

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 10/1/2024

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 5871-24 *Mike*

ASSIGNED: \_\_\_\_\_

INSPECTOR: ~~Richard Ocker~~

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: BLAKE COVERED FRONT PORCH ADDITION

Street Address: 15 LARK ST  
PEARL RIVER NY 10965

Tax Map Designation:  
Section: 69.18 Block: 1 Lot(s): 68  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:  
On the WEST side of LARK ST, approximately 200' feet NORTH of the intersection of ORANGEBURG/LARK in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel <u>.35</u>	Zoning District <u>R-15</u>
School District <u>PR</u>	Postal District <u>PR</u>
Ambulance District <u>PR</u>	Fire District <u>PR</u>
Water District <u>Vedra</u>	Sewer District <u>Municipal</u>

Project Description: (If additional space required, please attach a narrative summary.)  
COVERED FRONT PORCH ADDITION

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 10/1/2024 Applicant's Signature: [Signature]



**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If ~~subdivision:~~**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit,** list special permit use and what the property will be used for.

\_\_\_\_\_

\_\_\_\_\_

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_ *N/A*

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_ *N/A*

Are there **wetlands** on the site? If yes, please provide the names and type: \_\_\_\_\_ *N/A*

**Project History:**

Has this project ever been reviewed before? \_\_\_\_\_ *No*

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_

\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_

\_\_\_\_\_



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 Greenbush Road  
Orangeburg, N.Y. 10962



Jane Slavin, R.A.  
Director

(845)359-8410

**REFERRAL TO THE ZONING BOARD OF APPEALS**

Date: 9.24.24 Section: 69.18 Block: 1 Lot: 68

Applicant: Blake

Address: 15 Lark St, Pearl River

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12 R-15, Group M, Col. 8 Min Front Yrd 30' w/ 28.8' proposed

1 variance required

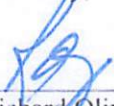
Comments:

Covered front porch addition


Dear Blake:

Please be advised that the Building Permit Application # 5871-24, which you submitted on 9.13.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com.

Sincerely,

  
\_\_\_\_\_  
Richard Oliver  
Deputy Building Inspector

9/24/24

  
\_\_\_\_\_  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
1-30-2023

9/26/24

CC: Date  
Liz DeCort  
Debbie Arbolino

VIS	PRINT KEY	NAME	ADDRESS
2489	69.18-1-55	William Donnelly	11 Hawk St,Pearl River, NY 10965
2489	69.18-1-56	Edward P Haddican	7 Hawk St,Pearl River, NY 10965
2489	69.18-1-57	Donald Schule	1 Hawk St,Pearl River, NY 10965
2489	69.18-1-58	Shane Curran	2 Hawk St,Pearl River, NY 10965
2489	69.18-1-59	Mary E Walsh	6 Hawk St,Pearl River, NY 10965
2489	69.18-1-60	Gerald Albin	12 Hawk St,Pearl River, NY 10965
2489	69.18-1-61	Joseph Finan	18 Hawk St,Pearl River, NY 10965
2489	69.18-1-62	Craig Bottrill	28 Hawk St,Pearl River, NY 10965
2489	69.18-1-65	Roger Monaco	37 Lark St,Pearl River, NY 10965
2489	69.18-1-66	Mathew Varghese	29 Lark St,Pearl River, NY 10965
2489	69.18-1-67	Edward H Reynolds	23 Lark St,Pearl River, NY 10965
2489	69.18-1-68	Kevin Blake	15 Lark St,Pearl River, NY 10965
2489	69.18-1-69	Sean Greenan	5 Lark St,Pearl River, NY 10965
2489	69.18-1-70	Sarita Anavil	2 Lark St,Pearl River, NY 10965
2489	69.18-1-71	Robert J Telepan	10 Lark St,Pearl River, NY 10965
2489	69.18-1-72	Robert Stabile	16 Lark St,Peal River, NY 10965
2489	69.18-1-73	Joseph A Soldano	24 Lark St,Pearl River, NY 10965
2489	69.18-1-74	Patricia L Mc Gowan	32 Lark St,Pearl River, NY 10965
2489	69.18-1-88	Dorothy L Scherer	599 Orangeburg Rd,Pearl River, NY 10965
2489	69.18-3-22	Thomas Weir	4 Sunrise Ln,Pearl River, NY 10965
2489	69.18-3-23	Michael Moroney	5 Sunrise Ln,Pearl River, NY 10965
2489	69.18-3-26	Douglas Wright	580 Orangeburg Rd,Pearl River, NY 10965
2489	69.18-3-27	Christa Ann Loughran-Mellozzo	586 Orangeburg Rd,Pearl River, NY 10965
2489	69.18-4-1	Elizabeth Perez	12 E Nauraushaun Ave,Pearl River, NY 10965

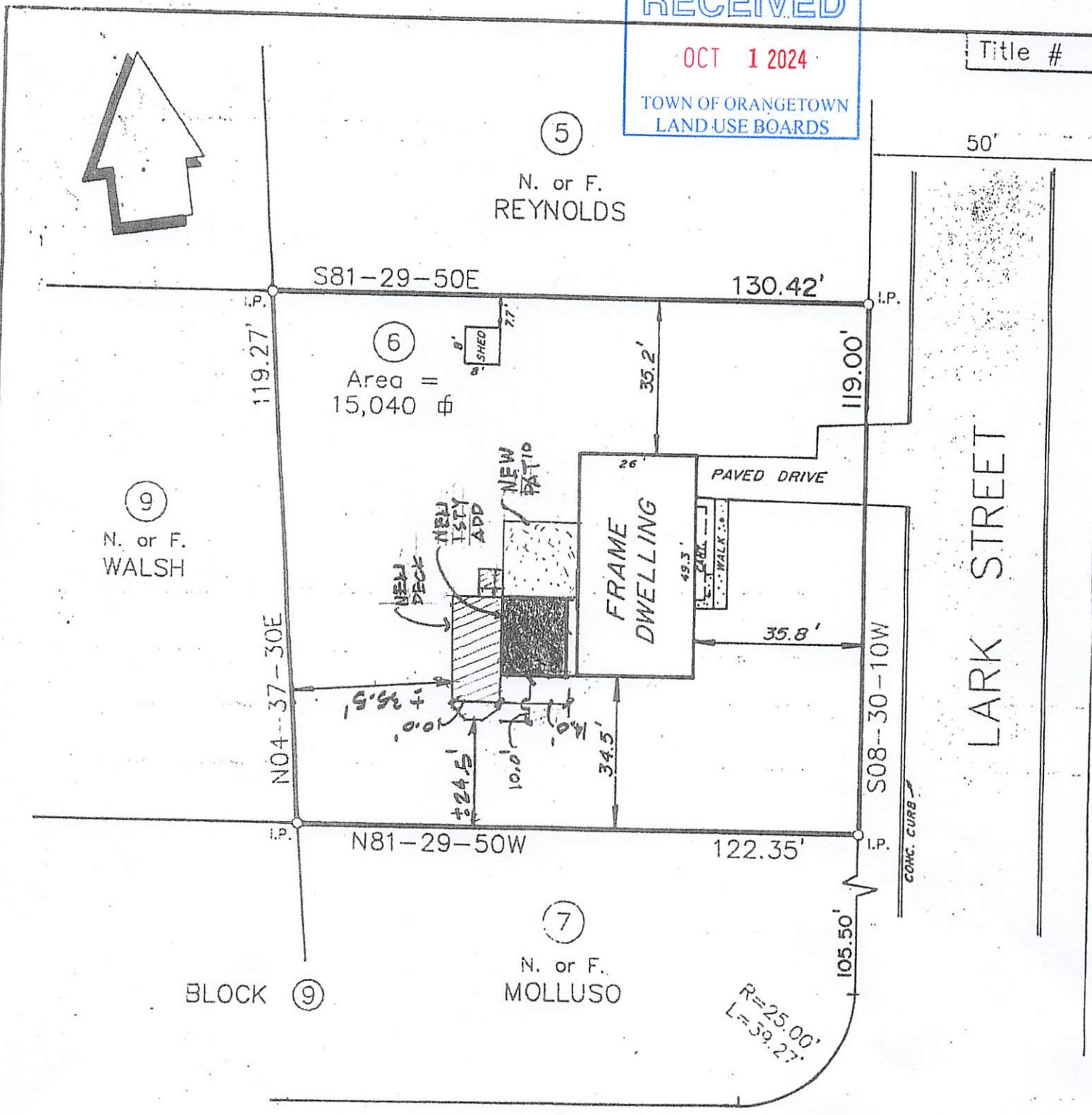


RECEIVED

OCT 1 2024

TOWN OF ORANGETOWN  
LAND-USE BOARDS

Title #



ORANGEBURG ROAD

LAND SURVEY

For

DAVID & KATHERINE BERGE

Pearl River

Town of Orangetown

Rockland County,

Scale: 1" = 30'

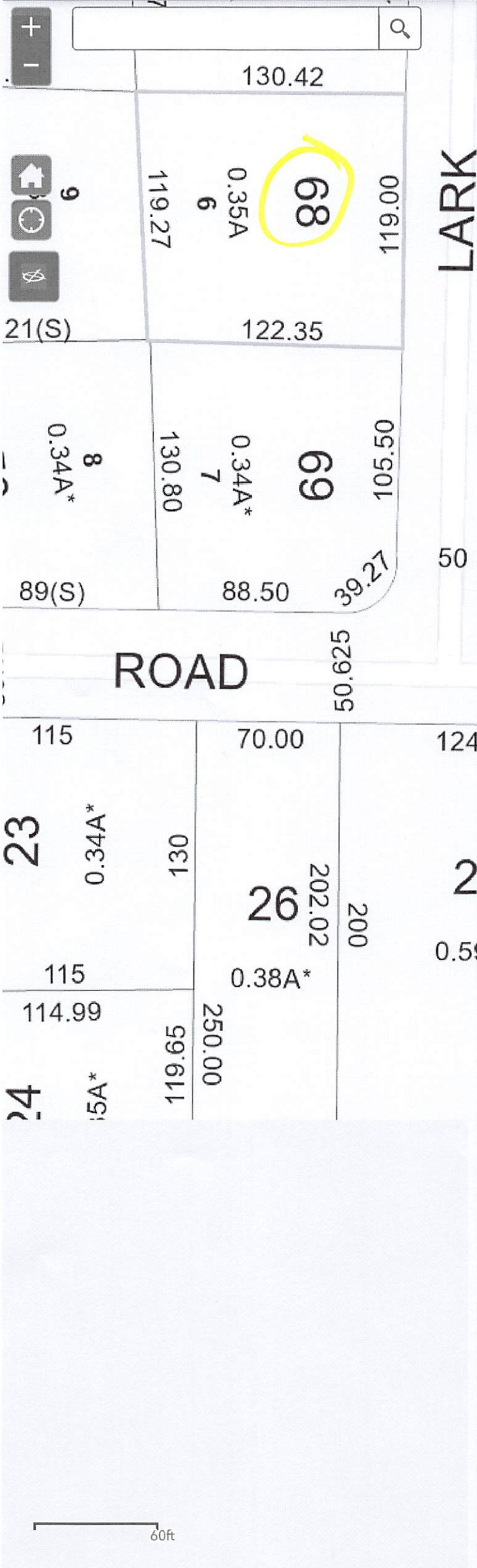
June 10, 1997

Area = 0.34 Ac.

Certified to: David Berge, Katherine Berge, Eugene P. O'Brien, Joyce O'Brien, Chase Manhattan Bank, its successors and/or assigns, as their interest may appear and Lawyers Title Insurance Corporation.

Reference: Designated as Lot No. 6 in on a certain map entitled: "MAP OF K HOMES", filed in R.C.C.O. on June 4, 19 Book 57, Page 2 as Map # 2430.

"Certifications indicated hereon signify that this survey was prepared in accordance with the ex--



GML Sec. 239

Select By ID Buffer Results

Export Search URL Zoom All Clear Report

Features selected: 1 Export All to CSV

PARCEL DATE: February 2023  
 SWIS: 392489  
 PRINT\_KEY: 69.18-1-68  
 OLD\_ID: 20-32-316.6  
 OWNER1: KEVIN BLAKE  
 OWNER2: JUSTYNA BLAKE  
 ADDITIONAL OWNERS:  
 ADDRESS: 15 LARK ST  
 ADDRESS2:  
 ALTERNATE ADDRESS:  
 CITY: PEARL RIVER  
 STATE: NY  
 ZIP: 10965  
 BOOK-PAGE:  
 INSTRUMENT: 2016-00000557  
 DEED\_DATE: 01/06/2016  
 MUNICIPALITY: Orangetown  
 TOWN: Orangetown  
 VILLAGE: -  
 DEED\_ACRES: 0.35  
 GIS\_ACRES: 0.34021303  
 GML\_REVIEW: NO  
 ROW - PALISADES INTERSTATE PARKWAY: NO  
 ROW - NYS THRUWAY: NO  
 ROW - COUNTY HWY: NO  
 ROW - STATE HWY: NO  
 COUNTY REGULATED STREAM: NO  
 LONG PATH TRAIL: NO  
 COUNTY PARK: NO  
 STATE PARK: NO  
 STATE FACILITY: NO  
 COUNTY FACILITY: NO  
 VILLAGE BOUNDARY: NO  
 TOWN BOUNDARY: NO  
 ORANGE COUNTY: NO  
 SPLIT\_ZONE: NO  
 ZONES: 1  
 ZONE1: R-15  
 ZONE1 DESCRIPTION: Medium Density Residential  
 ZONE2: -  
 ZONE2 DESCRIPTION: -  
 ZONE3: -  
 ZONE3 DESCRIPTION: -  
 ZONE OVERLAY: -  
 LAND USE: One Family Residential  
 NATIONAL HISTORIC SITE: NO  
 HISTORIC REVIVAL SITE: NO  
 HISTORIC DUTCH SITE: NO  
 HISTORIC DISTRICT: NO  
 ELECTION DISTRICT: 19

DECISION

**FLOOR AREA RATIO AND TOTAL SIDE YARD VARIANCES APPROVED**

To: David and Kathleen Berge  
15 Lark Street  
Pearl River, New York 10965

ZBA # 14-41  
Date: June 4, 2014

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA:14-41: Application of David and Kathleen Berge for variances from Chapter 43 (Zoning) of the Orangetown Code, R-15 District, Group M, Columns 4 (Floor Area ratio: .20 permitted, .21 proposed) and 10 (Total Side Yard: 50' required, 45.7' proposed) for an addition to an existing single-family residence. The premises are located at 15 Lark Street, Pearl River, New York, and identified on the Orangetown Tax Map as Section 69.18, Block 1, Lot 68; R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, June 4, 2014 at which time the Board made the determination hereinafter set forth.

Kathleen and David Berge and Jane Slavin, Architect, appeared and testified.

The following documents were presented:

1. Architectural plans dated 04/07/2014 signed and sealed by Jane Slavin, Architect. (2 pages)

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and /or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Ms. Salomon, aye; Ms. Castelli, aye; Mr. Feroldi, aye; Mr. Quinn, aye; and Mr. Sullivan, aye. Mr. Bosco was absent.

Jane Slavin, Architect, testified that they would like to add 14' on the north side of the existing garage to create a two car garage with an expansion of the second floor above it; that they presently have three small bedrooms and would like to expand the upstairs to have three bedrooms that are larger than the existing rooms; that they will be over the permitted floor area ratio by 226 square feet; that the existing garage is 10.8' wide and is not large enough to park a car in and comfortably get in and out of the car; that they would expand the area by fourteen feet and have usable two car garage; that she has picture of the area and this proposal is in keeping with the character of the neighborhood.

Kathleen Berge testified that they have an eighteen year old autistic son that presently occupies the 10' x 10' bedroom; that he refused to change rooms when his sister went away to college; and that they would like to create three larger bedrooms to accommodate the family.

TOWN OF ORANGETOWN  
2014 JUN 23 PM 2 03

Public Comment:

No public comment.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

**FINDINGS OF FACT AND CONCLUSIONS:**

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested floor area ratio and total side yard variances will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Similar additions have been constructed in the area.
2. The requested floor area ratio and total side yard variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. Similar additions have been constructed in the area.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.
4. The requested floor area ratio and total side yard variances, although somewhat substantial, affords benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community.
5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

TOWN CLERKS OFFICE  
2014 JUN 23 PM 2 03  
TOWN OF ORANGETOWN



**DECISION:** In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application for the requested floor area ratio and total side yard variances are **APPROVED**; and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

**General Conditions:**

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

TOWN CLERKS OFFICE  
2014 JUN 23 PM 2 03  
TOWN OF ORANGETOWN

The foregoing resolution to approve the application for the requested floor area ratio and total side yard variances was presented and moved by Mr. Quinn, seconded by Ms. Castelli and carried as follows: Mr. Feroldi, aye; Ms. Castelli, aye; Ms. Salomon, aye; Mr. Quinn, aye; and Mr. Sullivan, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: June 4, 2014

ZONING BOARD OF APPEALS  
TOWN OF ORANGETOWN

By   
Deborah Arbolino  
Administrative Aide

DISTRIBUTION:

APPLICANT  
ZBA MEMBERS  
SUPERVISOR  
TOWN BOARD MEMBERS  
TOWN ATTORNEY  
DEPUTY TOWN ATTORNEY  
OBZPAE  
BUILDING INSPECTOR -R.A.O.

TOWN CLERK  
HIGHWAY DEPARTMENT  
ASSESSOR  
DEPT. of ENVIRONMENTAL  
MGMT. and ENGINEERING  
FILE,ZBA, PB  
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN  
2014 JUN 23 PM 2 04  
TOWN CLERKS OFFICE

# CERTIFICATE OF OCCUPANCY

## OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

---

Permit Type : Res Additions Certificate # : 42678  
Completion Date : 08/15/2013

Location of Property : 15 Lark St  
Sec - Blk - Lot : 69.18-1-68

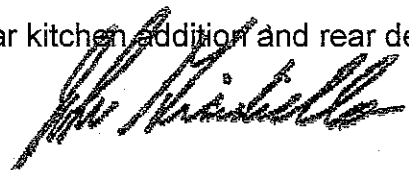
Owner of Property : David Berge  
Address of Owner : 15 Lark St

Construction Type : Res Additions

THIS CERTIFIES THAT PERMISSION is hereby granted for the OCCUPANCY of the premises herein described, situated on the above mentioned premises for the purposes specified as follows.

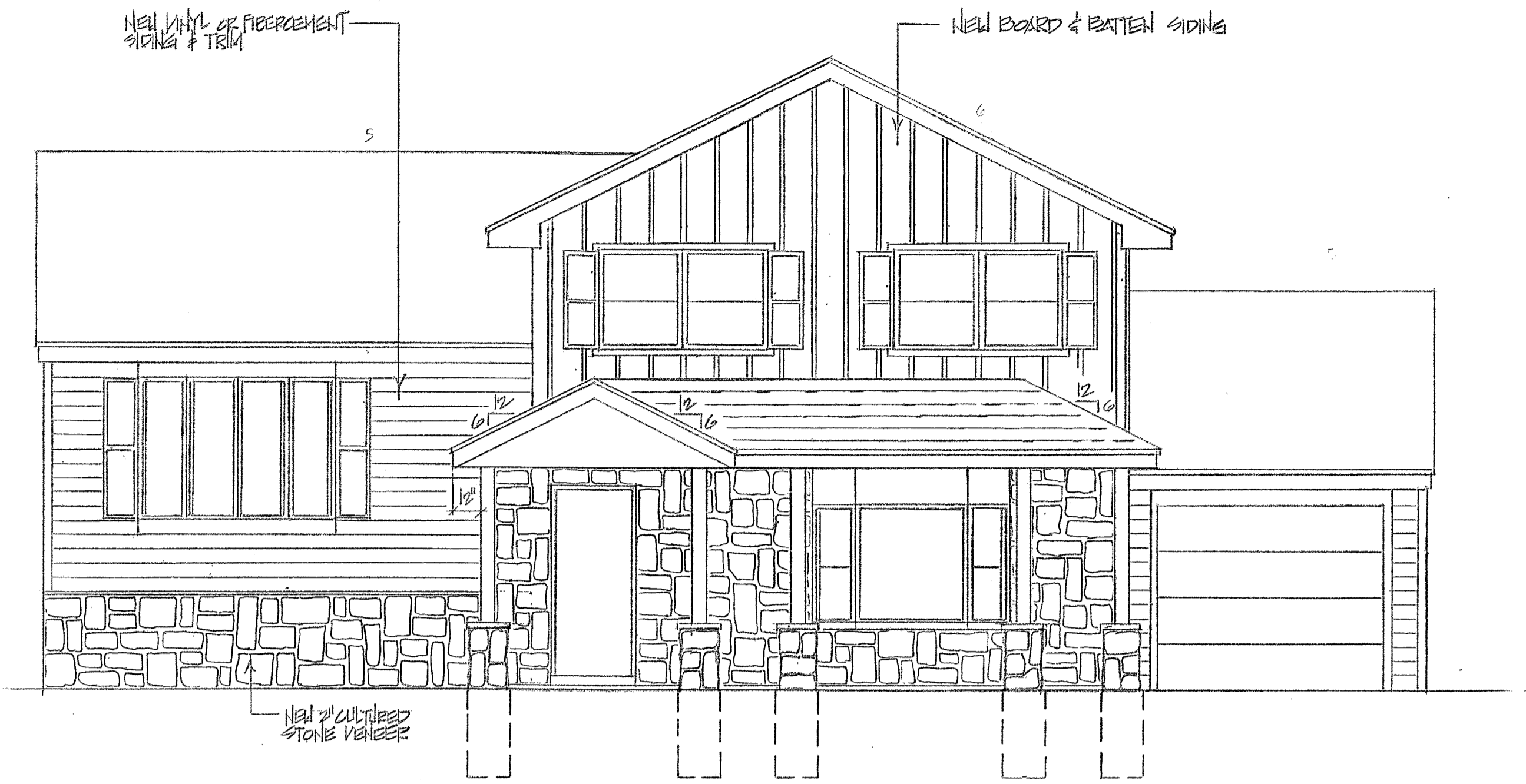
Use and designation for the structure or land and nature of work for which this C.O. is issued :  
THIS PERMIT SUPERSEDES PERMIT # 42677 .

One story rear kitchen addition and rear deck



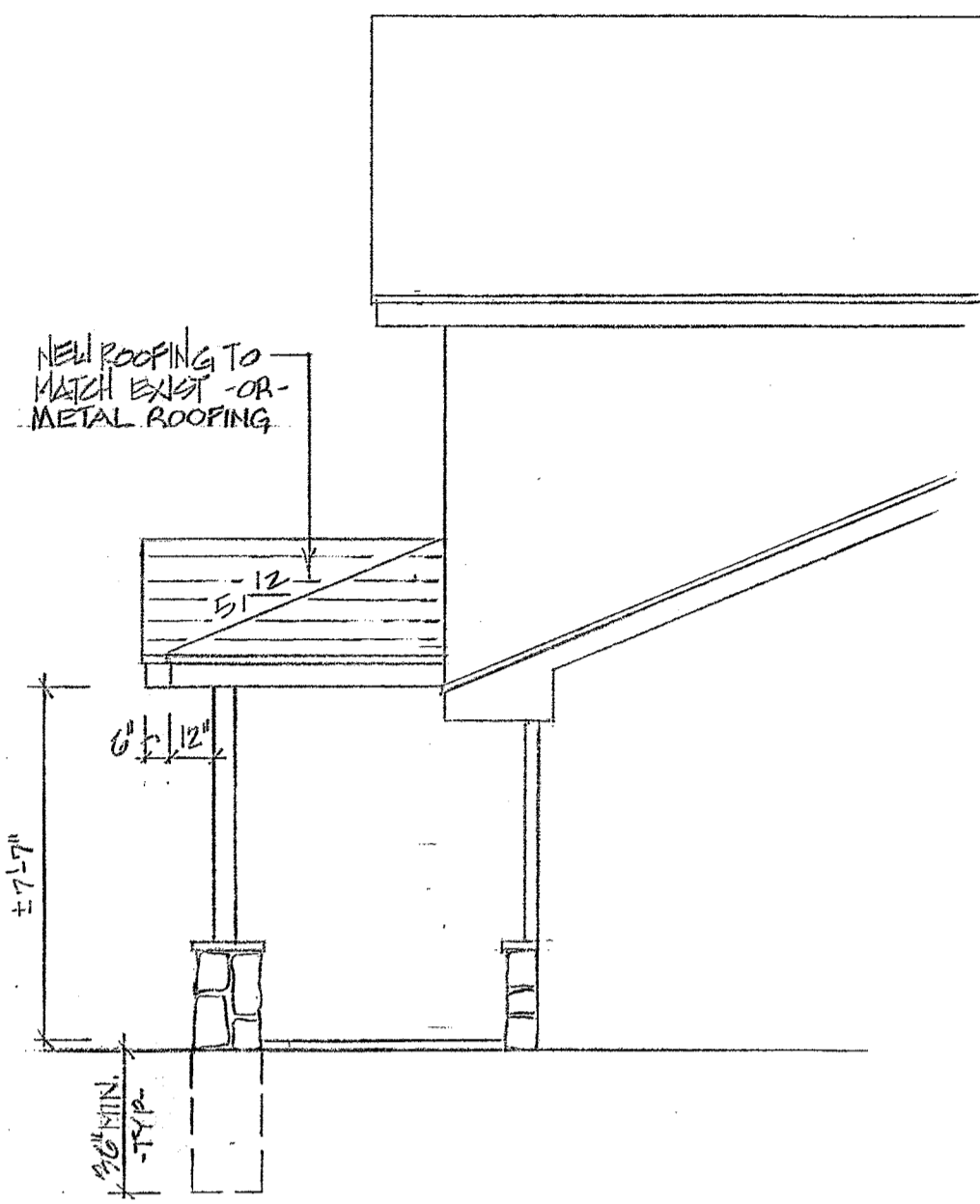
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Director, OBZPAE



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

RECEIVED  
OCT 1 2024  
TOWN OF ORANGETOWN  
LAND USE BOARDS

Town of Orangetown  
MEETING OF:  
NOV 6 2024  
ZONING BOARD OF APPEALS

**BLAKE RESIDENCE  
ONE-STORY ADDITION**

**15 LARK STREET  
PEARL RIVER, N.Y.**

PROJECT 24018  
JUNE 14, 2024

**STATE OF NEW YORK ADOPTED CODES AND STANDARDS**

- INTERNATIONAL RESIDENTIAL CODE- NY EDITION, 2020
- NATIONAL ELECTRIC CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2020
- INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
- NYSTRECH ENERGY CODE-2020
- INTERNATIONAL MECHANICAL CODE, 2020
- INTERNATIONAL FUEL GAS CODE, 2020
- 2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE



**HARRY J. GOLDSTEIN  
ARCHITECT**  
DESIGN & DEVELOPMENT

4 REGINA ROAD  
MONSIEY, NEW YORK 10952  
(845) 356-7942 (914) 393-5787

1  
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F  
2

**GENERAL NOTES**

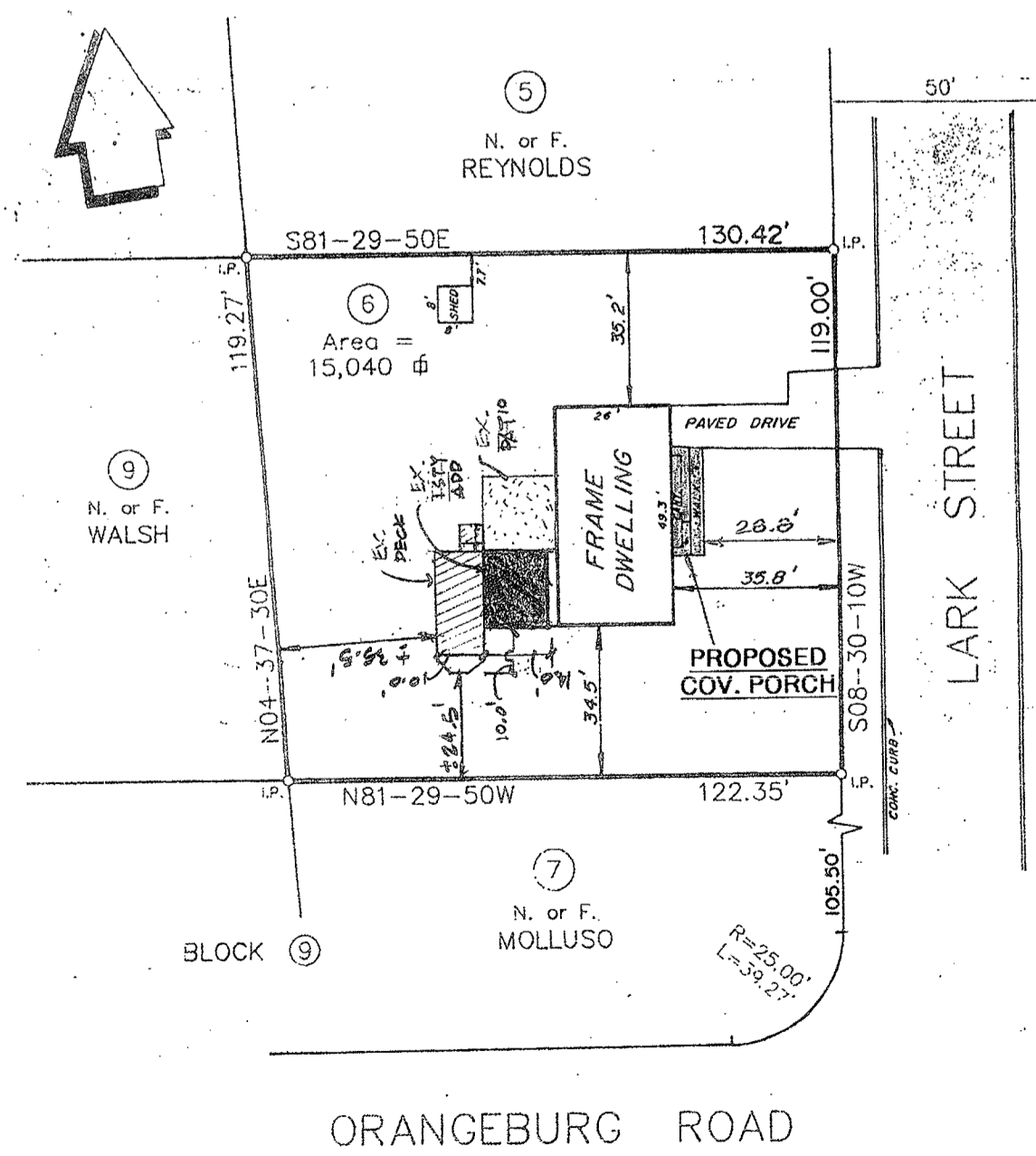
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGEBURG, SOUTH CAROLINA, AND THE N.Y.S. BUILDING AND ENERGY CODE.
2. ALL ELECTRICAL WORK PERFORMED SHALL BE APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS AND LOCAL UTILITY COMPANIES.
3. ALL PLUMBING WORK AND SEWER HOOK-UP AND/OR SEPTIC SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO APPROVAL OF THE PLUMBING INSPECTOR.
4. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS, SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCT INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
7. ALL FOOTINGS TO REST ON VIRGIN SOIL, HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER 2' X 2' MINIMUM BELOW THE FINISHED GRADE.
8. EARTH UNDER CONCRETE SLAB SHALL BE THOROUGHLY COMPACTED AND CLEANED DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL BE BROUGHT TO A TRUE PL AND COMPACTED TO SOLID BEARING.
9. ALL POURED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 AFTER 28 DAYS.
10. BACKFILL AGAINST 4" FOURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF AGGREGATE BLOCK WALLS MAXIMUM 6" ABOVE SLAB TO ADJACENT GRADE.
11. FOOTING DRAINS SHALL BE PROVIDED WHERE REQUIRED. THEY SHALL BE LAID APPROVED MANNER AND PROTECTED AT TOP WITH BUILDING PAPER AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
12. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING SO THAT SURFACE WATER FLOWS AWAY FROM IT.
13. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM ROT, LARVAE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHERE THE STRENGTH MAY BE IMPAIRED, AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILL POSTS, LINTELS AND PARTING SHALL BE HEAVYER (10% MAX. MOISTURE CONTENT). ALLOW 75% TO 1 GRADE AND 2 1/2" GRADE EXCEPT IF NOTED OTHERWISE HEREBY IN THE SPECIFICATION OR ON THE DRAWINGS. THE MIN. UNIT STRESSES FOR MATERIALS SHALL BE:
 

FIBER STRESS (F)	1,500 PSI
HORIZONTAL SHEAR (FV)	90 PSI
MODULUS OF ELASTICITY (E)	1,800,000 PSI

 WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION R = 1,500 ONLY DOUGLAS FIR LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MIN UNIT STRESSES:
 

FIBER STRESS (F)	1,500 PSI
HORIZONTAL SHEAR (FV)	90 PSI
MODULUS OF ELASTICITY (E)	1,800,000 PSI
14. DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND ABOVE ALL FLOOR OPENINGS. DOUBLE STUDS AROUND ALL WALL OPENINGS. ONE ROW OF SILL BRIDGES AT MID-HEIGHT OF ALL INTERIOR BEARING WALLS. DOUBLE FRAMING AROUND A SKYLIGHTS. ROOF AND FLOOR TRUSSES (T) AND L.V.L. (INFORM-LAM) TO BE INSTALLED STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
15. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILINGS AND/OR NAILED TO WALLS. RECEIVE THREE COATS OF PRIMER FINISHED TO RECEIVE TWO COATS OF PAINT.
16. FLOORING, TRIM, CLOSET SHELVING, CABINETS, APPLIANCES, FIXTURES, HARDWARE ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
17. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS PROVIDED. GLAZING LESS THAN 18" HIGH FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLazing, GRILLS, COLORS, ETC. SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION.
18. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE SEALED.
19. ALL DOORS SHALL BE 6'-8" HIGH UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP AND/OR ALL EXTERIOR DOORS.
20. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AS REQUIRED.

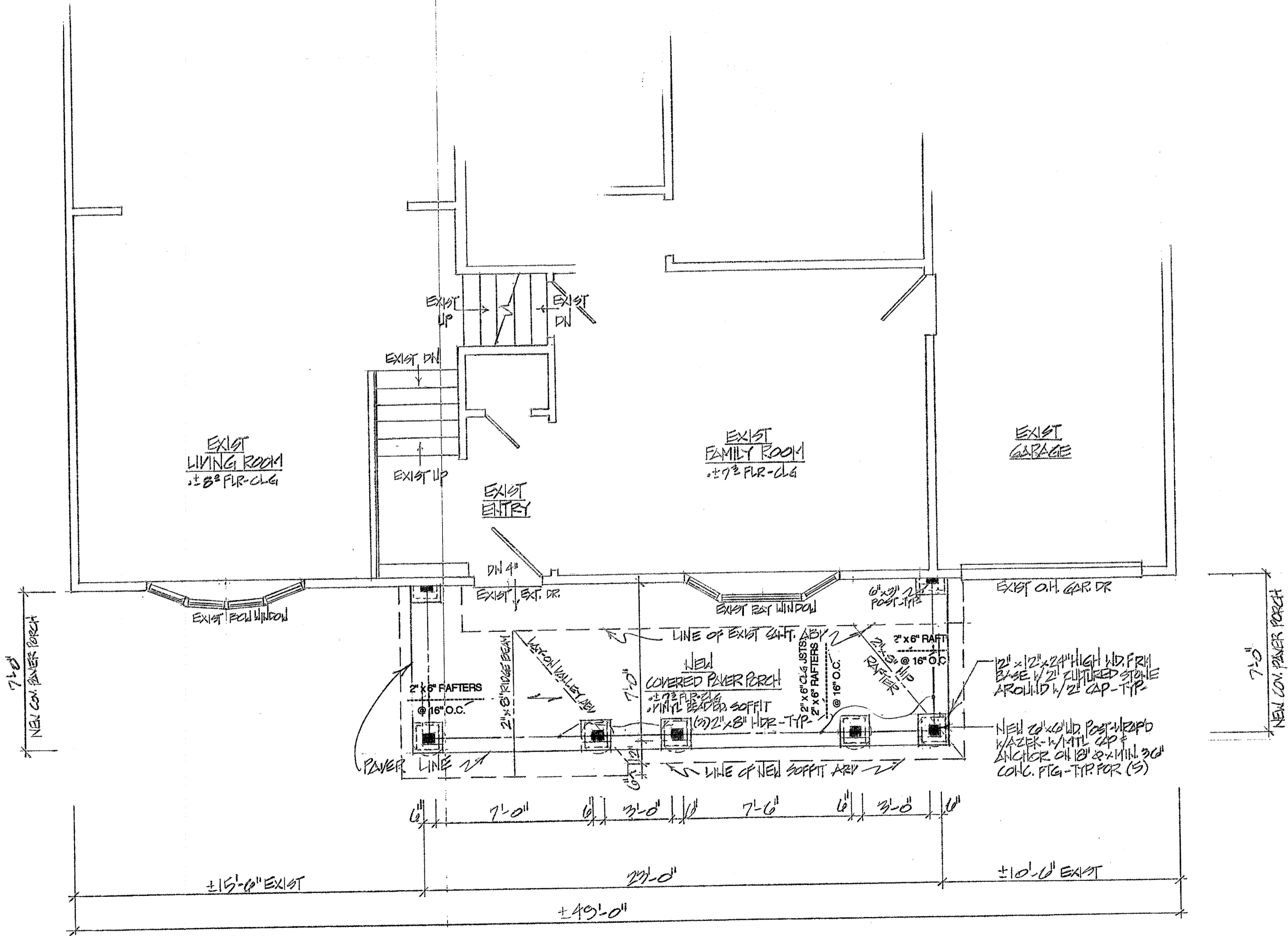
ZONING BULK REQUIREMENTS			
Zone: R-15	Group: M	Use: SINGLE-FAMILY RES.	
	Required	Existing	Proposed
Floor area ratio	0.20	0.143 (2,145)	0.153 (2,306)
Lot area	15,040	15,040	15,040
Lot width	100	119.0	119.0
Street frontage	75	119.0	119.0
Front yard setback	30	35.8	28.8 x.v.
Side yard setback	20	34.5	34.5
Total side yard setback	50	69.7	69.7
Rear yard setback	35	35.5	35.5
Maximum building height	1	6' 6"	8'



NOTE: THE ABOVE PLOT PLAN OF A PROPOSED ONE-STORY ADDITION IS BASED ON A SURVEY ORIGINALLY DRAWN BY ROBERT R. RAHNEFELD LAND SURVEYOR, ON 6/10/1997

**PLOT PLAN**

SCALE: 1" = 40'



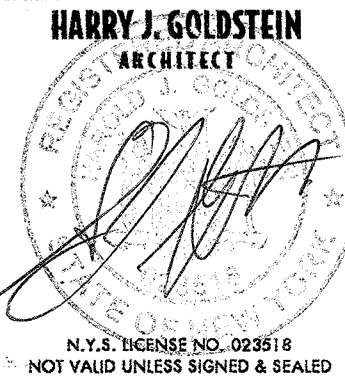
**MAIN FLOOR/FOOTING PLAN**

NEW COVERED PORCH S.F.: 161  
TOTAL OVERALL COVERED S.F.: 2306

SCALE: 1/4" = 1'-0"

**BLAKE RESIDENCE  
ONE-STORY ADDITION**

**15 LARK STREET  
PEARL RIVER, N.Y.**



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PROJECT 20018  
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