

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: September 23, 2024

TO: OBAPAE
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Veolia
CSX

ACOE
Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
NYS Dept of Environmental
Conservation

This matter is scheduled for: October 30, 2024 (CONTINUED ITEM)

Review of Plans: White, 7 Sickletown Road, Pearl River, New York

Section: 69.19 Block: 1 Lot: 24; R-40 zone

Chapter 43, R-40 District, Section 3.12, Group E, Column 3 (floor area ratio: 15% permitted, with 16% proposed), Column 10(total side yard: 60’ required, with 59.8’ proposed), Column 12(building height: 20’permitted, with 26.5’ proposed). Section 5.21 (A) & (E) undersized lot applies (existing non-conforming lot area: required 40,000 sf, with 37,897.20 sf existing), and (existing non-conforming lot width 150’ required, with 110’ existing), for a new single-family dwelling with a garage. The premises are located at 7 Sickletown Road, Pearl River, New York and identified on the Orangetown Tax Map as Section 69.19, Block 1, Lot 24 in the R-40 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: October 30, 2024

- Comments attached
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, October 30, 2024.** **Kindly forward your completed review to this office by October 30, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, Katlyn Bettmann



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 6.19.24 Section: 69.19 Block: 1 Lot: 24

Applicant: White

Address: 7 Sickletown Rd, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 R-40 District, Column 3 Max FAR 15% with 16% proposed, Column 10 Total Side Yrd 60' w/ 59.8' proposed, Column 12 Max Height 20' w/ 26.5' proposed
 Existing Non-Conforming Lot Area, Required 40,000 sf w/ 37,897.20 sf existing
 Existing non-conforming Lot Width 150' req'd w 110' enc
 Chapter 43, Section 5.21(A) & (E) Undersized Lot applies
 3 Variances required

Comments:

FAR, Total Side Yrd, Height

Existing Non-Conforming Lot Area



Dear White:

Please be advised that the Building Permit Application # 5311-24, which you submitted on Feb 23, 2024 Column 9, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or kbettmann @orangetown.com.

Sincerely,


9/19/24
 Richard Oliver
 Deputy Building Inspector



 
 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 1-30-2023
 Date 9/19/24
 CC: Liz DeCort
 Debbie Arbolino

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Richard M. Schiafo
Deputy Commissioner

August 02, 2024

Orangetown Zoning Board of Appeals
20 Greenbush Road
Orangeburg, NY 10962



Tax Data: 69.19-1-24

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M
Map Date: 06/10/2024

Date Review Received: 07/02/2024

Item: *White - 7 Sickletown Rd (GML-24-0094)*

Variance application to permit the construction of additions, including an attached garage, to an existing single-family dwelling on 0.87 acres in the R-40 zoning district. Variances are requested for floor area ratio, side yard, total side yard, and building height. Bulk exceptions for an existing undersized lot apply (Chapter 43, Article V, Sections 5.21 (a) and (e)).

South side of Sickletown Road, approximately 140 feet west of Blue Hill Road

Reason for Referral:

County Route 26 - Gilbert Ave & Convent Rd; County Route 23 - Blue Hill Rd & Sickletown Rd

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

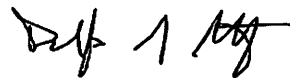
Recommend the Following Modifications

- 1 Pre-existing, non-conforming lots are given special consideration under Chapter 43, Article V, Section 5.2 of the Town's Zoning Law. The bulk standards for several residential zoning districts are relaxed to accommodate the residential uses permitted by right in these zones. The subject site has 95% of the minimum lot area and 73% of the lot width required for the existing single-family residence. However, the total side yard is 49% less than the reduced required total side yard of 60 feet, while the building height exceeds the increased maximum allowed building height of 20 feet by 75%. Additionally, the building exceeds the maximum allowed floor area ratio by 67% and has 48% less than the minimum required side yard. Granting these bulk variances will set a precedent that encourages nearby property owners to seek the same relief. This evaluation must consider whether the sewer system and stormwater management systems can accommodate an enlarged building footprint, additional impervious cover, and an increase in runoff from the site, and whether they will be overburdened. Oversized structures on undersized parcels

White - 7 Sickletown Rd (GML-24-0094)

will result a neighborhood characterized by greater building mass and less green space. The Zoning Board of Appeals (ZBA) must consider the cumulative and regional impacts of permitting such development before granting variances. Given that this site benefits from the application of Sections 5.21 (a) and (e), the building must be reduced in scale.

- 2 The applicant must comply with the comments provided by the Rockland County Highway Department in their letter of July 3, 2024, and all required permits obtained.
- 3 A review must be done by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.
- 4 The Zoning Bulk Requirements table on the site plan indicates that the required total side yard is 80 feet, while the letter from the Office of Building, Zoning, Planning, Administration and Enforcement (OBZPAE) indicates that the required total side yard is 60 feet. The bulk table on the site plan must be revised to reflect the reduced requirements per Section 5.21 and the OBZPAE.
- 5 The Designated Street Line (DSL) must be indicated on the site plan. Per Chapter 43, Article V, Section 5.111 of the Orangetown Code, measurements of the front yard and maximum height requirement shall be to the DSL. The appropriate lot area deductions must also be indicated. Any additional variances required due to a change in measurement must be submitted to this department for review, as required by New York State General Municipal Law, Section 239-m (3)(a)(v).
- 6 Pursuant to New York State General Municipal Law (GML) Sections 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County's Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.
- 7 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County agencies are prohibited from issuing a County permit, license, or approval until the report is filed with the County's Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner's report approving the proposed action or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.
- 8 The following additional comment is offered strictly as an observation and is not part of our General Municipal Law (GML) review. The Board may have already addressed this point or may disregard it without any formal vote under the GML process:
- 8.1 All County interests within 500 feet of the site, and all corresponding Referral Agencies, must be indicated on Page 6 of the Orangetown Application Review Form.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown
Rockland County Department of Health
Rockland County Drainage Agency
Rockland County Highway Department
Rockland County Planning Board
Robert White
LAN Associates

White - 7 Sickletown Rd (GML-24-0094)

*New York State General Municipal Law § 239(5) requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.

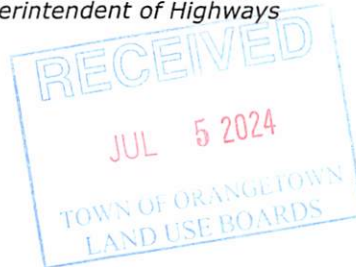
The review undertaken by the County of Rockland Department of Planning is pursuant to and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions nor determines whether the proposed action reviewed implicates the Religious Land Use and Institutionalized Persons Act. The County of Rockland Department of Planning defers to the municipality referring the proposed action to render such opinions and make such determinations as appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Pursuant to New York State General Municipal Law §§ 239-m and 239-n, the referring body shall file a report of its final action with the County of Rockland Department of Planning within thirty (30) days after the final action. A referring body that acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

HIGHWAY DEPARTMENT
26 Scotland Hill Road
Chestnut Ridge, New York 10977
Phone: (845) 638-5060 Fax: (845) 638-5037
Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways



July 03, 2024

Ms. Katlyn Bettmann
The Zoning Board of Appeals
Town of Orangetown
20 South Greenbush Road
Orangeburg, NY 10962

**RE: Site Plan Review for Addition and Renovation of Single-Family Residence
7 Sickletown Road in Pearl River, NY
Tax Lot #69.19-1-24; R-40 Zoning District**

Dear Ms. Bettmann:

The referenced site plan prepared by Lan Associates, LLP., dated 06.11.24, was received by the Rockland County Highway Department ("RCHD") as part of the GML review. The review has been complete now and the department submits the following comments.

1. The proposed action requires a variance from the applicable bulk standards. The acceptance of the proposed action would result in overdevelopment of the individual lot in the district. The cumulative of such overdevelopments in the district would potentially worsen traffic congestions on the public roads, street parking problems, flooding issues and lead to substandard developments in the area. The applicant will have to investigate the above concerns and mitigate them reasonably.
2. A drainage report shall be prepared to demonstrate that the existing/proposed drainage system in the lot is adequately designed to produce no net increase in the peak rate of discharge from the site at all design points.
3. A road work permit must be secured from the RCHD prior to starting any construction work in the site if the proposed action is approved by the Town.

We appreciate you for the opportunity to review the proposed site plan. If you have any additional questions, please feel free to contact the undersigned.

Page 2

Thank you.

A handwritten signature in black ink, appearing to read 'Dyan', with a long, sweeping horizontal stroke extending to the right.

Dyan Rajasingham
Engineer III

CC: Rockland County Department of Planning
Lan Associates, LLP. – Consulting Engineers

TIME RECEIVED
July 3, 2024 at 10:04:45 AM EDT

REMOTE CSID
5343463548

DURATION
46

PAGES
1

STATUS
Received

07-03-'24 09:58 FROM-

T-477 P0001/0001 F-152



ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: July 2, 2024

TO: OBAPAE

Environmental Management and Engineering
Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Orangetown Highway

Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
NYS Dept of Environmental
Conservation

This matter is scheduled for: September 4, 2024

Review of Plans: White, 7 Sickletown Road, Pearl River, New York

Section: 69.19 Block: 1 Lot: 24; R-40 zone

Chapter 43, R-40 District, Section 3.12, Group E, Column 3 (floor area ratio: 15% permitted, with 25% proposed), from Column 9(side yard: 30' required, with 10' 4" proposed), Column 10(total side yard: 60' required, with 30' 4" proposed), Column 12(building height: 20' permitted, with 35' proposed). Section 5.21 (A) & (E) undersized lot applies(existing non-conforming lot area: required 40,000 sf, with 37,897.20 sf existing) for a new single-family dwelling with a garage. The premises are located at 7 Sickletown Road, Pearl River, New York and identified on the Orangetown Tax Map as Section 69.19, Block 1, Lot 24 in the R-40 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: September 4, 2024

Comments attached

No Comments at this time. Please send future correspondence for review.

No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 4, 2024**. Kindly forward your completed review to this office by **September 4, 2024**.

Reviewing Agency Rockland County Planning Dept

Name: Jake Palant Date: 7/3/24

Signature: Jake Palant

Thank you, Katlyn Bettmann

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: July 2, 2024

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- ✓ Orange and Rockland Utilities
- Orangetown Highway

- ✓ Rockland County Drainage
- ✓ Rockland County Health
- ✓ Rockland County Planning
- ✓ Rockland County Highway
- ✓ NYS Dept of Environmental Conservation

✓ Veolia

This matter is scheduled for: September 4, 2024

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Zoning Board Meeting Date: September 4, 2024

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This project is before the Zoning Board on **Wednesday, September 4, 2024.** Kindly forward your completed review to this office by **September 4, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, Katlyn Bettmann

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-5311-29
 ASSIGNED
 INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: White Residence/Proposed Addition and Renovations

Street Address: 7 Sickletown Road, Pearl River, NY 10965

Tax Map Designation:

Section: 69.19 Block: 1 Lot(s): 24
 Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the South side of Gilbert Avenue, approximately
210 feet Center of the intersection of Driveway, in the
 Town of Orangetown in the hamlet/village of _____.

Acreage of Parcel <u>.87</u>	Zoning District <u>R-40</u>
School District _____	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: *(If additional space required, please attach a narrative summary.)*

Proposed addition and renovations to single family residence.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

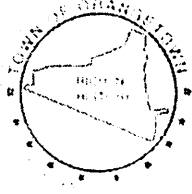
Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? No _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 6.19.24 Section: 69.19 Block: 1 Lot: 24
 Applicant: White
 Address: 7 Sickletown Rd, Pearl River, NY
 RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 R-40 District, Column 3 Max FAR 15% with 25% proposed. Column 9 Min Side Yard 30' w/ 10'4" proposed, Column 10 Total Side Yrd 60' w/ 30'4" proposed. Column 12 Max Height 20' w/ 35' proposed
 Existing Non-Conforming Lot Area, Required 40,000 sf w/ 37,897.20 sf existing
 Chapter 43, Section 5.21(A) & (E) Undersized Lot applies
 4 Variances required

Comments:


FAR, Side Yrd, Total Side Yrd, Height

Existing Non-Conforming Lot Area

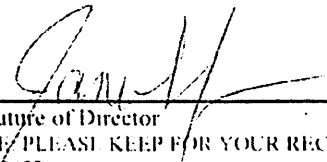
Dear White

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Sincerely,


 Richard Oliver
 Deputy Building Inspector

6/19/24


 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 1-30-2023

6/24/24

Date
 CC: Liz DeCort
Debbie Arbolino

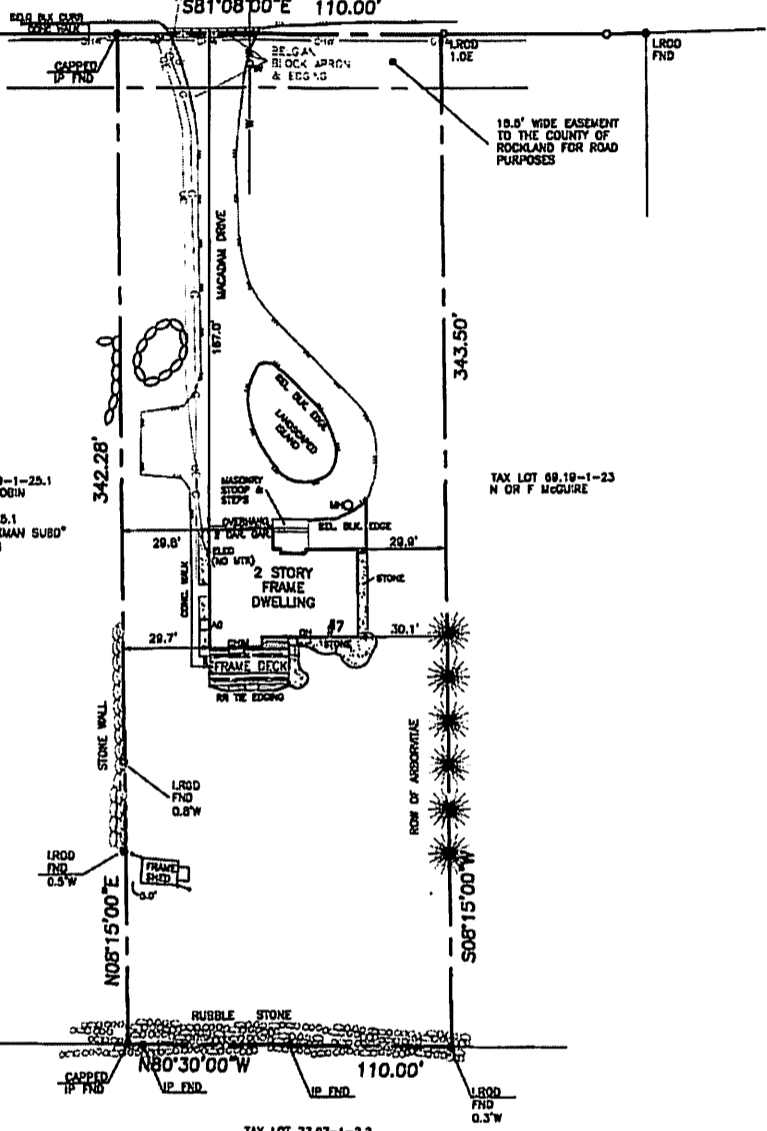
SWIS	PRINT KEY	NAME	ADDRESS
392489	69.19-1-20	Barry D Berson	157 Blue Hill Rd,Pearl River, NY 10965
392489	69.19-1-21	Corwick Realty Corp Altus Group US Inc	P.O. Box 71970,Phoenix, AZ 85050
392489	69.19-1-22	Christopher Filardo	3 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-23	Keith Mc Guire	5 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-24	John Sokol	7 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-27	James Frankel	12 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-28	Charles R Medicott	10 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-29	Jason M Brezina	6 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-30	Una Mc Mahon	2 Sickletown Rd,Pearl River, NY 10965
392489	73.07-1-2.1	Christopher M O'Rourke	646 Gilbert Av,Pearl River, NY 10965
392489	73.07-1-2.2	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	73.07-1-3	Corwick Realty Corp Altus Group US Inc	P.O. Box 71970,Phoenix, AZ 85050
392489	69.19-1-25.1	Kathleen Tobin	11 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-25.2	James J DeRubertis	15 Sickletown Rd,Pearl River, NY 10965
392489	69.19-1-25.3	Robert S Cassidy	652 Gilbert Ave,Pearl River, NY 10965



SICKLETOWN ROAD

50.0' R.O.W.

S81°08'00"E 110.00'



18.0' WIDE EASEMENT TO THE COUNTY OF ROCKLAND FOR ROAD PURPOSES

TAX LOT 69.19-1-25.1
N OR F TOBIN
LOT # 25.1
FILED MAP "BUCKMAN SUBD"
#7873

TAX LOT 69.19-1-23
N OR F MCGUIRE

TAX LOT 73.07-1-2.2
N OR F TOWN OF ORANGETOWN

LEGEND

- CATCH BASIN/FIELD INLET
- DRAIN LINE
- SANITARY MANHOLE / PIPE
- EDGE OF PAVEMENT
- BELG. BLOCK CURB
- GAS LINE
- WATER LINE
- UTILITY POLE
- LIGHT POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION(S) HEREON IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION & BELIEF, BASED ON EXISTING FIELD EVIDENCE & DOCUMENTARY EVIDENCE AVAILABLE. EASEMENTS OR RIGHTS OF WAY, EITHER ON OR BELOW THE SURFACE OF THE GROUND, EVIDENCE OF WHICH IS NOT VISIBLE IN THE FIELD OR FOR WHICH DOCUMENTATION IS NOT PROVIDED, ARE NOT SHOWN. UNDERGROUND UTILITIES NOT SHOWN UNLESS MARKED IN THE FIELD. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS SURVEY NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYORS ARE NOT VALID. SUBJECT TO AN UP TO DATE TITLE REPORT.

CERTIFIED TO:

JAY A. GREENWELL, PLS
NYS LIC. # 49678

SURVEY OF PROPERTY FOR

WHITE

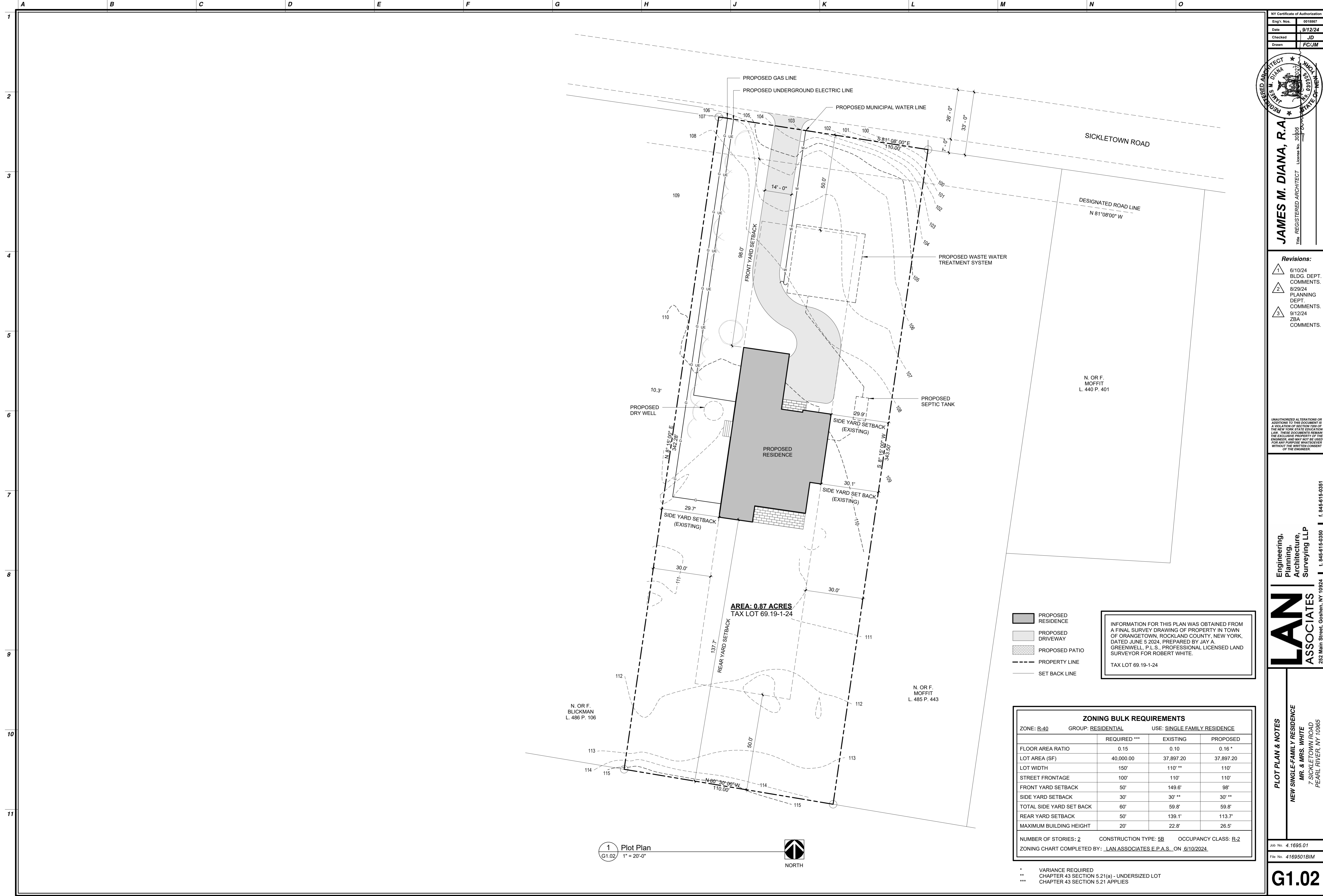
PEARL RIVER, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901
PHONE 845-357-0830 GREENWELLPLS@AOL.COM
© 2024 JAY A GREENWELL, PLS, LLC

TAX LOT #	69.19-1-24
AREA	37,715 SF
FILE	22421SURV
SCALE	1" = 40'
DATE	06/05/24
JOB NO.	22421

Town of Orangetown
MEETING OF:
SEP 4 2024
ZONING BOARD OF APPEALS



1 Plot Plan
 G1.02 1" = 20'-0"
 NORTH

- PROPOSED RESIDENCE
- PROPOSED DRIVEWAY
- PROPOSED PATIO
- - - PROPERTY LINE
- - - SET BACK LINE

INFORMATION FOR THIS PLAN WAS OBTAINED FROM A FINAL SURVEY DRAWING OF PROPERTY IN TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, DATED JUNE 5 2024, PREPARED BY JAY A. GREENWELL, P.L.S., PROFESSIONAL LICENSED LAND SURVEYOR FOR ROBERT WHITE.

TAX LOT 69.19-1-24

ZONING BULK REQUIREMENTS			
ZONE: R-40	GROUP: RESIDENTIAL		USE: SINGLE FAMILY RESIDENCE
	REQUIRED ***	EXISTING	PROPOSED
FLOOR AREA RATIO	0.15	0.10	0.16 *
LOT AREA (SF)	40,000.00	37,897.20	37,897.20
LOT WIDTH	150'	110' **	110'
STREET FRONTAGE	100'	110'	110'
FRONT YARD SETBACK	50'	149.6'	98'
SIDE YARD SETBACK	30'	30' **	30' **
TOTAL SIDE YARD SET BACK	60'	59.8'	59.8'
REAR YARD SETBACK	50'	139.1'	113.7'
MAXIMUM BUILDING HEIGHT	20'	22.8'	26.5'

NUMBER OF STORIES: 2 CONSTRUCTION TYPE: 5B OCCUPANCY CLASS: R-2
 ZONING CHART COMPLETED BY: LAN ASSOCIATES E.P.A.S. ON 6/10/2024

* VARIANCE REQUIRED
 ** CHAPTER 43 SECTION 5.21(a) - UNDERSIZED LOT
 *** CHAPTER 43 SECTION 5.21 APPLIES

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 STATE OF NEW YORK

- Revisions:
- 1 6/10/24 BLDG. DEPT. COMMENTS.
 - 2 8/29/24 PLANNING DEPT. COMMENTS.
 - 3 9/12/24 ZBA COMMENTS.

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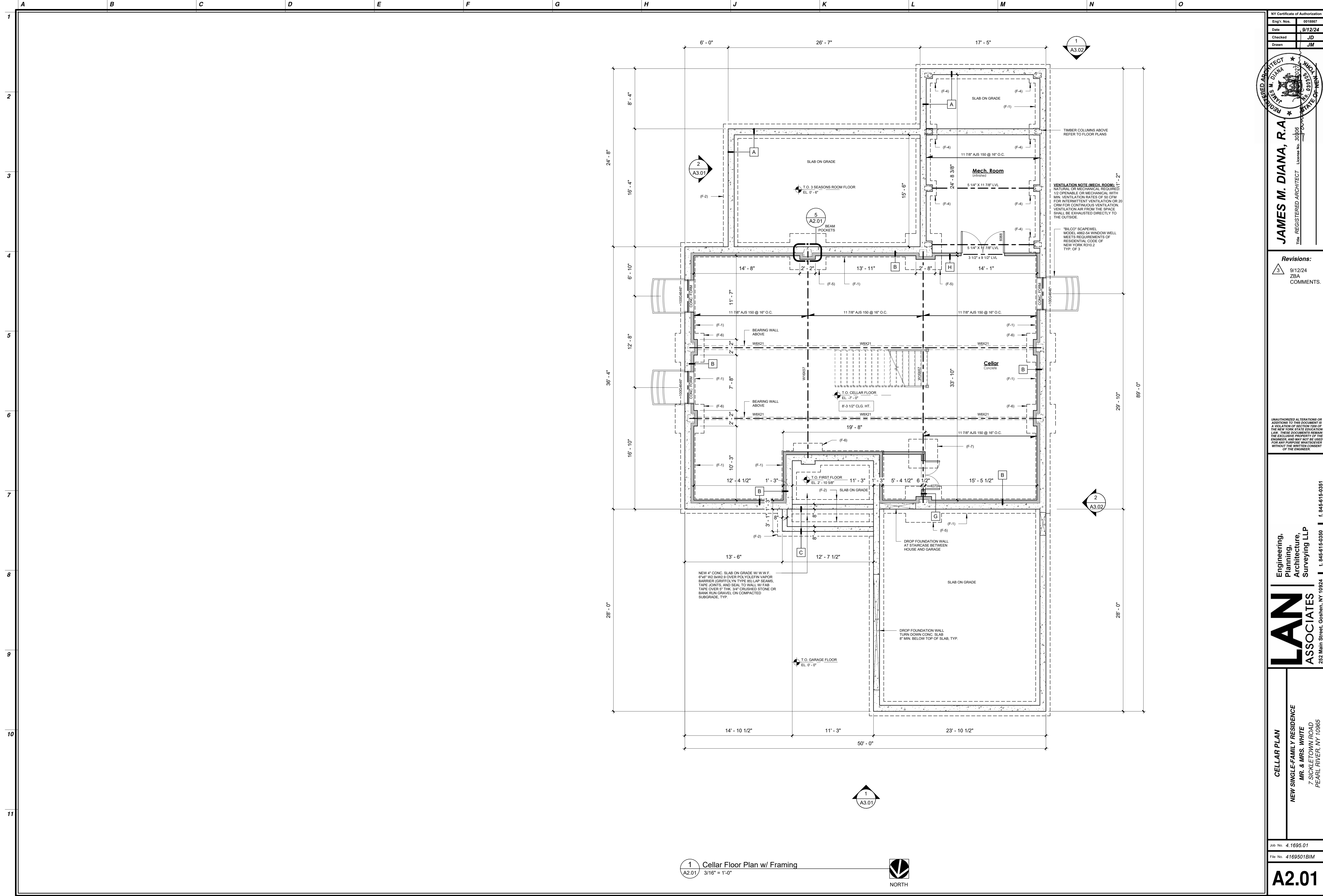
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 LAN ASSOCIATES
 252 Main Street, Goshen, NY 10924 | t. 845-615-0350 | f. 845-615-0351

LAN ASSOCIATES

PLOT PLAN & NOTES
 NEW SINGLE-FAMILY RESIDENCE
 MR. & MRS. WHITE
 7 SICKLETOWN ROAD
 PEARL RIVER, NY 10965

Job No. 41695.01
 File No. 4169501BIM

G1.02



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 License No. 30306
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Revisions:

3	9/12/24	ZBA COMMENTS.
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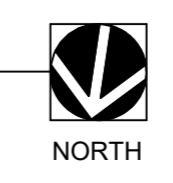
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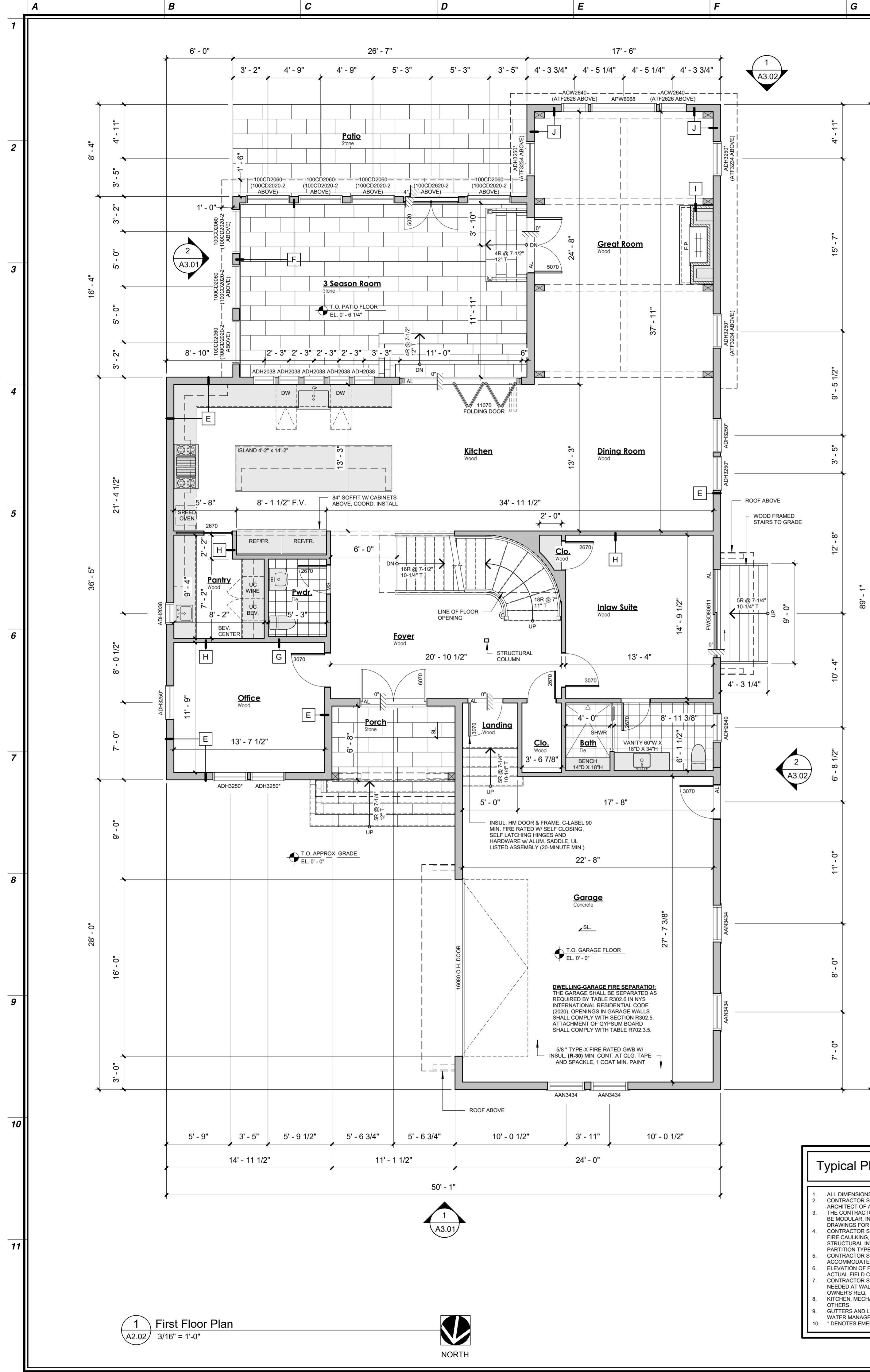
CELLAR PLAN
 NEW SINGLE-FAMILY RESIDENCE
 MR. & MRS. WHITE
 7 SICKLETOWN ROAD
 PEARL RIVER, NY 10965

Job No. 4.1695.01
 File No. 4169501BIM

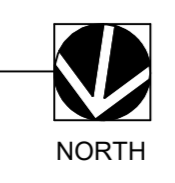
A2.01

1 Cellar Floor Plan w/ Framing
 A2.01 3/16" = 1'-0"

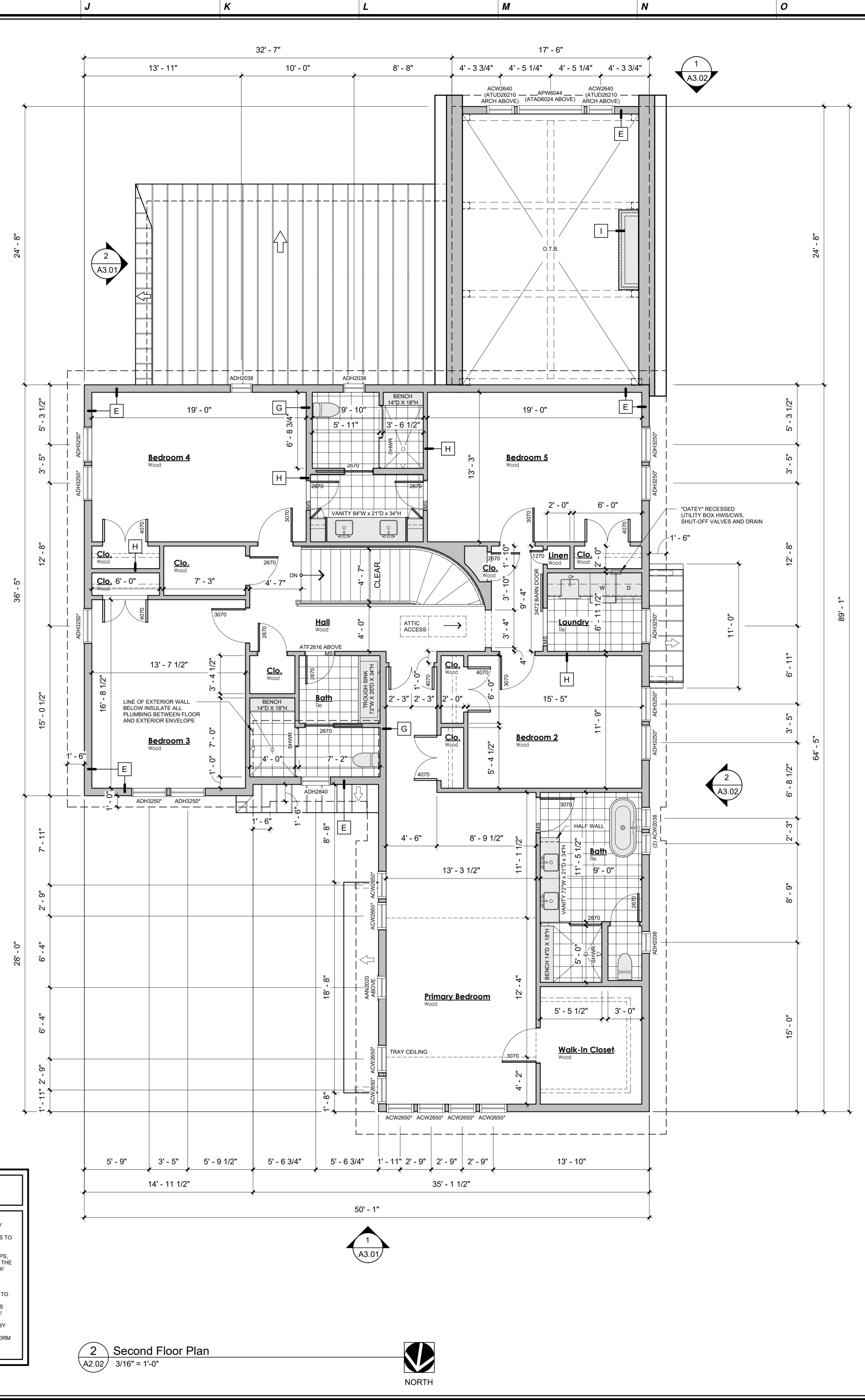




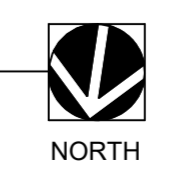
1 First Floor Plan
A2.02 3/16" = 1'-0"



- Typical Plan Notes**
1. ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIALS.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL VERIFY ALL MASONRY & ROUGH OPENING DIMENSIONS TO BE MODULAR, INCLUDING ANY OPENINGS FOR WINDOWS OR DOORS. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
 4. CONTRACTOR SHALL INSTALL THROUGH-PENETRATION FIRESTOPS, DRAFT-STOPS, FIRE CALKING, ETC. AS REQ. AT ALL CEILING/WALL PENETRATIONS TO ENSURE THE STRUCTURAL INTEGRITY AND CONT. FIRE RATING OF THE ASSEMBLY. (COORD. W/ PARTITION TYPES AS REQ.)
 5. CONTRACTOR SHALL SHORE AND BRACE EXISTING STRUCTURE AS REQ. TO ACCOMMODATE CONSTRUCTION AND ADDITIONS.
 6. ELEVATION OF FINISH GRADE AND PATIOS SHOWN ON DRAWINGS ARE SUBJECT TO ACTUAL FIELD CONDITIONS. FIELD VERIFY.
 7. CONTRACTOR SHALL INSTALL SOUND ATTENUATION FIBER BATTS IN FRAMING AS NEEDED AT WALL/FLOOR/CEILING CAVITY BETWEEN ROOMS IN ACCORDANCE W/ OWNER'S REQ.
 8. GUTTERS AND LEADERS NOT SHOWN FOR CLARITY. COORD. W/ OWNER AND STORM WATER MANAGEMENT SYSTEM.
 9. * DENOTES EMERGENCY ESCAPE AND RESCUE OPENING (EERO)



2 Second Floor Plan
A2.02 3/16" = 1'-0"



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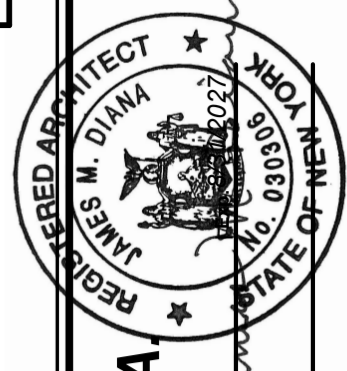
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FLOOR PLANS
NEW SINGLE-FAMILY RESIDENCE
MR. & MRS. WHITE
7 SICKLETOWN ROAD
PEARL RIVER, NY 10965

Job No. 4.1695.01
File No. 4169501BIM
A2.02

NOTE
 1. GUTTERS AND LEADERS NOT SHOWN FOR CLARITY. RUN TO DAYLIGHT.
 2. * DENOTES EMERGENCY ESCAPE AND RESCUE OPENING (EERO)

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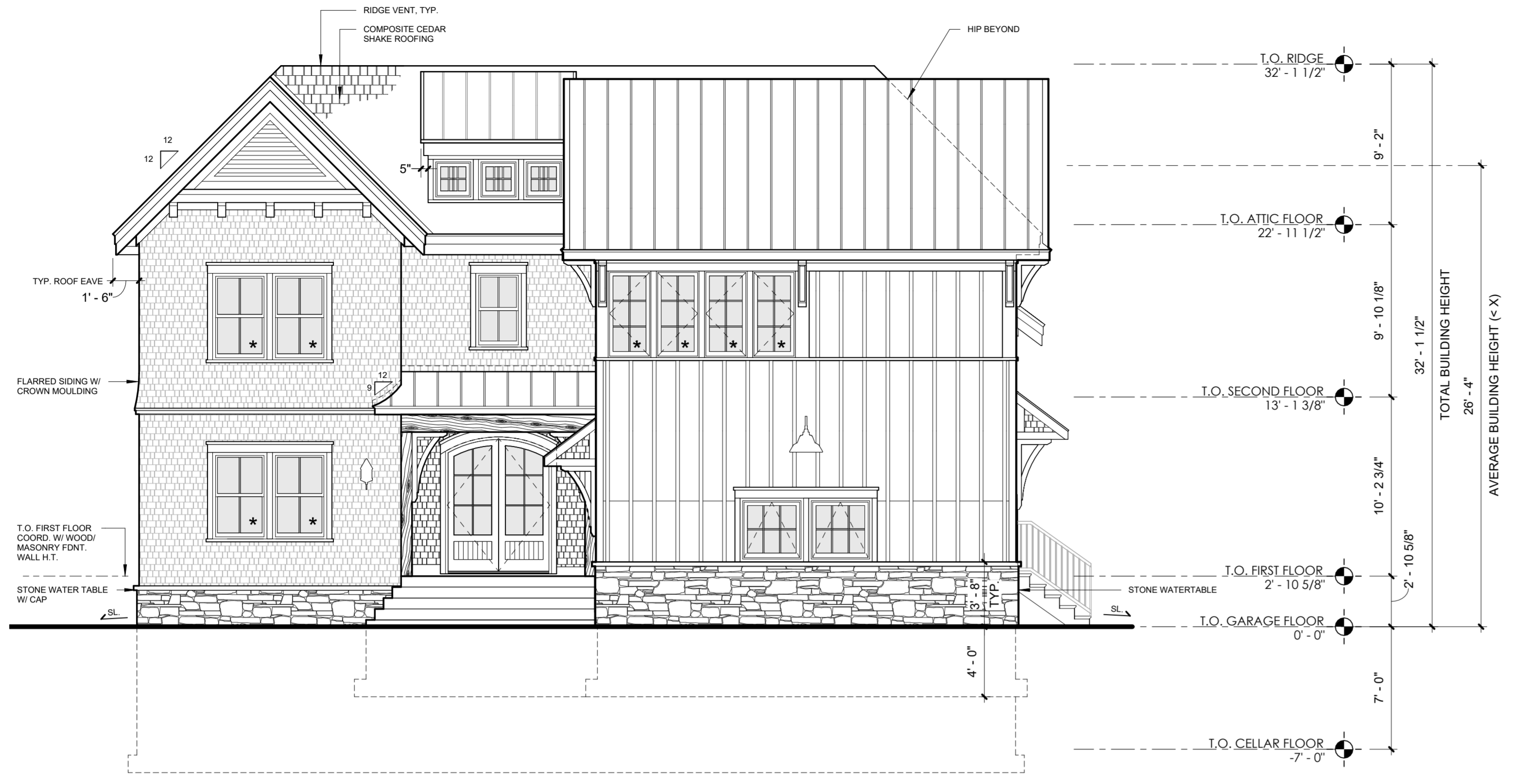
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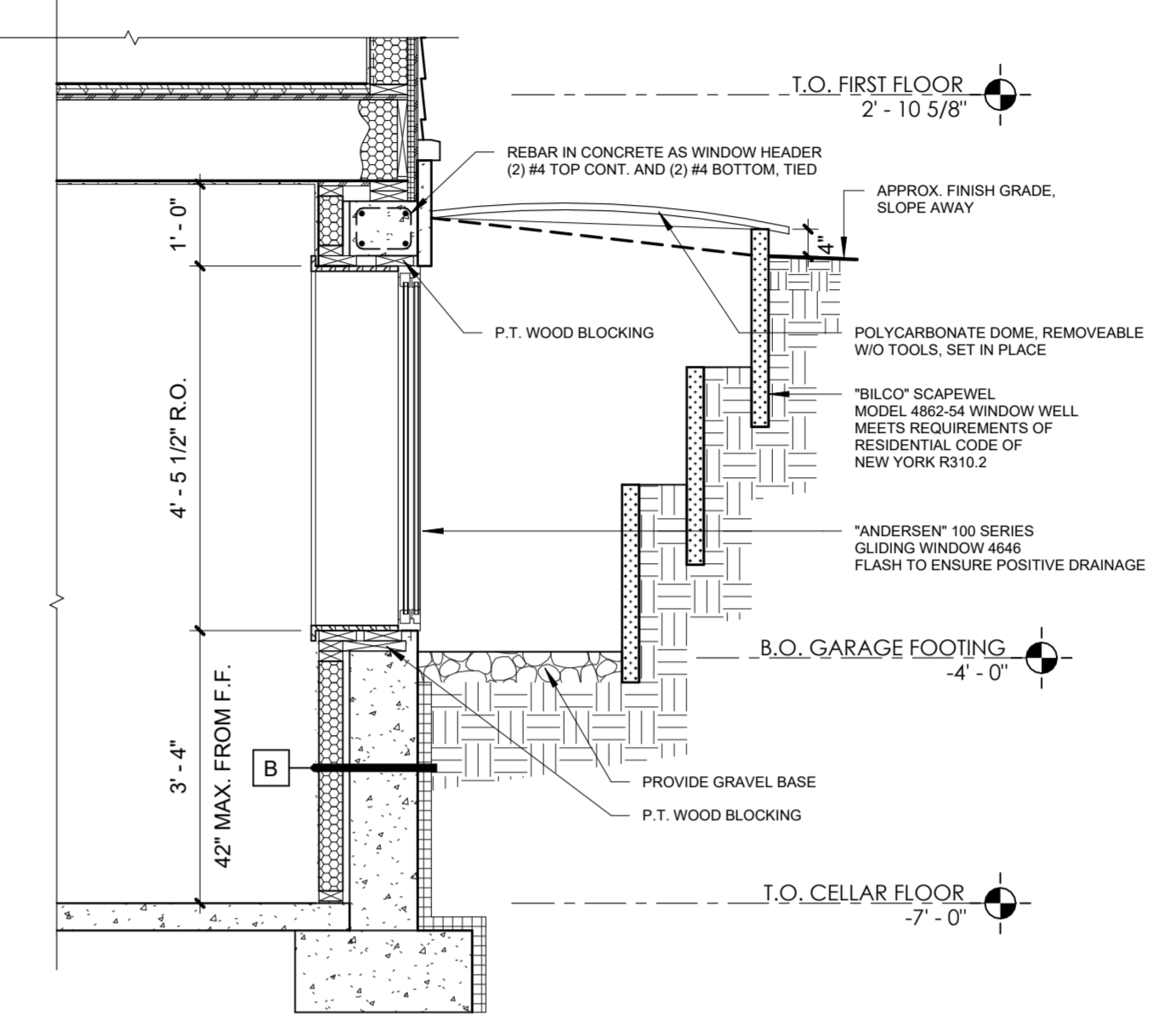
ELEVATIONS
 NEW SINGLE-FAMILY RESIDENCE
 MR. & MRS. WHITE
 7 SICKLETOWN ROAD
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Job No. 41695.01
 File No. 4169501BIM

A3.01



1 North Elevation
 A3.01 3/16" = 1'-0"



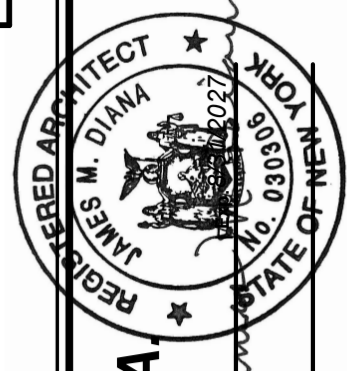
3 Egress Well Detail
 A3.01 1/2" = 1'-0"



2 East Elevation
 A3.01 3/16" = 1'-0"

NOTE
 1. GUTTERS AND LEADERS NOT SHOWN FOR CLARITY. RUN TO DAYLIGHT.
 2. * DENOTES EMERGENCY ESCAPE AND RESCUE OPENING (EERO)

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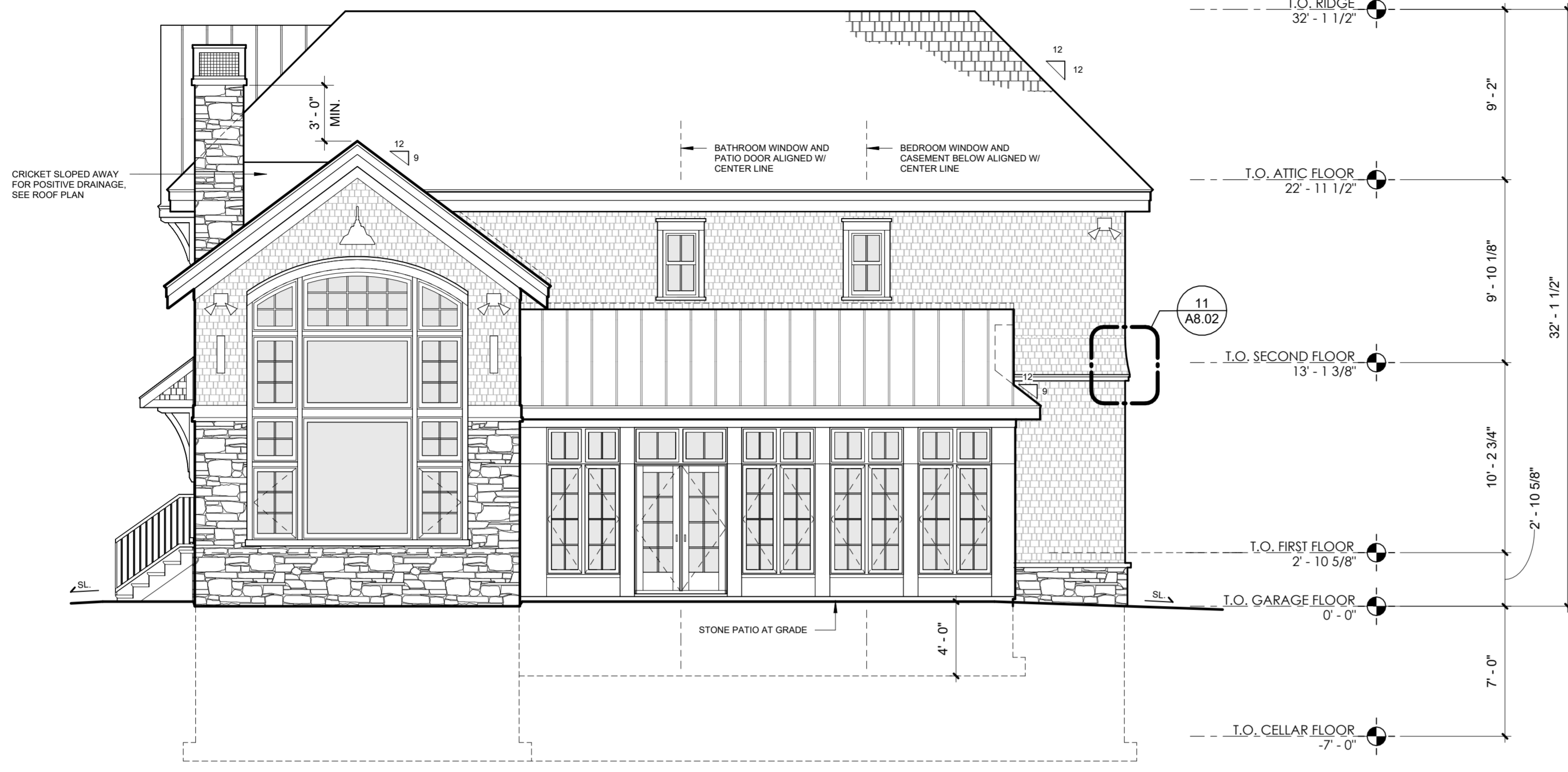
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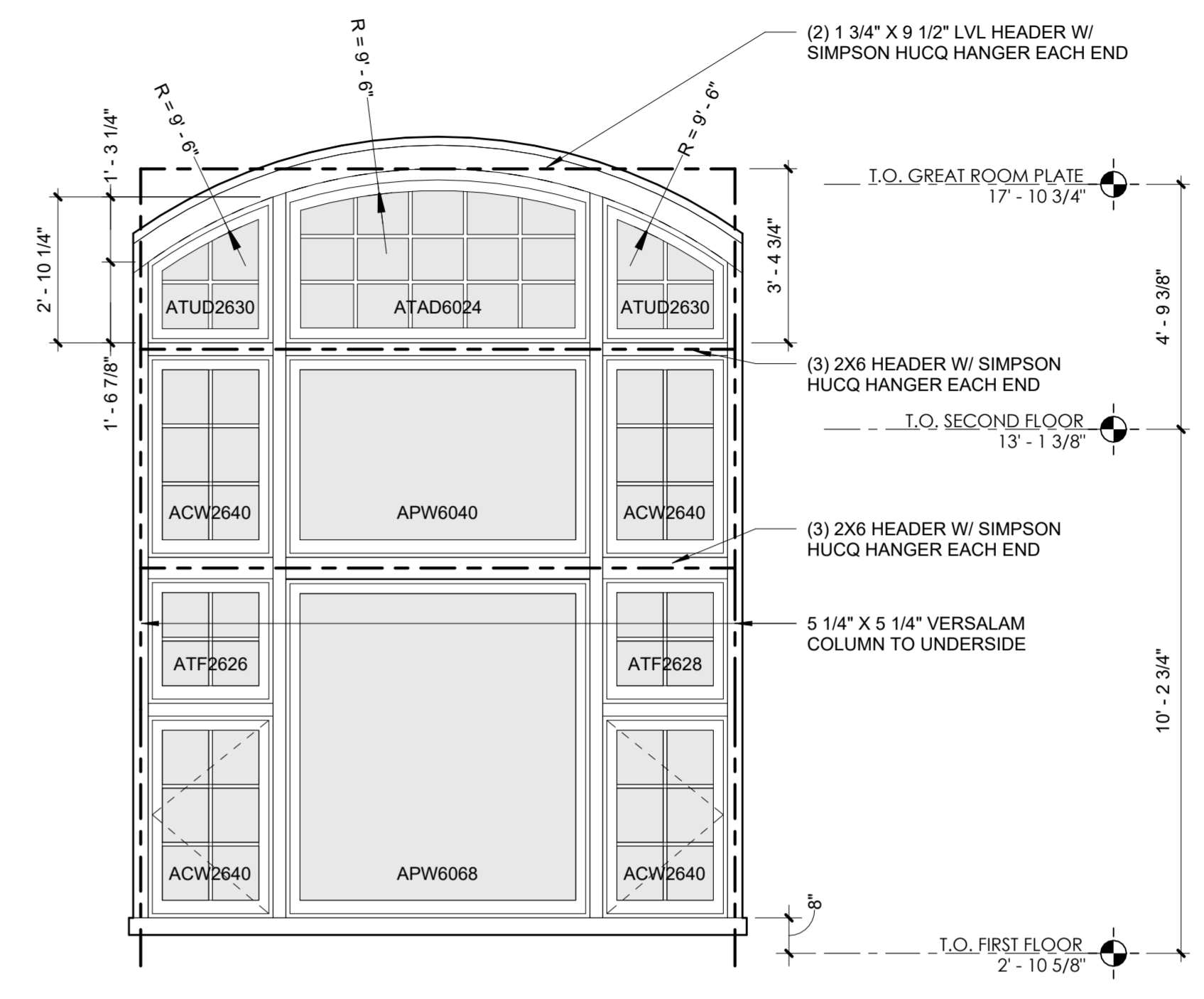
ELEVATIONS

Job No. 41695.01
 File No. 4169501BIM

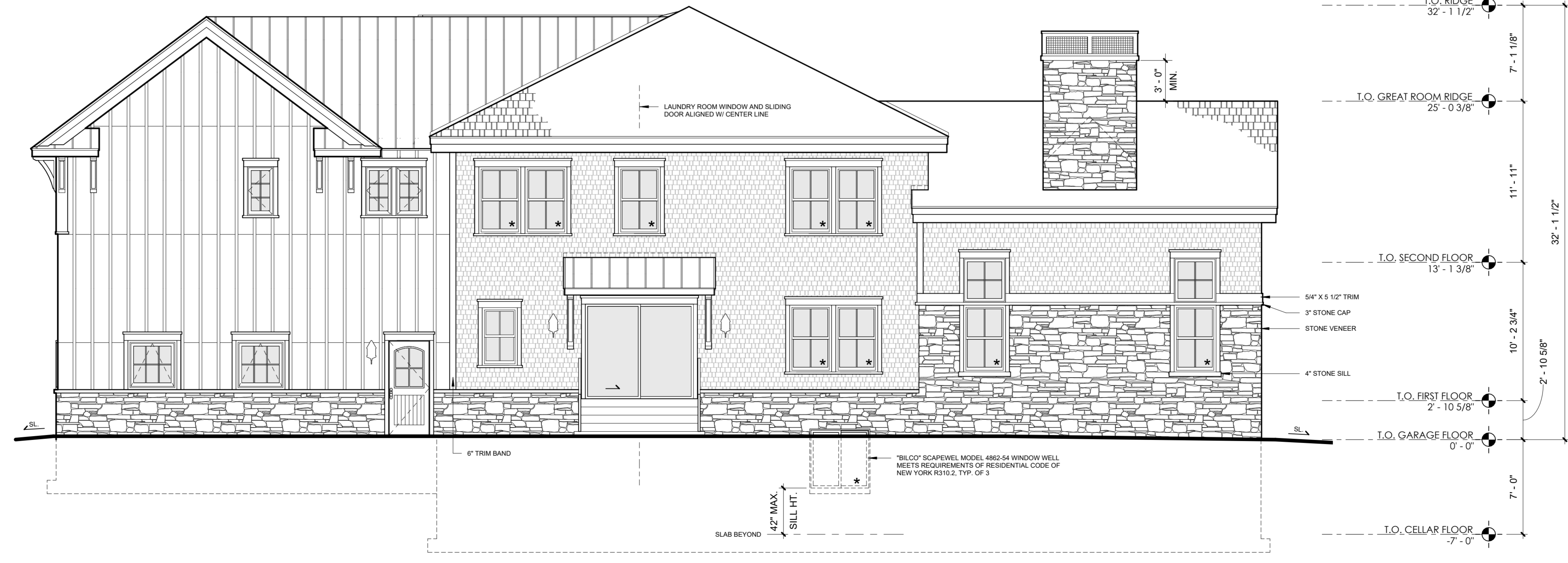
A3.02



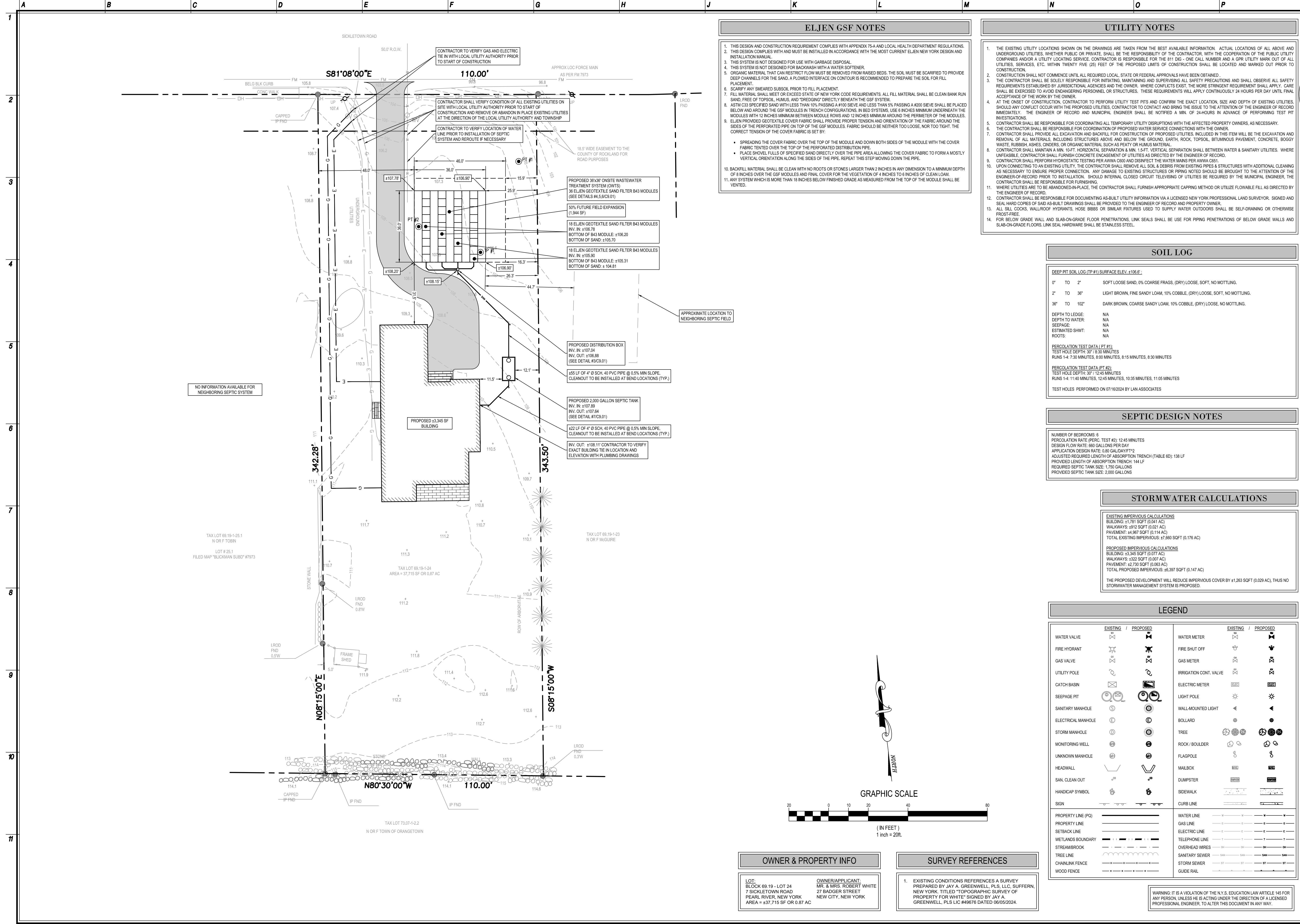
1 South Elevation
 A3.02 3/16" = 1'-0"



3 Great Room Window Wall Framing
 A3.02 3/8" = 1'-0"



2 West Elevation
 A3.02 3/16" = 1'-0"



ELJEN GSF NOTES

- THIS DESIGN AND CONSTRUCTION REQUIREMENT COMPLES WITH APPENDIX 75-A AND LOCAL HEALTH DEPARTMENT REGULATIONS.
- THIS DESIGN COMPLES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN NEW YORK DESIGN AND INSTALLATION MANUAL.
- THIS SYSTEM IS NOT DESIGNED FOR USE WITH GARBAGE DISPOSAL.
- THIS SYSTEM IS NOT DESIGNED FOR BACKWASH WITH A WATER SOFTENER.
- ORGANIC MATERIAL THAT CAN RESTRICT FLOW MUST BE REMOVED FROM RAISED BEDS. THE SOIL MUST BE SCARIFIED TO PROVIDE DEEP CHANNELS FOR THE SAND. A PLOVED INTERFACE ON CONTOUR IS RECOMMENDED TO PREPARE THE SOIL FOR FILL PLACEMENT.
- SCARIFY ANY SMOEAD SUBSOIL PRIOR TO FILL PLACEMENT.
- FILL MATERIAL SHALL MEET OR EXCEED STATE OF NEW YORK CODE REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, HUMUS, AND 'DREDGING' DIRECTLY BENEATH THE GSF SYSTEM.
- ASTM C33 SPECIFIED SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE SHALL BE PLACED BELOW AND AROUND THE GSF MODULES IN TRENCH CONFIGURATIONS. IN BED SYSTEMS, USE 6 INCHES MINIMUM UNDERNEATH THE MODULES WITH 12 INCHES MINIMUM BETWEEN MODULE ROWS AND 12 INCHES MINIMUM AROUND THE PERIMETER OF THE MODULES.
- ELJEN PROVIDED GEOTEXTILE COVER FABRIC SHALL PROVIDE PROPER TENSION AND ORIENTATION OF THE FABRIC AROUND THE SIDES OF THE PERFORATED PIPE ON TOP OF THE GSF MODULES. FABRIC SHOULD BE NEITHER TOO LOOSE, NOR TOO TIGHT, THE CORRECT TENSION OF THE COVER FABRIC IS SET BY:
 - SPREADING THE COVER FABRIC OVER THE TOP OF THE MODULE AND DOWN BOTH SIDES OF THE MODULE WITH THE COVER FABRIC TENDED OVER THE TOP OF THE PERFORATED DISTRIBUTION PIPE.
 - PLACE SHOVEL FULLS OF SPECIFIED SAND DIRECTLY OVER THE PIPE AREA ALLOWING THE COVER FABRIC TO FORM A MOSTLY VERTICAL ORIENTATION ALONG THE SIDES OF THE PIPE. REPEAT THIS STEP MOVING DOWN THE PIPE.
- BACKFILL MATERIAL SHALL BE CLEAN WITH NO ROOTS OR STONES LARGER THAN 2 INCHES IN ANY DIMENSION TO A MINIMUM DEPTH OF 8 INCHES OVER THE GSF MODULES AND FINAL COVER FOR THE VEGETATION OF 4 INCHES TO 6 INCHES OF CLEAN LOAM.
- ANY SYSTEM WHICH IS MORE THAN 18 INCHES BELOW FINISHED GRADE AS MEASURED FROM THE TOP OF THE MODULE SHALL BE VENTED.

UTILITY NOTES

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE INFORMATION. ACTUAL LOCATIONS OF ALL ABOVE AND UNDERGROUND UTILITIES, WHETHER PUBLIC OR PRIVATE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WITH THE COOPERATION OF THE PUBLIC UTILITY COMPANIES AND/OR A UTILITY LOCATING SERVICE. CONTRACTOR IS RESPONSIBLE FOR THE 811 DIG - ONE CALL NUMBER AND A GPR UTILITY MARK OUT OF ALL UTILITIES, SERVICES, ETC. WITHIN TWENTY FIVE (25) FEET OF THE PROPOSED LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED OUT PRIOR TO CONSTRUCTION.
- CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL REQUIRED LOCAL, STATE OR FEDERAL APPROVALS HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL BE SAFETY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES. THESE REQUIREMENTS WILL APPLY CONTINUOUSLY 24 HOURS PER DAY UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- AT THE ONSET OF CONSTRUCTION, CONTRACTOR TO PERFORM UTILITY TEST PITS AND CONFIRM THE EXACT LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES. SHOULD ANY CONFLICT OCCUR WITH THE PROPOSED UTILITIES, CONTRACTOR TO CONTACT AND BRING THE ISSUE TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY. THE ENGINEER OF RECORD AND MUNICIPAL ENGINEER SHALL BE NOTIFIED A MIN. OF 24-HOURS IN ADVANCE OF PERFORMING TEST PIT INVESTIGATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL TEMPORARY UTILITY DISRUPTIONS WITH THE AFFECTED PROPERTY OWNERS, AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF PROPOSED WATER SERVICE CONNECTIONS WITH THE OWNER.
- CONTRACTOR SHALL PROVIDE ALL EXCAVATION AND BACKFILL FOR CONSTRUCTION OF PROPOSED UTILITIES, INCLUDED IN THIS ITEM WILL BE THE EXCAVATION AND REMOVAL OF ALL MATERIALS, INCLUDING STRUCTURES ABOVE AND BELOW THE GROUND, EARTH, ROCK, TOPSOIL, BITUMINOUS PAVEMENT, CONCRETE, BOGGY WASTE, RUBBISH, ASHES, CINDERS, OR ORGANIC MATERIAL, SUCH AS PEATY OR HUMUS MATERIAL.
- CONTRACTOR SHALL MAINTAIN A MIN. 10-FT. HORIZONTAL SEPARATION & MIN. 1.5-F. VERTICAL SEPARATION SHALL BETWEEN WATER & SANITARY UTILITIES. WHERE UNFEASIBLE, CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF UTILITIES AS DIRECTED BY THE ENGINEER OF RECORD.
- CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING PER AWWA C900 AND DISINFECT THE WATER MAINS PER AWWA C651.
- UPON CONNECTING TO AN EXISTING UTILITY, THE CONTRACTOR SHALL REMOVE ALL SOIL & DEBRIS FROM EXISTING PIPES & STRUCTURES WITH ADDITIONAL CLEANING AS NECESSARY TO ENSURE PROPER CONNECTION. ANY DAMAGE TO EXISTING STRUCTURES OR PIPING NOTED SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD PRIOR TO INSTALLATION. SHOULD INTERNAL CLOSED CIRCUIT TELEVISION OF UTILITIES BE REQUIRED BY THE MUNICIPAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING.
- WHERE UTILITIES ARE TO BE ABANDONED-IN-PLACE, THE CONTRACTOR SHALL FURNISH APPROPRIATE CAPPING METHOD OR UTILIZE FLOWABLE FILL AS DIRECTED BY THE ENGINEER OF RECORD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AS-BUILT UTILITY INFORMATION VIA A LICENSED NEW YORK PROFESSIONAL LAND SURVEYOR. SIGNED AND SEAL HARD COPIES OF SAID AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD AND PROPERTY OWNER.
- ALL SILL COCKS, WALL/ROOF HYDRANTS, HOSE BIBBS OR SIMILAR FIXTURES USED TO SUPPLY WATER OUTDOORS SHALL BE SELF-DRAINING OR OTHERWISE FROST-FREE.
- FOR BELOW GRADE WALL AND SLAB-ON-GRADE FLOOR PENETRATIONS, LINK SEALS SHALL BE USE FOR PIPING PENETRATIONS OF BELOW GRADE WALLS AND SLAB-ON-GRADE FLOORS. LINK SEAL HARDWARE SHALL BE STAINLESS STEEL.

SOIL LOG

DEEP PIT SOIL LOG (PT #1) SURFACE ELEV. ±106.6'

0' TO 2'	SOFT LOOSE SAND, 0% COARSE FRAGS, (DRY) LOOSE, SOFT, NO MOTTLING.
2' TO 36'	LIGHT BROWN, FINE SANDY LOAM, 10% COBBLE, (DRY) LOOSE, SOFT, NO MOTTLING.
36' TO 102'	DARK BROWN, COARSE SANDY LOAM, 10% COBBLE, (DRY) LOOSE, NO MOTTLING.
DEPTH TO LEDGE:	N/A
DEPTH TO WATER:	N/A
SEEPAGE:	N/A
ESTIMATED SHWT:	N/A
ROOTS:	N/A

PERCOLATION TEST DATA (PT #1):
TEST HOLE DEPTH: 30' / 8:30 MINUTES
RUNS 1-4: 7:30 MINUTES, 8:00 MINUTES, 8:15 MINUTES, 8:30 MINUTES

PERCOLATION TEST DATA (PT #2):
TEST HOLE DEPTH: 30' / 12:45 MINUTES
RUNS 1-4: 11:40 MINUTES, 12:45 MINUTES, 10:35 MINUTES, 11:05 MINUTES

TEST HOLES PERFORMED ON 07/16/2024 BY LAN ASSOCIATES

SEPTIC DESIGN NOTES

NUMBER OF BEDROOMS: 6
PERCOLATION RATE (PERC. TEST #2): 12.45 MINUTES
DESIGN FLOW RATE: 600 GALLONS PER DAY
APPLICATION DESIGN RATE: 0.80 GAL/DAY/FT²
ADJUSTED REQUIRED LENGTH OF ABSORPTION TRENCH (TABLE 6D): 138 LF
PROVIDED LENGTH OF ABSORPTION TRENCH: 144 LF
REQUIRED SEPTIC TANK SIZE: 1,150 GALLONS
PROVIDED SEPTIC TANK SIZE: 2,000 GALLONS

STORMWATER CALCULATIONS

EXISTING IMPERVIOUS CALCULATIONS
BUILDING: ±1,781 SQFT (0.041 AC)
WALKWAYS: ±612 SQFT (0.022 AC)
PAVEMENT: ±4,967 SQFT (0.114 AC)
TOTAL EXISTING IMPERVIOUS: ±7,660 SQFT (0.176 AC)
PROPOSED IMPERVIOUS CALCULATIONS
BUILDING: ±3,345 SQFT (0.077 AC)
WALKWAYS: ±322 SQFT (0.007 AC)
PAVEMENT: ±2,730 SQFT (0.063 AC)
TOTAL PROPOSED IMPERVIOUS: ±6,397 SQFT (0.147 AC)

THE PROPOSED DEVELOPMENT WILL REDUCE IMPERVIOUS COVER BY ±1,263 SQFT (0.029 AC), THUS NO STORMWATER MANAGEMENT SYSTEM IS PROPOSED.

LEGEND

EXISTING / PROPOSED	EXISTING / PROPOSED
WATER VALVE	WATER METER
FIRE HYDRANT	FIRE SHUT OFF
GAS VALVE	GAS METER
UTILITY POLE	IRRIGATION CONT. VALVE
CATCH BASIN	ELECTRIC METER
SEEPAGE PIT	LIGHT POLE
SANITARY MANHOLE	WALL-MOUNTED LIGHT
ELECTRICAL MANHOLE	BOLLARD
STORM MANHOLE	TREE
MONITORING WELL	ROCK / BOULDER
UNKNOWN MANHOLE	FLAGPOLE
HEADWALL	MAILBOX
SAN. CLEAN OUT	DUMPSTER
HANDICAP SYMBOL	SIDEWALK
SIGN	CURB LINE
PROPERTY LINE (PO)	WATER LINE
PROPERTY LINE	GAS LINE
SETBACK LINE	ELECTRIC LINE
WETLANDS BOUNDARY	TELEPHONE LINE
STREAM/BROOK	OVERHEAD WIRES
TREE LINE	SANITARY SEWER
CHAINLINK FENCE	STORM SEWER
WOOD FENCE	GUIDE RAIL

OWNER & PROPERTY INFO

LOT: BLOCK 69-19 - LOT 24
7 SICKLETOWN ROAD
PEARL RIVER, NEW YORK
AREA = ±37,715 SF OR 0.87 AC

OWNER/APPLICANT:
MR. & MRS. ROBERT WHITE
27 BADGER STREET
NEW CITY, NEW YORK

SURVEY REFERENCES

- EXISTING CONDITIONS REFERENCES A SURVEY PREPARED BY JAY A. GREENWELL, PLS, LLC, SUFFERN, NEW YORK, TITLED "TOPOGRAPHIC SURVEY OF PROPERTY FOR WHITE" SIGNED BY JAY A. GREENWELL, PLS LIC #49676 DATED 06/05/2024.

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THE PROFESSIONAL ENGINEER License No. 110091

Revisions:
INITIAL SUBMISSION 09/04/2024
CYCLE 2 SUBMISSION 09/18/2024

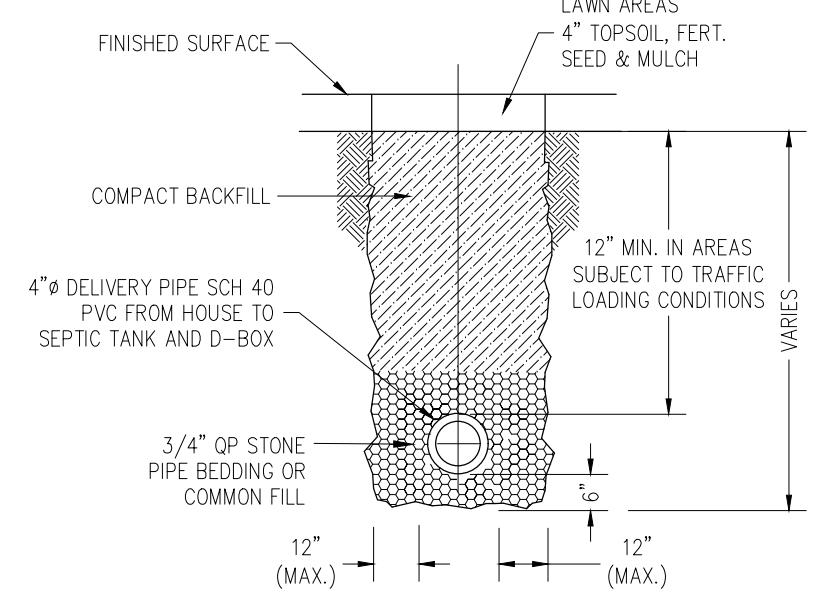
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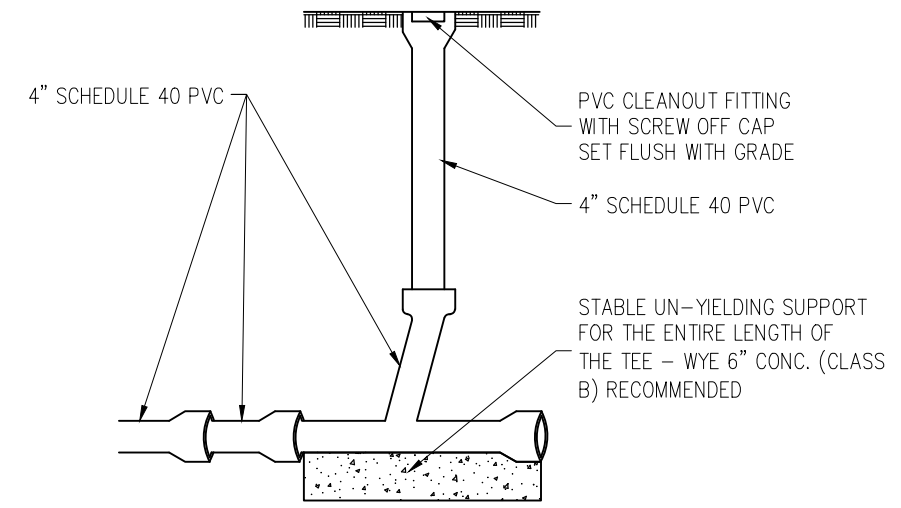
PROPOSED UTILITY PLAN
WHITE RESIDENCE - PROPOSED SEPTIC PLANS
SECTION 69-19 - BLOCK 1 - LOT 24
7 SICKLETOWN ROAD
PEARL RIVER, ROCKLAND COUNTY, NY 10965

Job No. 4.1695.01
File No. 169501C1.DWG

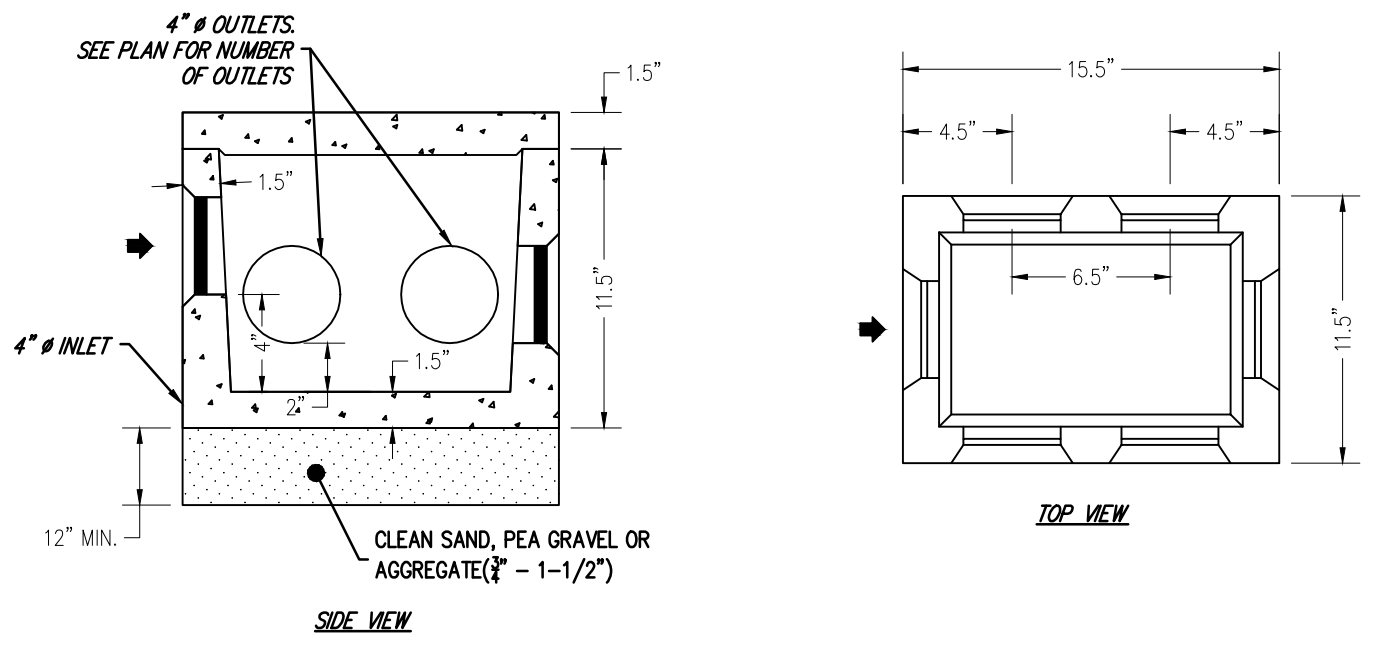
C4.01



DELIVERY PIPE TRENCH DETAIL
NTA

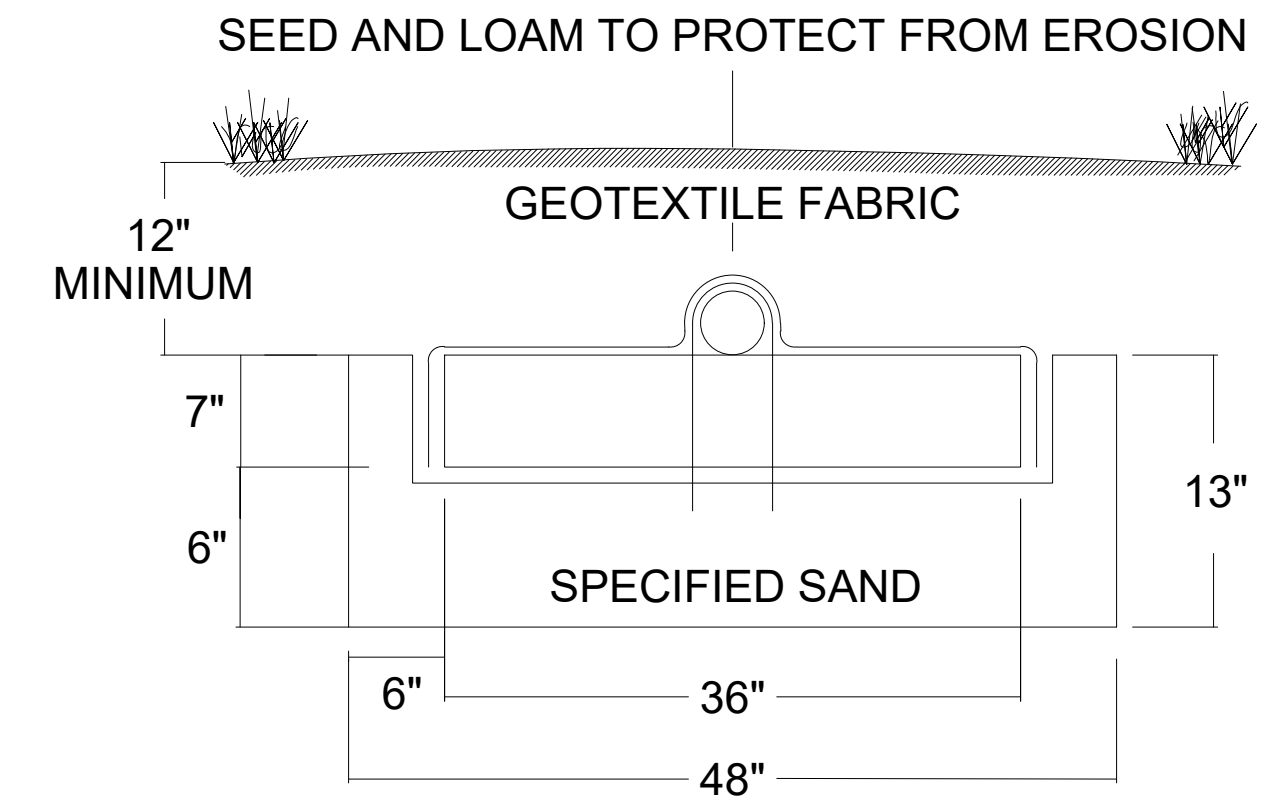


SANITARY CLEANOUT DETAIL
NTA



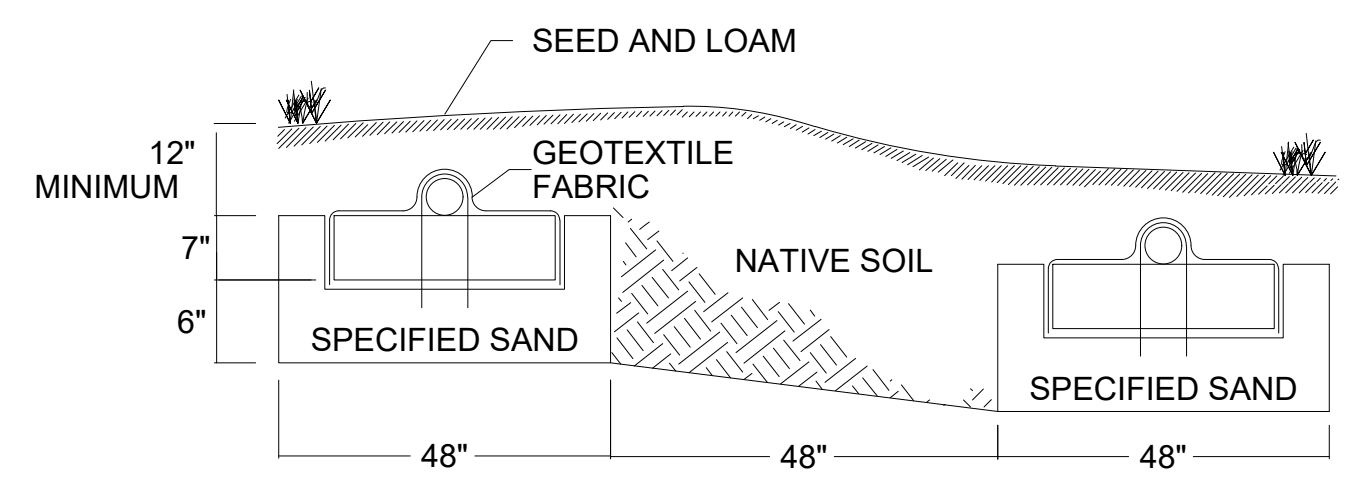
DISTRIBUTION BOX DETAIL
NTA

NOTES:
1. PIPE JOINT TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
2. INVERT ELEVATIONS OF ALL OUTLET PIPES MUST BE EQUAL. USE OF SPEED LEVELING DEVICES IS RECOMMENDED.
3. THE SLOPE OF OUTLET PIPES BETWEEN THE DISTRIBUTION BOX AND DISTRIBUTOR LATERALS SHOULD BE AT LEAST 1/32" PER FOOT.
4. BAFFLE REQUIRED FOR SIPHON, AUTOMATIC DOSING, OR IF INLET PIPE SLOPE EXCEEDS 1/2" PER FOOT.
5. D-BOX SHALL HAVE 12" COVER MAX.
6. ANY UNUSED OUTLETS MUST BE CAPPED AND SEALED.
7. PIPE JOINTS SHALL BE WATER-TIGHT.
8. CONCRETE: 4,000 PSI MIN. AFTER 28 DAYS.
9. D-BOX NOT DESIGNED FOR TRAFFIC BEARING APPLICATIONS.
10. D-BOX SHALL BE MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUIVALENT.

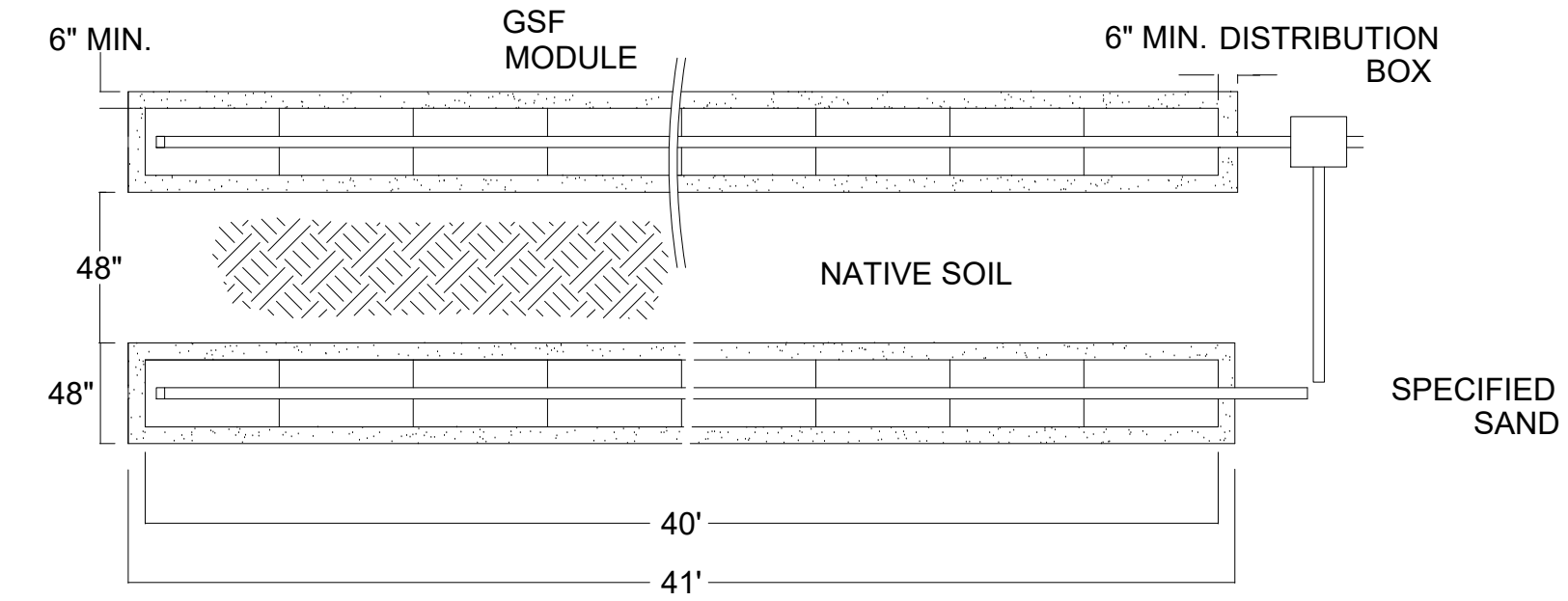


B43 TRENCH CROSS SECTION
NTA

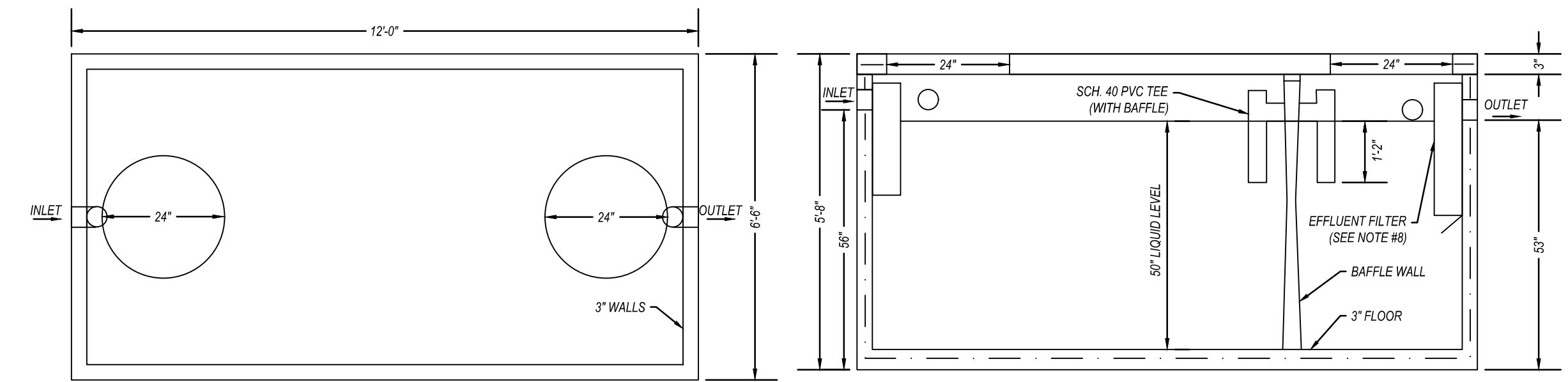
MINIMUM SEPTIC TANK CAPACITY		
NUMBER OF BEDROOMS	MINIMUM TANK CAPACITY (GAL)	MINIMUM LIQUID AREA (SF)
6	1,750	47



GSF MULTIPLE TRENCH CROSS SECTION
NTA



GSF TRENCH PLAN VIEW
NTA



2,000 GALLON RECTANGULAR SEPTIC TANK
NTA

NOTES:
1. NOT TRAFFIC RATED.
2. CONCRETE: MIN. 4,500 PSI @ 28 DAYS.
3. 4" MAX. BACKFILL ON TOP OF TANK.
4. INTERIOR COATED 2 COATS OF APPROPRIATE SEALER.
5. ANY UNUSED OUTLETS MUST BE CAPPED AND SEALED.
6. SEPTIC TANK SHALL BE MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUIVALENT.
7. PIPE JOINTS SHALL BE WATER-TIGHT.
8. EF-4 RESIDENTIAL SERIES EFFLUENT FILTER AS MANUFACTURED/DISTRIBUTED BY TUF-TITE, INC OR APPROVED EQUAL. EFFLUENT FILTER MUST BE CERTIFIED UNDER NSF STANDARD 46.

NYS Certificate of Authorization
 Eng'r. No. 0021753
 Surv. No. 0020362
 Date 09/04/24
 Checked EQ
 Drawn EQ

ELIO GORRI, P.E.
 THE PROFESSIONAL ENGINEER License No. 110091

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 INITIAL SUBMISSION 09/04/2024
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CONSTRUCTION DETAILS
 WHITE RESIDENCE - PROPOSED SEPTIC PLANS
 SECTION 69-19 - BLOCK 1 - LOT 24
 7 SICKLETOWN ROAD
 PEARL RIVER, ROCKLAND COUNTY, NY 10965

Job No. 4.1695.01
 File No. 169501C.DWG

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