

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)
Date: October 16, 2024

TO: OBAPAE
NYS Dept of Environmental Conservation ✓/Rockland County Drainage
New York State Dept. of Transportation ✓/Rockland County Health
Palisades Interstate Park Commission ✓/Rockland County Planning
NYS Thruway Authority ✓/Rockland County Highway
ACOE ✓/Rockland County Sewer Dstrt #1
CSX ✓/Orange and Rockland Utilities
✓/Veolia

This matter is scheduled for: November 20, 2024

Review of Plans: Cardenas/Cabrera, 128 Sgt. Amory Avenue, Pearl River, NY

Section: 64.17 Block: 3 Lot: 35; CO zone

Chapter 43, CO District, Section 3.12, Group NN, Column 9 (side yard: 35' required, with 14.6' and 15' proposed), Column 10 (total side yard: 90' required, with 29.6' proposed), from Section 9.2 (expansion of non-conforming bulk), and from section 9.34 (expansion of non-conforming use) to legalize existing decks at the rear of a single family dwelling, as well as install new replacement windows, a portico, and a driveway. The premises are located at 128 Sgt. Amory Avenue, Pearl River, New York and identified on the Orangetown Tax Map as Section 64.17, Block 3, Lot 35 in the CO zoning district.

Please review the information enclosed and provide comments.
These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: November 20, 2024

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

**This project is before the Zoning Board on Wednesday, November 20, 2024.
Kindly forward your completed review to this office by November 20, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____
Thank you, **Katlyn Bettmann (EXT. 4316)**

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 5131-24
 ASSIGNED Ken
 INSPECTOR: Richard Oliver

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Jaime Cardenas Cabrera

Street Address: 128 Sgt Amory Ave
Pearl River NY 10965

Tax Map Designation:
Section: 64.17 Block: 3 Lot(s): 35
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the _____ side of Amory Ave, approximately 200 feet _____ of the intersection of N Middletown RD, in the Town of Orangetown in the hamlet/village of Pearl River.
Acreage of Parcel .24 Zoning District CO
School District Nanuet CSD Postal District Pearl River
Ambulance District Pearl River Fire District Pearl River
Water District Veolia Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)
Make existing deck structures code compliant, footages, framing etc. per construction docs. Install new replacement windows, Portico & Driveway

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 10-11-24 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 9.24.24 Section: 64.17 Block: 3 Lot: 35

Applicant: Cabrera

Address: 128 Sgt Armory Ave, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12 CO District, Group NN, Column 9 Side Yrd 35' with 14.6' and 15' proposed.
Column 10 Total Side Yrd 90' with 29.6' proposed
Chapter 43, Section 9.2 Expansions of Non-Conforming Bulk requires variance
Chapter 43, Section 9.34 Expansions of Non-Conforming Use requires variance

4 Variances Required

Comments:

Expansion of Non-Conforming Bulk and Use

Rear Decks

Side Yard Total Side Yard

Dear Cabrera:

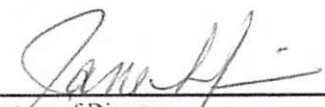
Please be advised that the Building Permit Application # 5131-24, which you submitted on 4.29.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

9/24/24




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

9/26/24

Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
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392489	64.17-3-32	Mary Shields	110 Sgt Amory Ave,Pearl River, NY 10965
392489	64.17-3-33	Randi N Wisner	114 Sgt Amory Ave,Pearl River, NY 10965
392489	64.17-3-34	Mary O'Shea	120 Sgt Amory Ave,Pearl River, NY 10965
392489	64.17-3-35	Jamie B Cabrera-Cardenas	128 Sgt Amory Ave,Pearl River, NY 10965
392489	64.17-3-36	Mario Marcellino	18 Saymor Dr,Bardonia, NY 10954
392489	64.17-3-37	Hashems Estates LLC	7 Phillips Dr,Airmont, NY 10901



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PERMIT#: 5131-24
 ASSIGNED Ken
 INSPECTOR: Richard Oliver

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Project Name: Jaime Cardenas Cabrera

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Make existing deck structures code compliant, footages, framing etc. per construction docs. Install new replacement windows, Portico & Driveway

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 10-11-24 Applicant's Signature: [Signature]



APPLICATION REVIEW FORM

Applicant: Jaime Cardenas Cabrera Phone # (631) 566-7890

Address: 128 Sgt Amory Ave Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

~~Property Owner:~~ Engineer Paul Gdanski P.E. Phone # (917) 418-0999

Address: 3512 Whittier Court Mahwah NJ 07430
Street Name & Number (Post Office) City State Zip Code

~~Engineer/Architect/Surveyor:~~ Engineer/Architect/Surveyor Jorge L. Lopez Phone # (845) 638-4038

Address: 226 N. Main ST New City NY 10956
Street Name & Number (Post Office) City State Zip Code

~~Attorney:~~ Surveyor Anthony R. Celentano P.E. Phone # (845) 429-5290

Address: 31 Rosman Road Thiells NY 10984
Street Name & Number (Post Office) City State Zip Code

Contact Person: same as applicant Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:
County Hwy

Referral Agencies:

- | | |
|---|--|
| <input checked="" type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input checked="" type="checkbox"/> RC Drainage Agency | <input checked="" type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality | |
| <input checked="" type="checkbox"/> Other <u>RC Planning, RC Sewer, O&R, Veolia</u> | |

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Jane Slavin, R.A.
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4 Variances Required

Comments:

Expansion of Non-Conforming Bulk and Use

Rear Decks

Side Yard Total Side Yard

Dear Cabrera:

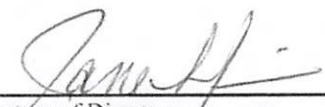
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Sincerely,


Richard Oliver
Deputy Building Inspector

9/24/24




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

9/26/24

Date
Liz DeCort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: CO (GML) OFFICIAL USE ONLY ACREAGE: .24
 Inspector: Am Date App Received: 4/24/24 Received By: U2
 Permit No. BLDR-5131-24 Date Issued: _____
 CO No. _____ Date Issued: _____
 Permit Fee: \$1030 Ck# 1195 Paid By Cabrera
 GIS Fee: \$20 Ck# _____ Paid By _____
 Stream Maintenance Fee Ck# _____ Paid By _____
 Additional Fee: 144 Ck# 1200 Date Paid 9-23-24 Paid By CABRERA
 1st 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By RECEIVED
 2nd 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____

SCANNED
APR 29 2024

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application. TOWN OF ORANGETOWN BUILDING DEPARTMENT
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must be signed by the applicant.

Property Location: 128 ANTONY AVENUE PEARL RIVER, NY
Section: 64.17 Block: 3 Lot: 35

Property Owner: JAIENE CANDENAS CABRERA
Mailing Address: 128 ANTONY AVENUE PEARL RIVER, NY
Email: JAIENE@ERIC-GL.COM Phone #: 631 566 7890

Lessee (Business Name): _____
Mailing Address: _____
Email: _____ Phone #: _____

Type of Business /Use: _____
Contact Person: PAUL HEGANTY Relation to Project: REP.
Email: PHEGANTY@ERIC-GL.COM Phone#: 914 714 1113

Architect/Engineer: JONAS L. LOPEZ ARCHITECTURE NYS Lic # 028753
Address: 226 N. HAINES ST NEW CITY NY Phone#: 845 638 4038

Builder/General Contractor: YUPA CONTRACTORS INC RC Lic # H-19416
Address: 12 HEDGE AVE SPRING VALLEY NY Phone#: 845 468 6063

Plumber: _____ RC Lic # _____
Address: _____ Phone#: _____
Electrician: _____ RC Lic #: _____
Address: _____ Phone#: _____

Heat/Cooling: _____ RC Lic#: _____
Address: _____ Phone#: _____
Existing use of structure or land: RESIDENTIAL

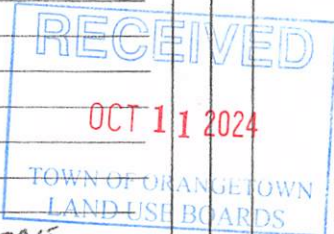
Proposed Project Description: REMOVE EXISTING DECK STRUCTURE(S) CODE COMPLIANT, FOOTINGS, FRAMING ETC. PER CONSTRUCTION DOCS. INSTALL NEW REPLACEMENT WINDOWS, PORTICO & DRIVEWAY
Proposed Square Footage: 444 SQ FT Estimated Construction Value (\$): 23,900
BUILDING DEPARTMENT COMPLETES BELOW 35,900

PLANS REVIEWED: _____
PERMIT REFERRED / DENIED FOR: _____

Chapter 43 Table 3.12, CO District, Group NN, Column 9 Side Yd 35' w/ 14.6' & 15.0' proposed. Column 10 Total Side Yd 90' w/ 29.6' proposed. Section 9.2 Suspension of Non-Conforming Bulk, Section 9.34 Suspension of Non-Conforming Use - Requires Variance. 4 Variances Required

9/24/24 9/26/24

FOR OFFICE USE ONLY SECTION 64.17 BLOCK 3 LOT 35 NAME CABRERA PERMIT# 5131-24



SWIS	PRINT KEY	NAME	ADDRESS
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392489	64.17-3-3	William M Hinchey	3956 Eagle Cir,Slatington, PA 18080
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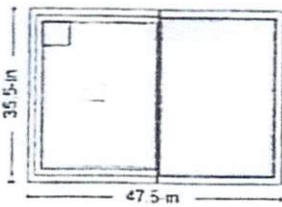
Lowe's Custom Order

RECEIVED
OCT 21 2024
 TOWN OF ORANGETOWN
 LAND USE BOARDS

Customer: Jaime B Cardenas Cabrera
Email:
Address: 128 AMORY AVE
 PEARL RIVER, NY 10965
Phone: (631) 566-7890

Store: (1192) LOWE'S OF ORANGETOWN, NY
Associate: JAMES (JIM) CROWLEY (4728945)
Address: 206 ROUTE 303
 ORANGETOWN, NY 10962-2208
Phone: (845) 613-6000

Total Items
13



Pella 250 Series | Sliding Window | Vent Right / Fixed | 47.5 X 35.5 | White
 Room Location: None Assigned

Product Warranty



Line #	Item Summary	Production Time	Quantity
100-1	Pella 250 Series Sliding Window Vent Right / Fixed 47.5 X 35.5 White		1

Begin Line 100 Description

— Line 100-1 —

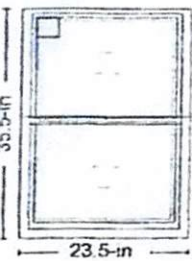
Unit: 48 || Frame: 47 1/2-in || RO: 48-
 Unit: 36 || Frame: 35 1/2-in || RO: 36-in
 ent Right / Fixed Double Slider. Frame Size: 47
 /2 X 35 1/2. Pella 250 Series Series. Northern
 Climate Zone 5

Standard
 Vinyl
 Nail Fin
 Foam Insulated
 3 1/4"
 1 1/8"
 2 1/8". White. White. Glass: Insulated Dual
 Low-E NaturalSun+ Low-E Insulating Glass
 Argon Non High Altitude. Cam-Action Lock
 1 Lock
 White
 No Limited Opening Hardware. Half Screen
 InView™. Combination U-Factor 0.24
 U-Factor 0.24
 Combination SHGC 0.5
 SHGC 0.50
 VLT 0.61
 CPD PEL-N-210-00255-00001
 Satisfied Energy Star Zones Northern
 Yes
 Performance Class R
 PG 35
 Calculated Positive DP Rating 35
 Calculated Negative DP Rating 35
 Year Rated 08-11
 STC 25
 OITC 22
 Clear Opening Width 18.792
 Clear Opening Height 31.25
 Clear Opening Area 4.078125
 Egress Does not meet typical United States
 egress
 but may comply with local code requirements.

Remake: No
 In-Store Pick-up
 EA
 False
 True
 877-473-5527
 943055
 WTS Pella 250 Window. 103848.
 Grille: No Grille
 Wrapping Information: No Vinyl Flat Casing
 Factory Applied
 Pella Recommended Clearance
 Perimeter Length = 166".
 Venting Width: Equal



End Line 100 Description



Lifestyle | Double Hung | 23.5 X 35.5 | Without
 HGP | White
 Room Location: None Assigned

Product Warranty



Item Summary	Production Time	Quantity
Lifestyle Double Hung 23.5 X 35.5 Without HGP White		1
Item Summary	Production Time	Quantity
Screen Full Screen White InView		1
Item Summary	Production Time	Quantity
Hardware Options White Sash Lift (0F370000)		1

Begin Line 200 Descriptions

— Line 200-1 —

A1: Unit: 23 1/2 || Frame: 23 1/2-in || RO: 24
 1/4-inUnit: 35 1/2 || Frame: 35 1/2-in || RO:
 36 1/4-in Double Hung
 Equal. Frame Size: 23 1/2 X 35 1/2. Lifestyle
 Series. No Program. No Package
 Without Hinged Glass Panel
 Northern
 Climate Zone 5

Clad
 Pine
 5"
 3 11/16"
 Jambliner Color: Gray. Standard Enduraclad
 White. Bright White Paint Interior. Glass:
 Insulated Low-E NaturalSun+ Low-E Insulating
 Glass Argon Non High Altitude. Cam-Action
 Lock
 1 Lock
 White
 No Limited Opening Hardware
 Order Sash Lift
 1 Lift
 No Integrated Sensor. Full Screen
 White
 InView™. Combination U-Factor 0.26
 U-Factor 0.26
 Combination SHGC 0.51
 SHGC 0.51
 VLT 0.62
 CPD PEL-N-35-00455-00001
 Satisfied Energy Star Zones Northern
 Yes
 Performance Class LC
 PG 50
 Calculated Positive DP Rating 50
 Calculated Negative DP Rating 50
 Year Rated 08-11
 STC 27
 OITC 23
 Clear Opening Width 20.312
 Clear Opening Height 14.5
 Clear Opening Area 2.045306
 Egress Does not meet typical United States
 egress
 but may comply with local code requirements.

Remake: No
 In-Store Pick-up
 EA
 False
 True
 877-473-5527
 943063
 WTS Pella LS Window. 33070.
 Grille: No Grille
 Wrapping Information: Foldout Fins
 Factory Applied
 Branch Supplied
 3 11/16"
 5"
 Factory Applied
 Pella Recommended Clearance
 Perimeter Length = 118".



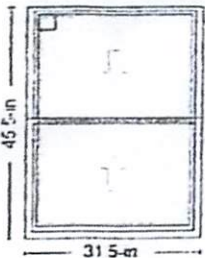
— Line 200-2 —

Screen Full Screen White InView

— Line 200-3 —

Hardware Options White Sash Lift (OF370000)

End Line 200 Descriptions



Lifestyle | Double Hung | 31.5 X 45.5 | Without
 HGP | White
 Room Location: None Assigned

Product Warranty



Line #	Item Summary	Production Time	Quantity
300-1	Lifestyle Double Hung 31.5 X 45.5 Without HGP White		3
Line #	Item Summary	Production Time	Quantity
300-2	Screen Full Screen White InView		3

300-3 Hardware Options White Sash Lift (0F370000)

3

Begin Line 300 Descriptions

--- Line 300-1 ---

A1: Unit: 31 1/2 || Frame: 31 1/2-in || RO: 32
 1/4-in Unit: 45 1/2 || Frame: 45 1/2-in || RO:
 46 1/4-in Double Hung
 Equal. Frame Size: 31 1/2 X 45 1/2. Lifestyle
 Series. No Program. No Package
 Without Hinged Glass Panel
 Northern
 Climate Zone 5

Clad
 Pine
 5"
 3 11/16"
 Jambliner Color: Gray. Standard Enduraclad
 White. Bright White Paint Interior. Glass:
 Insulated Low-E NaturalSun+ Low-E Insulating
 Glass Argon Non High Altitude. Cam-Action
 Lock
 1 Lock
 White
 No Limited Opening Hardware
 Order Sash Lift
 1 Lift
 No Integrated Sensor. Full Screen
 White
 InView™. Combination U-Factor 0.26
 U-Factor 0.26
 Combination SHGC 0.51
 SHGC 0.51
 VLT 0.62
 CPD PEL-N-35-00455-00001
 Satisfied Energy Star Zones Northern
 Yes
 Performance Class LC
 PG 50
 Calculated Positive DP Rating 50
 Calculated Negative DP Rating 50
 Year Rated 08-11
 STC 27
 OITC 23
 Clear Opening Width 28.312
 Clear Opening Height 19.5
 Clear Opening Area 3.833917
 Egress Does not meet typical United States
 egress
 but may comply with local code requirements.

Remake: No
 In-Store Pick-up
 EA
 False
 True
 877-473-5527
 943063
 WTS Pella LS Window. 33070.
 Grille: No Grille
 Wrapping Information: Foldout Fins
 Factory Applied
 Branch Supplied
 3 11/16"
 5"
 Factory Applied
 Pella Recommended Clearance
 Perimeter Length = 154".



--- Line 300-2 ---

Screen Full Screen White InView

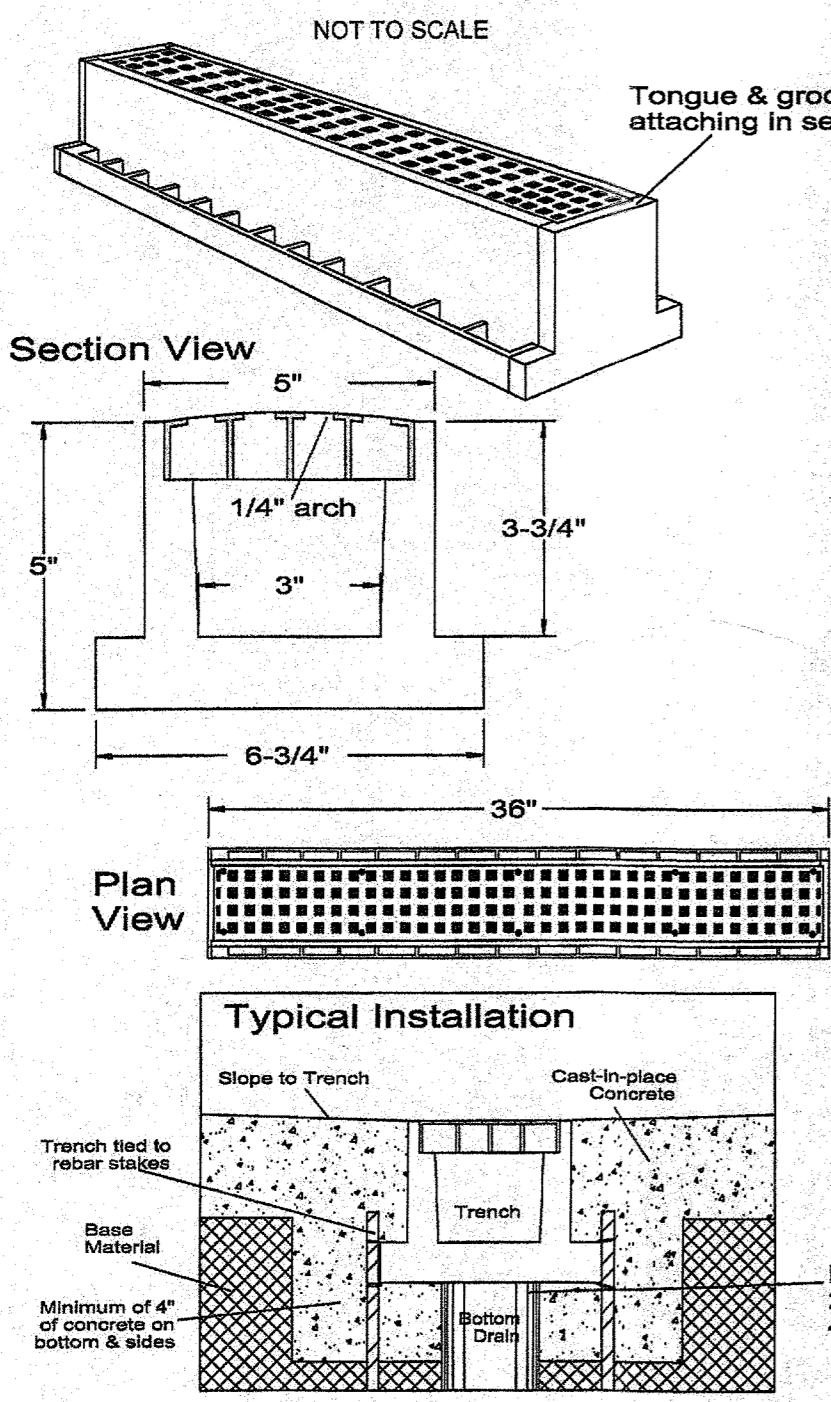
--- Line 300-3 ---

Hardware Options White Sash Lift (0F370000)

End Line 300 Descriptions

REFERENCES:
 ALL BOUNDARY INFORMATION IS REFERENCED FROM A
 TOPOGRAPHIC SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS
 DATED JUNE 26, 2024, PROVIDED BY OWNER.

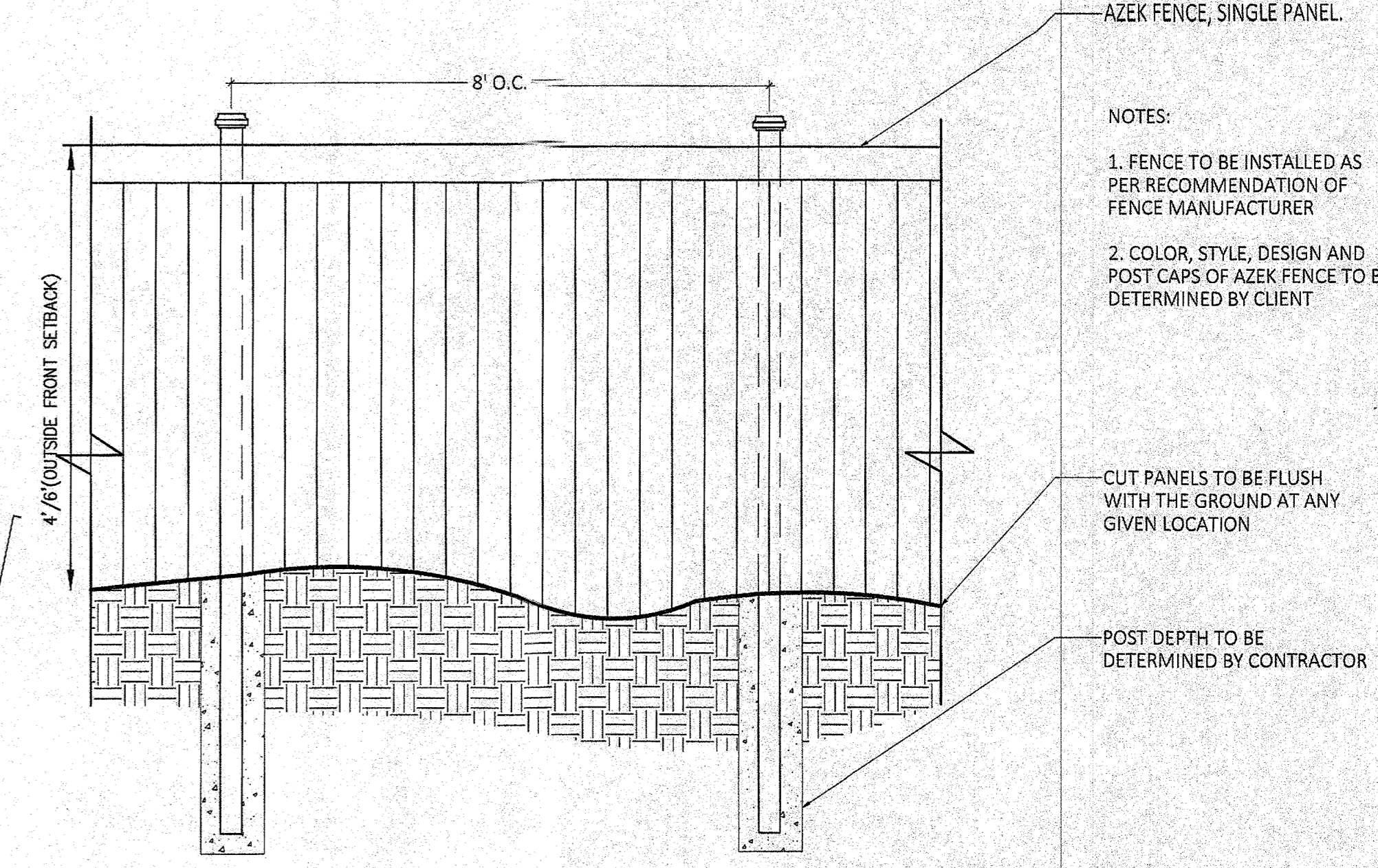
Storage Design:		
Soils: Watershed "C"		
Development size =	0.0195 Acre	
Undeveloped SCS Curve No. =	74.0000	
Developed SCS Curve No. =	98.0000	
1. Select Design Storm		
100 year, 24-hour	9.3000	
2. Type of subsurface disposal system:		
Cultec system with		
crushed stone		
3. Determine Percolation Rate:		
Percolation Rate:		
Drop	1.0000 inches	
Time	30.0000 minutes	
4. Area of Percolation (Ap):		
Surface area of Cylinder		
Ac=Pi*Dh*ap		
D=	1.0000 foot	
h=ap=	8.5000 inches	
Ac=	2.2253 Ft ²	
Bottom Area		
Ab=Pi*r ²		
Ab=	0.7854 Ft ²	
Volume of Percolation:		
Ap=Ac+Ab		
Ap=	3.0107 Ft ²	
Vp=Ap*H		
Vp=	0.0594 Ft ³	
Soil Percolation Rate		
Sr=volume/area/time	0.0007 Ft ³ /Ft ² *24 in.	
Sr=	1.0435 Ft ³ /Ft ² /day	
Sr=(minus clogging factor of 25%)	0.7826 Ft ³ /Ft ² /day	
5. Calculate Required Storage Volume:		
100yr, 24 hour rainfall=	7.6000 inches	
From Table 2-1 of TR-55		
Existing CN=	74.0000 therefore depth V=	8.11 inches
Proposed CN=	98.0000 therefore depth V=	9.10 inches
Delta V=	2.9900 inches	
V=delta V*Area		
V=	211.7817 Ft ³	
6. Calculate Volume per Cultec Unit:		
Cultec 330XLHD	79.2800 Ft ³	Per Manuf.
7. Calculate 24-hour percolation volume per unit (Vp):		
Vp=Bottom of cultec*soil percolation rate(Sr)		
Vp=L*W*Sr	45.3050 per unit	
Vp=	35.4561 Ft ³ /day/cultec	
*Note: Bottom of cultec		
8. Calculate the total 24-hour Volume per cultec (Vt):		
Vt=V volume of cultec(Vv)*percolation volume(Vp)		
Vt=	114.7161 Ft ³	
9. Determine number of cultec required (DW):		
DW=Req. Volume of Storage(Vs)/Total Vol. per cultec(Vt)	1.8	
DW=	USE	2



SPECIFICATIONS
 Material: High Density Polyethylene
 Grate Openings: 1/2" square, ADA compliant
 Pipe Connections: 2" or 3" schedule 40 or 4" schedule 35
 Load Rating: H20, truck traffic (STACK 2 DEEP)

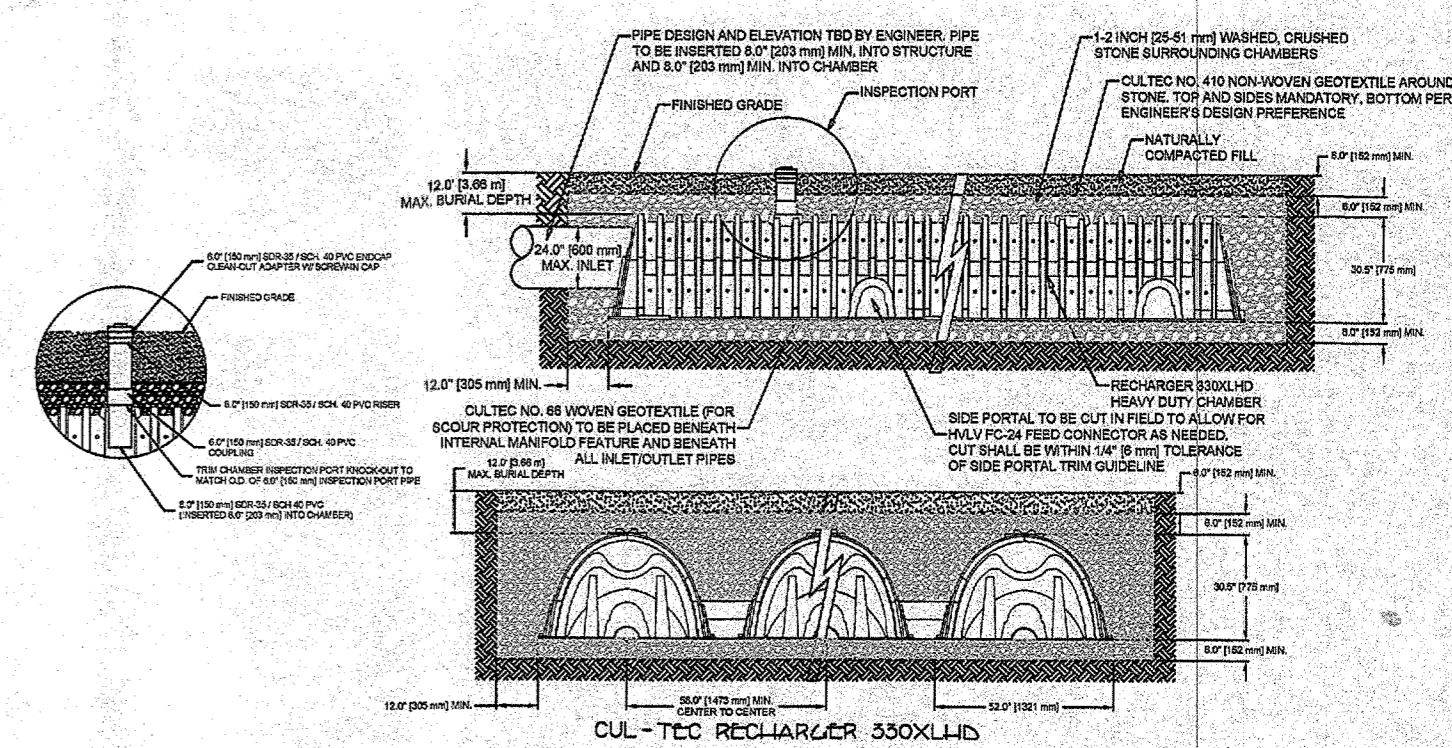
TRENCH DRAIN DETAIL
 N.T.S.

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

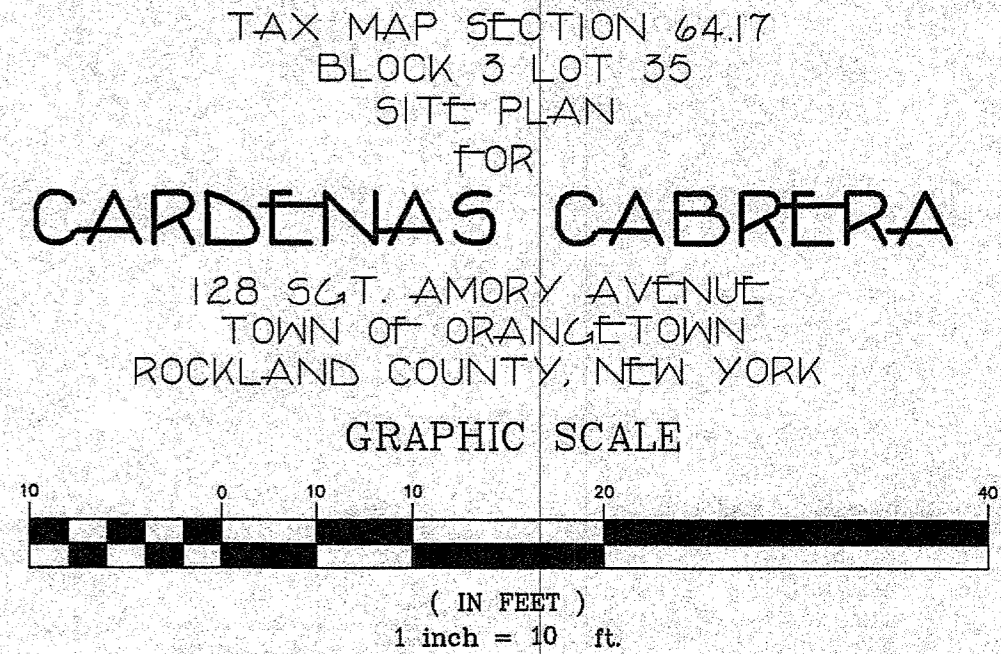


VINYL SOLID FENCE DETAIL
 N.T.S.

NOTES:
 1. FENCE TO BE INSTALLED AS PER RECOMMENDATION OF FENCE MANUFACTURER
 2. COLOR, STYLE, DESIGN AND POST CAPS OF AZEK FENCE TO BE DETERMINED BY CLIENT

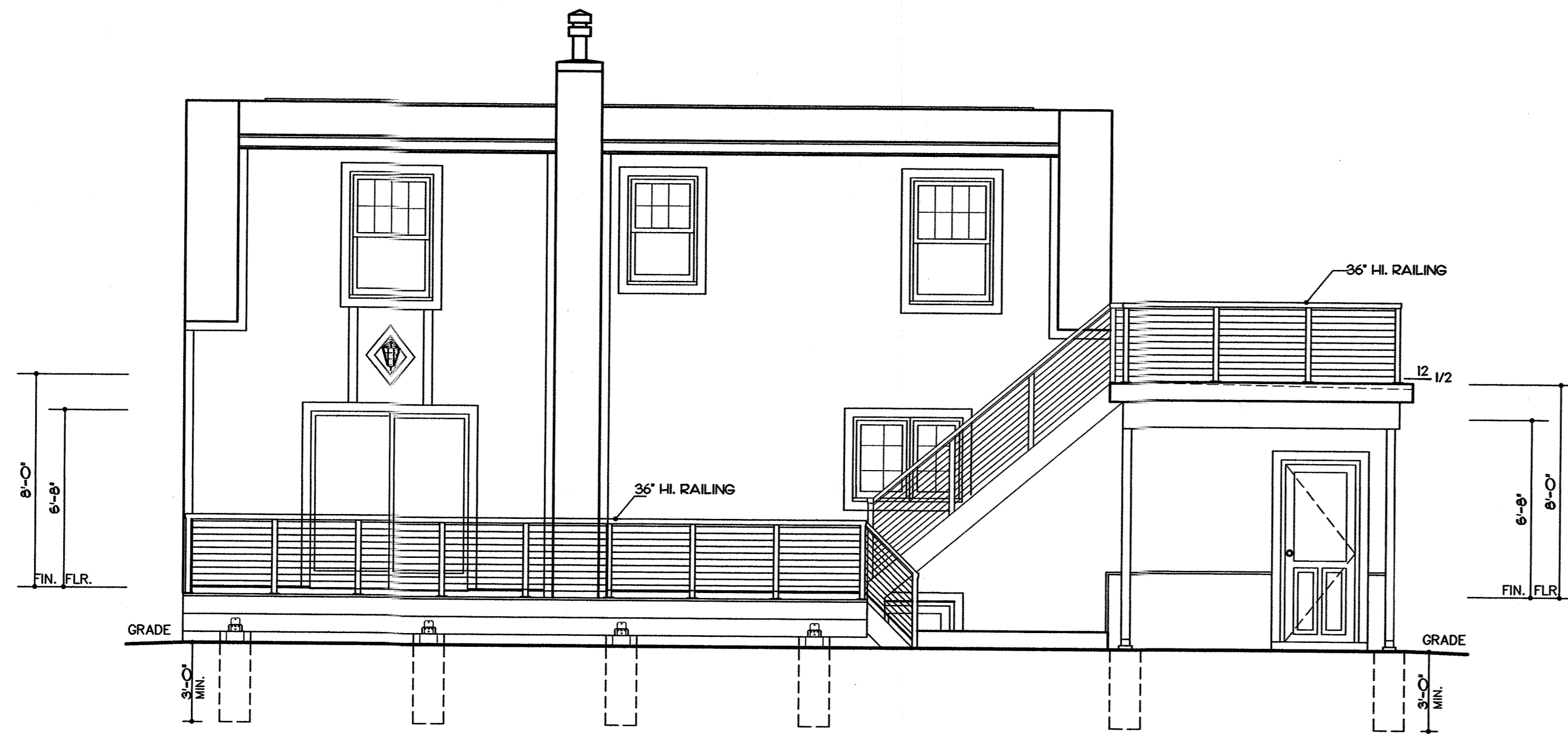


NOTE:
 1. SEE SET OF UTILITY LOCATIONS DRAWING FOR ALL UTILITY LOCATIONS. ALL UTILITY LOCATIONS SHALL BE MARKED IN THE FIELD PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



RECEIVED
 OCT 11 2024
 TOWN OF ORANGETOWN
 LAND USE BOARD

PAUL GDANSKI, PE PLLC	FILE#	128AMORY
3512 WHITTIER COURT MAHWAH, NJ 07430 TEL: (917) 418-0999	DATE	SEPT. 16, 2024
	SCALE	1" = 10'
	DWG	1 OF 1



REAR ELEVATION
SCALE: 1/4" = 1'-0"

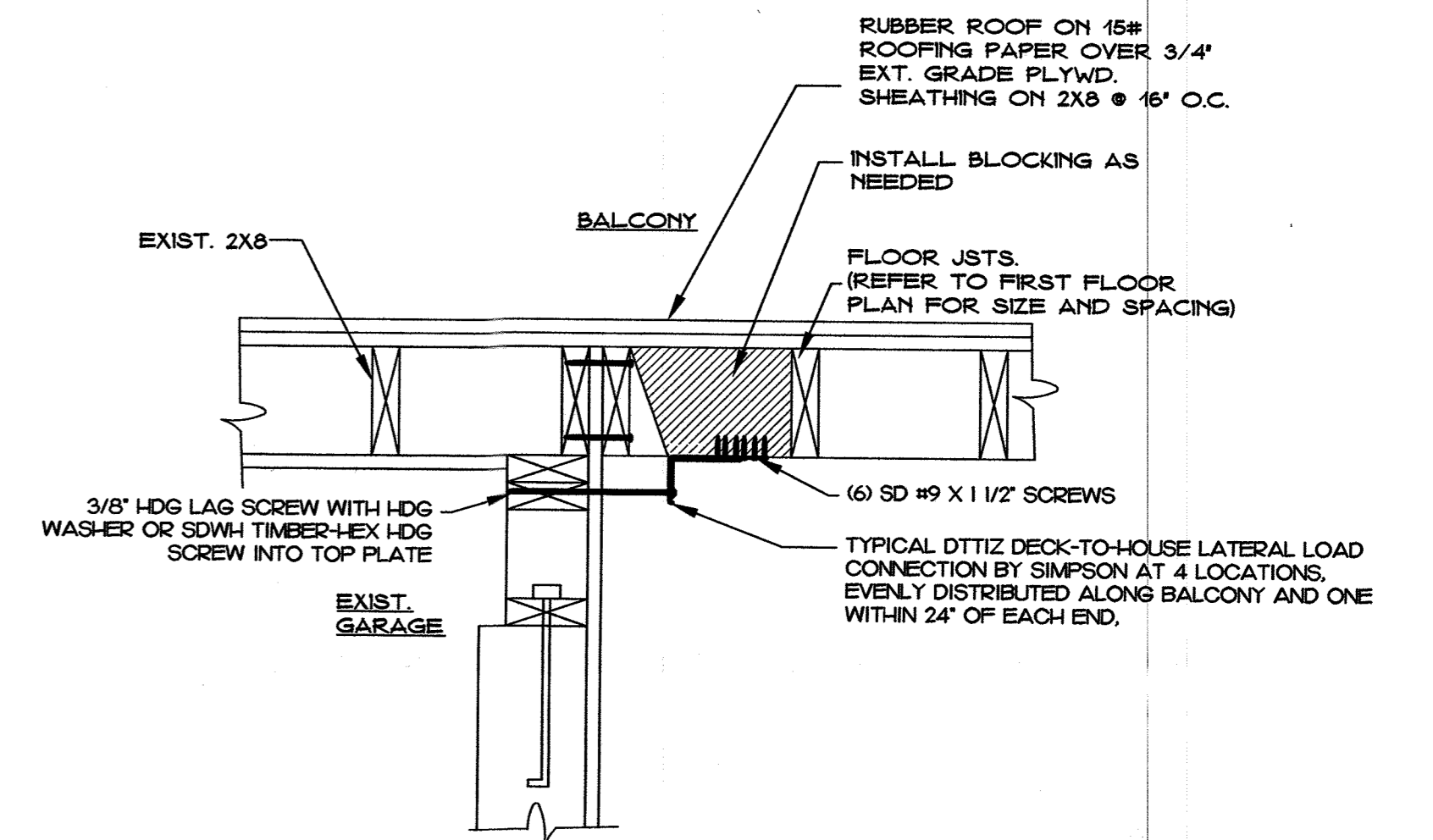


PARTIAL LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

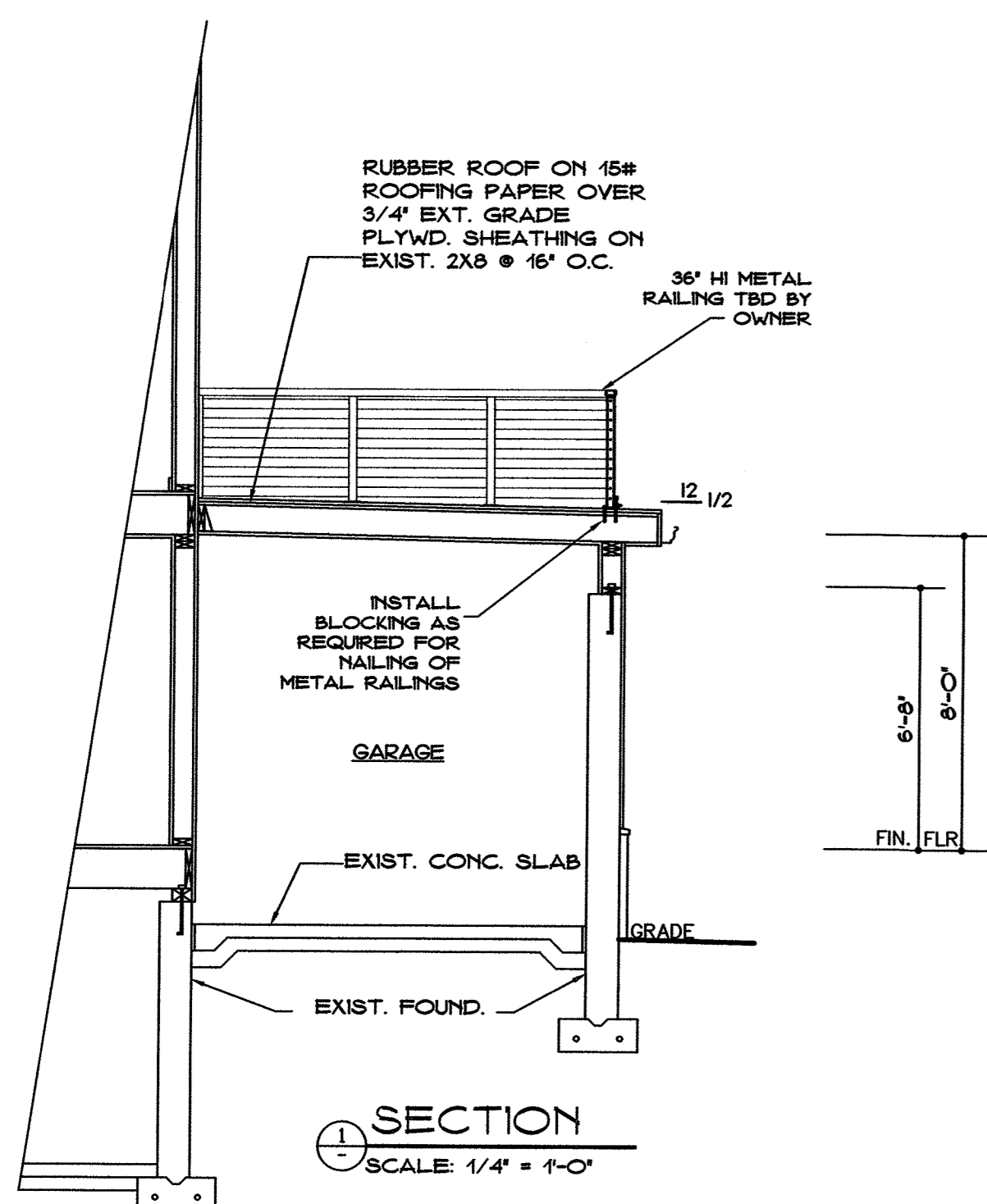
EXTERIOR LUMBER NOTES:
-ALL LUMBER EXPOSED TO EXTERIOR TO BE ACQ PRESSURE TREATED LUMBER.
-ALL FASTENERS TO BE HOT DIP GALVANIZED.
-ALL FLASHING USED WITH ACQ LUMBER TO BE COPPER.

APPLICABLE CODES: THE 2020 RCNYS.
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC CRITERIA

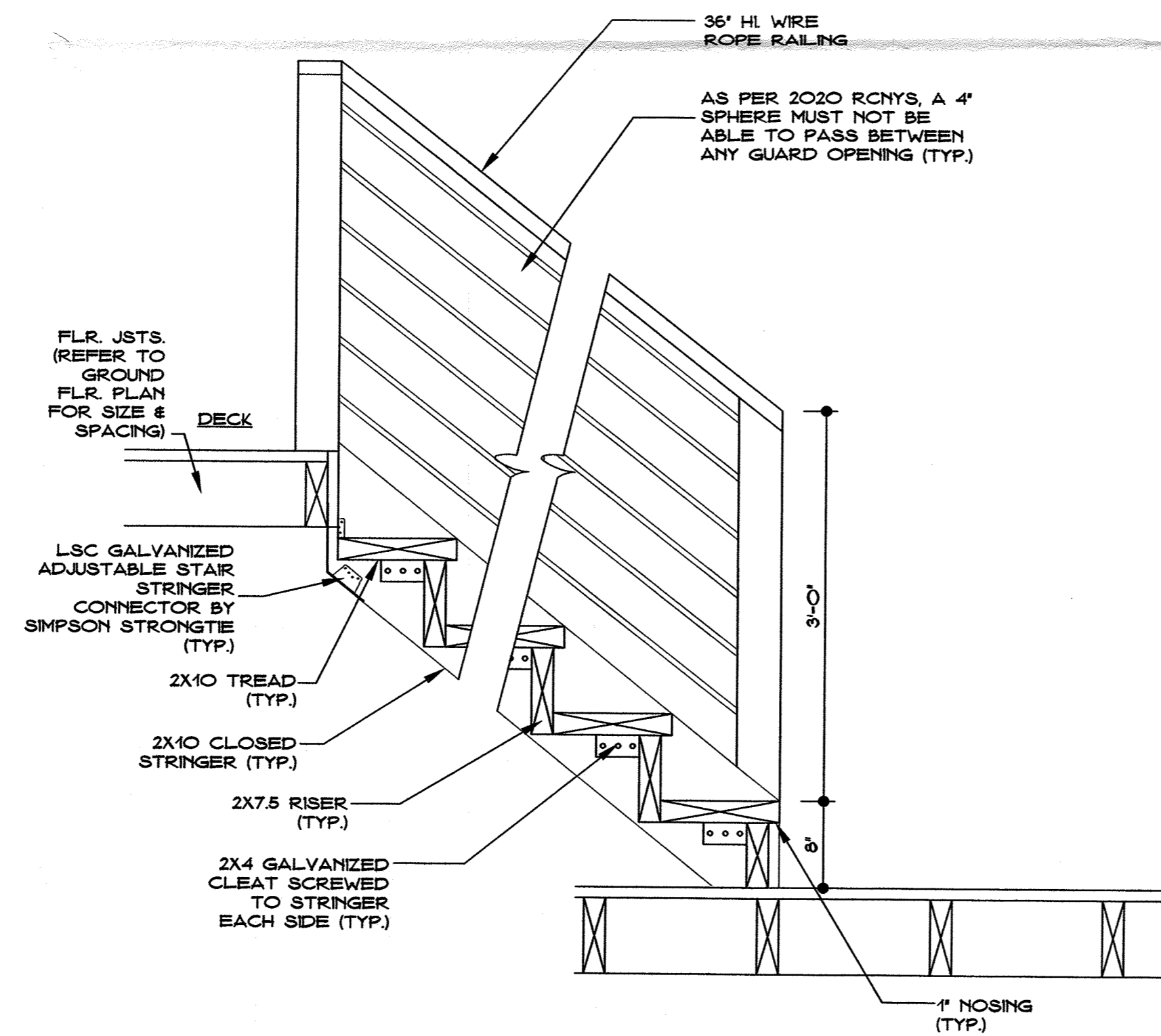
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
			WEATHERING	FROST LINE DEPT						
30 PSF	115	B	SEVERE	36"	MODERATE TO HEAVY	10	YES	NA	1000	55 °F



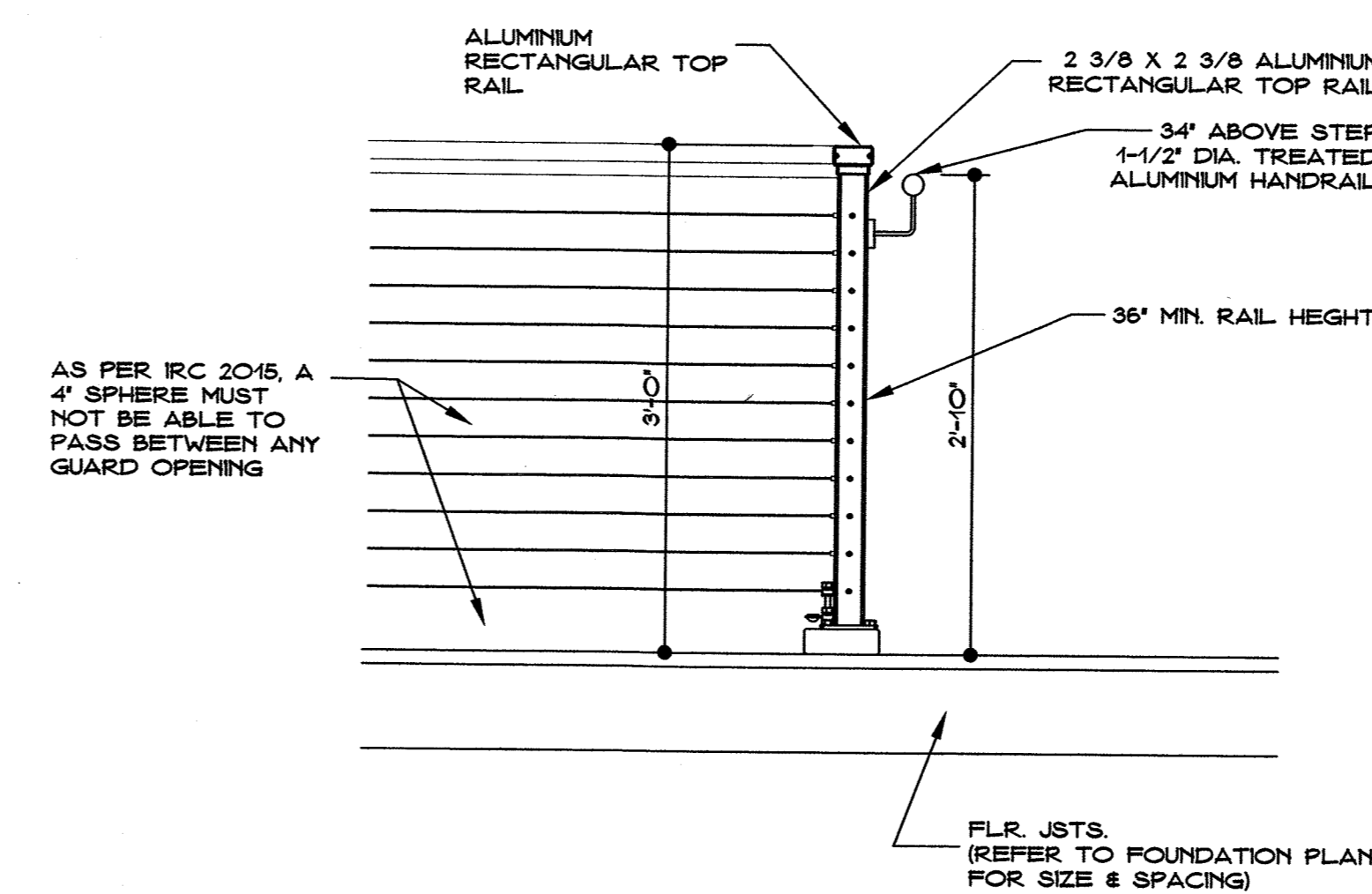
TYPICAL LATERAL LOAD DECK/HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"



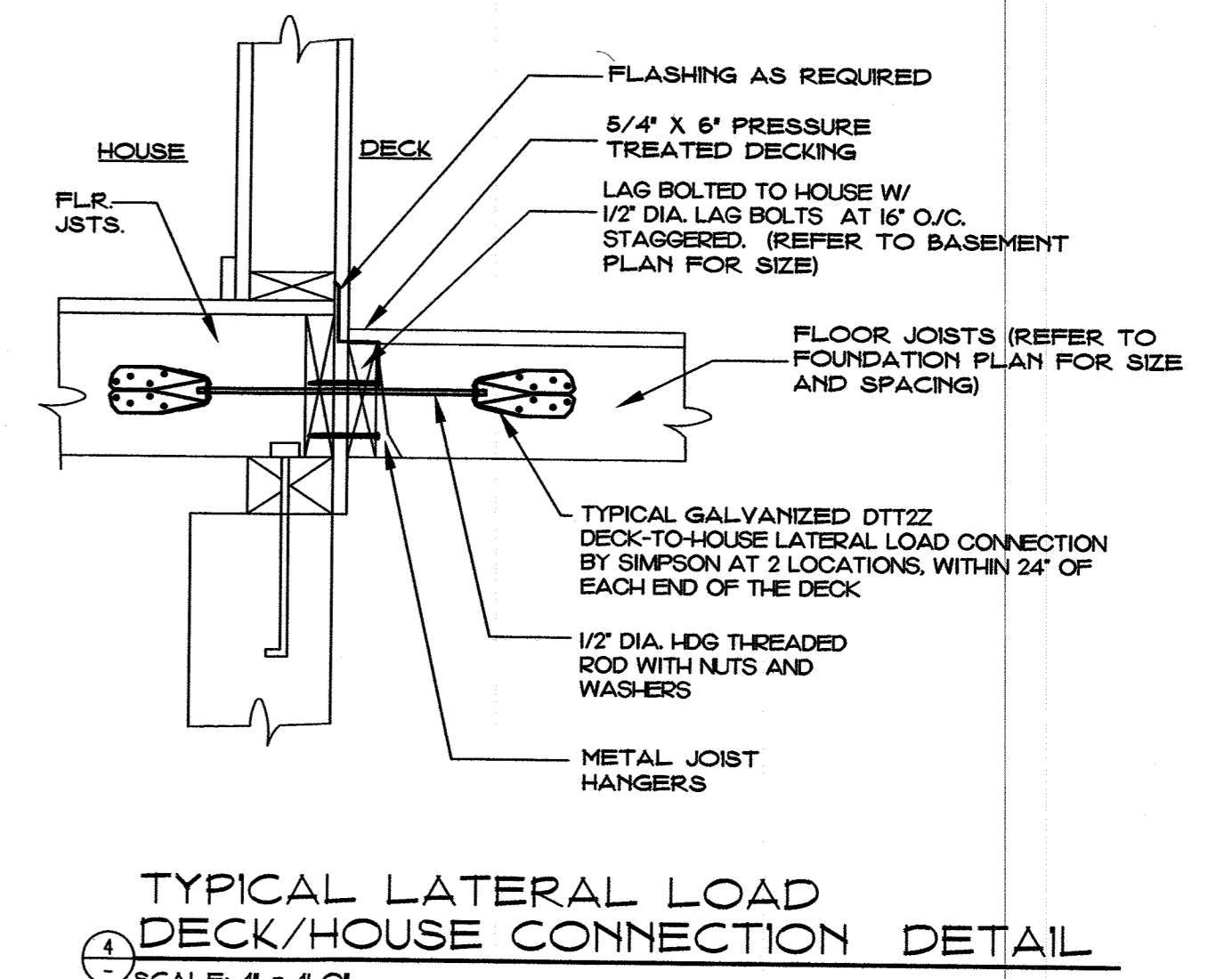
SECTION
SCALE: 1/4" = 1'-0"



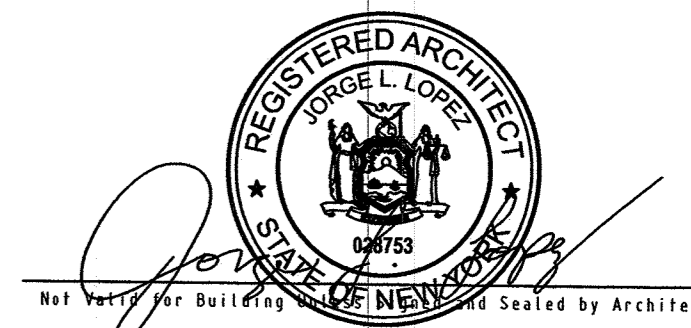
PARTIAL EXTERIOR STAIR SECTION
SCALE: 1" = 1'-0"



PARTIAL STAIR HAND RAIL DETAIL
SCALE: 1" = 1'-0"



TYPICAL LATERAL LOAD DECK/HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"



PROPOSED AS-BUILT & ALTERATIONS FOR
JAIME CARDENAS CABRERA
128 AMORY AVE.
PEARL RIVER, NY 10965

DATE	DRN BY	CHK.
01/29/24	DS	
04/12/24	CP	

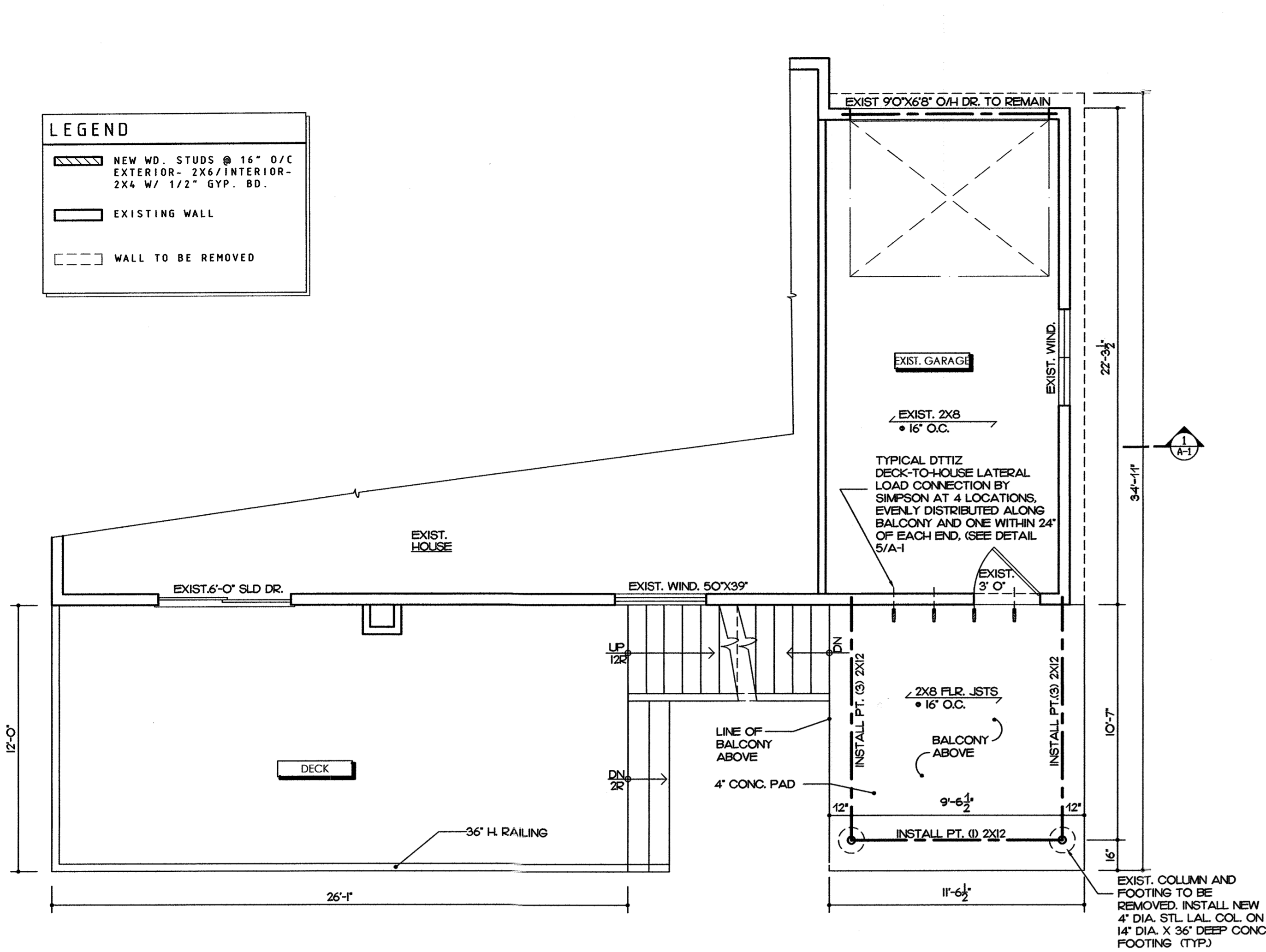
JORGE L. LOPEZ, ARCHITECT, PC
JORGE L. LOPEZ, EA, AIA, PRINCIPAL
Residential & Commercial Architecture
226 N. Main St., New City, NY 10956 | tel (845) 638-4038 | fax (845) 638-4036 | e-mail jorge@architectoptonline.net

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OCT 11 2024
LAND USE BOARDS

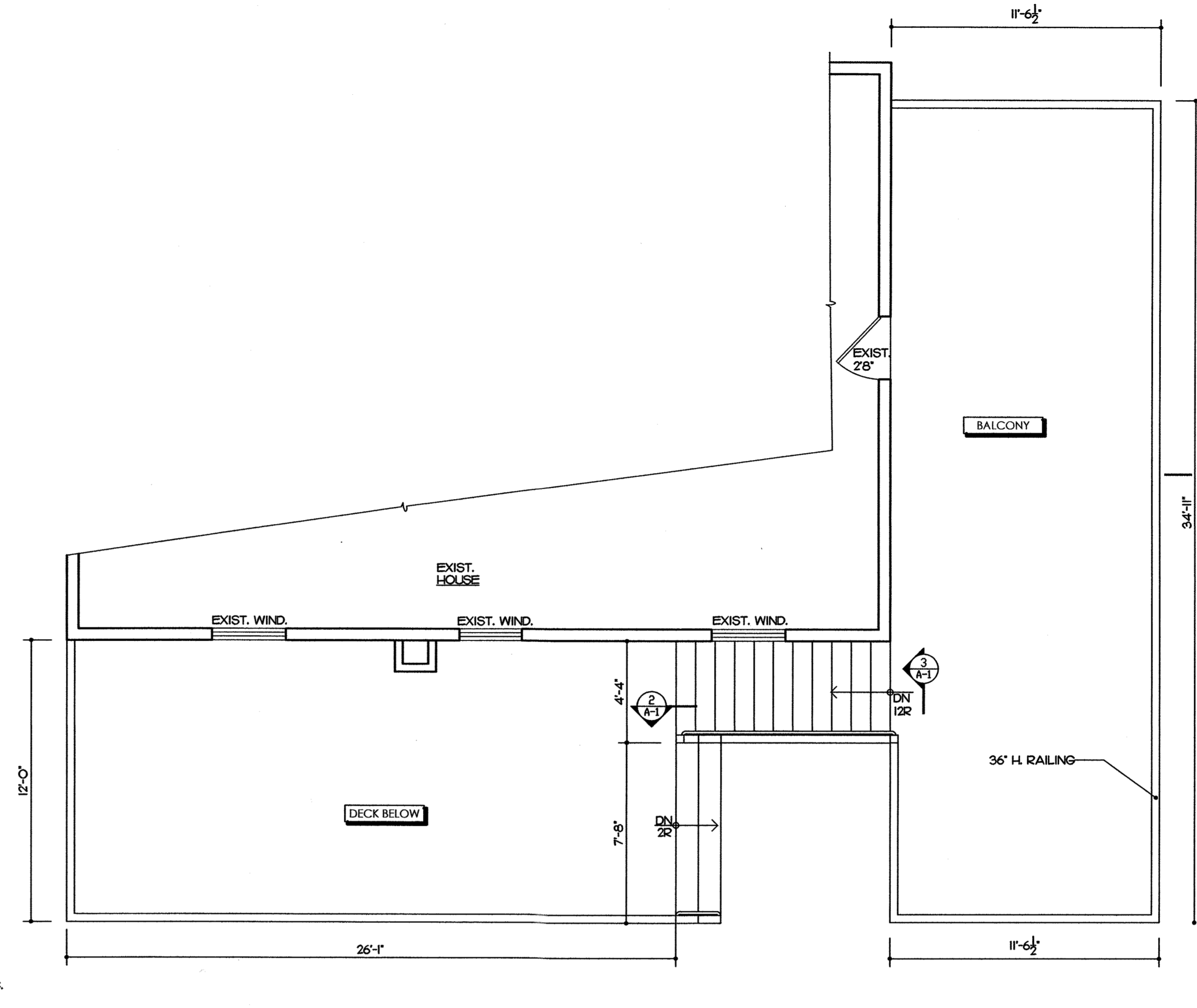
PROJECT NO.
24-009
SHEET 1 OF 2
A-1

DO NOT SCALE PRINTS

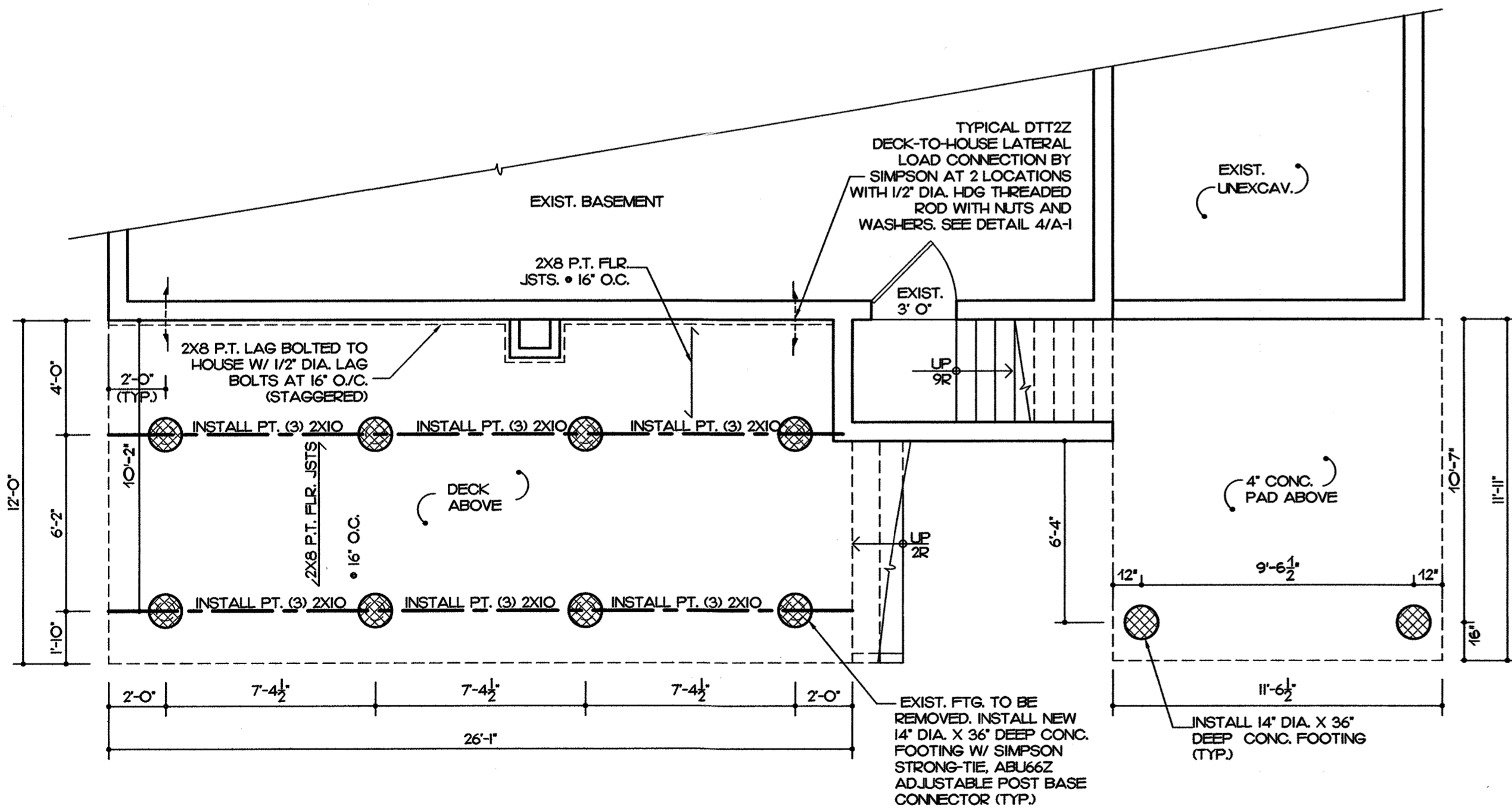
LEGEND	
	NEW WD. STUDS @ 16" O/C EXTERIOR - 2X4 / INTERIOR - 2X4 W/ 1/2" GYP. BD.
	EXISTING WALL
	WALL TO BE REMOVED



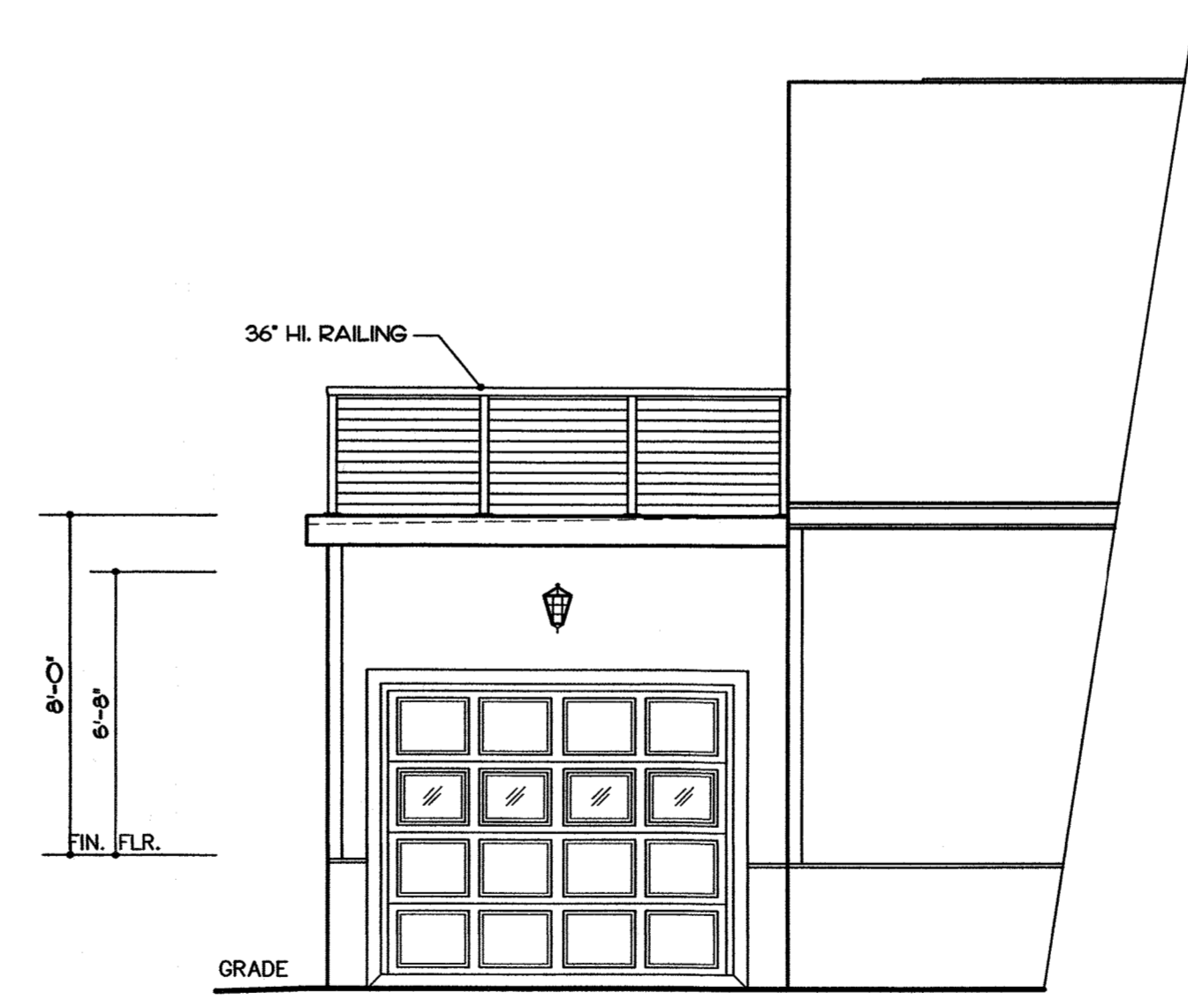
PARTIAL FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



PARTIAL FOUNDATION PLAN
SCALE 1/4" = 1'-0"



PARTIAL FRONT ELEVATION
SCALE 1/4" = 1'-0"

PROJECT SPECIFICATIONS
GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, ROCKLAND CTY., NY, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CODES, AND ANY OTHER LOCAL, STATE AND FEDERAL APPLICABLE CODES & LAWS.
- CONTRACTOR(S) TO SUPPLY ALL MATERIALS, FIXTURES EQUIPMENT AND LABOR NECESSARY TO PERFORM & COMPLETE WORK NOTED ON PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS TO BE NEW AND FREE FROM DEFECTS UNLESS OTHERWISE NOTED. ALL WORK TO BE PERFORMED IN A COMPETENT WORKMANLIKE FASHION ACCEPTABLE W/ MODERN PRACTICES. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS WITHOUT WRITTEN APPROVAL FROM THIS OFFICE OR THE OWNER.
- ALL CONTRACTORS TO BE RESPONSIBLE FOR ALL APPLICABLE LAWS AND CODES RELATING TO THEIR TRADE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
- CONTRACTOR OR ANY SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT OR UNDER THIS CONTRACT SHALL CARRY LIABILITY & PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL PROVIDE OWNER WITH CERTIFICATES OF SAID INSURANCE. ALL CONTRACTORS TO CARRY T.P. INSURANCE. ARCHITECT IS NOT RESPONSIBLE FOR ANY INJURIES ON PROJECT SITE. OWNER IS LIABLE FOR ANY LABOR LAWS OF SECTION 240 & 241.
- CONTRACTOR TO BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT.
- ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES AND/OR FOR APPROVAL OF SHOP DWGS. ARCHITECTURAL SUPERVISION IS NOT INCLUDED WITH THESE DRAWINGS, THEREFORE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP CODE AND/OR PLAN COMPLIANCE. THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND THESE RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY EXISTING CONDITIONS AND/OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION, DEMOLITION, OPERATIONS AND METHODS.
- CONTRACTOR(S) TO COMPLY WITH ALL OSHA AND ALL OTHER SAFETY REQUIREMENTS. CONTRACTOR(S) TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS. ALL DIMENSIONS & CONDITIONS TO BE FIELD VERIFIED. MATCH ALL EXISTING MATERIALS, DIMENSIONS AND CONDITIONS AS THEY MAY APPLY. DIMENSIONS ARE REASONABLE CORRECT WITH A TOLERANCE PLUS OR MINUS OF ONE INCH.
- ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT TO BE PERFORMED BY CAPABLE AND REPUTABLE LICENSED CONTRACTORS, LICENSED BY GOVERNING AGENCIES HAVING SAID JURISDICTION.
- GENERAL CONTRACTOR TO USE ADEQUATE NUMBERS OF SKILLED HEALTH & SAFETY PERSONS THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK IN ACCORDANCE WITH ALL LOCAL, NEW YORK STATE AND FEDERAL CODE REQUIREMENTS.
- PROJECT SITE TO BE LEFT HAZARD FREE AT END OF EACH WORK DAY. PRIOR TO COMPLETION OF EACH TRADE AND PROJECT COMPLETION, REMOVE FROM SITE ALL TOOLS EXCESS MATERIAL AND DEBRIS RESULTING FROM THIS CONSTRUCTION. REMOVAL OF DEBRIS TO BE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- PRIOR TO SIGNING OF CONTRACTS WITH OWNERS AND CONTRACTOR(S) CONTRACTOR(S) TO INFORM OWNER OF ANY OPTIONS, EXTRAS AND THEIR RELATED COSTS. CONTRACTOR(S) TO INDICATE TIME & EXPENSE COSTS DUE TO OWNERS' CHANGE ORDERS. CONTRACTOR(S) TO NOTIFY ARCHITECT TWENTY-FOUR (24) HOURS IN ADVANCE OF ANY STRUCTURAL OR CODE RELATED REVISIONS PRIOR TO INSTALLATION. SAID CHANGE ORDERS AND REVISIONS ARE ALSO BILLABLE BY ARCHITECT.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS AND/OR ASSEMBLIES, ETC. TO BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE INDICATED, NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN NOTICE FROM OWNER AND ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION.

ELECTRICAL

- ALL ELECTRICAL WORK PERFORMED SHALL BE APPROVED BY THE LOCAL AGENCY HAVING JURISDICTION AND CONFORM TO THE LATEST EDITION OF THE 'NATIONAL ELECTRIC CODE' AND LOCAL UTILITY COMPANY.
- ELECTRICAL CONTRACTOR TO PROVIDE ADEQUATE SERVICE CIRCUITS, OUTLETS, FIXTURES AND EQUIPMENT AS REQUIRED BY CODES AND APPLIANCES INDICATED ON PLANS.
- ELECTRICAL CONTRACTOR TO PROVIDE FIXTURE BOXES AND RELATED SWITCHES AS PER PLAN OR CONTRACT W/ OWNERS. INSTALL SMOKE DETECTORS AS REQUIRED BY NEC. AND N.Y.S. CODES.

PLUMBING NOTES

- ALL PLUMBING WORK PERFORMED SHALL BE APPROVED BY LOCAL BOARD OF HEALTH OR BUILDING DEPT.



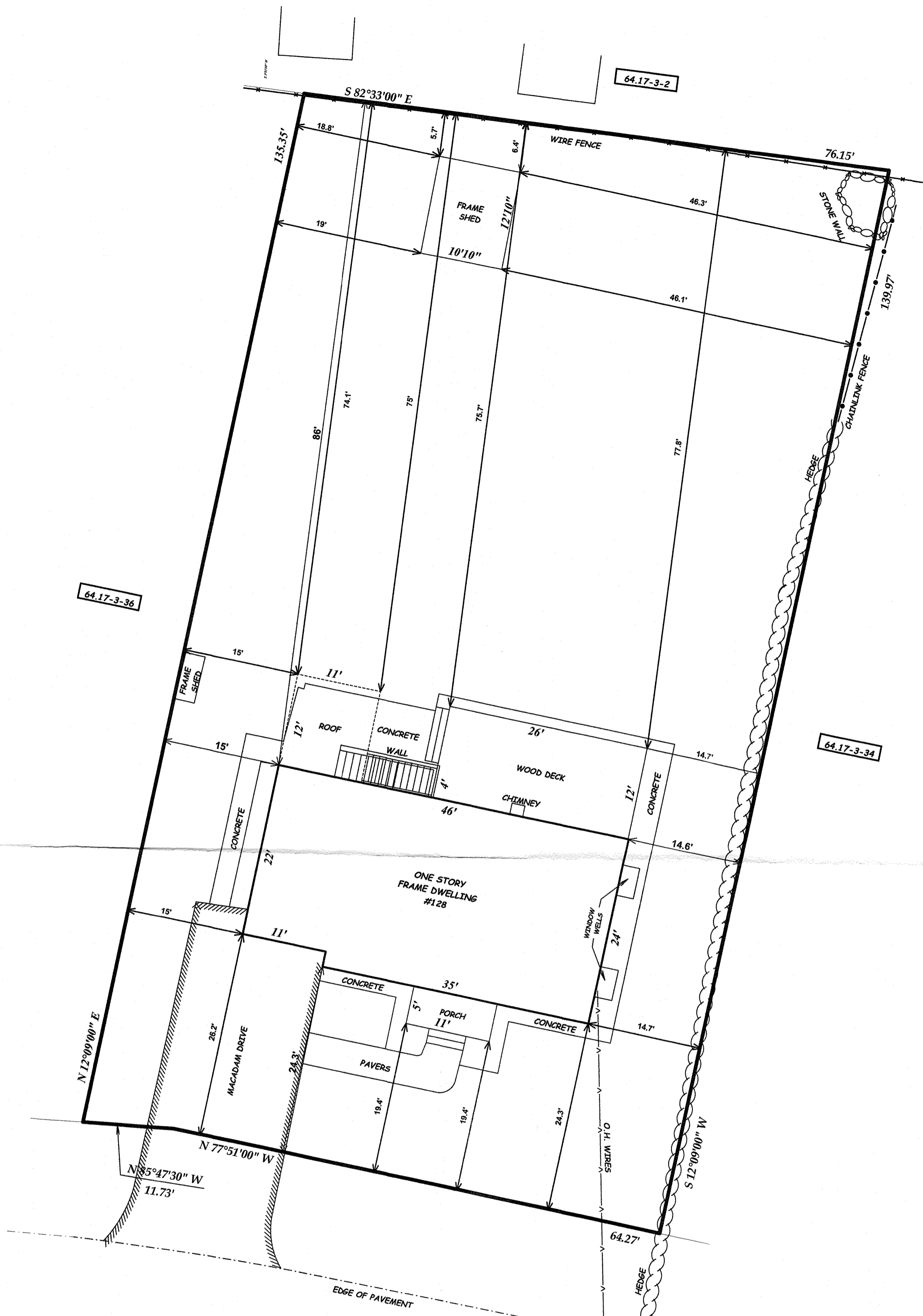
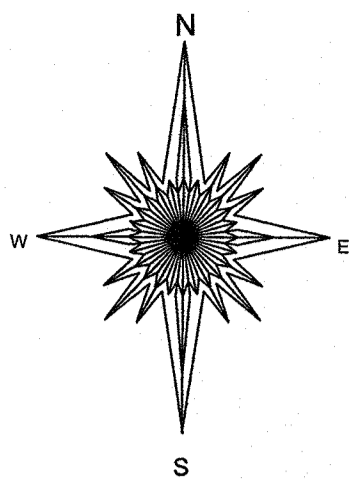
PROPOSED AS-BUILT & ALTERATIONS FOR
JAIME CARDENAS CABRERA
128 AMORY AVE.
PEARL RIVER, NY 10965

DATE	DRN BY	CHK.
01/29/24	DS	
04/12/24	CP	

JORGE L. LOPEZ, ARCHITECT, P.C.
JORGE LOPEZ, RA, AIA, PRINCIPAL
Residential & Commercial Architecture
144 S. Liberty Dr., Suite 28, Stony Point, NY 10980 | Tel (845) 638-4038 | e-mail j.lopez.architect@gmail.com

PROJECT NO.
24-009
SHEET 2 OF 2
2481CAR2
A-2

DO NOT SCALE PRINTS



SGT. AMORY AVENUE

LOT AREA = 10,394.59 SQUARE FEET
 TAX MAP DESIGNATION: 64.17-3-35
 SURVEY FOR
128 SGT. AMORY AVE

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 PEARL RIVER, NEW YORK
 JUNE 26, 2024 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#76244

BULK REQUIREMENTS ZONE: CO EXISTING SINGLE FAMILY

USE GROUP	FLOOR AREA	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	MINIMUM TOTAL SIDE YARD	MINIMUM REAR YARD	MAXIMUM HEIGHT FEET
REQUIRED	0.20	30,000 S.F.	150'	50'	30'	35'	90'	50'	6" PER FT
EXISTING	0.10	10,394 S.F.	75.8**	76'	24.3**	14.6**	29.6**	86'	6" PER FT

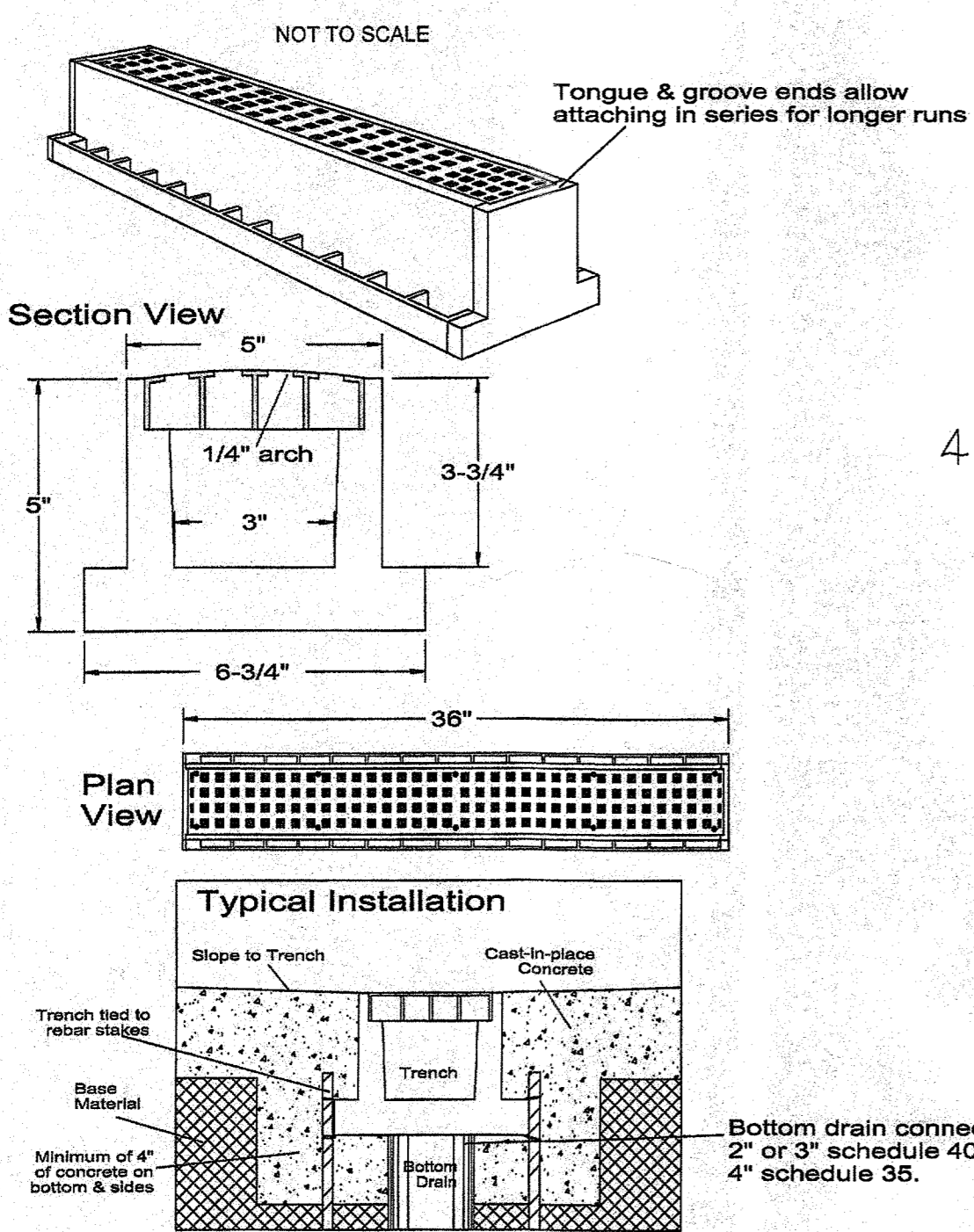
*EXISTING CONDITION BULK TABLE REVISED 8/23/24



NOTE:
 IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY.
 *ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR.
 THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
 EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

REFERENCES:
 ALL BOUNDARY INFORMATION IS REFERENCED FROM A TOPOGRAPHIC SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS DATED JUNE 26, 2024, PROVIDED BY OWNER.

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Developed SCS Curve No. =	98.0000	
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2. Type of subsurface disposal system:		
Cultec system with crushed stone		
3. Determine Percolation Rate:		
Percolation Rate:		
Drop	1.0000 inches	
Time	30.0000 minutes	
a. Area of Percolation (Ap):		
Surface area of Cylinder		
Ac=Pi*Dh*ap		
Dc	1.0000 foot	
havg	8.5000 inches	
Ac	2.2253 Ft ²	
Volume of Percolation:		
Ap=Ac*h		
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Vp=Ap*Vh		
Soil Percolation Rate		
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Vp=L*W*Sr	45.3050 per unit	
Vp	35.4561 Ft ³ /day/cultec	
*Note: Bottom of cultec		
7. Calculate the total 24-hour Volume per cultec (Vt):		
Vt=V volume of cultec(Vv)*percolation volume(Vp)		
Vt	114.7161 Ft ³	
8. Determine number of cultec required (DW):		
DW=Req. Volume of Storage(Vs)/Total Vol. per cultec(Vt)	1.8	
DW	USE	2

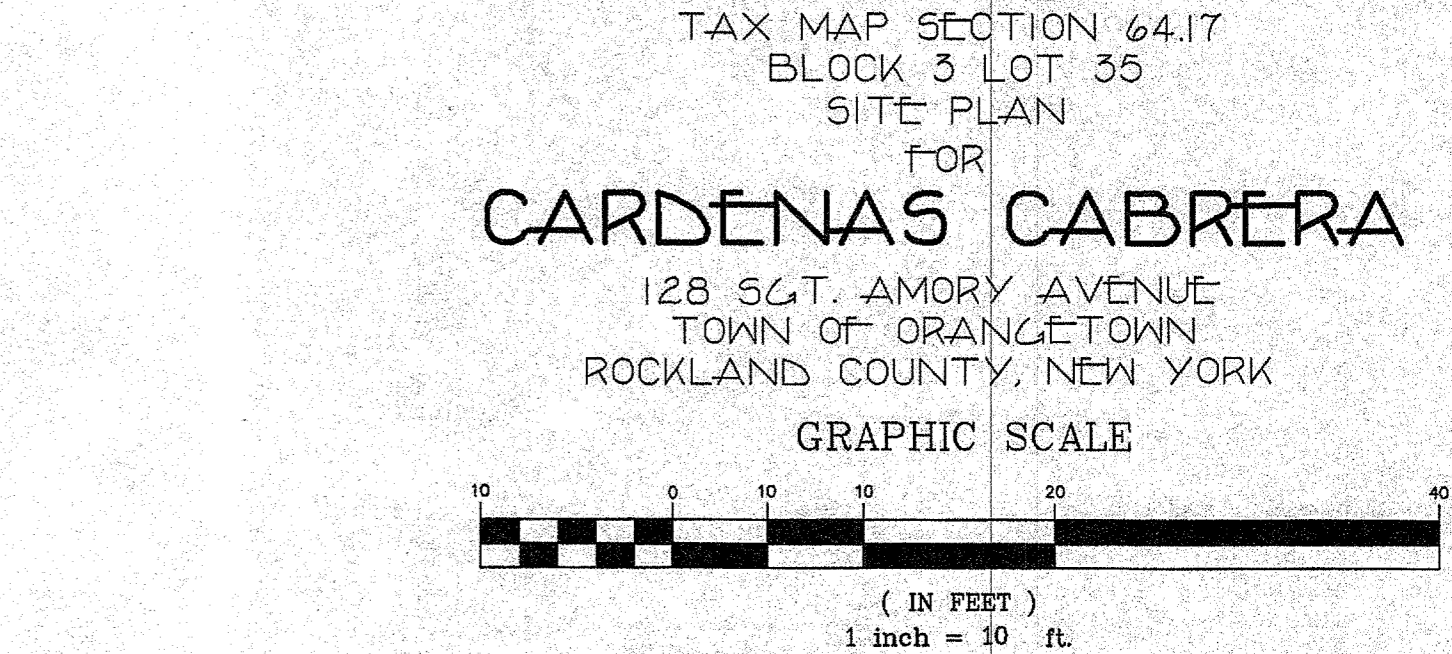
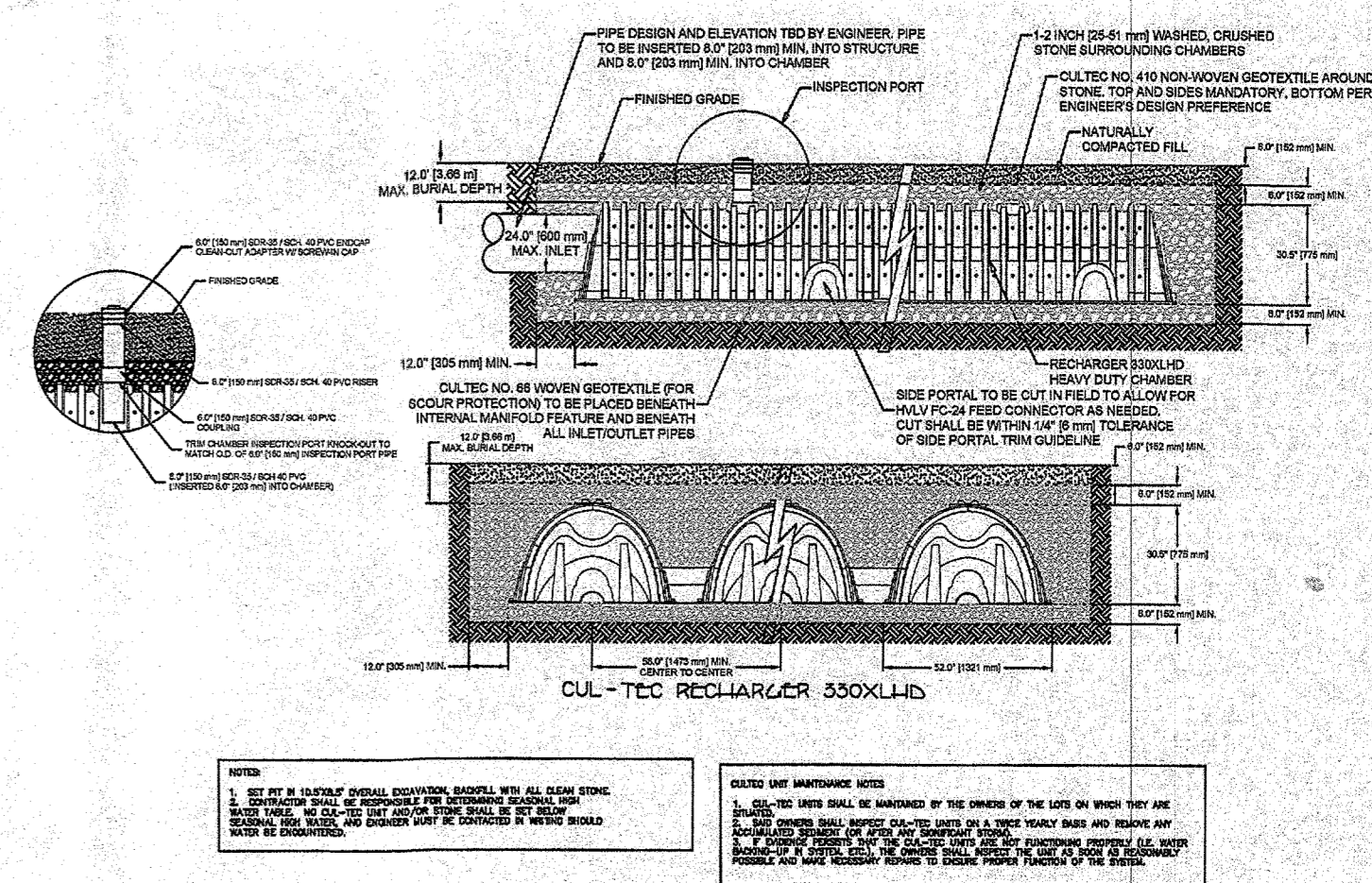
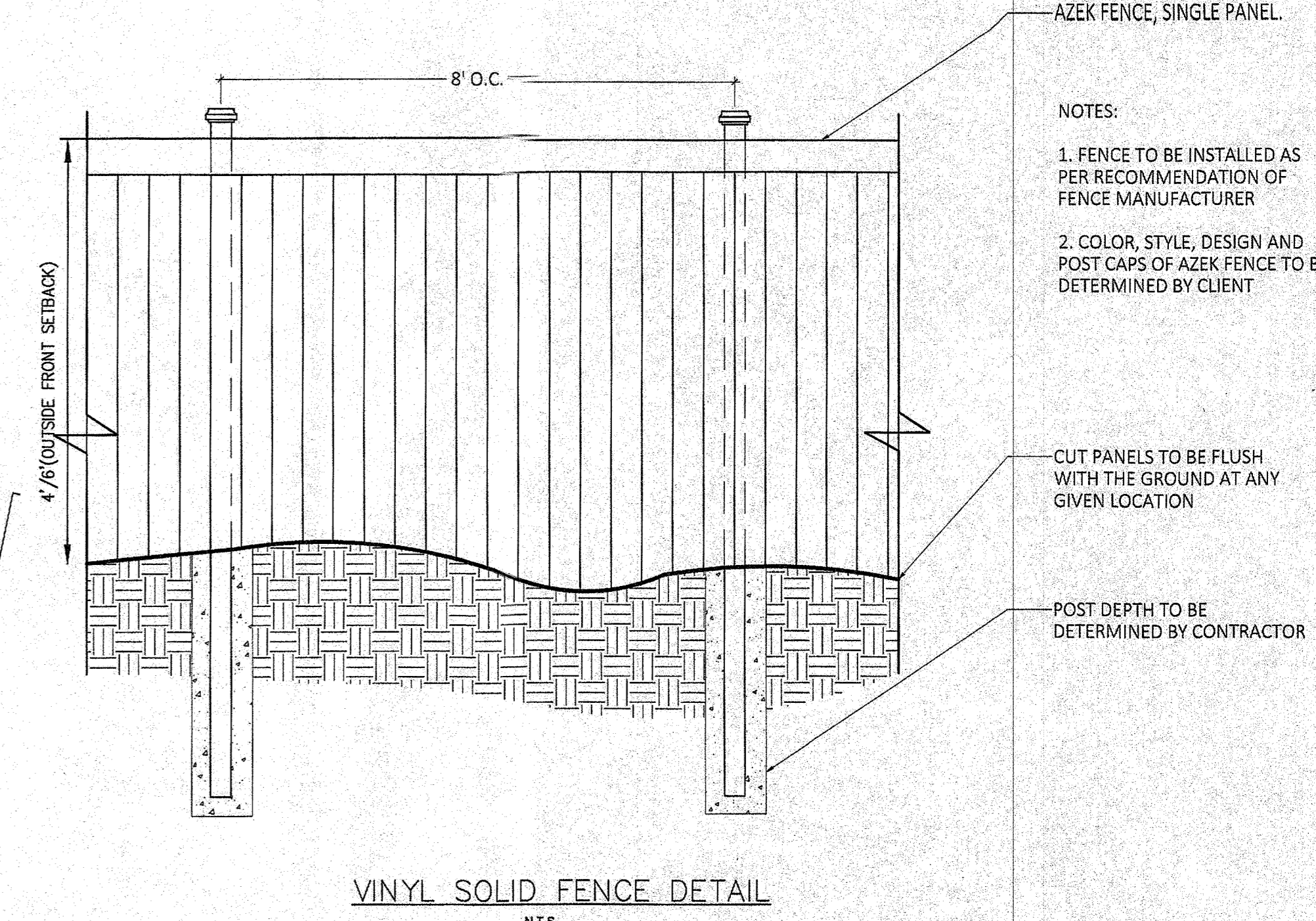


SPECIFICATIONS

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 Pipe Connections: 2" or 3" schedule 40 or 4" schedule 35
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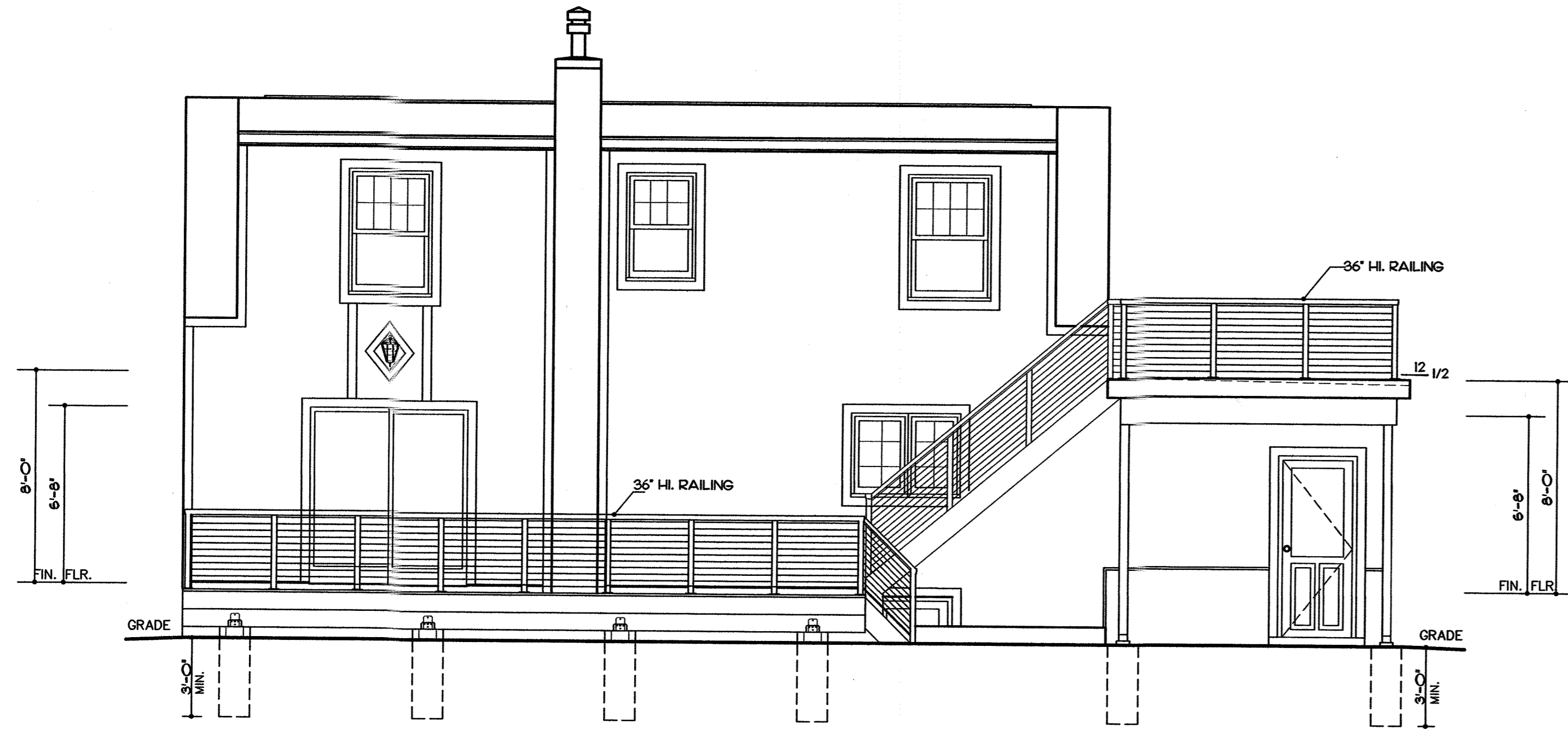
TRENCH DRAIN DETAIL
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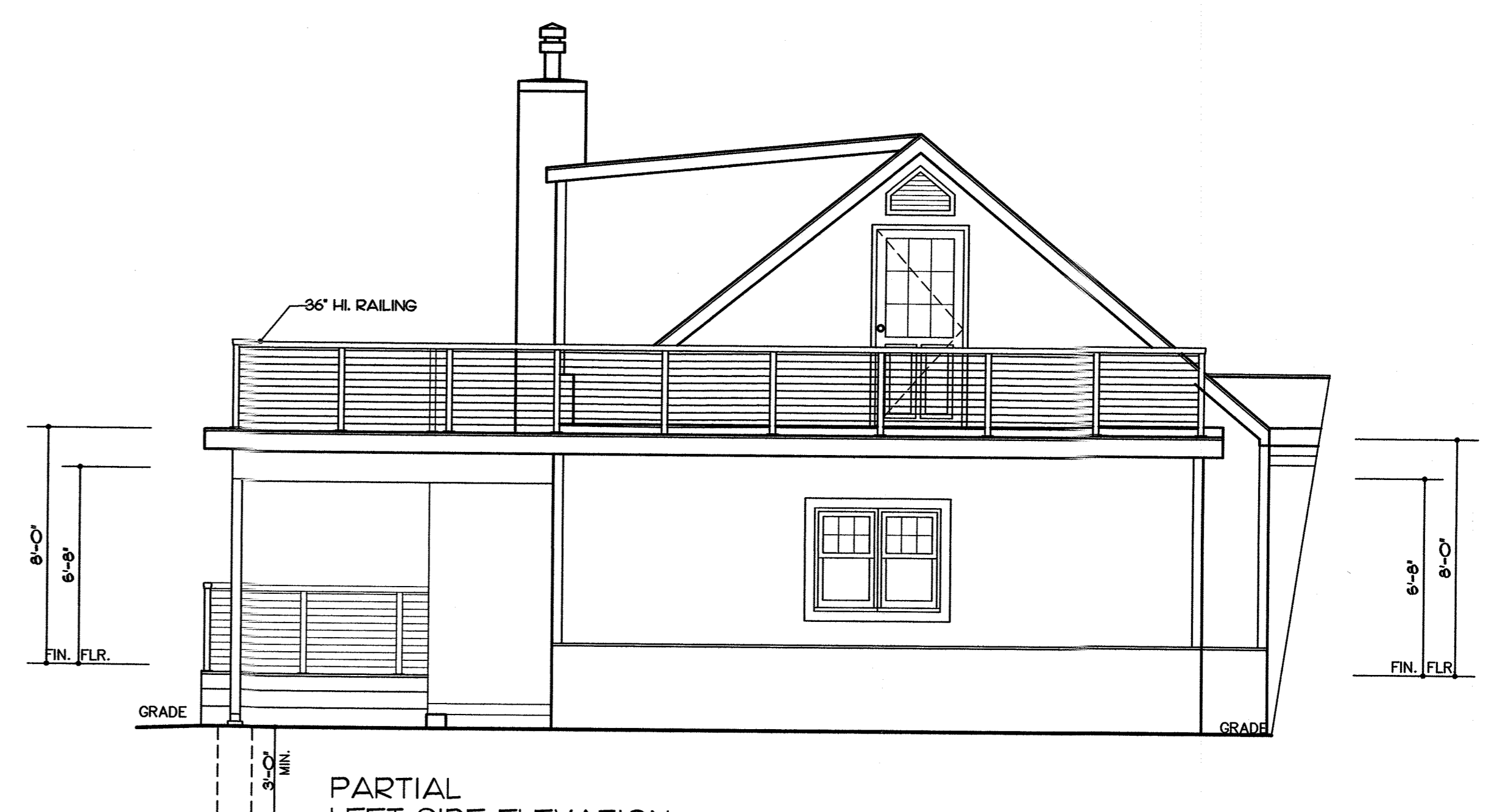


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 LAND USE BOARD

PAUL GDANSKI, PE PLLC	FILE #	128AMORY
3512 WHITTIER COURT MAHWAH, NJ 07430 TEL: (917) 418-0999	DATE	SEPT. 16, 2024
	SCALE	1" = 10'
	DWG	1 OF 1



REAR ELEVATION
SCALE: 1/4" = 1'-0"

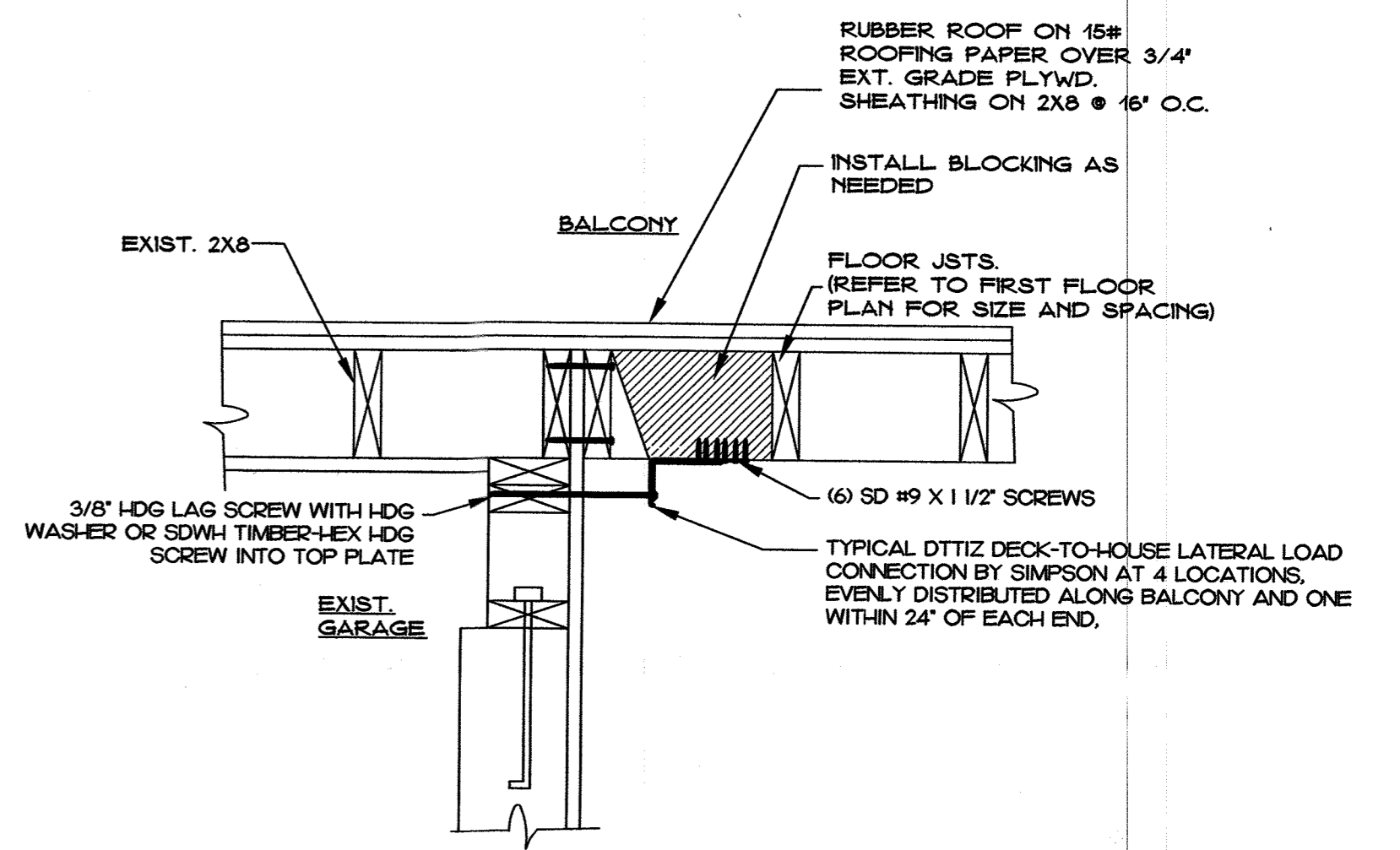


PARTIAL LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

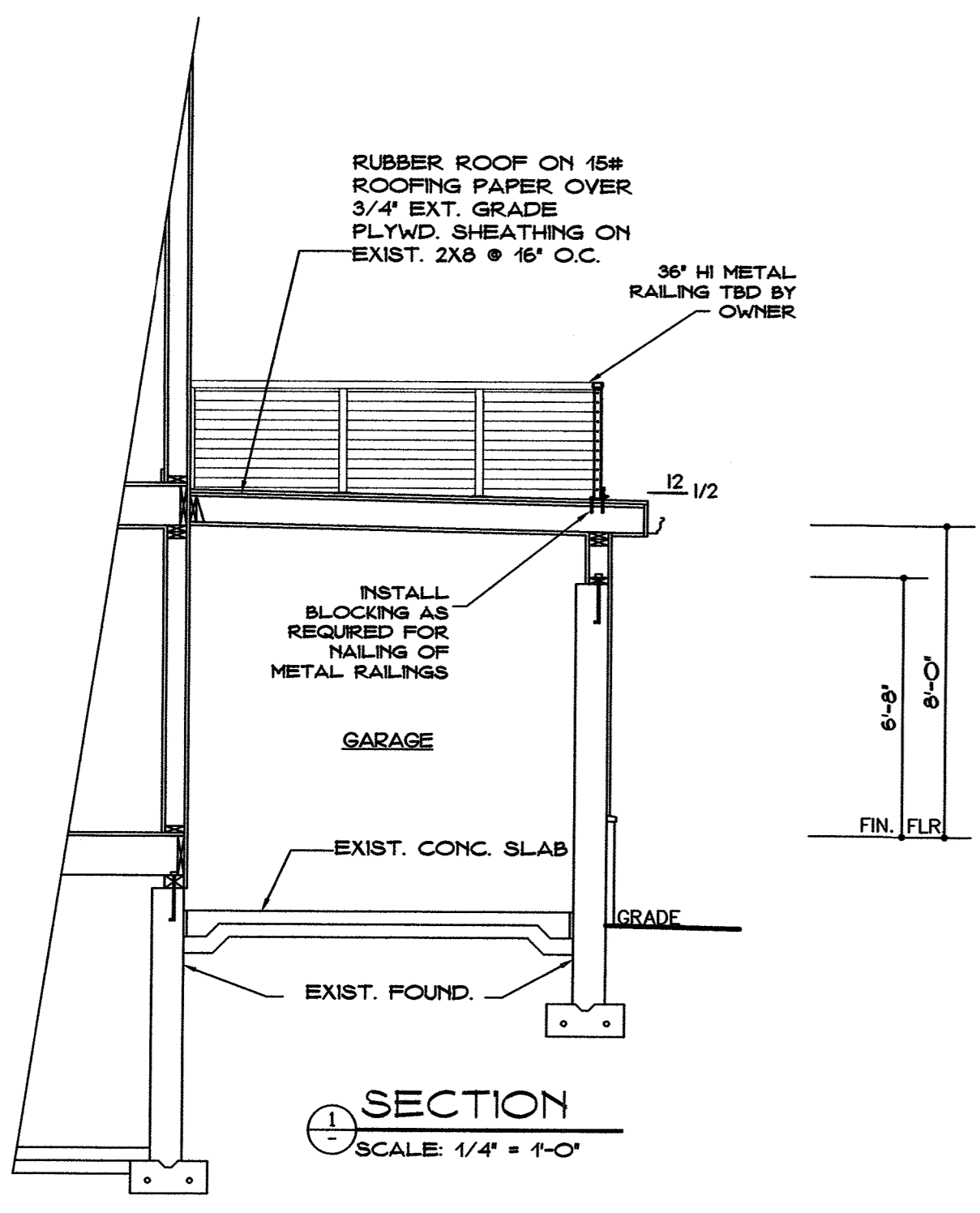
EXTERIOR LUMBER NOTES:
-ALL LUMBER EXPOSED TO EXTERIOR TO BE ACG PRESSURE TREATED LUMBER.
-ALL FASTENERS TO BE HOT DIP GALVANIZED.
-ALL FLASHING USED WITH ACG LUMBER TO BE COPPER.

APPLICABLE CODES: THE 2020 RCNYS.
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC CRITERIA

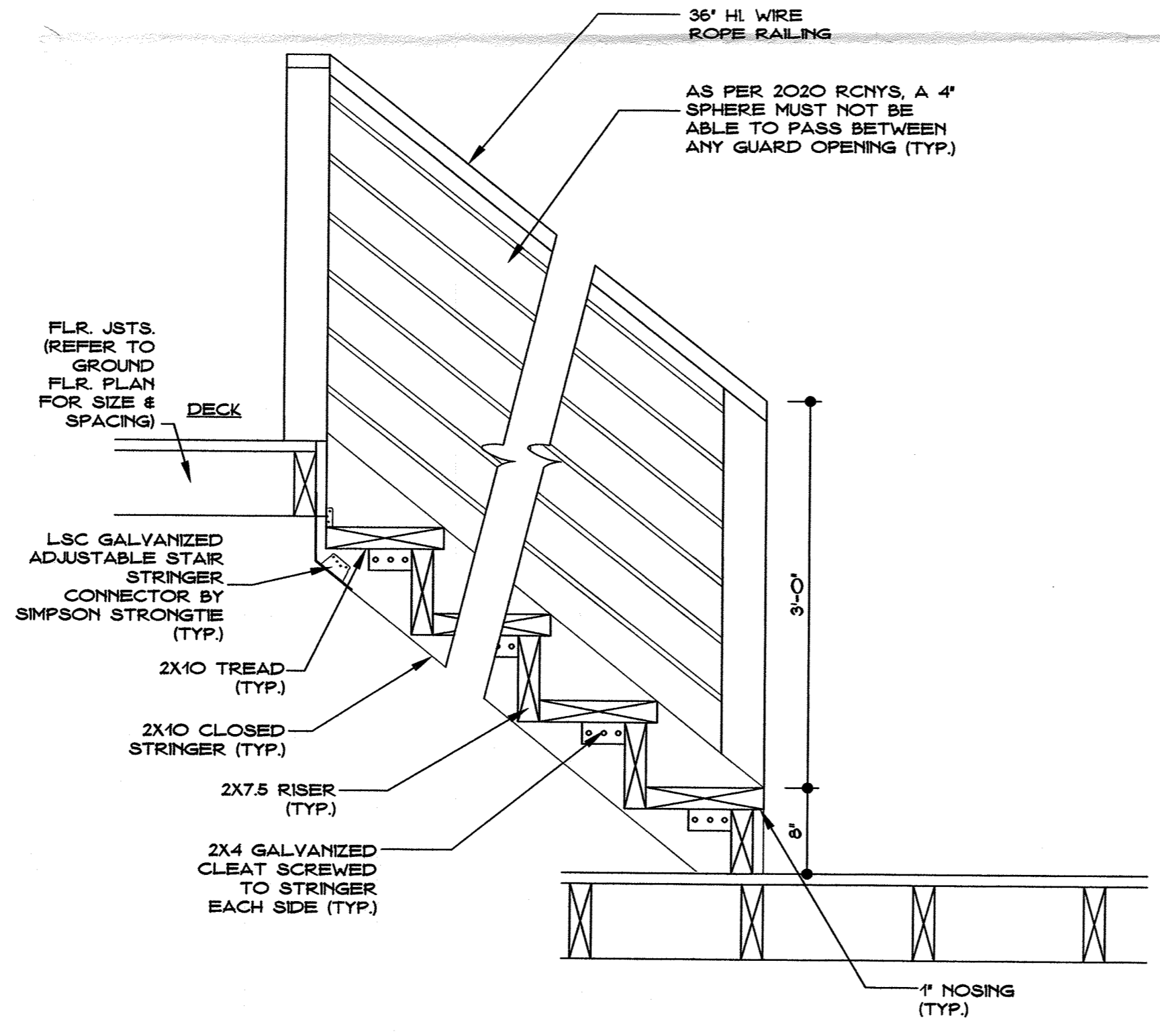
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
			WEATHERING	FROST LINE DEPT						
30 PSF	115	B	SEVERE	36"	MODERATE TO HEAVY	NO	YES	NA	1000	55 °F



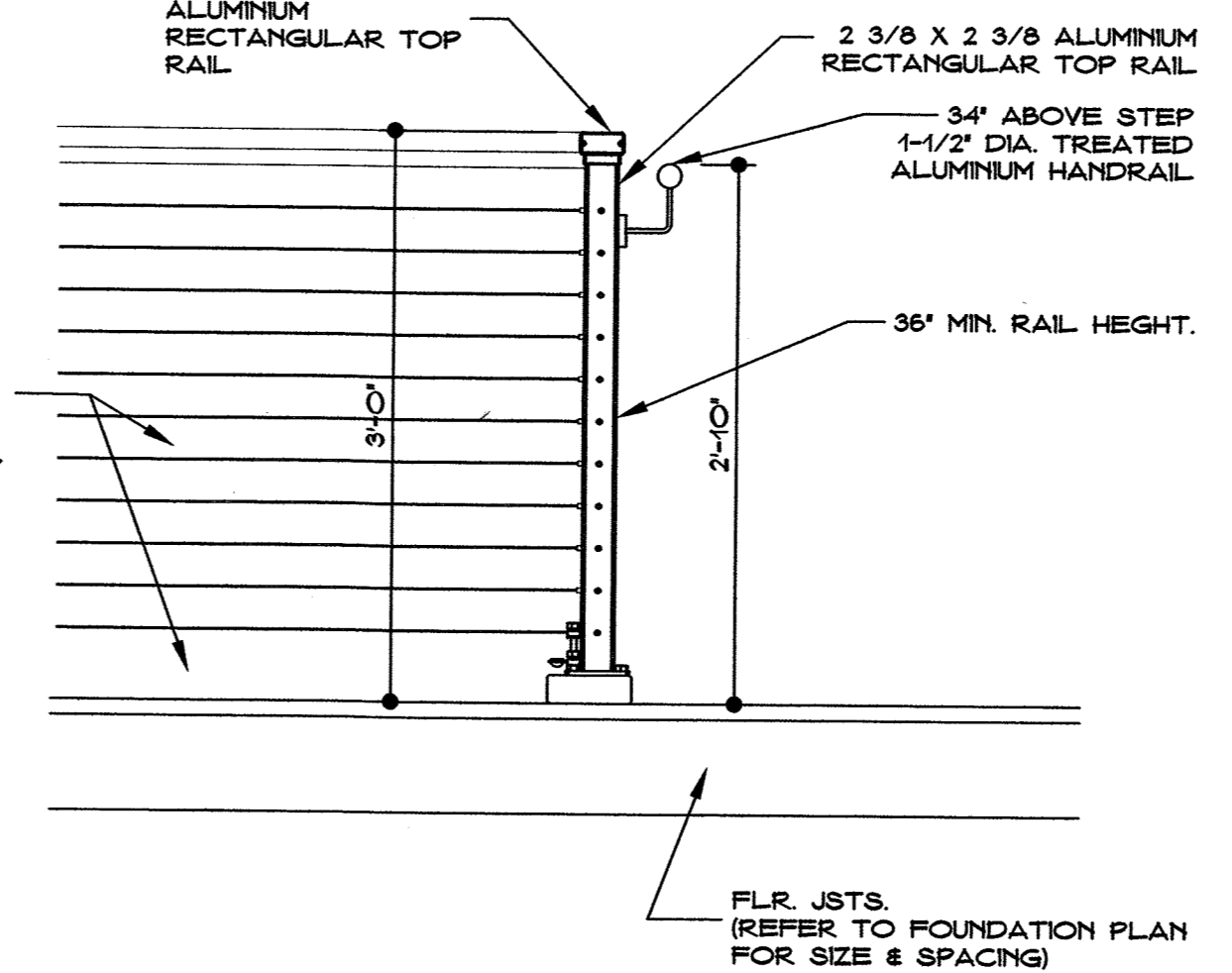
TYPICAL LATERAL LOAD DECK/HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"



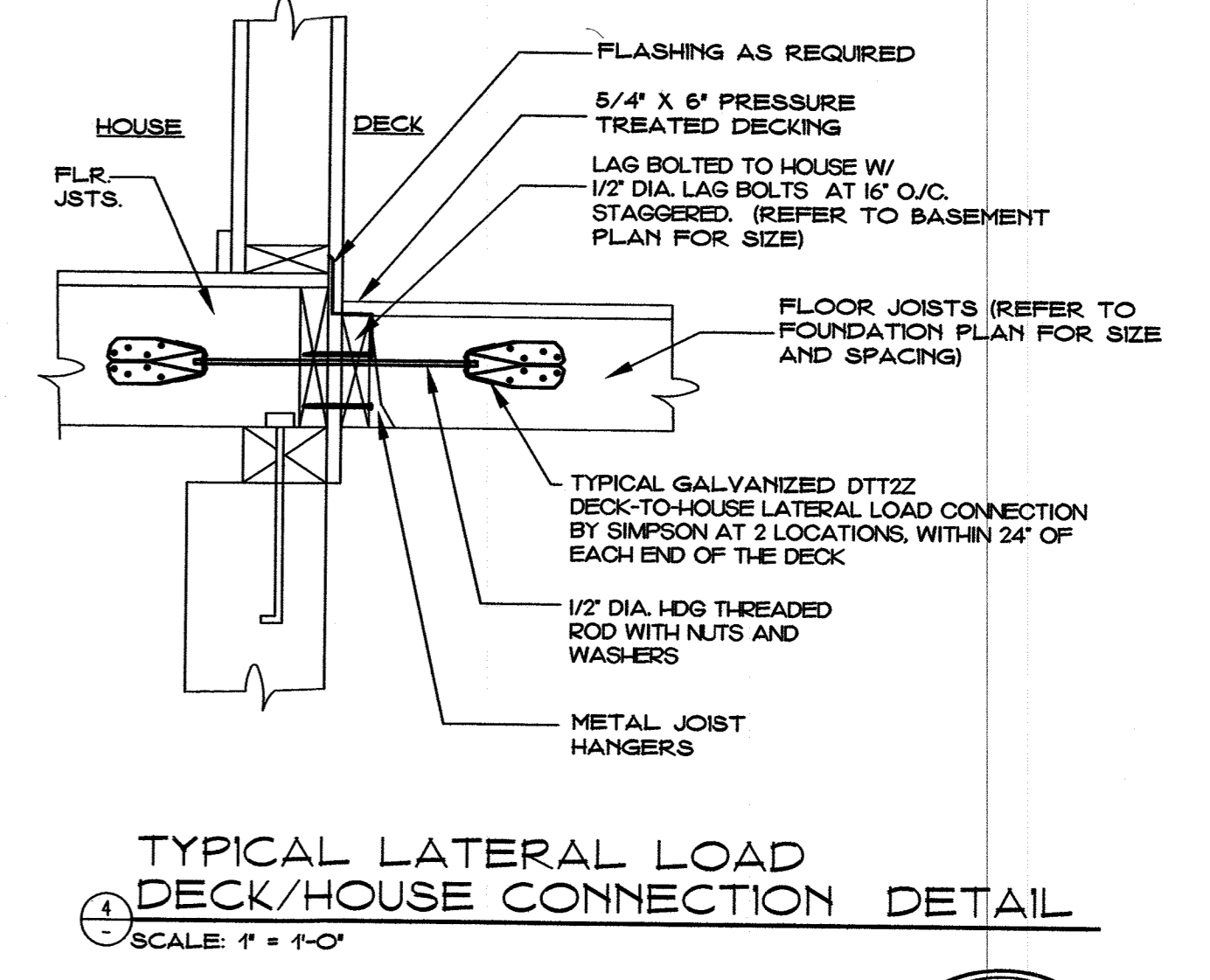
SECTION
SCALE: 1/4" = 1'-0"



PARTIAL EXTERIOR STAIR SECTION
SCALE: 1" = 1'-0"



PARTIAL STAIR HAND RAIL DETAIL
SCALE: 1" = 1'-0"



TYPICAL LATERAL LOAD DECK/HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"



PROPOSED AS-BUILT & ALTERATIONS FOR
JAIME CARDENAS CABRERA
128 AMORY AVE.
PEARL RIVER, NY 10965

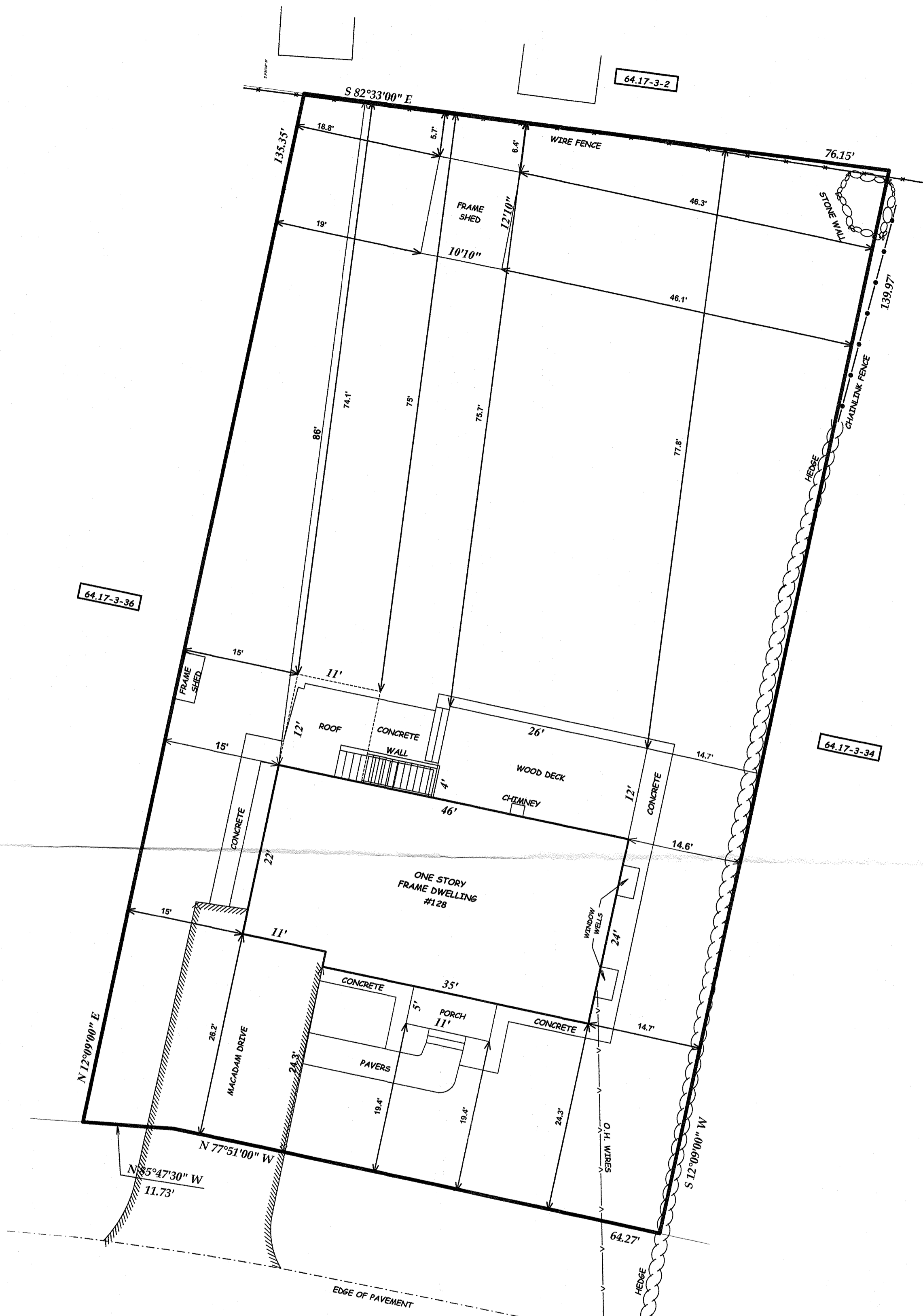
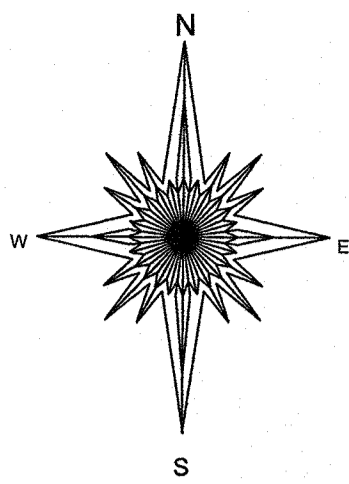
DATE	DRN BY	CHK.
01/29/24	DS	
04/12/24	CP	

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LAND USE BOARDS

PROJECT NO.
24-009
SHEET 1 OF 2
A-1

DO NOT SCALE PRINTS



SGT. AMORY AVENUE

LOT AREA = 10,394.59 SQUARE FEET
 TAX MAP DESIGNATION: 64.17-3-35
 SURVEY FOR
128 SGT. AMORY AVE

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 PEARL RIVER, NEW YORK
 JUNE 26, 2024 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.E.
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#76244

BULK REQUIREMENTS ZONE: CO EXISTING SINGLE FAMILY

USE GROUP	FLOOR AREA	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	MINIMUM TOTAL SIDE YARD	MINIMUM REAR YARD	MAXIMUM HEIGHT FEET
REQUIRED	0.20	30,000 S.F.	150'	50'	30'	35'	90'	50'	6" PER FT
EXISTING	0.10	10,394 S.F.	75.8**	76'	24.3**	14.6**	29.6**	86'	6" PER FT

*EXISTING CONDITION BULK TABLE REVISED 8/23/24



NOTE:
 IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY.
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