

Bryan Wright & Jennifer Abillar-Wright  
63 Hamilton Avenue, Tappan NY 10983  
(516) 643 2911

## **Project Contents - 63 Hamilton Avenue, Tappan**

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Bryan Wright  
63 Hamilton Avenue, Tappan NY 10983  
(516) 643 2911

## Project Narrative: House Rebuild - 63 Hamilton Avenue, Tappan

### Overview

The project involves the complete rebuild of a single-family house located in Tappan, New York. The existing structure, which has suffered significant damage due to a house fire in December of 2023, has since been demolished down to the foundation. It is to be replaced with a modern, energy-efficient home that meets the needs of the Wright family (Bryan Wright, Jennifer Abillar-Wright, daughters Meadow and Robyn Wright) while adhering to local building codes and sustainability standards.

### Objectives

1. **Safety and Compliance:** Ensure the new structure complies with all local, state, and federal building regulations, including safety codes and environmental standards.
2. **Sustainability:** Incorporate green building practices to minimize environmental impact, including the use of sustainable materials and energy-efficient systems.
3. **Functionality:** Design a layout that maximizes space utilization and meets the daily living needs of a modern family, including open-plan living areas, ample storage, and flexible spaces.
4. **Aesthetics:** Create a visually appealing home that blends with the neighborhood's architectural style while incorporating contemporary design elements.

### Scope of Work

1. **Site Preparation:** Prepare the site for construction, including utility connections and foundation repair.
2. **Construction:** Build the new house using high-quality materials and modern construction techniques. Key features will include:
  - o **Foundation and Framing:** A robust foundation (with minor expansion) and framing system to ensure structural integrity.
  - o **Exterior:** Durable, low-maintenance materials for the exterior, such as vinyl siding and energy-efficient windows.
  - o **Interior:** High-quality finishes and fixtures, including laminate flooring, modern kitchen appliances, and energy-efficient HVAC systems.
3. **Landscaping:** Design and implement a landscaping plan that enhances the property's curb appeal and includes native, drought-resistant plants.

### Timeline

The project is expected to take approximately 8 months from start to finish, with key milestones including:

1. **Months 1-2:** Site preparation.
2. **Months 2-5:** Construction of the new structure.
3. **Months 5-6:** Interior finishing and installation of systems.
4. **Months 6-7:** Final inspections, landscaping, and project closeout.

### Budget

The estimated budget for the project is \$475,000, which includes all costs associated with construction, materials, labor, permits, and contingencies.

### Synopsis

This single-family house rebuild project aims to create a safe, sustainable, and functional home that meets the needs of a modern family while enhancing the overall value and aesthetics of the property and its neighborhood. Through careful planning, quality construction, and attention to detail, the project will deliver a house that reflects positively on the community and a home our family may enjoy for many years to come.



Imagery ©2024 Airbus, Maxar Technologies, Map data ©2024 100 ft





PROPOSED ADDITION

Land Survey  
For  
**"WRIGHT"**  
Tappan

Town of Orangetown Rockland County, NY  
Scale: 1" = 30' Area = 0.53 Ac.



February 21, 2024  
August 12, 2024 - Revised

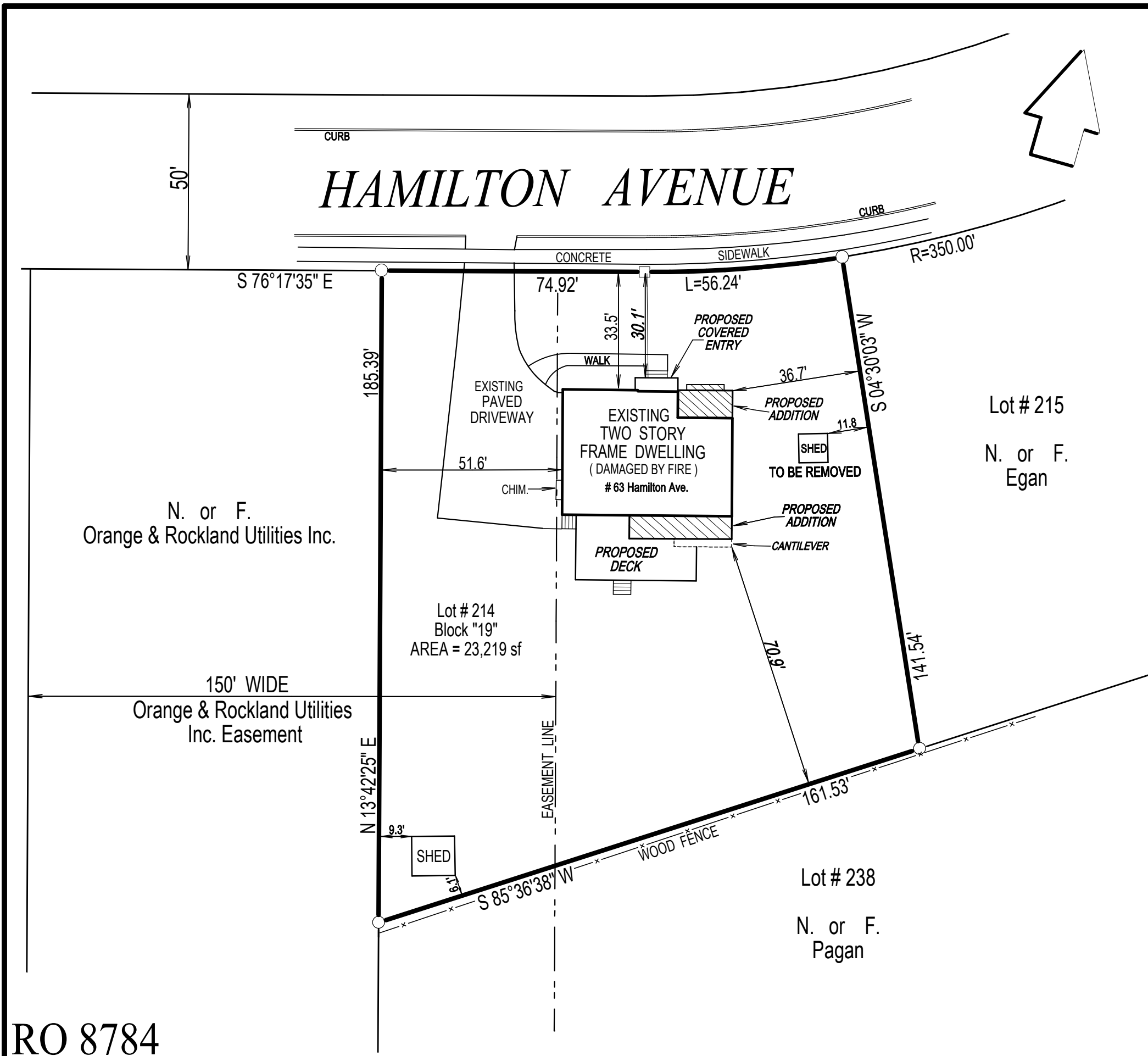
Tax Lot Desig.: Section 77.17 Block 3 Lot 54

Reference: map entitled "PREL PARK SECT. XIV-A", Filed in the Rockland County Clerks Office August 12, 1965 in book 70 page 24 as map # 3373.

Zone R-15 Bulk Regulations Group M

Item	Required	Existing	Proposed
Lot Area	15,000 sf	23,219 sf	No Change
Lot Width	100 ft.	136.3 ft.	No Change
Street Frontage	75 ft.	131.16 ft.	No Change
Front Yard	30 ft.	33.5 ft.	30.1 ft.
Side Yard	20 ft.	36.7 ft.	No Change
Total Side Yard	50 ft.	88.3 ft.	No Change
Rear Yard	35 ft.	70.6 ft. Deck	64.8 ft. Deck
Max.F.A.R.	0.20	0.169	0.20
Max Bldg. Height	1 ft. per ft from lot line	N/A	9.9" ft. per ft from lot line 27'8"

   
Robert E. Sorace, PLS  
P.O. Box 605  
New City, NY 10956  
845-638-1498  
Lic. 49162



RO 8784



**Design Inspiration**





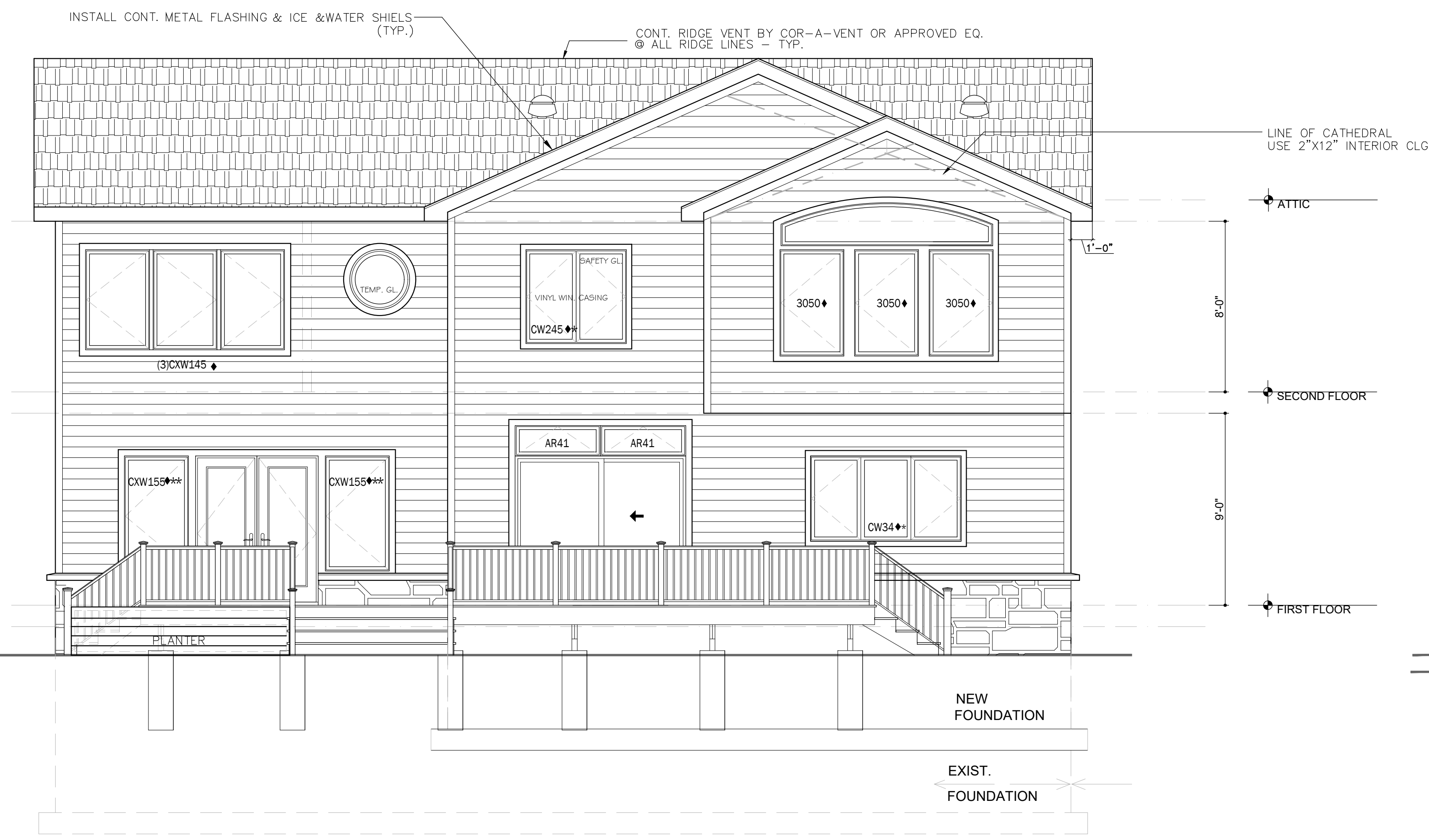
1 FRONT ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



3 REAR ELEVATION

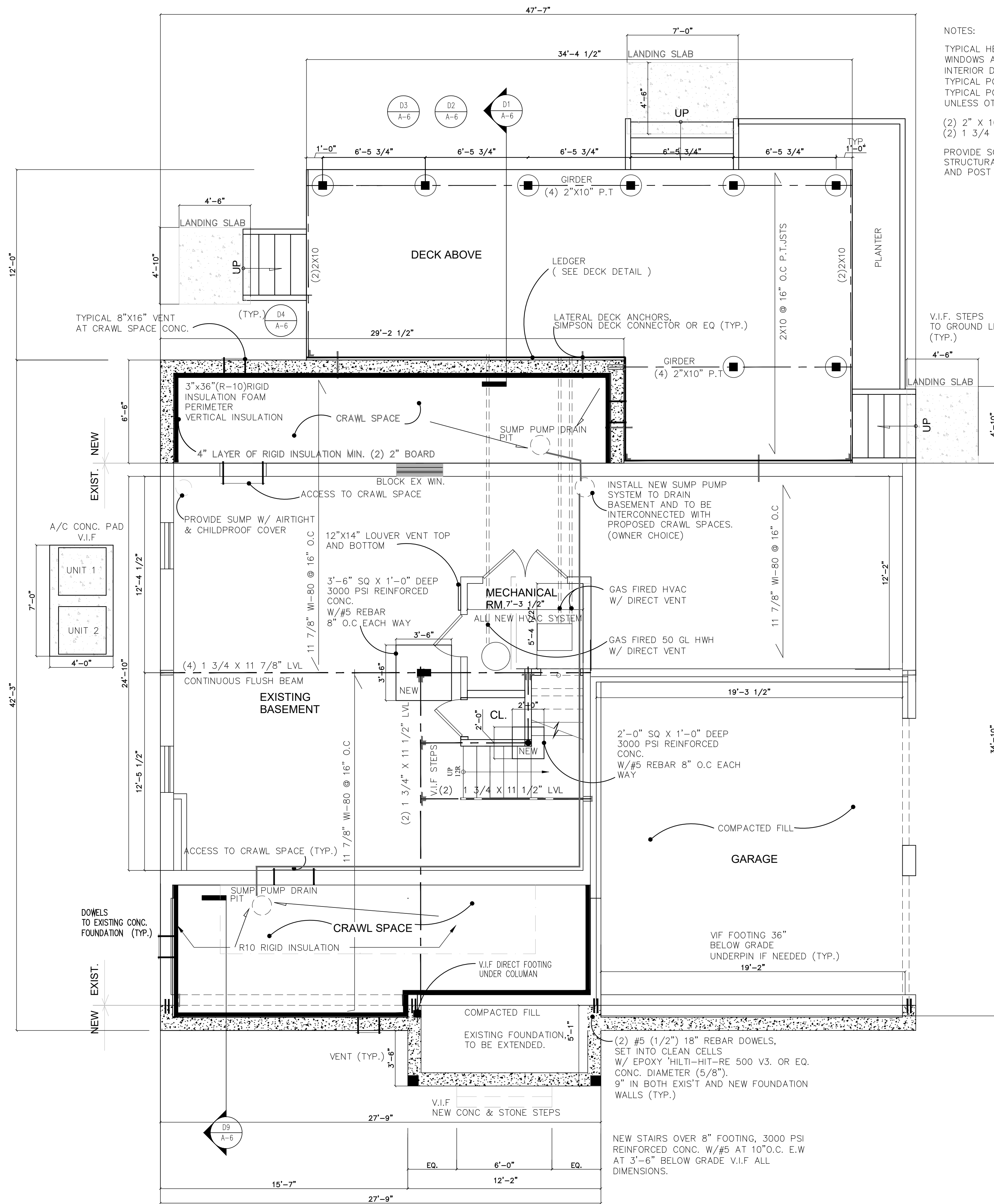


4 LEFT SIDE ELEVATION





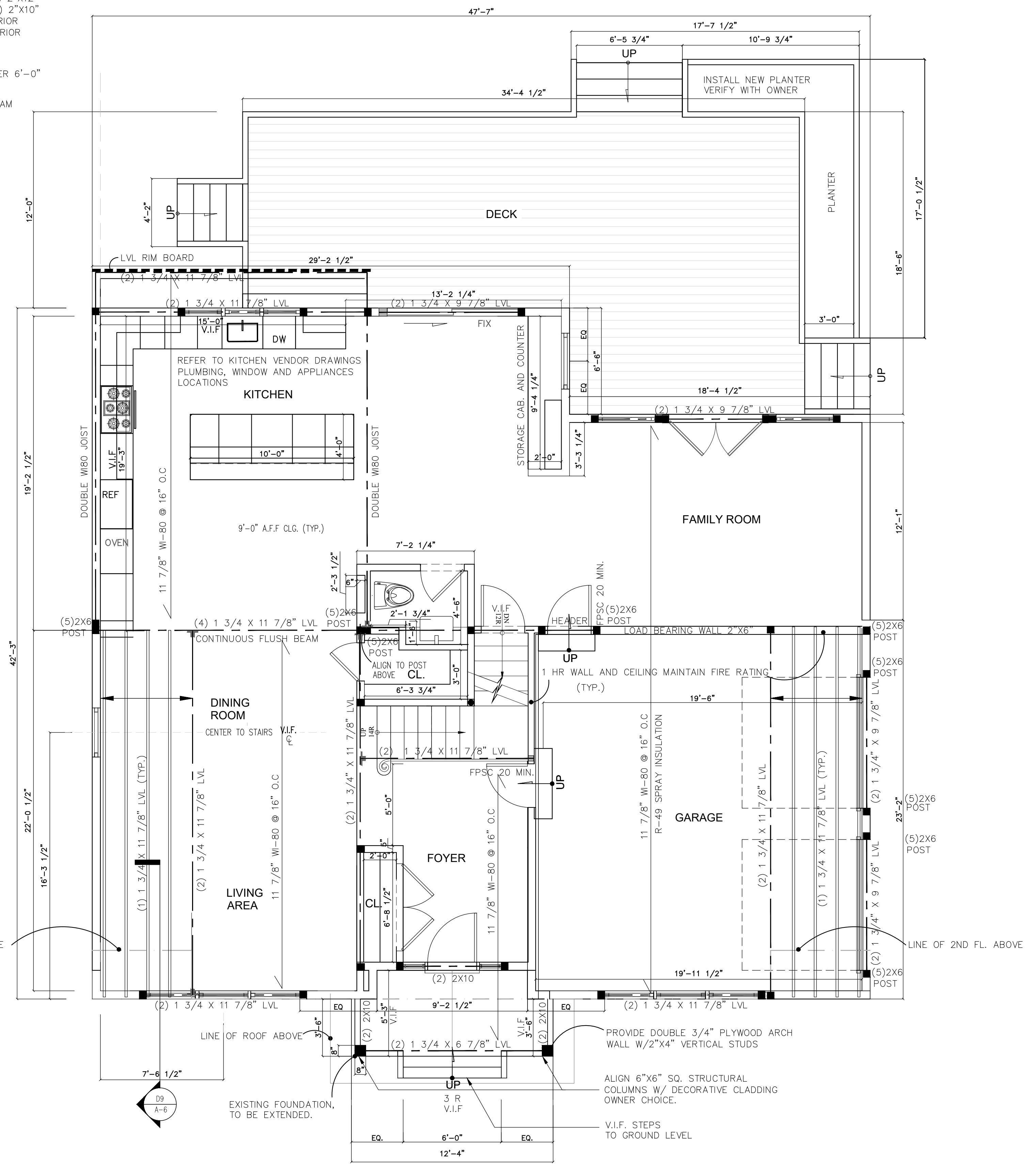




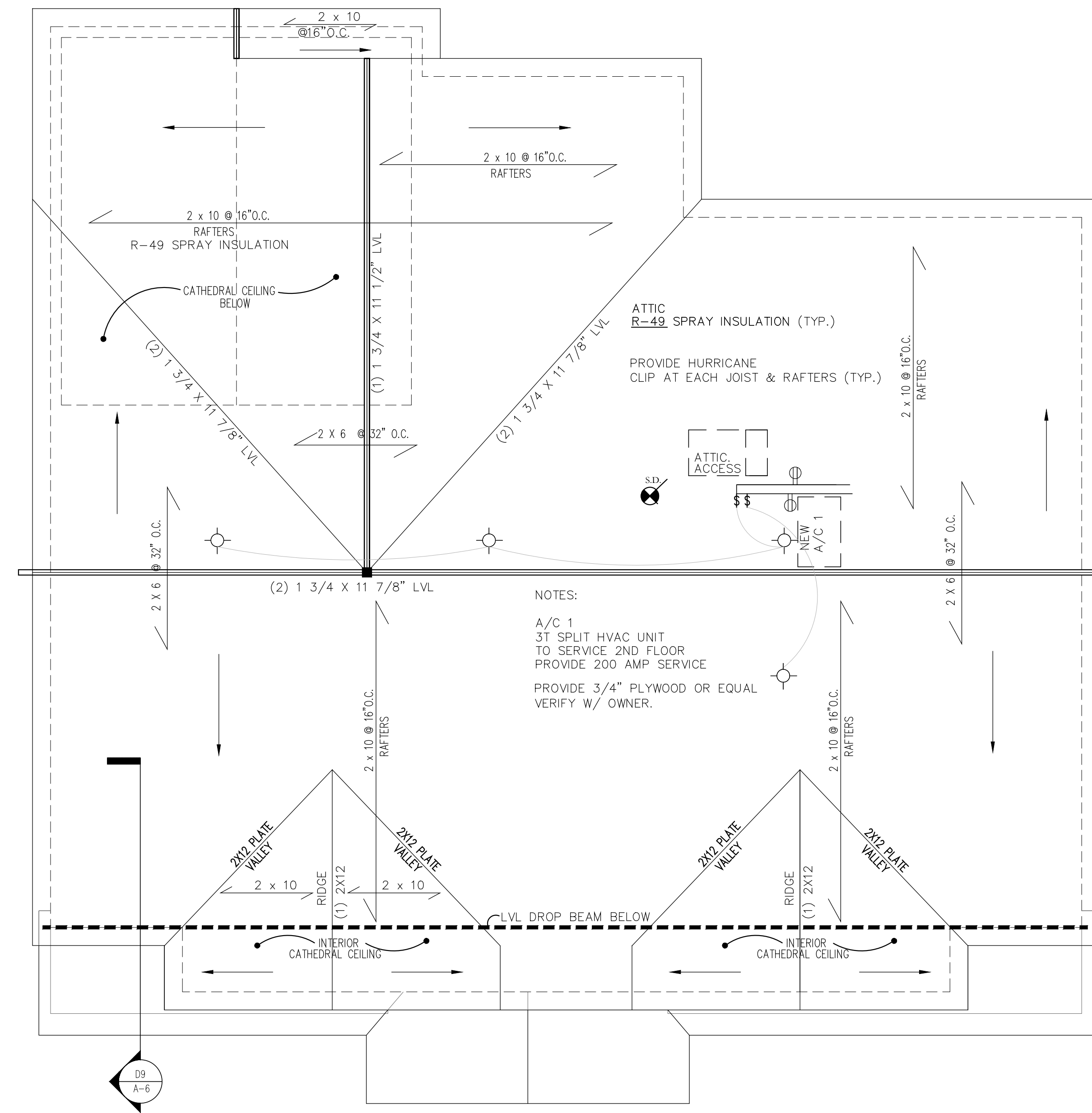
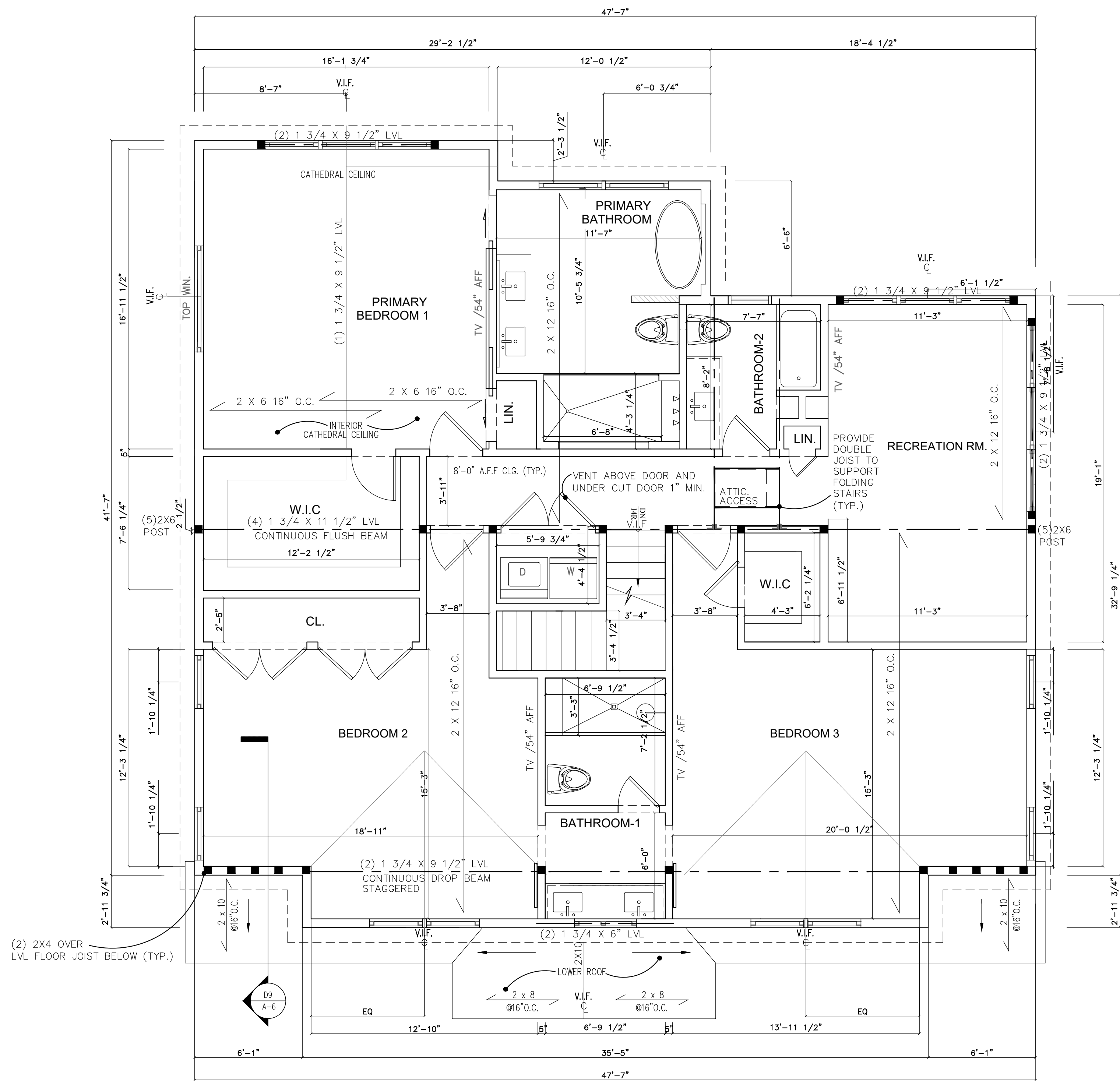
**1 BASEMENT PLAN**  
SCALE: 1/4"=1'-0"

NOTES:  
TYPICAL HEADER  
WINDOWS AND EXTERIOR DOORS (2) 2"x12"  
INTERIOR DOOR AND OPEN TRIM (2) 2"x10"  
TYPICAL POST USE (4) 2"x4" INTERIOR  
TYPICAL POST USE (4) 2"x6" EXTERIOR  
UNLESS OTHERWISE NOTED  
  
(2) 2" X 10" (TYP) UP TO 5'-0"  
(2) 1 3/4 X 7 1/2" LVL (TYP) OVER 6'-0"

PROVIDE SOLID BLOCKING TO ALL  
STRUCTURAL MEMBERS, GIRDER, BEAM  
AND POST TO FOUNDATION.



**2 1ST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

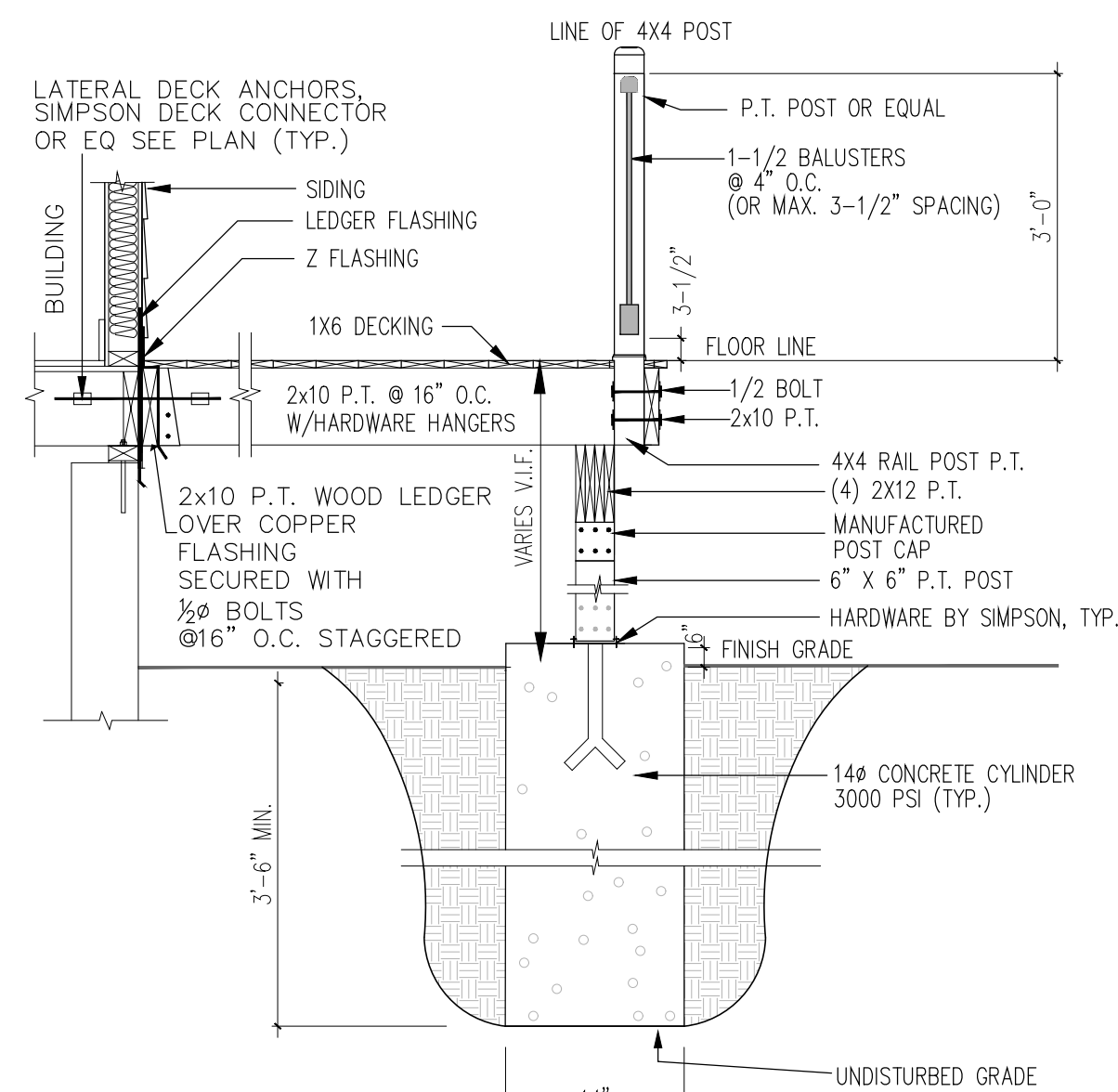


1 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

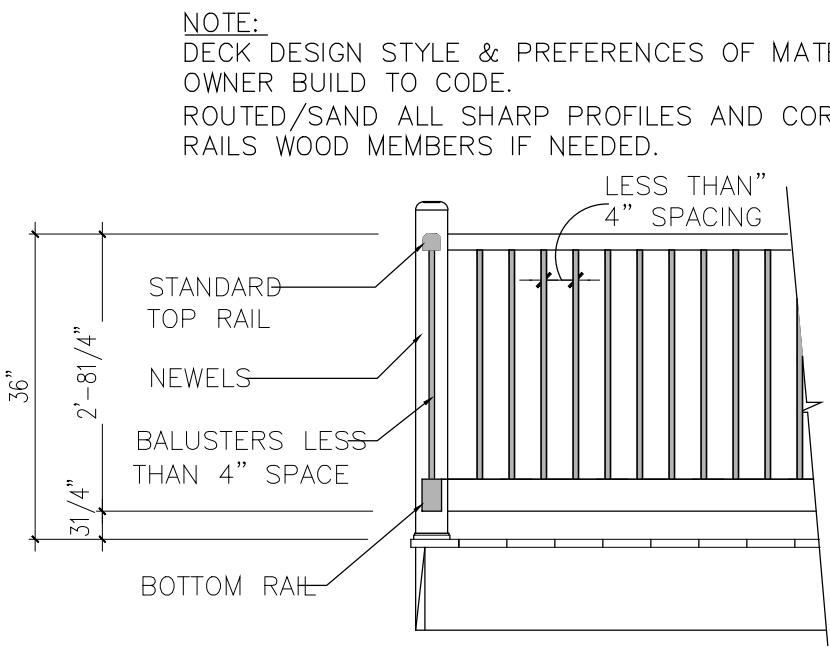
2 ROOF PLAN  
SCALE: 1/4"=1'-0"



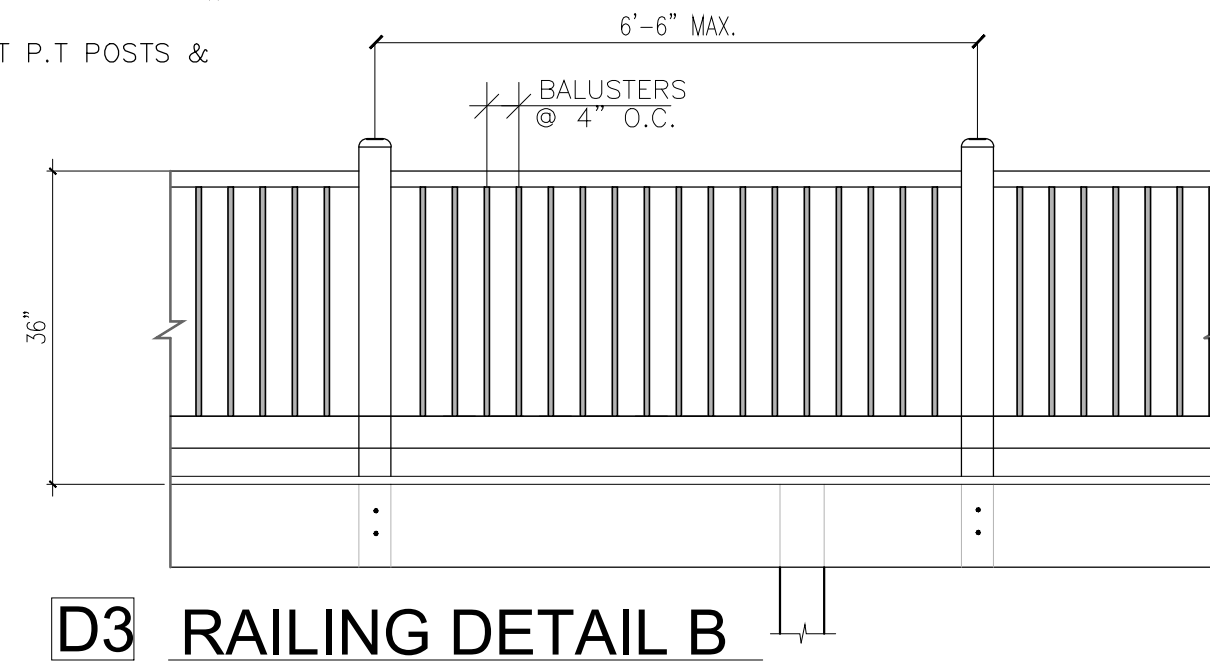




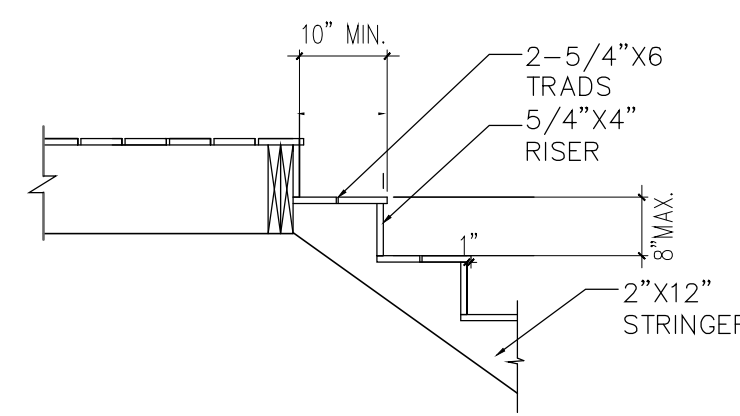
**D1 SECTION-B**  
SCALE: 1/4"=1'-0"



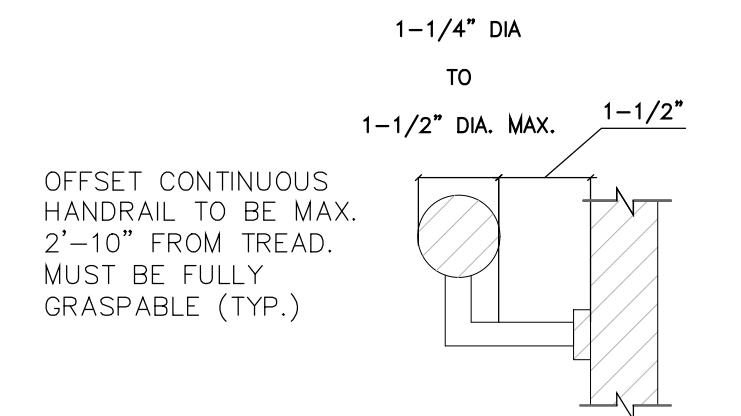
**D2 DETAIL-RAIL**  
SCALE: 1/4"=1'-0"



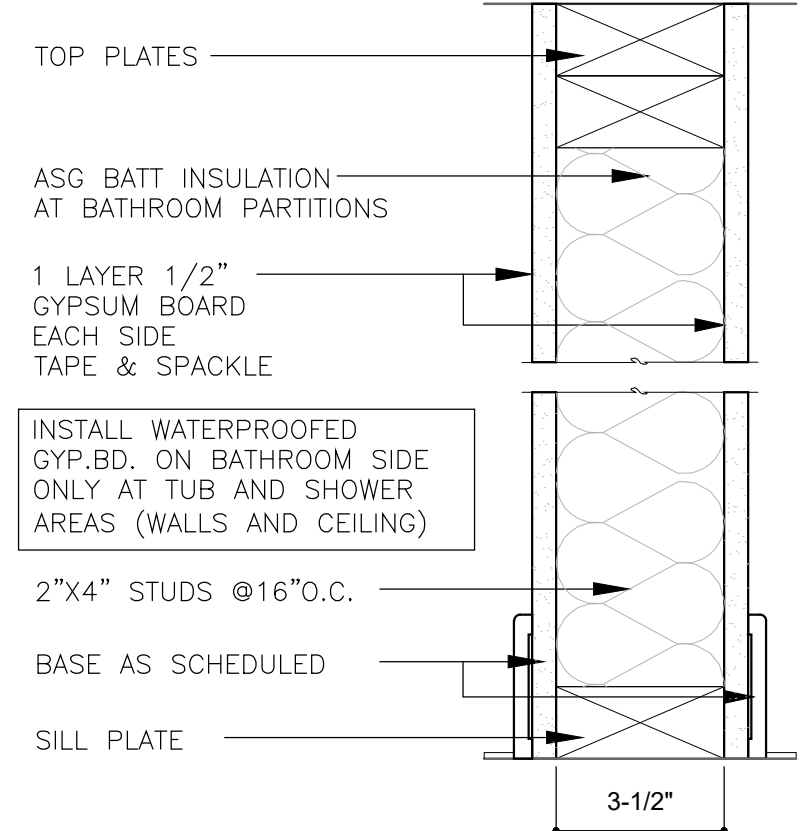
**D3 RAILING DETAIL B**  
SCALE: 1/4"=1'-0"



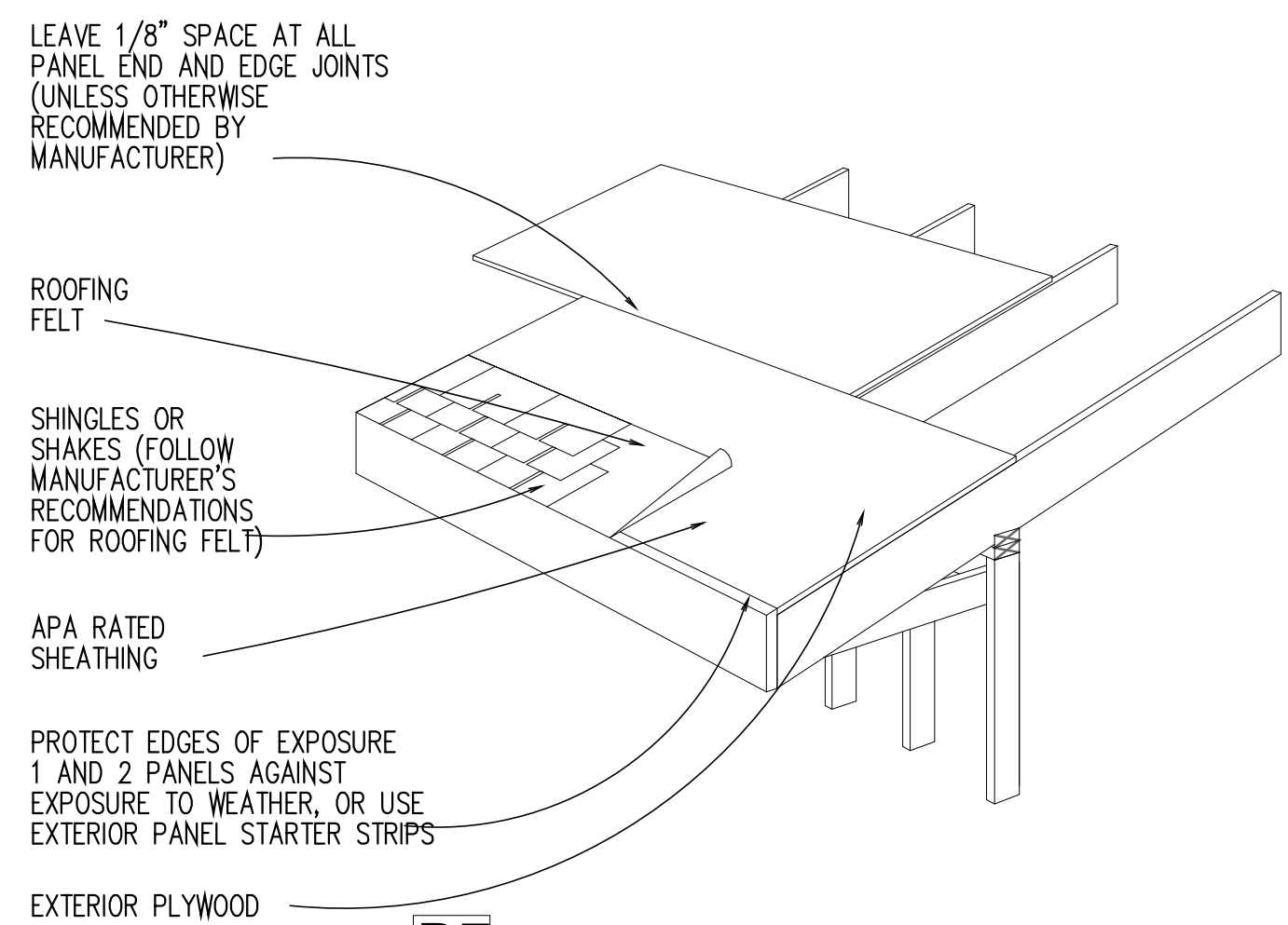
**D4 STAIR DETAIL**  
NTS



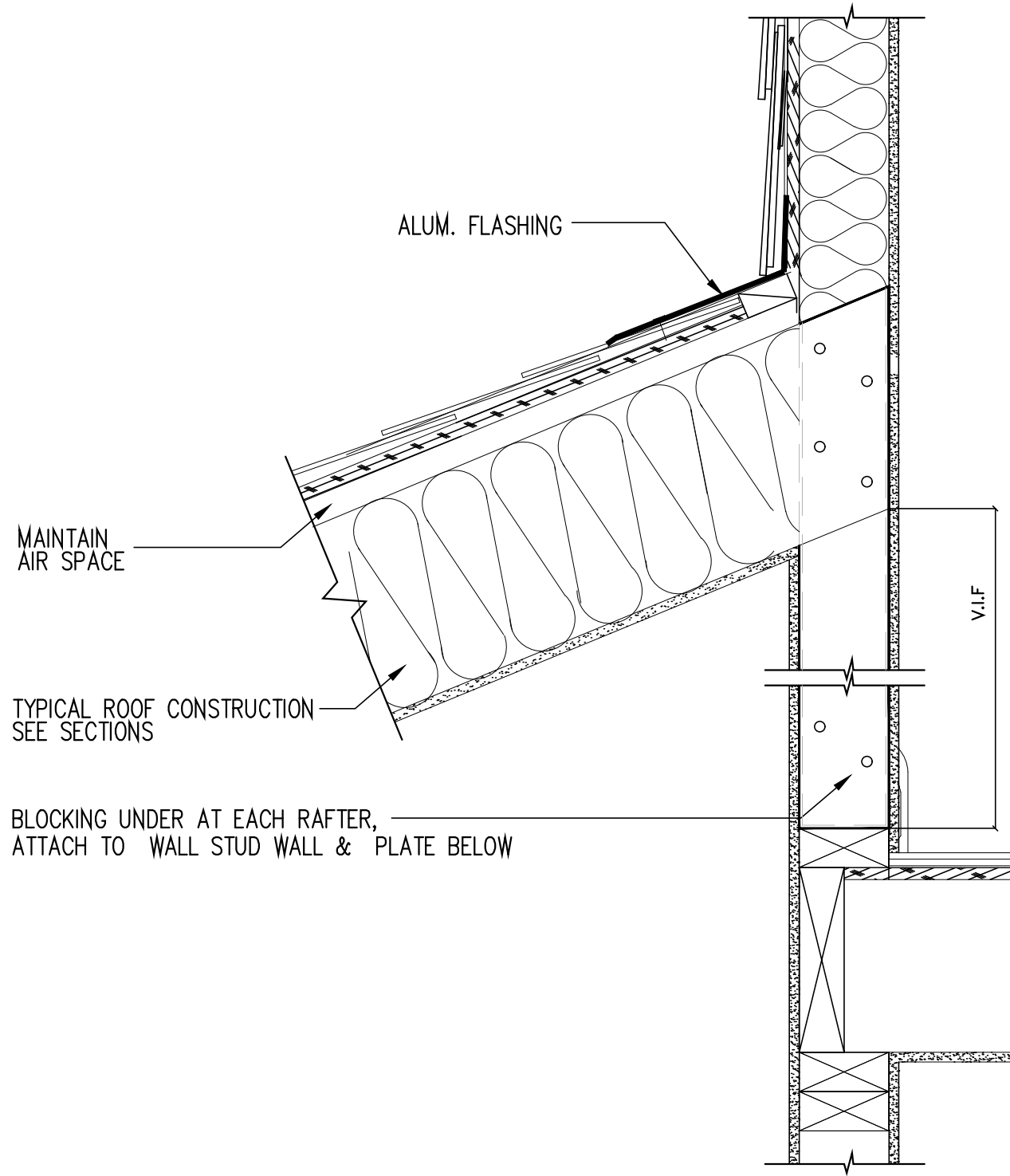
**D5 TYP. CONTINUES HANDRAIL DETAIL AT NEW INTERIOR STAIRS**



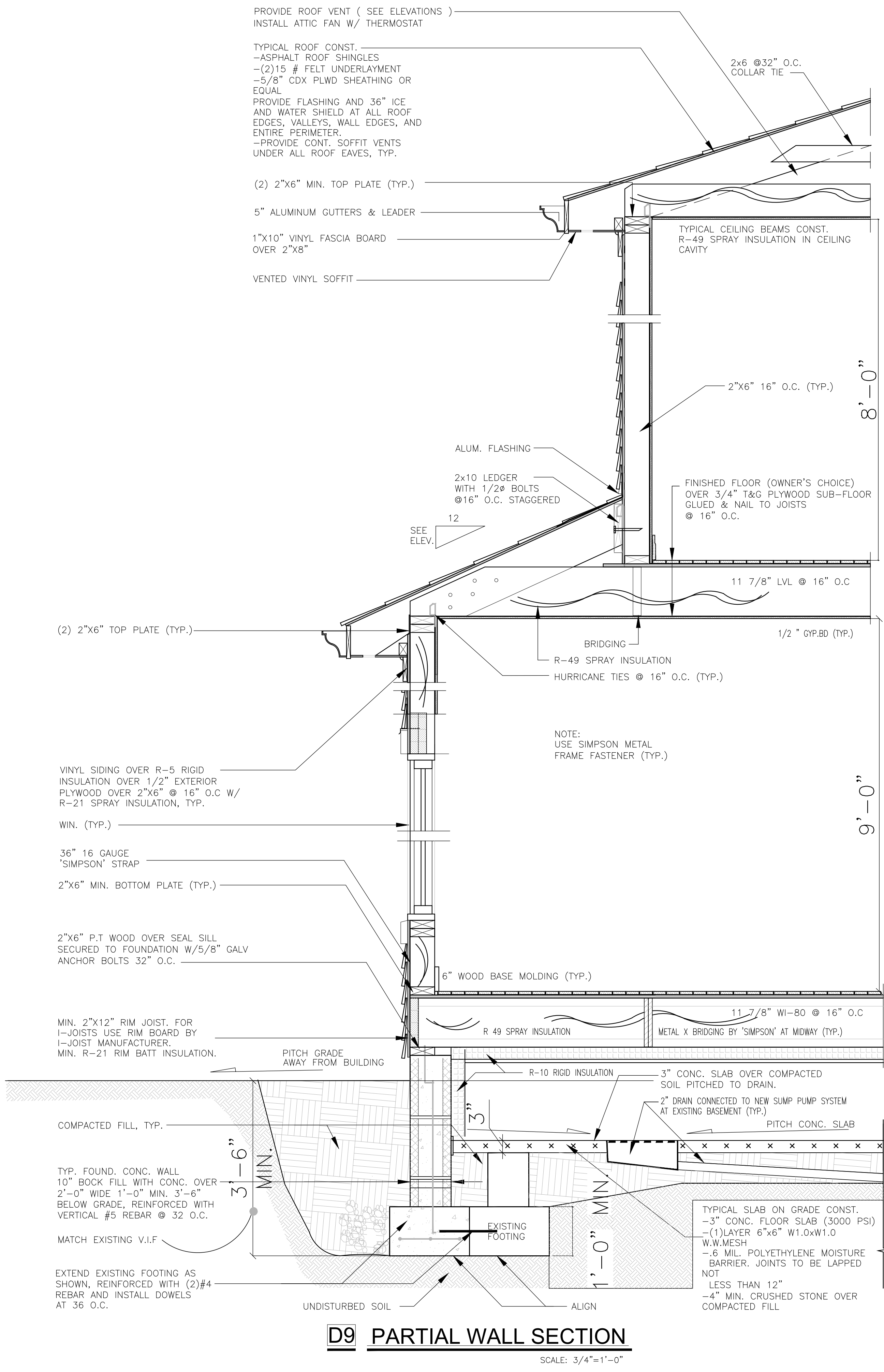
**D6 INTERIOR WALL SECTION**  
SCALE: 3/8"=1'-0"



**D7 ROOF DETAIL**  
N.T.C.



**D9 PARTIAL WALL SECTION**  
SCALE: 3/4"=1'-0"



NOTE:  
DECK DESIGN STYLE & PREFERENCES OF MATERIAL TO BE VERIFIED WITH OWNER BUILD TO CODE.  
ROUTED/SAND ALL SHARP PROFILES AND CORNERS AT P.T POSTS & RAILS WOOD MEMBERS IF NEEDED.

PROVIDE ROOF VENT ( SEE ELEVATIONS )  
INSTALL ATTIC FAN W/ THERMOSTAT

TYPICAL ROOF CONST.  
- ASPHALT ROOF SHINGLES  
- (2) 15 # FELT UNDERLAYMENT  
- 5/8" CDX PLWD SHEATHING OR EQUAL  
PROVIDE FLASHING AND 36" ICE AND WATER SHIELD AT ALL ROOF EDGES, VALLEYS, WALL EDGES, AND ENTIRE PERIMETER.  
- PROVIDE CONT. SOFFIT VENTS UNDER ALL ROOF EAVES, TYP.

(2) 2"x6" MIN. TOP PLATE (TYP.)  
5" ALUMINUM GUTTERS & LEADER  
1"x10" VINYL FASCIA BOARD OVER 2"x8"  
VENTED VINYL SOFFIT

2x6 @ 32" O.C. COLLAR TIE

TYPICAL CEILING BEAMS CONST.  
R-49 SPRAY INSULATION IN CEILING CAVITY

2"x6" 16" O.C. (TYP.)

FINISHED FLOOR (OWNER'S CHOICE) OVER 3/4" T&G PLYWOOD SUB-FLOOR GLUED & NAIL TO JOISTS @ 16" O.C.

ALUM. FLASHING  
2x10 LEDGER WITH 1/2" BOLTS @ 16" O.C. STAGGERED  
SEE ELEV. 12

BRIDGING  
R-49 SPRAY INSULATION  
HURRICANE TIES @ 16" O.C. (TYP.)

11 7/8" LVL @ 16" O.C.

1/2" GYP.BD (TYP.)

(2) 2"x6" TOP PLATE (TYP.)  
VINYL SIDING OVER R-5 RIGID INSULATION OVER 1/2" EXTERIOR PLYWOOD OVER 2"x6" @ 16" O.C W/ R-21 SPRAY INSULATION, TYP.

WIN. (TYP.)

36" 16 GAUGE 'SIMPSON' STRAP

2"x6" MIN. BOTTOM PLATE (TYP.)

2"x6" P.T WOOD OVER SEAL SILL SECURED TO FOUNDATION W/5/8" GALV ANCHOR BOLTS 32" O.C.

6" WOOD BASE MOLDING (TYP.)

MIN. 2"x12" RIM JOIST, FOR 1-JOISTS USE RIM BOARD BY 1-JOIST MANUFACTURER.  
MIN. R-21 RIM BATT INSULATION.

PITCH GRADE AWAY FROM BUILDING

R-49 SPRAY INSULATION

METAL X BRIDGING BY 'SIMPSON' AT MIDWAY (TYP.)

11 7/8" WI-80 @ 16" O.C.

3" CONC. SLAB OVER COMPACTED SOIL PITCHED TO DRAIN.

2" DRAIN CONNECTED TO NEW SUMP PUMP SYSTEM AT EXISTING BASEMENT (TYP.)

PITCH CONC. SLAB

1'-0" MIN.

3" MIN.

5'-6" MIN.

UNDISTURBED SOIL

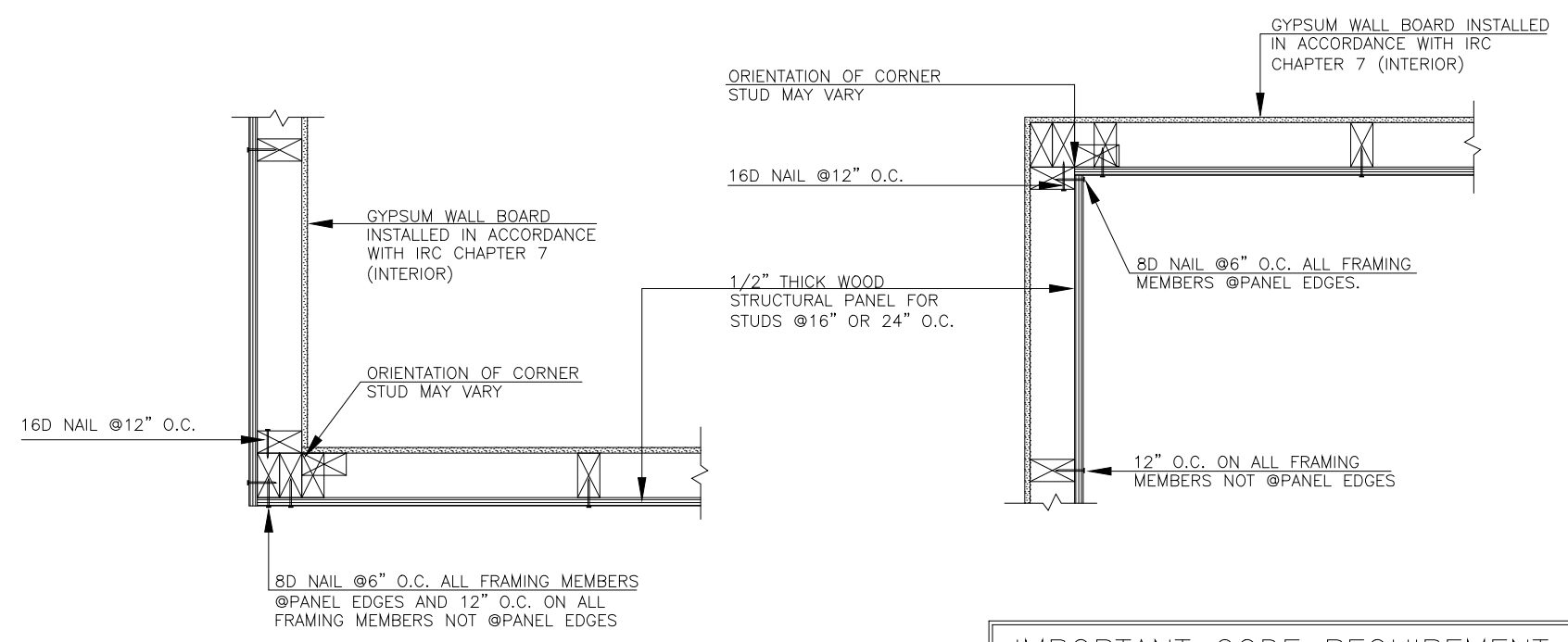
ALIGN

EXISTING FOOTING

EXTEND EXISTING FOOTING AS SHOWN, REINFORCED WITH (2)#4 REBAR AND INSTALL DOWELS AT 36" O.C.

TYPICAL SLAB ON GRADE CONST.  
- 3" CONC. FLOOR SLAB (3000 PSI)  
- (1) LAYER 6"x6" W1.0xW1.0 W.W.MESH  
- 6 MIL. POLYETHYLENE MOISTURE BARRIER. JOINTS TO BE LAPPED NOT LESS THAN 12"  
- 4" MIN. CRUSHED STONE OVER COMPACTED FILL

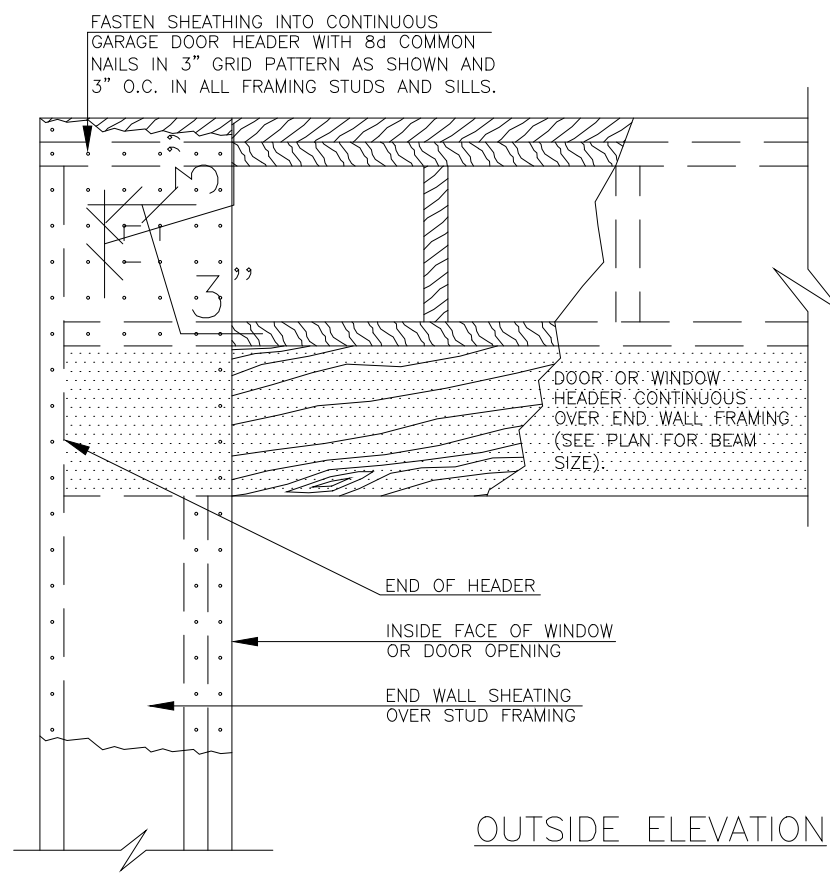
NOTE:  
USE SIMPSON METAL FRAME FASTENER (TYP.)



**IMPORTANT CODE REQUIREMENT:**  
 AT CORNERS CONNECT THE TWO WALLS TOGETHER AS OUTLINED HEREIN TO PROVIDE OVERTURNING RESTRAINT. THESE DETAILS ARE ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER NJIRC

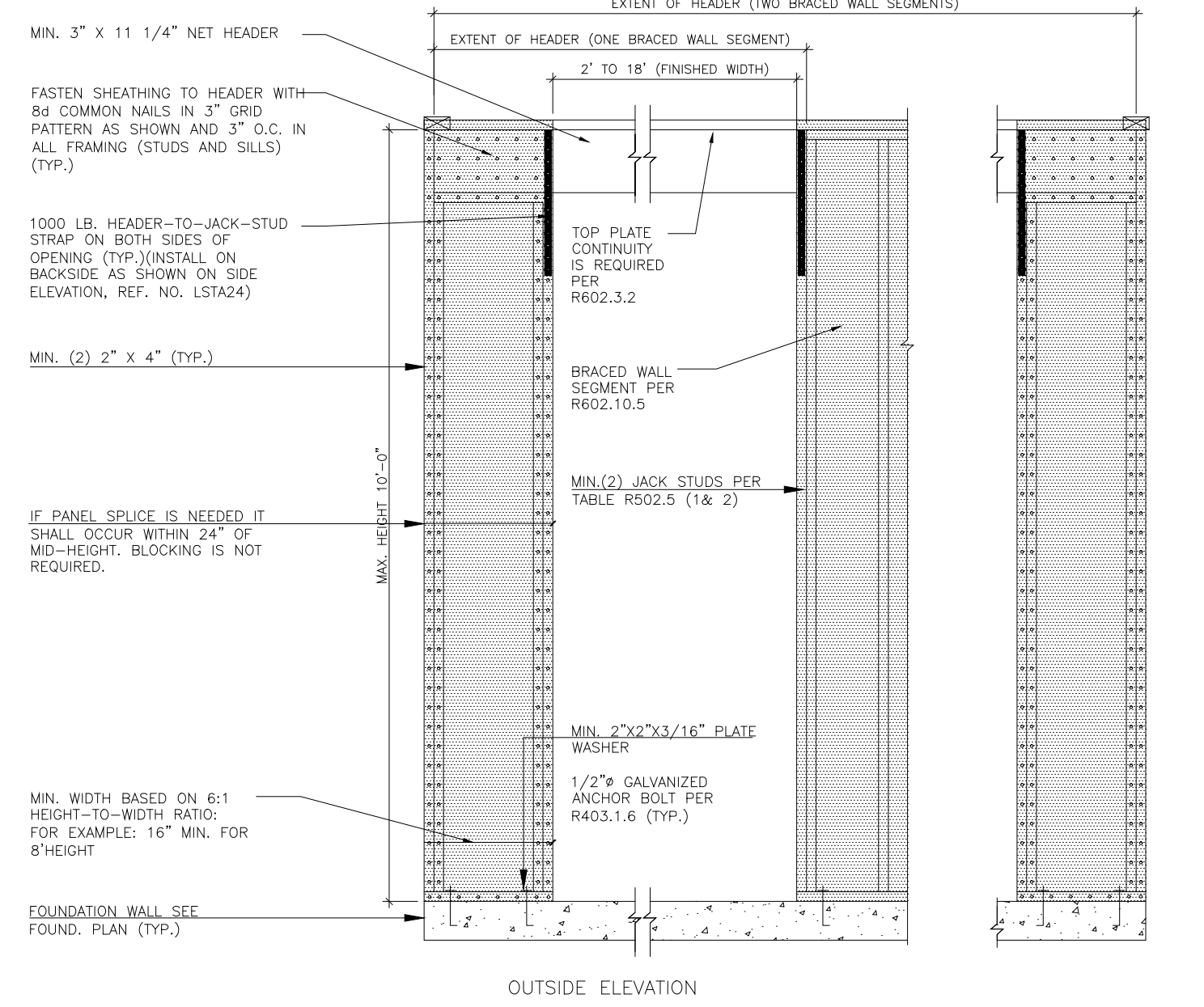
**INSIDE/OUTSIDE CORNER DETAILS PER IRC**

PLAN VIEW  
 SCALE 3/4"=1'-0"



**HEADER OVER NARROW END WALL**

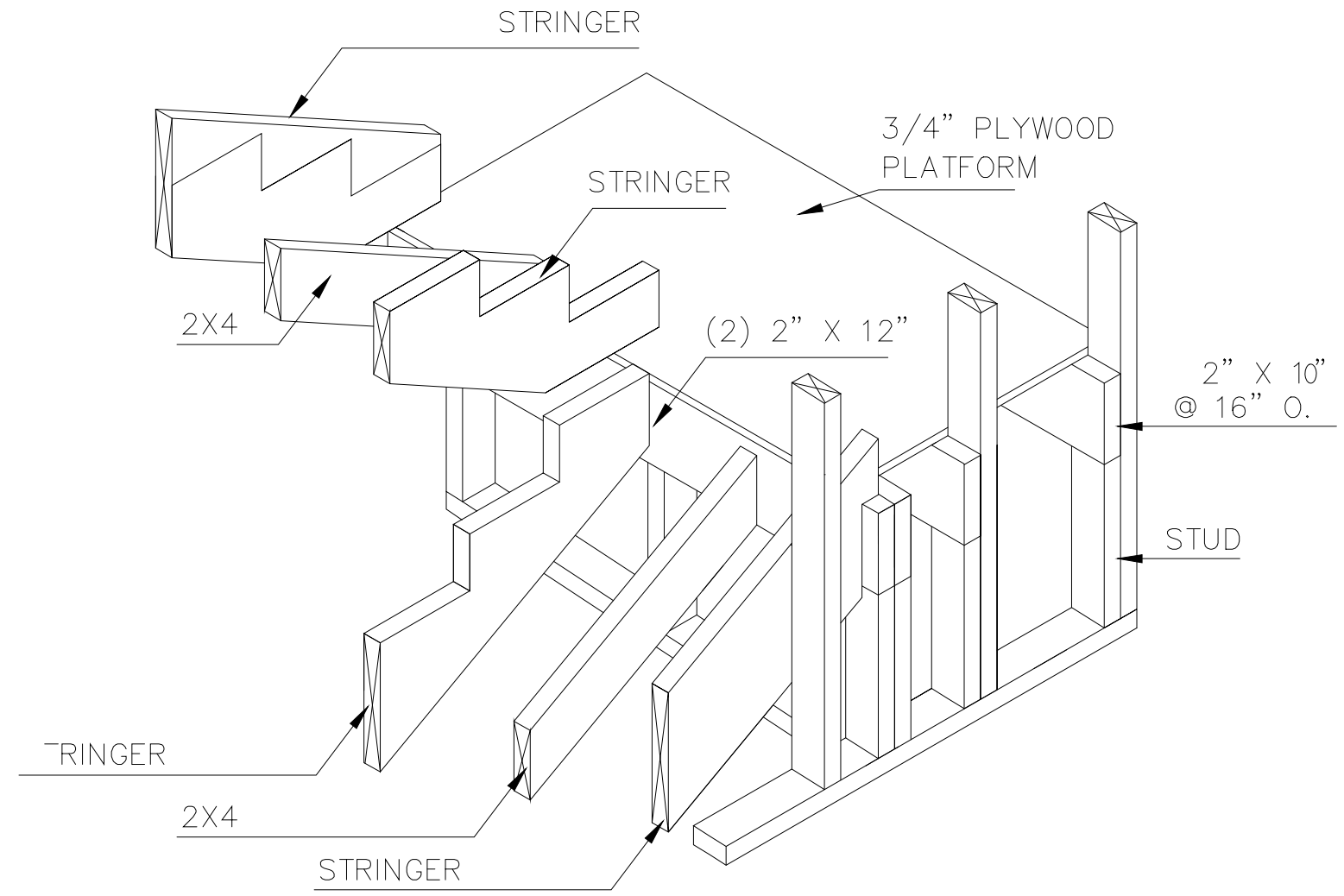
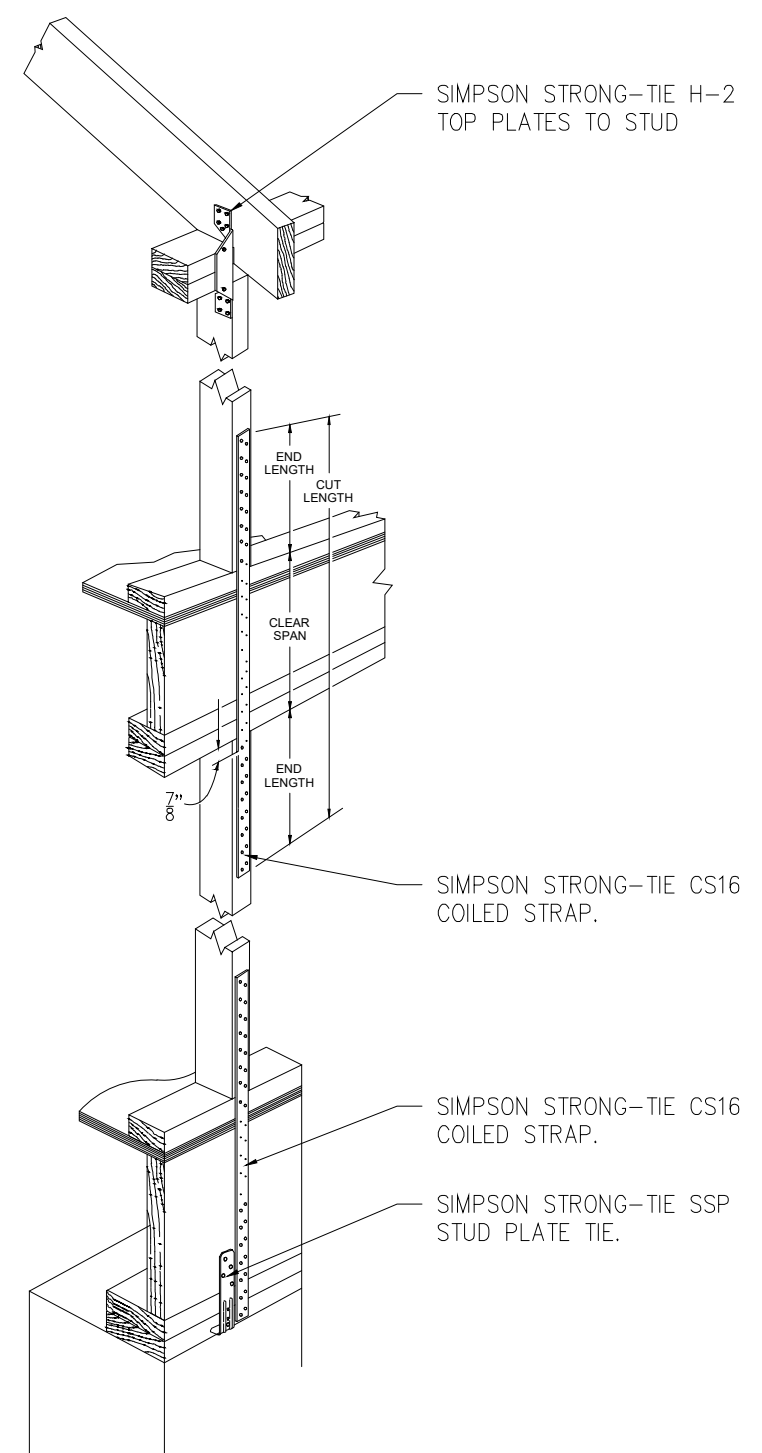
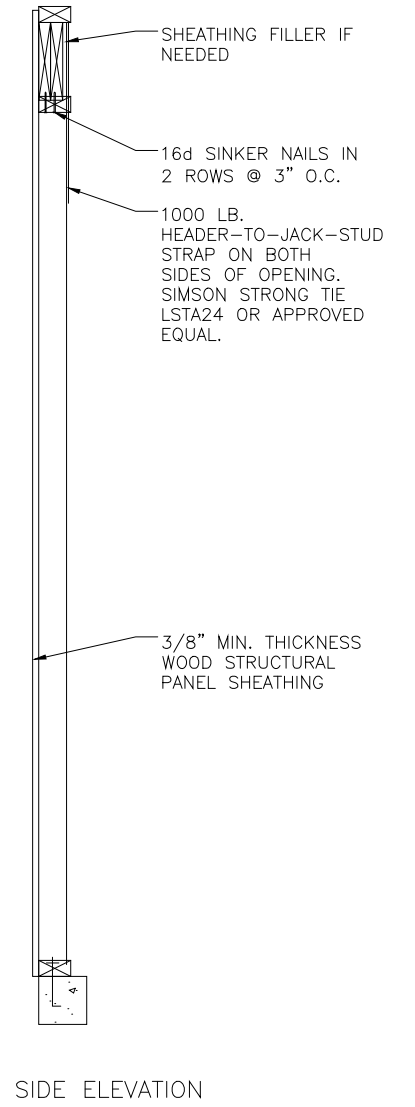
APA NARROW WALL BRACING METHOD  
 SCALE 3/4"=1'-0"



**IMPORTANT CODE REQUIREMENT:**  
 THESE DETAILS ARE ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

**APA NARROW WALL BRACING METHOD w/OUT HOLD-DOWNS - OVER CONC. OR CMU FOU**

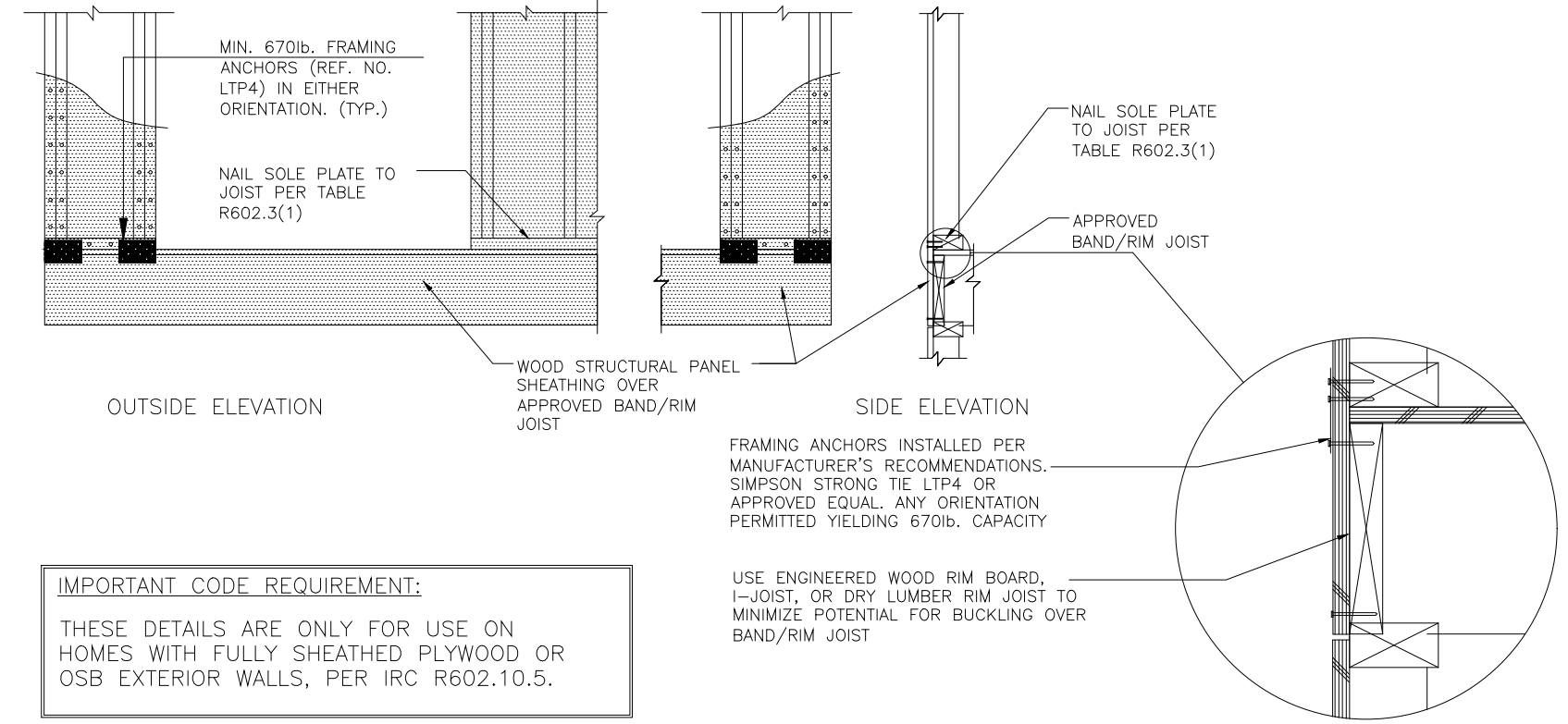
TYPICAL ELEVATIONS  
 SCALE 1/2"=1'-0"



STAIR DETAIL  
 SCALE NTS

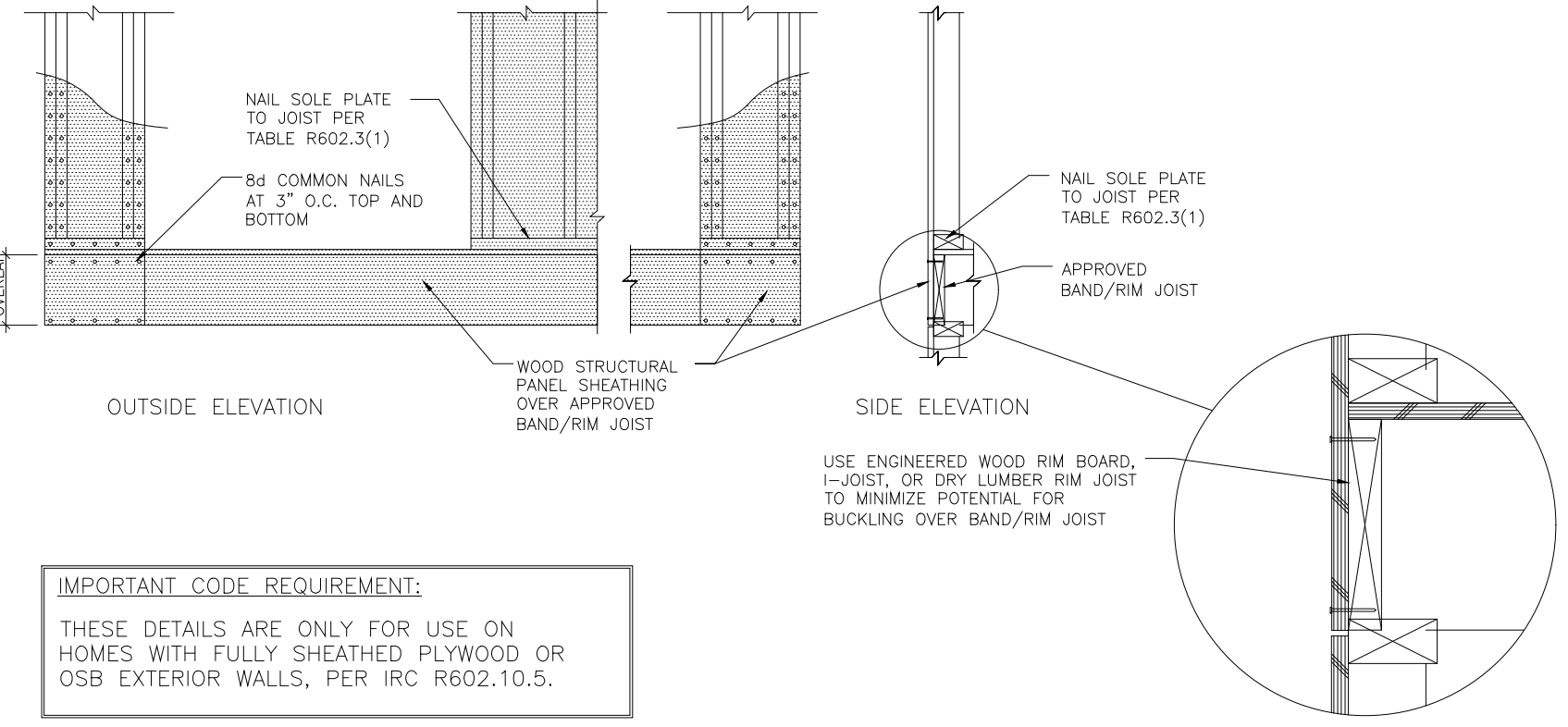
**WALL BRACING NOTES**

- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH IRC 602.10.5. PROVIDE CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING INCLUDING AREAS ABOVE AND BELOW OPENINGS - MIN. 1/2" CDX PLYWOOD OR OSB RATED SHEATHING U.O.N. ON PLANS AND DETAILS.
  - OVERLAP SHEATHING AT BUILDING CORNERS. REFER TO DETAIL 605A FOR CORNER FRAMING AND NAILING SPECS.
  - BRACING WALL PANELS ARE TO BE PROVIDED AT EACH END OF BRACED WALL LINE, AT BUILDING CORNERS AND @25' O.C. IN A BRACED WALL LINE. PANEL WIDTH MAY BE AS NARROW AS 32" WIDE NEXT TO ENTRY DOOR AND 24" WIDE NEXT TO A WINDOW WITHOUT ANY HEADER EXTENSIONS OR SPECIAL NAILING SCHEDULES. MINIMUM PANEL WIDTH AT CORNERS ARE AS NOTED IN THE TABLE BELOW BASED ON SEISMIC DESIGN CATEGORY 'C' AND WALL HEIGHT MEASURED FROM SILL TO TOP PLATE.
- | LENGTH OF SOLID PANEL AT CORNER | 8" WALL | 9" WALL | 10" WALL | MAX. OPENING (% OF WALL HEIGHT) |
|---------------------------------|---------|---------|----------|---------------------------------|
| 48"                             | 54"     | 60"     | 66"      | 100%(GAR. DOOR)                 |
| 32"                             | 36"     | 40"     | 44"      | 85% (DOOR)                      |
| 24"                             | 27"     | 30"     | 33"      | 65%(WINDOW)                     |
- \*THE DIMENSIONS FOR A 65% HEIGHT OPENING MAY BE USED FOR 100% HEIGHT WHEN THE STRUCTURE IS ONLY ONE STORY, I.E., ONE STORY GARAGES.
- PERMITTED OFFSETS IN A BRACED WALL LINE - 4' MAX. WITH TOTAL OUT-TO-OUT OFFSET DIMENSION OF 8' MAX.
  - IN SDC A-C BRACED WALL PANELS CAN OCCUR UP TO 12'6" FROM THE END OF WALL.
  - USE THE APA NARROW WALL BRACING METHOD AT ALL LOCATIONS SHOWN ON PLAN AND WHEN CORNER CONDITIONS VARY FROM THE ABOVE VALUES. REFER TO DETAILS 605B THRU 605H.
  - THE MIN. WIDTH OF BRACED WALL PANEL FOR THE APA METHOD IS BASED ON WALL HEIGHT MEASURED FROM THE TOP OF THE HEADER TO THE BOTTOM OF SILL PLATE-10' MAX. CRIPPLE WALLS MAY BE BUILT ON TOP OF THE HEADER BUT DO NOT AFFECT THE HEIGHT USED TO DETERMINE THE MIN. BRACED PANEL WIDTH. APA NARROW WALL METHOD PERMITS 16" WIDE BRACING PANELS NEXT TO MOST ENTRY DOOR AND WINDOWS. DIMENSIONS ARE BASED ON MAINTAINING A 6:1 RATIO OF WALL HEIGHT TO CORNER PANEL WIDTH REGARDLESS OF THE HEIGHT OF THE ADJACENT WINDOW OR DOOR OPENING.
- | LENGTH OF SOLID PANEL AT CORNER | 8" WALL | 9" WALL | 10" WALL |
|---------------------------------|---------|---------|----------|
| 16"                             | 18"     | 20"     | 22"      |



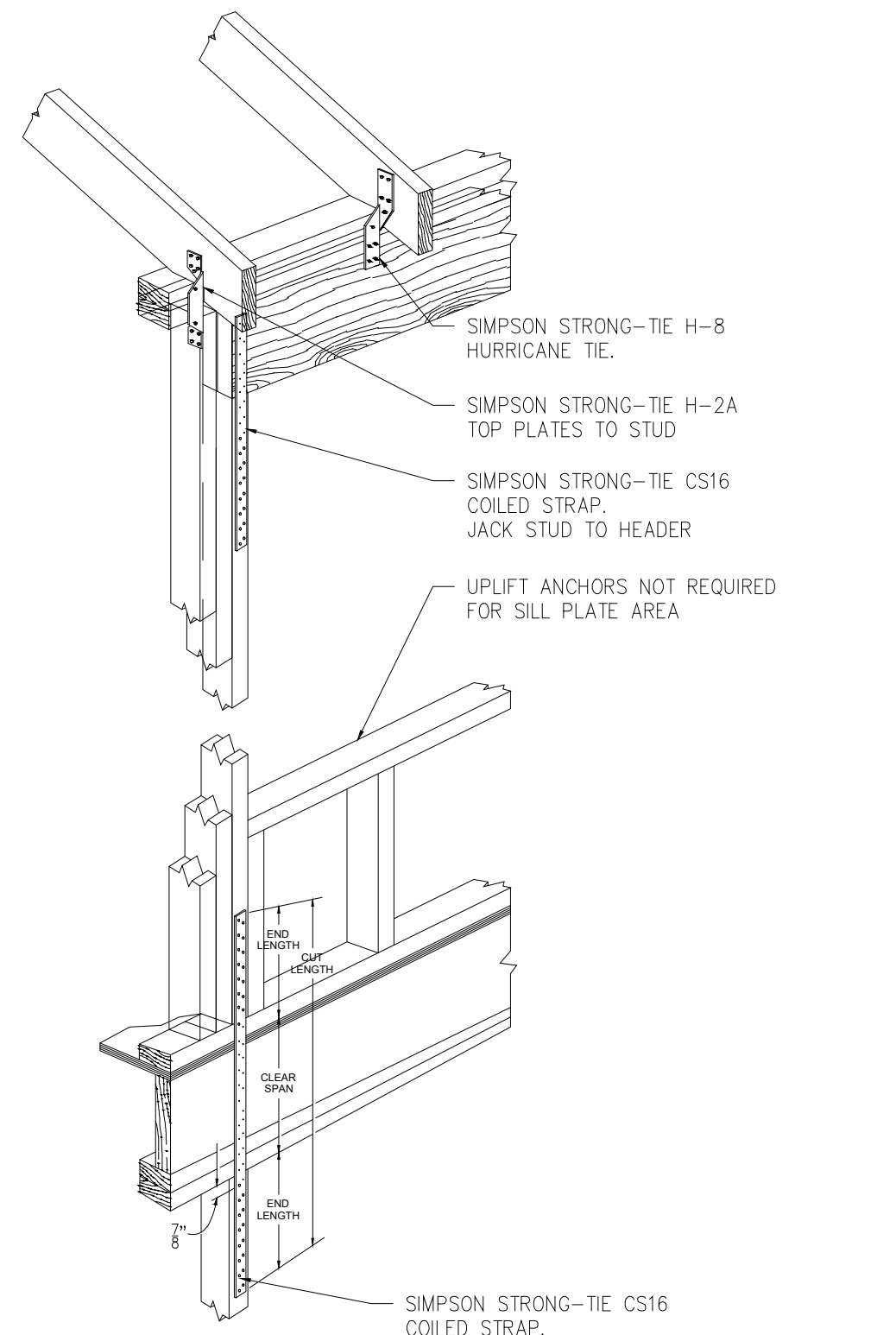
**APA NARROW WALL BRACING METHOD w/OUT HOLD-DOWNS - FRAMING ANCHOR OPTION**

TYPICAL ELEVATIONS OF NARROW WALL OVER RAISED WOOD FLOOR OR SECOND FLOOR  
 SCALE 1/2"=1'-0"



**APA NARROW WALL BRACING METHOD w/OUT HOLD-DOWNS - STRUCTURAL PANEL OVERLAP**

TYPICAL ELEVATIONS OF NARROW WALL OVER RAISED WOOD FLOOR OR SECOND FLOOR  
 SCALE 1/2"=1'-0"





# WRIGHT RESIDENCE

63 HAMILTON AVENUE  
TAPPAN , NY 10983

## GENERAL NOTES

### TO CONTRACTORS

ALL WORKS SHALL BE PERFORMED IN STRICT CONFORMANCE TO ALL CODES AND ORDINANCES - FEDERAL, STATE AND LOCAL AS WELL AS ALL AGENCIES AND DEPARTMENTS HAVING JURISDICTION OVER THIS PROJECT.

THE CONTRACTOR SHALL VISIT THE SITE AND OBSERVE ALL CONDITIONS PRIOR TO BIDDING AS WELL AS VERIFYING ALL DIMENSIONS. ANY DISCREPANCY SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER PRIOR TO SUBMITTAL OF PROPOSAL.

ANY "ERROR OR OMISSION" DISCOVERED DURING CONSTRUCTION, WHICH MIGHT LOGICALLY HAVE BEEN DISCOVERED PRIOR TO CONSTRUCTION WHICH CAUSE ADDITIONAL COST MAY BE DEEMED THE CONTRACTOR'S RESPONSIBILITY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS AND NOTIFY THE APPROPRIATE BUILDING DEPARTMENTS AND AGENCIES IN ORDER TO OBTAIN ALL INSPECTIONS AND SECURE APPROVALS.

THE CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND APPLIANCES THAT ARE REQ'D TO COMPLETE DEMOLITION, CONSTRUCTION AND ALL WORK INDICATED AND/OR SPECIFIED ON DRAWINGS.

EACH TRAP SHALL PROVIDE ALL CUT-SHEETS, SAMPLES, MANUALS, SPECIFICATIONS, WARRANTY AND GUANTEES OF ALL MATERIALS AND EQUIPMENT, HAVING SAME TO BE TURNED OVER TO THE OWNER ALL THE CLOSE-OUT OF PROJECT.

THE ARCHITECT DOES NOT HAVE CONSTRUCTION ADMINISTRATION RESPONSIBILITY FOR THIS PROJECT.

ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS.

THE ARCHITECT WILL BE, IN THE FIRST INSTANCE, THE INTERPRETER OF THE REQUIREMENTS OF THE DRAWINGS AND DOCUMENTS.

ALL DIMENSIONS ARE MEASURED TO THE ROUGH FINISH UNLESS OTHERWISE NOTED. DRAWINGS ARE NOT TO BE SCALED. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.

ACCURATE FIELD MEASUREMENTS ARE TO BE TAKEN PRIOR TO FABRICATION OF CUSTOM ITEMS.

ALL CONTRACTORS SHALL CARRY INSURANCE AS WILL PROTECT THE OWNER FROM CLAIMS FOR DAMAGES AND PERSONAL INJURIES, INCLUDING DEATH, WHICH MAY ARISE IN CONNECTION WITH THIS PROJECT.

IT WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO KEEP THE SPACE SECURE AND LOCKED DURING ALL PHASES OF CONSTRUCTION.

THE BUILDING AND SITE SHALL BE CLEANED AT ALL TIMES AFTER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIALS AND ALL TRASH AND DEBRIS CAUSED BY HIS WORK.

ALL FIXTURES & APPLIANCES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND APPLICABLE CODE.

ALL WALL AND FLOOR FINISHES, FIXTURES AND APPLIANCES SHALL BE SELECTED BY OWNER, PROVIDE ALLOWANCES.

GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND SHALL MAKE PROPER TIE-INS AND APPLY FOR PERMITS AS NECESSARY.

## DEMOLITION

THE CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVALS AS INDICATED BY DOTTED LINES AND NOTED ON DRAWINGS.

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION WORK THE CONTRACTOR SHALL DISCONNECT ELECTRICAL OR OTHER UTILITY LINES AS REQ'D TO ALL EFFECTED AREAS BY CONSTRUCTION AND SHALL CHECK ONE MORE TIME TO INSURE SAFETY.

ALL UTILITIES FOUND IN EXISTING WALLS TO BE DEMOLISHED EXTENDING TO ANOTHER FLOOR OR AREA SHALL BE REROUTED IN A MANNER SO AS NOT TO DIMINISH SERVICE.

CONTRACTOR SHALL PROVIDE DUMPSTER OF SIZES AND QUANTITY NECESSARY TO REMOVE ALL DEBRIS AS WELL AS CONSTRUCTION WASTE TO MAINTAIN A CLEAN PROJECT AND SITE.

## FOUNDATION

1. ALL FOOTING SHALL BEAR ON SOIL UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL WITH A MINIMUM BEARING VALUE OF 3,000 PSF. CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO THE BEGINNING OF THE WORK.

2. THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTING SHALL BE A MINIMUM OF 30" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.

3. PROVIDE 24" X 12" CONCRETE FOOTINGS UNDER 10" BLOCK WALLS UNLESS OTHERWISE NOTED.

4. ALL CRAWL SPACES SHALL HAVE 10" CMU WALLS.

5. ALL FOUNDATION WALLS SHALL HAVE DUR-0-WAL HORIZONTAL REINFORCING EVERY OTHER COURSE.

6. ALL MORTAR JOINTS AT ALL FOUNDATION WALLS SHALL BE TYPE AMØ.

7. TOP TWO COURSES OF ALL FOUNDATION WALLS SHALL BE FILLED SOLD WITH CONCRETE.

# NEW DWELLING OVER EXISTING PARTIAL BASEMENT

## LIST OF DRAWINGS

- L-1 GENERAL NOTES & PLOT PLAN
- A-1 EXISTING BASEMENT, ELECTRICAL & PLUMBING RISER DIAGRAM
- A-2 FOUNDATION & 1ST FLOOR CONSTRUCTION PLANS
- A-3 2ND FLOOR CONSTRUCTION & ROOF PLANS
- A-4 ELEVATIONS
- A-5 ELECTRICAL PLANS
- A-6 PARTIAL PLAN, SECTION, DETAILS
- A-7 TYPICAL DETAILS

CONTRACTOR (CARPENTER) TO PROVIDE AND INSTALL ROOFING FELT W/ MIN. 25 YEARS MANUFACTURER WARRANTY AND #240 ASPHALT ROOF SHINGLES W/ ALL CRICKETS, COLLARS AND FLASHING REQ'D FOR PENETRATIONS, AND BUTTING TO VERTICAL GYPSUM BOARD SHALL BE FASTENED WITH APPROVED NAILS OR SCREWS SPACED PER CODE STANDARDS.

ATTIC AND CRAWL SPACE SHALL BE VENTED WITH APPROVED VENTING; NET AREA OF .0033 X FLOOR AREA. PROV'D RIDGE VENT WHERE CATHEDRAL CEILING IS PROVIDED.

## STAIRS

INTERIOR AND EXTERIOR STAIRS SHALL HAVE ALL RISERS SOLID AND UNIFORM IN HEIGHT AND NOT EXCEED 8-1/4" ALL TREADS MUST HAVE A ONE INCH NOSING, SHALL BE UNIFORMED IN DEPTH AND SHALL NOT BE LESS THAN 9" IN DEPTH AND PROVIDE A LANDING OF AT LEAST 3'-0" X 3'-0".

RAILINGS AROUND STAIRWELLS & BALCONIES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN A CONCENTRATED LOAD OF 200 LB. APPLIED AT ANY POINT & IN ANY DIRECTION.

HANDRAIL SHALL BE CONTINUOUS, WITHOUT INTERRUPTION; HAVE A CLEAR SPACE BETWEEN THE HANDRAIL AND THE ADJACENT WALL OF 1-1/2"; BE 30" TO 38" IN HEIGHT FROM STAIR TREAD OR FLOOR AND SHALL HAVE A CIRCULAR CROSS SECTION OF AT LEAST 1-1/4" BUT NOT GREATER THAN 2".

GUARDRAIL SHALL BE 36" IN HEIGHT WITH BALUSTERS SPACED LESS THAN 4" APART. BALUSTERS MUST BE SET IN A VERTICAL POSITION.

## WALL BRACING

WALL BRACING SHALL BE PERFORMED. WOOD STRUCTURAL PANEL BRACING MAY OCCUR UP TO 8 FEET FROM THE END OF BRACING WALL PROVIDED A MIN. 24" WIDE BRACED WALL SEGMENT AT THE CORNERS. THE HEADERS OVER THE WINDOWS IN FAMILY ROOM AND OVER GARAGE DOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APA NARROW WALL BRACING METHOD FOR HEADER OVER NARROW END WALL.

## FINISHING

THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR INSTALLATION OF ALL NEW TILE FLOORS, CERAMIC TILE, MARBLE, GRANITE, RUBBER TILE AND LINOLEUM (ROLLED GOODS).

CONTRACTOR SHALL INSTALL ALL TILE WORK ON CLEAN, LEVELED AND PLUMB SURFACES.

CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AS THEY APPLY TO HIS WORK-IF SELECTED BY OWNER-(TOWEL BARS, SOAP DISH, ETC.) ALL MATERIAL-TILING AND GROUTS SHALL BE OF FINISH, COLOR, TEXTURE AND SIZE AS SELECTED AND APPROVED BY OWNER.

ALL TILE WORK SHALL CONFORM TO AND BE INSTALLED IN ACCORDANCE WITH THE TILE COUNCIL OF AMERICA

SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED METHODS AND MATERIALS.

CONTRACTOR SHALL SUBMIT SAMPLES TO OWNER FOR FINAL APPROVAL.

## PAINTING

THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAINTING AND STAINING OF INTERIOR AND EXTERIOR WOOD AND

SHEET ROCK SURFACES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL WOOD FILLING & SANDING SMOOTH, ALL SEALERS AND PRIME COATS & ALL FINAL COATS.

CONTRACTOR SHALL BE RESPONSIBLE AS WELL FOR ALL STAINING OF INTERIOR WOOD TRIM, PANELS AND DOORS AS BY OWNER'S REQUIREMENTS.

ALL SURFACES TO BE STAINED SHALL BE FINE SANDED AND CLEANED TO REMOVE ALL OILS & DUST PRIOR TO STAINING.

ALL SHEET ROCK WALLS TO RECEIVE 2 COATS OF EDGE SHALL PAINT OVER PRIMER PAINT.

ALL SHEET ROCK CEILINGS TO RECEIVE 2 COATS OF FLAT PAINT OVER PRIMER PAINT.

INTERIOR AND EXTERIOR PAINTS SHALL BE "SHERWIN-WILLIAMS" OR "DUTCH BOY," "BENJAMIN MOORE" OR EQ. COLOR AS SELECTED BY OWNER.

NEW OR EXISTING WOOD PLANK FLOORS (T&G OAK FLOORING) SHALL BE SANDED, STAINED AND SEALED (3 COATS).

CONTRACTOR SHALL PROVIDE SAMPLES OF ALL PAINTS AND STAINS, COLORS AS WELL AS FINISHES BEING RECOMMENDED PRIOR TO PERFORMING WORK.

## ELECTRICAL

ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH CODE.

CONTRACTOR SHALL COORDINATE ALL SERVICE TIE-IN WITH LOCAL SERVICE COMPANIES-(AS NECESSARY) -CABLE, TELEPHONE, ALARM AND ELECTRICAL.

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND FIXTURES REQ'D INCLUDING ALL HOOK-UP OF MECHANICAL WORK AND APPLIANCES INCLUDING PLUMBING FIXTURES REQUIRING ELECTRICAL CONNECTION.

CONTRACTOR SHALL PROVIDE A FIRE ALARM SYSTEM CONSISTING OF SMOKE DETECTORS APPROVED BY FIRE CODE OFFICIAL. S.D. TO BE INTERCONNECTED HARDWIRED BACK TO PANEL AS PER CODE. 10"-0" MAX. FROM EACH BEDROOM ON EACH LEVEL AND IN EACH BEDROOM PROVIDE CM. DETECTOR EACH LEVEL. PROVIDE HEAT DETECTOR IN BOILER ROOM.

ALL NEW RECEPTACLES SHALL BE DUPLEX. RECEPTACLES IN AREA OF MOISTURE TO BE G.F.I. TYPE, AND EXTERIOR RECEPTACLES TO BE WATERPROOF TYPE WITH ENCLOSURES.

UNLESS OTHERWISE NOTED-CENTER OF ALL ELECTRICAL WALL OUTLETS SHALL BE AS FOLLOWS:  
SWITCHES - 4'-0" A.F.F.  
THERMOSTATS - 5'-0" A.F.F.  
RECEPTACLES - 1'-0" A.F.F. AND COUNTER TOPS.

LIGHT FIXTURES OVER TUBES & SHOWERS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION. LIGHT FIXTURES IN CLOSET SHOULD HAVE COVER & APPROVED FOR THE INDICATED USE.

CONTRACTOR TO VERIFY THE CAPACITY OF THE EXISTING ELECTRICAL SERVICE. NOTIFY THE OWNER OF FINDINGS 200 AMP SERVICE IS SUGGESTED UNLESS OTHERWISE IS INDICATED.

PROVIDE LIGHT AND OUTLET FOR ATTIC.

BOILER OR FURNACE LOCATED IN ENCLOSED AREA PROVIDE LOUVER FOR FRESH AIR MIN. 1 SQ. INCH PER EA. 1,000 BTU. MIN. LOUVER 12"x12".

PROVIDE 50 GAL GAS FIRED HOT WATER HEATER.

SEE BASEMENT FLOOR PLAN FOR UNIT LOCATION.

HEATING AND COOLING CRITERIA FOR UNITS SELECTION SHALL BE:

HEATING: CAPABLE OF MAINTAINING 70 F(21 C) WHEN OUTSIDE TEMPERATURE IS -5 F(-20 C).  
COOLING: CAPABLE OF MAINTAINING 78 F(25.5 C) WHEN OUTSIDE TEMPERATURE IS 94 F(34.4 C).

## HVAC

ALL HEATING AND AIR CONDITIONING (WHERE APPLICABLE) SYSTEM SHALL BE DESIGNED BY THE INSTALLING CONTRACTOR IN CONFORMANCE WITH THE 2021 INTERNATIONAL MECHANICAL CODE.

ALL APPLIANCES SHALL CONFORM TO ENERGY CODE.

2 NEW 3 TON GAS FIRE UNIT HVAC, HEAT AND COOL, VERIFY WITH OWNER.

## EMERGENCY ESCAPE

EMERGENCY ESCAPE: EVERY SLEEPING ROOM BELOW THE FOURTH STORY IN OCCUPANCIES IN USE GROUP R-5 SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR

DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS SHALL BE OPERABLE FROM THE WITHOUT THE USE OF SPECIAL KNOWLEDGE, SEPARATE TOOLS, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE WINDOW.

WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESSOR RESCUE, THE WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET

CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NRT CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

BAR, GRILLES OR SCREENS PLACED OVER EMERGENCY ESCAPE WINDOWS SHALL BE

RELEASEABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE WINDOW.

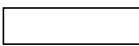

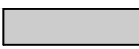

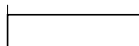
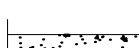
EXCEPTIONS:

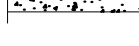
- (1) MINIMUM NET CLEAR OPENING FOR GRADE FLOOR WINDOWS SHALL BE 5 SQUARE FEET.
- (2) AN OUTSIDE WINDOW OR AN EXTERIOR DOOR FOR EMERGENCY ESCAPE IS NOT REQUIRED IN BUILDING WHERE THE SLEEPING ROOM IS PROVIDED WITH A DOOR TO A CORRIDOR HAVING ACCESS TO TWO REMOTE EXITS IN OPPOSITE DIRECTIONS.
- (3) AN OUTSIDE WINDOW OR AN EXTERIOR DOOR FOR EMERGENCY ESCAPE IS NOT REQUIRED IN BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION S06.2.1 OR S06.2.2.


### THESE DRAWINGS ARE IN COMPLIANCE WITH:

1. REHABILITATION SUB CODE, NYUCC Chapter 6
2. 2020 INTERNATIONAL RESIDENTIAL CODE, NY VERSION.
3. N.Y.A.C. 5:23-7 BARRIER FREE SUBCODE AND ANSI A117.1-2009
4. 2021 INTERNATIONAL MECHANICAL CODE.
5. 2021 INTERNATIONAL FUEL GAS CODE.
6. 2021 ENERGY CODE.
7. 2021 NATIONAL STANDARD PLUMBING CODE.
8. 2020 NATIONAL ELECTRIC CODE.
9. N.Y.A.C. 5:70 UNIFORM FIRE CODE

## LEGEND

-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  NEW WALL INTERIOR / EXTERIOR FOR SIZE AND DETAILS SEE DWG PARTIAL TYP. NEW WALL SECTION
-  EXISTING FOUNDATION WALL
-  NEW FOUNDATION WALL FOR SIZE AND DETAILS SEE DWG PARTIAL TYP. NEW WALL SECTION
-  LINES ABOVE / BELOW

 2" X 4" W/ 4"

 NEW DRYWALL INTERIOR PARTITION FROM FLOOR TO CEILING W/ 2X4 WOOD STUDS @ 16" O.C. & 1/2" GYP. BD. BOTH SIDES

 SECTION / ELEVATION

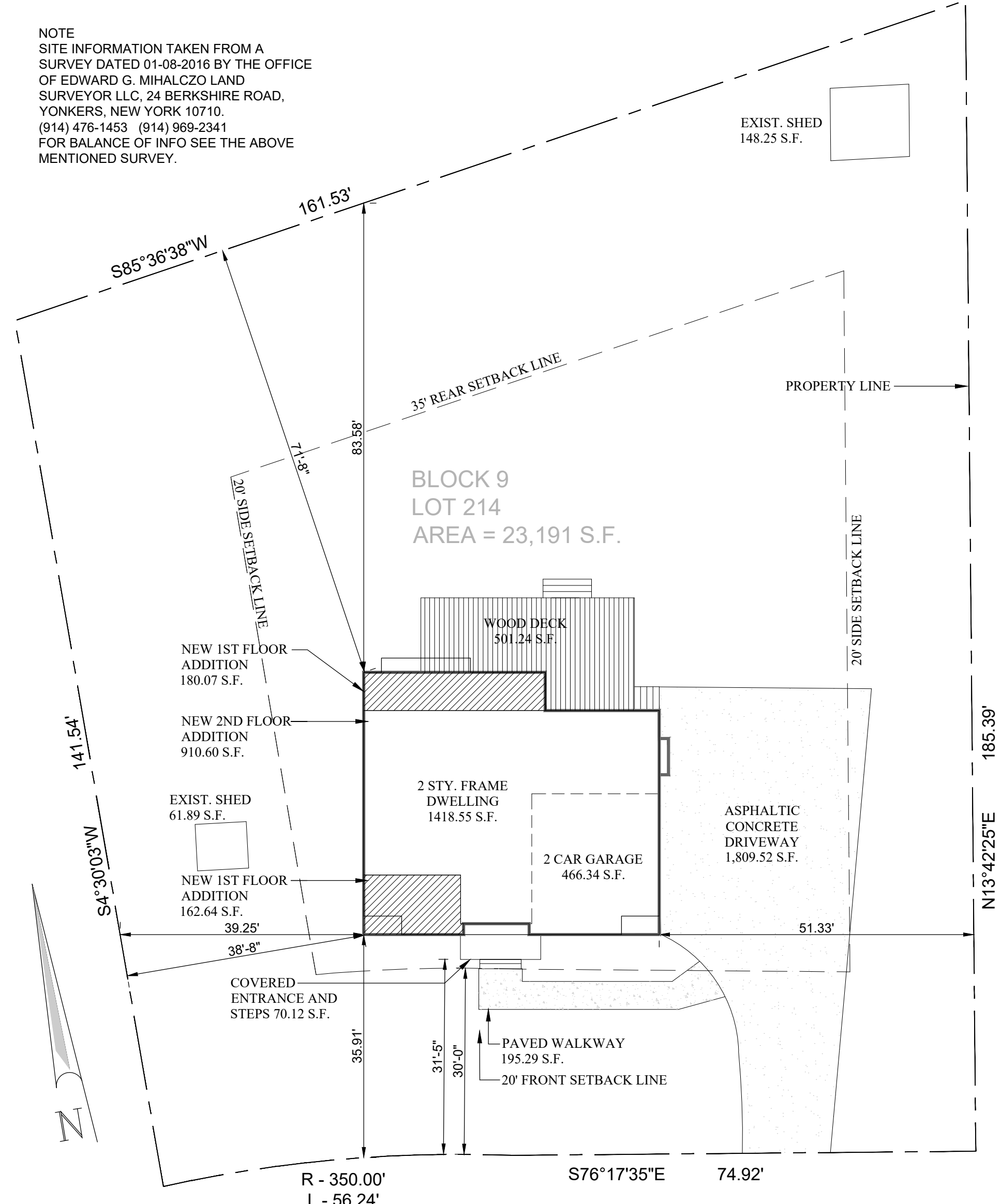
## BUILDING CHARACTERISTICS

- |                                     |            |
|-------------------------------------|------------|
| 1. NUMBER OF STORIES                | 2          |
| 2. HEIGHT OF STRUCTURE              | 28'-6"     |
| 3. AREA - LARGEST FLOOR (W/ GARAGE) | 1,995 S.F. |
| 4. NEW BUILDING AREA                | 1,733 S.F. |
| 5. VOLUME OF NEW STRUCTURE          | 13,864 CF  |
| 6. CONSTRUCTION CLASSIFICATION      | 5B         |
| 7. USE GROUP                        | R15        |
| 8. TOTAL LAND AREA DISTURBED        | 1054 S.F.  |

## BUILDING DATA

1. ROOF LOADS:  
DEAD LOAD- 10# PER SQ. FT.  
LIVE/SNOW LOAD- 30# PER SQ. FT.  
TOTAL LOAD- 40# PER SQ. FT.
2. WIND LOAD: 100 ML. HR - 3 SEC. GUST
3. MAX. LIVE LOAD - L.L. = 30 P.S.F. (SLEEPING AREA)  
D.L. = 10 P.S.F.

NOTE  
SITE INFORMATION TAKEN FROM A SURVEY DATED 01-08-2016 BY THE OFFICE OF EDWARD G. MIHALCZO LAND SURVEYOR LLC, 24 BERKSHIRE ROAD, YONKERS, NEW YORK 10710. (914) 476-1453, (914) 989-2941 FOR BALANCE OF INFO SEE THE ABOVE MENTIONED SURVEY.



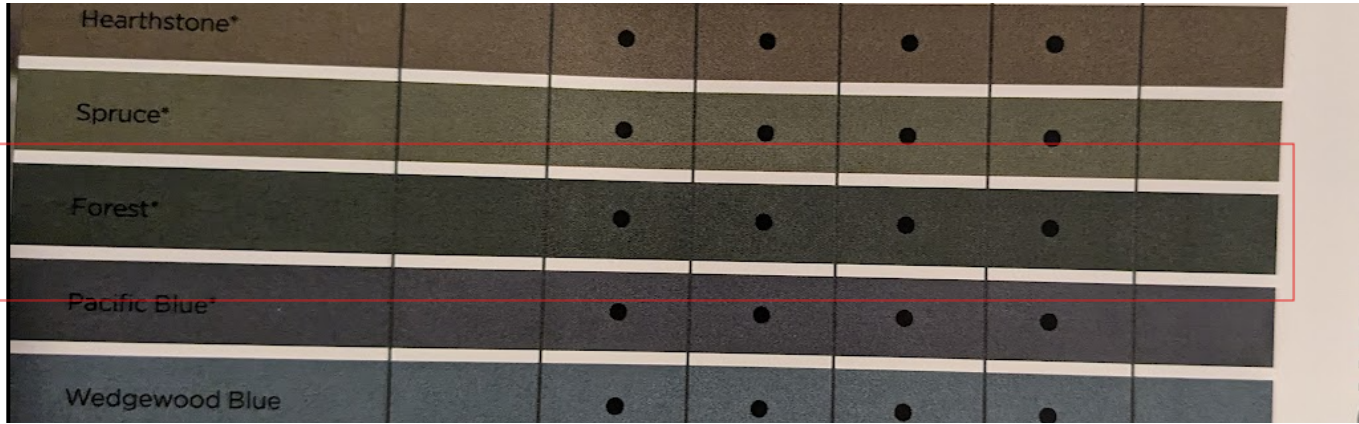
HAMILTON AVENUE  
SITE PLAN  
SCALE 1/16"=1'-0"

ZONING DATA				
PROJECT DESCRIPTION: NEW CONSTRUCTION 63 HAMILTON AVENUE TAPPAN, NY 10983			ZONE: R-15 RESIDENTIAL SINGLE FAMILY BLOCK: 9 LOT: 214	
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTES
LOT REQUIREMENTS				
MIN. LOT AREA	15,000 SF	23,191 SF	23,191 SF	
MIN. LOT WIDTH	100 FT	129.11 FT	129.11 FT	
REQUIRED YARD				
MIN. FRONT YARD	30 FT	35.91 FT	35.91 FT	
MIN. REAR YARD	35 FT	83.58 FT	83.58 FT	
MIN. SIDE YARD	SIDE 1 20 FT	39.25 FT	39.25 FT	
TOTAL BOTH SIDES	50 FT	90.58 FT	90.58 FT	
MAX. COVERAGE				
MAX. F.A.R.	20 %	16 %	19.70 %	
	4638.20 SF	3728.64 S.F.	4570.56 S.F.	
MAX. HEIGHT				
MAX. STORIES	N/A	N/A	2	
MAX. HEIGHT	35'-0"	N/A	27'-8"	
F.A.R. CALCULATION				
	EXISTING		PROPOSED	
BASEMENT FLOOR	1081.96 SF	BASEMENT FLOOR	727.64 SF	
1ST FLOOR	1081.96 SF	1ST FLOOR	1420.51 SF	
GARAGE	464.59 SF	GARAGE	464.59 SF	
2ND FL.	983.26 SF	2ND FL.	1887.70 SF	
COV. ENTRANCE	116.87 SF	COV. ENTRANCE	70.12 SF	
TOTAL	3728.64 SF	TOTAL	4570.56 SF	
	3728.64 / 23191 = 16 %		4570.56 / 23191 = 19.70 %	

OWNER	ARCHITECT:	DRAWING TITLE:	ISSUED/REVISION DATE:	SEAL	DRAWING NO:
WRIGHT RESIDENCE	DANON GROUP TEL. (201) 681-7777 1216 WARREN WAY, WARREN, NJ 07455	GENERAL NOTES & PLOT PLAN	ISSUED: JULY-21-2024 BUILDING PERMITS REVIEW ISSUED: SEP-10-2024 REV-1 DIMENSIONS CLARIFICATION		L-1
		ADDITION ALTERATIONS			SCALE: AS NOTED



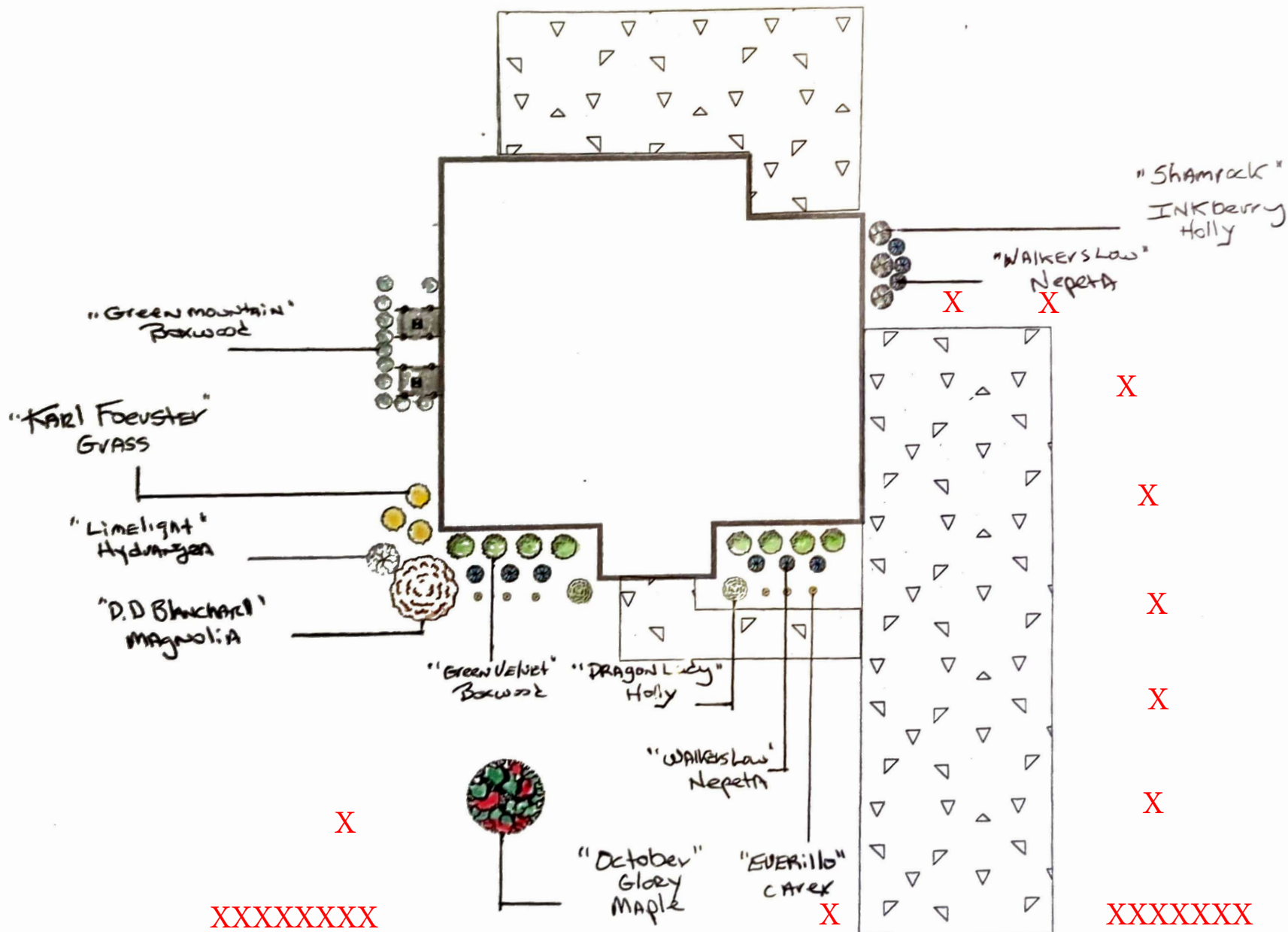
# Building Materials



WRIGHT RESIDENCE 83 HAMILTON AVE  
TAPPAN, NY

LANDSCAPE  
CONCEPT PLAN

X = Existing Shrubbery





West Nyack 10PM 10994

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Internet # 318490755 Model # NA7NNFHD1254P47

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LNC

## Modern Farmhouse Black Outdoor Hanging Lantern 1-Light Coastal Pendant with Seeded Glass Shade for Covered Patio Porch

★★★★★ (21) Questions & Answers (7)



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Fakespot Review Analysis

?

★★★★★

Analyze Reviews

**\$78<sup>99</sup>** Limit 50 per order

~~\$153.37~~

Save \$74.38 (48%)

Pay **\$53.99** after **\$25 OFF** your total qualifying purchase upon opening a new card. [Apply for a Home Depot Consumer Card](#)

- Frosted black outdoor lighting adds rustic industrial appeal
- Adjustable hanging height (13-72.5 in.)
- Ideal for the covered porch, patio, garden and front entryway
- [View More Details](#)

Fixture Color/Finish: **Black (Seeded Glass)**





Product Height (in.): **11.5 in**



Pickup at [West Nyack](#) Delivering to 10994

**Ship to Store**  
 Sep 18 - Sep 20  
 132 available  
**FREE**

**Delivery**  
 Friday, Sep 20  
 132 available  
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### Free & Easy Returns In Store or Online

Return this item within **90 days** of purchase.

[Read Return Policy](#)

#### Product Details

#### Specifications

Dimensions: H 11.5 in, W 6 in, D 6 in

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 Feedback



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**Product Size**

**Mini**

[See Similar Items](#)

**Number of Lights**

**1 Light**

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**Chandelier/Pendant Design**

**Farmhouse**

**Lantern**

**Shaded**

**Power Type**

**Hardwired**

[See Similar Items](#)

**Outdoor Lighting Features**

**Adjustable Height**

**Dimmable**

**Rust Resistant**

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**Voltage Type**

**Line Voltage**

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**Dimensions**

Maximum Hanging Length (in.)	59 in
Product Depth (in.)	6 in
Product Height (in.)	11.5 in
Product Width (in.)	6 in

**Details**

Chandelier/Pendant Design	Farmhouse, Lantern, Shaded
Compatible Bulb Type	Incandescent, LED
Dimmable Capability	Dimmable
Exterior Lighting Product Type	Pendant
Fixture Color/Finish	Black (Seeded Glass)

Fixture Material	Metal
Glass/Lens Type	Seedy
Included	Adjustable Height, Mounting Hardware Included
Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included
Max. Bulb Wattage (W)	60 W
Maximum Wattage (watts)	60
Mount Type	Hanging
Number of Bulbs Required	1
Number of Lights	1 Light
Outdoor Lighting Features	Adjustable Height, Dimmable, Rust Resistant, Weather Resistant
Power Type	Hardwired
Product Size	Mini
Product Weight (lb.)	4 lb
Recommended Light Bulb Shape Code	ST19
Returnable	90-Day
Voltage Type	Line Voltage

Live Chat  
Price drop detected!  
Feed

### Warranty / Certifications

Certifications and Listings	UL Listed
Manufacturer Warranty	2-year

[How can we improve our product information? Provide feedback.](#)

### Questions & Answers

7 Questions


### Customer Reviews

4.6 out of 5 ★★★★★ (21)

## Frequently Bought Together

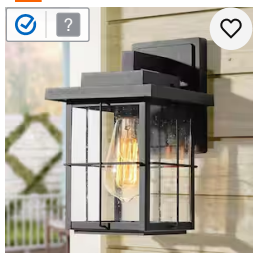
**CURRENT ITEM**

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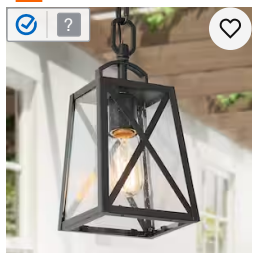
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Modern Farmhouse Black Outdoor Hanging Lanter...  
★★★★★ (21)  
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**\$78.99** Save \$74.38 (48%)  
Limit 50 per order

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**LNC**  
Farmhouse Outdoor Wall Light Modern Black...  
★★★★★ (7)  
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**\$77.99** Save \$75.28 (49%)

Select



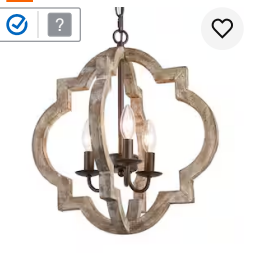
**LNC**  
Black Outdoor Hanging Light Mini 1-Light...  
★★★★★ (7)  
~~\$131.12~~  
**\$73.99** Save \$57.13 (44%)

Select



**Hampton Bay**  
Hurley Modern 2 -Light Matte Black Outdoor Flu...  
★★★★★ (35)  
**\$59.97**

Select



**LNC**  
3-Light Bronze Modern Farmhouse Kitchen Isla...  
★★★★★ (8)  
~~\$297.85~~  
**\$189.99** Save \$97.86 (34%)



Tools & Home Improvement > Lighting & Ceiling Fans > Outdoor Lighting > Porch & Patio Lights > Wall Lights



### Bestshared Dusk to

Outdoor  
Exterior  
Lights,  
Black Finish  
Porch,

(2 Pack)

161 ratings

1 Highlights found by Fakespot

Best Price on Amazon

-18% \$89.99 (\$45.00 / Count)

Typical price: \$109.99

Or \$15.00 Select from 2

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Color: Black

Size: 2 PACK

Brand Bestshared

Color Black

Material Copper

Style Farmhouse

Light Sconce

fixture form

#### About this item

- Automatic On/Off Sensor Control-- Product dimension (11.5" Lx 13" Wx 13.5"H) Enjoy hands-free operation with automatic on/off sensor with our farmhouse barn lights that activates at dusk and deactivates at dawn. Simply hard-wired for convenience.
- Adding Charming Look to Your House--Our outdoor wall sconce is in classic, clean design complements any exterior or interior decor. Perfect for use in both residential and commercial settings. It's ideal for installing in patio, porch, front door, garden, garage, yard, balcony, hallway, entryway, staircase, living room, bedroom, street, restaurant and so on.

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Delivery Pickup

Fakespot Reviews Analysis

Analyze reviews

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- Black Finish with Copper Interior--the Black Finish of this barn lighting fit any decor while the copper interior reflects light perfectly to form a extremely accent contrast
- Bulb Requirement--This porch wall sconce is hard wired. Requires 1x E26 base bulb(Max.100W). Bulb Not Included.
- 3 Year manufacture after sale and Etl listed--The outdoor wall mount light is in Etl listed for safety use. 3 year ensuring for no-worry purchasing. Strict material selection and advanced manufacturing technology make our outdoor house lights have better quality.

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