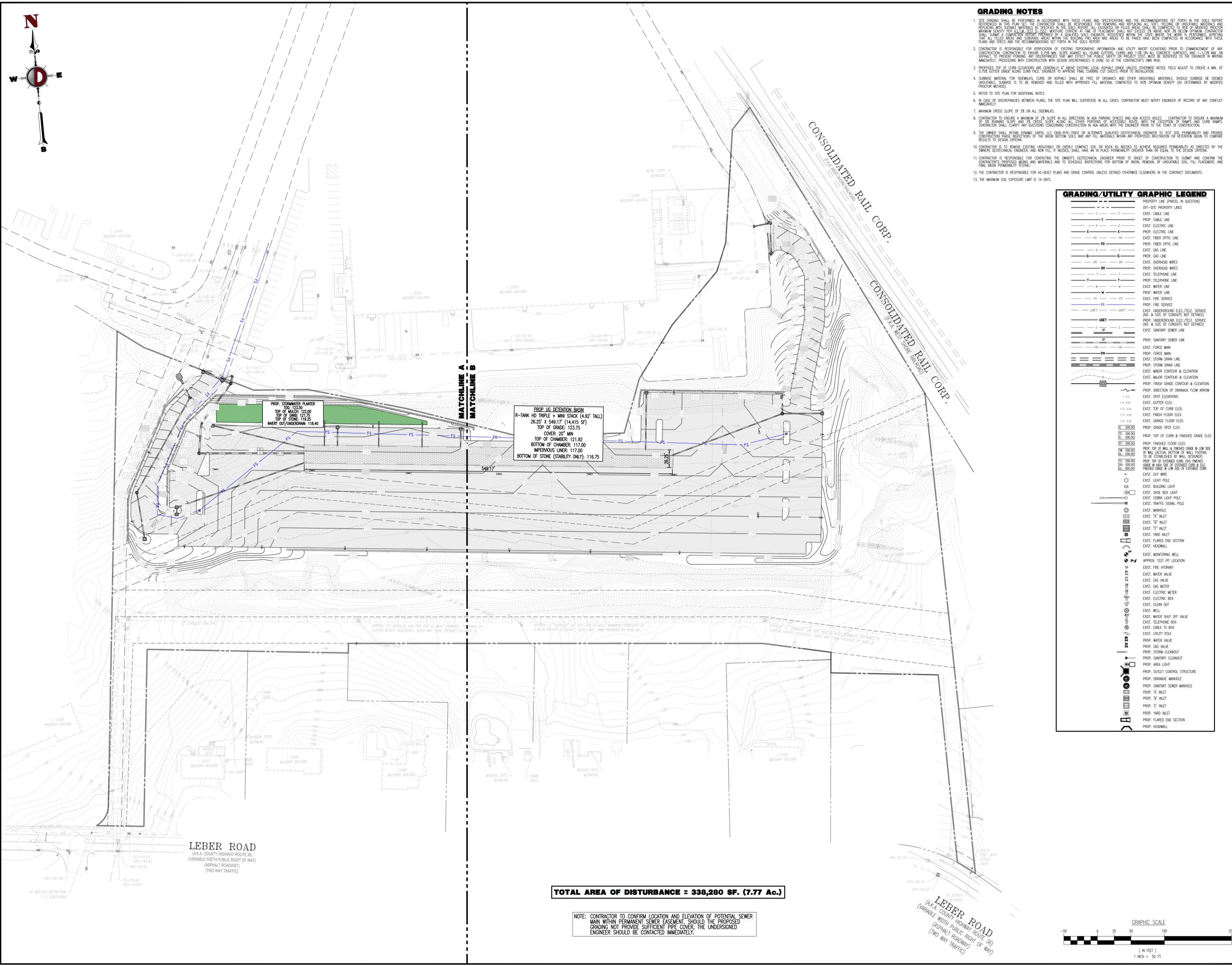
TITLE:
SITE PLAN 'B'

SCALE: (1" = 30')
DATE: 10/02/2023
PROJECT NO: 1739-22-02023
SHEET NO: **8**
OF 30

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)



Project: 07/19/23 - 330_Plan_B_1739-22-02023
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- ### GRADING NOTES
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D1557. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL EXISTING CURBS AND 1.0% ON ALL CONCRETE SURFACES AND 1.172% MIN. ON ASPHALT TO PREVENT POOLING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS SOLELY AT THE CONTRACTOR'S OWN RISK.
 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
 4. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DETERMINED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
 6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
 7. MAXIMUM GROSS SLOPE OF 2% ON ALL SIDEWALKS.
 8. CONTRACTOR TO DISBURSE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 1% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF DUMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (008-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SIDES AND ANY FILL MATERIALS WITHIN ANY PROPOSED INSTALLATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
 10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
 11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED WEIRS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
 12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL, UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
 13. THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.

GRADING/UTILITY GRAPHIC LEGEND

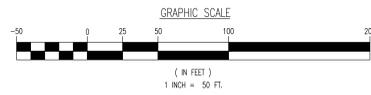
	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE
	PROP. CABLE LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE
	PROP. FIBER OPTIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. FIRE SERVICE
	PROP. FIRE SERVICE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUCTORS NOT DEFINED)
	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUCTORS NOT DEFINED)
	EXIST. SANITARY SEWER LINE
	PROP. SANITARY SEWER LINE
	EXIST. FORCE MAIN
	PROP. FORCE MAIN
	EXIST. STORM DRAIN LINE
	PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION
	PROP. MINOR CONTOUR & ELEVATION
	EXIST. FINISH GRADE CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. SPOT ELEVATIONS
	EXIST. OUTLET ELEV.
	EXIST. TOP OF CURB ELEV.
	EXIST. FINISH FLOOR ELEV.
	EXIST. GARAGE FLOOR ELEV.
	EXIST. PROP. GRADE SPOT ELEV.
	EXIST. PROP. TOP OF CURBS & FINISHED GRADE ELEV.
	EXIST. PROP. FINISHED FLOOR ELEV.
	EXIST. PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. PROP. TOP OF EXTENDED CURB (OR FINISHED) GRADE @ HIGH SIDE OF EXTENDED CURB & (OR) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
	EXIST. CLAY WIRE
	EXIST. LIGHT POLE
	EXIST. BUILDING LIGHT
	EXIST. STREET LIGHT POLE
	EXIST. TRAFFIC SIGNAL POLE
	EXIST. MANHOLE
	EXIST. 'X' INLET
	EXIST. 'Y' INLET
	EXIST. 'Z' INLET
	EXIST. 'W' INLET
	EXIST. FLARED END SECTION
	EXIST. HEADWALL
	EXIST. MONITORING WELL
	APPROX. TEST PIT LOCATION
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. GAS VALVE
	EXIST. GAS METER
	EXIST. ELECTRIC METER
	EXIST. ELECTRIC BOX
	EXIST. CLEAN OUT
	EXIST. WELL
	EXIST. WATER SHUT OFF VALVE
	EXIST. TELEPHONE BOX
	EXIST. CABLE TV BOX
	EXIST. UTILITY POLE
	PROP. WATER VALVE
	PROP. GAS VALVE
	PROP. STORM CLEANOUT
	PROP. SANITARY CLEANOUT
	PROP. AREA LIGHT
	PROP. OUTLET CONTROL STRUCTURE
	PROP. DRAINAGE MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. 'X' INLET
	PROP. 'Y' INLET
	PROP. 'Z' INLET
	PROP. 'W' INLET
	PROP. YARD INLET
	PROP. FLARED END SECTION
	PROP. HEADWALL

PROP. STORMWATER PLANTER
 TOP: 123.00
 TOP OF WALL: 122.00
 TOP OF SAND: 123.75
 TOP OF STONE: 119.25
 INVERT OUT/UNDERDRAIN: 116.40

PROP. U.S. DETENTION BASIN
 R-TANK 10' TROUBLE + MINI STACK (4.92' TALL)
 28.25' X 549.17' (14,415 SF)
 TOP OF GRADE: 123.75
 COVER: 20" MIN
 TOP OF CHAMBER: 121.92
 BOTTOM OF CHAMBER: 117.00
 IMPERVIOUS LINER: 117.00
 BOTTOM OF STONE (STABILITY ONLY): 116.75

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF POTENTIAL SEWER MAIN WITHIN PERMANENT SEWER EASEMENT. SHOULD THE PROPOSED GRADING NOT PROVIDE SUFFICIENT PIPE COVER, THE UNDERGROUND ENGINEER SHOULD BE CONTACTED IMMEDIATELY.



Project: 07/10/24 - 339_PN_Pk_Infrastructure
 File: \\snpco-bcn\p\p\07\07\1739_07y_Equities_LLC\22-02023_Overall_Drainage_and_Utility_Plan.dwg
 Date: 12/02/2023 09:51:17 AM
 User: jacob@dynamic.com
 Plot: 12 OVERALL DRAINAGE AND UTILITY PLAN

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<p>ZACHARY A. HAMM PROFESSIONAL ENGINEER NEW YORK LICENSE No. 170771</p>	
<p>TITLE: OVERALL DRAINAGE AND UTILITY PLAN</p>	
<p>SCALE: (H) 1"=50' (V) 1"=10' PROJECT No: 1739-22-02023</p>	
<p>SHEET No: 12 of 30 Rev. #:</p>	

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Revision table with columns for REV, DATE, and COMMENTS. Includes entries for 1, 2, 3, and 4.

Project information block including 'PROJECT: ONYX EQUITIES, LLC', 'PROPOSED ACCESSORY PARKING LOT', and 'TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK'.

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Professional Engineer information for Robert P. Freud: 'ROBERT P. FREUD PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 88623'.

Professional Engineer seal for Zachary A. Hamm: 'ZACHARY A. HAMM PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 87071'.

Project title and sheet information: 'LANDSCAPE PLAN "A"', 'SHEET No: 17 of 30', and 'Rev. #:'.

PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTS AT CORRECT GRADES AND SLOPES... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY... 4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS... 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR... 6. REPLACEMENT PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY... 7. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD... 8. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS... 9. PLANTS SHALL BE PLANTED IMMEDIATELY UPON DELIVERY... 10. PLANTS SHALL BE PLANTED WITH PROPER SUPPORTS AND STAKES... 11. PLANTS SHALL BE PLANTED WITH PROPER MULCH... 12. PLANTS SHALL BE PLANTED WITH PROPER SOIL... 13. PLANTS SHALL BE PLANTED WITH PROPER WATERING... 14. PLANTS SHALL BE PLANTED WITH PROPER FERTILIZATION... 15. PLANTS SHALL BE PLANTED WITH PROPER PRUNING... 16. PLANTS SHALL BE PLANTED WITH PROPER PROTECTION... 17. PLANTS SHALL BE PLANTED WITH PROPER MAINTENANCE... 18. PLANTS SHALL BE PLANTED WITH PROPER RECORDS... 19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOIL STABILIZATION METHOD.

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... B. MULCH - FOUR (4) INCHES DOUBLE SHREDED HARDWOOD BARK MULCH... C. FERTILIZER AND SOIL CONDITIONER - FERTILIZER SHALL BE PROCESSED... 3. GENERAL WORK PROCEDURES: A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE... B. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR... 4. MAINTENANCE: A. MAINTENANCE SHALL BE PROVIDED FOR THE PERIOD OF ONE (1) YEAR... B. MAINTENANCE SHALL BE PROVIDED FOR THE PERIOD OF ONE (1) YEAR... 5. SEEDING: SEEDING RATE: 60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT. EROSION CONTROL AND RE-VEGETATION.

ERNST CONSERVATION SEEDS

NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNMX-181):

Table of botanical names and common names for Ernst Conservation Seeds. Includes species like Sorghastrum nutans, Elymus canadensis, and Panicum virgatum.

- NOTES: 1. ERNST MIX 181 - NATIVE STEEP SLOPE MIX TO BE USED ON STEEP SLOPE AREA SOUTH OF THE PROPOSED PARKING. 2. ALL OTHER DISTURBED AREAS NOT TREATED OR IN SOUTHERN SLOPE SHALL BE SEEDING PER NOTES ON SHEET 23.

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 25 OF 30 FOR LANDSCAPE PLAN DETAILS

SEE SHEET 23 OF 30 FOR SEEDING NOTES

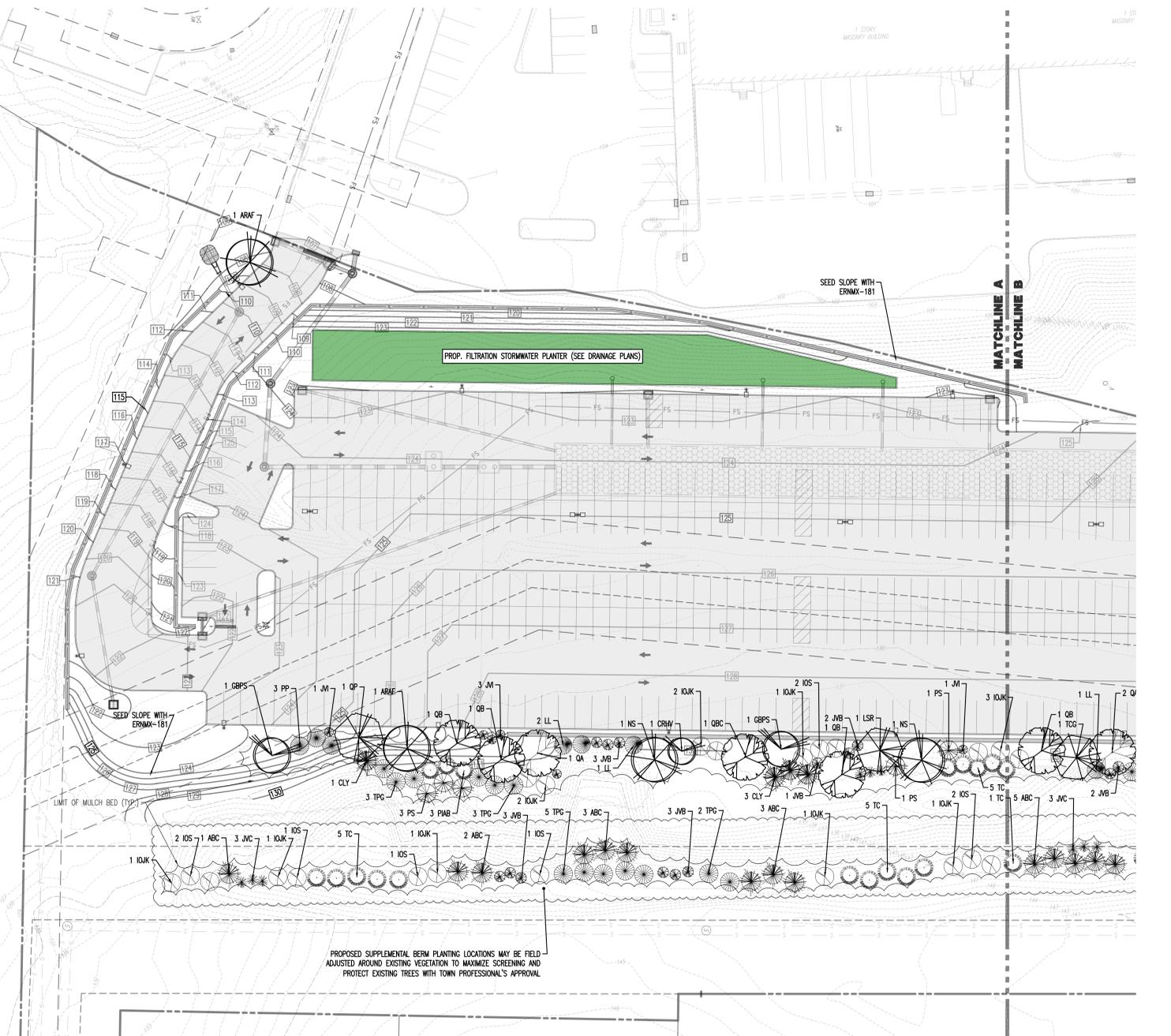
GRAPHIC SCALE: 1" = 30 FT.

SCALE: (H) 1"=30' DATE: 10/02/2023

PROJECT No: 1739-22-02023

SHEET No: 17 of 30

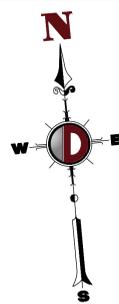
Rev. #:



LANDSCAPE SCHEDULE

Table with columns: SIZING (SEMI TREES, SHRUB TREES, SMALL TREES), BOTANICAL NAME, COMMON NAME, SIZE, and REMARKS. Lists various plant species and their specifications.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



NO.	DATE	REVISIONS	BY	CHK	APP
1	10/27/23	ISSUE FOR PERMITTING	AS	AS	AS
2	11/17/23	REVISED PER COMMENTS	AS	AS	AS
3	12/07/23	REVISED PER COMMENTS	AS	AS	AS
4	02/07/24	REVISED PER COMMENTS	AS	AS	AS
5	02/07/24	REVISED PER COMMENTS	AS	AS	AS

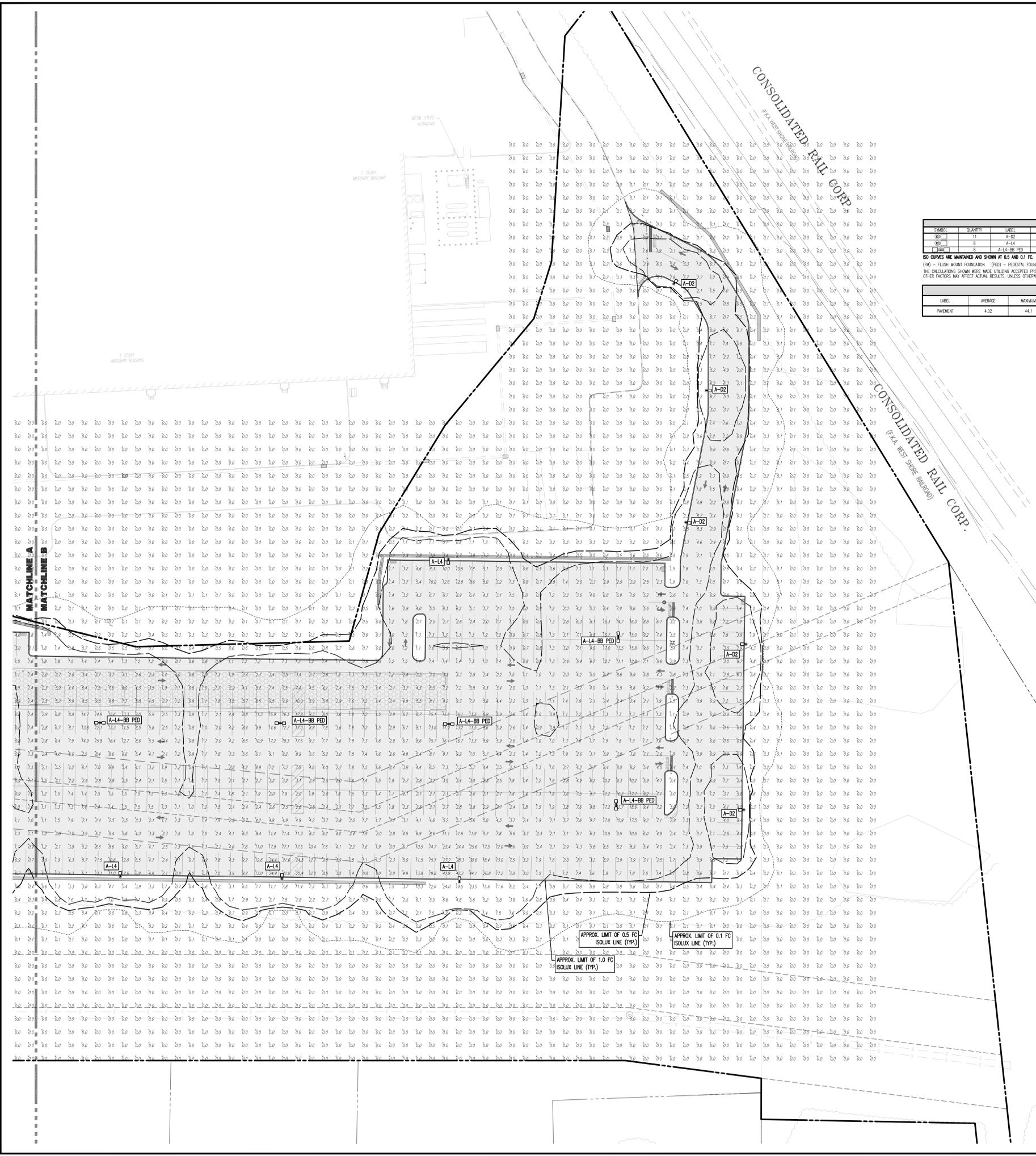
SYMBOL	QUANTITY	LABEL	VOLTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	EST. FEE
REEL	11	A-10	74	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_144730_WITNELS-CAL-BLK-#8
REEL	8	A-14	263	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_144730_WITNELS-CAL-FR-BLOCK#8
REEL	8	A-14-BB PED	263	20'	BACK-TO-BACK	1.000	GE LIGHTING	BACK-TO-BACK AREA LIGHT	EALP03_144730_WITNELS-CAL-FR-BLOCK#8

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEGRADATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

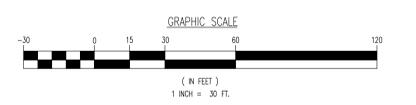
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
PAVEMENT	4.02	44.1	0.5	8.04	88.20	LIGHT LEVELS IN PAVEMENT

GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FUTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYWIRE POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELLED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.



SEE SHEET 25 OF 30 FOR LIGHTING PLAN DETAILS



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: ONYX EQUITIES, LLC
 Proposed Accessory Parking Lot
 EA AND LAD LEBER ROAD
 TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 02/07/24
 DRAWN BY: UV
 CHECKED BY: AS
 DESIGNED BY: AS
 REVISIONS BY: AS

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 NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 120771

TITLE:
LIGHTING PLAN 'B'

SCALE: (H) 1"=30' (V) 1"=30'
 DATE: 10/02/2023
 PROJECT NO: 1739-22-02023

SHEET NO: **20** OF 30
 Rev. #:



NO.	DATE	REVISION	BY	CHK	APP
1	02/07/24	ISSUE FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION	UV	ACG	REF
2	02/07/24	REV. PER PLANING BOARD SUBMISSION	UV	ACG	REF
3	02/07/24	REV. PER PLANING BOARD SUBMISSION	UV	ACG	REF

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PROJECT: **ONIX EQUITIES, LLC**
Proposed Accessory Parking Lot
E4 AND E4D LEBER ROAD
TOWN OF DRACETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 02/07/24

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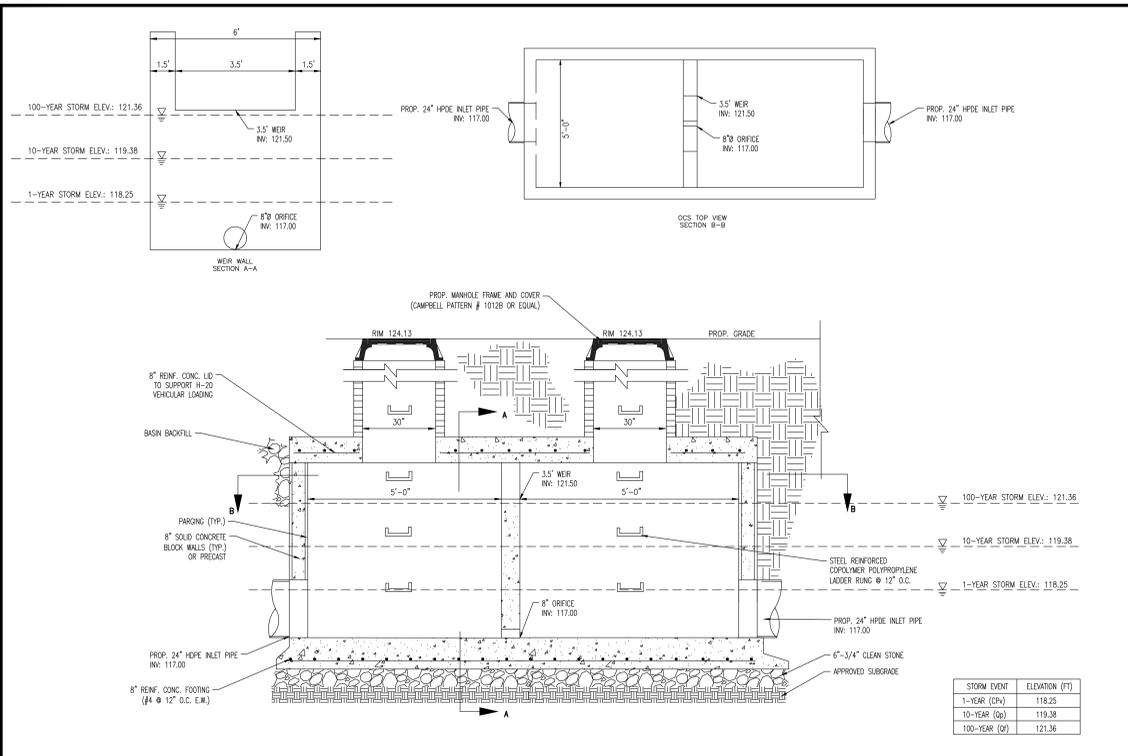
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NEW YORK LICENSE NO. 170771

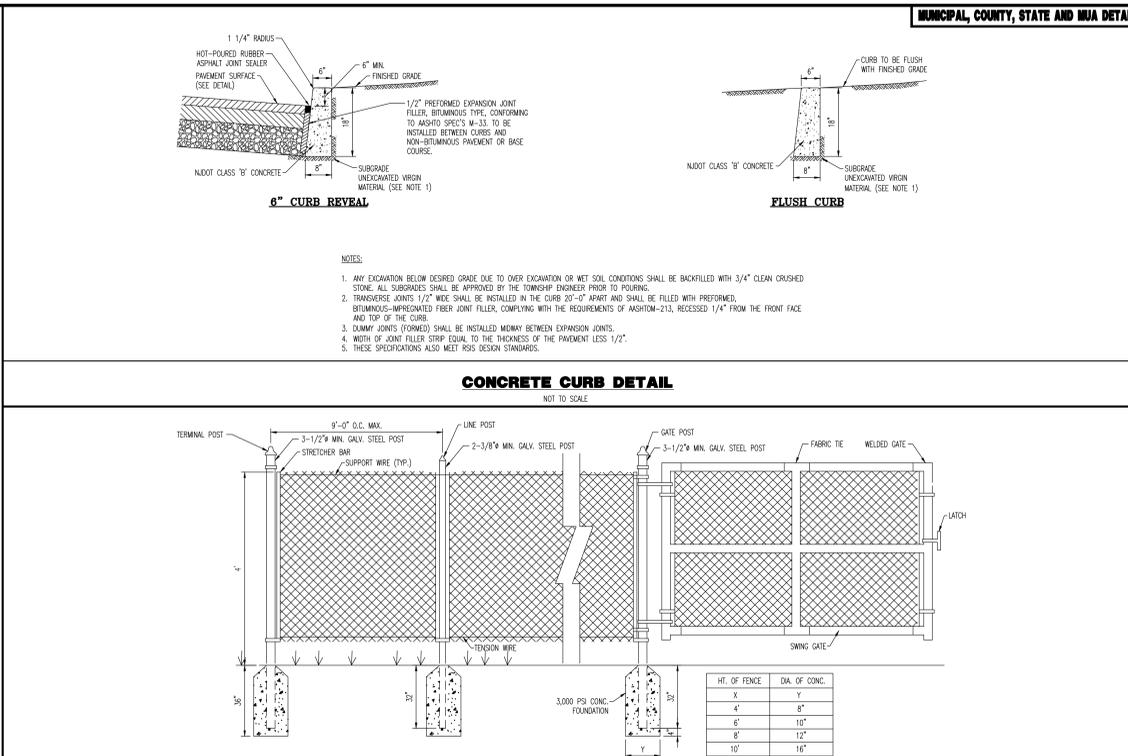
TITLE: **CONSTRUCTION DETAILS**
(1 of 5)

SCALE: NOT TO SCALE
DATE: 10/02/2023
PROJECT: 1739-22-02023

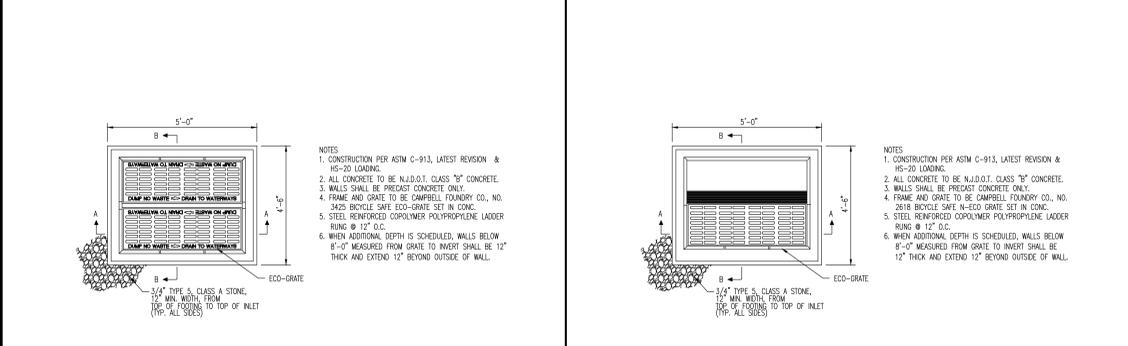
SHEET: **24** of 30
Rev. #:



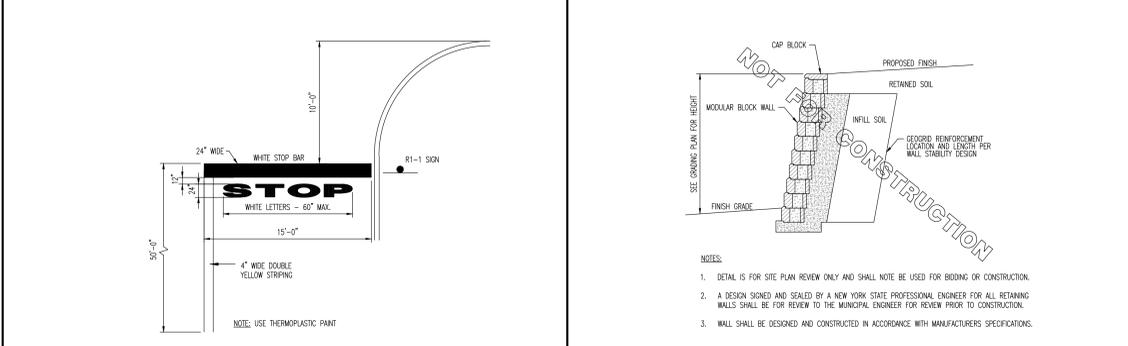
OUTLET STRUCTURE DETAIL (OCES) STORM STRUCTURE #25
NOT TO SCALE



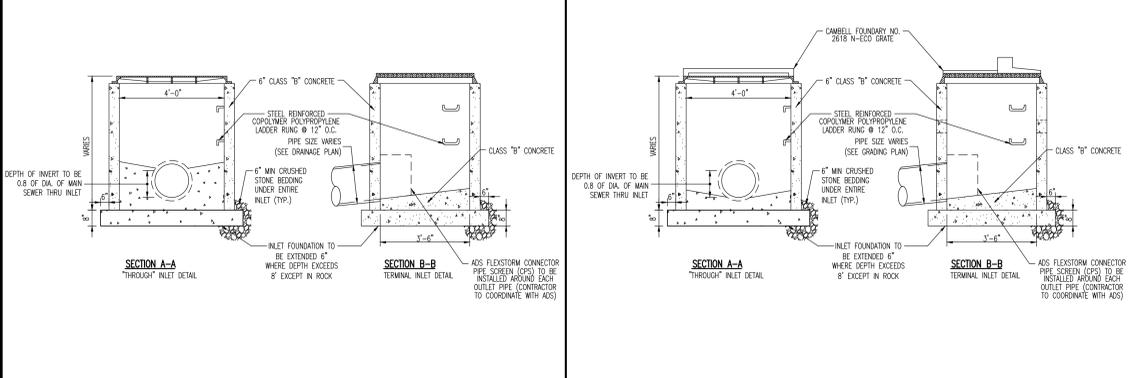
CHAIN LINK FENCE W/GATE DETAIL
NOT TO SCALE



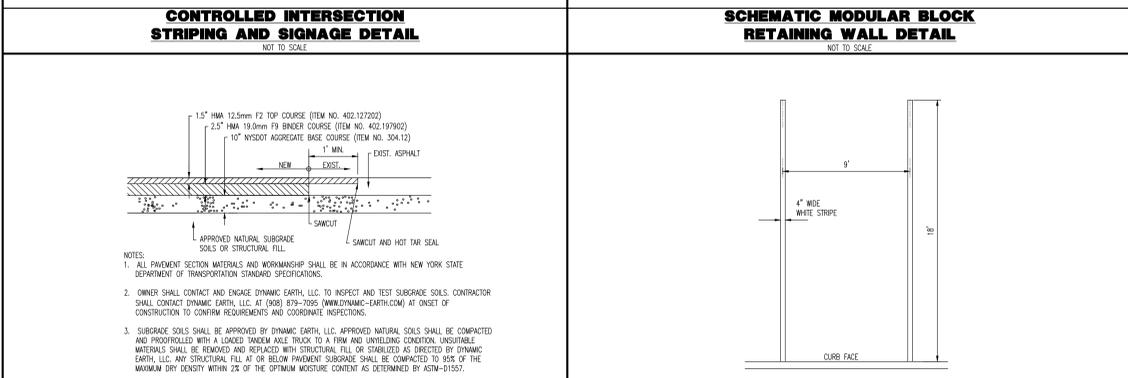
TYPE 'E' INLET
NOT TO SCALE



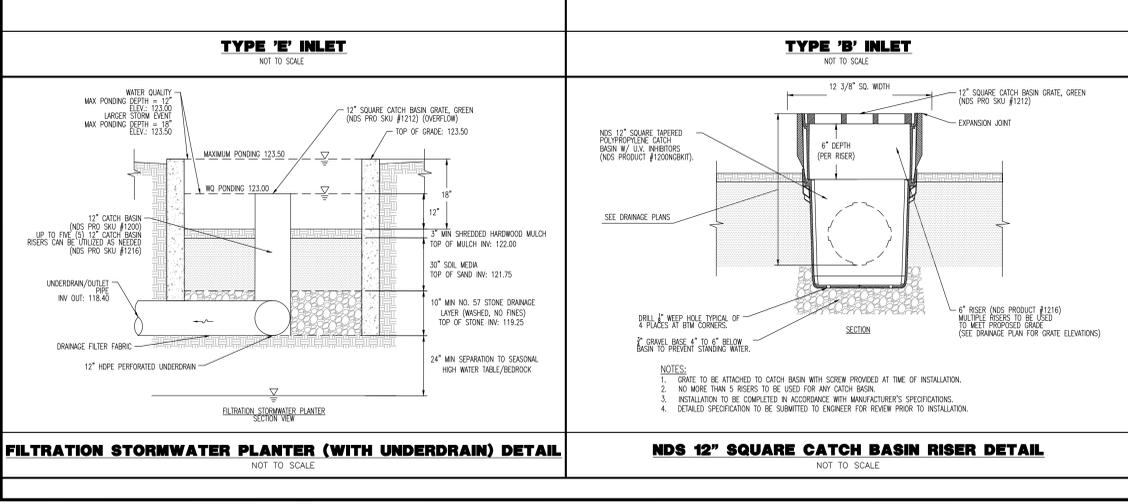
CONTROLLED INTERSECTION STRIPING AND SIGNAGE DETAIL
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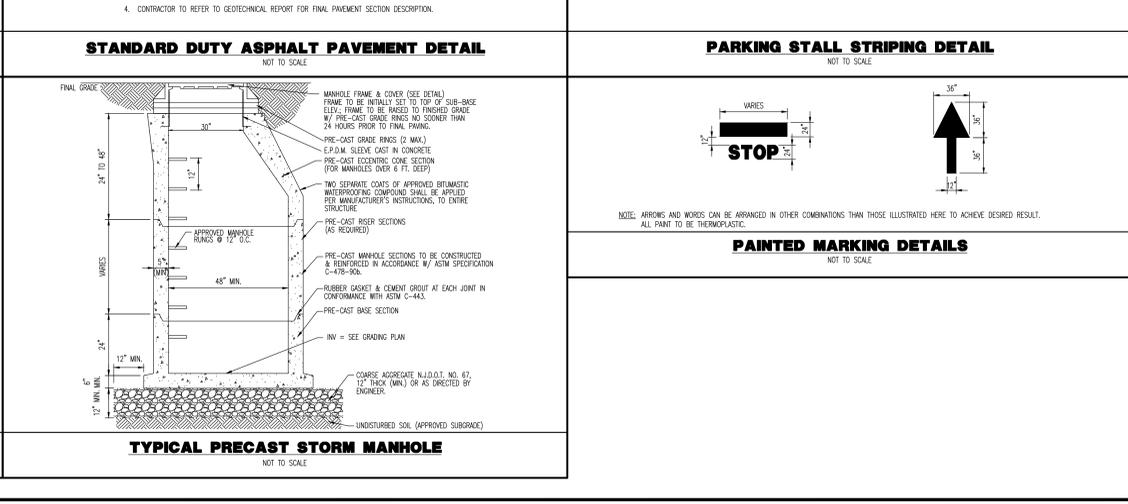
TYPE 'B' INLET
NOT TO SCALE



STANDARD DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



FILTRATION STORMWATER PLANTER (WITH UNDERDRAIN) DETAIL
NOT TO SCALE



TYPICAL PRECAST STORM MANHOLE
NOT TO SCALE

PAINTED MARKING DETAILS
NOT TO SCALE



Table with columns: NO., DATE, REVISION, COMMENTS, REV., DATE, COMMENTS. Includes project name: ONYX EQUITIES, LLC Proposed Accessory Parking Lot.

Table with columns: NO., DATE, REVISION, COMMENTS. Includes project name: ONYX EQUITIES, LLC Proposed Accessory Parking Lot.

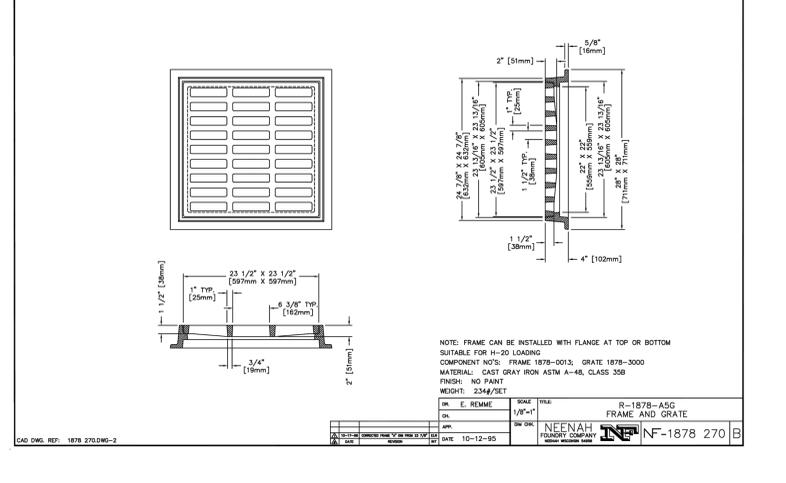
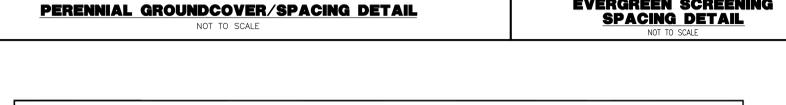
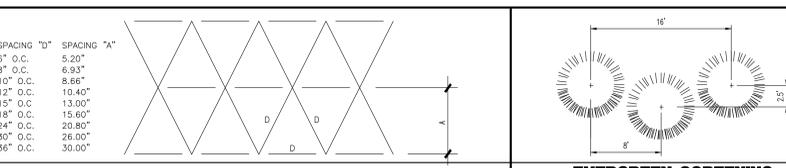
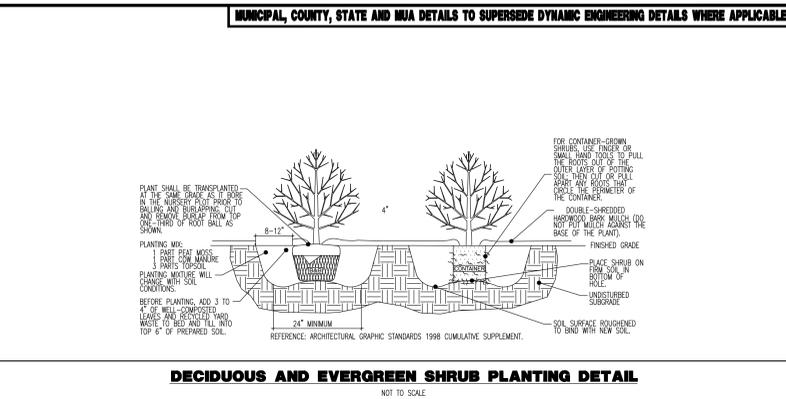
Table with columns: NO., DATE, REVISION, COMMENTS. Includes project name: ONYX EQUITIES, LLC Proposed Accessory Parking Lot.

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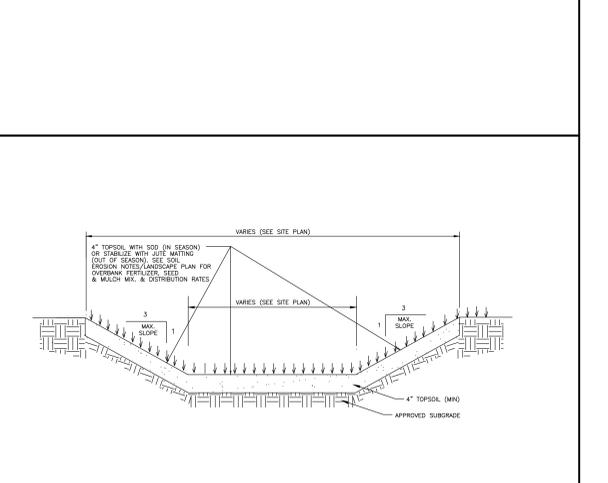
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CONSTRUCTION DETAILS (2 of 5) SHEET NO. 25 OF 30

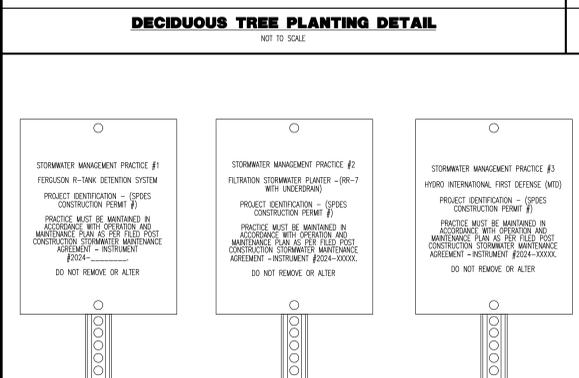
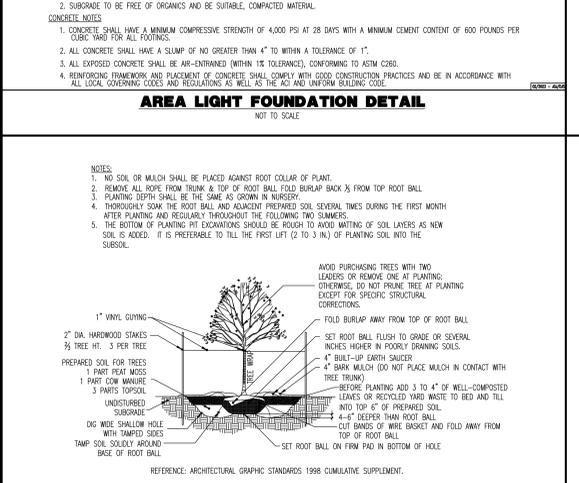
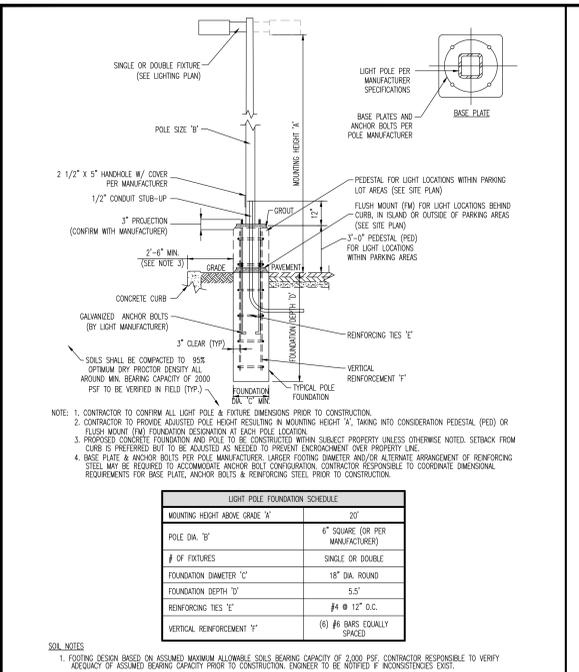


Photometrics Evolve™ LED Area Light (EALP). Includes diagrams of light beam patterns for various models: EALP Type V - Symmetric Medium (LS), EALP Type V - Symmetric Wide (VS), EALP Type IV - Asymmetric Forward (LA), EALP Type III - Asymmetric Wide (LS), EALP Type II - Asymmetric Narrow (LI), and EALP - Asymmetric Auto (LA).

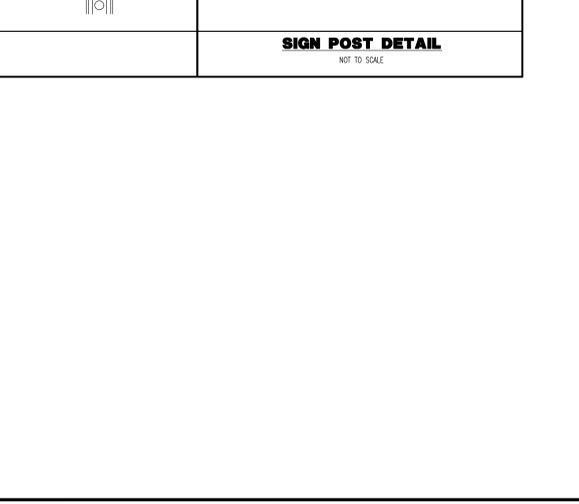


Ordering Number Logic Evolve™ LED Area Light (EALP). Includes a table with columns: MODEL, LUMENS, FOOT COUNTS, and a list of options like color, mounting, and beam spread.

Table with columns: TYPE, MODEL, LUMENS, FOOT COUNTS, and other specifications for various EALP models.



STORMWATER PRACTICE SIGN DETAILS. Includes four diagrams for different stormwater management practices: Practice #1 (Ferguson R-tank), Practice #2 (Filtration), Practice #3 (Hydro), and Practice #4 (Hydro).





REV.	DATE	BY	DESCRIPTION
1	02/07/24	ASG	REVISED PER COMMENTS
2	02/07/24	ASG	REVISED PER COMMENTS
3	02/07/24	ASG	REVISED PER COMMENTS
4	02/07/24	ASG	REVISED PER COMMENTS
5	02/07/24	ASG	REVISED PER COMMENTS

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PROJECT: ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT FOR 140 LEIBER ROAD, 4TH FLOOR, ORANGETOWN, NJ 07071

TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

SCALE: NTS

DRAWN BY: BMK

DATE: 06/25/24

SHEET NO: 6 OF 6

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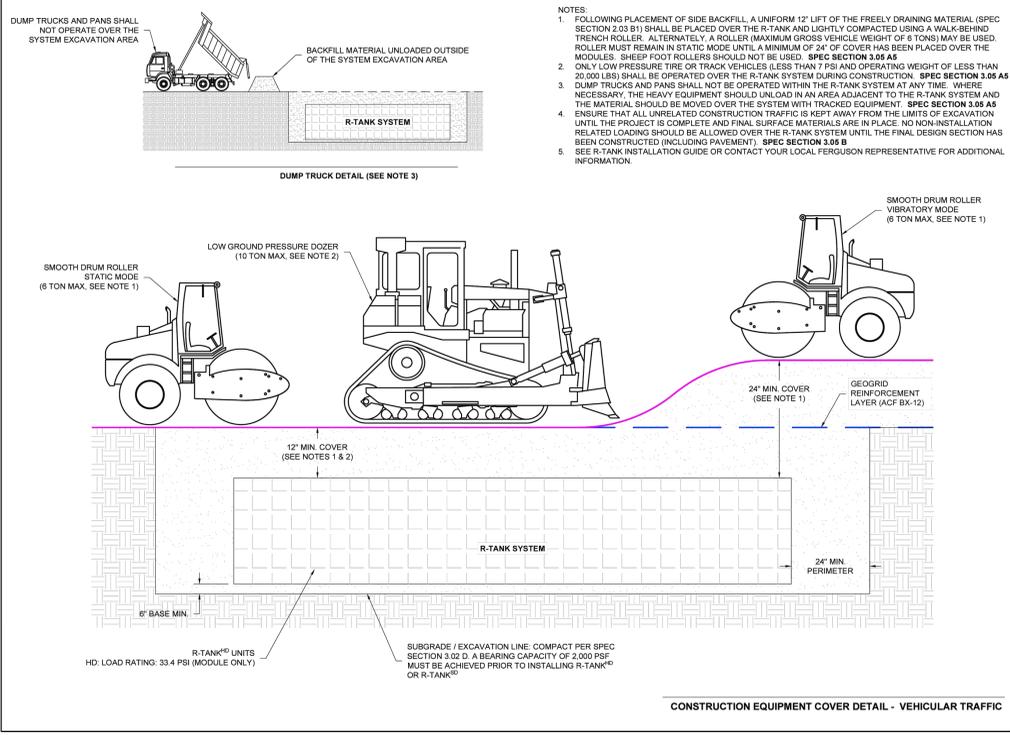
CONSTRUCTION DETAILS

(4 of 5)

DATE: 10/02/2023

PROJECT: 1739-22-02023

SHEET NO: 27 OF 30



R-TANK® CONSTRUCTION EQUIPMENT COVER PER SPEC SECTION 3.05 AS ORANGETOWN, NY

SCALE: NTS

DRAWN BY: BMK

DATE: 06/25/24

SHEET NO: 5 OF 6

R-TANK SPECIFICATION

PART 1 - GENERAL

1.01 SUMMARY

A. Section Includes

1. R-Tank System

2. R-Tank Modules

3. R-Tank Inlets

4. R-Tank Outlets

5. R-Tank Support Structure

6. R-Tank Foundation

7. R-Tank Backfill

8. R-Tank Cover

9. R-Tank Access

10. R-Tank Maintenance

11. R-Tank Inspection

12. R-Tank Repair

13. R-Tank Replacement

14. R-Tank Removal

15. R-Tank Installation

16. R-Tank Operation

17. R-Tank Maintenance

18. R-Tank Inspection

19. R-Tank Repair

20. R-Tank Replacement

21. R-Tank Removal

22. R-Tank Installation

23. R-Tank Operation

24. R-Tank Maintenance

25. R-Tank Inspection

26. R-Tank Repair

27. R-Tank Replacement

28. R-Tank Removal

29. R-Tank Installation

30. R-Tank Operation

31. R-Tank Maintenance

32. R-Tank Inspection

33. R-Tank Repair

34. R-Tank Replacement

35. R-Tank Removal

36. R-Tank Installation

37. R-Tank Operation

38. R-Tank Maintenance

39. R-Tank Inspection

40. R-Tank Repair

41. R-Tank Replacement

42. R-Tank Removal

43. R-Tank Installation

44. R-Tank Operation

45. R-Tank Maintenance

46. R-Tank Inspection

47. R-Tank Repair

48. R-Tank Replacement

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116. R-Tank Inspection

117. R-Tank Repair

118. R-Tank Replacement

119. R-Tank Removal

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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	11/17/23	REV. PER PLANNING BOARD SUBMISSION
3	12/12/23	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
E4 AND E4D LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

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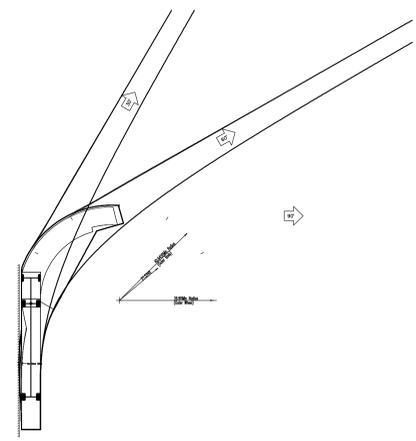
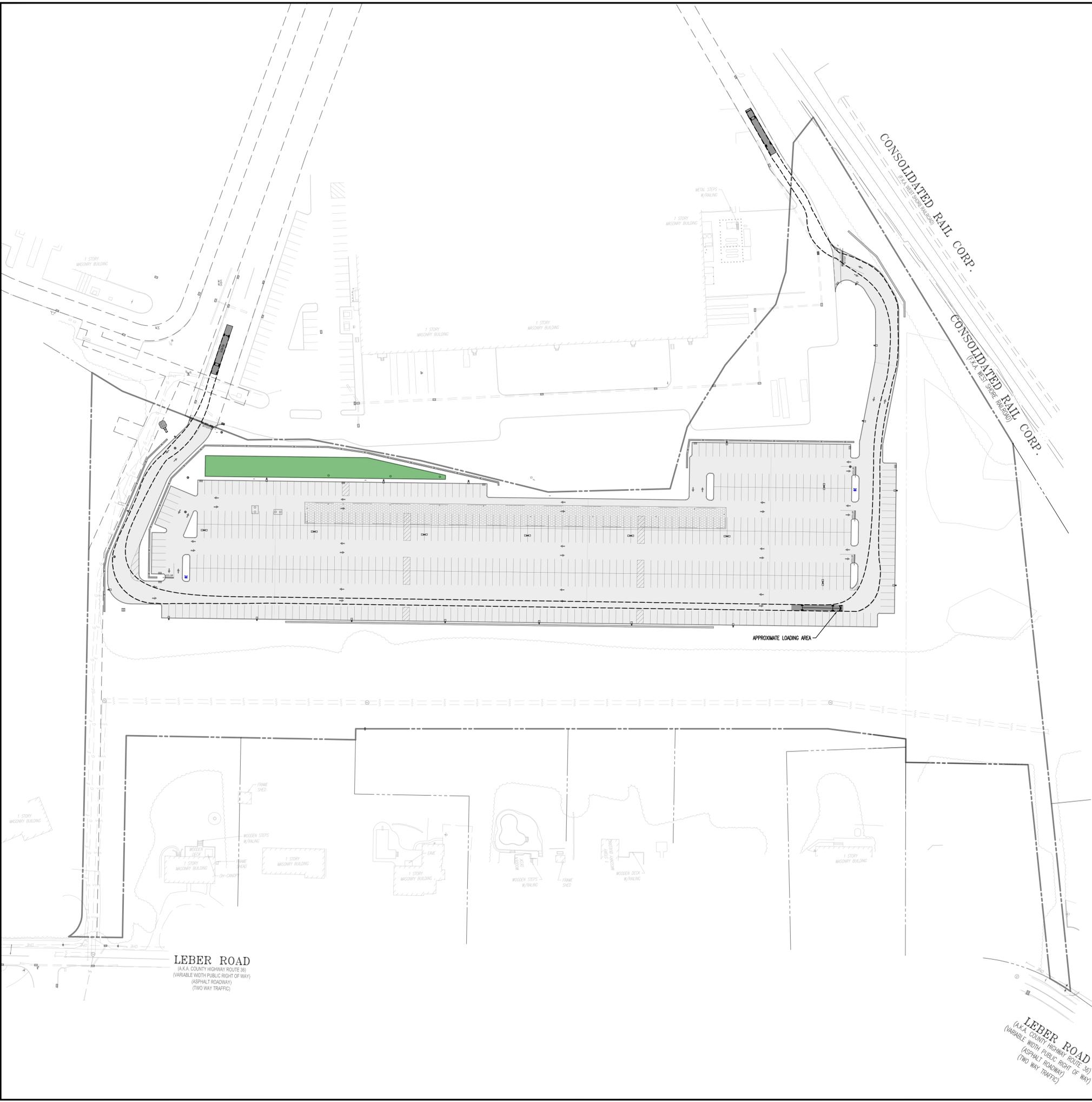
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PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623



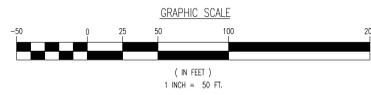
TITLE: **VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)**

SCALE: (H) 1"=50'
(V) 1"=20'
PROJECT No: 1739-22-02023

SHEET No: **29** Rev. #:
of 30



Item	Dimensions
Car Carrier Trailer	30' x 100'
Overall Length	100'
Overall Width	30'
Clearance	10'
Light to Dark Line	10'
Light to Light Line	10'
Light to Curve Turning Radius	10'



Project: 07/10/24 - 321_Pk_Pc_LeberRoad
 File: \\pcc\pcc\Users\jacob\OneDrive\Documents\LEBER\LEBER_VEHICLE_CIRCULATION_PLAN (CAR CARRIER TRAILER)

