

SITE DEVELOPMENT PLANS

FOR

DATABANK ORANGEBURG PHASE 2 (LGA-4)

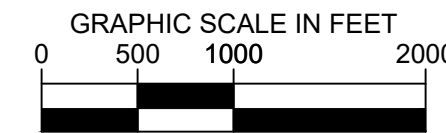
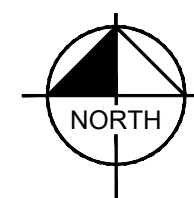
2000 CORPORATE DRIVE ORANGEBURG, NY 10962

DESIGN TEAM
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OWNER AND APPLICANT DATABANK 3110 N CENTRAL AVENUE, SUITE B-75 PHOENIX, AZ 85012 TEL: (347) 873-1480 CONTACT: TONY QORRI
RECORD OWNER
TAX MAP SECTION: 73.15 BLOCK: 1 LOT: 19
DISTRICTS ZONING: LIO - LIGHT INDUSTRIAL-OFFICE DISTRICT SCHOOL: PEARL RIVER FIRE: PEARL RIVER WATER: VEOLIA NEW YORK LIGHTING: TOWN OF ORANGETOWN SEWER: TOWN OF ORANGETOWN



SITE LOCATION MAP
SOURCE: NEARMAPS



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THIS SITE PLAN HAS BEEN APPROVED BY THE TOWN OF ORANGETOWN PLANNING BOARD, ROCKLAND COUNTY, NEW YORK.

DATE

BOARD CHAIRMAN

THIS SITE PLAN HAS BEEN APPROVED BY THE TOWN OF ORANGETOWN PLANNING BOARD, ROCKLAND COUNTY, NEW YORK.

DATE

BOARD SECRETARY

THIS SITE PLAN HAS BEEN APPROVED BY THE TOWN OF ORANGETOWN PLANNING BOARD, ROCKLAND COUNTY, NEW YORK.

DATE

BOARD ENGINEER

TITLE

THIS SITE PLAN HAS BEEN APPROVED BY THE PROPERTY OWNER.

DATE

PROPERTY OWNER

TITLE

NO.	DATE	DESCRIPTION
3	11/19/2024	ISSUED FOR TOWN OF ORANGETOWN REVIEW
2	08/26/2024	ISSUED FOR PRICING
1	08/12/2024	ISSUED FOR PRG REVIEW

FOR PERMIT REVIEW

KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY:	TAS	DRAWN BY:	KC	CHECKED BY:	DL
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COVER SHEET

DATABANK ORANGEBURG
PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
NEW YORK
TOWN OF ORANGETOWN

SHEET NUMBER
C-0.0



Know what's BELOW.
CALL before you dig.

CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG

THE EXACT LOCATION OF UTILITIES SHOWN IN THIS PLAN SET ARE UNKNOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) BY CALLING 811 AT LEAST 2 WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.

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GENERAL CONSTRUCTION NOTES

- NO WORK CAN BEGIN WITHOUT PERMIT IN HAND. PERMIT ISSUED UPON MEETING CONDITIONS OF PLANNING BOARD APPROVALS OBTAINED. FINAL SITE PLAN IS STAMPED, AND CONSTRUCTION PLANS ARE APPROVED BY BUILDING INSPECTOR.
- THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. NOT FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR AGENCY AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHOM THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION, UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF NEW YORK DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF NEW YORK PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE LOCATION OF ANY PROPOSED IMPROVEMENTS THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO TAKE OR FOR A RELATED CHANGE ORDER.
- ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILLS SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
- WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS AND OLD UTILITY SYSTEMS, SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, UTILITIES, UTILITY STRUCTURES, ASPHALT AND CONCRETE PAVEMENT, CONCRETE PAVERS, CONCRETE AND GRANITE CURBING, DRIVEWAY APRONS, CONCRETE AND ASPHALT RAMPS, SIDEWALKS, FENCINGS, RAILINGS, SLURBERIES, LIGHTING, RETAINING WALLS AND MISCELLANEOUS STRUCTURES.
- HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF ORANGETOWN CODE.
- PRIOR STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
- CONTRACTOR IS ALSO TO FAMILIARIZE HIMSELF WITH THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL REPORTS APPLICABLE TO THE SUBJECT. ASSUMED PROVIDED BY OTHERS.
- INFORMATION GIVEN IN THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL ENGINEERING REPORTS WAS OBTAINED FOR USE BY THE OWNER IN EXECUTION OF DESIGN. THE SUBSURFACE CONDITIONS DESCRIBED IN THE REPORTS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. THE SUBSURFACE STRATIGRAPHY SHOWN IN THE REPORTS ARE BASED ON NECESSARY INTERFERENCES BETWEEN BORINGS AND MAY OR MAY NOT REPRESENT ACTUAL SUBSURFACE CONDITIONS. THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS MADE FROM THE DATA IN THE REPORTS BY THE CONTRACTOR.
- CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITE/CIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF ORANGETOWN.
- ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS. THIS CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNERS USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.
- PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTIES.
- MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.
- REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
- PROVIDE AT LEAST SEVENTY-TWO (72) HOURS NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
- TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
- PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS OR OTHER CONSTRUCTION ACTIVITY.
- GENERAL: DEMOLISH ALL ITEMS AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK. COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND OTHER MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING OF ADJOINING STRUCTURES.
- ENGINEERING SURVEYS: PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS THAT MAY RESULT FROM BUILDING DEMOLITION ACTIVITIES.
- SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT, COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBSTRUCTIONAL CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
- REMOVE STRUCTURES AND OTHER SITE IMPROVEMENTS INTACT WHEN PERMITTED BY AUTHORITIES HAVING JURISDICTION.
- CONCRETE: CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.
- MASONRY: CUT MASONRY AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.
- CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, THEN BREAK UP AND REMOVE.

- EQUIPMENT: DISCONNECT EQUIPMENT AT NEAREST FITTING CONNECTION TO SERVICES, COMPLETE WITH SERVICE VALVES. REMOVE AS WHOLE UNITS, COMPLETE WITH CONTROLS.
- BELOW-GRADE CONSTRUCTION: DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION THAT IS WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON UNDERGROUND CONSTRUCTION OUTSIDE THIS AREA.
- REMOVE BELOW-GRADE CONSTRUCTION TO DEPTHS INDICATED ON THE PLANS.
- EXISTING BELOW-GRADE CONSTRUCTION SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND THEIR ZONES OF INFLUENCE (IF DETERMINED BY LINES EXTENDING AT LEAST ONE (1) FOOT LATERALLY BEYOND FOOTING EDGES FOR EACH VERTICAL FOOT OF DEPTH) AND EXCAVATED TO AT LEAST TWO (2) FEET BELOW PROPOSED FOUNDATION AND UNDERGROUND CONSTRUCTION DEPTHS TO ALLOW VERTICAL DRAINAGE TO OCCUR.
- FOUNDATION AND SLABS MAY REMAIN IN PLACE BELOW THESE DEPTHS BELOW GROUND SUPPORTED SLABS, PAVEMENTS AND LANDSCAPED AREAS, PROVIDED THEY ARE APPROVED BY THE GEOTECHNICAL ENGINEER AND DO NOT INTERFERE WITH FUTURE CONSTRUCTION (INCLUDING UTILITIES); HOWEVER, IF EXISTING SLAB OR STRUCTURE TO REMAIN SHOULD BE THOROUGHLY BROKEN TO ALLOW VERTICAL STABILIZATION TO OCCUR.
- EXISTING UTILITIES: ABANDON EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES. CUT UTILITIES FLUSH WITH GRADE.
- EXISTING UTILITIES: DEMOLISH EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES THAT ARE WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON UTILITIES OUTSIDE THIS AREA.
- FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
- EXISTING UTILITIES: DEMOLISH AND REMOVE EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES.
- SITE DRAINAGE: SITE SOILS MAY SOFTEN WHEN EXPOSED TO WATER. EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS AND OPEN EXCAVATIONS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS AND TRENCHES TO RAINFALL.
- BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR GEOTECHNICAL ENGINEER.
- SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE.
- PROVIDE CONTAINERS OR OTHER STORAGE METHOD APPROVED BY ARCHITECT FOR CONTROLLING RECYCLABLE MATERIALS UNTIL THEY ARE REMOVED FROM PROJECT SITE.
- STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS: PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE PLANS OR AS PROVIDED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.
- IF RECYCLABLE MATERIAL CANNOT BE USED ON-SITE, THE CONTRACTOR SHALL TRANSPORT THE RECYCLABLE MATERIALS OFF OWNERS PROPERTY AND LEGALLY DISPOSE OF THEM AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE SWANSON COUNTY PUBLIC UTILITY COMPANIES.
- DEMOLITION MATERIAL FREE OF ENVIRONMENTAL CONCERNS, AND APPROVED BY NYSDEC, MAY BE USED AS FILL MATERIAL, PROVIDED THE MATERIAL IS PROPERLY SEGREGATED AND PROCESSED AS FOLLOWS AND APPROVED FOR REUSE ON THE SITE BY THE GEOTECHNICAL ENGINEER:
 - CONCRETE MASONRY MATERIALS SHOULD BE CRUSHED TO A WELL GRADED BLEND WITH A MAXIMUM SIZE OF THREE (3) INCHES IN DIAMETER, PER EARTHWORK SPECIFICATIONS.
 - MILLED OR RECYCLED ASPHALT PAVEMENT (RAP) MAY BE REUSED AS GRANULAR BASE MATERIAL FOR PAVEMENTS, PROVIDED THAT THE RAP PARTICLE SIZE MEETS THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRANULAR BASE AND NO MORE THAN FIFTY (50) PERCENT OF THE PAVEMENT GRANULAR BASE CONTAINS RAP.
 - OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
 - EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNERS PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- BURNING: ON SITE BURNING OF RUBBISH AND OTHER DEMOLITION DEBRIS WILL NOT BE PERMITTED.
- DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND PROVIDE FOR THE LEGAL OFF SITE DISPOSAL OF THE MATERIAL IN ACCORDANCE WITH THE SMP.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN EXISTING AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A SURVEY PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING THE LOCATION AND THE ELEVATIONS TO WHICH THE DEMARCATION BARRIER IS INSTALLED.
- THE CONTRACTOR IS TO NOTE THAT THE WORK OF THIS CONTRACT WILL INCLUDE WORK BY OTHERS AND THE CONTRACTOR SHALL COORDINATE HIS WORK AND MAKE EVERY REASONABLE EFFORT TO PERMIT THE EXECUTION OF SUCH WORK BY OTHERS WITHOUT DELAY.
- IF TEMPORARY UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THEIR WORK.
- ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF ORANGETOWN BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE CONSISTENT PUBLIC UTILITY COMPANIES.
- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL RULES, LAWS, AND REGULATIONS.
- ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.
- SIZES OF EXISTING UTILITY LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK. THE RESULTS OF THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE TOWN OF ORANGETOWN AND IN ACCORDANCE WITH NEW YORK STATE LAW (CODE RULE 53) SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK, AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 800-862-7282 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS WHILE THE WORK IS PROGRESSING. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND USE AND ZONING REGULATIONS OF THE TOWN OF ORANGETOWN SHALL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM PER INCH DBH.
 - DRIP LINE OF THE TREE CANOPY: THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE (1) YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS: MINIMUM OF EIGHT (8) INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY: INSTALLATION OF ¾ INCH OF PLYWOOD OR BOARD, OR EQUAL OVER THE AREA TO BE PROTECTED.
 - THE BUILDER OR ITS AGENT MAY NOT CHANGE THE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE TOWN OF ORANGETOWN PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED BY MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
 - ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYSDEC APPROVED STORMWATER MANAGEMENT PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
 - EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS TO BE REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS CONTRACT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.
 - UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL MATCH THE MATERIALS, TYPES, THICKNESS AND QUALITY OF EXISTING BITUMINOUS CONCRETE PAVEMENTS, WALKWAYS AND CURBS WITH THE PUBLIC RIGHT-OF-WAY WHICH ARE TO BE REPLACED.
 - AS A REFERENCE STANDARD, ALL WORK CONTAINED HEREIN SHALL BE GOVERNED BY THE REQUIREMENTS SET FORTH IN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS" AS PUBLISHED BY THE NYSDOT, DESIGN AND CONSTRUCTION DIVISION, DATED JANUARY 2, 2002, INCLUDING ALL LATEST AMENDMENTS THERETO.
 - AT NO TIME SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
 - WITH REGARD TO EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISHED GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.
 - CONTRACTOR SHALL REVIEW PLANS FROM SITE PREPARATION AND SITE PACKAGE CONTRACT AND FAMILIARIZE THEMSELVES WITH PREVIOUS SCOPE OF WORK.
 - CONTRACTOR SHALL LIMIT ACTIVITIES IN AREAS OF DEVELOPMENT THAT ARE OCCUPIED.
 - THE GENERATORS WILL ONLY BE TESTED FROM 8:00 AM TO 5:00 P.M. MONDAY THROUGH FRIDAY. ONLY ONE GENERATOR WILL BE TESTED AT A TIME. THE TESTING SCHEDULE SHALL BE PROVIDED TO THE TOWN OF ORANGETOWN OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT.

PAVING, GRADING AND DRAINAGE NOTES

- CONTRACTOR SHALL MAINTAIN GRADES AT ENTRANCES TO PHASE 2 CONSTRUCTION.
- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKSMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
- TRAFFIC CONTROL: ON ALL NYSDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY ARE THOROUGHLY BROKEN TO ALLOW VERTICAL STABILIZATION TO OCCUR.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH TOPSOIL AND SEED AS INDICATED ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND REMOVE THE FABRIC UPON ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOW.
- DEWATERING DISCHARGE WILL NOT BE PERMITTED TO DISCHARGE INTO OPEN GROUNDS. IT SHALL BE TREATED AND DISCHARGED INTO THE COUNTY SEWER. PERMIT TO BE COORDINATED BY THE OWNER.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE TOWN OF ORANGETOWN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE TOWN OF ORANGETOWN. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCH AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODES.
- EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID CHARGES.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

BUILDING AND SAFETY DIVISION NOTES

- FILL TO BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY AS DETERMINED BY A S.T.M. SOIL COMPACTION TEST D1557.
- FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1586-97 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922-2017. IN FINE GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2957 AS T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED TESTS UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
- NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
- NO FILL TO BE PLACED UNTIL STRIPPING VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
- FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.
- SEE GRADING PLANS FOR EARTHWORK VOLUMES.
- FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
- DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
- ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1% TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.
- APPROVAL OF THIS PLAN BY THE TOWN OF ORANGETOWN BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.
- FILLS SHALL BE BENCHED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGIC HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
- THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE LONGER MAINTAINED UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETEIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RISE-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASIN SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50 CUBIC YARDS / ACRE.
 - ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

WATER AND SEWER UTILITY NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF ORANGETOWN AND THE JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A HANDLED TEST OR GRABBER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

RECORD DRAWINGS

- WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, BOTH PREPARED BY A NEW YORK REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

- CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED COMPLETE.

DOCUMENT USE

- THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSION NYSDOT STANDARD SUBETS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

KIM PROJECT		DATE		SCALE		DESIGNED BY:		DRAWN BY:		CHECKED BY:	

FILED MAP REFERENCE:
"Subdivision Map for Verizon Wireless"
Filed in the Rockland County Clerk's Office
03/15/2024 as Map #7643
Subject Lot 1

"Minor Subdivision for Salisbury Development Corp."
Filed in the Rockland County Clerk's Office
2/24/1975 as Map #4995
Part of Lot 18

DEED REFERENCE:
Document# 2017-0040515
Recorded 12/18/2017
Grantor: Verizon Wireless
Grantee: Skoe Group LLC

GENERAL NOTES:
To date, no Title Report or Abstract of Title has been provided. This survey is subject to a current, up to date Title Report.

Property corner monuments were not placed as part of this survey.
This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.

Unauthorized alteration or addition to this survey is a violation of Section 2209, subdivision 2 of the New York State Education Law.

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Underground structures, if any exist, are not shown hereon, except as noted. The location of underground improvements or encroachments are not always known and often must be estimated. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to this surveyor, they may not be shown on this map and are not certified.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person or entity for whom this survey was prepared and on their behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees thereof.

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Area = 33.925 Acres

- LEGEND**
- Catch Basin
 - Light Pole
 - Manhole
 - △ Sign
 - Chain Link Fence
 - CBRW - Conc. Bl. Ret. Wall
 - Water Valve
 - Electric Box
 - Gas Valve

- Legend- Aerial Topography**
- BUSH-DECIDUOUS
 - ★ BUSH-EVERGREEN
 - CATCH BASIN
 - MANHOLE
 - △ SIGN
 - STUMP
 - TREE-DECIDUOUS
 - ★ TREE-EVERGREEN
 - CONTOUR-INDEX
 - CONTOUR-INTER
 - CONTOUR-INDEX-OBSCURED
 - CONTOUR-INTER-OBSCURED
 - SPOT ELEVATION
 - BRUSH LINE
 - FENCE LINE
 - LIGHT POLE
 - PAINTED LINES
 - RETAINING WALL
 - STONE WALL
 - SWAMP
 - TRAIL OR PATH
 - TREE LINE

- TELECOMMUNICATIONS MARKOUT
- GAS LINE MARKOUT
- ELECTRIC LINE MARKOUT
- UNKNOWN LINE MARKOUT
- WATER LINE MARKOUT
- SEWER SERVICE

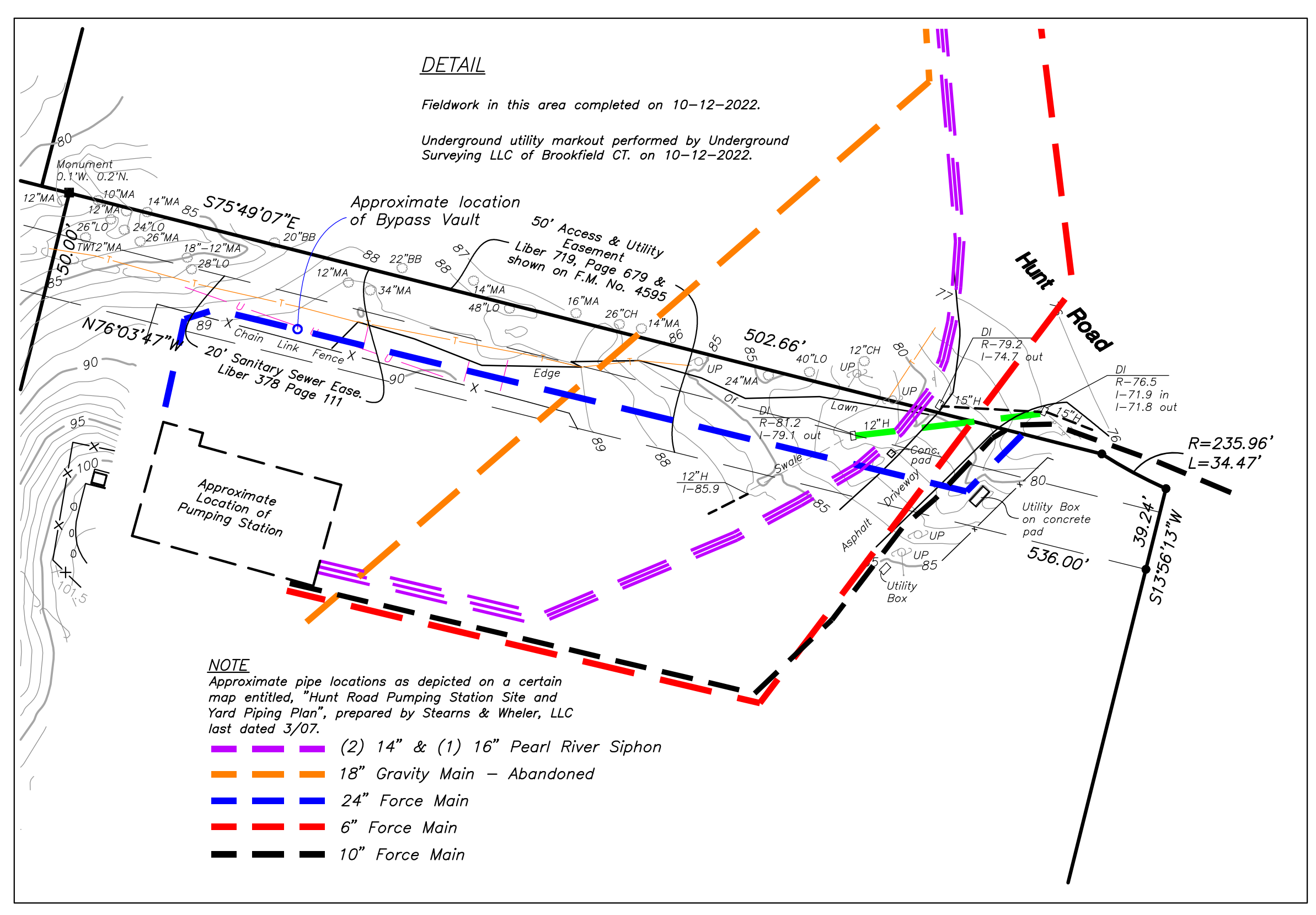
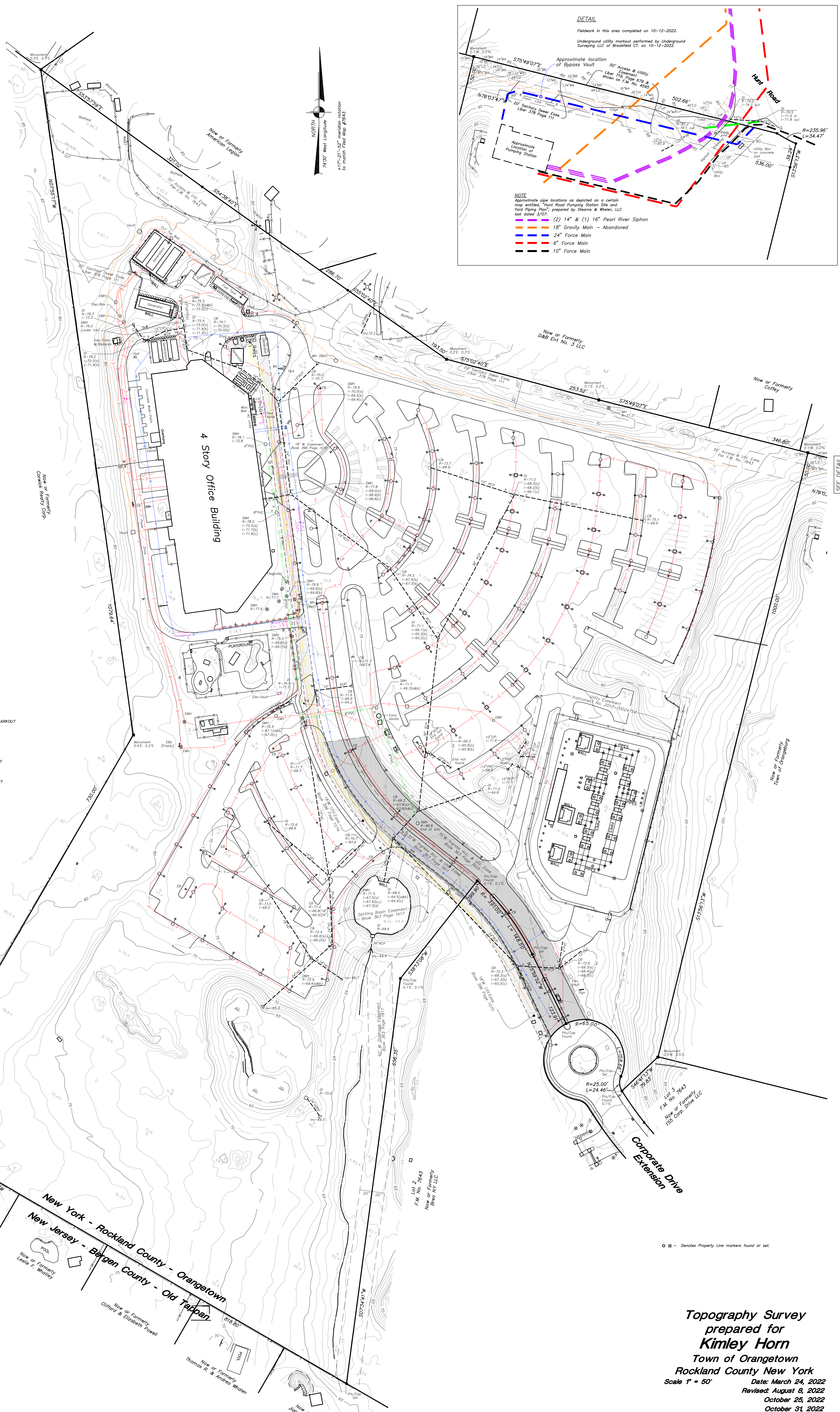
UNDERGROUND UTILITY MARKOUT PERFORMED BY UNDERGROUND SURVEYING OF BROOKFIELD CT. ON 1-12-2022.

PHOTOGRAMMETRY BY:
Geomaps INTERNATIONAL
270 Speaght Rd, Ste 205 Mamaroneck, NY 11747
TEL: (914) 827-9100 FAX: (914) 827-9101
Map Scale: 1 inch = 50 feet
Contour Interval: 1'
Photo Date: November 24, 2021
Geomatics Job: 21-390
CORPORATE PARK DRIVE

Topographic and Planimetric details shown were derived from aerial photographs taken November 24, 2021 by Geomaps International.

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Corbett Place
Cornwall, NY 10822
(845) 225-9995
(845) 225-9171 fax
www.insite-emp.com

JEFFREY B. DEROSA, LS
New York State License No. 050749
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Topography Survey prepared for Kimley Horn
Town of Orangetown
Rockland County New York
Date: March 24, 2022
Revised: August 3, 2022
October 25, 2022
October 31, 2022
November 4, 2022

GRAPHIC SCALE
0 50 100 150
1 inch = 50 ft.

Horizontal Coord = NAD83
Vertical Datum = NAVD88

21252.00
Kimley Horn Orangeburg Surveying

FILED MAP REFERENCE:
"Subdivision Map for Verizon Wireless"
Filed in the Rockland County Clerk's Office
03/15/2024 as Map #7843
Subject Lot 1

"Minor Subdivision for Salisbury Development Corp."
Filed in the Rockland County Clerk's Office
2/24/1975 as Map #4995
Part of Lot 18

DEED REFERENCE:
Document# 2017-0040515
Recorded 12/18/2017
Grantor: Verizon Wireless
Grantee: Skoe Group LLC

GENERAL NOTES:
To date, no Title Report or Abstract of Title has been provided. This survey is subject to a current, up to date Title Report.
Property corner monuments were not placed as part of this survey.
This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.
Unauthorized alteration or addition to this survey is a violation of Section 2209, subdivision 2 of the New York State Education Law.

The alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Underground structures, if any exist, are not shown hereon, except as noted. The location of underground improvements or encroachments are not always known and often must be estimated. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to this surveyor, they may not be shown on this map and are not certified.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person or entity for whom this survey was prepared and on their behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees thereof.

Certifications are not transferable to additional lending institutions or subsequent owners.
This property may be affected by instruments which have not been provided to this surveyor. Users of this map should verify title with their attorney or a qualified title examiner.

Only copies from the original of this survey marked with the surveyor's embossed seal are genuine, true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.

Area = 33.925 Acres

- LEGEND**
- Catch Basin
 - Light Pole
 - Manhole
 - △ Sign
 - Chain Link Fence
 - CBRM - Conc. Bl. Ret. Wall
 - Water Valve
 - Electric Box
 - Gas Valve

Legend- Aerial Topography

- | | |
|--------------------------|------------------|
| ○ BUSH-DECIDUOUS | — BRUSH LINE |
| ★ BUSH-EVERGREEN | — FENCE LINE |
| □ CATCH BASIN | ○ LIGHT POLE |
| ○ MANHOLE | — PAINTED LINES |
| ○ POLE | — RETAINING WALL |
| △ SIGN | — STONE WALL |
| ● STUMP | — SWAMP |
| ○ TREE-DECIDUOUS | — TRAIL OR PATH |
| ★ TREE-EVERGREEN | — TREE LINE |
| — CONTOUR-INDEX | |
| — CONTOUR-INTER | |
| — CONTOUR INDEX-OBSCURED | |
| — CONTOUR INTER-OBSCURED | |
| ○ SPOT ELEVATION | X 356.4 |

- TELECOMMUNICATIONS MARKOUT
- GAS LINE MARKOUT
- ELECTRIC LINE MARKOUT
- UNKNOWN LINE MARKOUT
- WATER LINE MARKOUT
- SEWER SERVICE

UNDERGROUND UTILITY MARKOUT PERFORMED BY UNDERGROUND SURVEYING OF BROOKFIELD CT. ON 1-12-2022.

PHOTOGRAMMETRY BY:



270 Speaght Rd, Ste 205 Mamaroneck, NY 11747
TEL: (914) 827-9100 FAX: (914) 827-9101
Map Scale: 1 inch = 50 feet
Contour Interval: 1'
Photo Date: November 24, 2021
Geomaps Job: 21-390
CORPORATE PARK DRIVE

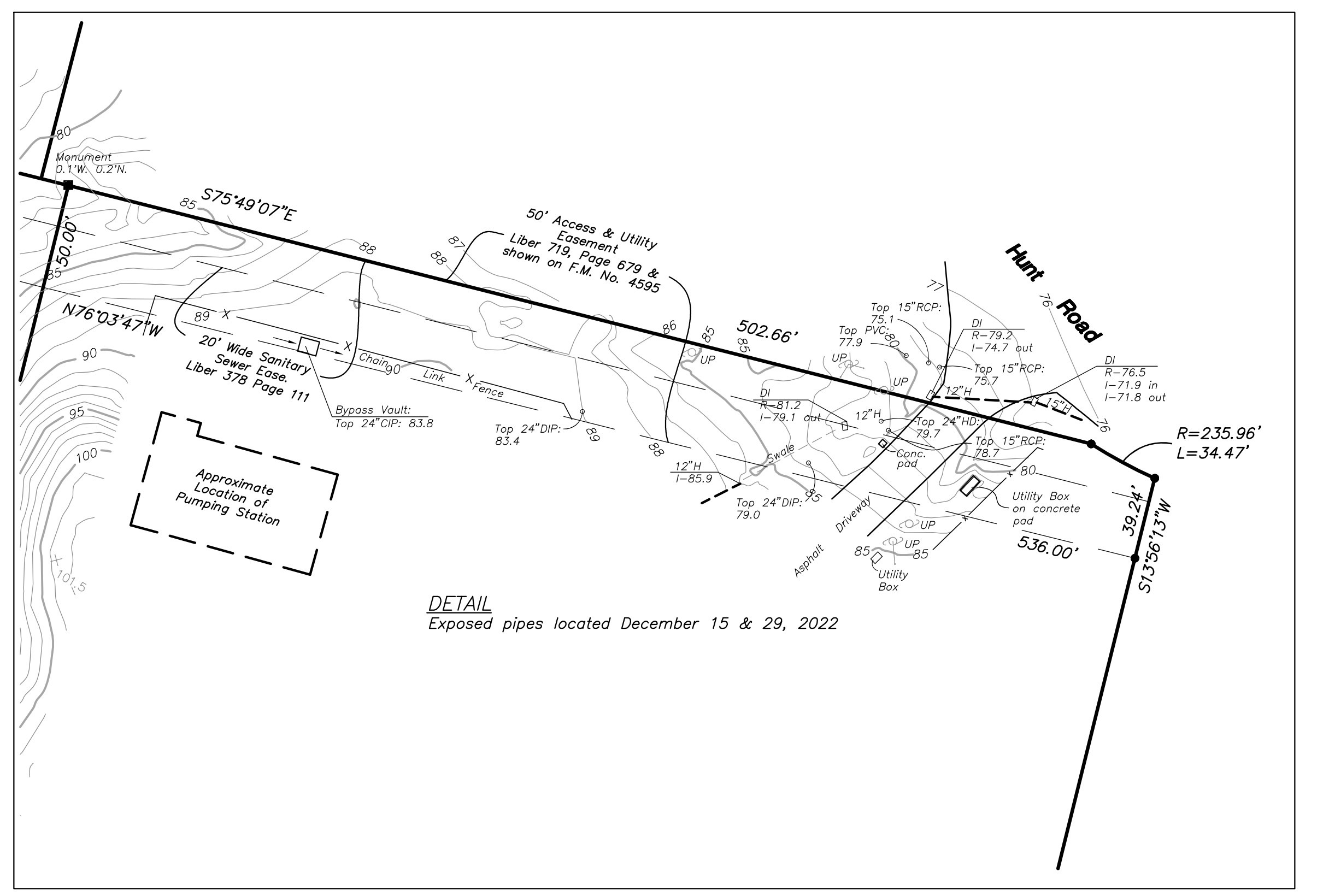
Topographic and Planimetric details shown were derived from aerial photographs taken November 24, 2021 by Geomaps International.

JEFFREY B. DE ROSA, LS
New York State License No. 050749

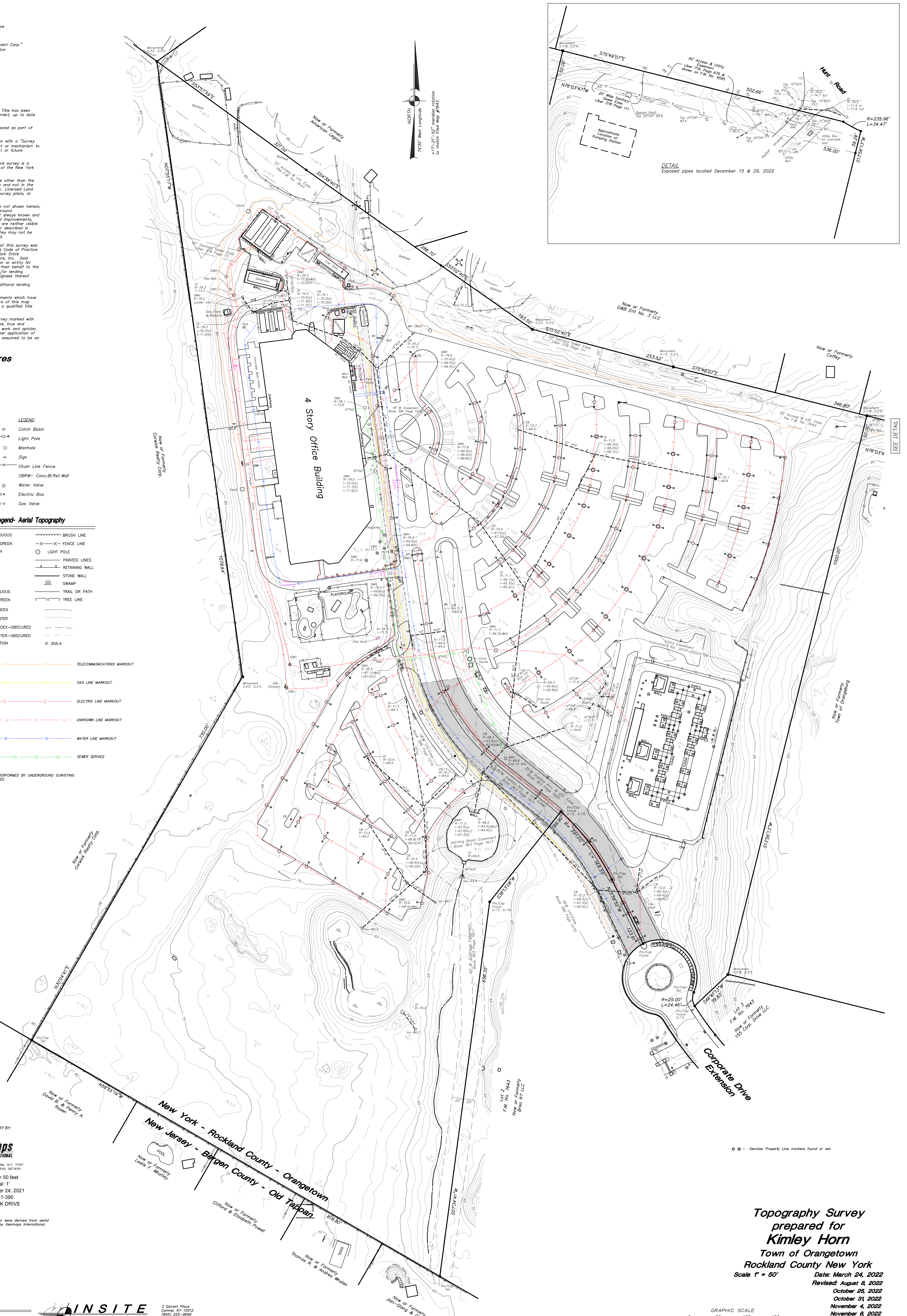


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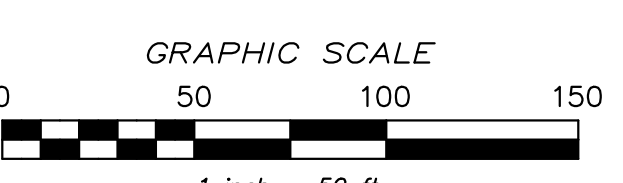


SEE DETAIL



○ B - Denotes Property Line markers found or set.

Topography Survey
prepared for
Kimley Horn
Town of Orangetown
Rockland County New York
Date: March 24, 2022
Revised: August 8, 2022
October 26, 2022
October 31, 2022
November 4, 2022
November 8, 2022
January 4, 2023



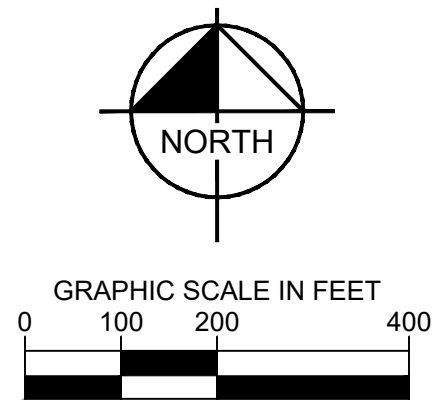
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Vertical Datum = NAVD88

Saved Thursday, October 31, 2024 1:04:06 PM KITTLY CHEN Plotted Friday, November 15, 2024 12:04:55 PM Suddeth, Trent
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200' ABUTTERS LIST (PROVIDED BY ORANGETOWN)

SWIS	PRINT KEY	NAME	ADDRESS
392489	73.10-1-3	Cornick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-1	Atlas Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-3	Cornick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-4	Atlas Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.14-1-2	Atlas Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.15-1-1	Cornick Realty Corp	7 Van Terrace, Sparkill, NY 10978
392489	73.15-1-2	American Legion	7 Van Terrace, Sparkill, NY 10978
392489	73.15-1-3	Joseph Chimenti	
392489	73.15-1-4	D & B Ent No 3 LLC	10 Dorsley Ct, Orangeburg, NY 10962
392489	73.15-1-5	James Coffey	95 Putnam Ave, Poughkeepsie, NY 10523
392489	73.15-1-6	Melody P F Fire	P.O. Box 66, Orangeburg, NY 10962
392489	73.15-1-7	Jacqueline M Fire	28 Stratton Rd, West Nyack, NY 10994
392489	73.15-1-8	85 Hunt Road LLC	15 Winding Way, Upper Saddle River, NJ 07458
392489	73.15-1-9	Claude Baumann	
392489	73.15-1-10	Korea Butch	73 Hunt Rd, Orangeburg, NY 10962
392489	73.15-1-11	67 Hunt Road LLC	67 Hunt Rd, Orangeburg, NY 10962
392489	73.15-1-12	Brightview Lakes Tappan LLC	P.O. Box 92123, Southlake, TX 75092
392489	73.15-1-13	Atlas Group	
392489	73.15-1-14	Kazcelegit LLC	2 Roly'n Hill Dr, Orangeburg, NY 10962
392489	73.15-1-15	Joseph Msaale	41 Hunt Rd, Orangeburg, NY 10962
392489	73.15-1-16	Grace B Meyer	9 Paradise Ave, Piermont, NY 10969
392489	73.15-1-17	Dalton America Inc	20 Olympic Dr, Orangeburg, NY 10962
392489	73.15-1-18	SQ Properties LLC	8 Olympic Dr, Orangeburg, NY 10962
392489	73.15-1-19	Town Of Orangetown	28 Orangetown Rd, Orangetown, NY 10962
392489	73.15-1-20	BREC NY LLC	731 Lexington Ave, New York, NY 10022
392489	73.16-1-1	Peter Smith	2000 Corporate Drive LLC
392489	73.16-1-2	Cornick Realty Corp	400 S Akard St Ste 100, Dallas, TX 75202
392489	73.16-1-3	Atlas Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.16-1-4	Town Of Orangetown	28 Orangetown Rd, Orangetown, NY 10962
392489	73.16-2-78	Clairns Usa Inc	15 Olympic Dr, Orangeburg, NY 10962
392489	73.19-1-1	BREC NY LLC	731 Lexington Ave, New York, NY 10022
392489	73.19-1-2	Peter Smith	
392489	73.19-1-3	30 Corporate LLC	151 N Main St Ste 400, New City, NY 10956
392489	73.19-1-4	Collaberc Inc	20 Corporate Dr, Orangeburg, NY 10962
392489	73.19-1-5	One Olympic Drive LLC	1 Olympic Dr, Orangeburg, NY 10962
392489	73.19-1-6	23 Corporate Drive LLC	200 Performance Dr Ste 207, Mahwah, NJ 07485
392489	73.19-1-7	Ford 33 Realty LLC	100 Challenger Rd Ste 105, Ridgefield Park, NJ 07650



NOTES

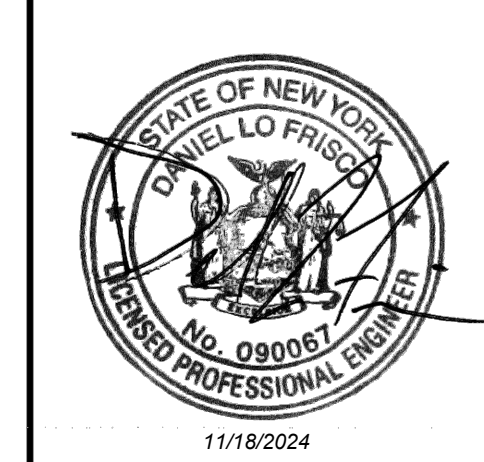
- ZONING MAP SOURCE: ORANGETOWN ZONING MAP (ADOPTED DECEMBER 11 2018) https://www.orangetown.com/wp-content/uploads/Orangetown_Zoning_Adopted_Dec_11_2018_opt.pdf
- PARCEL DATA SOURCE: ROCKLAND COUNTY GIS MAP APPLICATION, PLANNING DEPARTMENT -GIS <https://www.rocklandgis.com/portal/apps/notes/#/dataapp/71bc97364aa743858f9457585a88fa>
- ABUTTERS LIST SOURCE: ROCKLAND COUNTY GIS AND BERGEN COUNTY GIS
- KIMLEY-HORN DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED ON THIS SHEET. INFORMATION PROVIDED FOR GENERAL INFORMATIONAL PURPOSES ONLY.

NO.	DATE	DESCRIPTION
1	11/19/2024	ISSUED FOR TOWN OF ORANGETOWN REVIEW
2	06/22/2024	ISSUED FOR PRICING
3	06/22/2024	ISSUED FOR PRG REVIEW
4	06/12/2024	ISSUED FOR PRG REVIEW

FOR PERMIT REVIEW

Kimley-Horn
New York
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1 NORTH AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: 914-388-9200
WWW.KIMLEY-HORN.COM

DATABANK

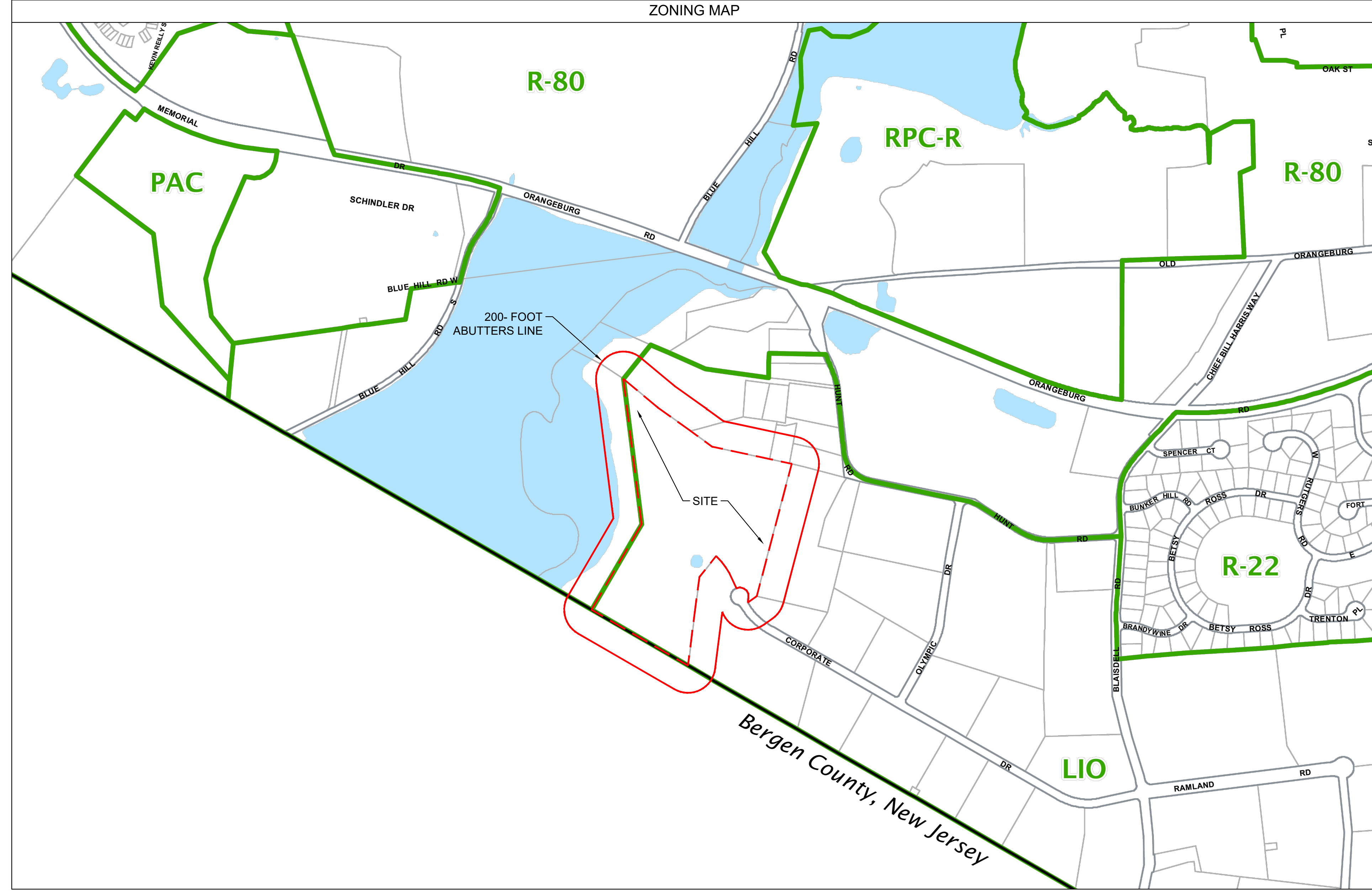


KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

ZONING AND ABUTTERS PLAN

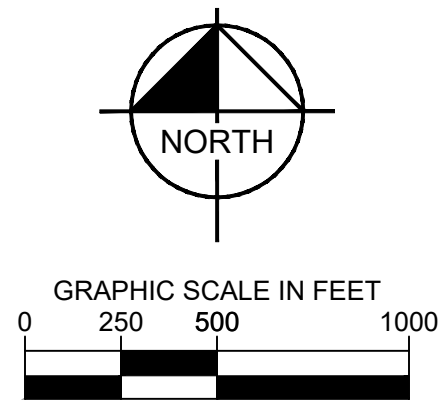
DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-1.0

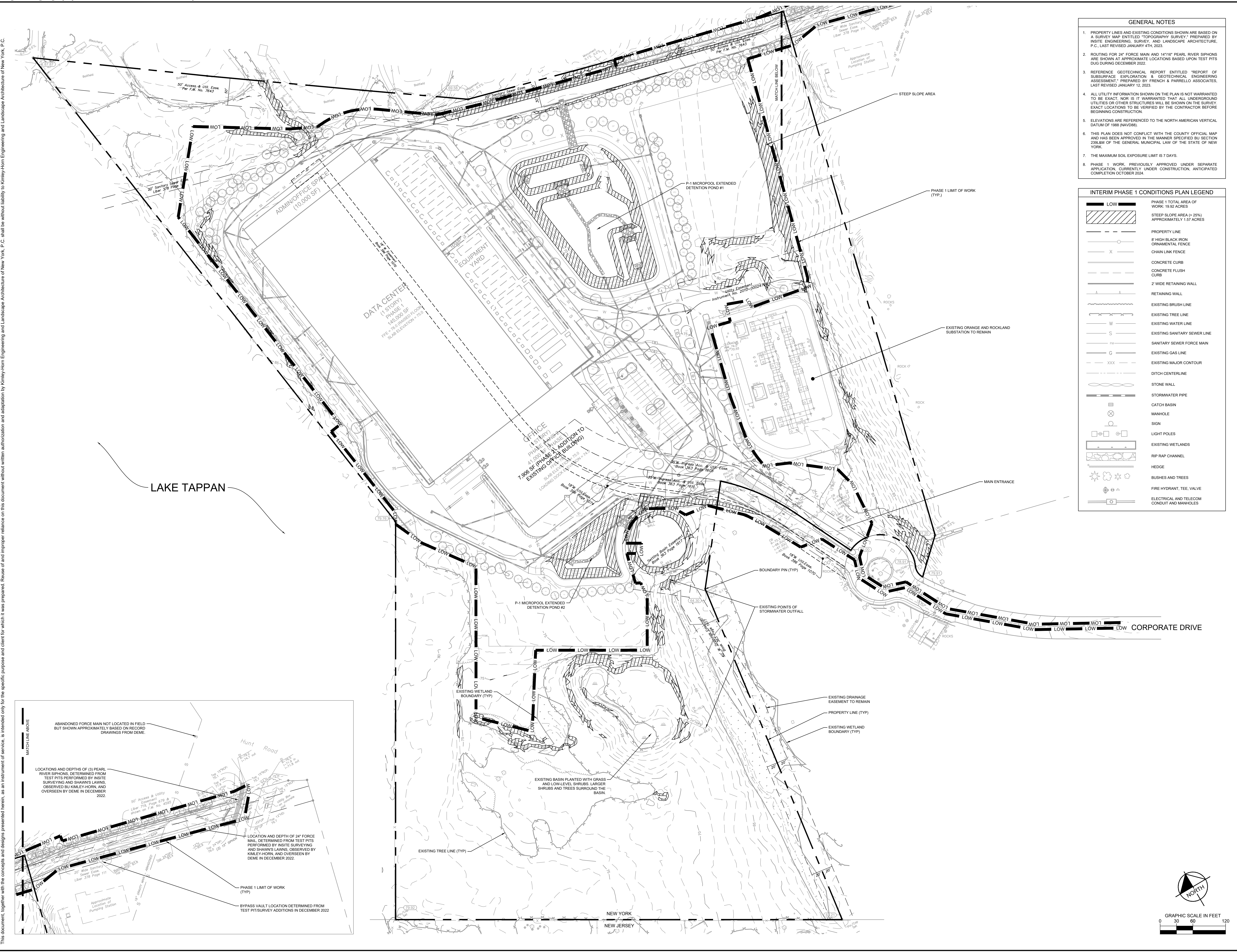


Legend

- Zoning District
- R-80 Zoning District Label
- Orangetown Critical Environmental Area
- Route 303 Zone Overlay
- Sparkill Hamlet Center Overlay
- Historic Districts
- Town Boundary
- Village Boundary
- Road Right-of-Way
- Parcel



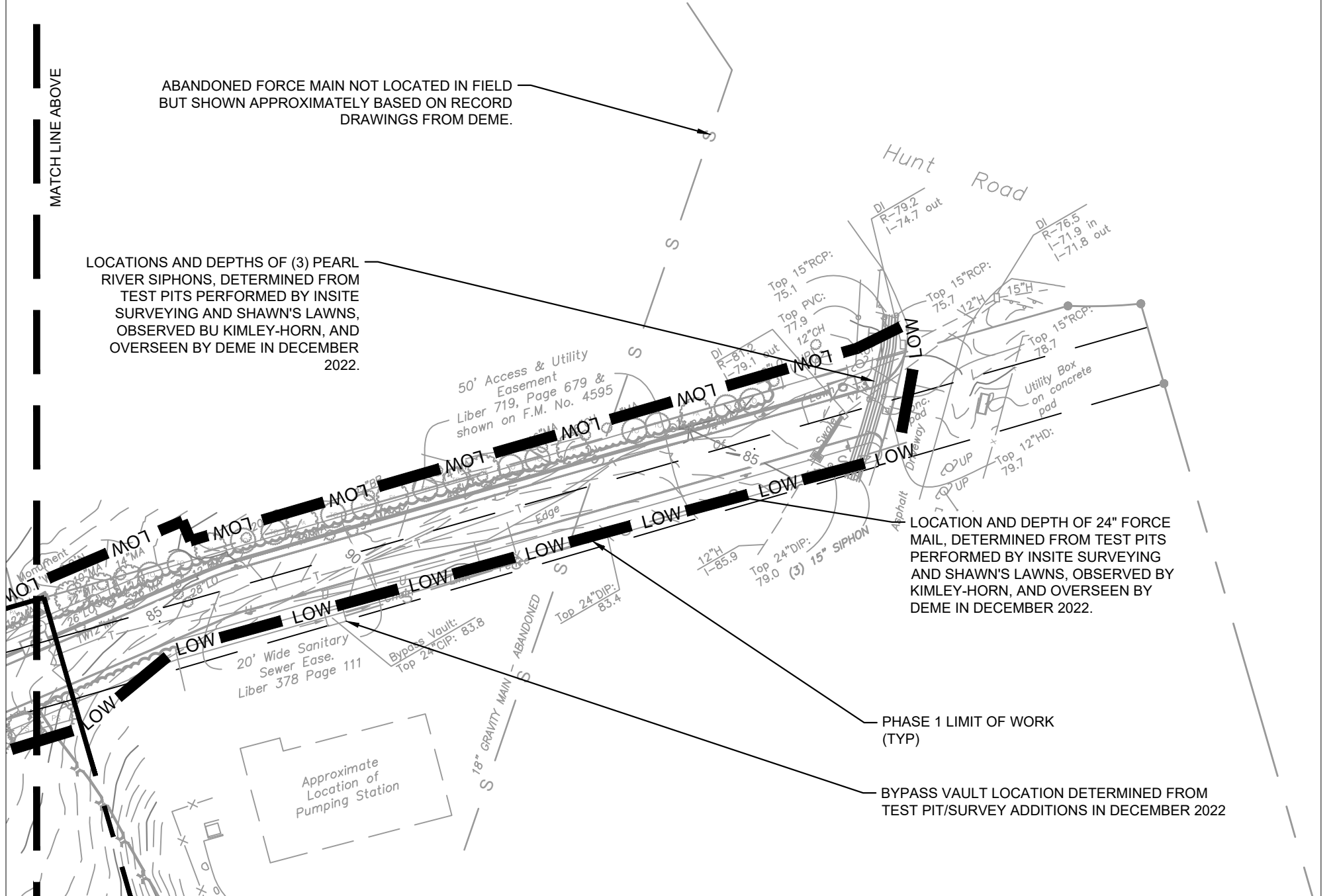
Saved Friday, November 15, 2024 10:53:16 AM TRENT SUDDETH Plotted Friday, November 15, 2024 12:05:13 PM Suddeth, Trent
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- GENERAL NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C. LAST REVISED JANUARY 4TH, 2023.
 - ROUTING FOR 24" FORCE MAIN AND 14" PEARL RIVER SIFONS ARE SHOWN AT APPROXIMATE LOCATIONS BASED UPON TEST PITS DUG DURING DECEMBER 2022.
 - REFERENCE GEOTECHNICAL REPORT ENTITLED "REPORT OF SUBSURFACE EXPLORATION & GEOTECHNICAL ENGINEERING ASSESSMENT" PREPARED BY FRENCH & PARRELO ASSOCIATES, LAST REVISED JANUARY 12, 2023.
 - ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
 - ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 228.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.
 - PHASE 1 WORK, PREVIOUSLY APPROVED UNDER SEPARATE APPLICATION, CURRENTLY UNDER CONSTRUCTION, ANTICIPATED COMPLETION OCTOBER 2024.

INTERIM PHASE 1 CONDITIONS PLAN LEGEND

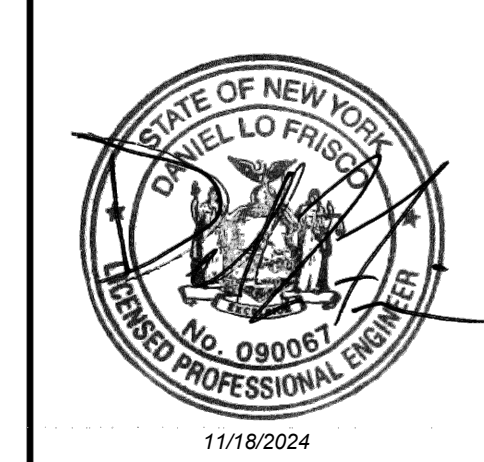
	PHASE 1 TOTAL AREA OF WORK: 19.92 ACRES
	STEEP SLOPE AREA (> 25%) APPROXIMATELY 1.57 ACRES
	PROPERTY LINE
	8' HIGH BLACK IRON ORNAMENTAL FENCE
	CHAIN LINK FENCE
	CONCRETE CURB
	CONCRETE FLUSH CURB
	2' WIDE RETAINING WALL
	EXISTING BRUSH LINE
	EXISTING TREE LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	SANITARY SEWER FORCE MAIN
	EXISTING GAS LINE
	EXISTING MAJOR CONTOUR
	DITCH CENTERLINE
	STONE WALL
	STORMWATER PIPE
	CATCH BASIN
	MANHOLE
	SIGN
	LIGHT POLES
	EXISTING WETLANDS
	RIP RAP CHANNEL
	HEDGE
	BUSHES AND TREES
	FIRE HYDRANT, TEE, VALVE
	ELECTRICAL AND TELECOM CONDUIT AND MANHOLES



NO.	ISSUED FOR PRICING	ISSUED FOR PRE REVIEW	DESCRIPTION	DATE
3	11/19/2024		ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024
2	06/25/2024		ISSUED FOR PRICING	06/25/2024
1	06/12/2024		ISSUED FOR PRE REVIEW	06/12/2024

FOR PERMIT REVIEW

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 New York
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 WHITE PLAINS, NY 10607
 PHONE: 914-388-6000
 WWW.KIMLEY-HORN.COM



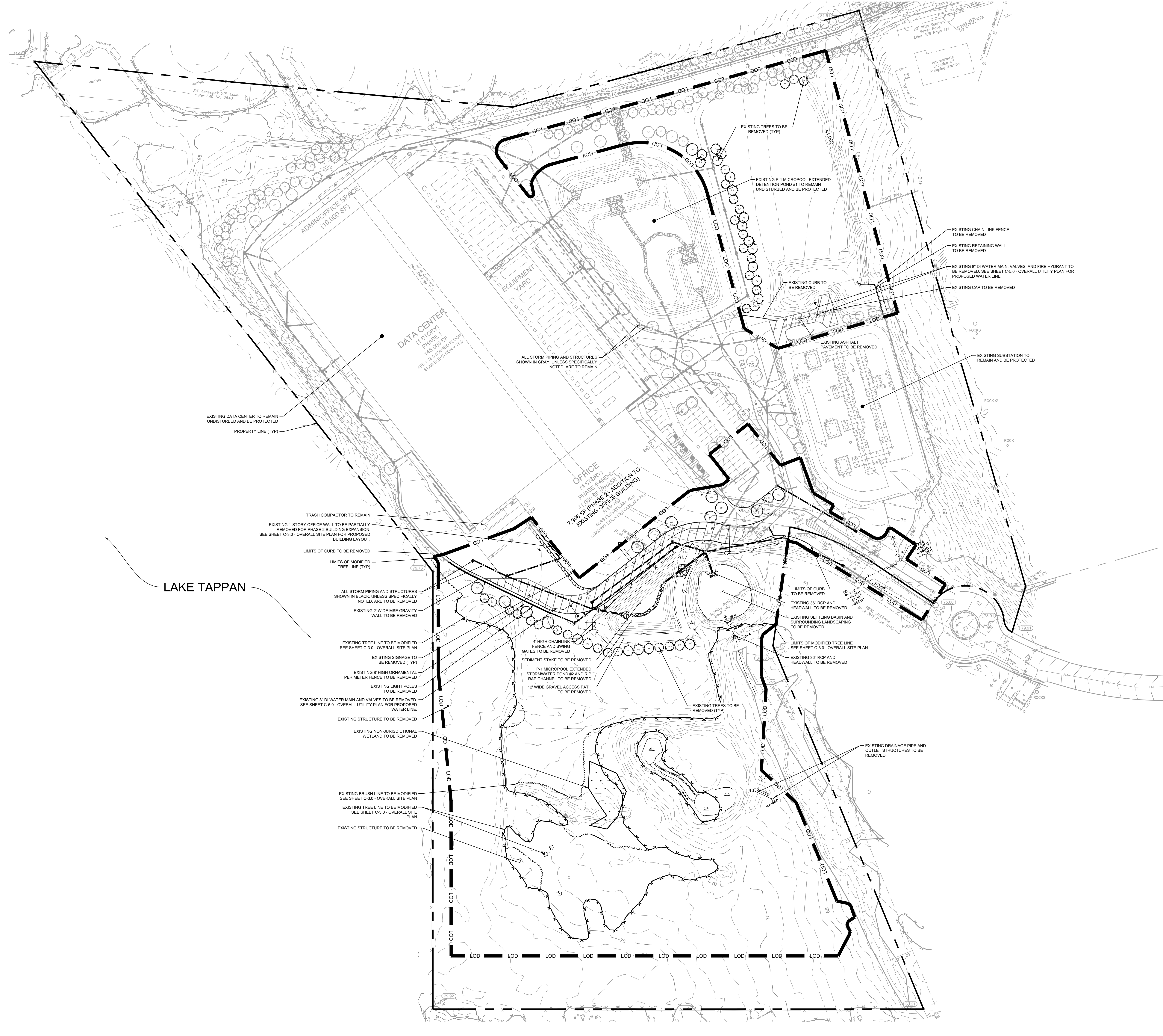
KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY:	TAS	DRAWN BY:	KC	CHECKED BY:	DL
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INTERIM CONDITION PLAN (PREVIOUSLY APPROVED PHASE 1)

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
C-2.0

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SITE REMOVALS LEGEND	
	PROPERTY LINE
	TOTAL AREA OF DISTURBANCE (13.99 AC)
	EXAMPLE OF PIPE AND STRUCTURES TO REMAIN (REFER TO NOTE 7)
	EXAMPLE OF PIPE AND STRUCTURES TO BE REMOVED (REFER TO NOTE 7)
	ASPHALT PAVEMENT REMOVAL

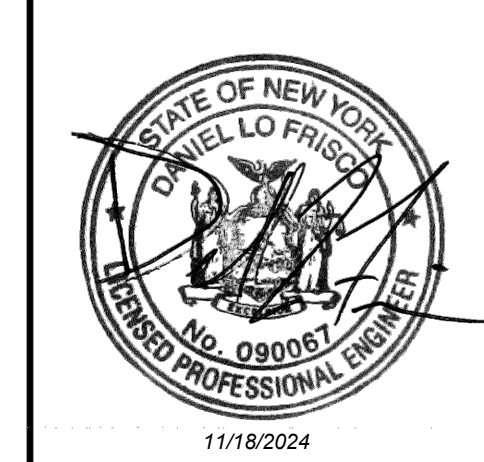
- SITE REMOVALS NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C. LAST REVISED JANUARY 4TH, 2023.
 - REFERENCE GEOTECHNICAL REPORT ENTITLED "REPORT OF SUBSURFACE EXPLORATION & GEOTECHNICAL ENGINEERING ASSESSMENT" PREPARED BY FRENCH & PARRELO ASSOCIATES, LAST REVISED JANUARY 12, 2023.
 - ROUTING FOR 24" FORCE MAIN AND 14" PEARL RIVER SIPHONS ARE SHOWN AT APPROXIMATE LOCATIONS BASED UPON TEST PITTS DUG DURING DECEMBER 2022.
 - ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN ON THE ABOVE MENTIONED SURVEY.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - ALL LINEWORK AND NOTATION SHOWN IN BLACK ARE ITEMS OR AREAS TO BE REMOVED, AND ALL LINEWORK SHOWN IN GRAY ARE ITEMS TO REMAIN.
 - CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.
 - ALL TRUCK TRAFFIC WILL BE ON EXISTING PAVEMENT; THERE, A STABILIZED CONSTRUCTION ENTRANCE IS NOT NEEDED. ALL SEDIMENT TRACKING ON EXISTING PAVEMENT SHALL BE PREVENTED BY PERIODIC PAVEMENT SWEEPINGS.
 - PER CHAPTER 22 OF THE TOWN OF ORANGETOWN CODE, "THE FOLLOWING ACTS ARE PROHIBITED: THE SOUND OF ANY POWER TOOL, MACHINERY OR EQUIPMENT IN USE IN ANY CONSTRUCTION PROJECT OR THE REPAIR OF ANY BUILDING IN ANY COMMERCIAL ACTIVITY OR MANUFACTURING PROCESS NOT WHOLLY CONTAINED WITHIN A CLOSED STRUCTURE IN ANY ZONE OTHER THAN A RESIDENTIAL ZONE, PRIOR TO 10:00 AM OR AFTER 8:00 PM."
 - INLET PROTECTION AND SILT FENCE TO BE INSTALLED PRIOR TO DEMOLITION ACTIVITIES. REFER TO SHEET C-6.0 - OVERALL EROSION & SEDIMENT CONTROL PLAN.

NO.	ISSUED FOR PRICING	ISSUED FOR TOWN OF ORANGETOWN REVIEW	DATE
1	08/25/2024	11/19/2024	
2	08/25/2024		
3			

FOR PERMIT REVIEW

Kimley-Horn
New York
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WHITE PLAINS, NY 10601
PHONE: 914-388-8000
WWW.KIMLEY-HORN.COM

DATABANK

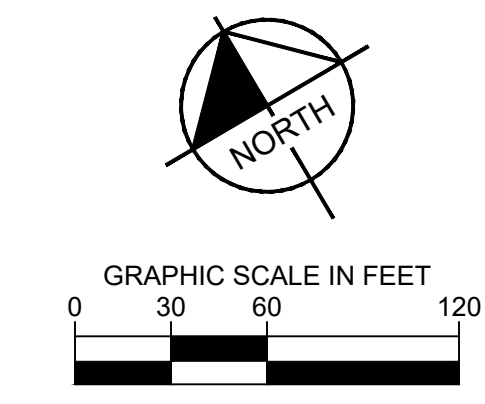


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DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

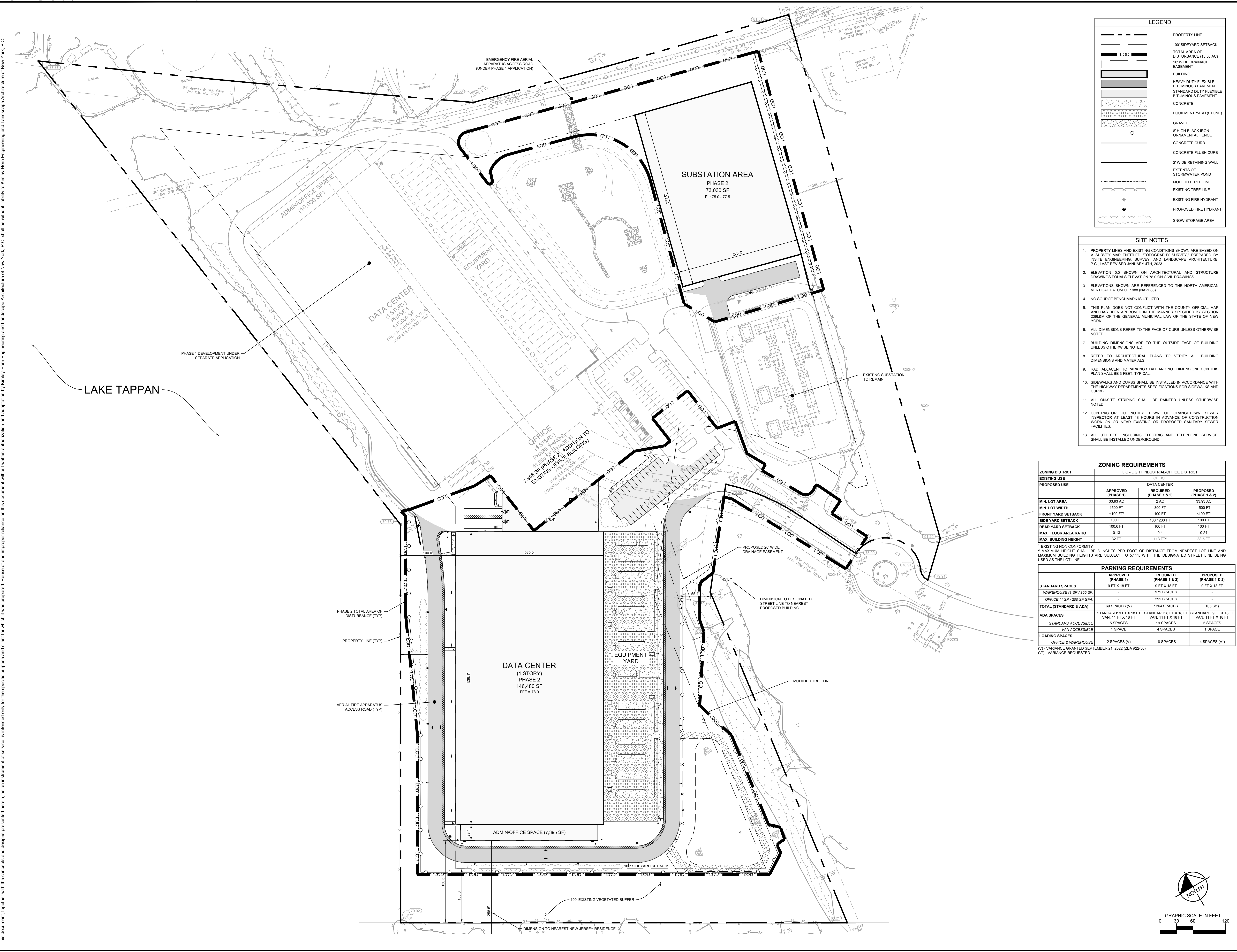
OVERALL SITE REMOVALS PLAN

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER C-2.1



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LEGEND

	PROPERTY LINE
	100' SIDEYARD SETBACK
	TOTAL AREA OF DISTURBANCE (13.50 AC)
	20' WIDE DRAINAGE EASEMENT
	BUILDING
	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
	CONCRETE
	EQUIPMENT YARD (STONE)
	GRAVEL
	8' HIGH BLACK IRON ORNAMENTAL FENCE
	CONCRETE CURB
	CONCRETE FLUSH CURB
	EXTENTS OF STORMWATER POND
	MODIFIED TREE LINE
	EXISTING TREE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	SNOW STORAGE AREA

- SITE NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY", PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C. LAST REVISED JANUARY 4TH, 2023.
 - ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURE DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - NO SOURCE BENCHMARK IS UTILIZED.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS AND MATERIALS.
 - RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
 - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS.
 - ALL ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

ZONING REQUIREMENTS

ZONING DISTRICT	LID - LIGHT INDUSTRIAL-OFFICE DISTRICT		
EXISTING USE	OFFICE		
PROPOSED USE	APPROVED (PHASE 1)	REQUIRED (PHASE 1 & 2)	PROPOSED (PHASE 1 & 2)
MIN. LOT AREA	33.93 AC	2 AC	33.93 AC
MIN. LOT WIDTH	1500 FT	300 FT	1500 FT
FRONT YARD SETBACK	<100 FT	100 FT	<100 FT
SIDE YARD SETBACK	100 FT	100 / 200 FT	100 FT
REAR YARD SETBACK	100.6 FT	100 FT	100 FT
MAX. FLOOR AREA RATIO	0.13	0.4	0.24
MAX. BUILDING HEIGHT	32 FT	113 FT ²	38.5 FT

¹ EXISTING NON CONFORMITY
² MAXIMUM HEIGHT SHALL BE 3 INCHES PER FOOT OF DISTANCE FROM NEAREST LOT LINE AND MAXIMUM BUILDING HEIGHTS ARE SUBJECT TO 5.111, WITH THE DESIGNATED STREET LINE BEING USED AS THE LOT LINE.

PARKING REQUIREMENTS

	APPROVED (PHASE 1)	REQUIRED (PHASE 1 & 2)	PROPOSED (PHASE 1 & 2)
STANDARD SPACES	9 FT X 18 FT	9 FT X 18 FT	9 FT X 18 FT
WAREHOUSE (1 SP / 300 SF)	-	972 SPACES	-
OFFICE (1 SP / 200 SF GFA)	-	292 SPACES	-
TOTAL (STANDARD & ADA)	69 SPACES (V)	1264 SPACES	105 (V) ¹
ADA SPACES	STANDARD: 9 FT X 18 FT VAN: 11 FT X 18 FT	STANDARD: 8 FT X 18 FT VAN: 11 FT X 18 FT	STANDARD: 9 FT X 18 FT VAN: 11 FT X 18 FT
STANDARD ACCESSIBLE	5 SPACES	5 SPACES	5 SPACES
VAN ACCESSIBLE	1 SPACE	4 SPACES	1 SPACE
LOADING SPACES	OFFICE & WAREHOUSE	2 SPACES (V)	18 SPACES
			4 SPACES (V) ²

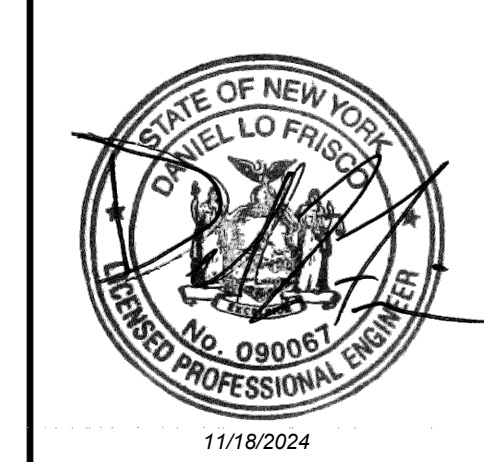
(V) - VARIANCE GRANTED SEPTEMBER 21, 2022 (ZBA #22-56)
 (V¹) - VARIANCE REQUESTED

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRICING	08/22/2024
2	ISSUED FOR PRICING	08/22/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

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DATABANK

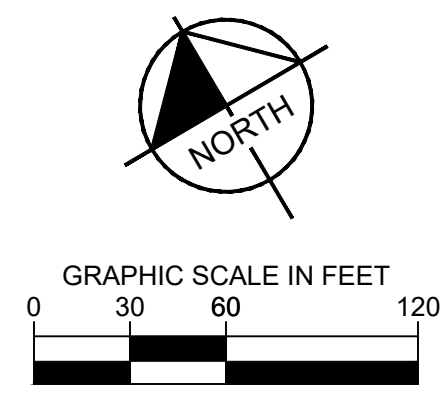


KIM PROJECT	DATE	SCALE	DESIGNED BY:	TAS	IC	DL
11257802	06/12/2024	AS SHOWN	TAS			

OVERALL SITE PLAN

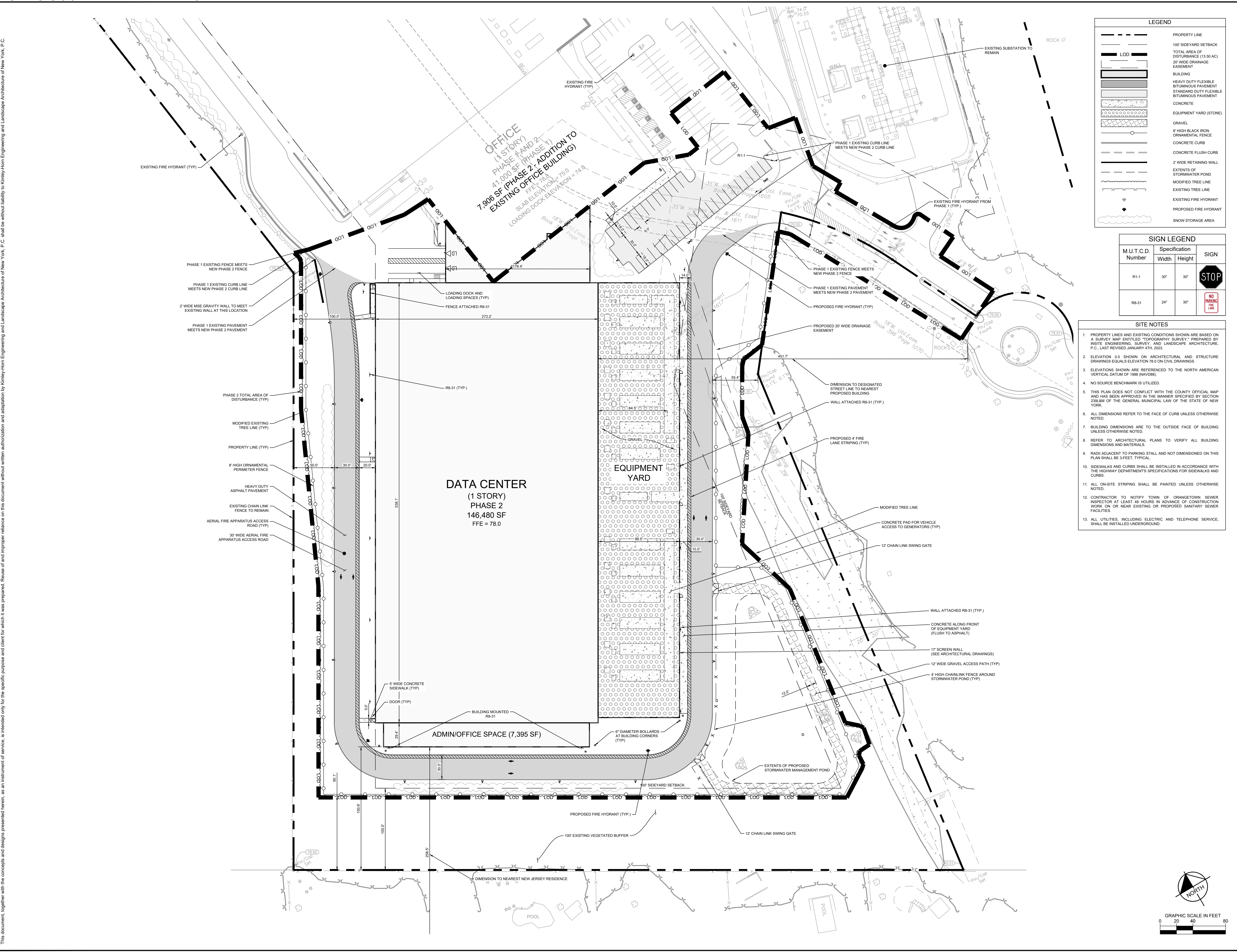
DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
C-3.0



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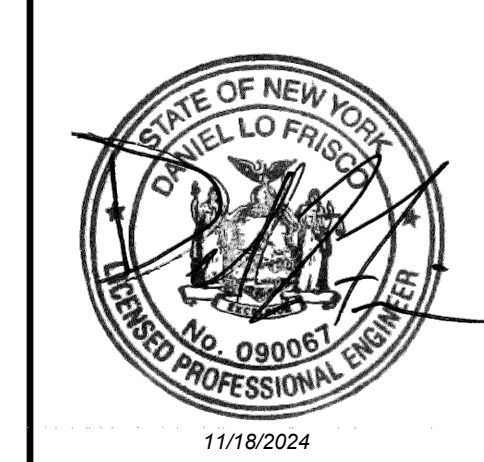


NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/12/2024
2	ISSUED FOR PRICING	08/26/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

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DATABANK



KIM PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
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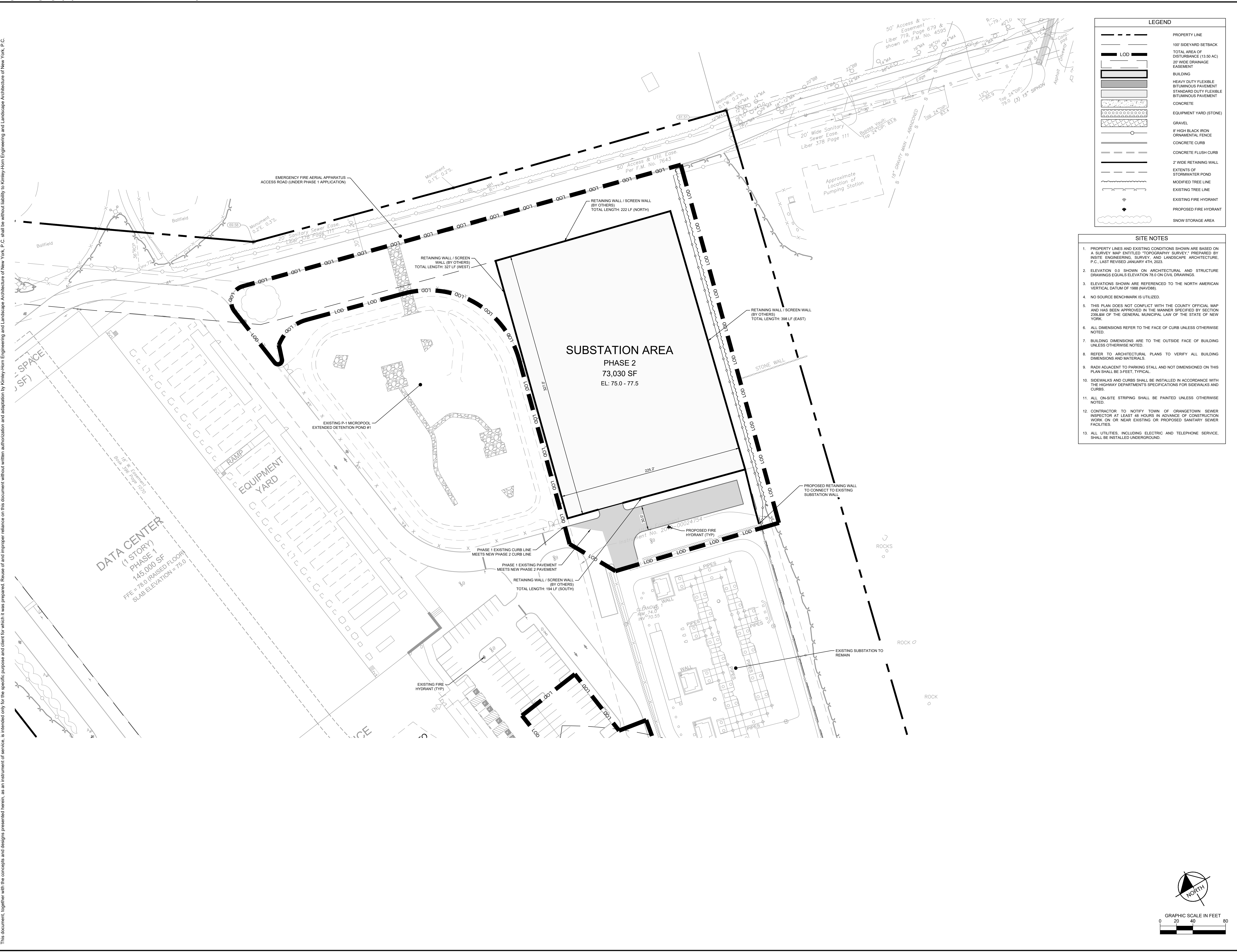
SITE PLAN

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
C-3.1

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LEGEND

	PROPERTY LINE
	10' SIDEYARD SETBACK
	TOTAL AREA OF DISTURBANCE (13.50 AC)
	20' WIDE DRAINAGE EASEMENT
	BUILDING
	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
	CONCRETE
	EQUIPMENT YARD (STONE)
	GRAVEL
	8' HIGH BLACK IRON ORNAMENTAL FENCE
	CONCRETE CURB
	CONCRETE FLUSH CURB
	2' WIDE RETAINING WALL
	EXTENTS OF STORMWATER POND
	MODIFIED TREE LINE
	EXISTING TREE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	SNOW STORAGE AREA

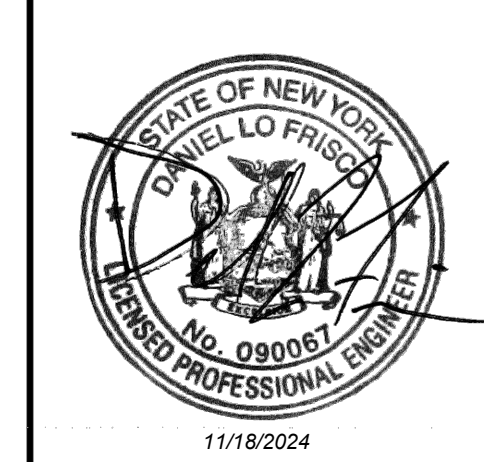
- SITE NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
 - ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURE DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 - NO SOURCE BENCHMARK IS UTILIZED.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/12/2024
2	ISSUED FOR PRG REVIEW	08/26/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/18/2024

FOR PERMIT REVIEW

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DATABANK

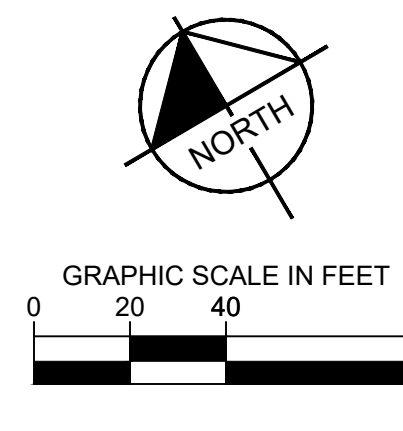


KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY:	TAS	DRAWN BY:	KC	CHECKED BY:	DL
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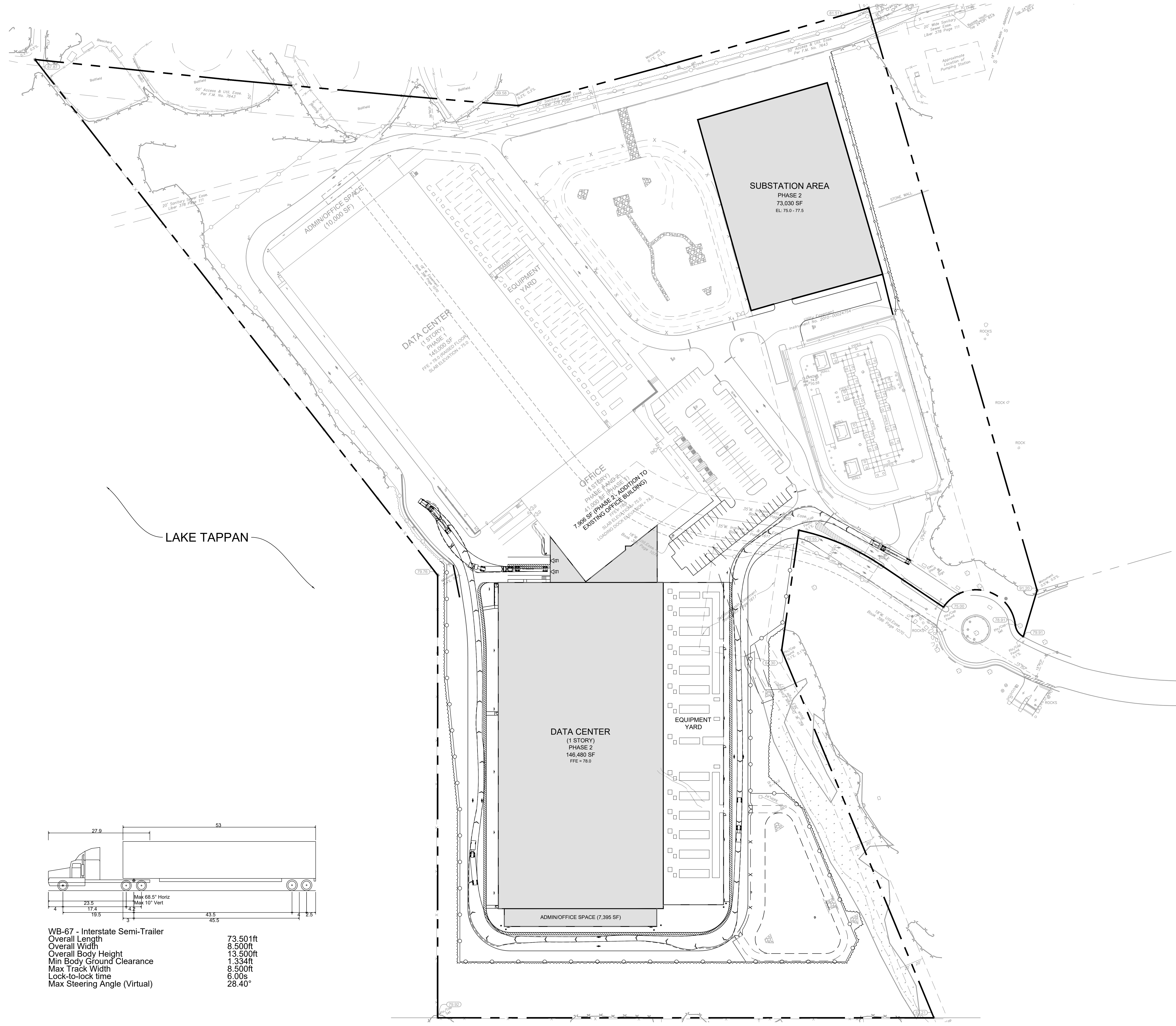
SITE PLAN

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

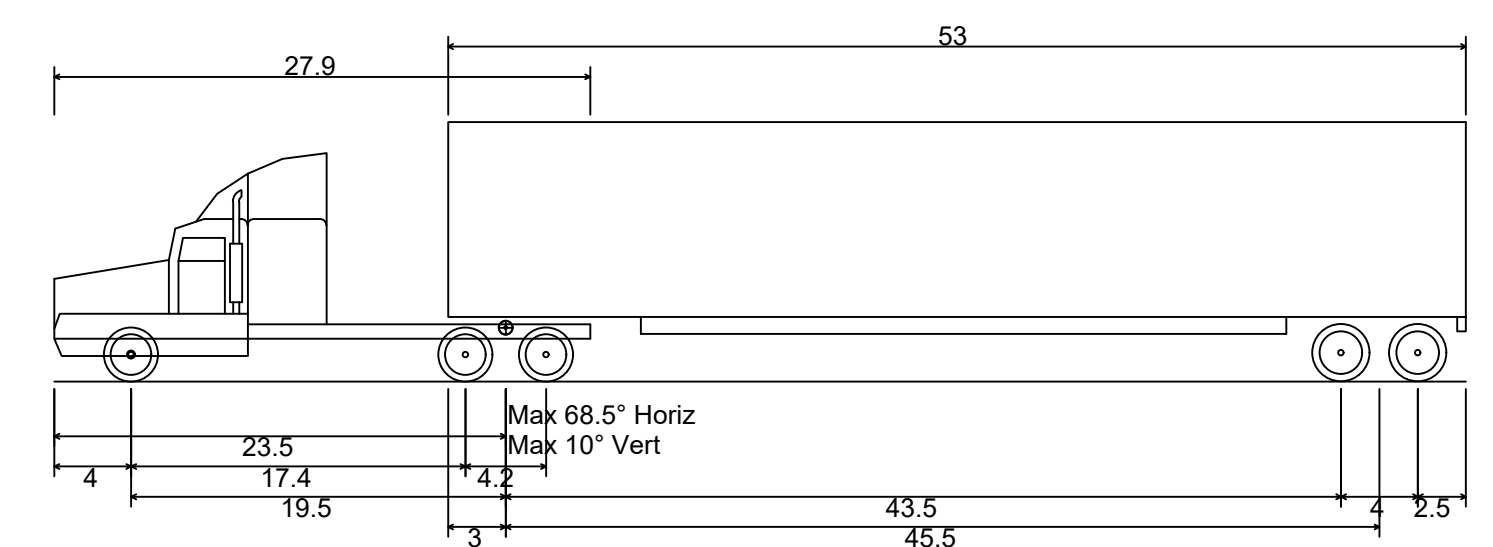
SHEET NUMBER
C-3.2



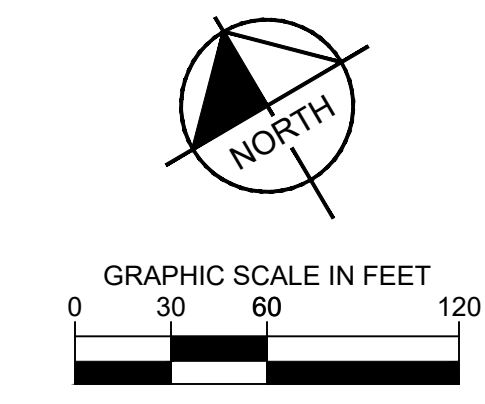
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SITE NOTES	
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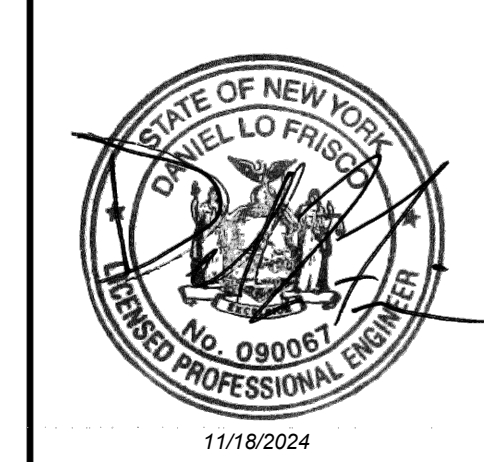
WB-67 - Interstate Semi-Trailer	
Overall Length	73.501ft
Overall Width	8.500ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40°



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FOR PERMIT REVIEW

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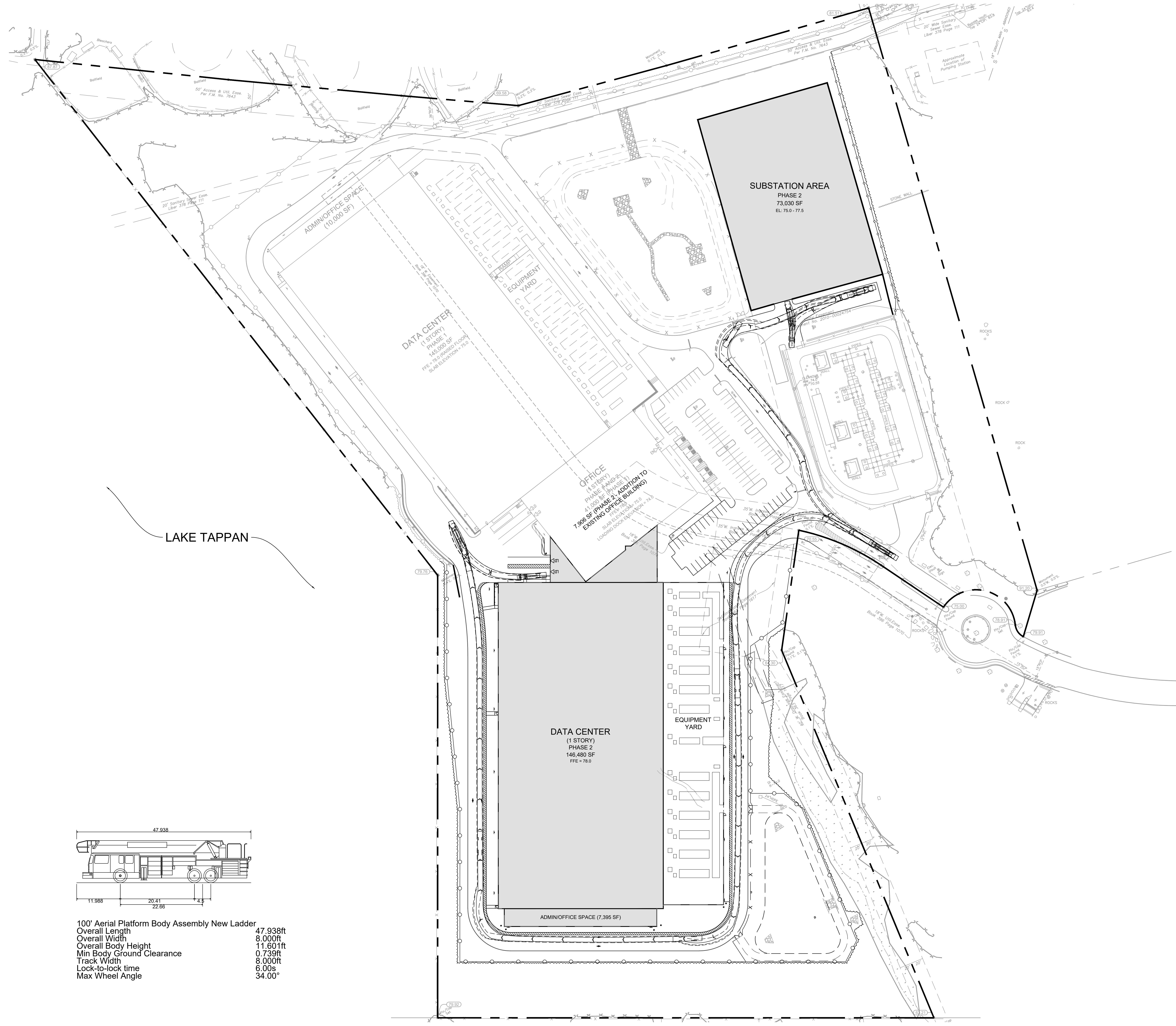
KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

VEHICLE MANUEVERING (WB TRUCK)

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

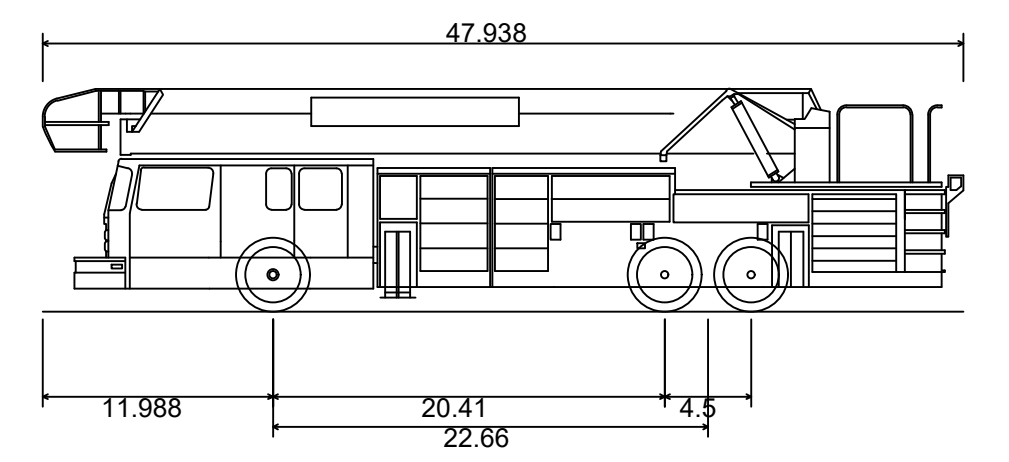
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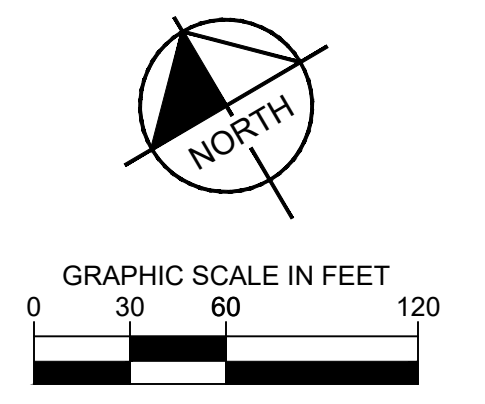
SITE NOTES

1. PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C. LAST REVISED JANUARY 4TH, 2023.



100' Aerial Platform Body Assembly New Ladder

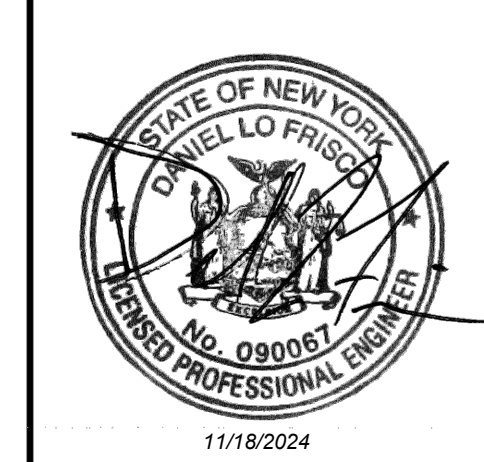
Overall Length 47.938ft
 Overall Width 8.000ft
 Overall Body Height 11.601ft
 Min Body Ground Clearance 0.739ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 34.00°



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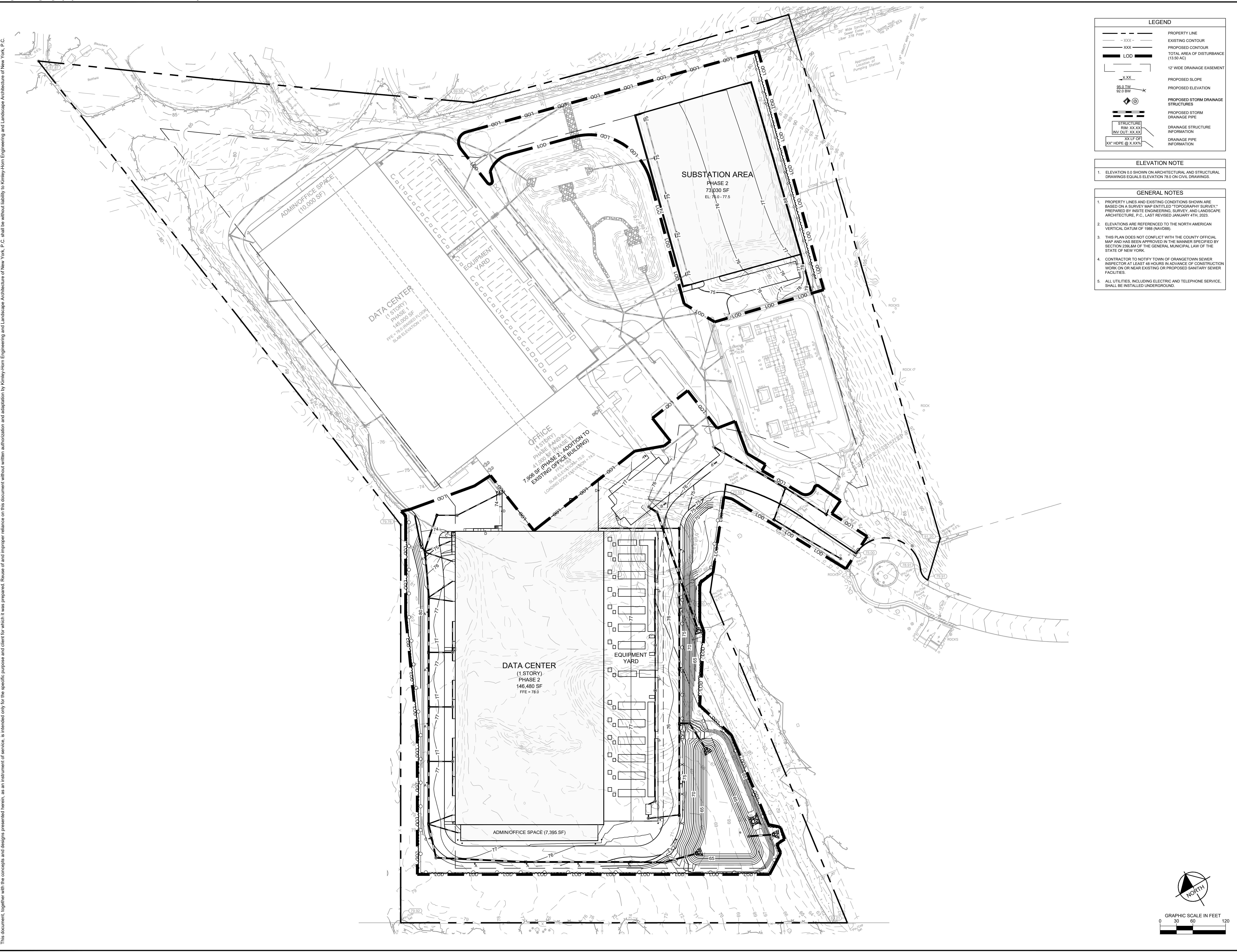
KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

VEHICLE MANUEVERING (FIRETRUCK)

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
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LEGEND

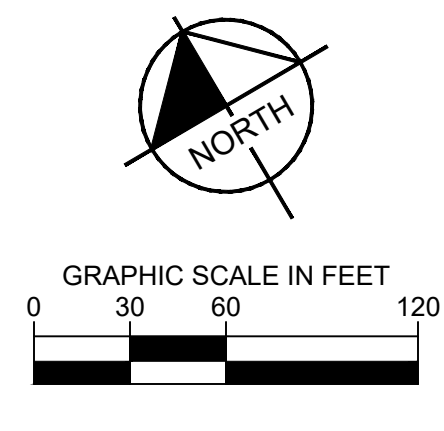
---	PROPERTY LINE
-XXX-	EXISTING CONTOUR
XXX	PROPOSED CONTOUR
---	TOTAL AREA OF DISTURBANCE (13.95 AC)
---	12' WIDE DRAINAGE EASEMENT
X.XX	PROPOSED SLOPE
95.0 TW 92.0 BW	PROPOSED ELEVATION
⊕	PROPOSED STORM DRAINAGE STRUCTURES
---	PROPOSED STORM DRAINAGE PIPE
STRUCTURE RIM: XX.XX INV. OUT: XX.XX	DRAINAGE STRUCTURE INFORMATION
XX LF OF XXX HOPE @ X.XX%	DRAINAGE PIPE INFORMATION

ELEVATION NOTE

- ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 76.0 ON CIVIL DRAWINGS.

GENERAL NOTES

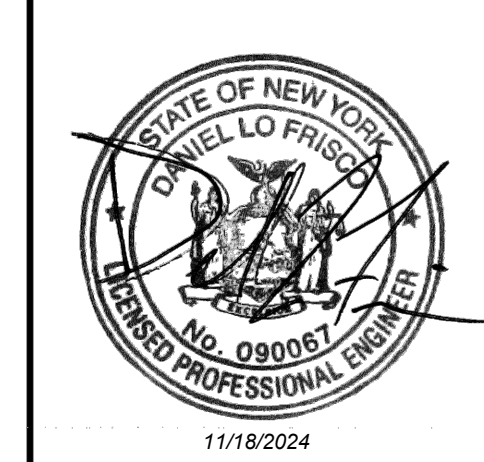
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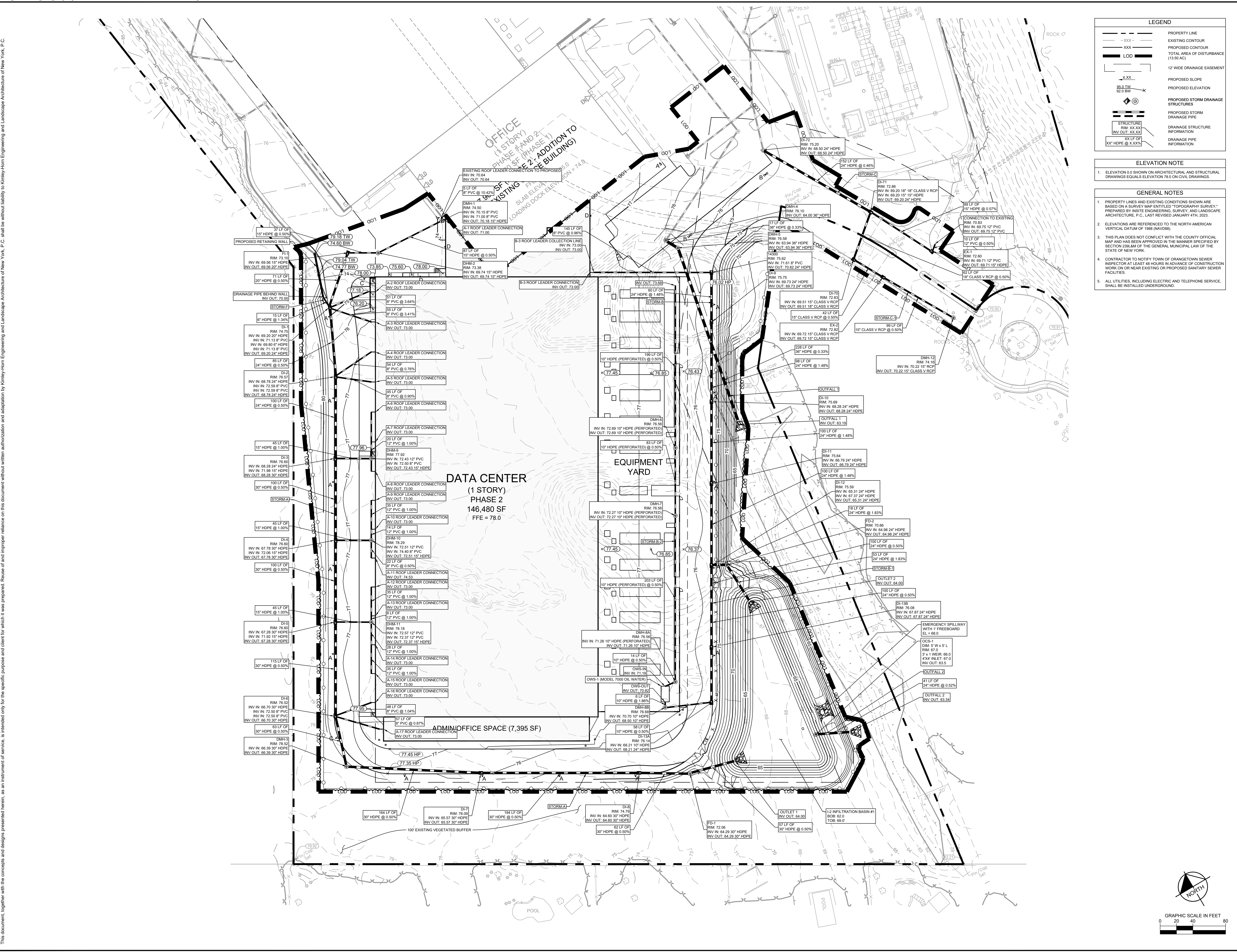
KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

OVERALL GRADING AND DRAINAGE PLAN

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

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LEGEND	
---	PROPERTY LINE
-XXX-	EXISTING CONTOUR
XXX	PROPOSED CONTOUR
---	TOTAL AREA OF DISTURBANCE (13.56 AC)
---	12' WIDE DRAINAGE EASEMENT
-XXX-	PROPOSED SLOPE
---	PROPOSED ELEVATION
---	PROPOSED STORM DRAINAGE STRUCTURES
---	PROPOSED STORM DRAINAGE PIPE
---	DRAINAGE STRUCTURE INFORMATION
---	DRAINAGE PIPE INFORMATION

ELEVATION NOTE
1. ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 76.0 ON CIVIL DRAWINGS.

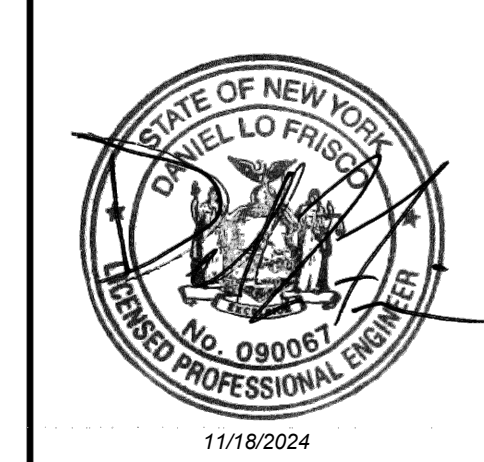
- GENERAL NOTES**
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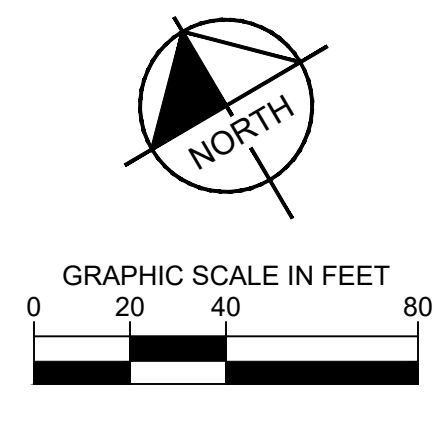


DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
06/12/2024	AS SHOWN	TAS	KC	DL

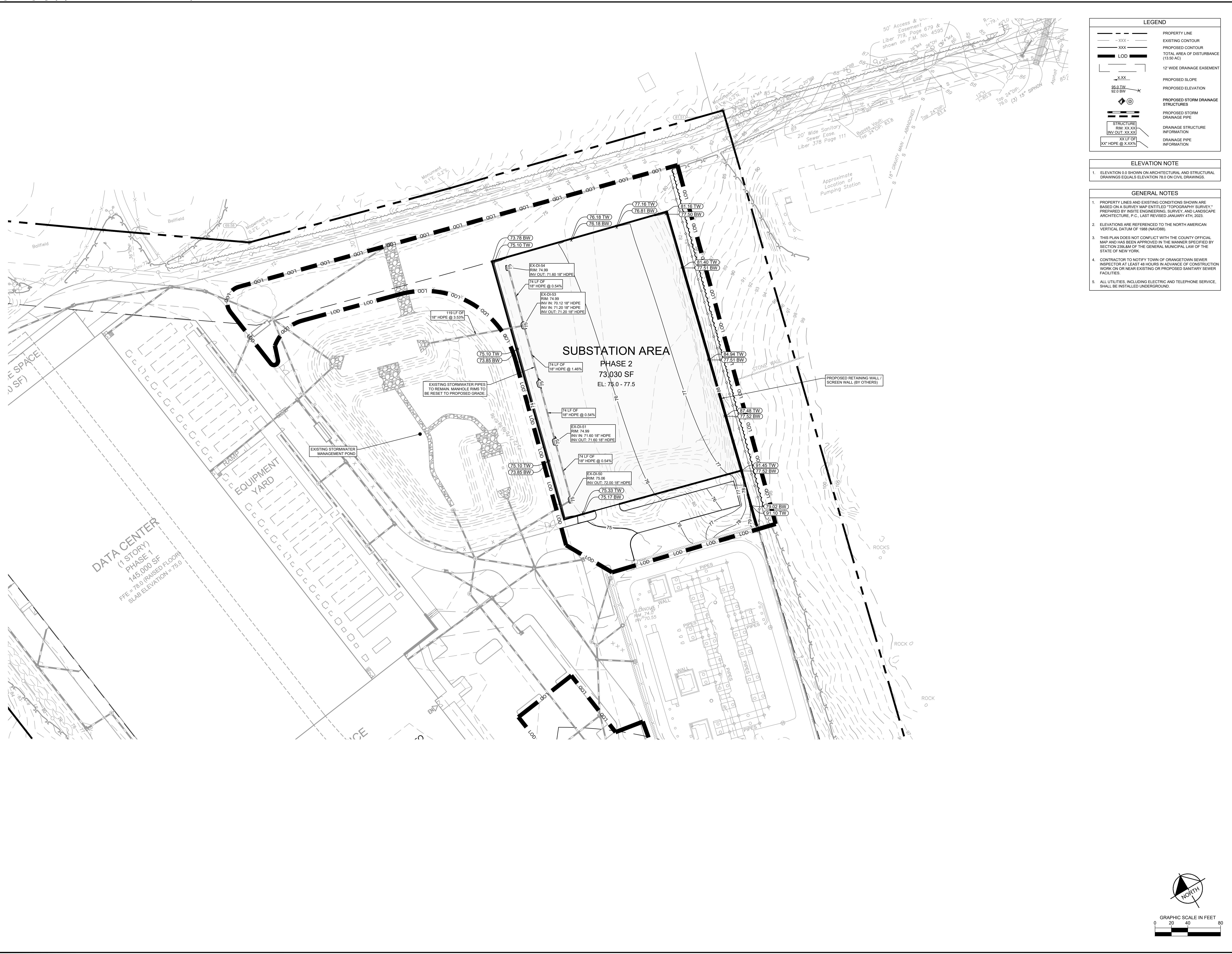
GRADING AND DRAINAGE PLAN

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ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-4.1



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LEGEND	
---	PROPERTY LINE
-XXX-	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	TOTAL AREA OF DISTURBANCE (13.95 AC)
---	12' WIDE DRAINAGE EASEMENT
X-XX	PROPOSED SLOPE
95.0 TW 92.0 BW	PROPOSED ELEVATION
⊕	PROPOSED STORM DRAINAGE STRUCTURES
---	PROPOSED STORM DRAINAGE PIPE
STRUCTURE RIM: XXXX INV: XXXX XX LF OF XXX' HDPE @ X.XX%	DRAINAGE STRUCTURE INFORMATION
---	DRAINAGE PIPE INFORMATION

ELEVATION NOTE

1. ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 76.0 ON CIVIL DRAWINGS.

GENERAL NOTES

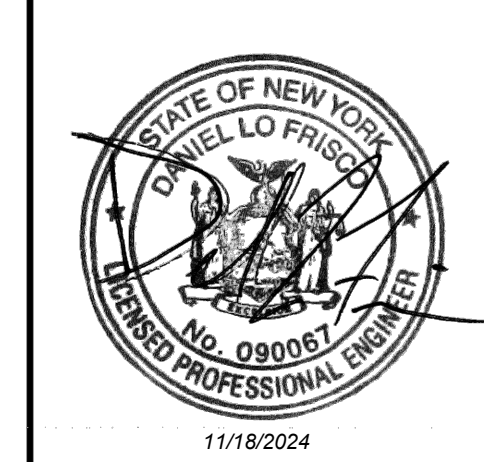
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY," PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.0(4) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/26/2024
2	ISSUED FOR PRG REVIEW	08/26/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

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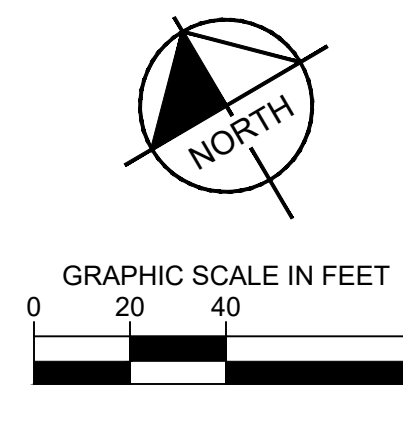


KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

GRADING AND DRAINAGE PLAN

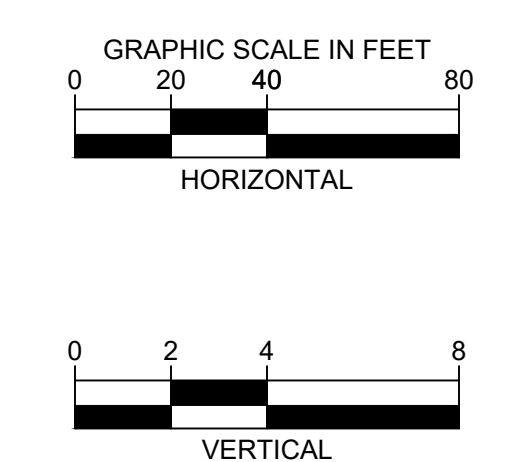
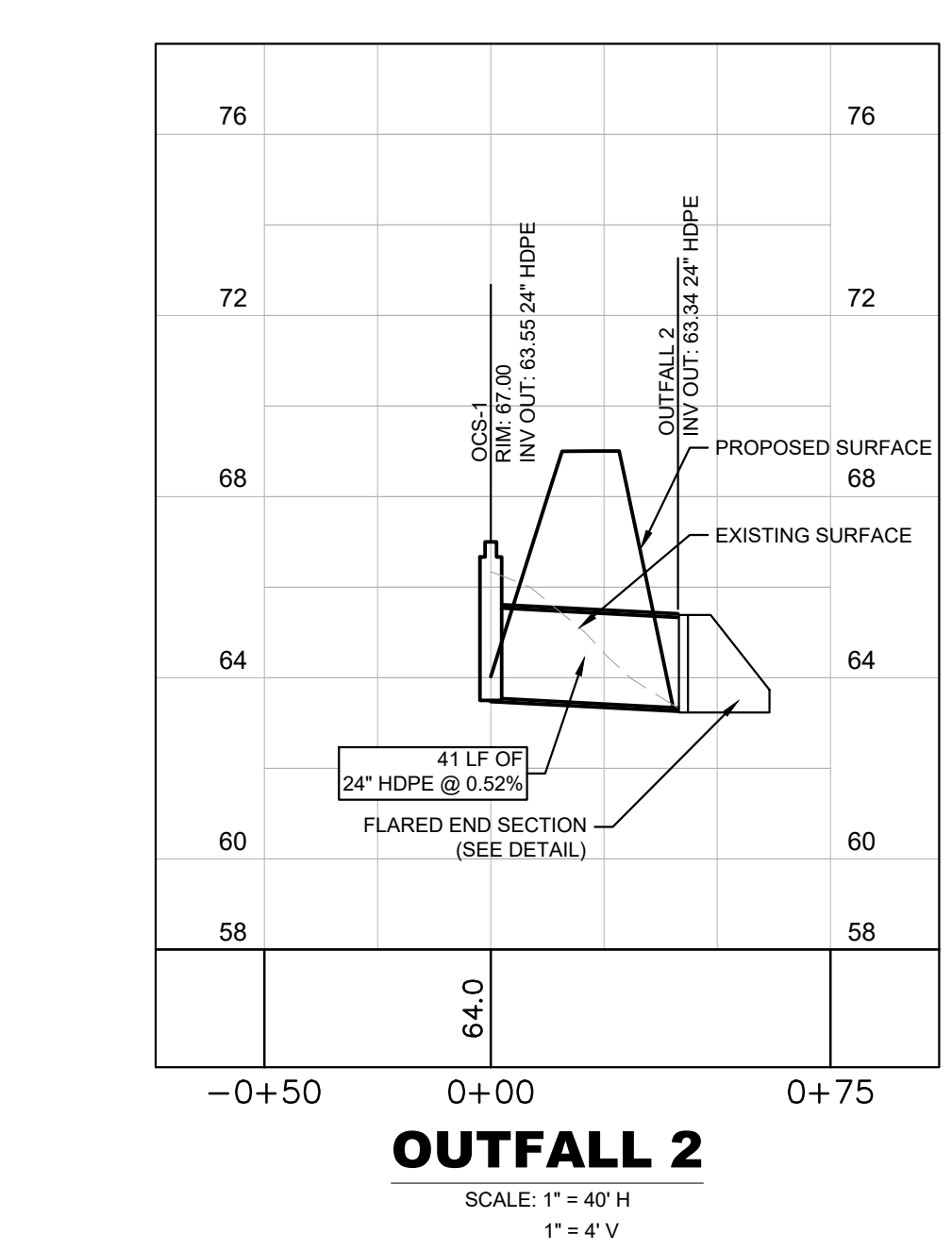
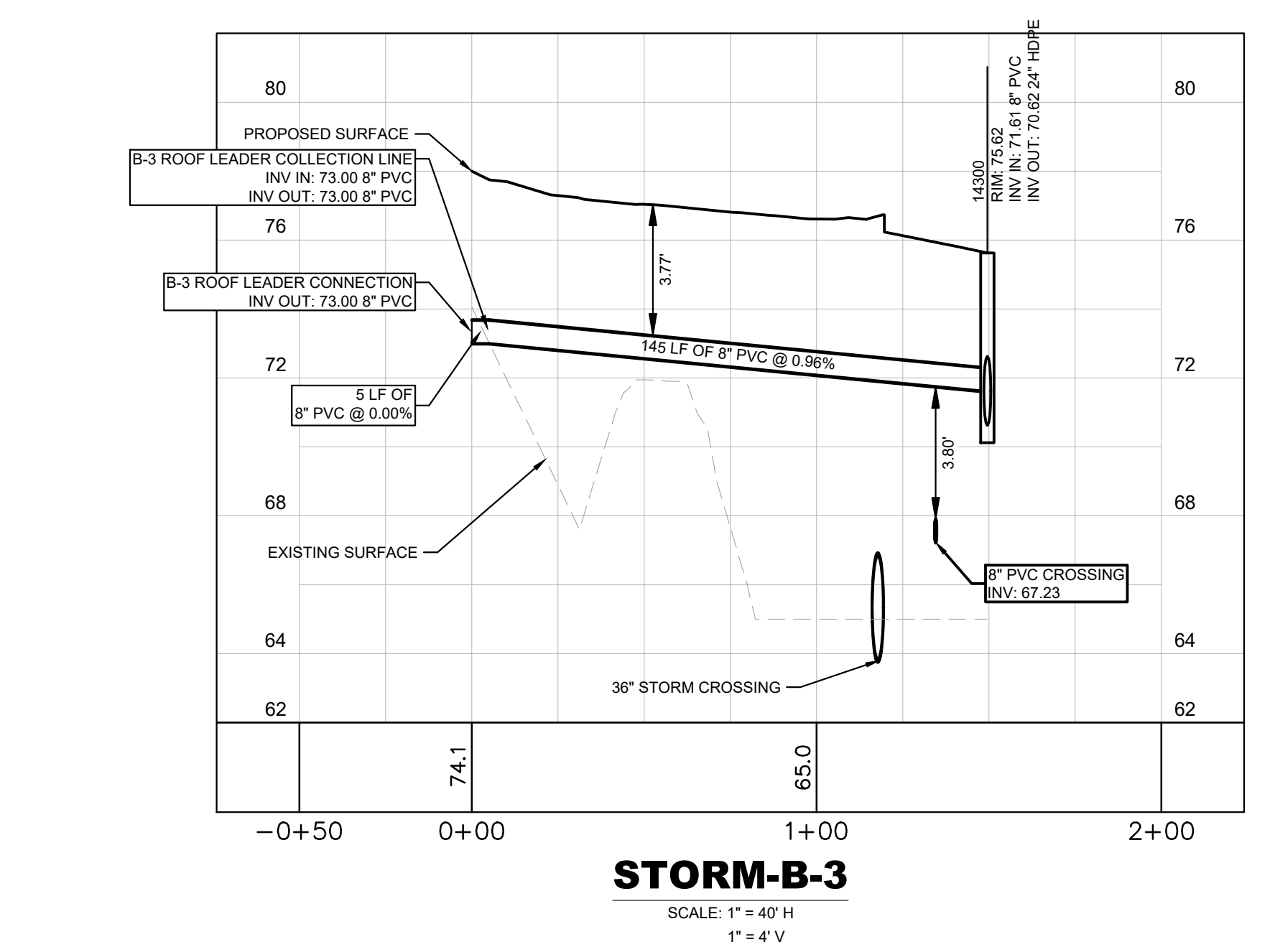
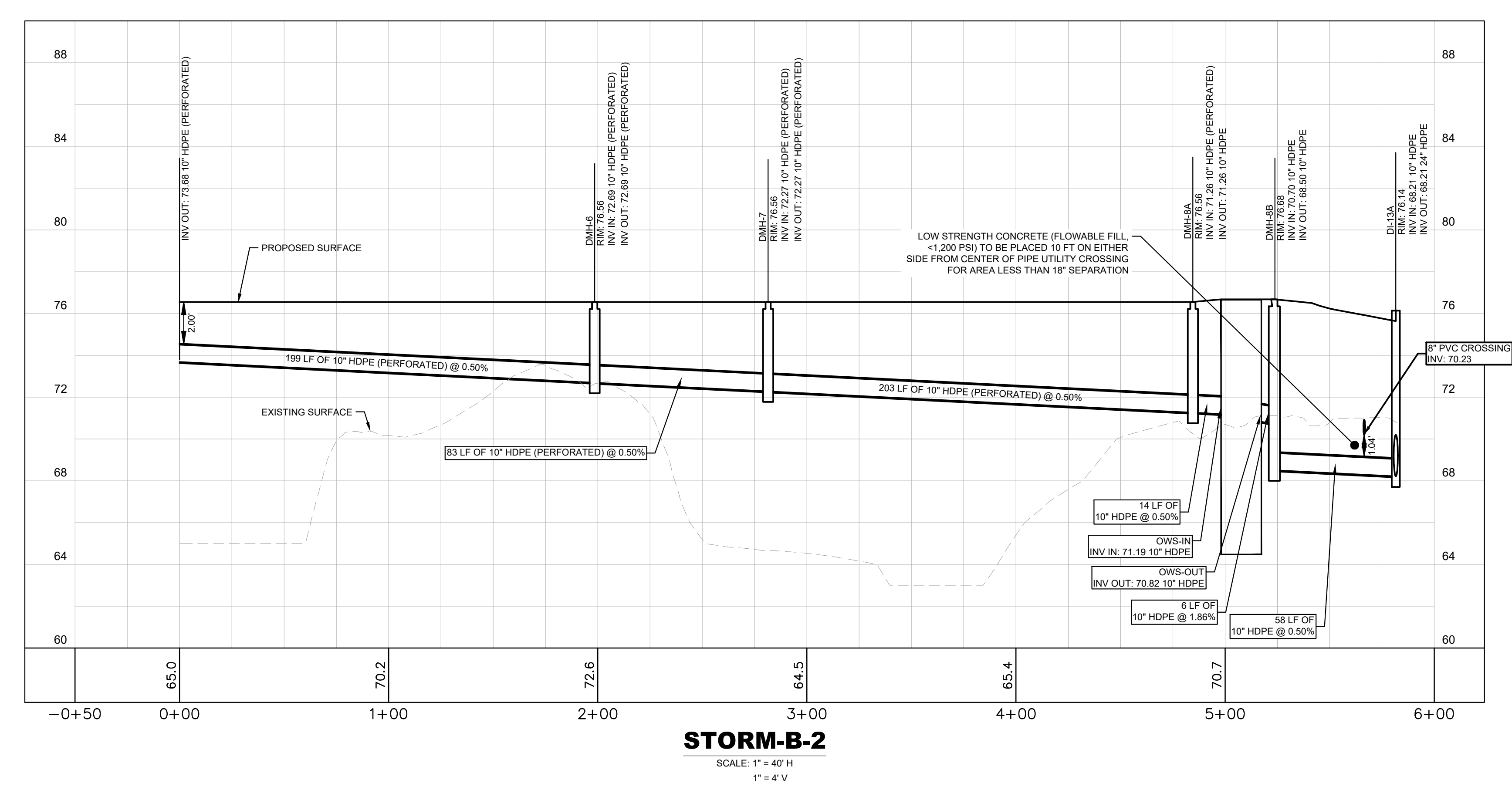
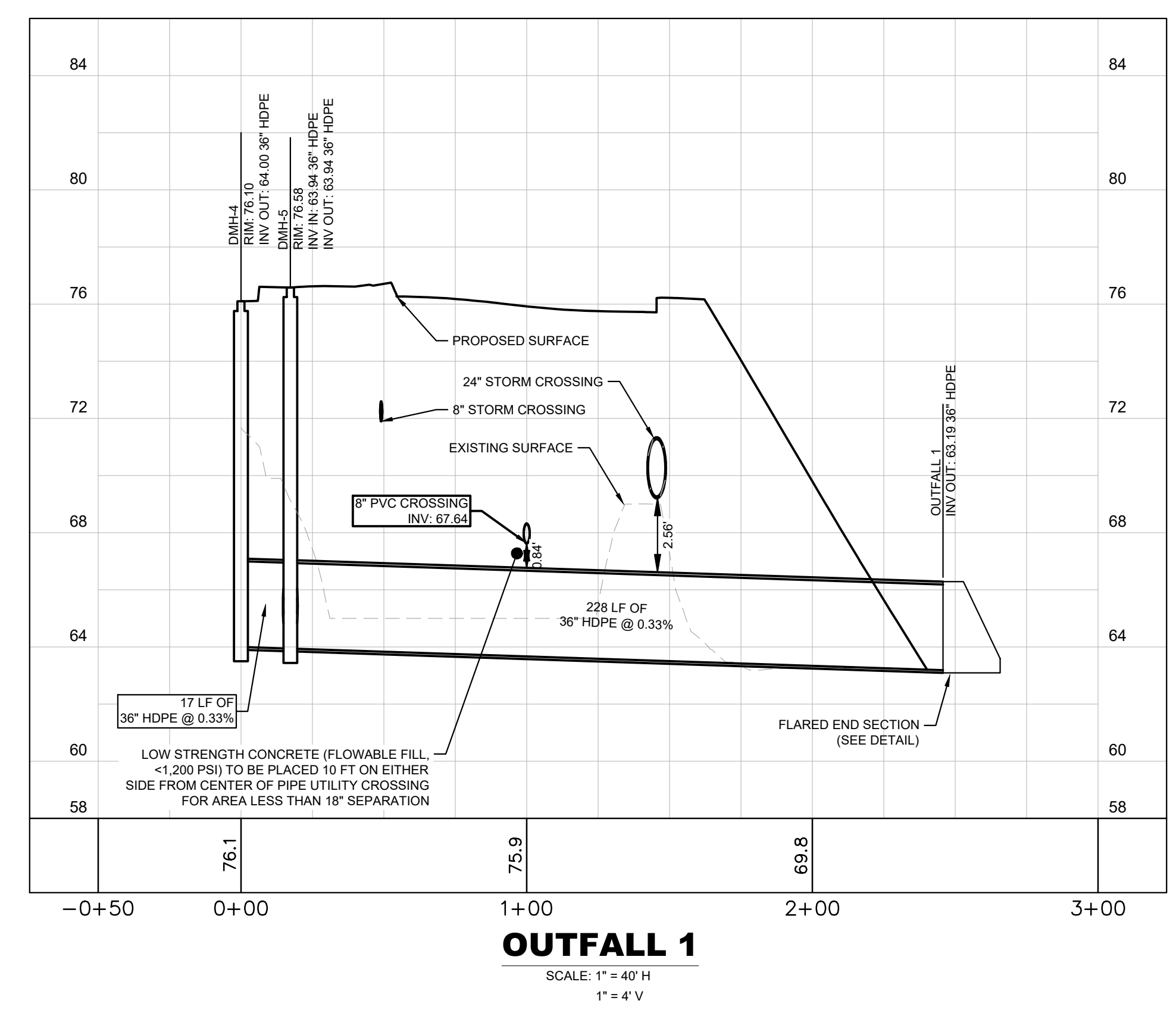
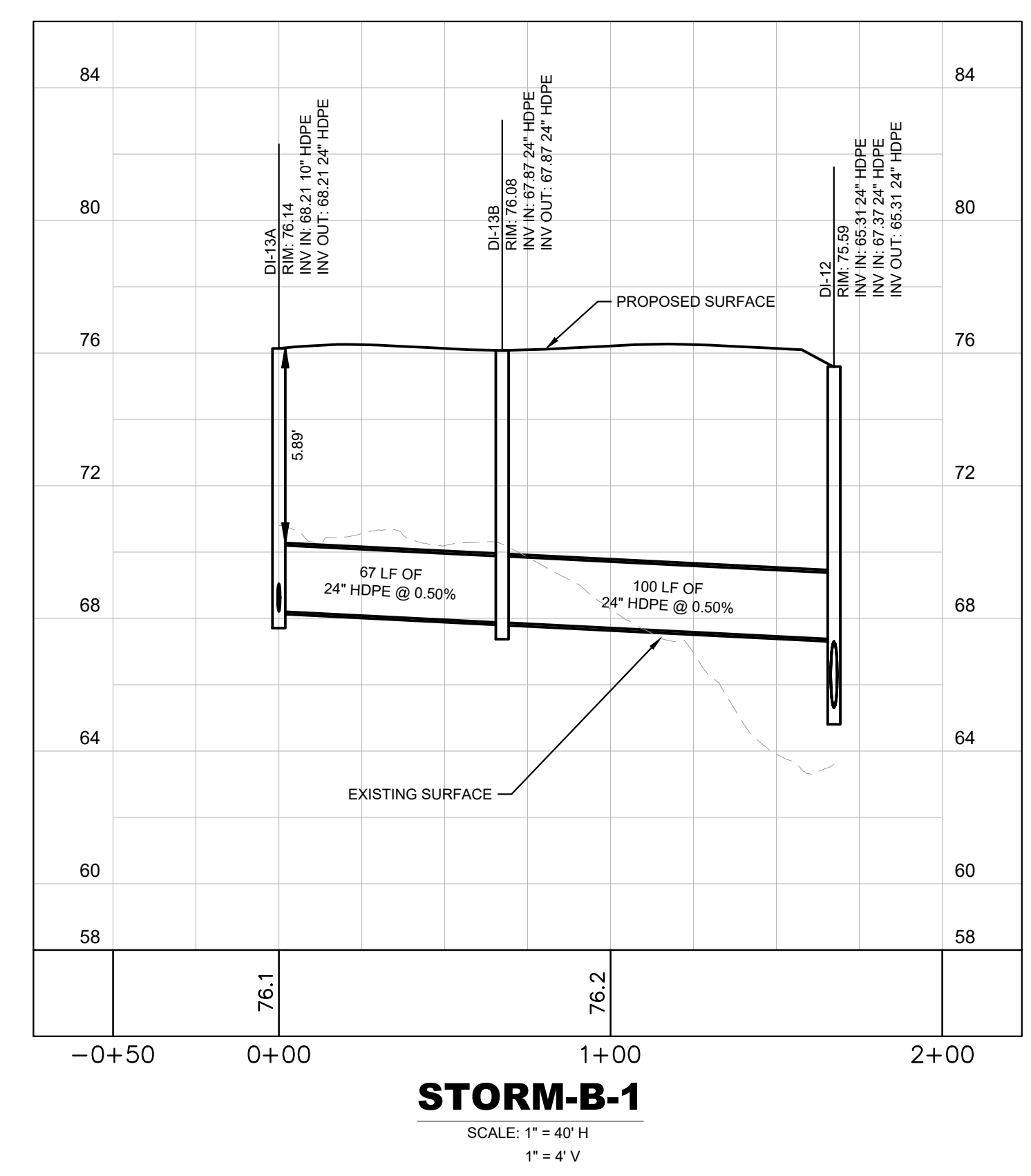
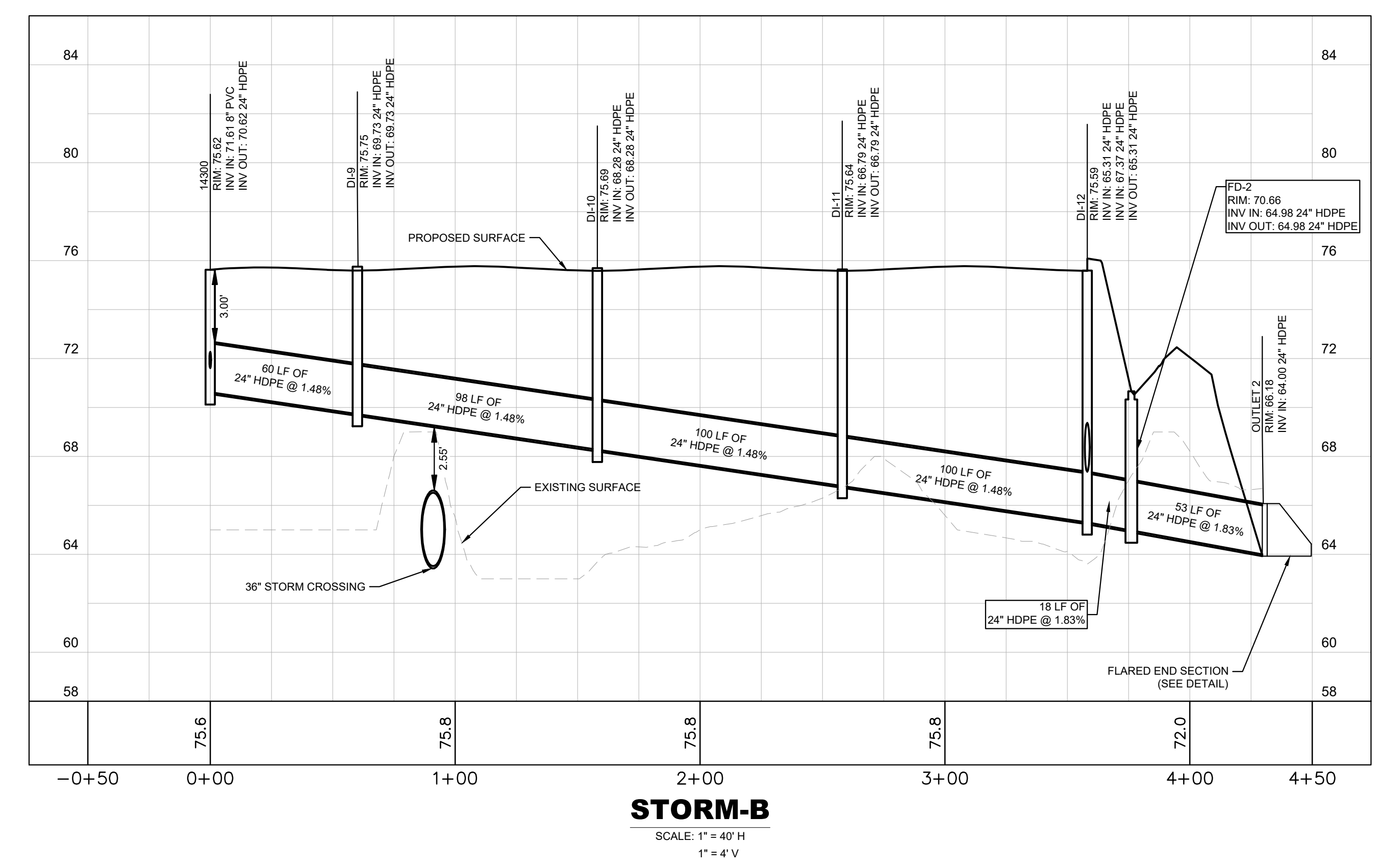
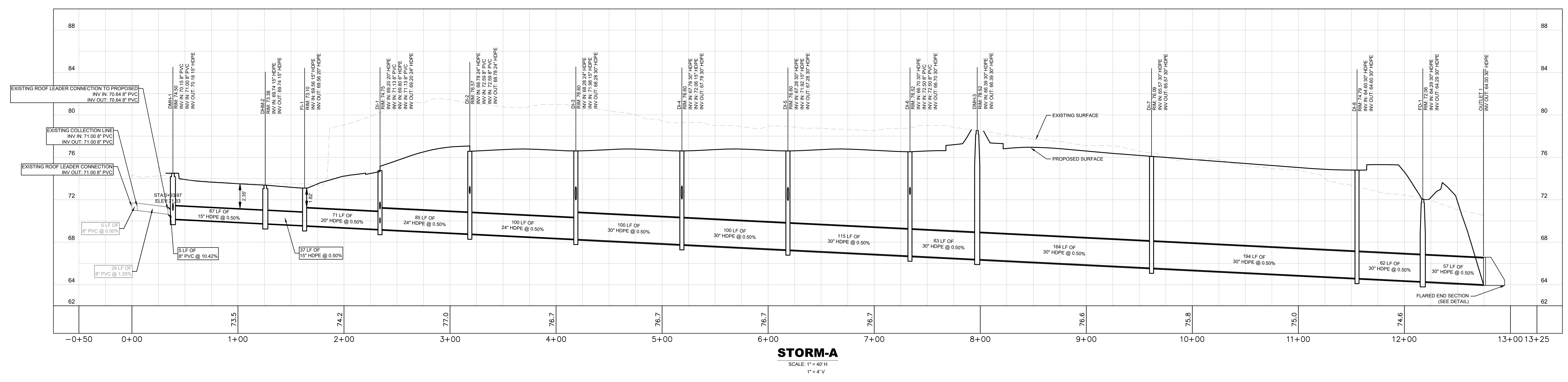
DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
C-4.2



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1	ISSUED FOR PERM REVIEW	08/25/2024
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KHA PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY	TAS	DRAWN BY	KC	CHECKED BY	DL
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DATABANK ORANGETOWN

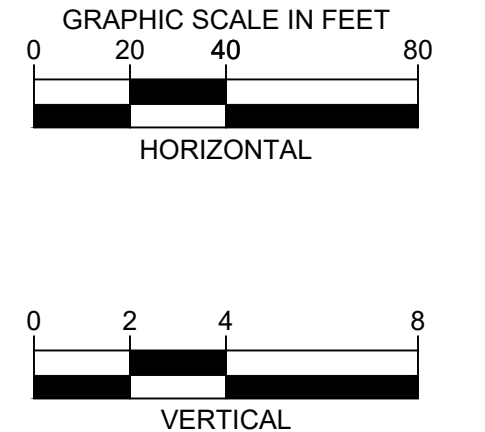
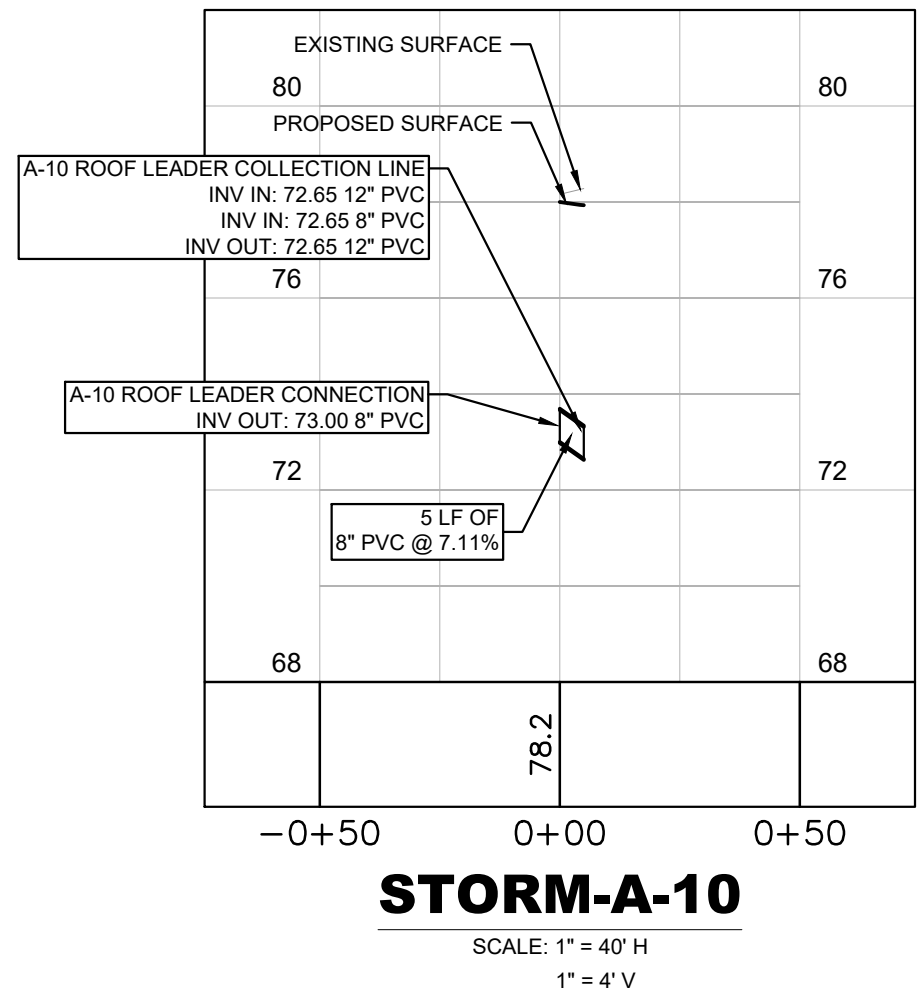
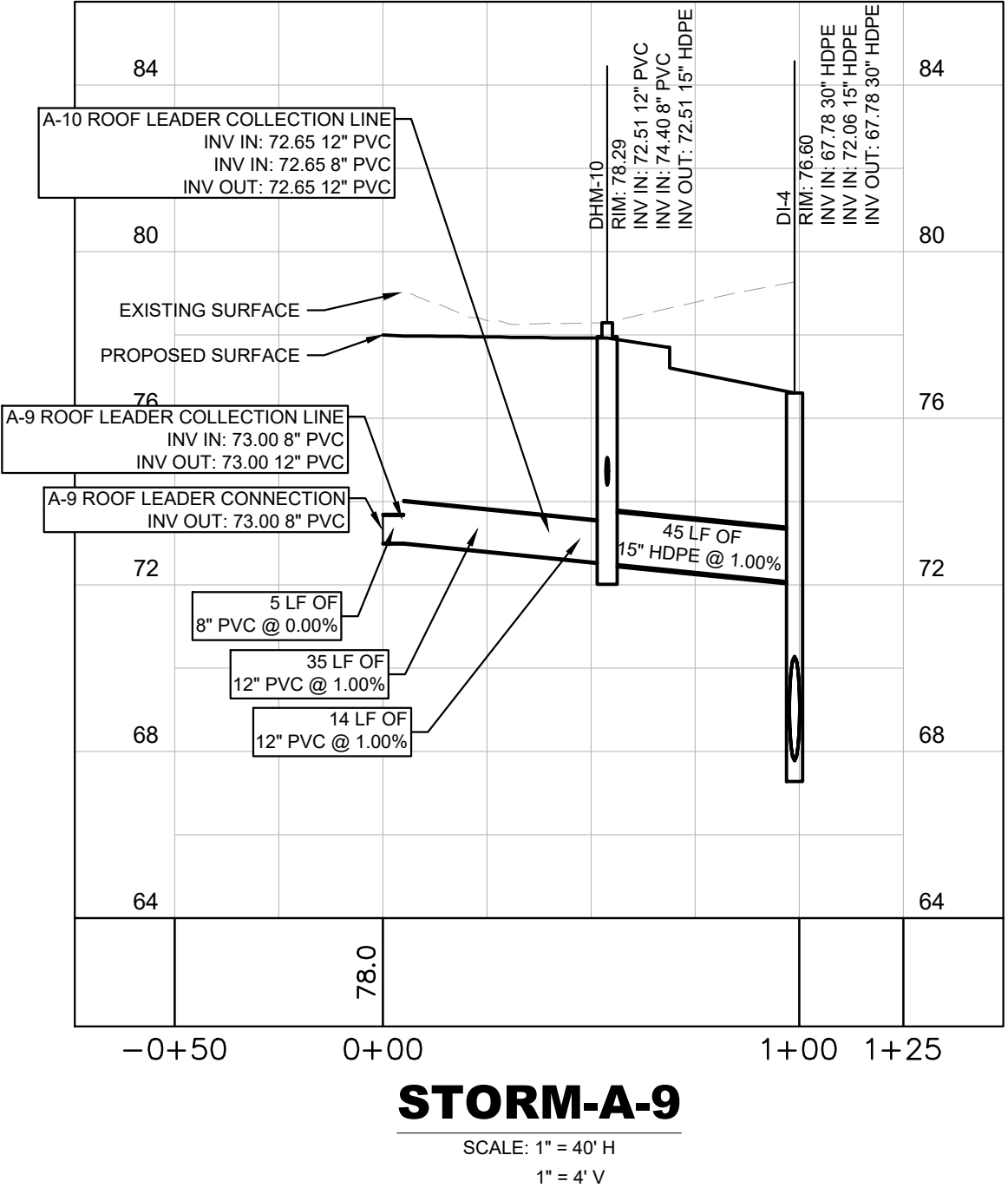
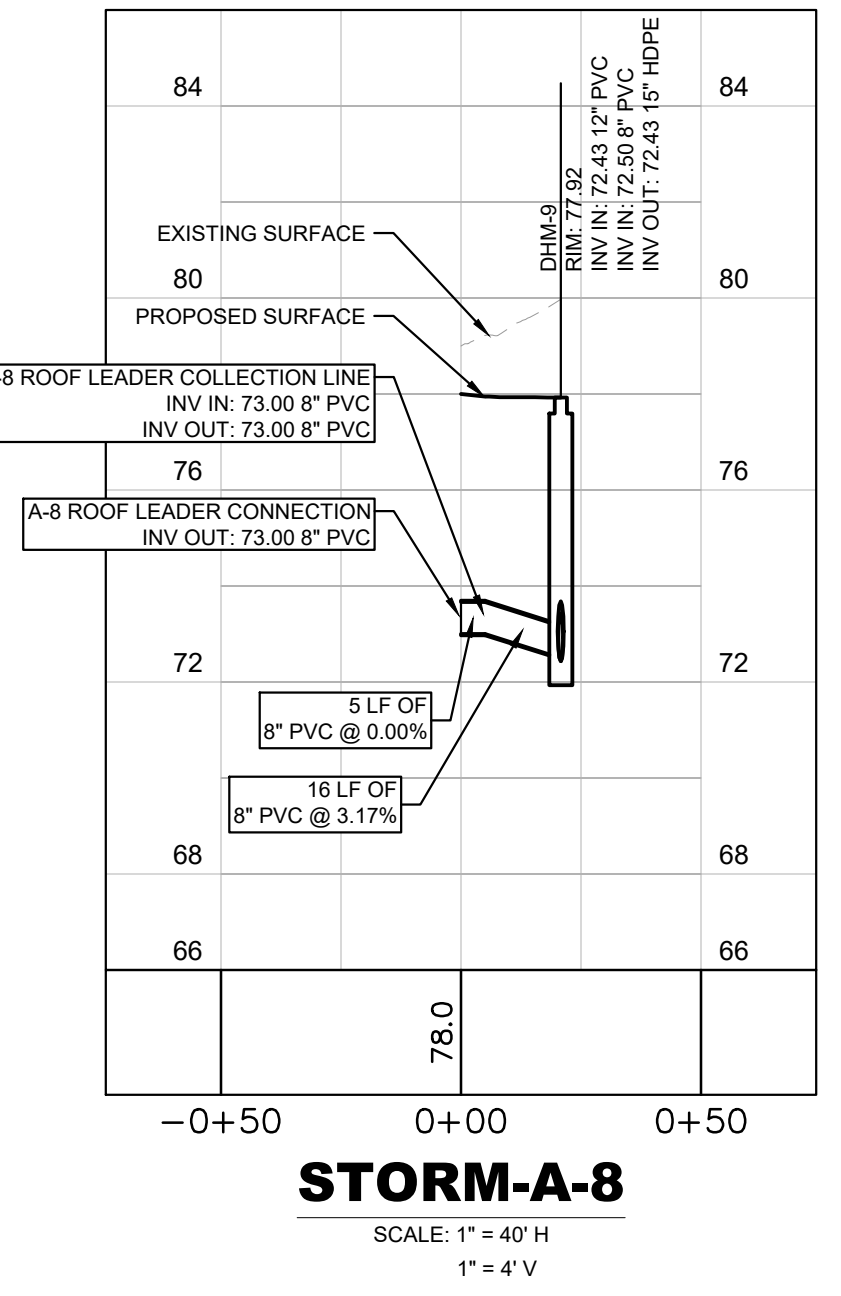
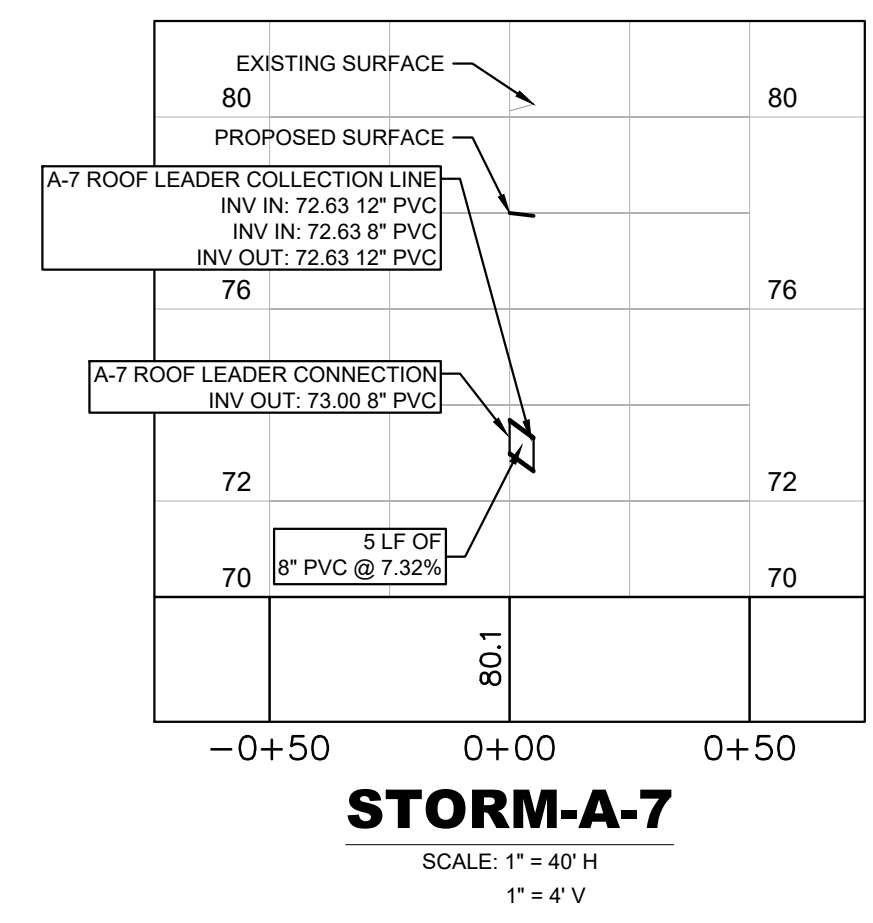
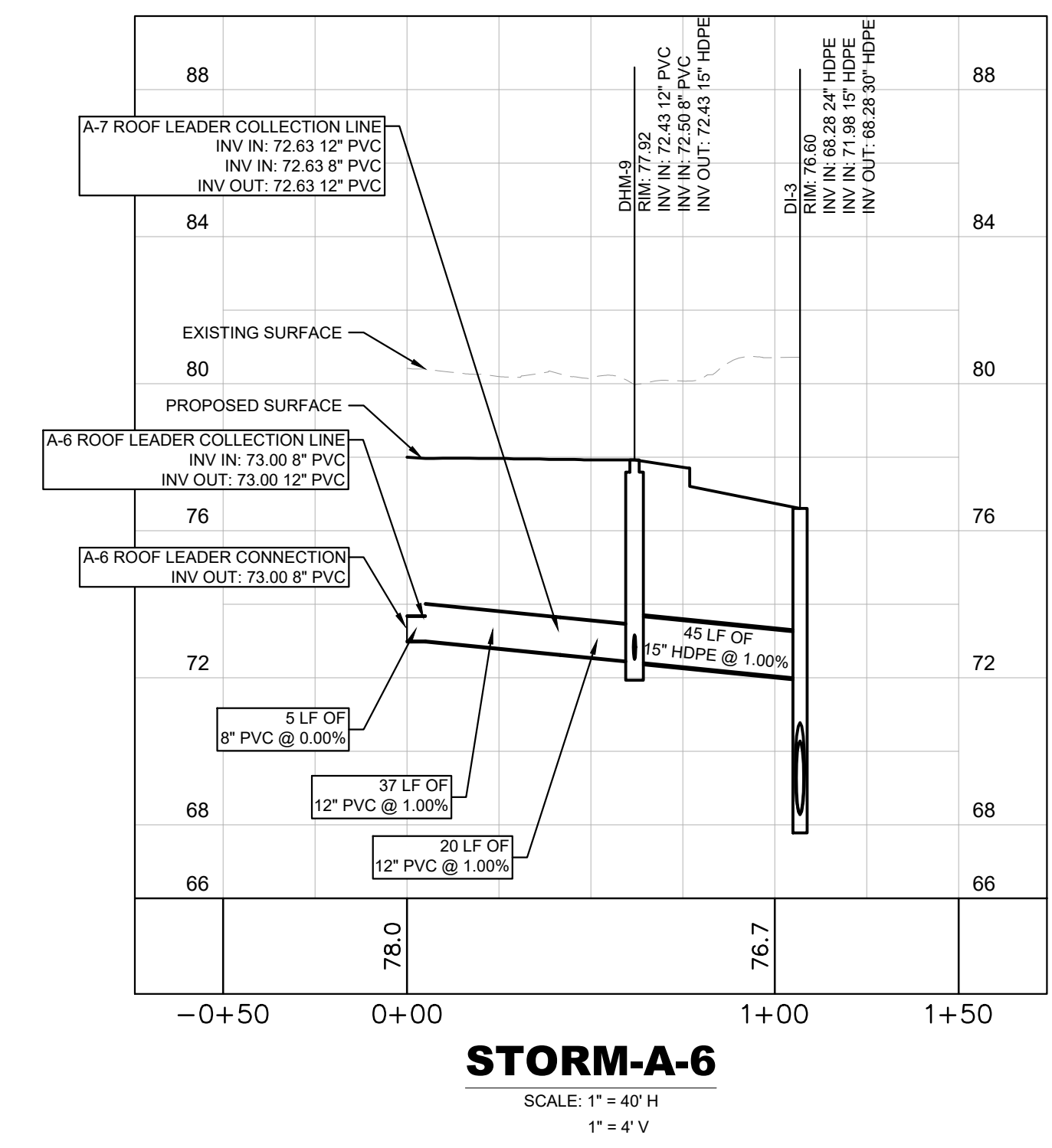
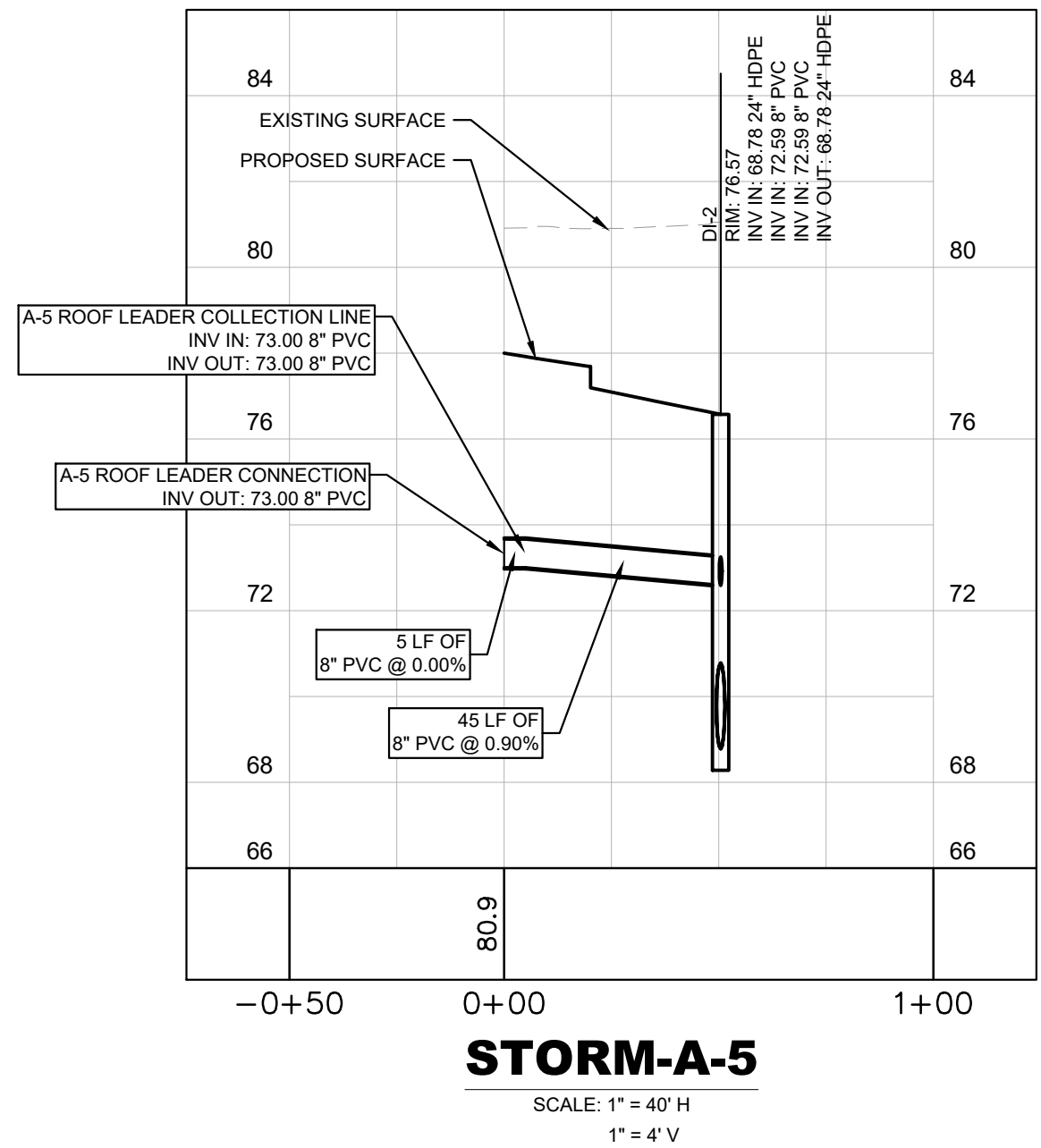
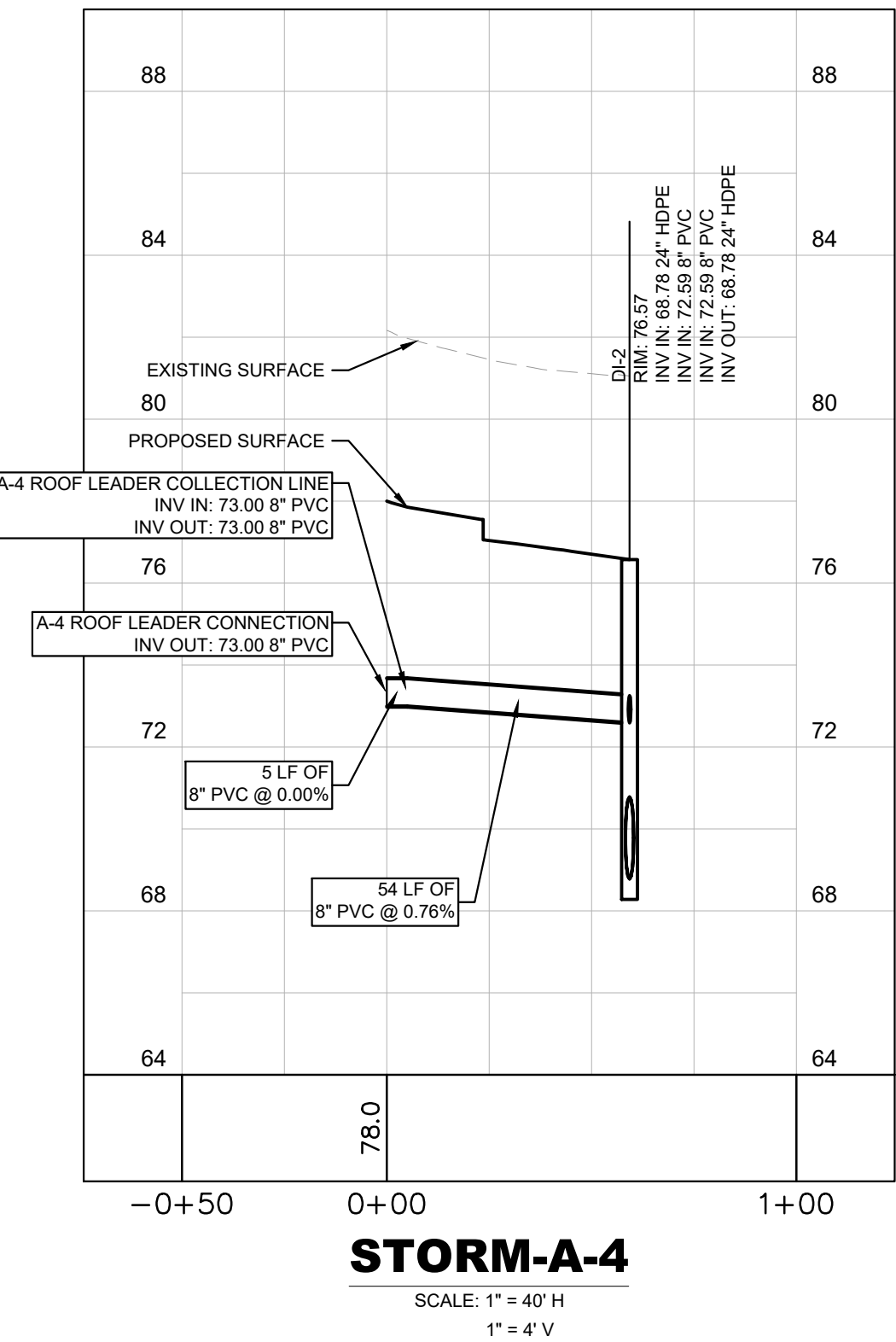
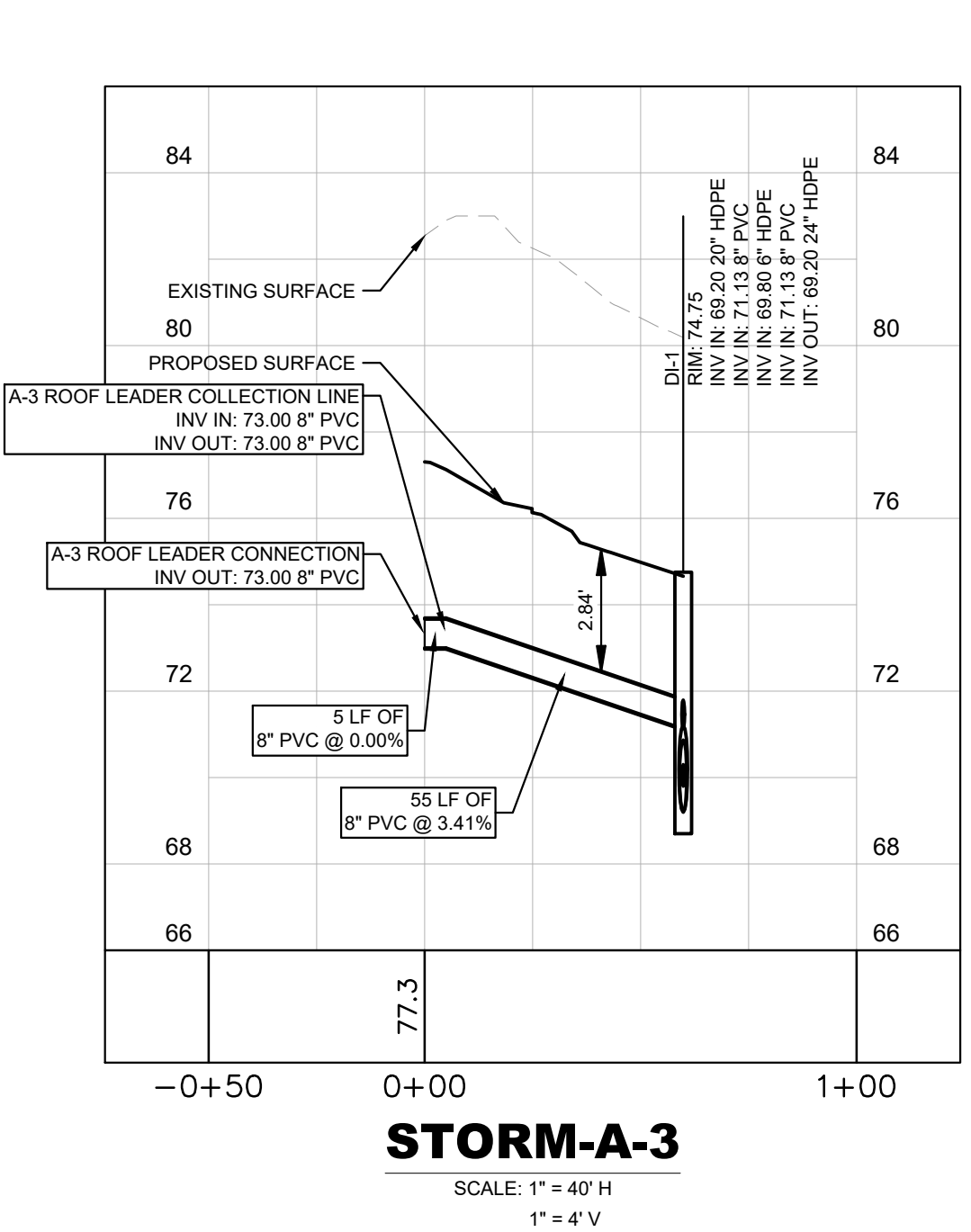
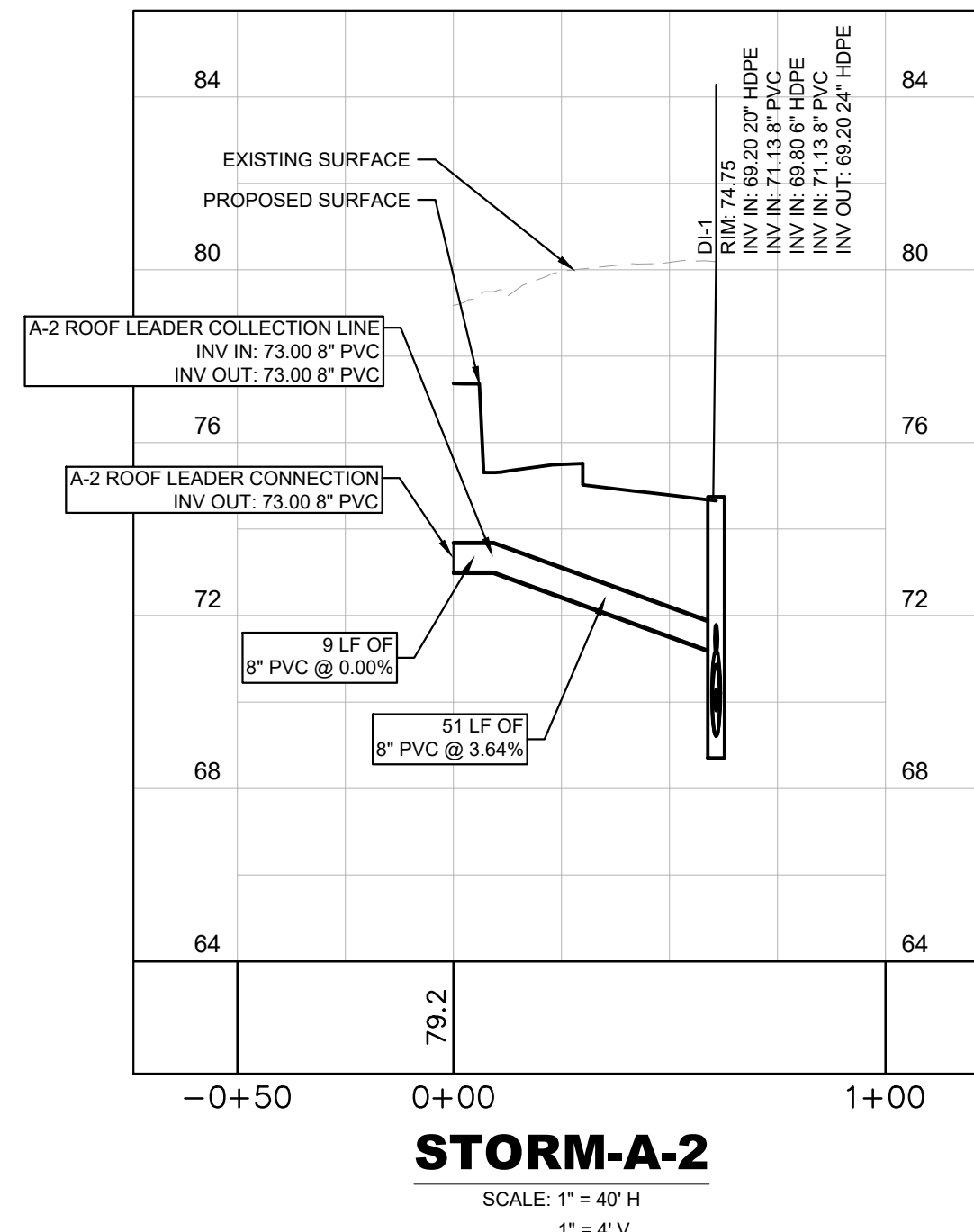
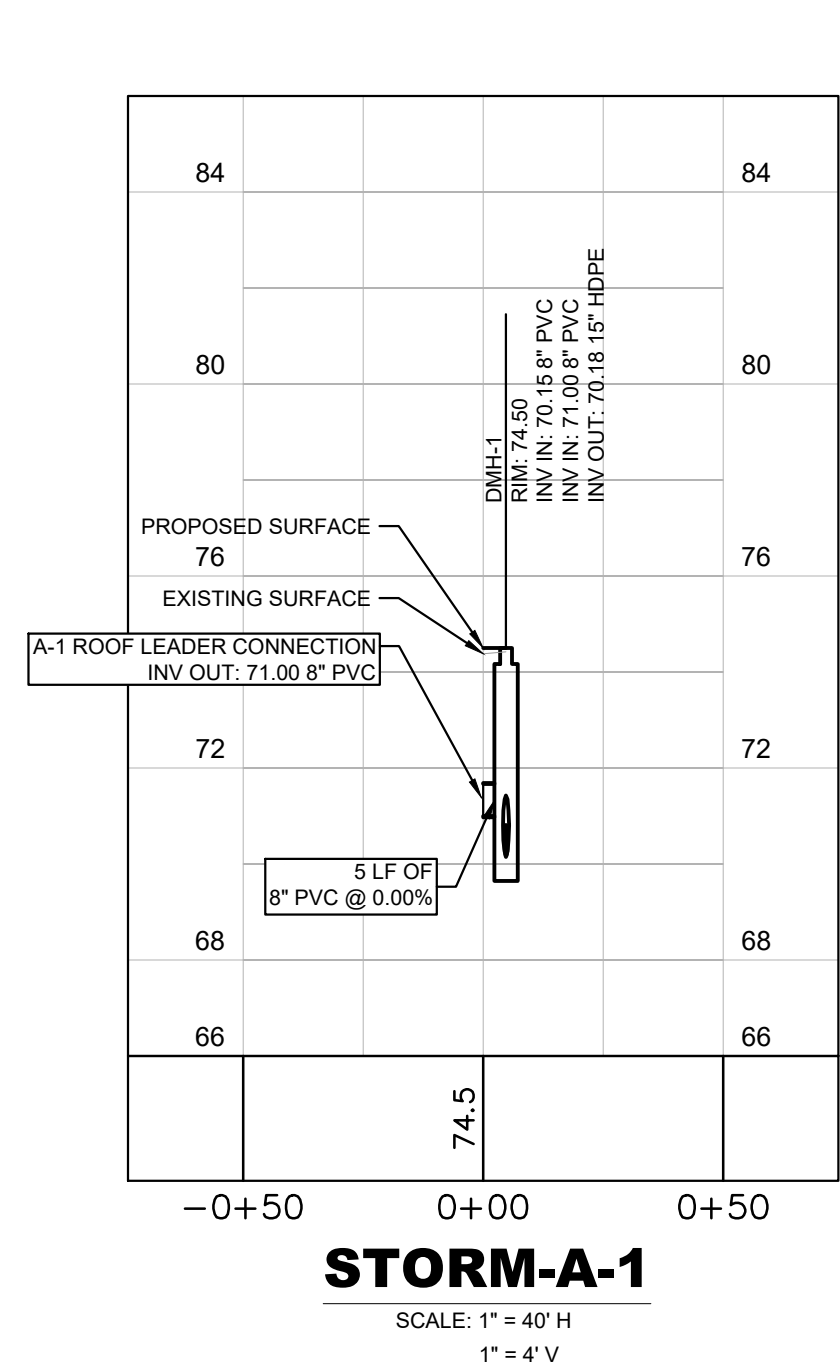
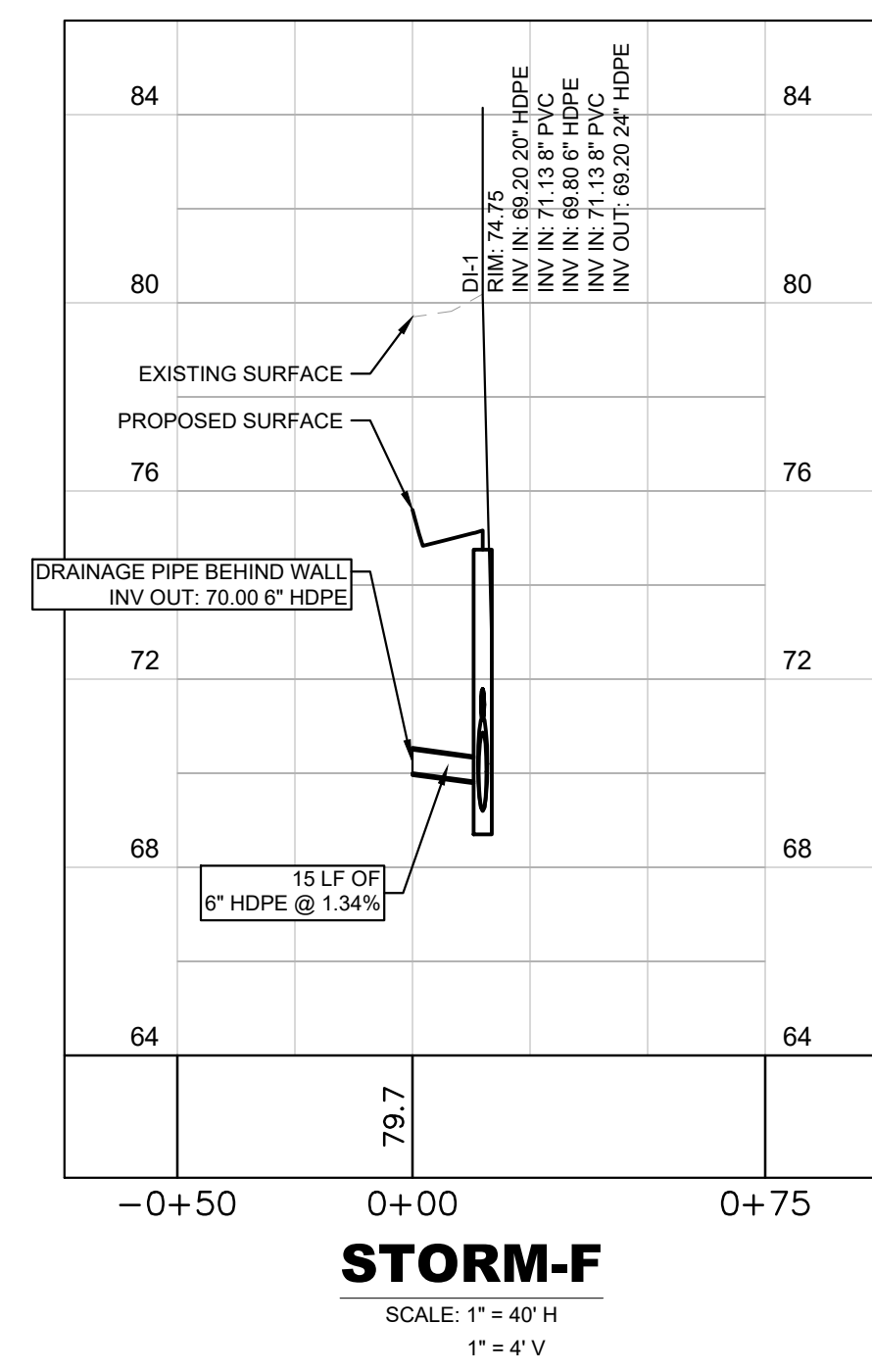
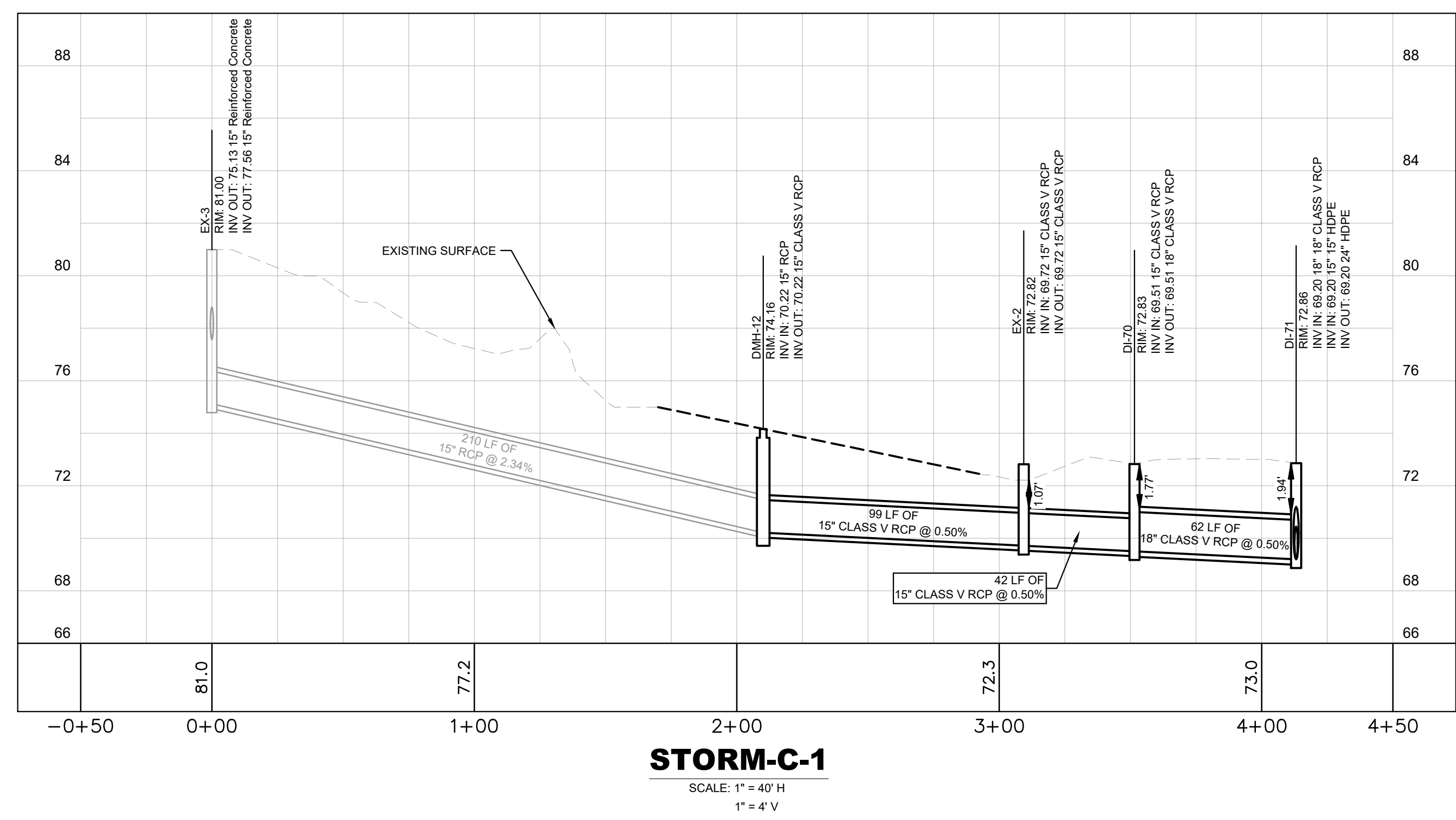
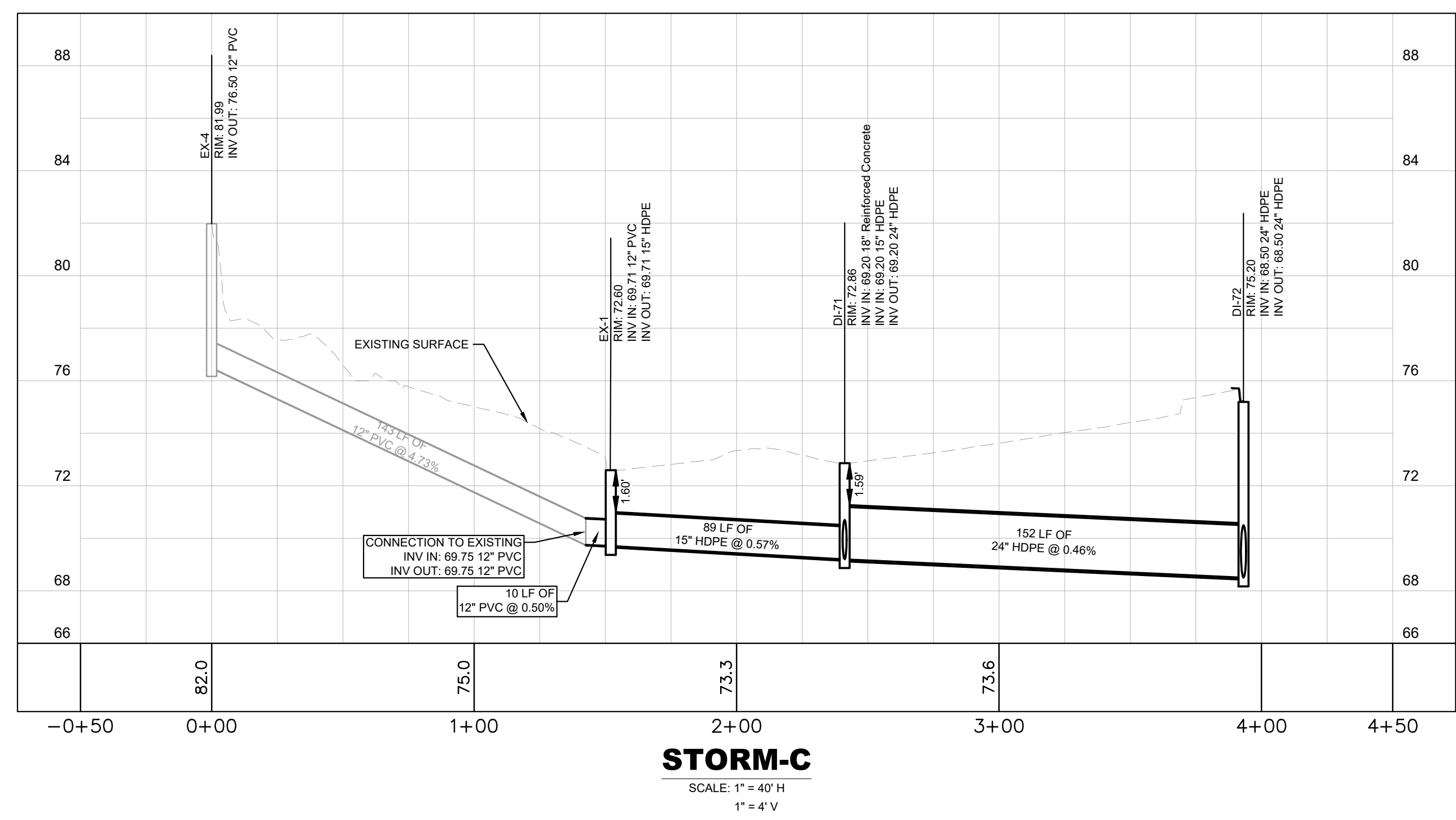
STORMWATER PROFILE PLAN

PHASE 2

2000 CORPORATE DRIVE
ORANGETOWN, NY 10962

SHEET NUMBER C-4.3

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1	08/12/2024	ISSUED FOR PRG REVIEW
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3	11/19/2024	ISSUED FOR TOWN OF ORANGETOWN REVIEW

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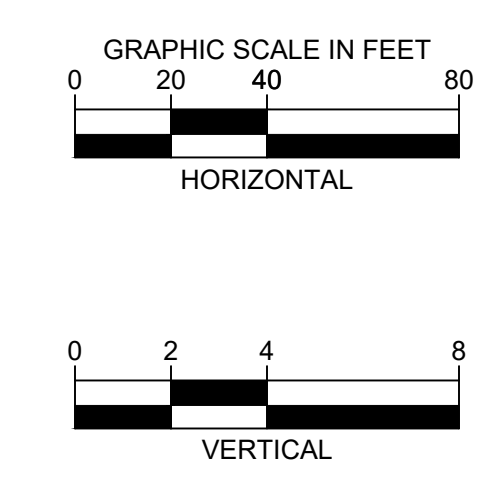
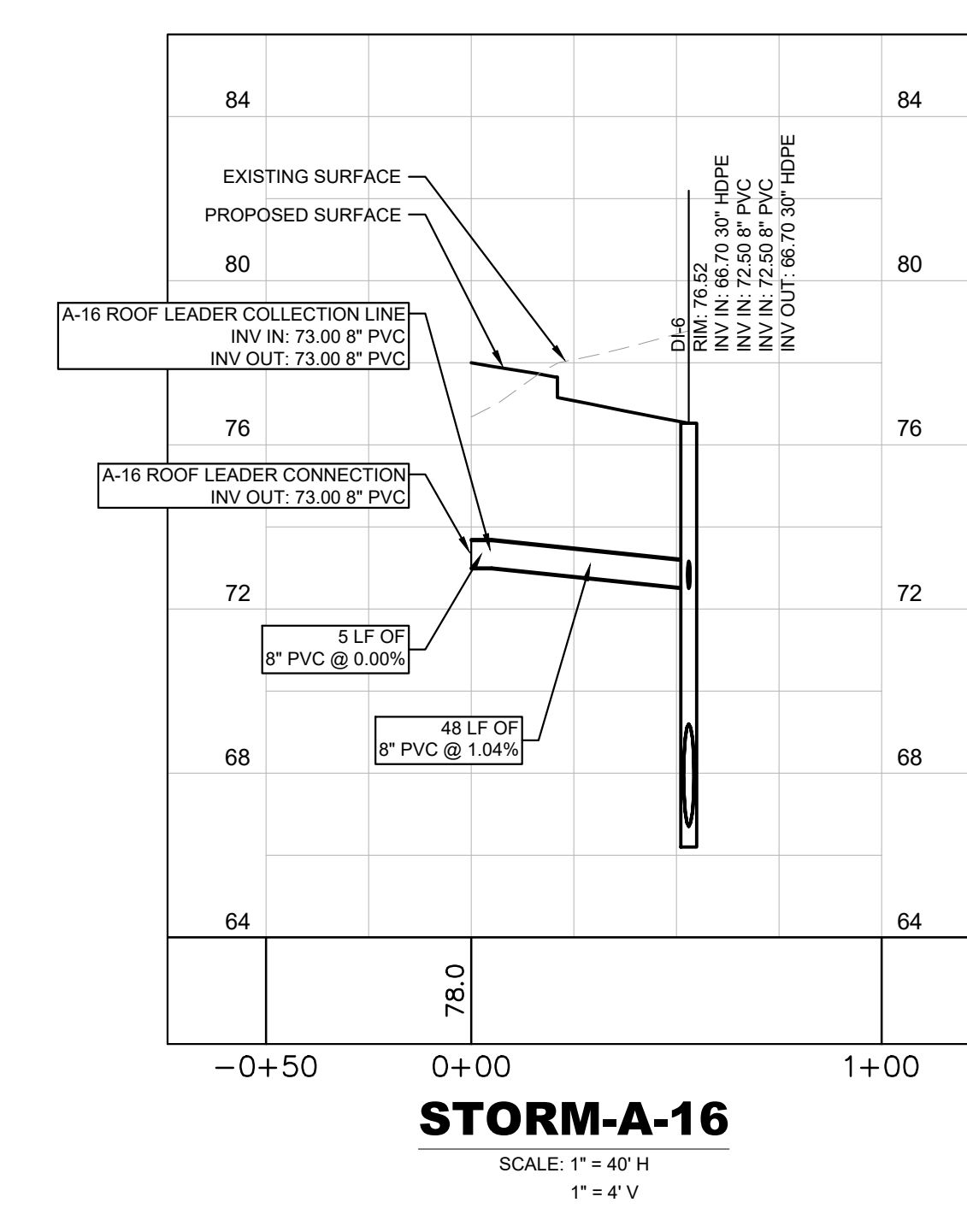
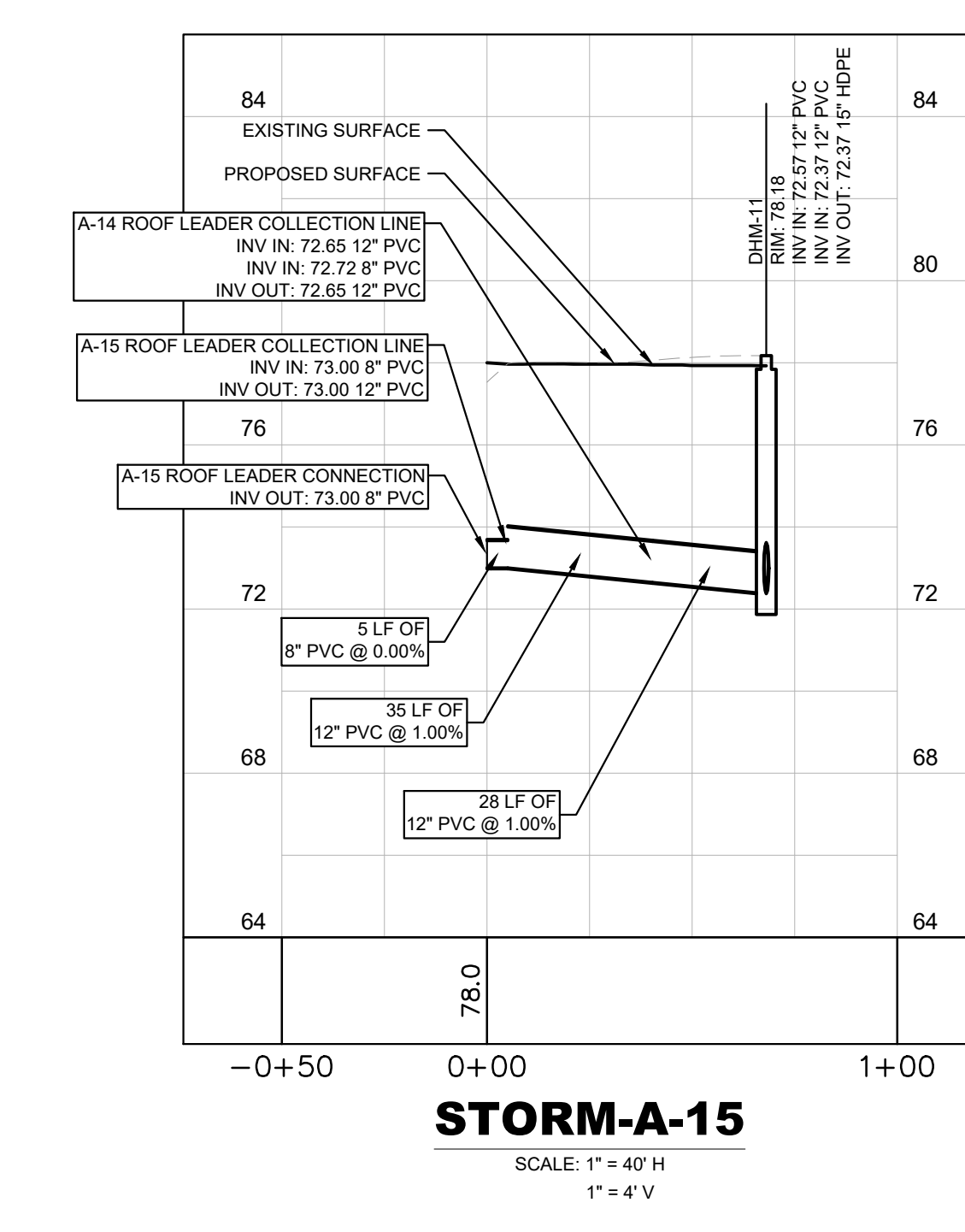
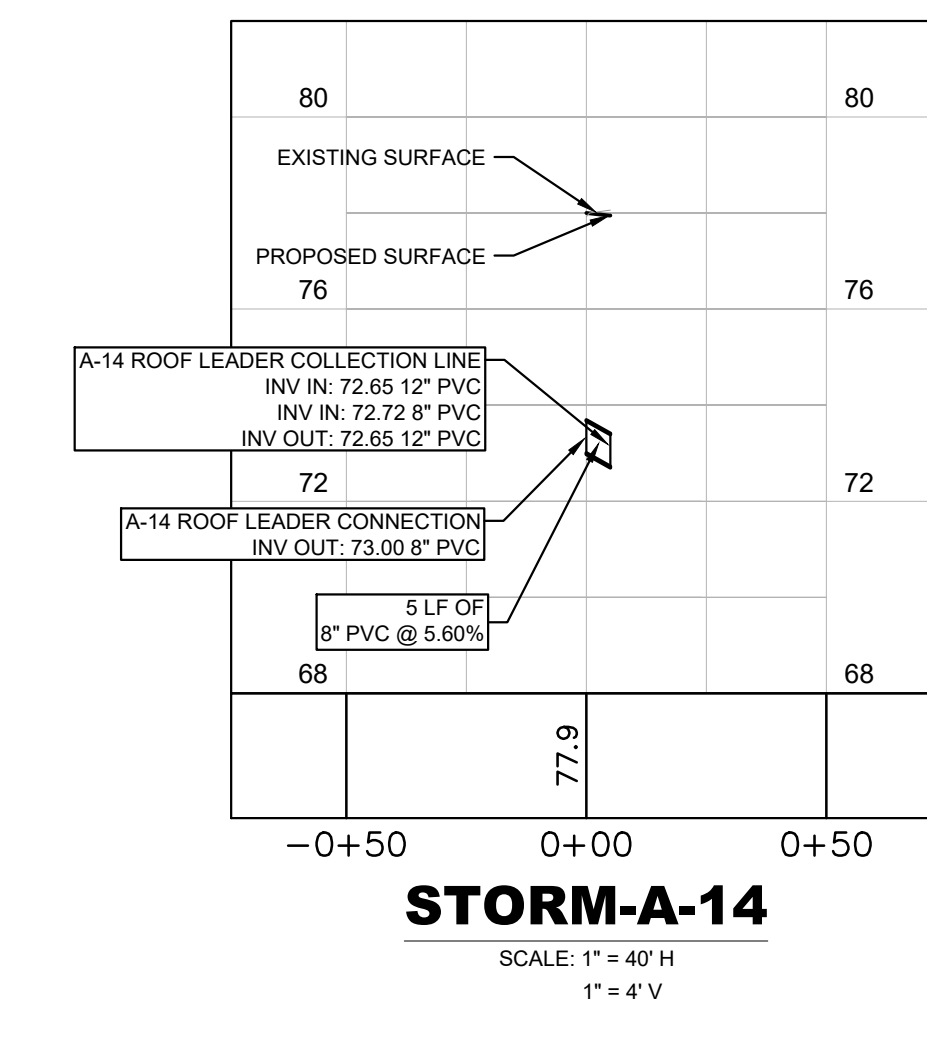
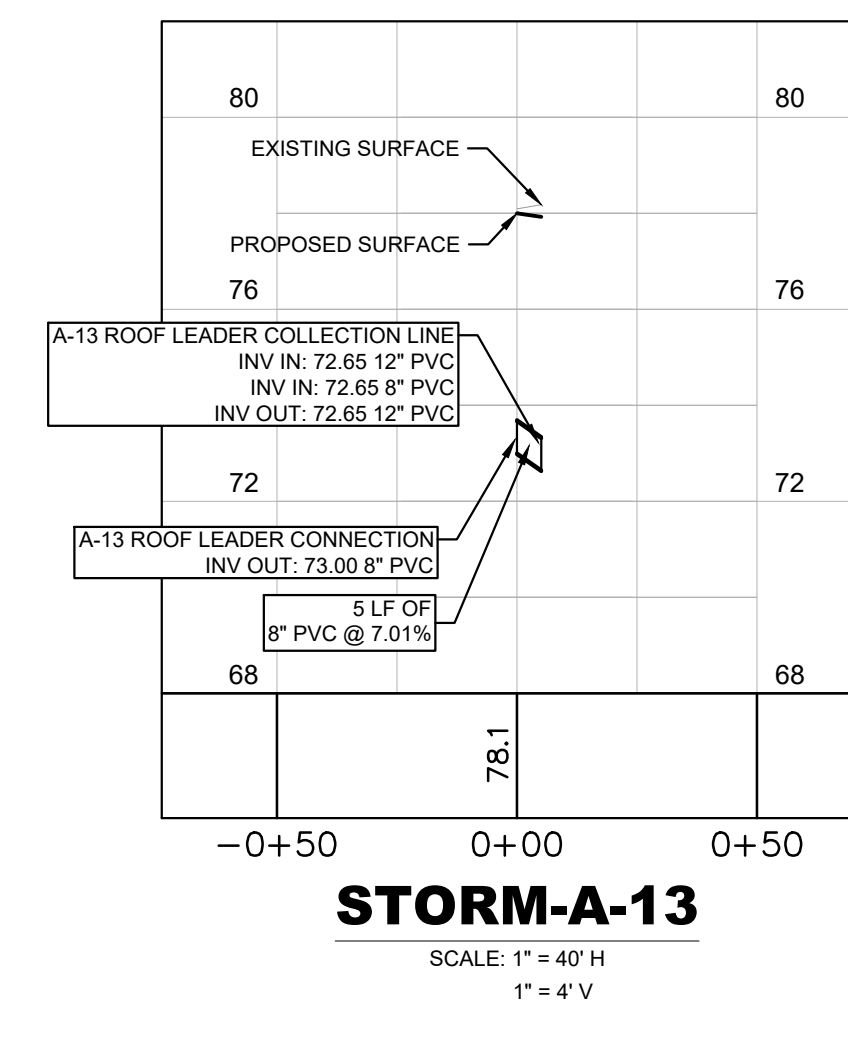
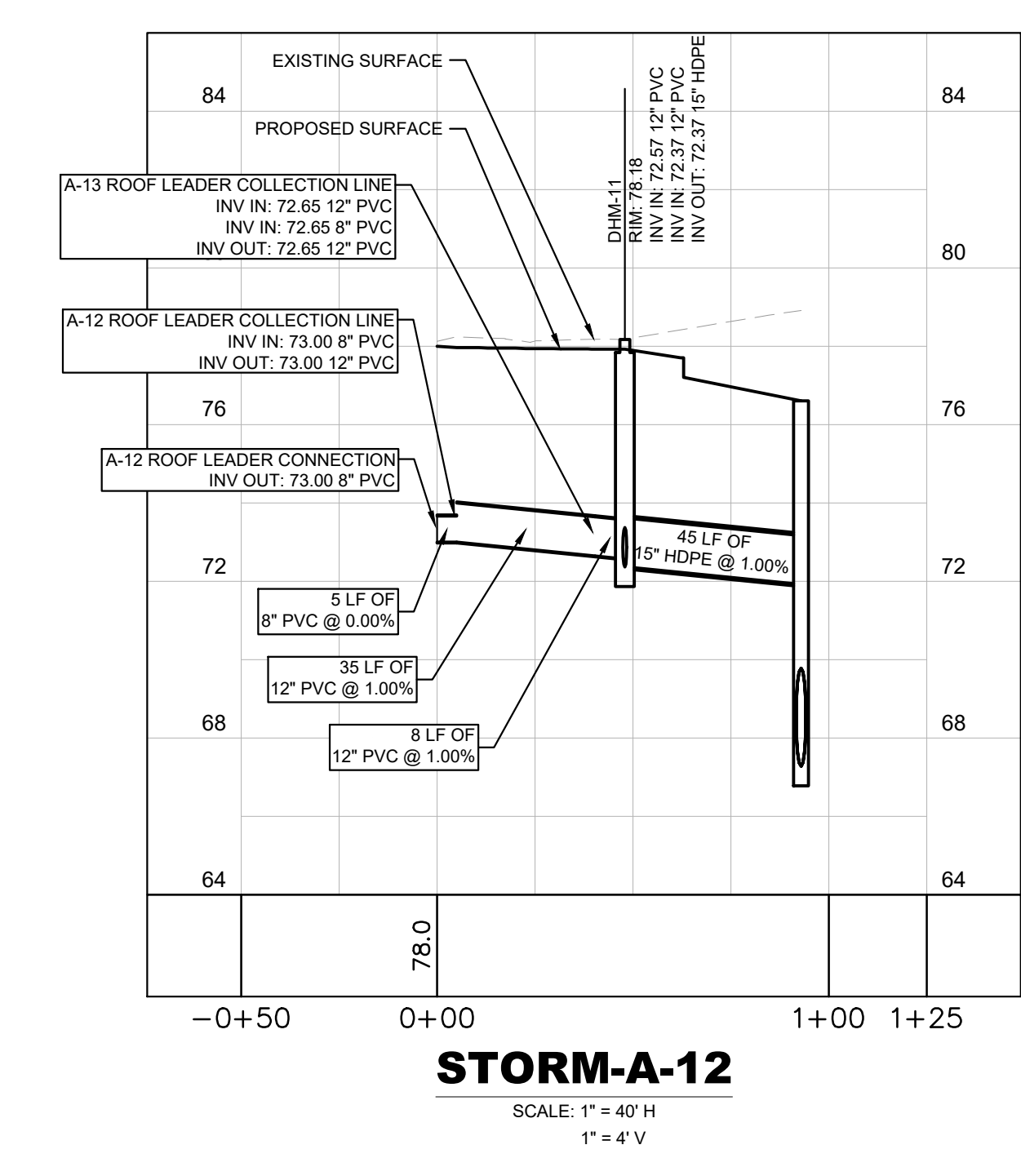
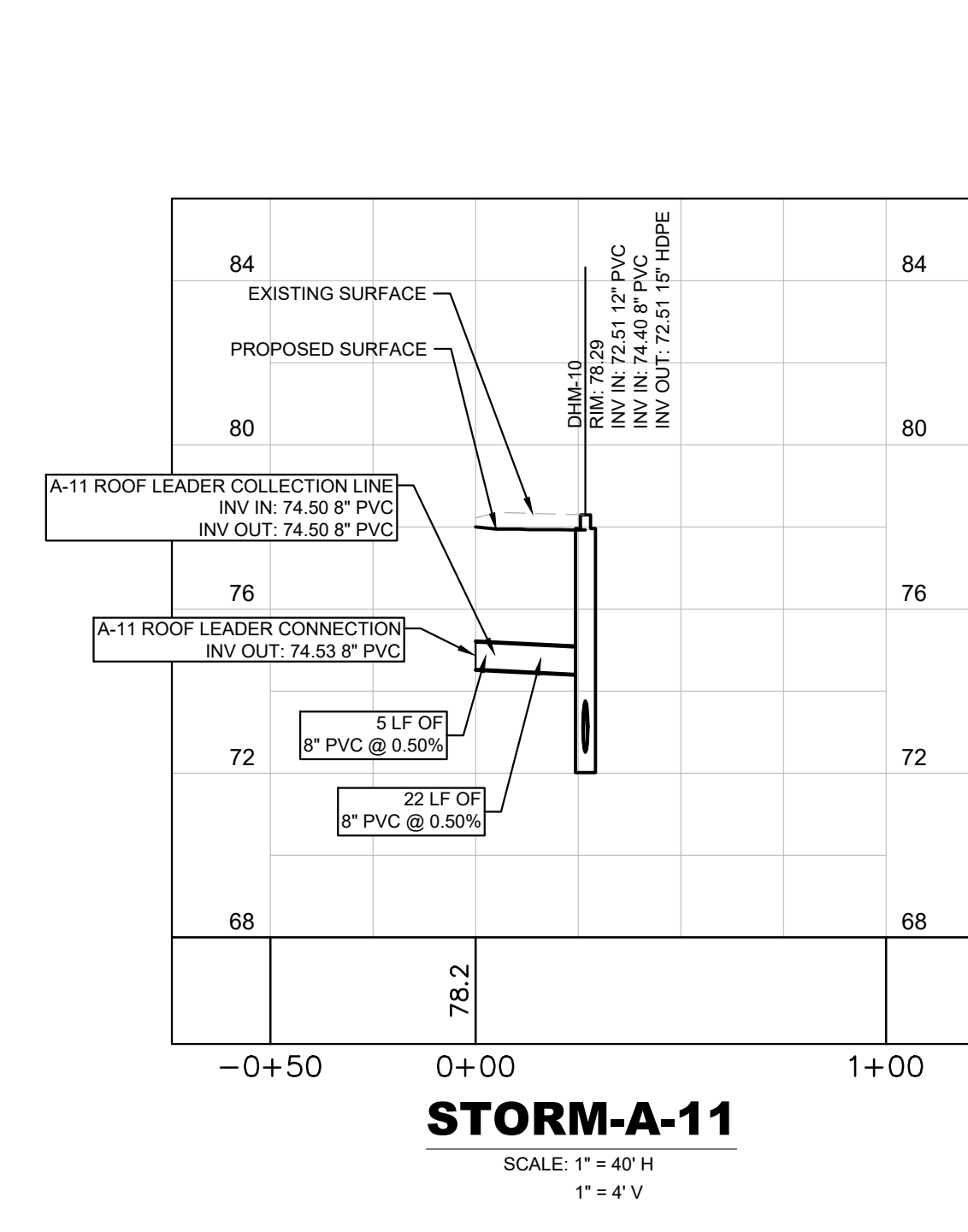
KHA PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	TAS	KC	DL
DESIGNED BY:		DRAWN BY:		CHECKED BY:				

STORMWATER PROFILE PLAN

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-4.4

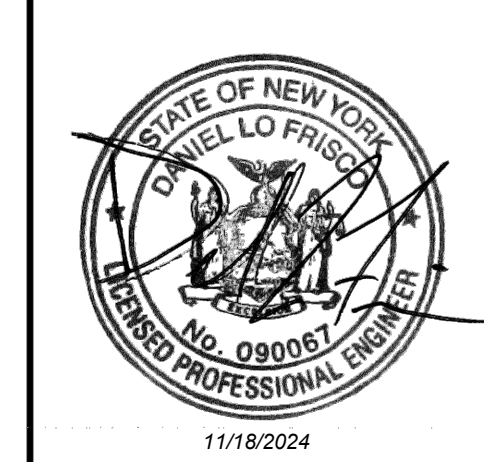
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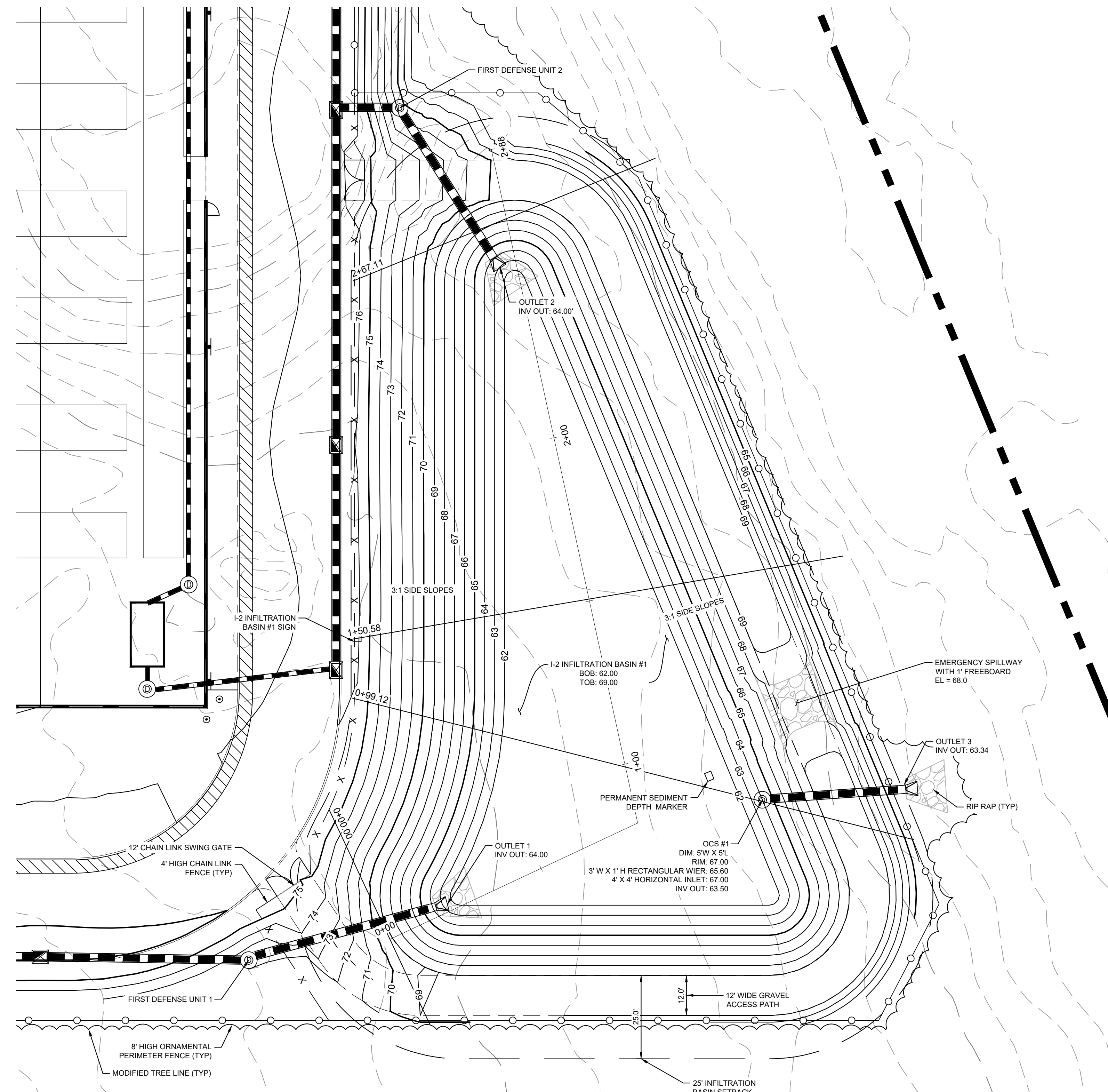
KHA PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

STORMWATER PROFILE PLAN

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

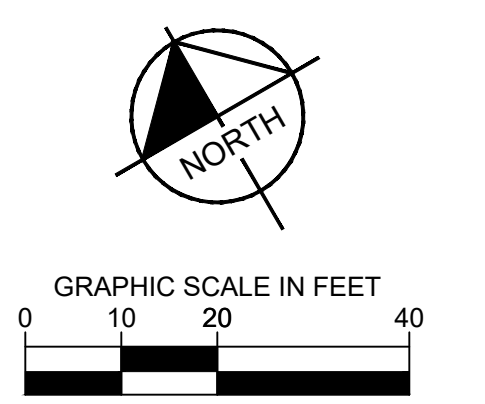
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I-2 INFILTRATION BASIN #1 ENLARGED VIEW

LEGEND	
---	PROPERTY LINE
-XXX-	EXISTING CONTOUR
XXX	PROPOSED CONTOUR
LOD	TOTAL AREA OF DISTURBANCE (13.50 AC)
X.XX	PROPOSED SLOPE
X	PROPOSED ELEVATION
⊕	PROPOSED STORM DRAINAGE STRUCTURES
---	PROPOSED STORM DRAINAGE PIPE

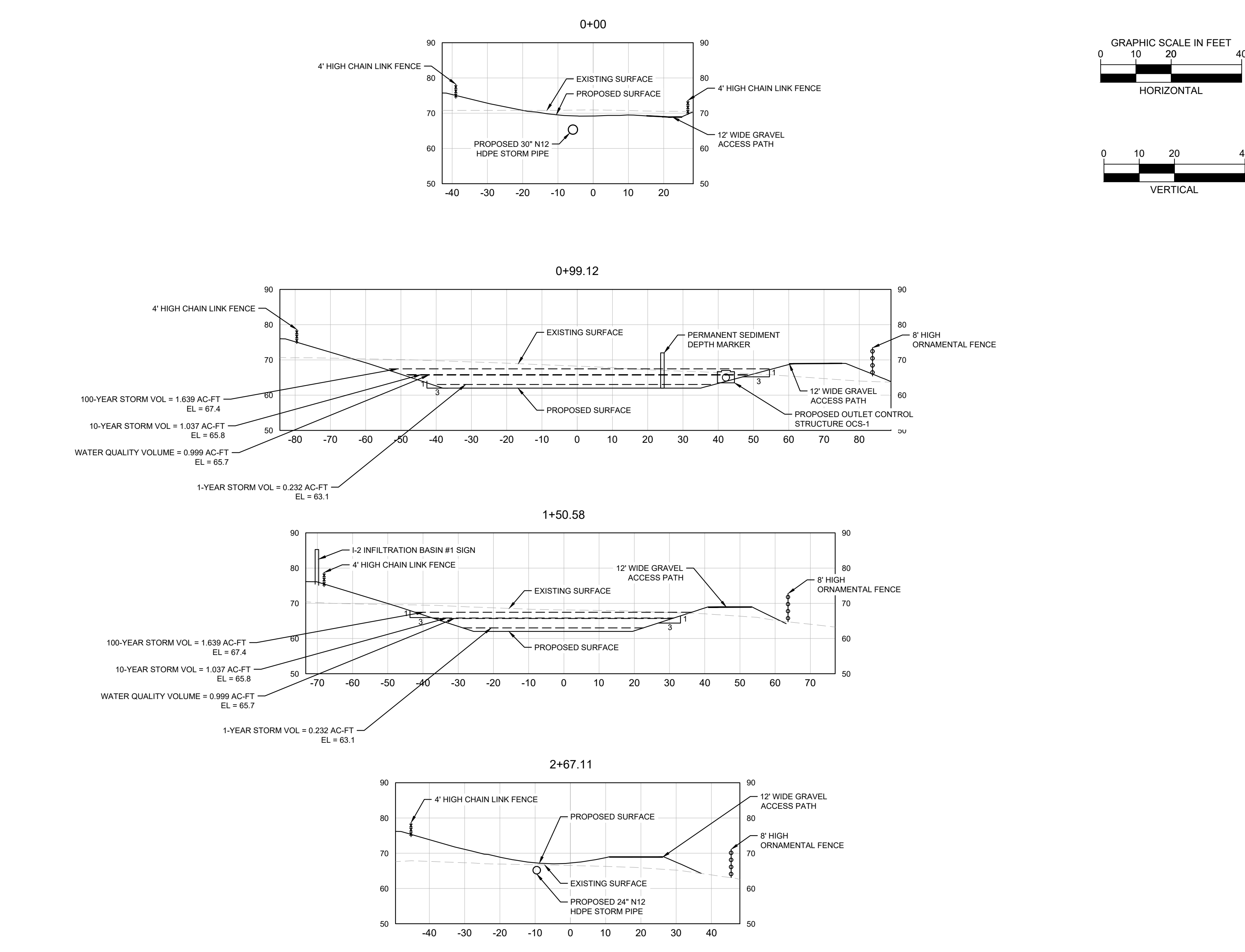


ELEVATION NOTE

- ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.

GENERAL NOTES

- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY," PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 236.64 OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.



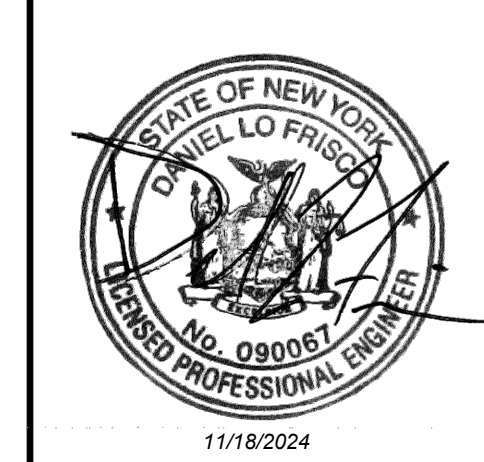
I-2 INFILTRATION BASIN #1 CROSS SECTIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/12/2024
2	ISSUED FOR PRICING	08/26/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

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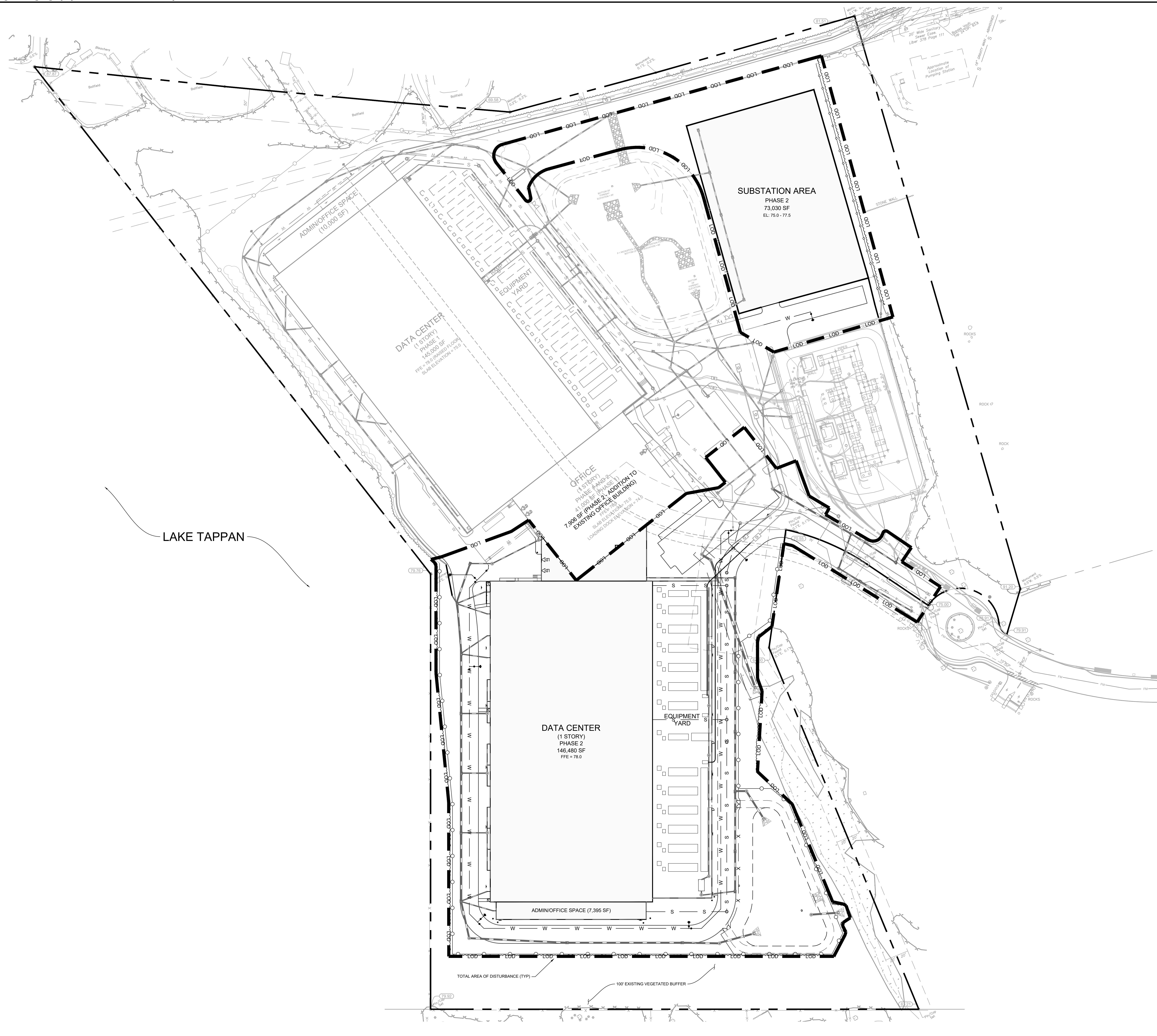
KIM PROJECT	112578002
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

INFILTRATION BASIN ENLARGED VIEW

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

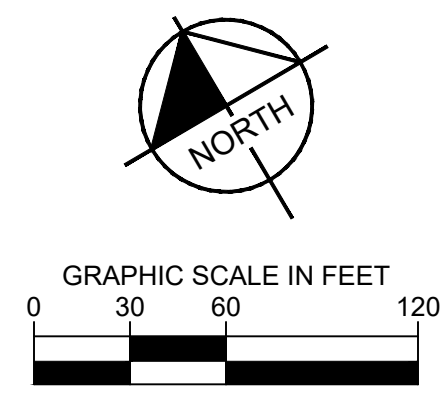
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UTILITY PLAN LEGEND	
---	PROPERTY LINE
---	TOTAL AREA OF DISTURBANCE (13.90 AC)
W	EXISTING WATER LINE
S	EXISTING GRAVITY SEWER LINE
FM	EXISTING FORCE MAIN LINE
G	EXISTING GAS LINE
---	EXISTING ORU HIGH VOLTAGE POWER LINE
---	EXISTING TELECOM LINE
---	EXISTING ELECTRICAL LINE
W	PROPOSED WATER LINE
S	PROPOSED GRAVITY SEWER LINE
⊕	PROPOSED VALVE, TEE, AND HYDRANT
---	PROPOSED ELECTRICAL LINE
---	20' WIDE DRAINAGE EASEMENT

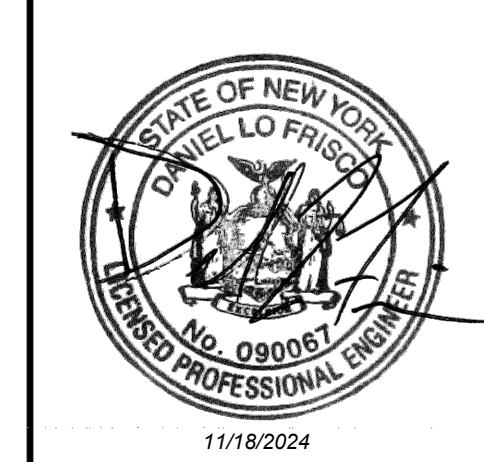
- UTILITY NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY," PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
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 - UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE CIVIL ENGINEER AT THE TIME OF THE SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT, OWNER, OR THE CIVIL ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.
 - PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTION TO EXISTING UTILITIES, AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
 - ALL PROPOSED SANITARY INFRASTRUCTURE IS TO BE PRIVATE AND THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 - SANITARY SEWER INFILTRATION AND EXFILTRATION LIMIT IS 25 GALLONS PER INCH PER DIAMETER PER MILE PER DAY.
 - SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF ORANGETOWN PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - IF THE LOWEST FLOOR IS TO BE SEWERED IS LOWER THAN THE UPSTREAM RIM ELEVATION OF THE SANITARY SEWER MANHOLE, AN INTERIOR CHECK VALVE MUST BE INSTALLED.
 - ALL MANHOLES MUST BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - CERTIFICATE OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY HEALTH DEPARTMENT.
 - ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVAL (RCDOH) IS LIMITED TO 5 YEARS FROM THE DATE OF RCDOH APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RCDOH BASED UPON DEVELOPMENT FACTS AND THE HEALTH SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
 - AS-BUILT SANITARY SEWER AND WATER MAIN DRAWINGS (PLAN AND PROFILE) ARE TO BE SUBMITTED TO THE RCDOH FOR REVIEW AND ACCEPTANCE UPON COMPLETION OF THE INSTALLATION OF IMPROVEMENTS.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/12/2024
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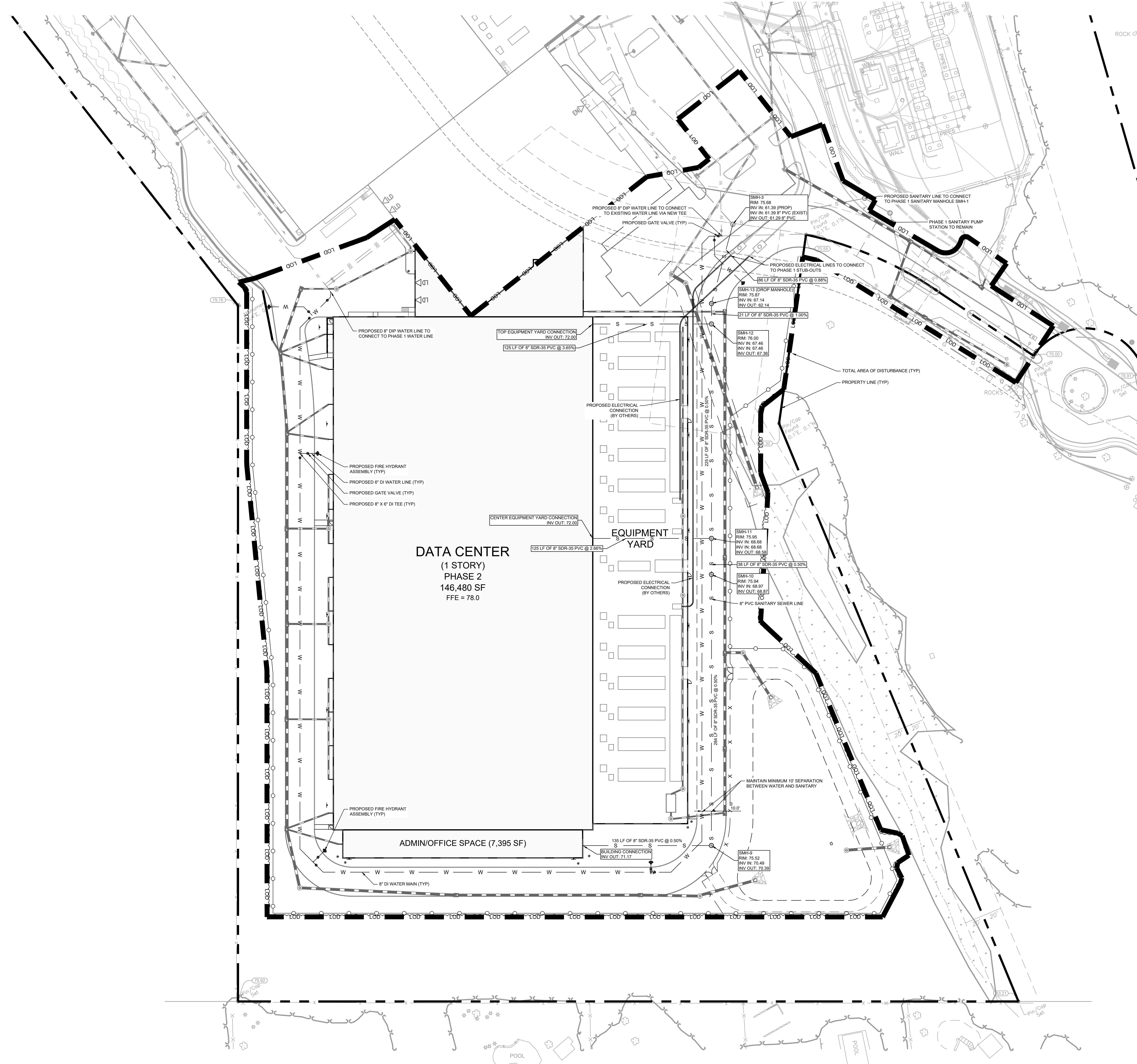
KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

OVERALL UTILITY PLAN

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-5.0

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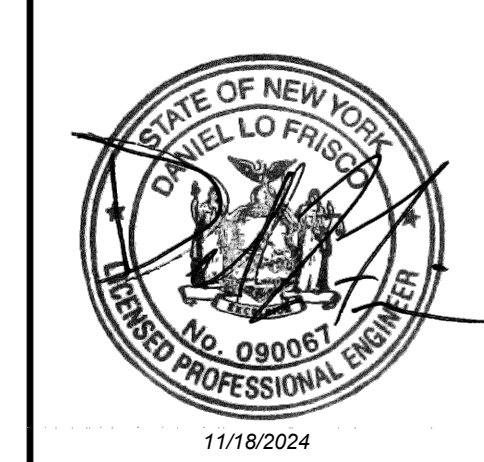
UTILITY PLAN LEGEND	
	PROPERTY LINE
	TOTAL AREA OF DISTURBANCE (13.90 AC)
	EXISTING WATER LINE
	EXISTING GRAVITY SEWER LINE
	EXISTING FORCE MAIN LINE
	EXISTING GAS LINE
	EXISTING OUI HIGH VOLTAGE POWER LINE
	EXISTING TELECOM LINE
	EXISTING ELECTRICAL LINE
	PROPOSED WATER LINE
	PROPOSED GRAVITY SEWER LINE
	PROPOSED VALVE, TEE, AND HYDRANT
	PROPOSED ELECTRICAL LINE
	20' WIDE DRAINAGE EASEMENT

- UTILITY NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
 - ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.84M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE CIVIL ENGINEER AT THE TIME OF THE SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT, OWNER, OR THE CIVIL ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.
 - PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTION TO EXISTING UTILITIES, AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
 - ALL PROPOSED SANITARY INFRASTRUCTURE IS TO BE PRIVATE AND THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 - SANITARY SEWER INFILTRATION AND EXFILTRATION LIMIT IS 25 GALLONS PER INCH PER DIAMETER PER MILE PER DAY.
 - SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF ORANGETOWN PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - IF THE LOWEST FLOOR IS TO BE SEWERED IS LOWER THAN THE UPSTREAM RIM ELEVATION OF THE SANITARY SEWER MANHOLE, AN INTERIOR CHECK VALVE MUST BE INSTALLED.
 - ALL MANHOLES MUST BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - CERTIFICATE OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER, IS SUBMITTED TO AN APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY HEALTH DEPARTMENT.
 - ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVAL (RCDOH) IS LIMITED TO 5 YEARS FROM THE DATE OF RCDOH APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RCDOH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
 - AS-BUILT SANITARY SEWER AND WATER MAIN DRAWINGS (PLAN AND PROFILE) ARE TO BE SUBMITTED TO THE RCDOH FOR REVIEW AND ACCEPTANCE UPON COMPLETION OF THE INSTALLATION OF IMPROVEMENTS.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERC REVIEW	08/25/2024
2	ISSUED FOR PERC REVIEW	08/25/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

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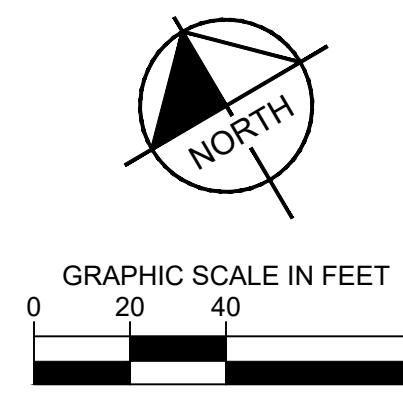


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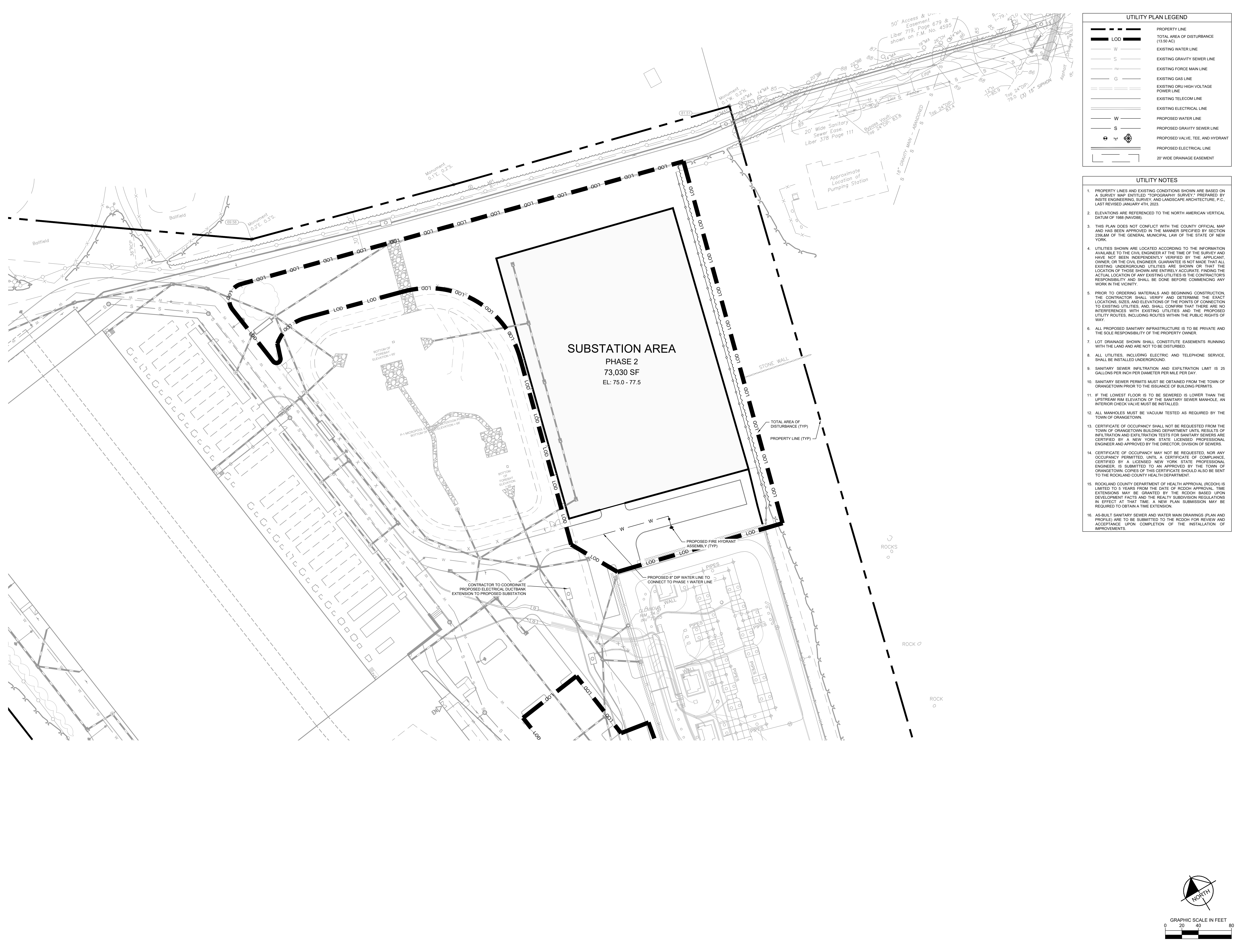
UTILITY PLAN

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-5.1



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UTILITY PLAN LEGEND

---	PROPERTY LINE
---	TOTAL AREA OF DISTURBANCE (13.50 AC)
W	EXISTING WATER LINE
S	EXISTING GRAVITY SEWER LINE
FM	EXISTING FORCE MAIN LINE
G	EXISTING GAS LINE
---	EXISTING ORU HIGH VOLTAGE POWER LINE
---	EXISTING TELECOM LINE
---	EXISTING ELECTRICAL LINE
W	PROPOSED WATER LINE
S	PROPOSED GRAVITY SEWER LINE
⊕	PROPOSED VALVE, TEE, AND HYDRANT
---	PROPOSED ELECTRICAL LINE
---	20' WIDE DRAINAGE EASEMENT

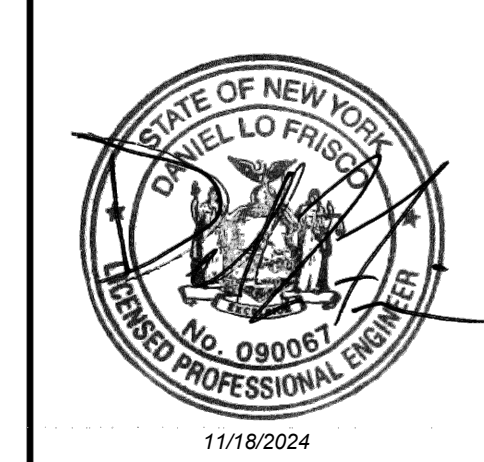
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 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 228.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE CIVIL ENGINEER AT THE TIME OF THE SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT, OWNER, OR THE CIVIL ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR PRICING	08/25/2024
2	ISSUED FOR PRICING	08/25/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/18/2024

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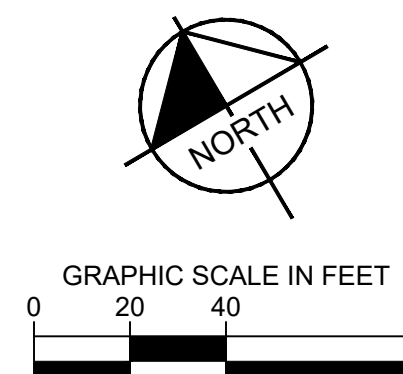


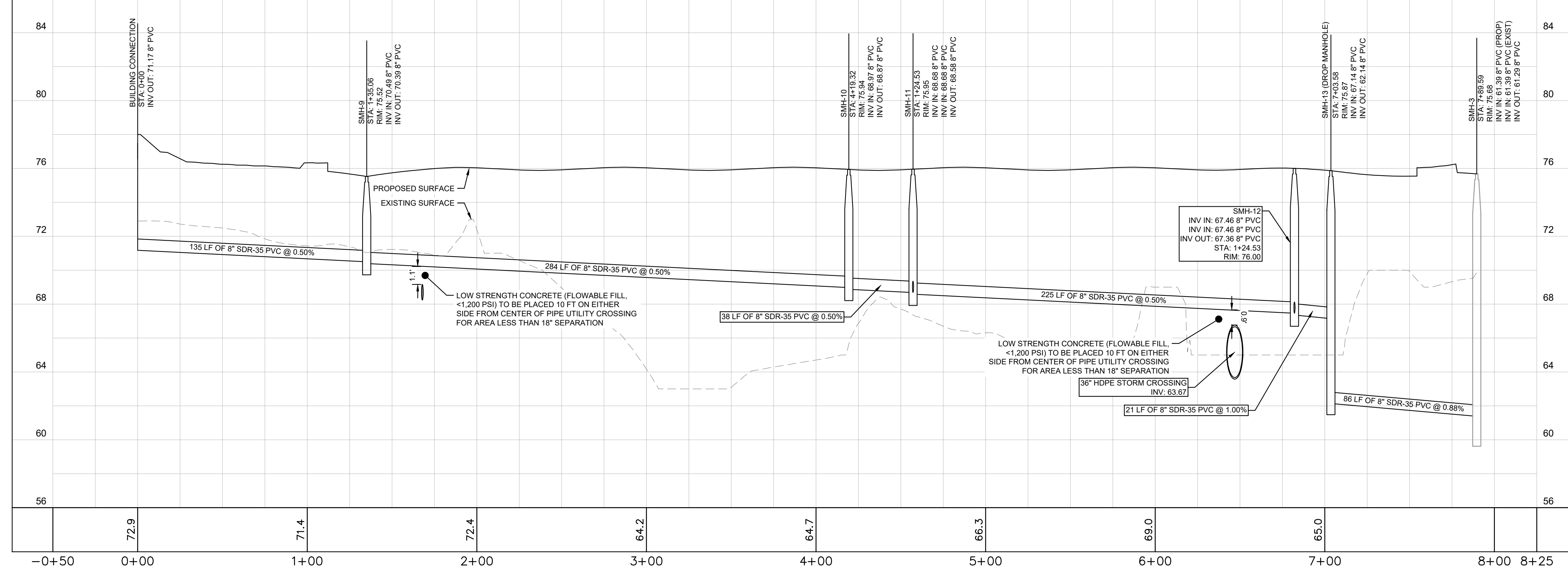
KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY	TAS	DRAWN BY	KC	CHECKED BY	DL
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UTILITY PLAN

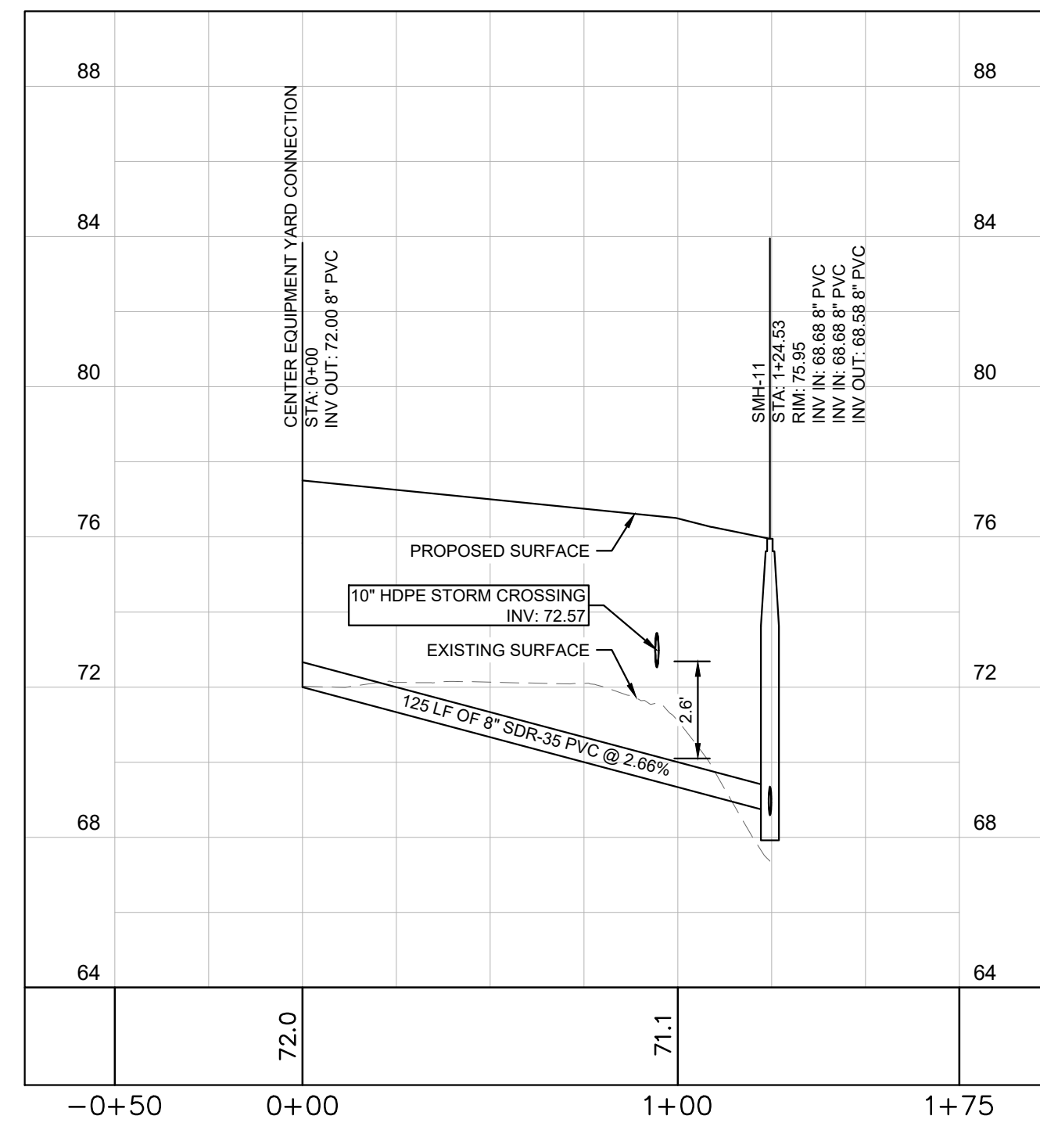
DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-5.2

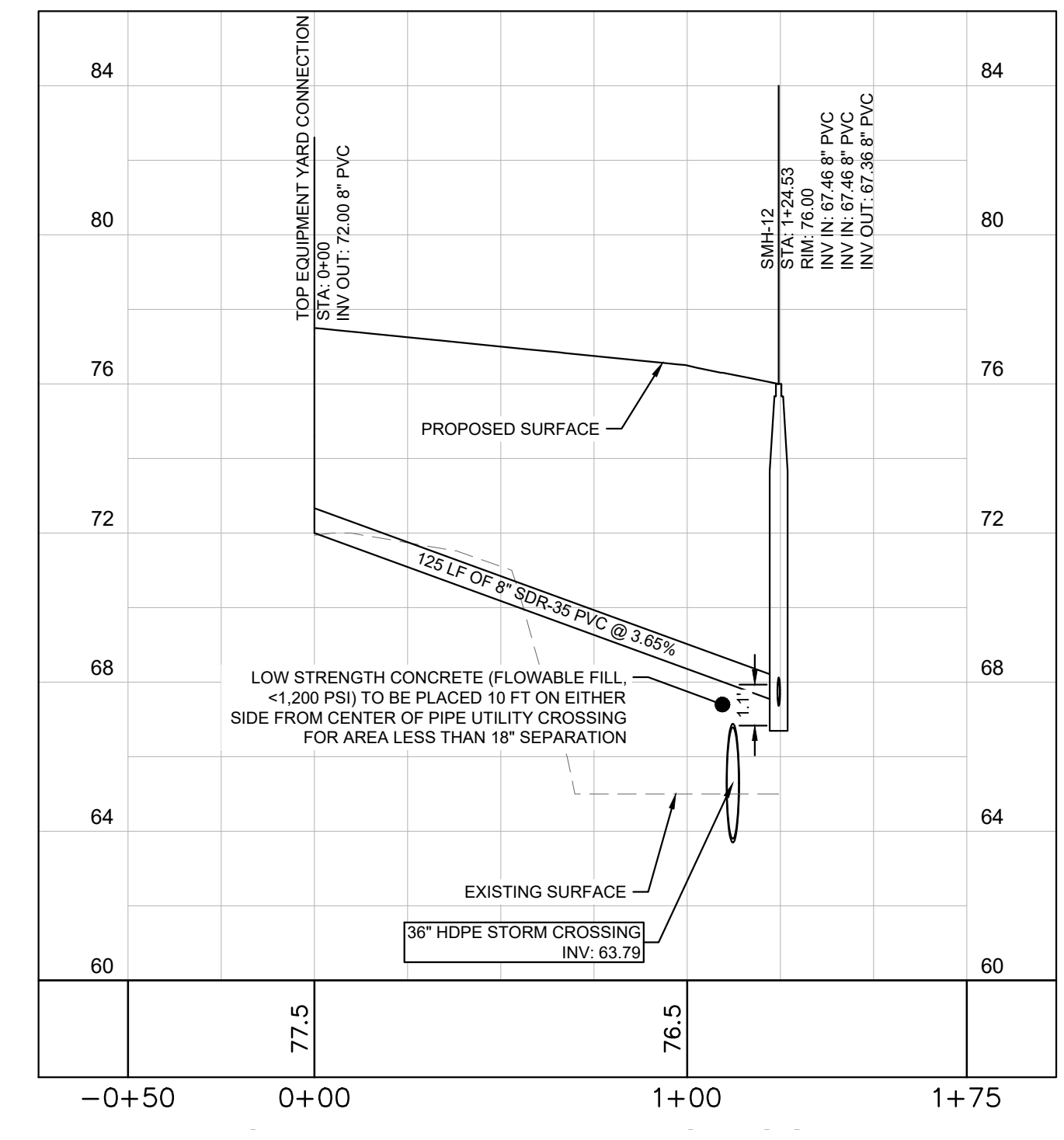




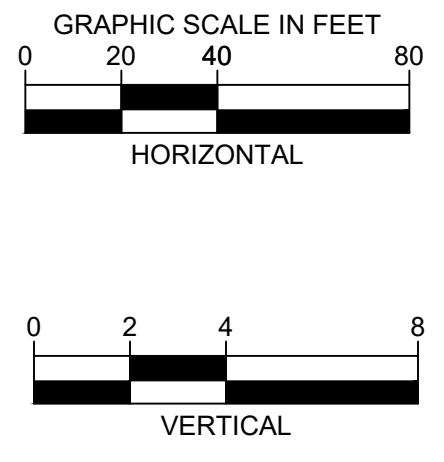
SANITARY SEWER: PROFILE VIEW



SANITARY SEWER: CENTER EQUIPMENT YARD PROFILE VIEW



SANITARY SEWER: TOP EQUIPMENT YARD PROFILE VIEW



NO.	DESCRIPTION	DATE
1	ISSUED FOR PRICING	08/25/2024
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3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

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SANITARY SEWER PROFILES

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LEGEND

---	PROPERTY LINE
LOD	STAGE 1 AREA OF DISTURBANCE (8.58 AC)
LOD	STAGE 2 AREA OF DISTURBANCE (9.58 AC)
LOD	STAGE 3 AREA OF DISTURBANCE (8.27 AC)
LOD	STAGE 4 AREA OF DISTURBANCE (9.47 AC)
LOD	STAGE 5 AREA OF DISTURBANCE (9.06 AC)
LOD	STAGE 6 AREA OF DISTURBANCE (5.70 AC)

- GENERAL NOTES**
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 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239LAM OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS CERTIFIED BY A PROFESSIONAL ENGINEER FOR STORMWATER MANAGEMENT PRACTICES LOCATED ON SITE AFTER FINAL CONSTRUCTION IS COMPLETED.
 - A COPY OF THE SWPPP AND ALL INSPECTION REPORTS SHALL BE RETAINED AT THE SITE OF THE LAND DEVELOPMENT ACTIVITY DURING CONSTRUCTION FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO FIVE YEARS AFTER THE DATE OF SUBMITTAL OF THE NOTICE OF TERMINATION (NOT) FORM TO NYSDEC.
 - THE CONTRACTOR MAY MODIFY THE CONSTRUCTION STAGING AS REQUIRED PER FIELD CONDITIONS AND SHALL PROVIDE ALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES. THE CONTRACTOR SHALL NOT DISTURB MORE THAN 10 ACRES AT ANY PARTICULAR TIME THROUGHOUT ALL CONSTRUCTION ACTIVITIES.
 - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

NO.	DESCRIPTION	DATE
1	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024
2	ISSUED FOR PRICING	06/25/2024
3	ISSUED FOR PRG REVIEW	06/12/2024

FOR PERMIT REVIEW

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 WHITE PLAINS, NY 10607
 PHONE: 914-388-8000
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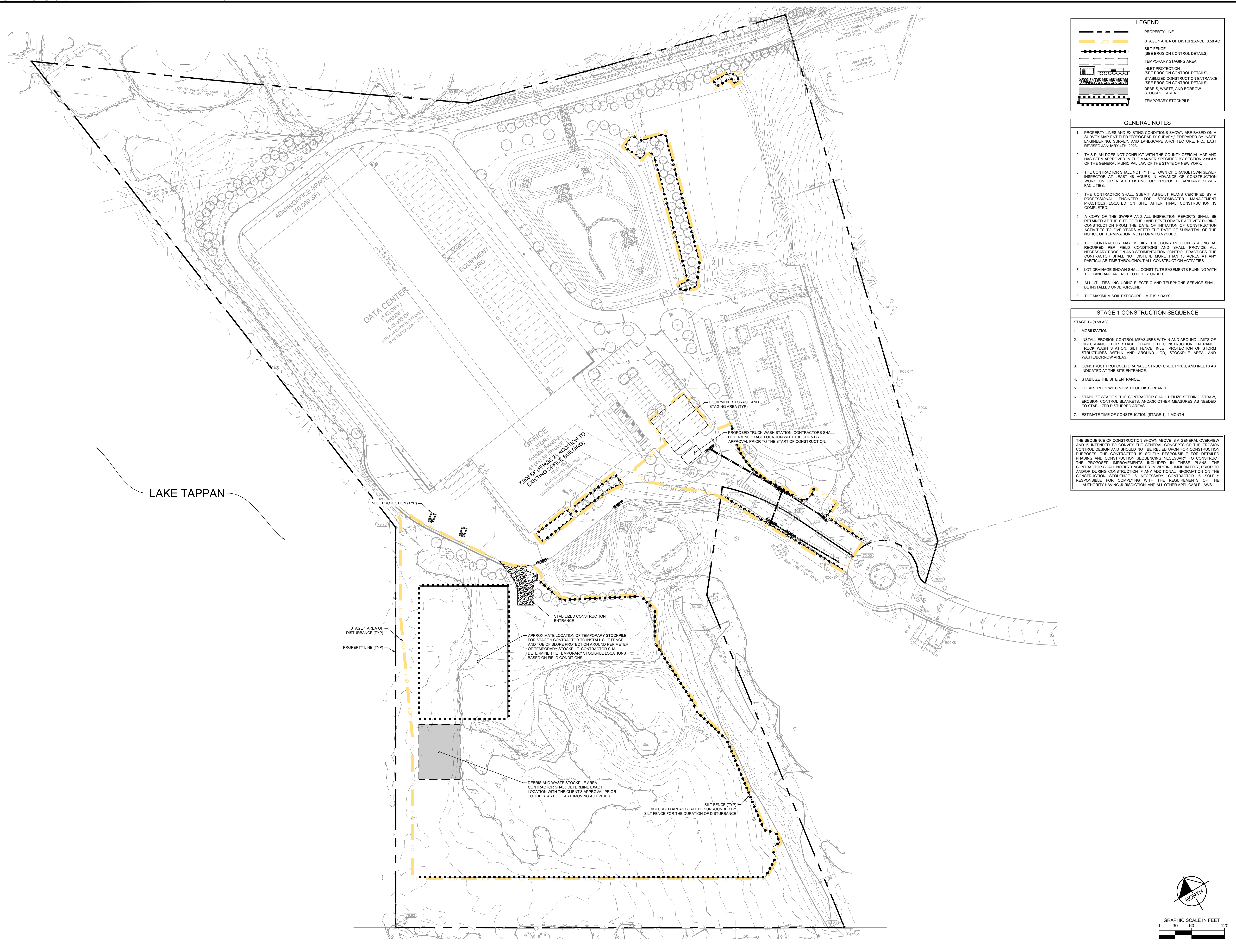
KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

OVERALL EROSION & SEDIMENT CONTROL PLAN

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
C-6.0

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LEGEND

	PROPERTY LINE
	STAGE 1 AREA OF DISTURBANCE (8.58 AC)
	SILT FENCE (SEE EROSION CONTROL DETAILS)
	TEMPORARY STAGING AREA (SEE EROSION CONTROL DETAILS)
	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
	STABILIZED CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
	DEBRIS, WASTE, AND BORROW STOCKPILE AREA
	TEMPORARY STOCKPILE

- GENERAL NOTES**
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 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS CERTIFIED BY A PROFESSIONAL ENGINEER FOR STORMWATER MANAGEMENT PRACTICES LOCATED ON SITE AFTER FINAL CONSTRUCTION IS COMPLETED.
 - A COPY OF THE SWPPP AND ALL INSPECTION REPORTS SHALL BE RETAINED AT THE SITE OF THE LAND DEVELOPMENT ACTIVITY DURING CONSTRUCTION FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO FIVE YEARS AFTER THE DATE OF SUBMITTAL OF THE NOTICE OF TERMINATION (NOT) FORM TO NYSDC.
 - THE CONTRACTOR MAY MODIFY THE CONSTRUCTION STAGING AS REQUIRED PER FIELD CONDITIONS AND SHALL PROVIDE ALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES. THE CONTRACTOR SHALL NOT DISTURB MORE THAN 10 ACRES AT ANY PARTICULAR TIME THROUGHOUT ALL CONSTRUCTION ACTIVITIES.
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- STAGE 1 CONSTRUCTION SEQUENCE**
- STAGE 1 - (8.58 AC)
- MOBILIZATION
 - INSTALL EROSION CONTROL MEASURES WITHIN AND AROUND LIMITS OF DISTURBANCE FOR STAGE: STABILIZED CONSTRUCTION ENTRANCE TRUCK WASH STATION, SILT FENCE, INLET PROTECTION OF STORM STRUCTURES WITHIN AND AROUND LOD, STOCKPILE AREA, AND WASTE/BORROW AREAS
 - CONSTRUCT PROPOSED DRAINAGE STRUCTURES, PIPES, AND INLETS AS INDICATED AT THE SITE ENTRANCE.
 - STABILIZE THE SITE ENTRANCE.
 - CLEAR TREES WITHIN LIMITS OF DISTURBANCE.
 - STABILIZE STAGE 1. THE CONTRACTOR SHALL UTILIZE SEEDING, STRAW, EROSION CONTROL BLANKETS, AND/OR OTHER MEASURES AS NEEDED TO STABILIZE DISTURBED AREAS.
 - ESTIMATE TIME OF CONSTRUCTION (STAGE 1): 1 MONTH

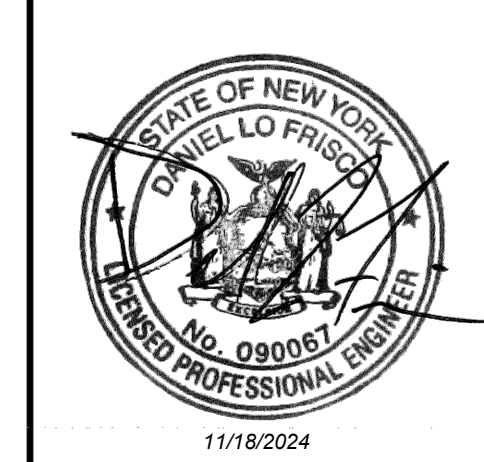
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NO.	DESCRIPTION	ISSUED FOR PRG REVIEW	ISSUED FOR TOWN OF ORANGETOWN REVIEW	DATE
1				08/12/2024
2				08/26/2024
3				11/19/2024

FOR PERMIT REVIEW

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New York
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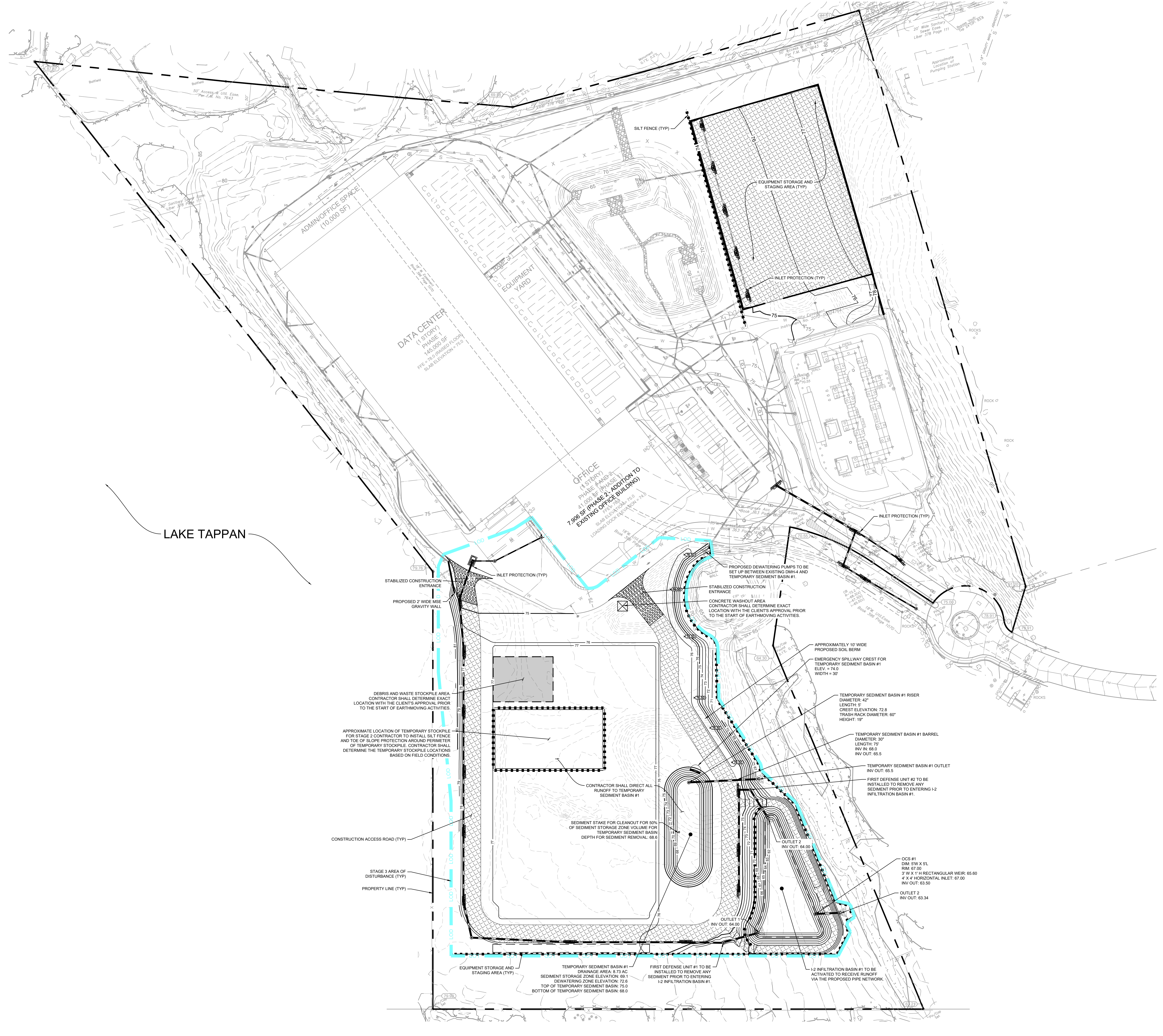
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EROSION & SEDIMENT CONTROL PLAN - STAGE 1

DATABANK ORANGEBURG PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
NEW YORK
TOWN OF ORANGETOWN

SHEET NUMBER
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LEGEND	
	PROPERTY LINE
	STAGE 3 AREA OF DISTURBANCE (8.27 AC)
	SILT FENCE (SEE EROSION CONTROL DETAILS)
	TEMPORARY STAGING AREA (SEE EROSION CONTROL DETAILS)
	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
	STABILIZED CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
	CONCRETE WASHOUT (TO BE DETERMINED BY CONTRACTOR)
	DEBRIS, WASTE, AND BORROW STOCKPILE AREA
	TEMPORARY STOCKPILE
	GRAVEL
	DE-WATERING PUMP ROUTE
	TEMPORARY SEDIMENT BASIN
	RETAINING WALL
	STORM DRAINAGE PIPE
	STORM DRAINAGE STRUCTURES

- GENERAL NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS CERTIFIED BY A PROFESSIONAL ENGINEER FOR STORMWATER MANAGEMENT PRACTICES LOCATED ON SITE AFTER FINAL CONSTRUCTION IS COMPLETED.
 - A COPY OF THE SWPPP AND ALL INSPECTION REPORTS SHALL BE RETAINED AT THE SITE OF THE LAND DEVELOPMENT ACTIVITY DURING CONSTRUCTION FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO FIVE YEARS AFTER THE DATE OF SUBMITTAL OF THE NOTICE OF TERMINATION (NOT) FORM TO NYSDEC.
 - THE CONTRACTOR MAY MODIFY THE CONSTRUCTION STAGING AS REQUIRED PER FIELD CONDITIONS AND SHALL PROVIDE ALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES. THE CONTRACTOR SHALL NOT DISTURB MORE THAN 10 ACRES AT ANY PARTICULAR TIME THROUGHOUT ALL CONSTRUCTION ACTIVITIES.
 - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.

- STAGE 3 CONSTRUCTION SEQUENCE**
- STAGE 3 - (8.27 AC)
- MOBILIZATION.
 - INSTALL EROSION CONTROL MEASURES WITHIN AND AROUND LIMITS OF DISTURBANCE FOR STAGE: STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION OF STORM STRUCTURES WITHIN AND AROUND LOD, STOCKPILE AREA, AND WASTE/BORROW AREAS.
 - SITE CLEARING. REMOVE PORTION OF EXISTING RETAINING WALL AS INDICATED.
 - CONSTRUCT 2' WIDE MSE GRAVITY WALL.
 - MODIFY AND CONSTRUCT TEMPORARY CONSTRUCTION ACCESS ROAD AS INDICATED ON THIS PLAN.
 - REMOVE EXISTING DRAINAGE STRUCTURES WITHIN THE LOD. KEEP SPECIFIC EXISTING DRAINAGE PIPE/STRUCTURES AS SHOWN ON THIS PLAN.
 - CONSTRUCT PROPOSED DRAINAGE STRUCTURES, PIPE, AND OUTLETS.
 - CAP THE DOWNSTREAM PIPE OPENINGS AT STRUCTURES OR PIPES AS INDICATED ON THIS PLAN.
 - CAP AND SEAL STRUCTURES AT THE SURFACE OF STRUCTURE TO PREVENT STORMWATER FROM ENTERING AS INDICATED ON THIS PLAN.
 - INSTALL INLET PROTECTION.
 - ACTIVATE I-2 INFILTRATION BASIN #1 ONCE FULLY VEGETATED AND STABILIZED. ACTIVATE FIRST DEFENSE UNITS #1 AND #2 TO PROVIDE SEDIMENT REMOVAL PRIOR TO ENTERING I-2 INFILTRATION BASIN #1.
 - BACKFILL P-1 MICROPOOL EXTENDED DETENTION POND #2 AND DIRECT RUNOFF TO TEMPORARY SEDIMENT BASIN #1.
 - INSTALL DE-WATERING PUMPS BETWEEN EXISTING MANHOLE DMH-4 AND TEMPORARY SEDIMENT BASIN #1. DRAIN EXISTING SETTLING BASIN AND REMOVE EXCESS SILT FROM BASIN.
 - STABILIZE STAGE 3. THE CONTRACTOR SHALL UTILIZE SEEDING, STRAW, EROSION CONTROL BLANKETS, AND/OR OTHER MEASURES AS NEEDED TO STABILIZE DISTURBED AREAS.
 - COLLECT SILT AND SEDIMENT AND REMOVE FROM SITE. REMOVE SILT AND SEDIMENT FROM SEDIMENT BASINS. REINFORCE ANY SECTIONS OF THE BASINS THAT MAY SHOW SIGNS OF EROSION DURING LARGER STORMS.
 - ESTIMATED TIME OF CONSTRUCTION (STAGE 3): 2 MONTHS

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

FOR PERMIT REVIEW

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DATABANK

STATE OF NEW YORK
LANDSCAPE ARCHITECT
NO. 09057
11/19/2024

KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY	TAS	DRAWN BY	IC	CHECKED BY	DL
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EROSION & SEDIMENT CONTROL PLAN - STAGE 3

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

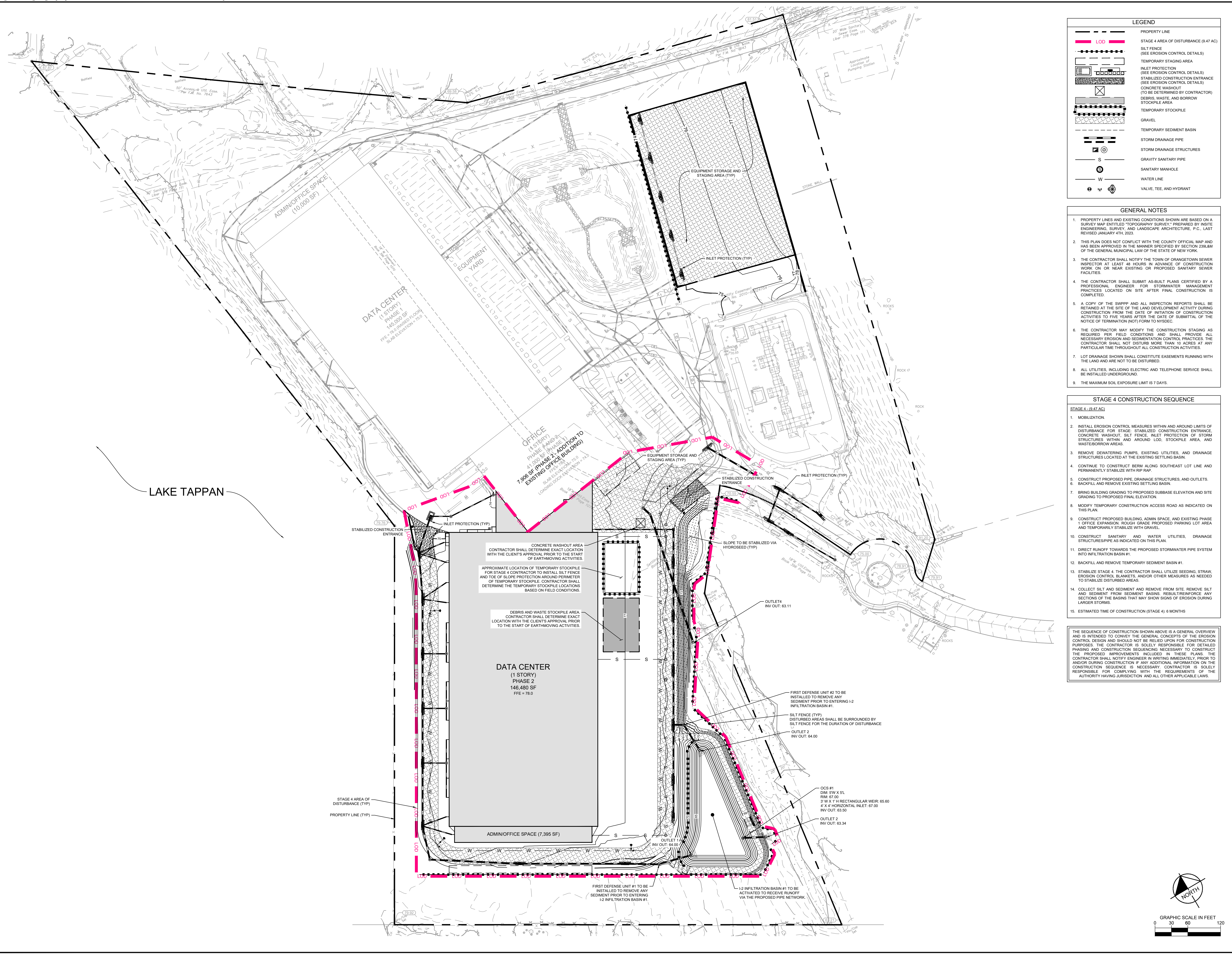
SHEET NUMBER
C-6.3

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LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	STAGE 4 AREA OF DISTURBANCE (9.47 AC)
[Symbol]	SILT FENCE (SEE EROSION CONTROL DETAILS)
[Symbol]	TEMPORARY STAGING AREA (SEE EROSION CONTROL DETAILS)
[Symbol]	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
[Symbol]	CONCRETE WASHOUT (TO BE DETERMINED BY CONTRACTOR)
[Symbol]	DEBRIS, WASTE, AND BORROW STOCKPILE AREA
[Symbol]	TEMPORARY STOCKPILE
[Symbol]	GRAVEL
[Symbol]	TEMPORARY SEDIMENT BASIN
[Symbol]	STORM DRAINAGE PIPE
[Symbol]	STORM DRAINAGE STRUCTURES
[Symbol]	GRAVITY SANITARY PIPE
[Symbol]	SANITARY MANHOLE
[Symbol]	WATER LINE
[Symbol]	VALVE, TEE, AND HYDRANT

- GENERAL NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "SURVEY" PREPARED BY NISTE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
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 - A COPY OF THE SWPPP AND ALL INSPECTION REPORTS SHALL BE RETAINED AT THE SITE OF THE LAND DEVELOPMENT ACTIVITY DURING CONSTRUCTION FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO FIVE YEARS AFTER THE DATE OF SUBMITTAL OF THE NOTICE OF TERMINATION (NOT) FORM TO NYSDDEC.
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 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.

- STAGE 4 CONSTRUCTION SEQUENCE**
- STAGE 4 - (9.47 AC)
- MOBILIZATION
 - INSTALL EROSION CONTROL MEASURES WITHIN AND AROUND LIMITS OF DISTURBANCE FOR STAGE. STABILIZED CONSTRUCTION ENTRANCES, CONCRETE WASHOUT, SILT FENCE, INLET PROTECTION OF STORM STRUCTURES WITHIN AND AROUND LOD, STOCKPILE AREA, AND WASTE/BORROW AREAS.
 - REMOVE DEWATERING PUMPS, EXISTING UTILITIES, AND DRAINAGE STRUCTURES LOCATED AT THE EXISTING SETTLING BASIN.
 - CONTINUE TO CONSTRUCT BERM ALONG SOUTHEAST LOT LINE AND PERMANENTLY STABILIZE WITH RIP RAP.
 - CONSTRUCT PROPOSED PIPE, DRAINAGE STRUCTURES, AND OUTLETS.
 - BACKFILL AND REMOVE EXISTING SETTLING BASIN.
 - BRING BUILDING GRADINGS TO PROPOSED SUBBASE ELEVATION AND SITE GRADING TO PROPOSED FINAL ELEVATION.
 - MODIFY TEMPORARY CONSTRUCTION ACCESS ROAD AS INDICATED ON THIS PLAN.
 - CONSTRUCT PROPOSED BUILDING, ADMIN SPACE, AND EXISTING PHASE 1 OFFICE EXPANSION, ROUGH GRADE PROPOSED PARKING LOT AREA AND TEMPORARILY STABILIZE WITH GRAVEL.
 - CONSTRUCT SANITARY AND WATER UTILITIES. DRAINAGE STRUCTURES/PIPE AS INDICATED ON THIS PLAN.
 - DIRECT RUNOFF TOWARDS THE PROPOSED STORMWATER PIPE SYSTEM INTO INFILTRATION BASIN #1.
 - BACKFILL AND REMOVE TEMPORARY SEDIMENT BASIN #1.
 - STABILIZE STAGE 4. THE CONTRACTOR SHALL UTILIZE SEEDING, STRAW, EROSION CONTROL BLANKETS, AND/OR OTHER MEASURES AS NEEDED TO STABILIZE DISTURBED AREAS.
 - COLLECT SILT AND SEDIMENT AND REMOVE FROM SITE. REMOVE SILT AND SEDIMENT FROM SEDIMENT BASINS. REBUILT/REINFORCE ANY SECTIONS OF THE BASINS THAT MAY SHOW SIGNS OF EROSION DURING LARGER STORMS.
 - ESTIMATED TIME OF CONSTRUCTION (STAGE 4): 6 MONTHS

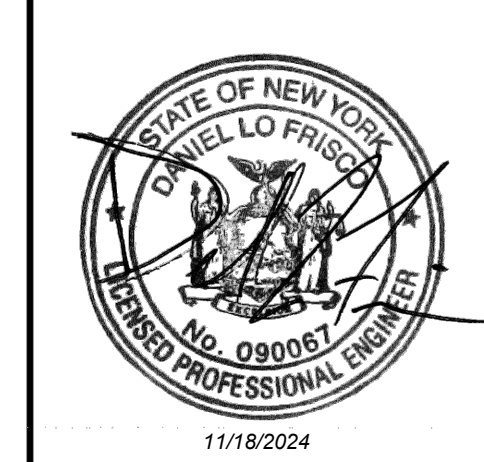
THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRC REVIEW	08/12/2024
2	ISSUED FOR PRICING	08/26/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

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New York
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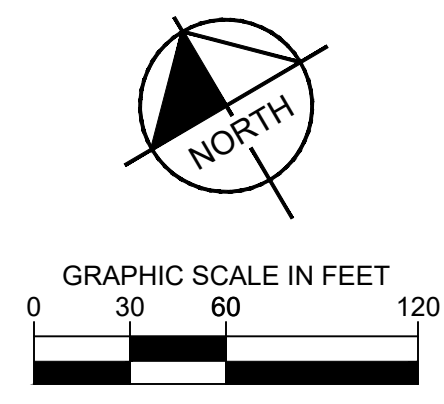


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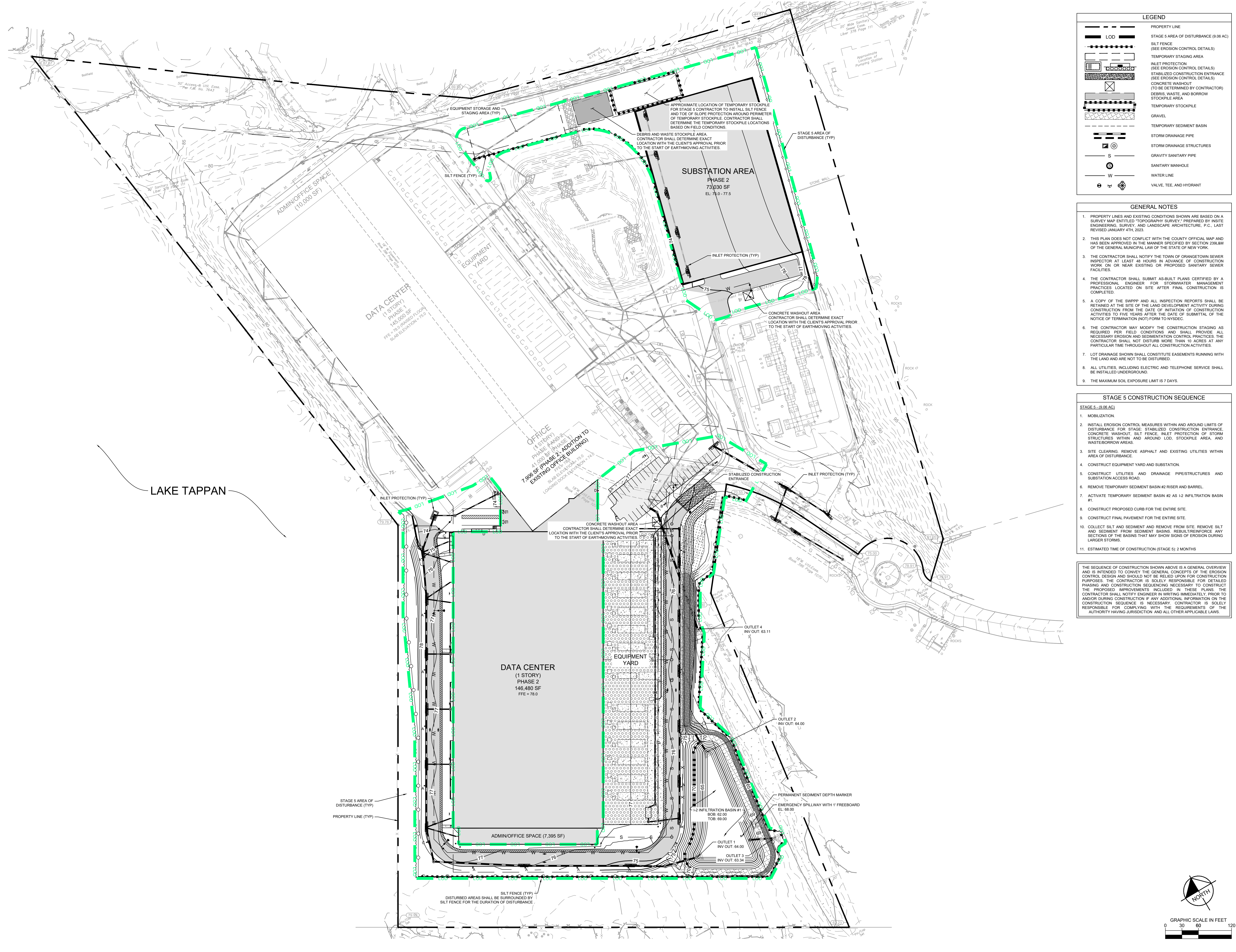
EROSION & SEDIMENT CONTROL PLAN - STAGE 4

DATABANK ORANGEBURG PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
NEW YORK
TOWN OF ORANGETOWN

SHEET NUMBER
C-6.4



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LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	STAGE 5 AREA OF DISTURBANCE (9.06 AC)
[Symbol]	SILT FENCE (SEE EROSION CONTROL DETAILS)
[Symbol]	TEMPORARY STAGING AREA (SEE EROSION CONTROL DETAILS)
[Symbol]	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
[Symbol]	CONCRETE WASHOUT (TO BE DETERMINED BY CONTRACTOR)
[Symbol]	DEBRIS, WASTE, AND BORROW STOCKPILE AREA
[Symbol]	TEMPORARY STOCKPILE
[Symbol]	GRAVEL
[Symbol]	TEMPORARY SEDIMENT BASIN
[Symbol]	STORM DRAINAGE PIPE
[Symbol]	STORM DRAINAGE STRUCTURES
[Symbol]	GRAVITY SANITARY PIPE
[Symbol]	SANITARY MANHOLE
[Symbol]	WATER LINE
[Symbol]	VALVE, TEE, AND HYDRANT

- GENERAL NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY NISTE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
 - THE CONTRACTOR SHALL SUBMIT AS-BUILT PLANS CERTIFIED BY A PROFESSIONAL ENGINEER FOR STORMWATER MANAGEMENT PRACTICES LOCATED ON SITE AFTER FINAL CONSTRUCTION IS COMPLETED.
 - A COPY OF THE SWPPP AND ALL INSPECTION REPORTS SHALL BE RETAINED AT THE SITE OF THE LAND DEVELOPMENT ACTIVITY DURING CONSTRUCTION FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO FIVE YEARS AFTER THE DATE OF SUBMITTAL OF THE NOTICE OF TERMINATION (NOT) FORM TO NYSDEC.
 - THE CONTRACTOR MAY MODIFY THE CONSTRUCTION STAGING AS REQUIRED PER FIELD CONDITIONS AND SHALL PROVIDE ALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES. THE CONTRACTOR SHALL NOT DISTURB MORE THAN 10 ACRES AT ANY PARTICULAR TIME THROUGHOUT ALL CONSTRUCTION ACTIVITIES.
 - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THE MAXIMUM SOIL EXPOSURE LIMIT IS 7 DAYS.

- STAGE 5 CONSTRUCTION SEQUENCE**
- STAGE 5 - (9.06 AC)
- MOBILIZATION
 - INSTALL EROSION CONTROL MEASURES WITHIN AND AROUND LIMITS OF DISTURBANCE FOR STAGE: STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT, SILT FENCE, INLET PROTECTION OF STORM STRUCTURES WITHIN AND AROUND LOD, STOCKPILE AREA, AND WASTE/BORROW AREAS.
 - SITE CLEARING, REMOVE ASPHALT AND EXISTING UTILITIES WITHIN AREA OF DISTURBANCE.
 - CONSTRUCT EQUIPMENT YARD AND SUBSTATION.
 - CONSTRUCT UTILITIES AND DRAINAGE PIPE/STRUCTURES AND SUBSTATION ACCESS ROAD.
 - REMOVE TEMPORARY SEDIMENT BASIN #2 RISER AND BARREL.
 - ACTIVATE TEMPORARY SEDIMENT BASIN #2 AS I-2 INFILTRATION BASIN #1.
 - CONSTRUCT PROPOSED CURB FOR THE ENTIRE SITE.
 - CONSTRUCT FINAL PAVEMENT FOR THE ENTIRE SITE.
 - COLLECT SILT AND SEDIMENT AND REMOVE FROM SITE. REMOVE SILT AND SEDIMENT FROM SEDIMENT BASINS. REBUILT/REINFORCE ANY SECTIONS OF THE BASINS THAT MAY SHOW SIGNS OF EROSION DURING LARGER STORMS.
 - ESTIMATED TIME OF CONSTRUCTION (STAGE 5): 2 MONTHS

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

NO.	ISSUED FOR PRICING	ISSUED FOR TOWN OF ORANGETOWN REVIEW	DATE
3		11/19/2024	
2		08/29/2024	
1		08/12/2024	
NO.	DESCRIPTION		

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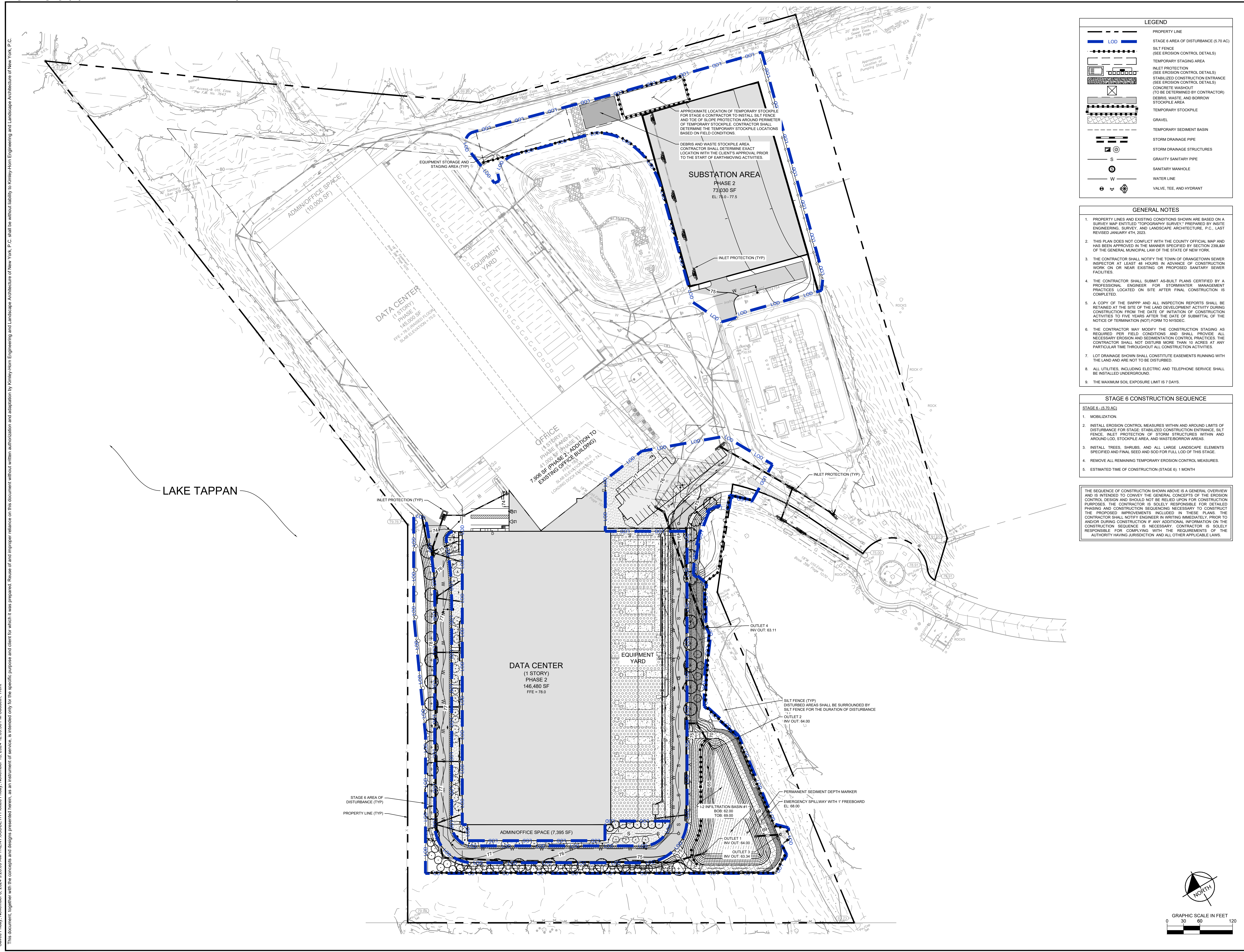
KIM PROJECT	112578002	DATE	08/12/2024	SCALE	AS SHOWN	DESIGNED BY	TAS	DRAWN BY	KC	CHECKED BY	DL
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EROSION & SEDIMENT CONTROL PLAN - STAGE 5

DATABANK ORANGEBURG PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
NEW YORK
TOWN OF ORANGETOWN

SHEET NUMBER
C-6.5

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LEGEND

	PROPERTY LINE
	STAGE 6 AREA OF DISTURBANCE (5.70 AC)
	SILT FENCE (SEE EROSION CONTROL DETAILS)
	TEMPORARY STAGING AREA (SEE EROSION CONTROL DETAILS)
	INLET PROTECTION (SEE EROSION CONTROL DETAILS)
	STABILIZED CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
	CONCRETE WASHOUT (TO BE DETERMINED BY CONTRACTOR)
	DEBRIS, WASTE, AND BORROW STOCKPILE AREA
	TEMPORARY STOCKPILE
	GRAVEL
	TEMPORARY SEDIMENT BASIN
	STORM DRAINAGE PIPE
	STORM DRAINAGE STRUCTURES
	GRAVITY SANITARY PIPE
	SANITARY MANHOLE
	WATER LINE
	VALVE, TEE, AND HYDRANT

- GENERAL NOTES**
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- STAGE 6 CONSTRUCTION SEQUENCE**
- STAGE 6 - (5.70 AC)
- MOBILIZATION
 - INSTALL EROSION CONTROL MEASURES WITHIN AND AROUND LIMITS OF DISTURBANCE FOR STAGE. STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION OF STORM STRUCTURES WITHIN AND AROUND LOT STOCKPILE AREA, AND WASTE/BORROW AREAS.
 - INSTALL TREES, SHRUBS, AND ALL LARGE LANDSCAPE ELEMENTS SPECIFIED AND FINAL SEED AND SOG FOR FULL LOT OF THIS STAGE.
 - REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES.
 - ESTIMATED TIME OF CONSTRUCTION (STAGE 6): 1 MONTH

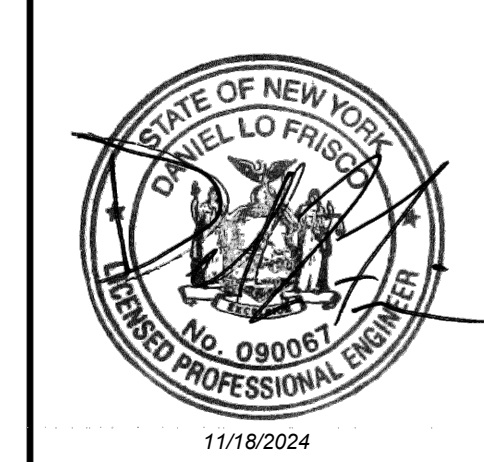
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NO.	DESCRIPTION	ISSUED FOR PRICING	ISSUED FOR PERMITS	DATE
1	ISSUED FOR PRICING	08/25/2024	11/19/2024	08/25/2024
2	ISSUED FOR PERMITS	08/25/2024	11/19/2024	08/25/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	08/25/2024	11/19/2024	08/25/2024

FOR PERMIT REVIEW

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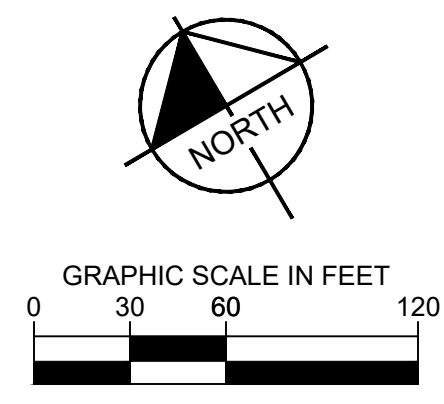


KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY	TAS	DRAWN BY	KC	CHECKED BY	DL
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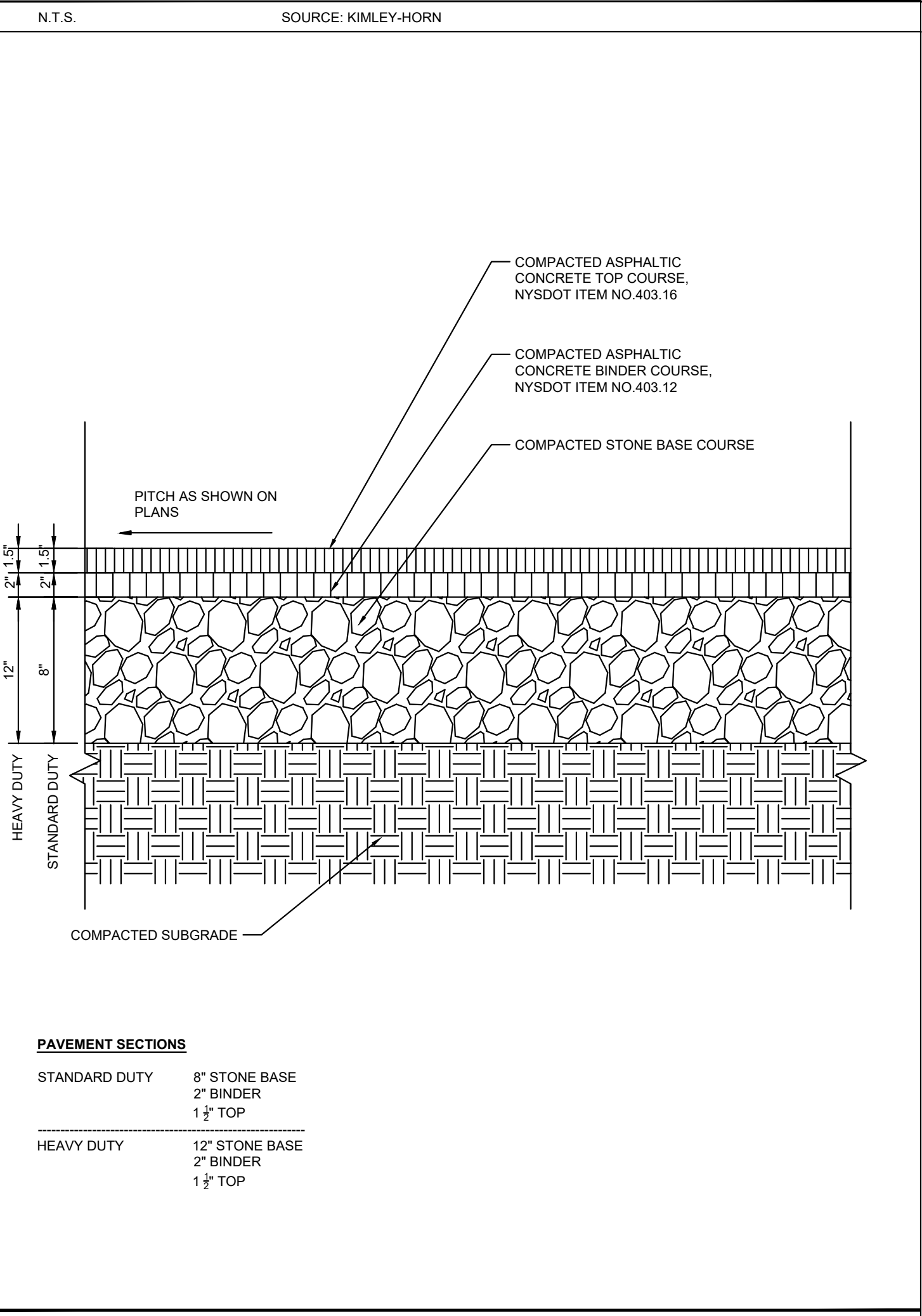
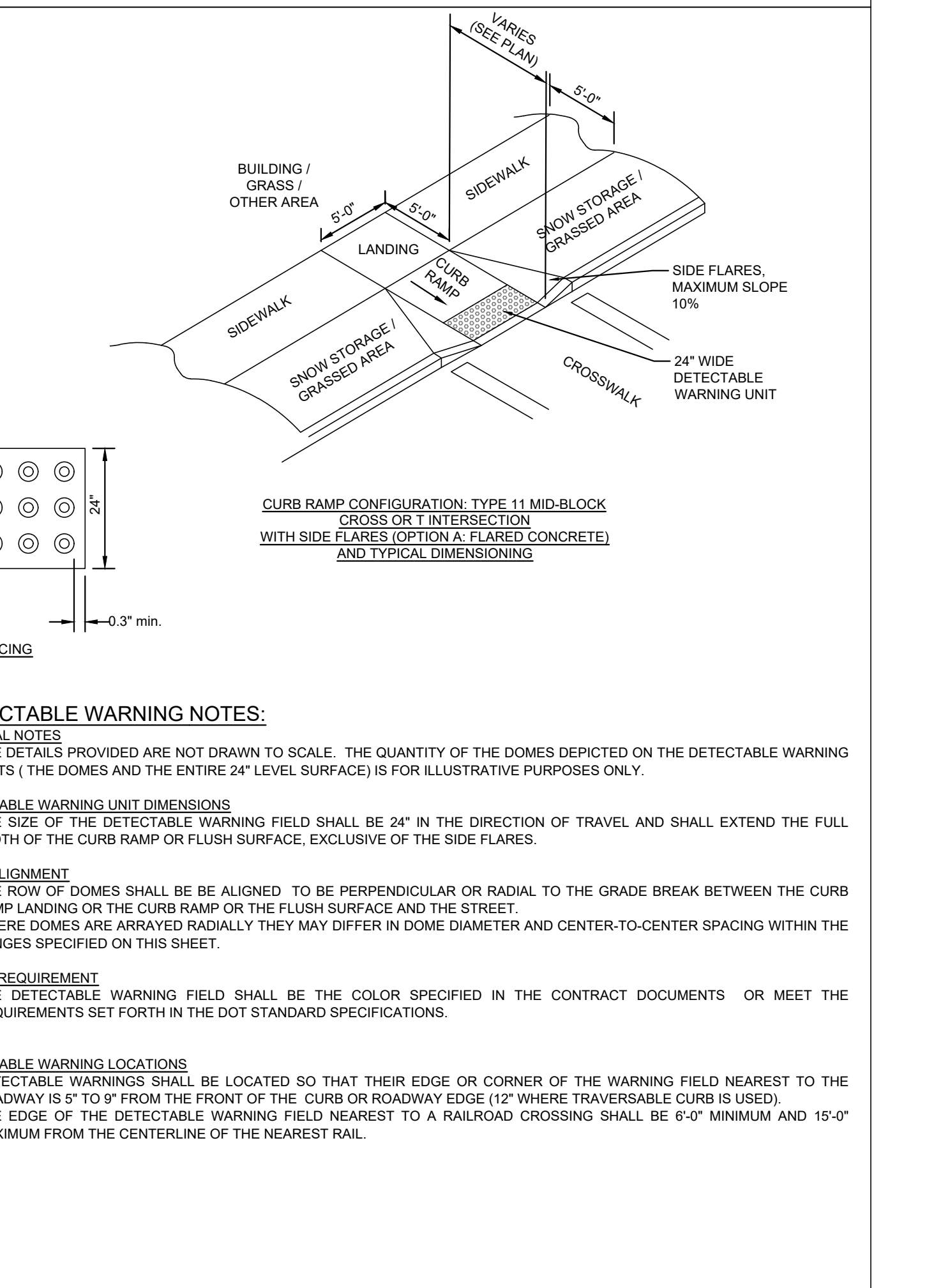
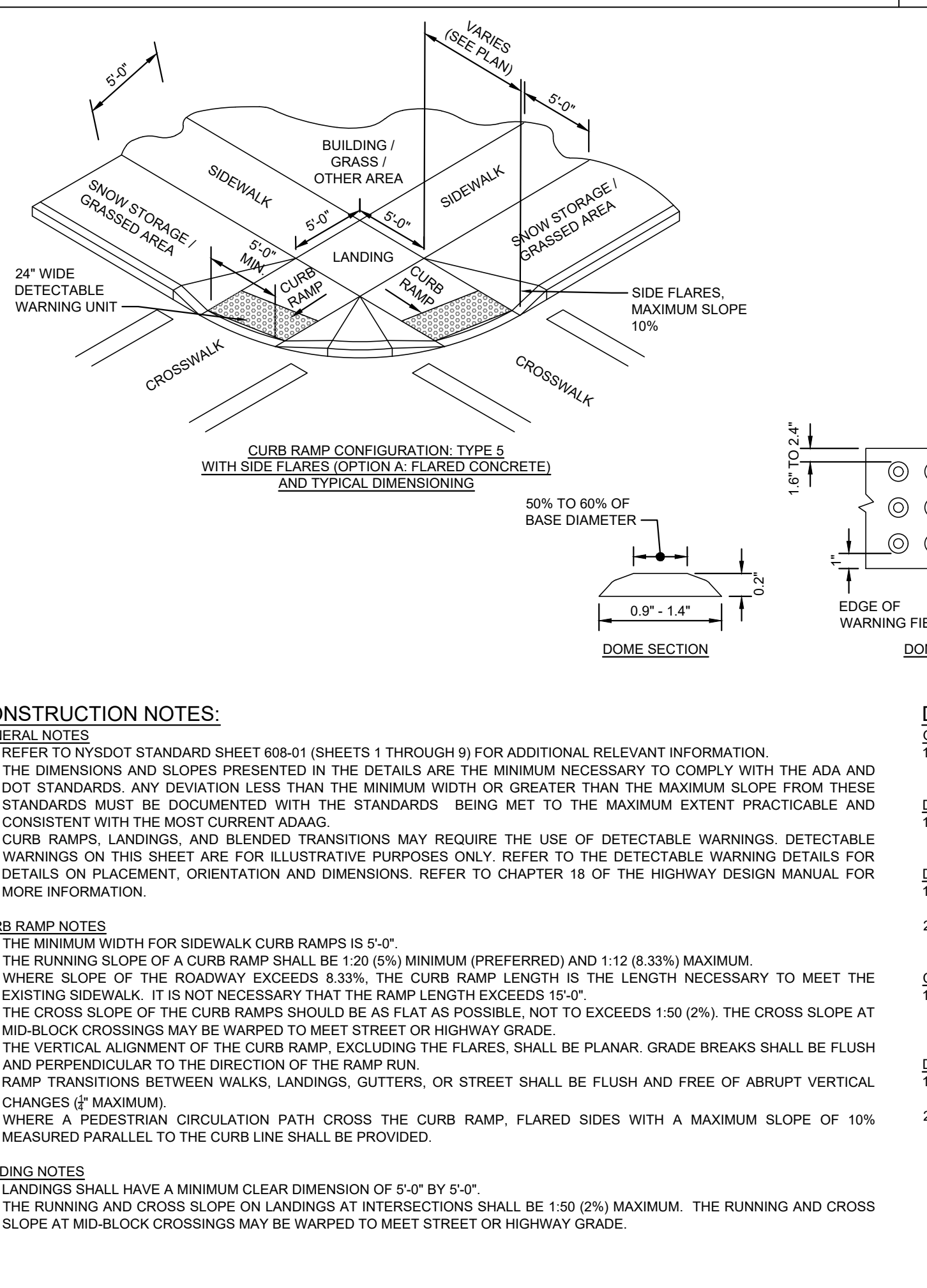
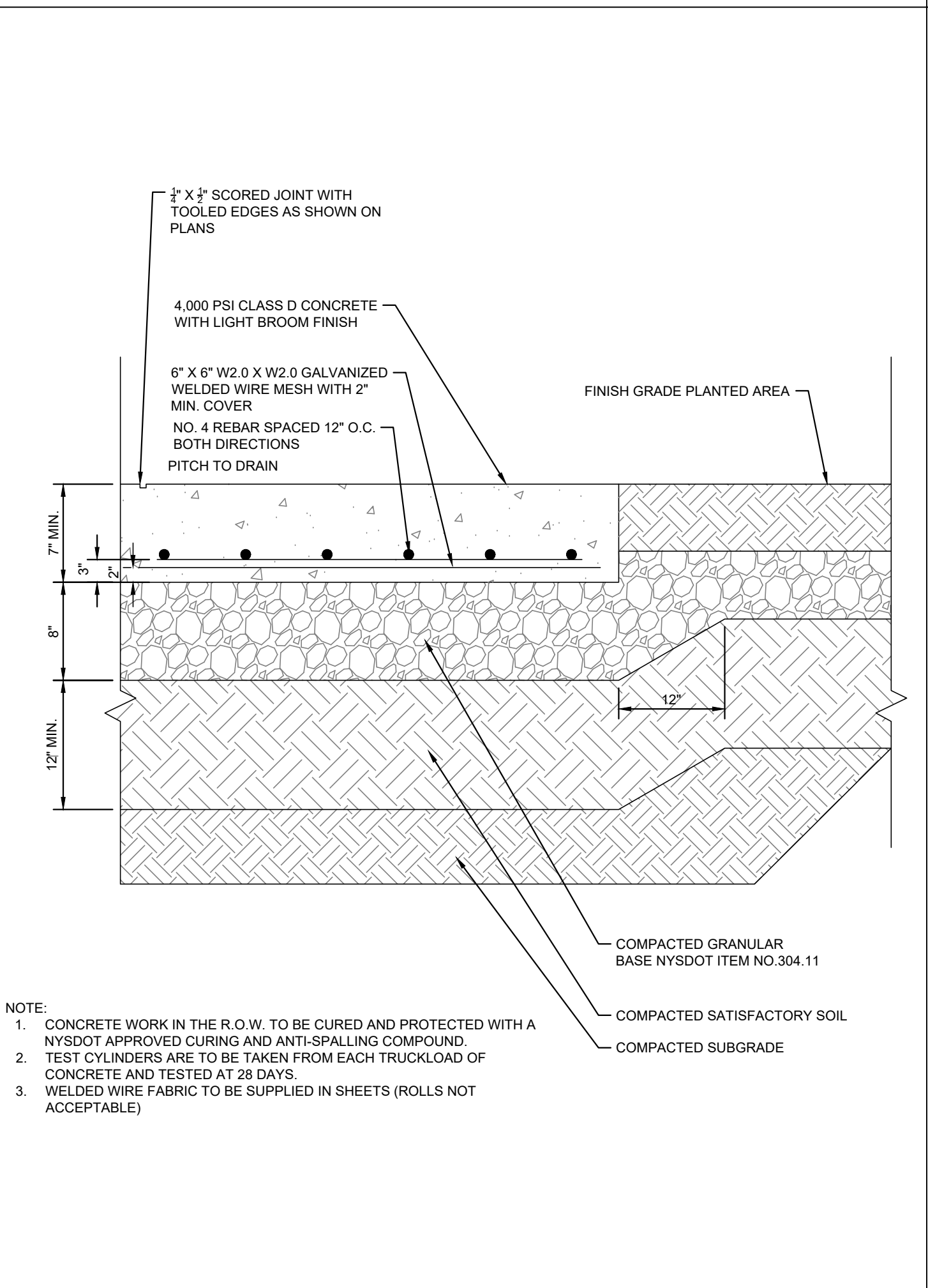
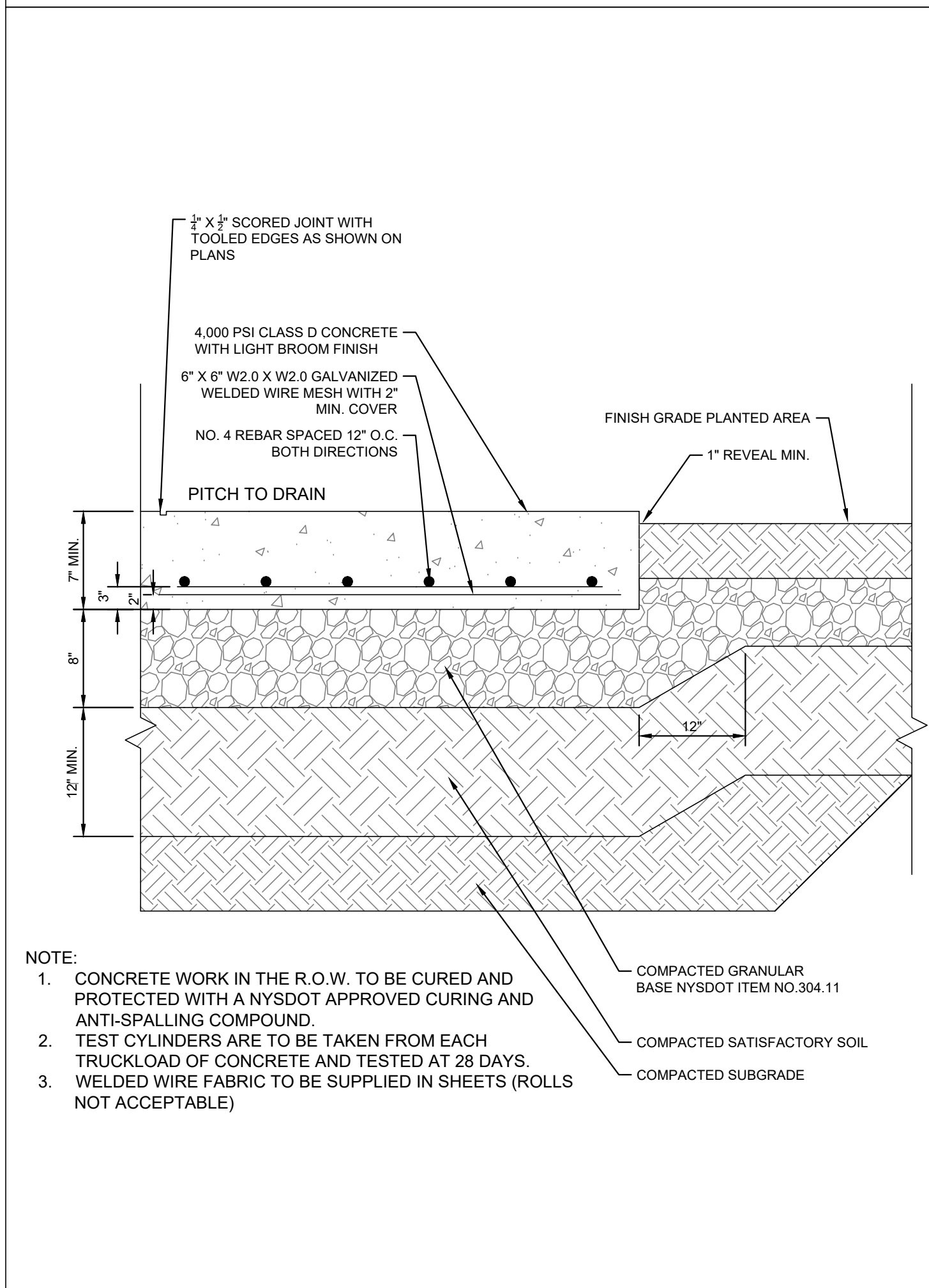
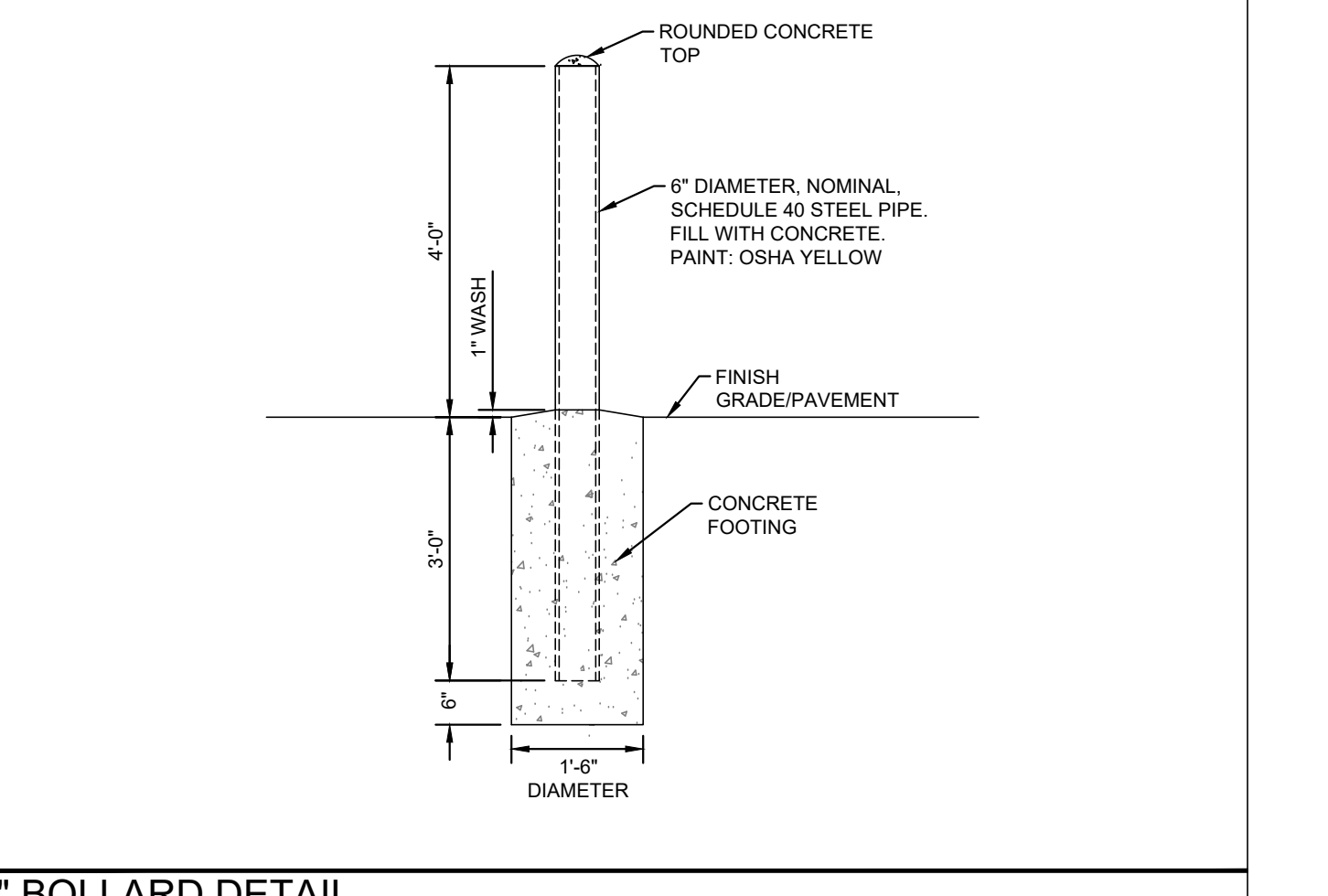
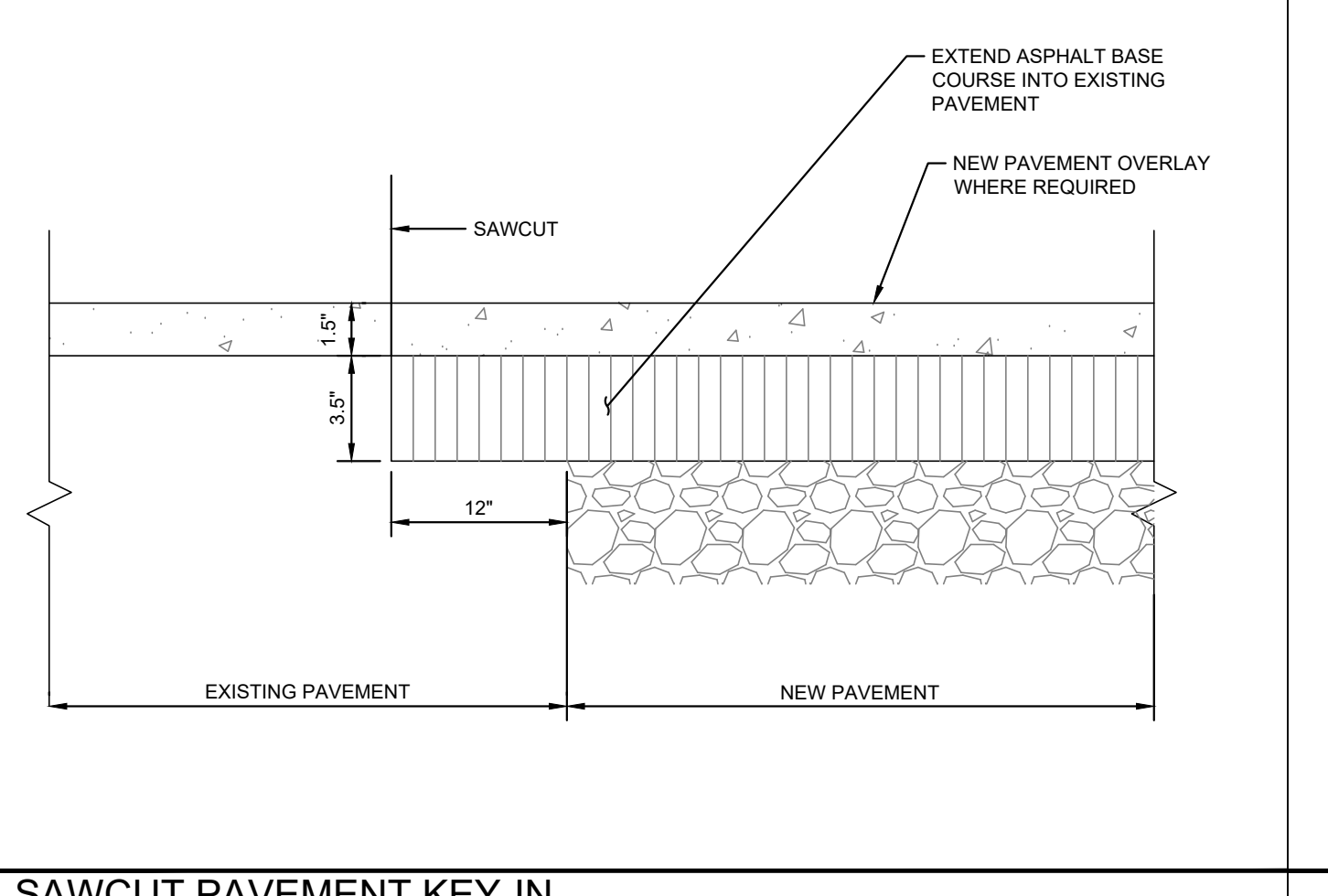
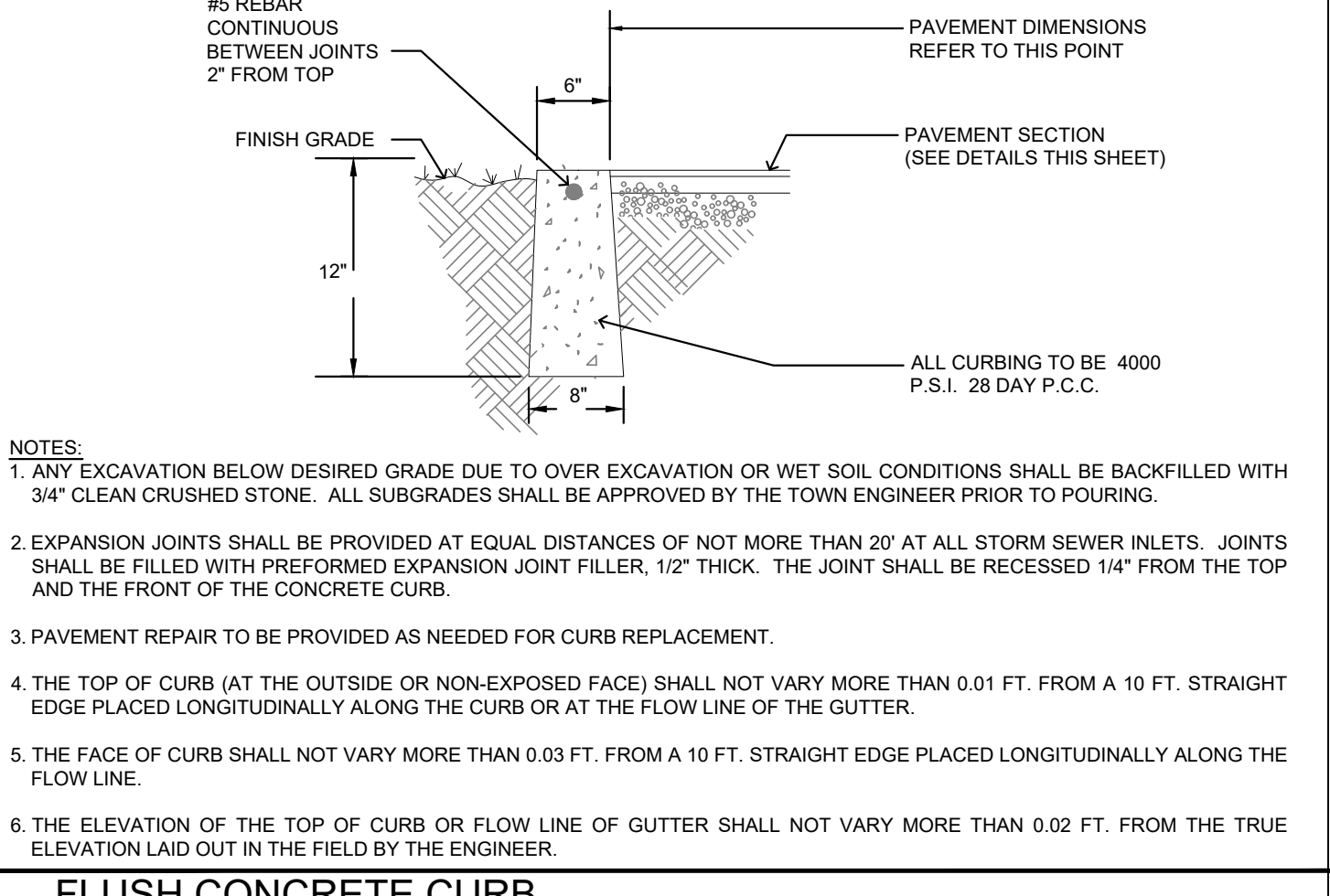
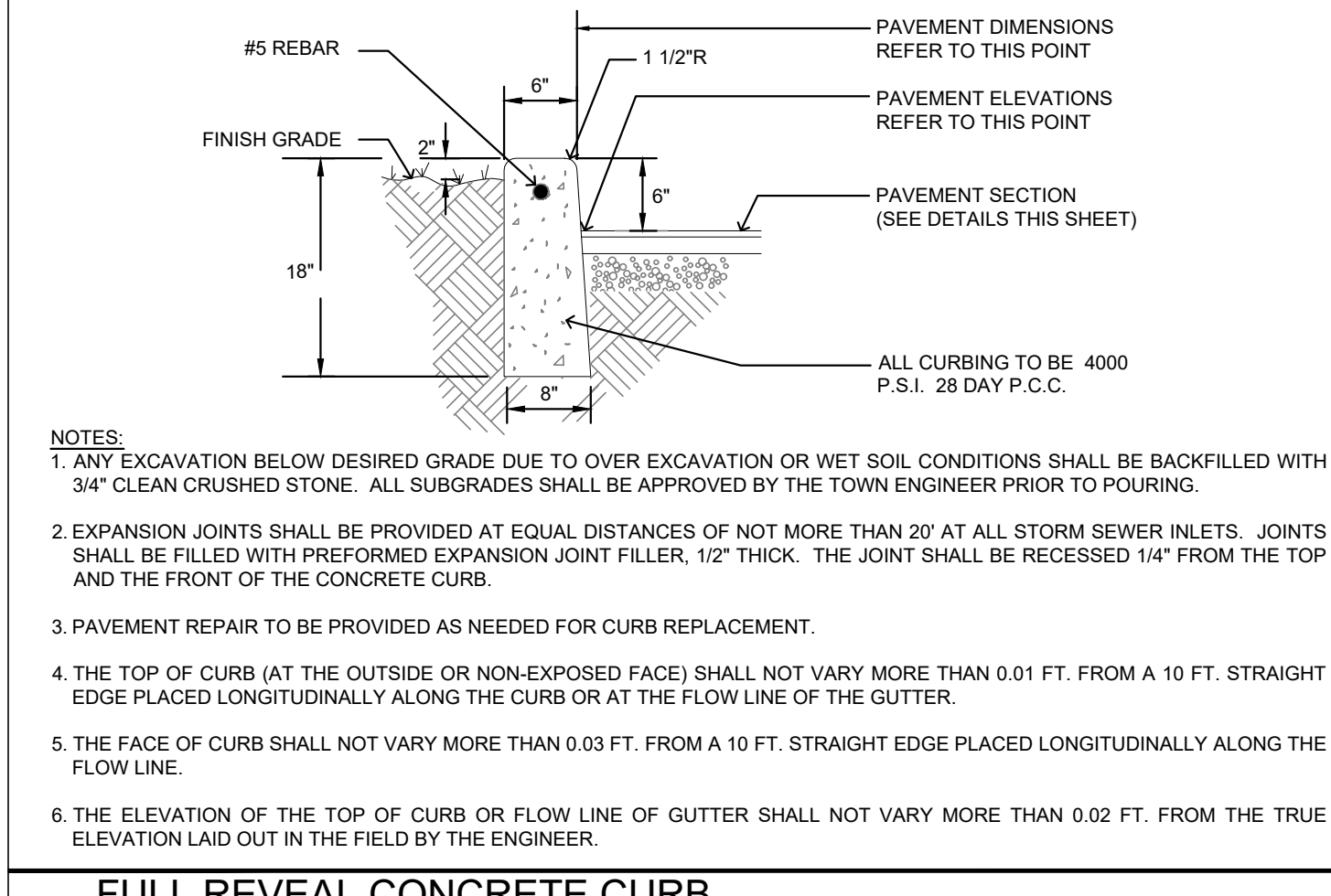
EROSION & SEDIMENT CONTROL PLAN - STAGE 6

DATABANK ORANGEBURG PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
TOWN OF ORANGETOWN
NEW YORK

SHEET NUMBER
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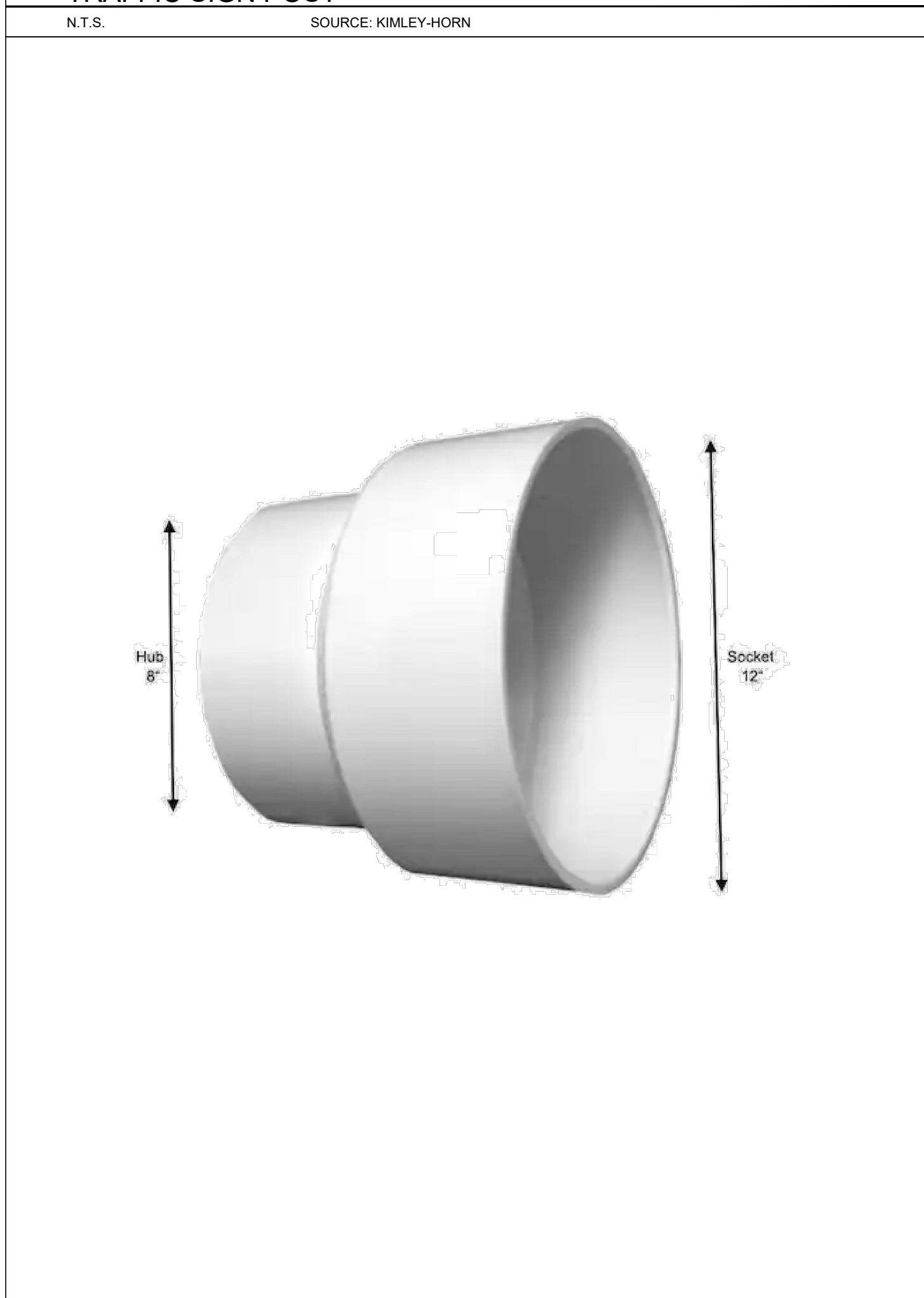
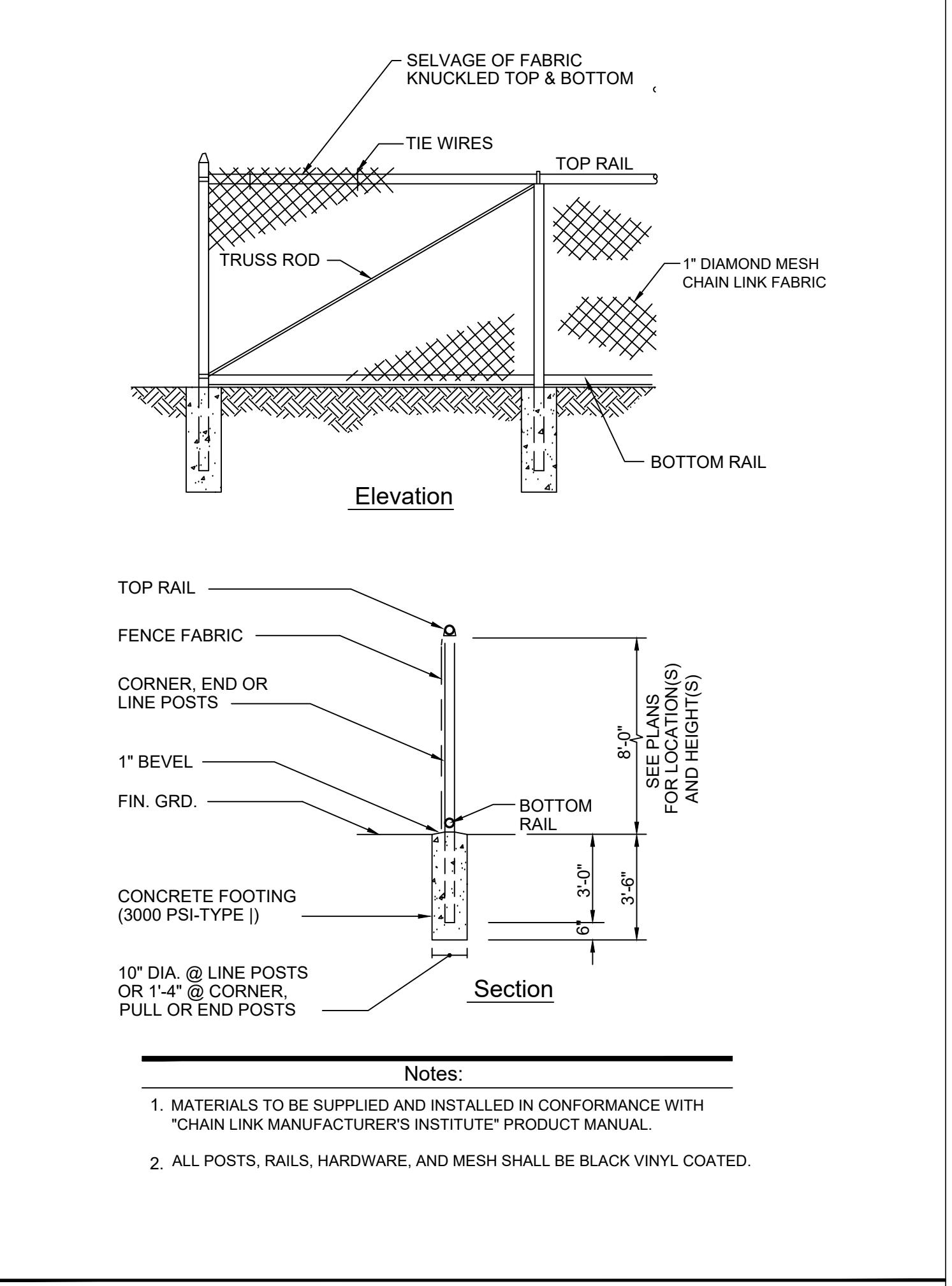
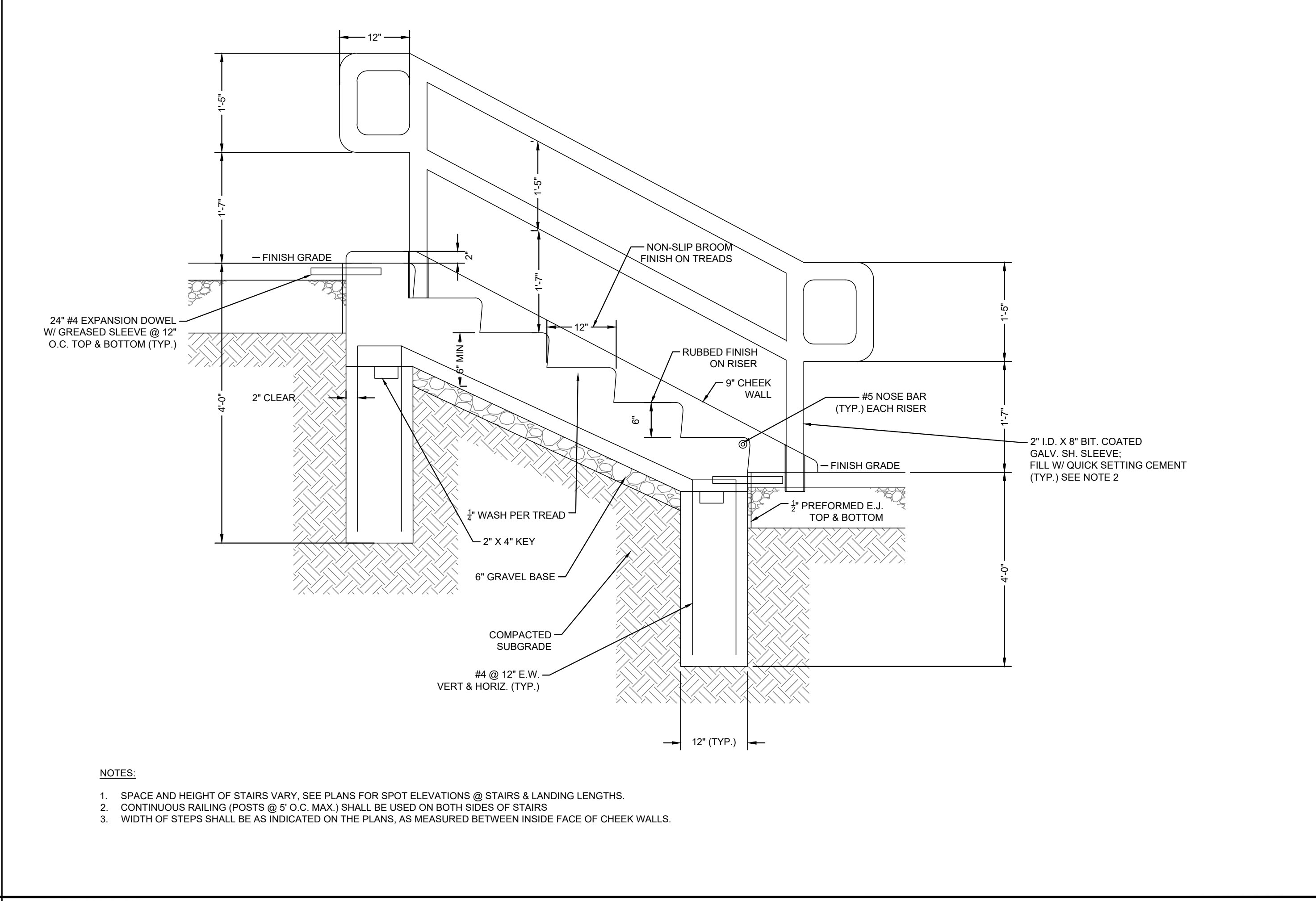
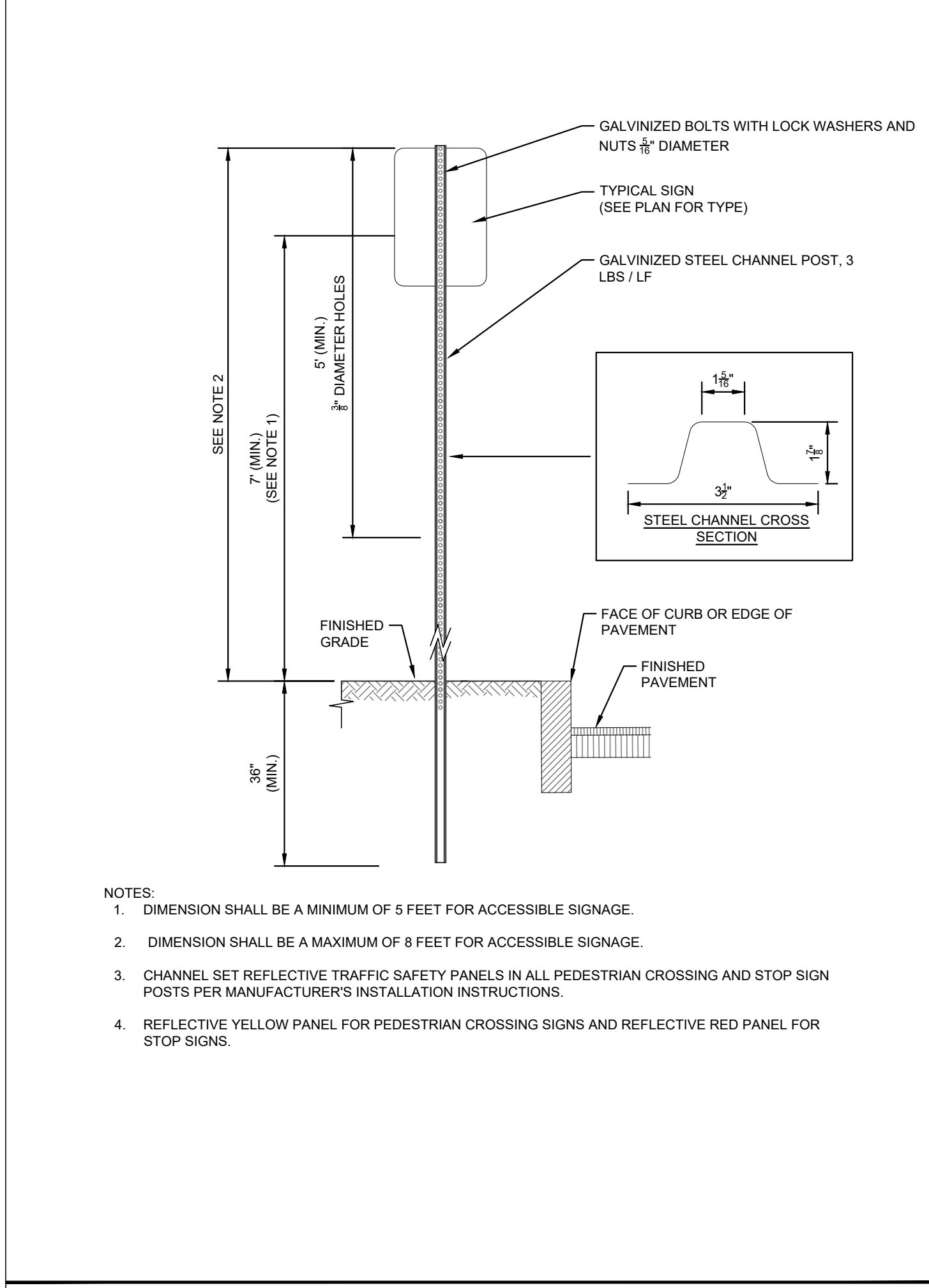
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DESIGNED BY:		DRAWN BY:		CHECKED BY:				

SITE DETAILS

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

SHEET NUMBER
C-7.0

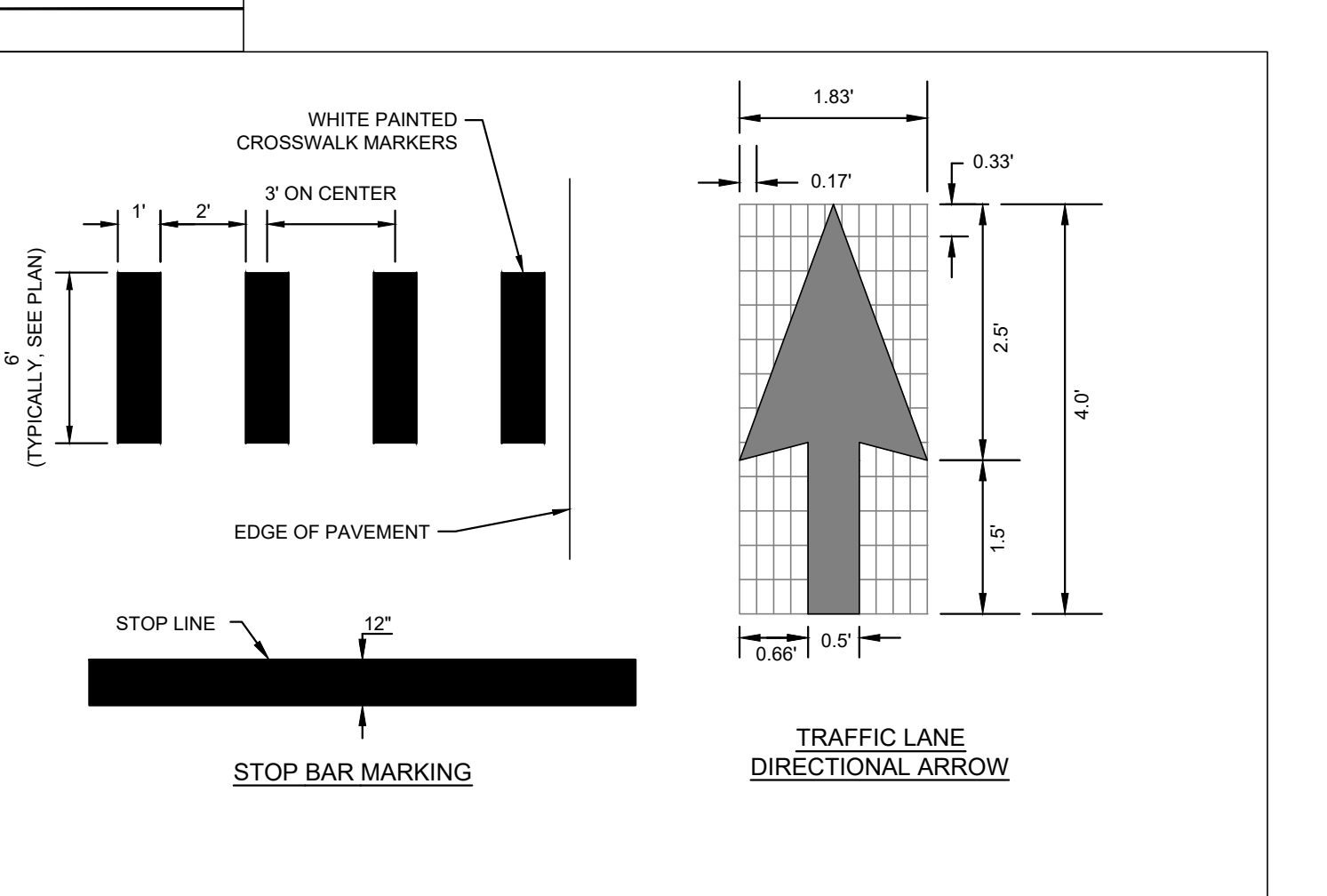
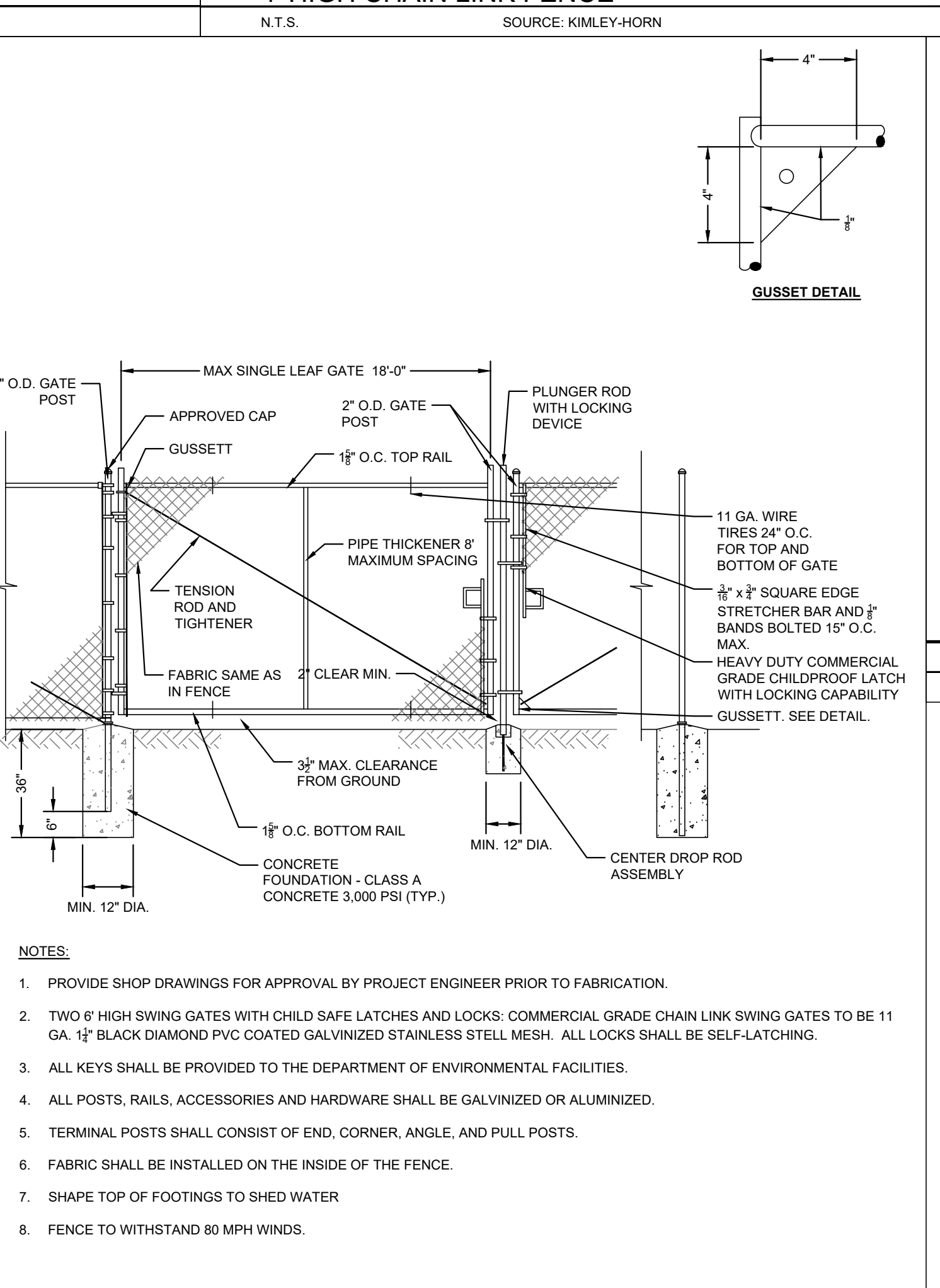
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TYPICAL PIPE END CAP FITTING
N.T.S. SOURCE: HOME DEPOT

NOTES:
1. REFERENCE CHART IS TAKEN FROM ASME STANDARDS B16.9.
2. CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM TOWN ENGINEER SHOULD OTHER METHODS OF PIPE CAPPING ARE TO BE USED.

Nominal Pipe Size (NPS)	DN	Outside Diameter (in. Bevel)	Length, L	Limiting Wall Thickness for Length	Length, L1
1/2	15	21.3	25	4.57	25
3/4	20	26.7	25	3.81	25
1	25	33.4	38	4.57	38
1 1/4	32	42.2	38	4.83	38
1 1/2	40	48.3	38	5.08	38
2	50	60.3	38	5.59	44
2 1/2	65	73	38	7.11	51
3	80	88.9	51	7.62	64
3 1/2	90	101.6	64	8.13	76
4	100	114.3	64	8.64	76
5	125	141.3	76	9.65	89
6	150	168.3	89	10.92	102
8	200	219.1	102	12.7	127
10	250	273	127	12.7	152
12	300	323.8	152	12.7	178
14	350	355.6	165	12.7	191
16	400	406.4	178	12.7	203
18	450	457	203	12.7	229
20	500	508	229	12.7	254
22	550	559	254	12.7	254
24	600	610	267	12.7	305
26	650	660	267	...	...
28	700	711	267	...	...
30	750	762	267	...	...
32	800	813	267	...	...
34	850	864	267	...	...
36	900	914	267	...	...
38	950	965	305	...	...
40	1000	1016	305
42	1050	1067	305
44	1100	1118	343
46	1150	1168	343
48	1200	1219	343



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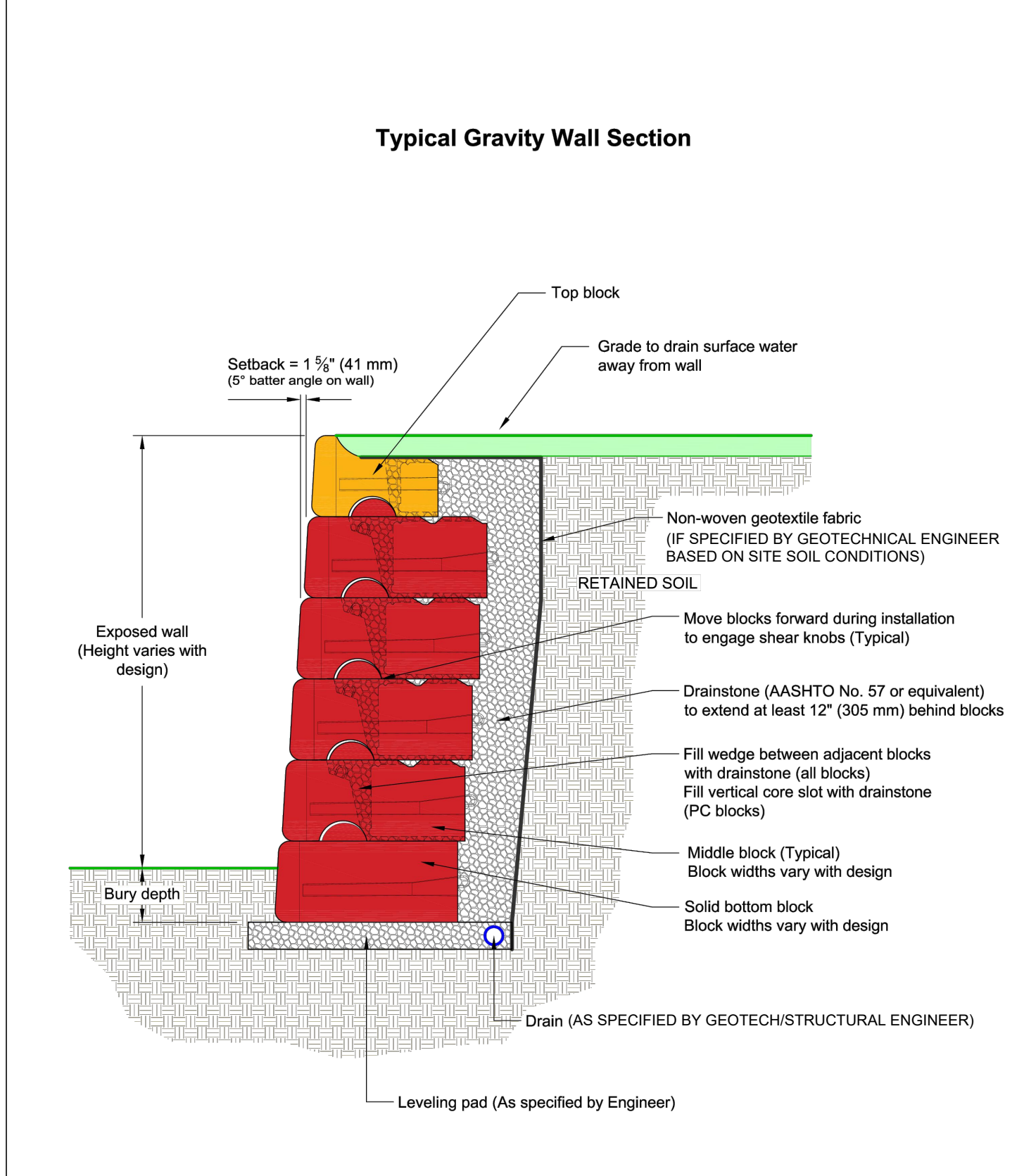
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SITE DETAILS

DATABANK ORANGETOWN
PHASE 2
2000 CORPORATE DRIVE
ORANGETOWN, NY 10962
NEW YORK

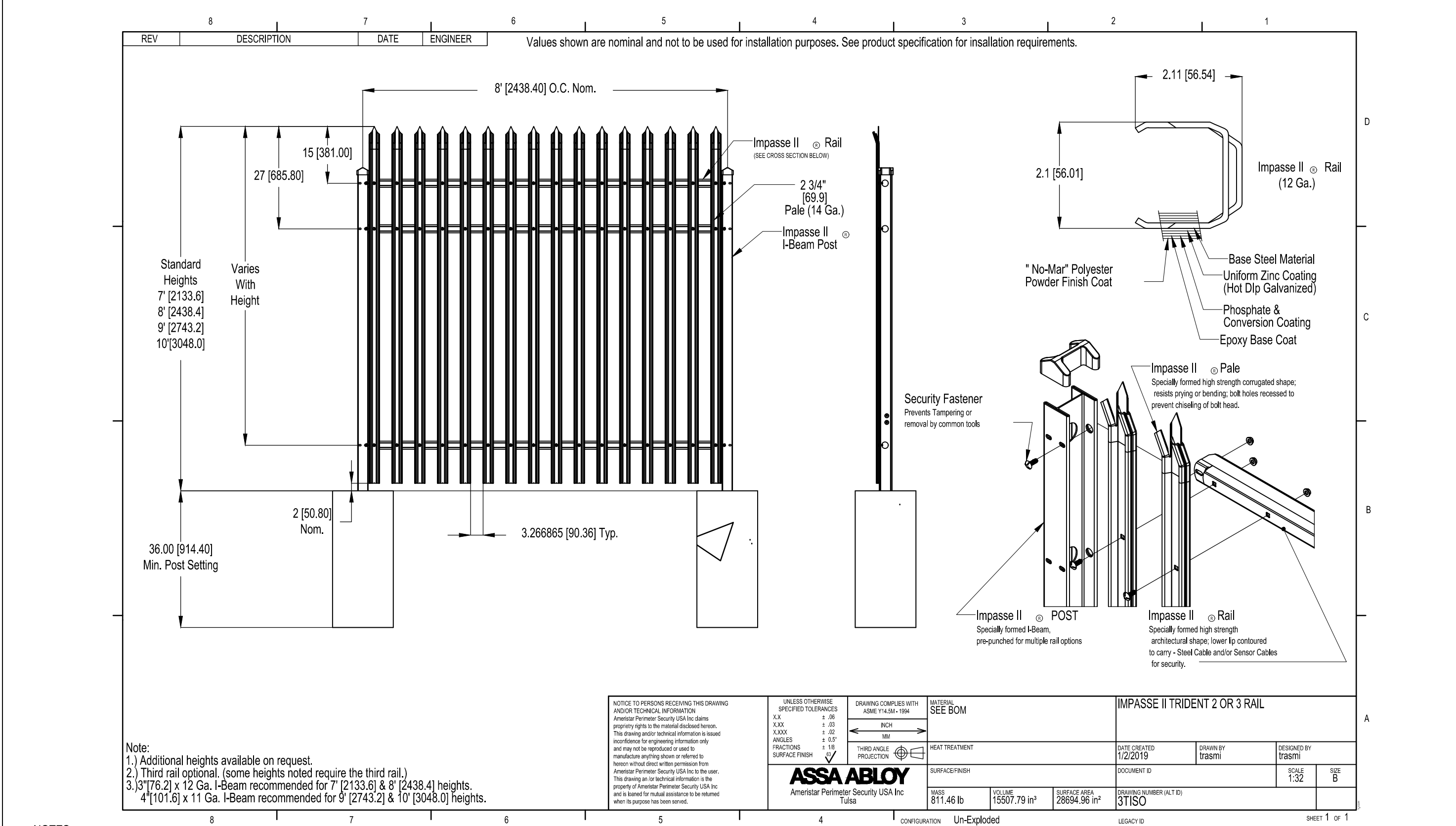
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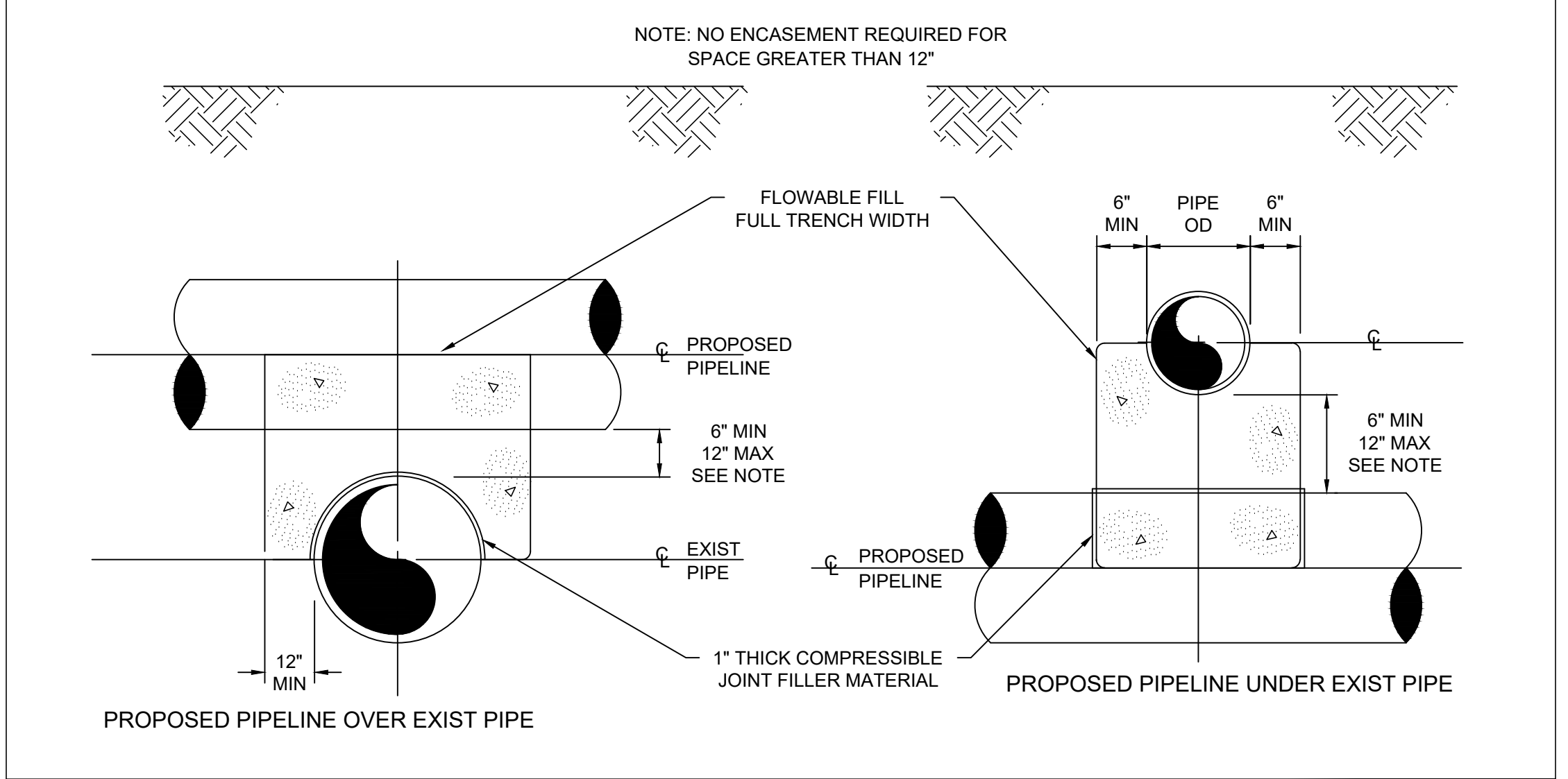
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TYPICAL GRAVITY WALL DETAIL
N.T.S. SOURCE: REDI-ROCK

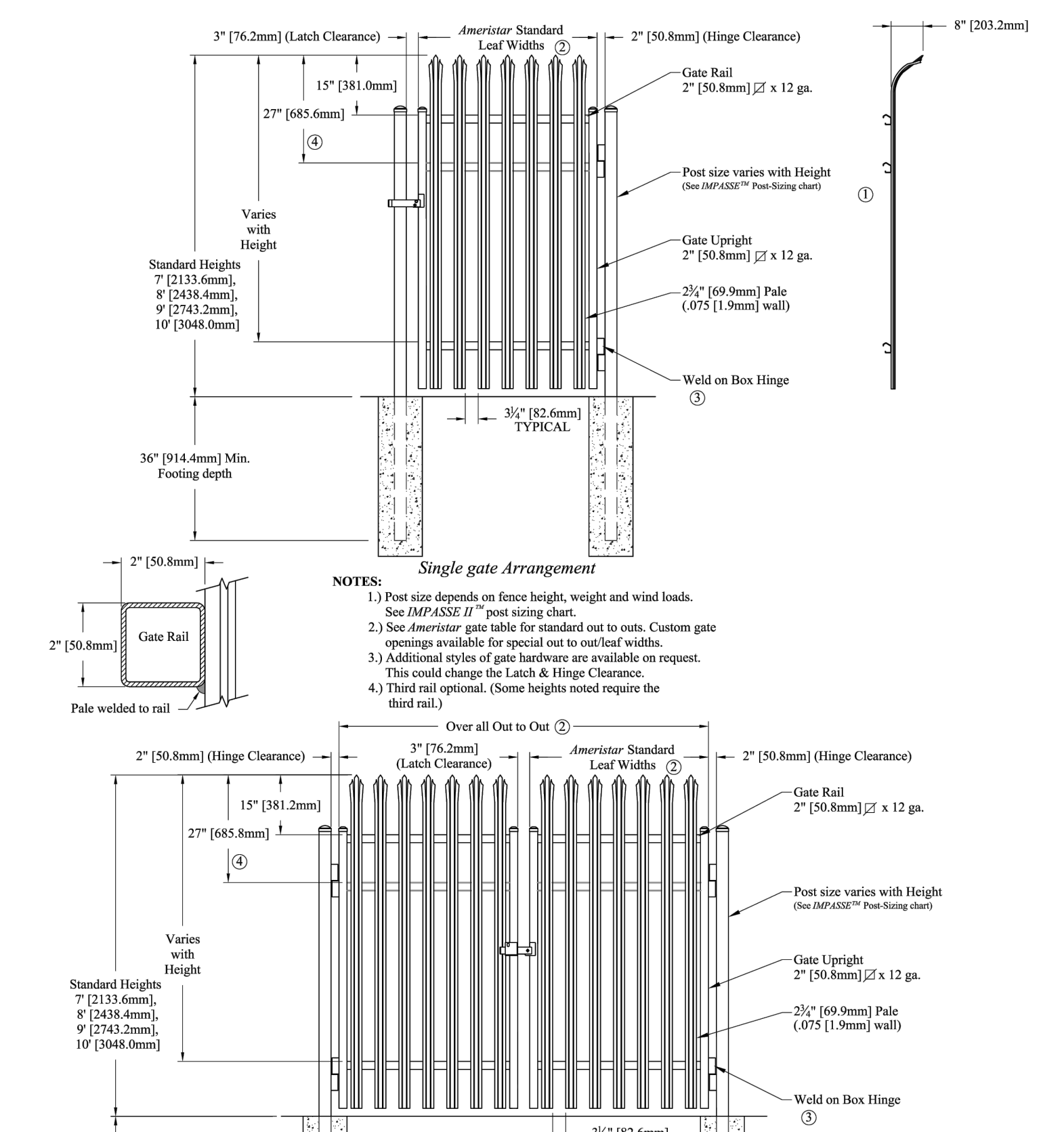


CONTRACTOR TO INSTALL PER SPECIFICATIONS BELOW:
 1. FENCE TO BE 8' IN HEIGHT
 2. FENCE STYLE TO BE GAUNTLET 2-RAIL STYLE WITH STANDARD 3.25" AIR GAP
 3. FENCE SWING GATES TO BE 8' IN HEIGHT WITH GAUNTLET TOP, 2 RAILS, DOUBLE GATES, AND STANDARD 3.25" AIR GAP
 4. REFER TO AMERISTAR PERIMETER SECURITY USA INC IMPASSE II - HIGH SECURITY STEEL FENCE SYSTEM - ORNAMENTAL PALE CONSTRUCTION SPECIFICATION - SECTION 323119 FOR ADDITIONAL INFORMATION.

8' HIGH ORNAMENTAL SECURITY FENCE
N.T.S. SOURCE: AMERISTAR FENCE



TYPICAL PIPELINE CROSSING
N.T.S. SOURCE: KIMLEY-HORN



CONTRACTOR TO INSTALL PER SPECIFICATIONS BELOW:
 1. FENCE TO BE 8' IN HEIGHT
 2. FENCE STYLE TO BE GAUNTLET 2-RAIL STYLE WITH STANDARD 3.25" AIR GAP
 3. FENCE SWING GATES TO BE 8' IN HEIGHT WITH GAUNTLET TOP, 2 RAILS, DOUBLE GATES, AND STANDARD 3.25" AIR GAP
 4. REFER TO AMERISTAR PERIMETER SECURITY USA INC IMPASSE II - HIGH SECURITY STEEL FENCE SYSTEM - ORNAMENTAL PALE CONSTRUCTION SPECIFICATION - SECTION 323119 FOR ADDITIONAL INFORMATION.

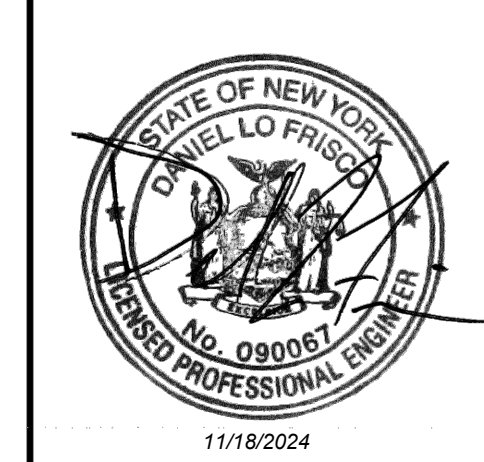
8' HIGH IMPASSE II DOUBLE SWING GATE
N.T.S. SOURCE: AMERISTAR FENCE

NO.	DESCRIPTION	DATE
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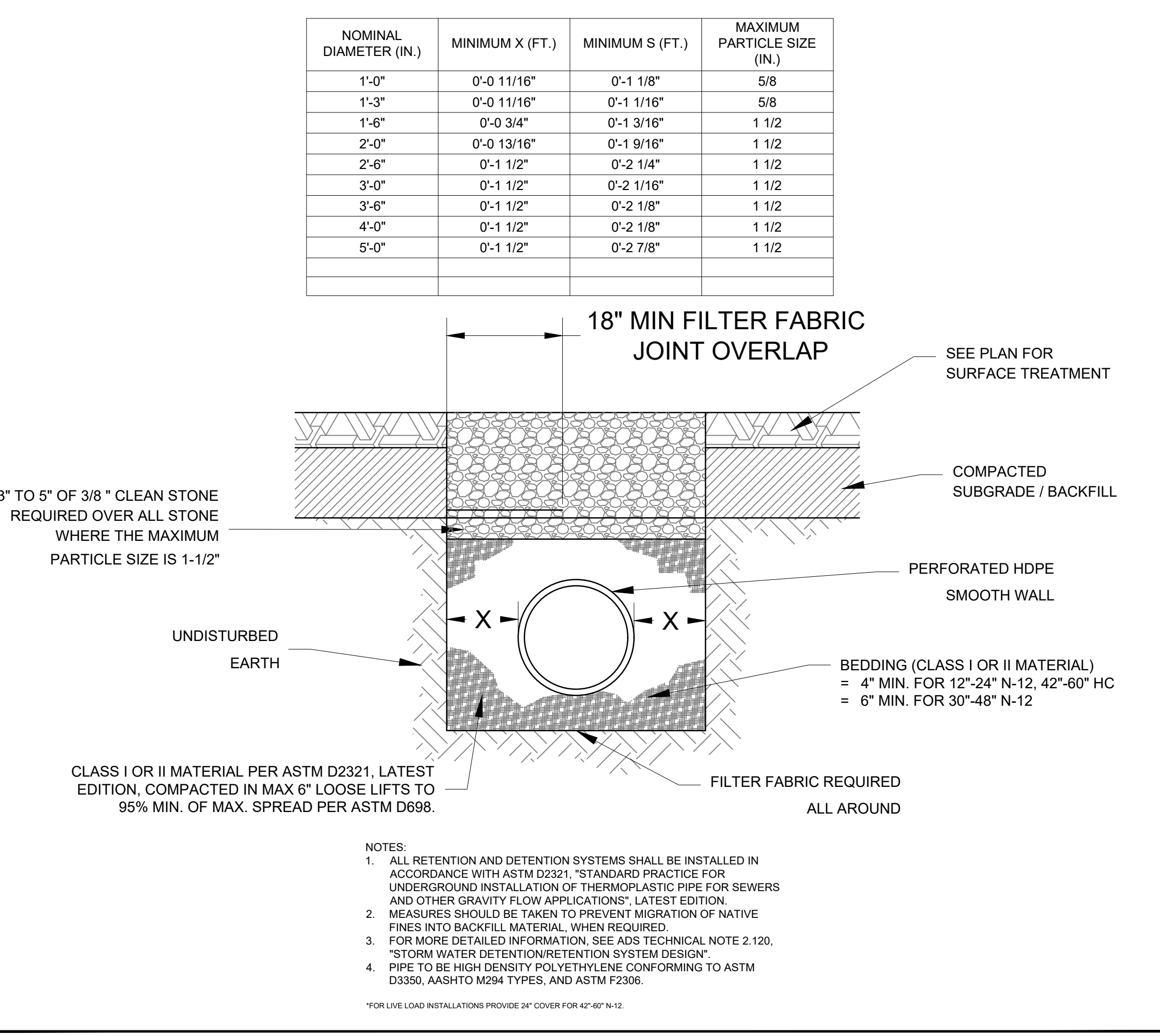
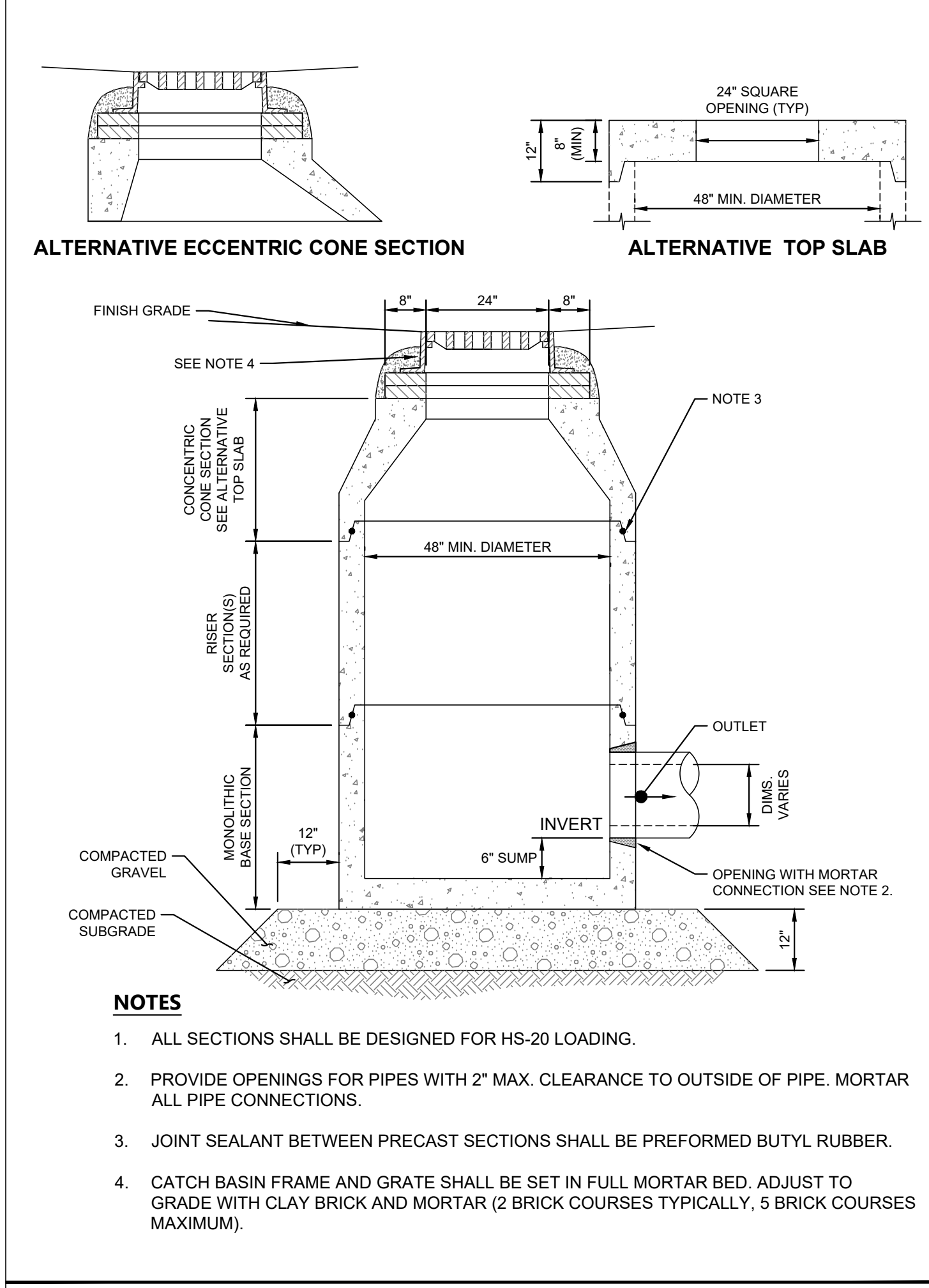
KHA PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

SITE DETAILS

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

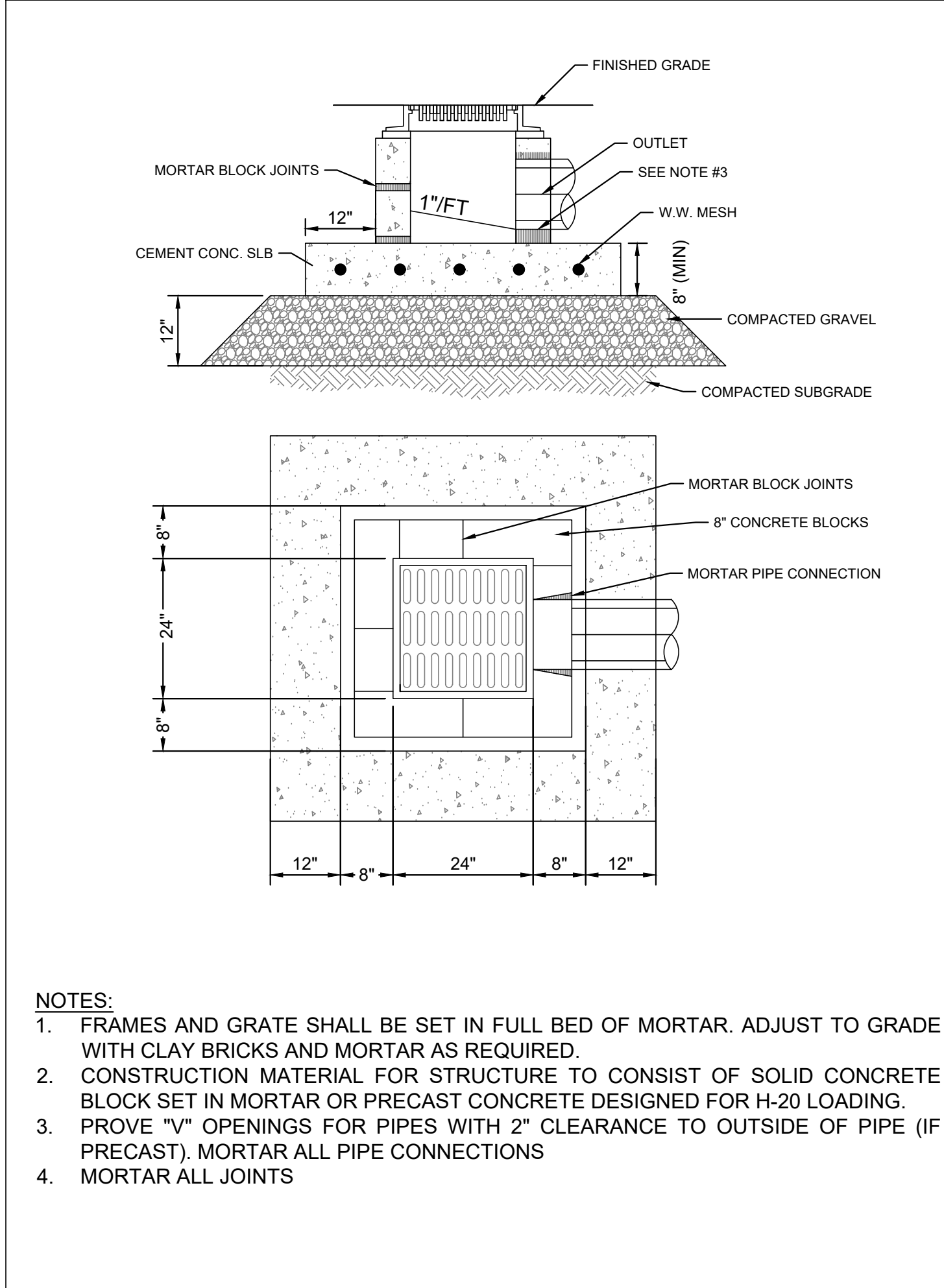
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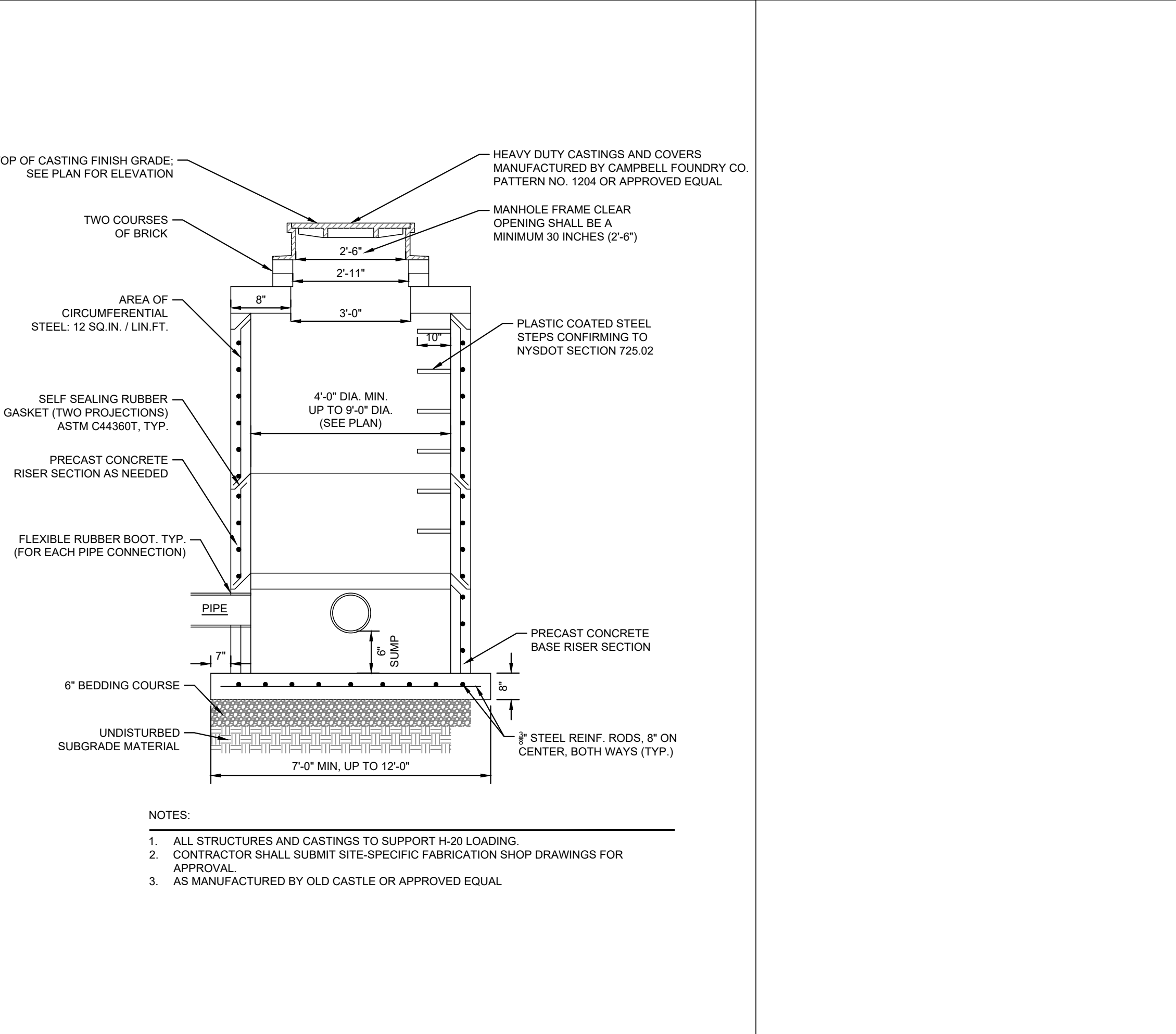


FIELD INLET (FI)
N.T.S. SOURCE: KIMLEY-HORN

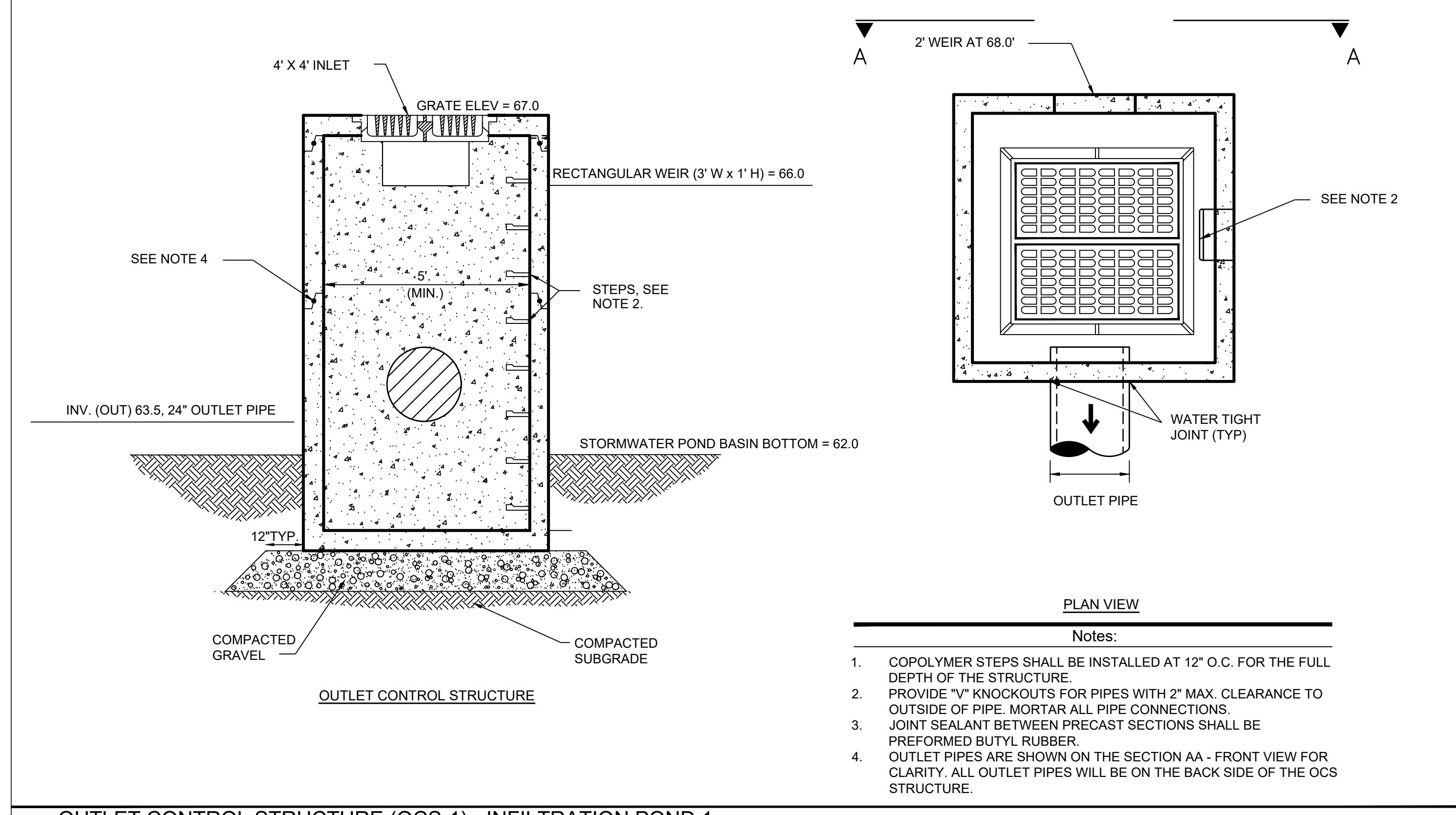
PERFORATED HDPE PIPE/FRENCH DRAIN SECTION
N.T.S. SOURCE: KIMLEY-HORN



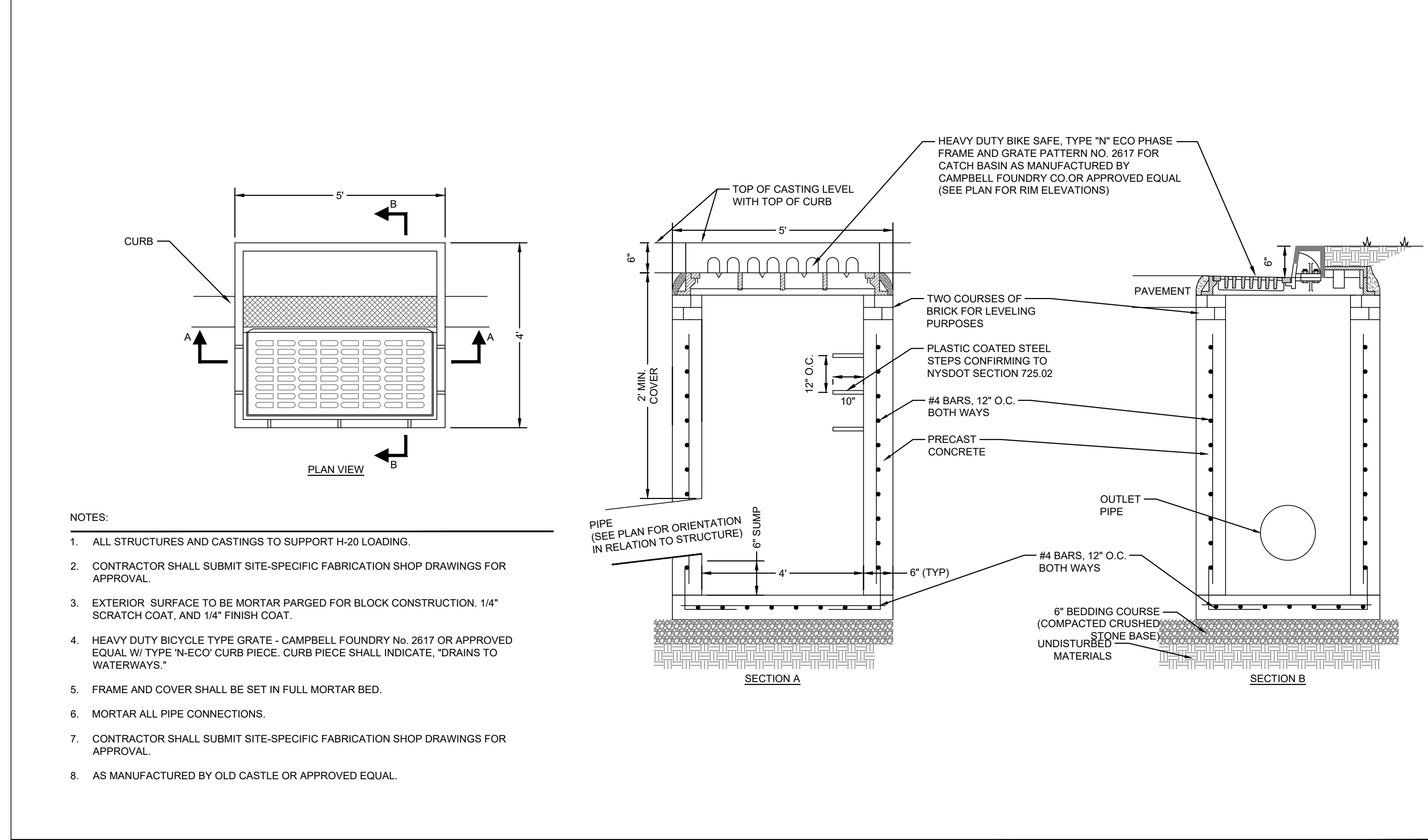
SHALLOW INLET
N.T.S. SOURCE: KIMLEY-HORN



STORM DRAINAGE PRECAST MANHOLE
N.T.S. SOURCE: KIMLEY-HORN



OUTLET CONTROL STRUCTURE (OCS-1) - INFILTRATION POND 1
N.T.S. SOURCE: KIMLEY-HORN



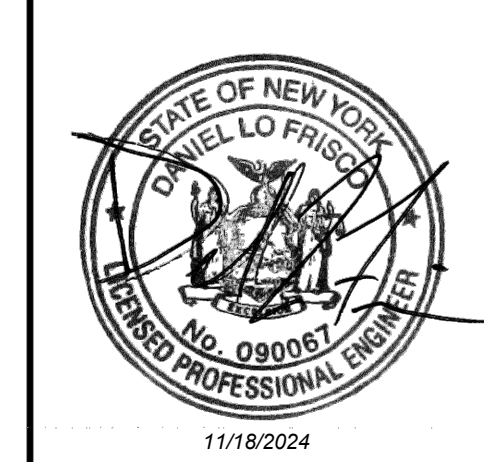
CATCH BASIN CURB TYPE (CB), TYPE 1
N.T.S. SOURCE: KIMLEY-HORN

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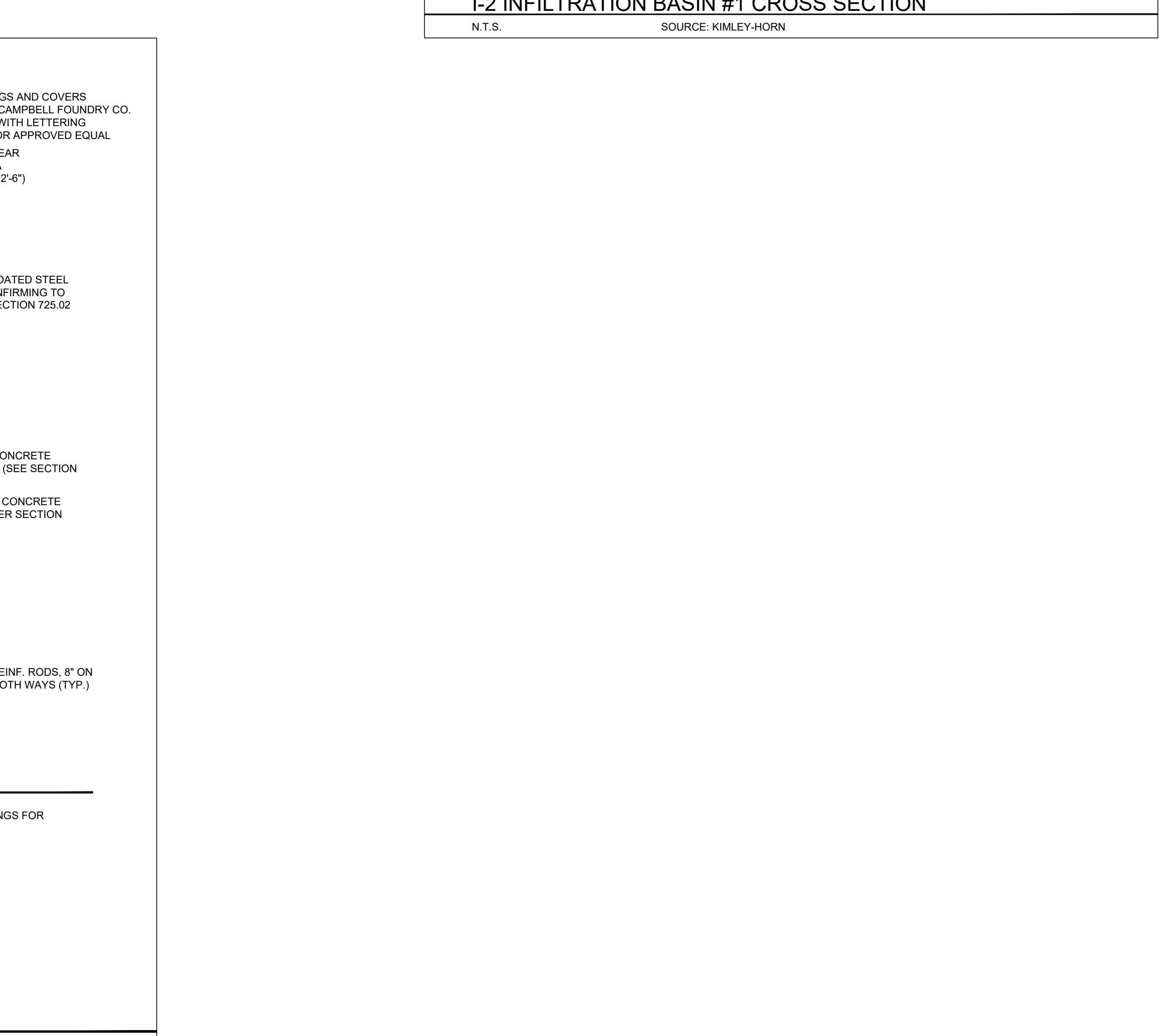
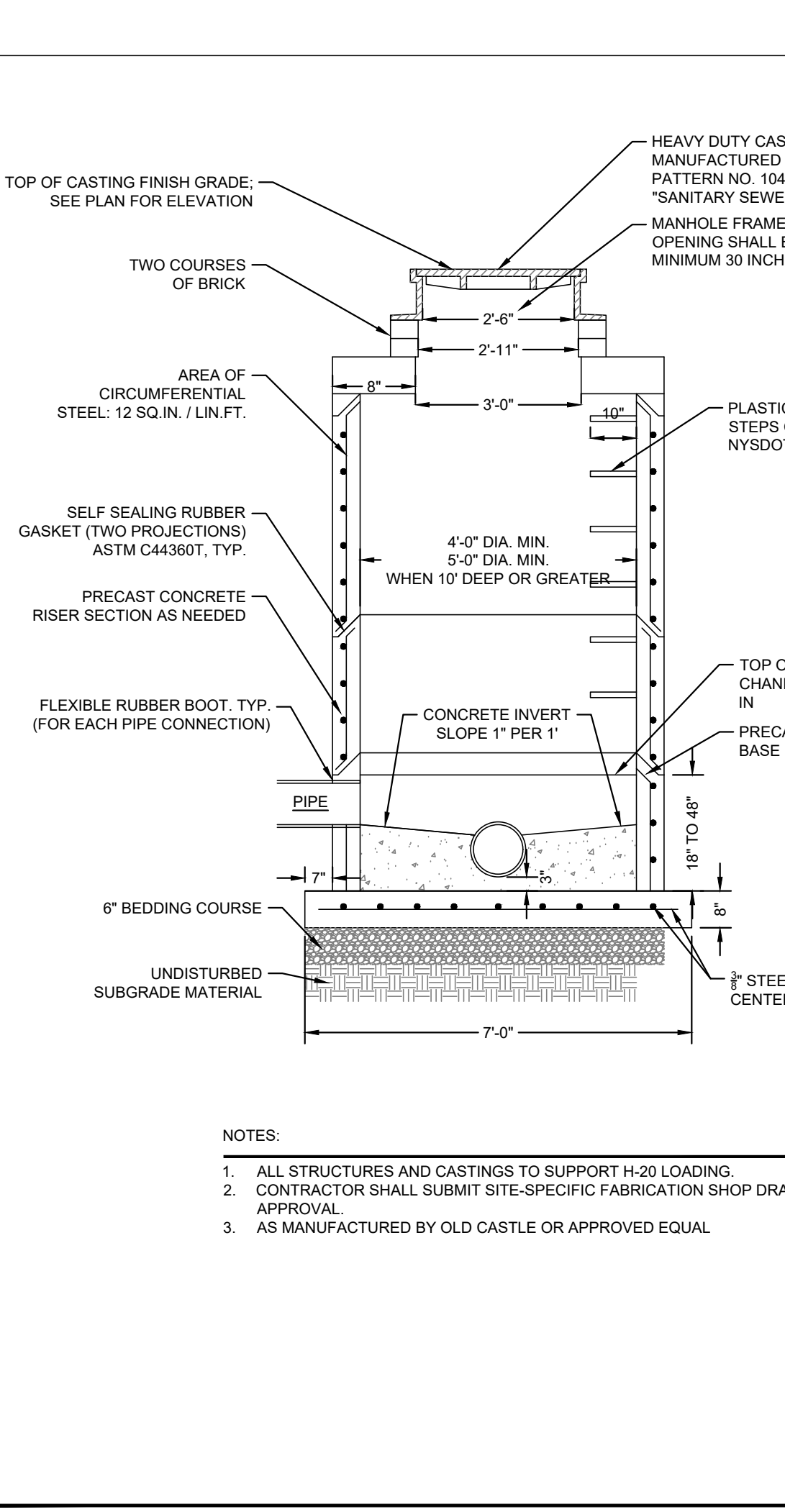
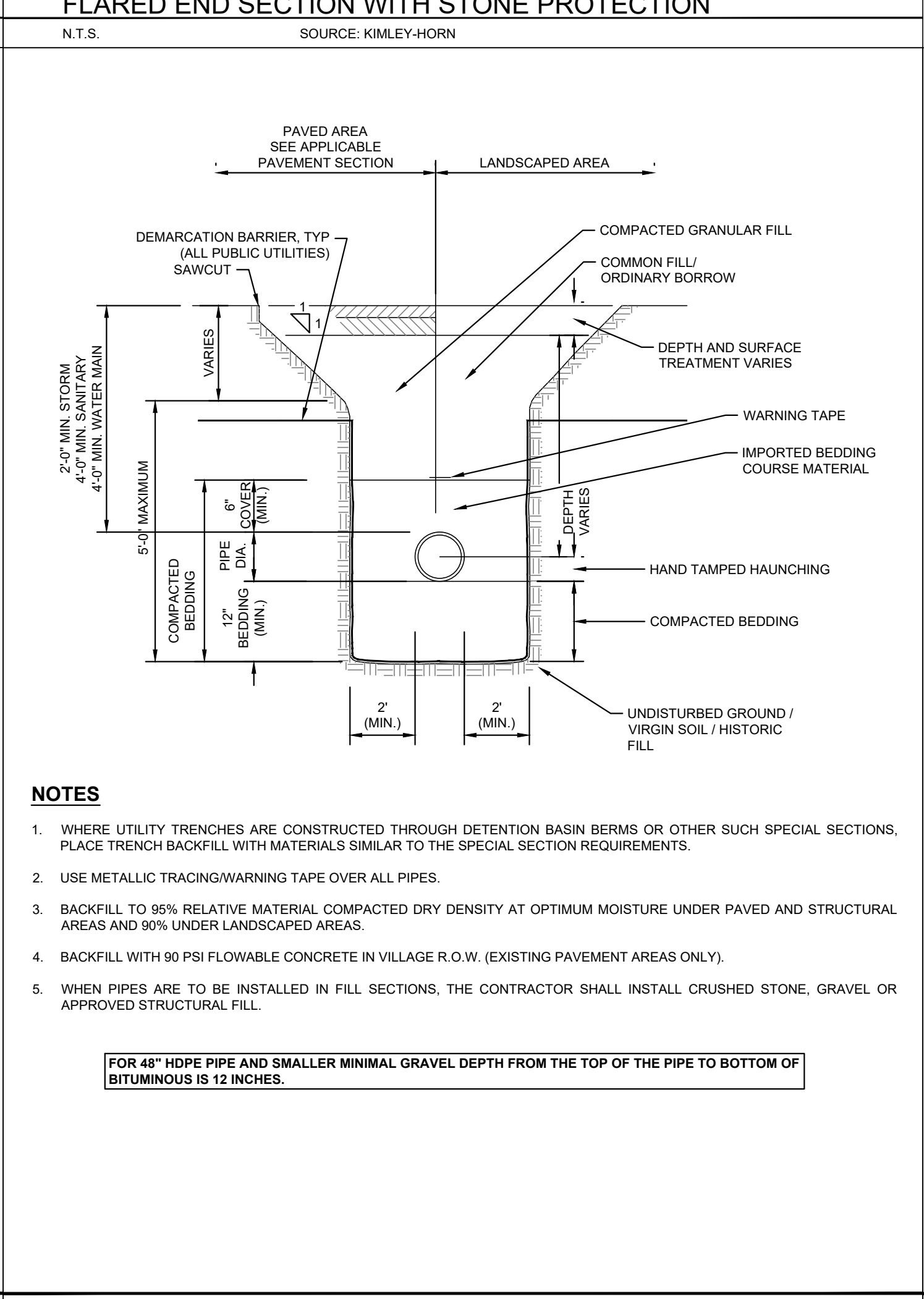
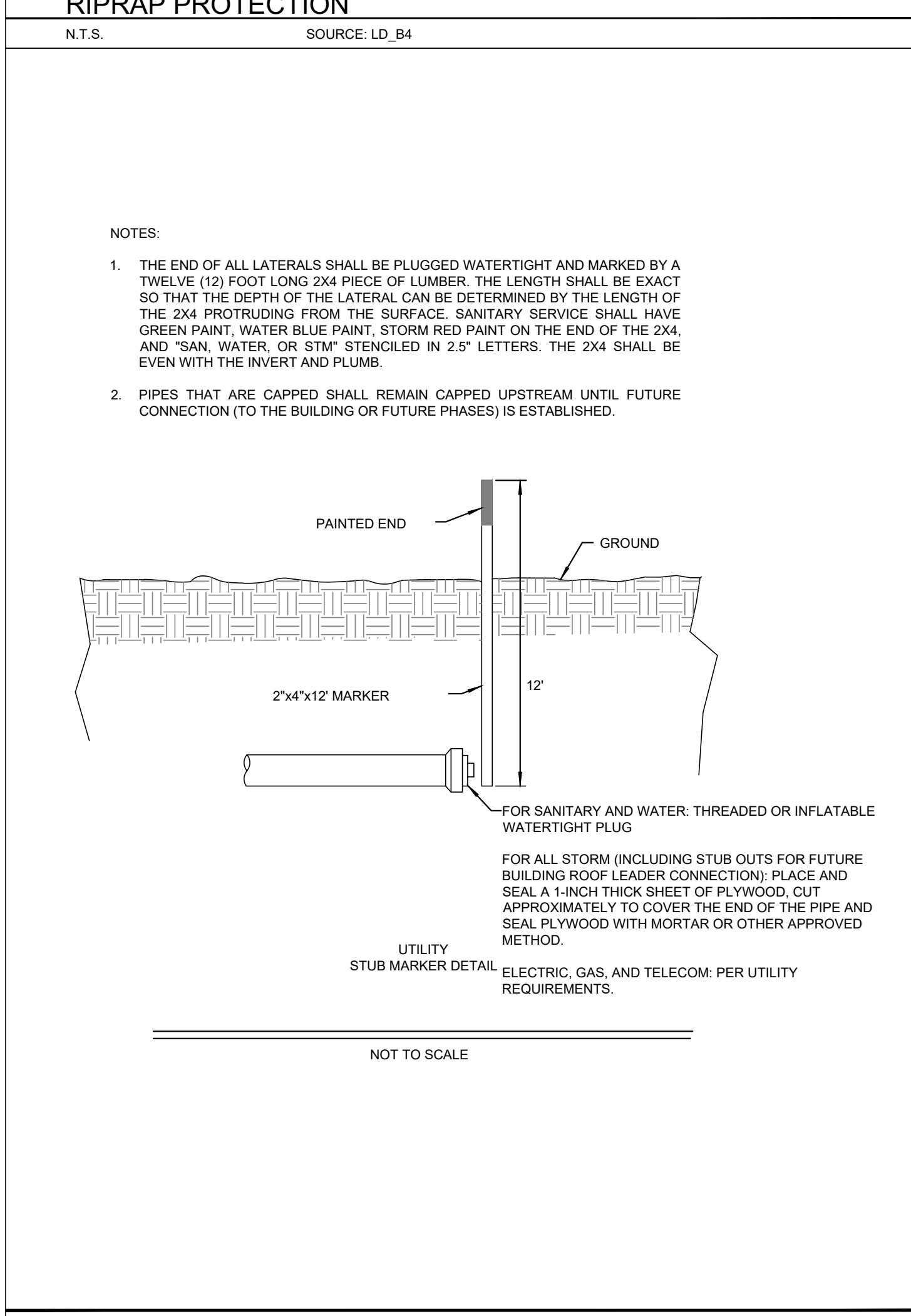
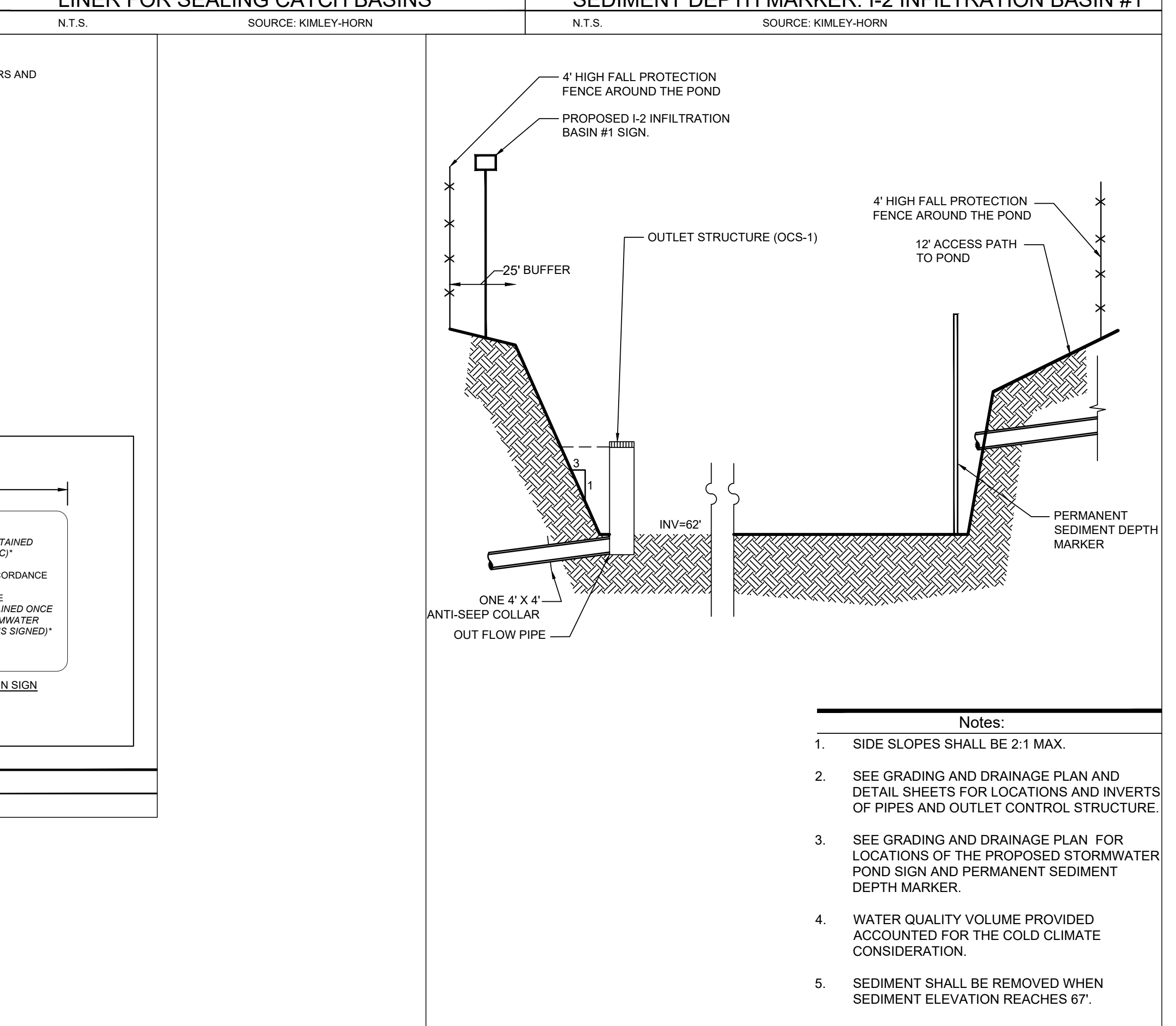
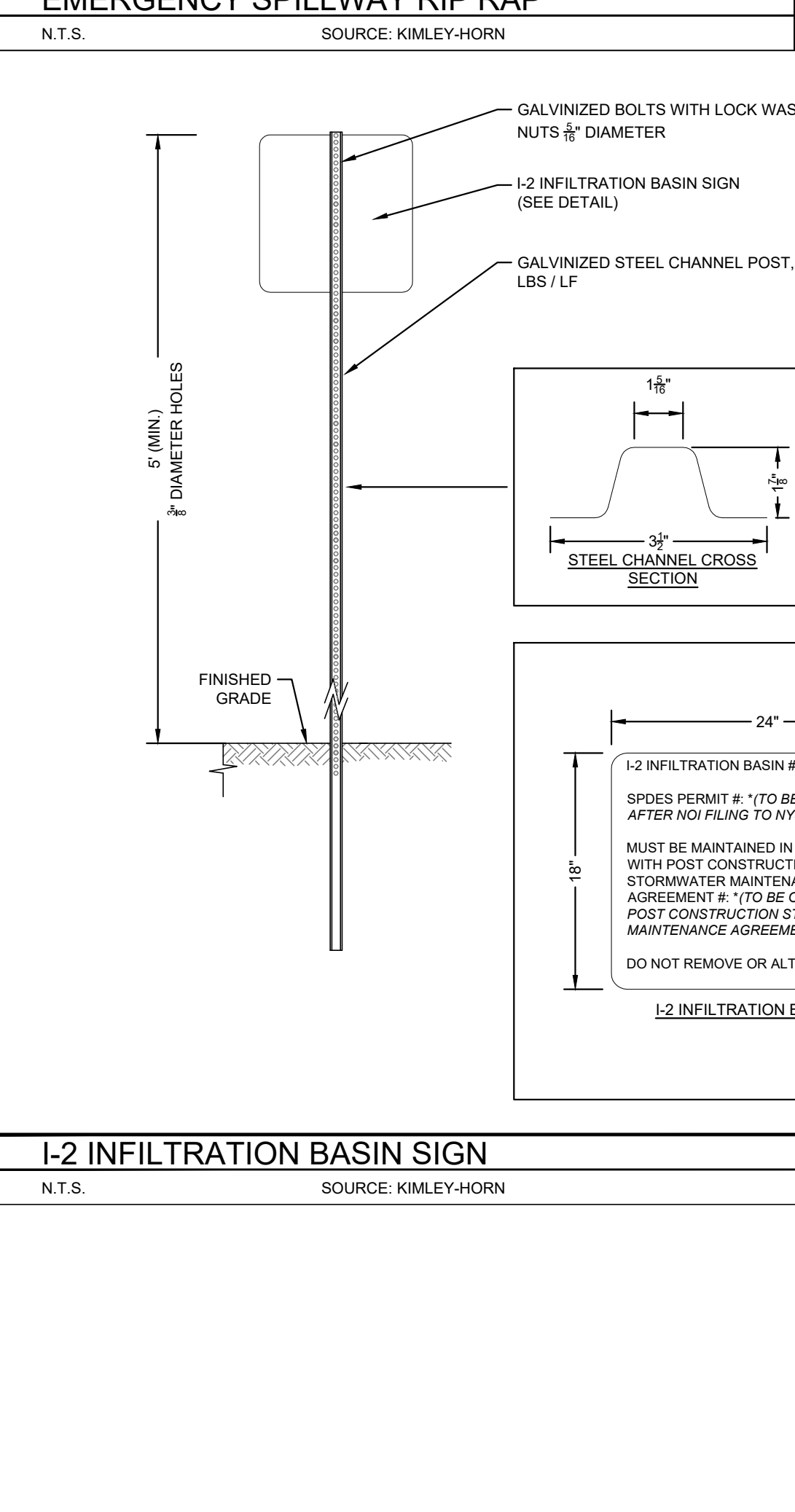
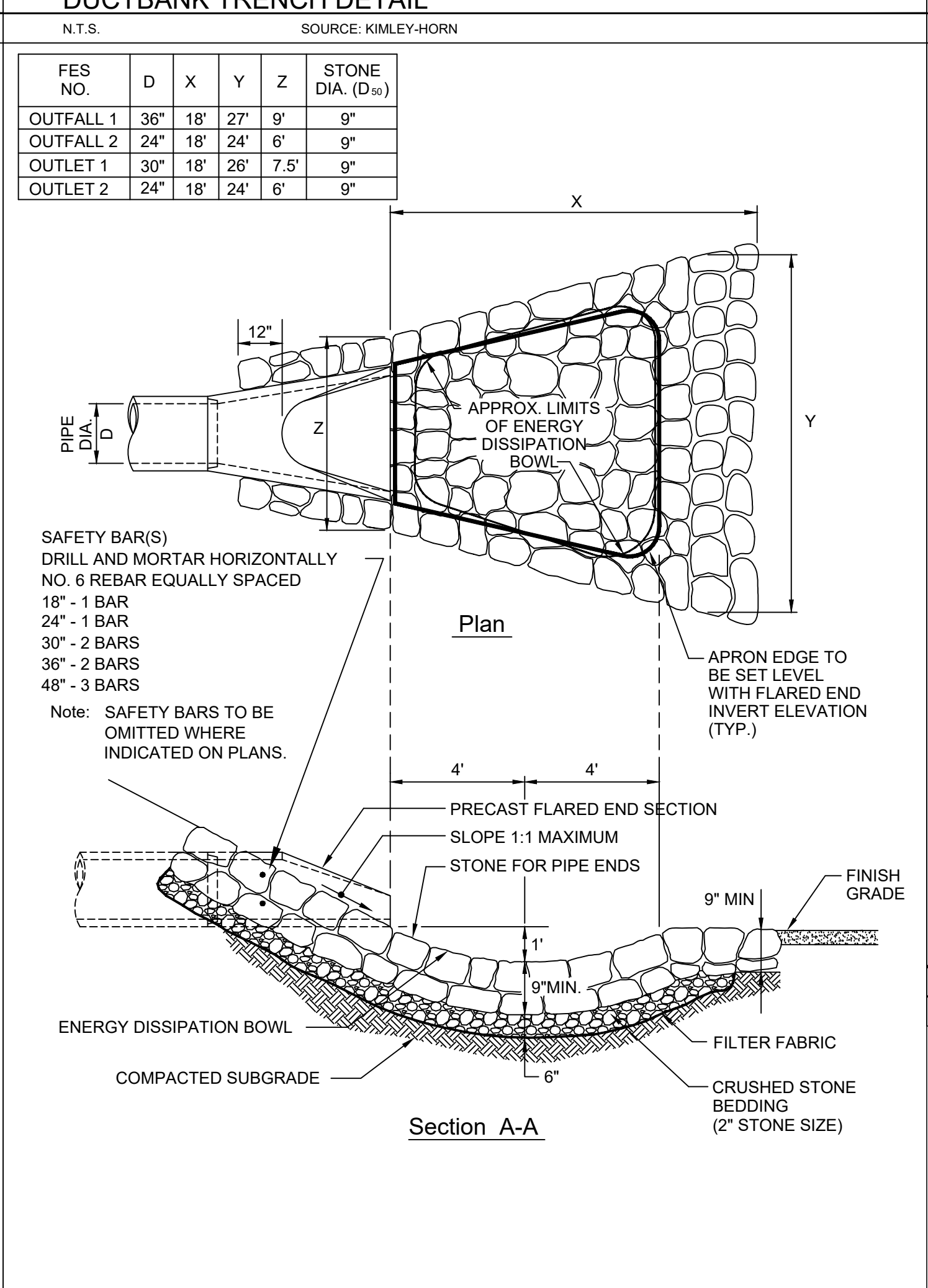
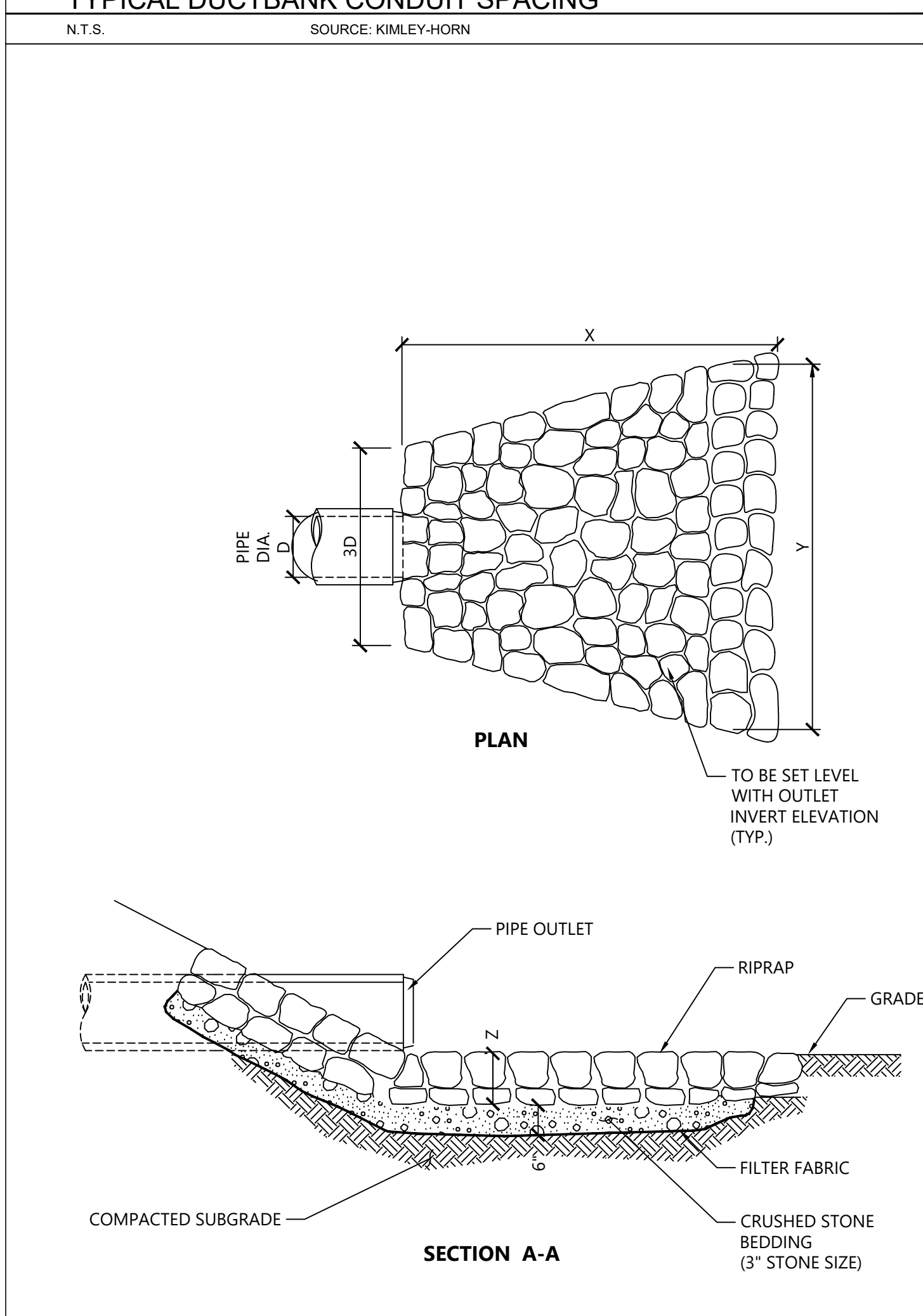
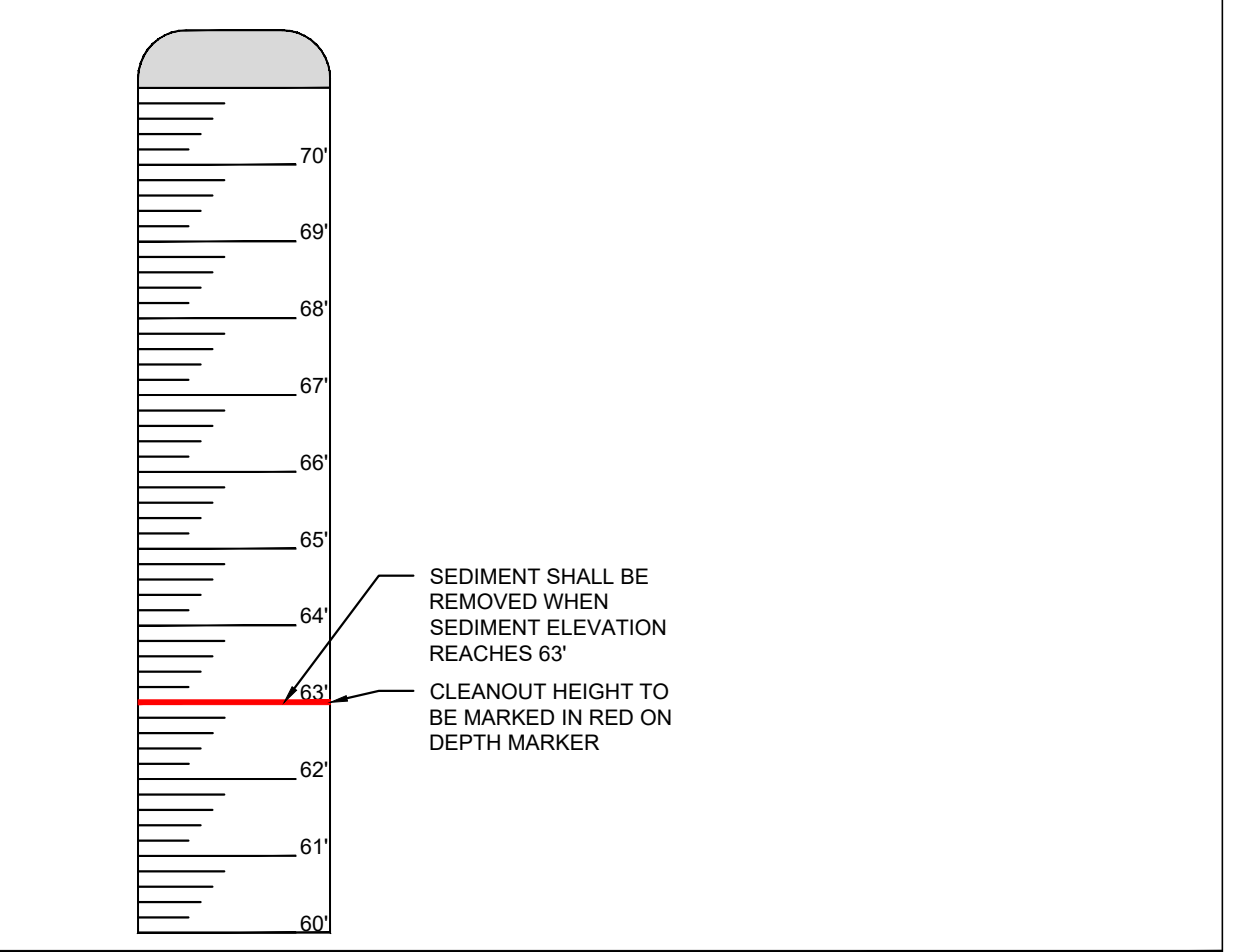
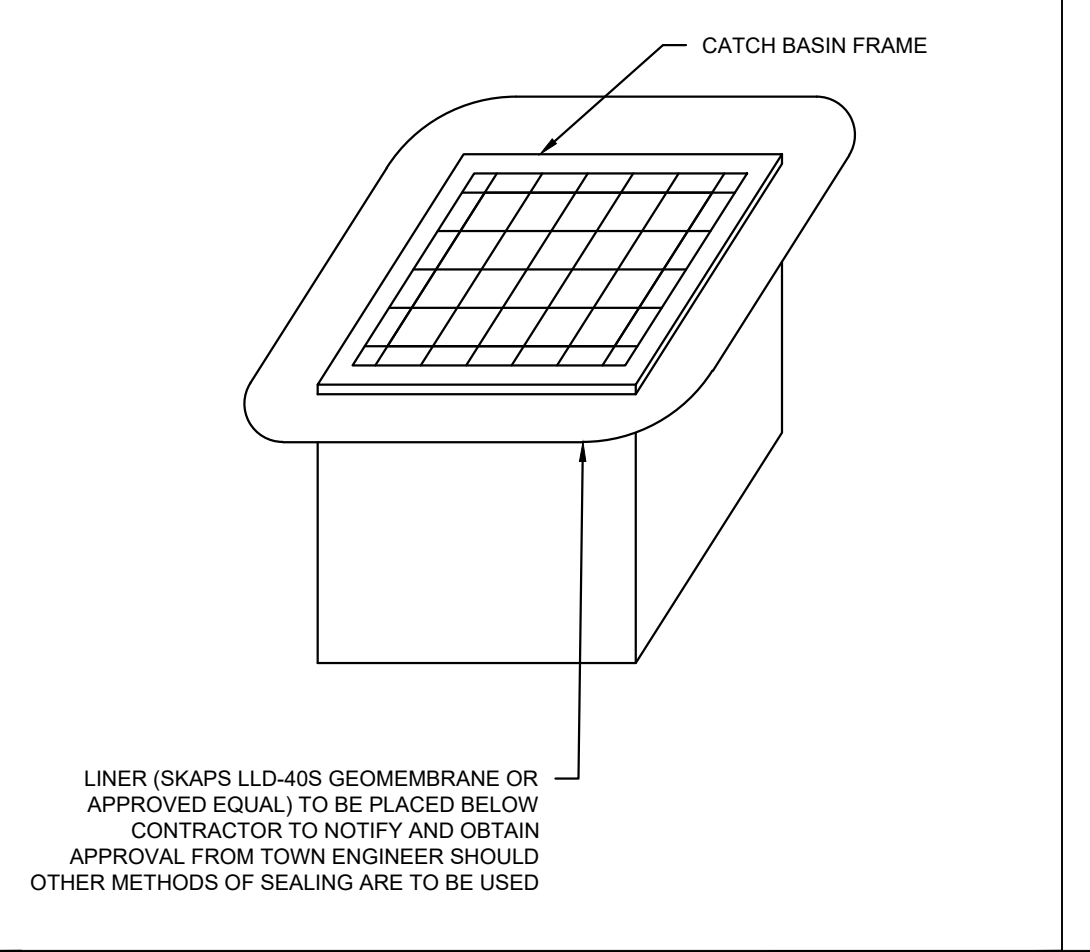
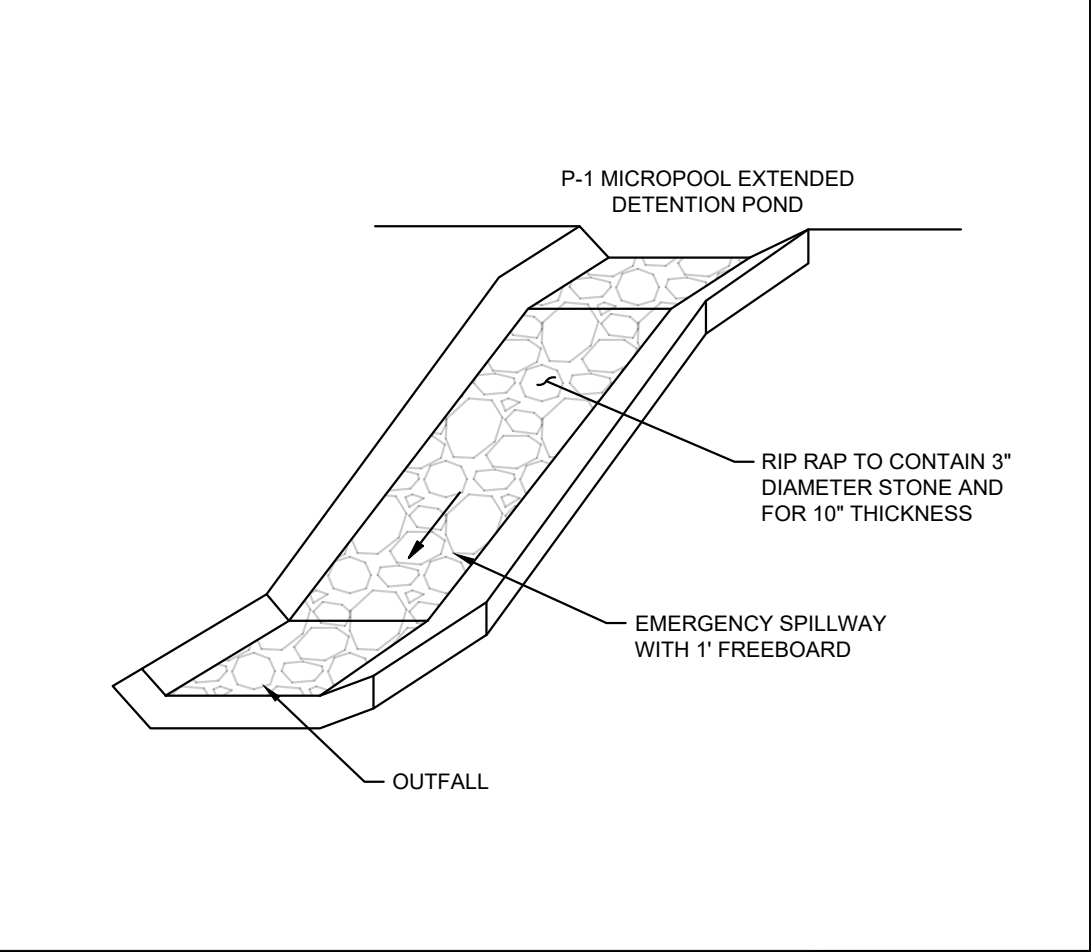
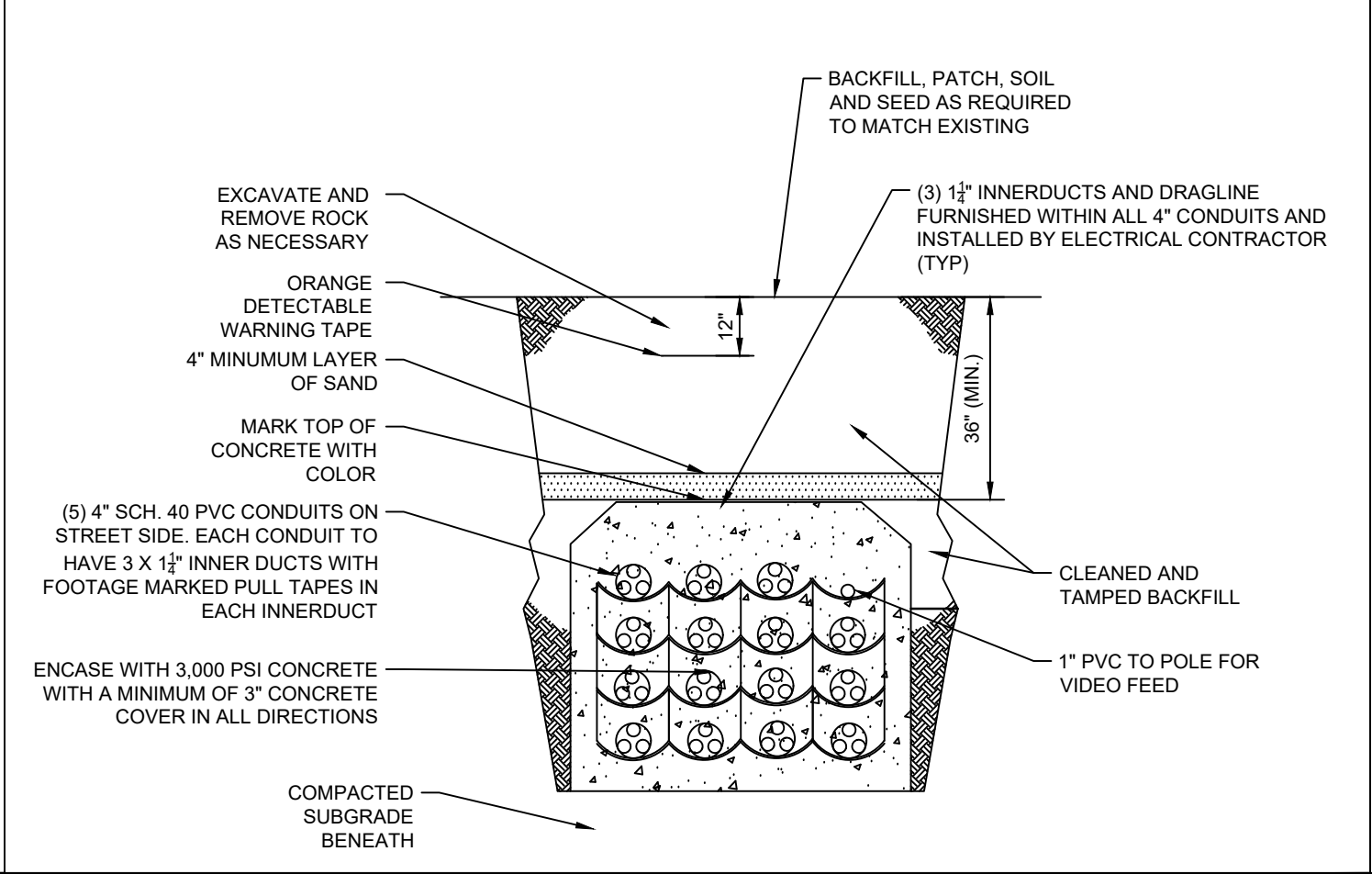
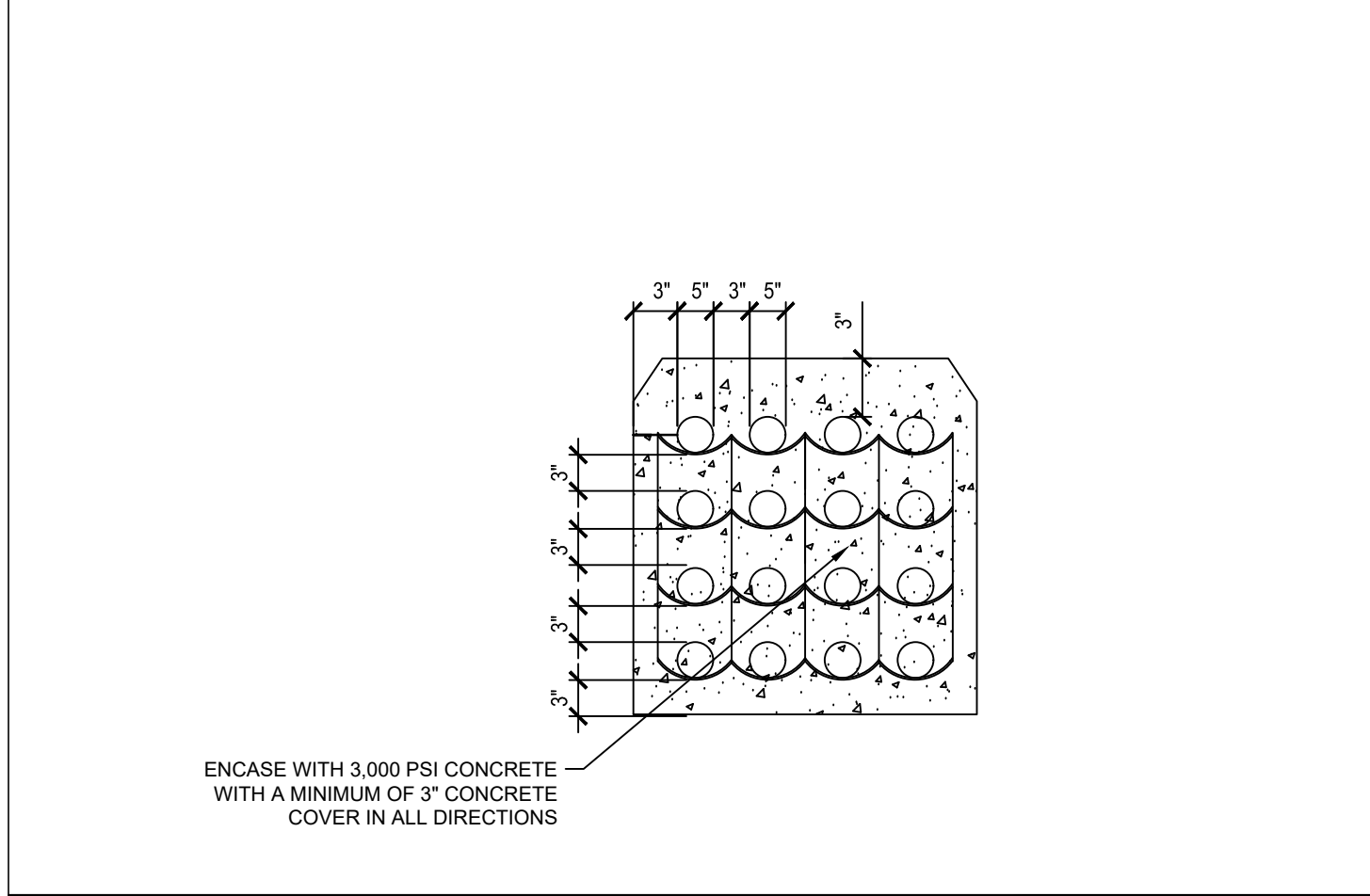
KIM PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
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 NEW YORK

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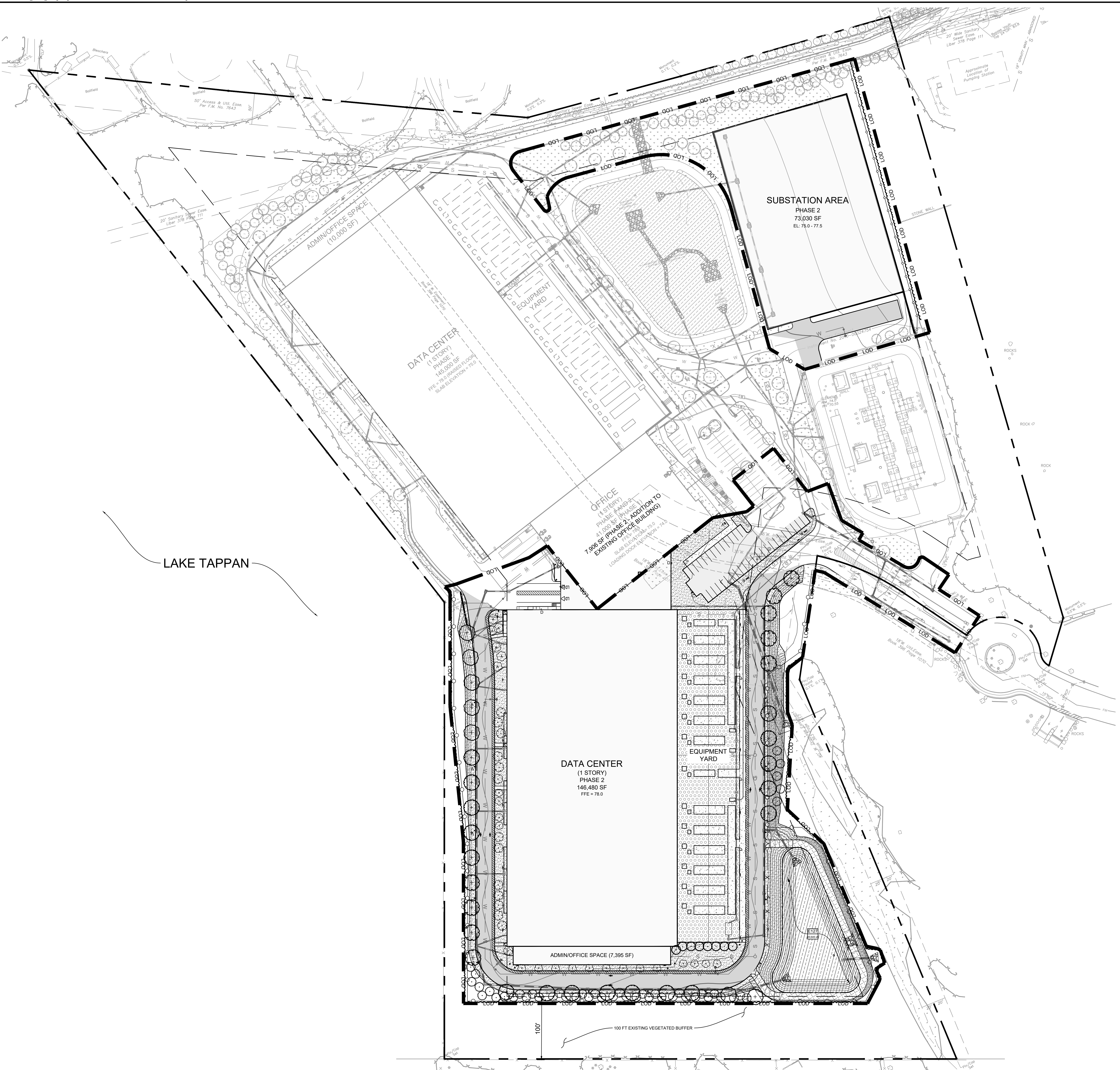
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LEGEND	
	PROPERTY LINE
	10' SIDEYARD SETBACK
	TOTAL AREA OF DISTURBANCE (13.50 AC)
	BUILDING
	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
	CONCRETE
	EQUIPMENT YARD (STONE)
	GRAVEL
	8" HIGH BLACK IRON ORNAMENTAL FENCE
	CONCRETE CURB
	CONCRETE FLUSH CURB
	2' WIDE RETAINING WALL
	EXTENTS OF STORMWATER POND
	MODIFIED EXISTING TREE LINE

PLANT KEY

SYMBOL CODE BOTANICAL / COMMON NAME

DECIDUOUS TREES

- NS *Nyssa sylvatica*
Sour Gum
- QP *Quercus palustris*
Pin Oak
- TA *Tilia americana*
American Linden

EVERGREEN TREES

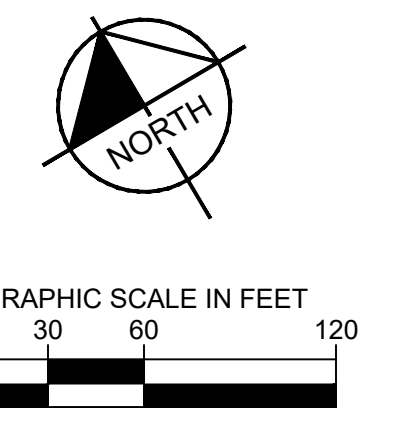
- PA *Picea abies*
Norway Spruce
- PS *Pinus strobus*
White Pine
- TO *Thuja occidentalis* 'Green Giant'
Green Giant Arborvitae

ORNAMENTAL TREES

- CC *Cercis canadensis*
Eastern Redbud
- CV *Crataegus viridis* 'Winter King'
'Winter King' Hawthorn
- SR *Syringa reticulata*
Japanese Tree Lilac

GROUND COVERS

- XG Grass Seed Area
- E127 ERNST SEED MIX 127
RETENTION BASIN WILDLIFE MIX



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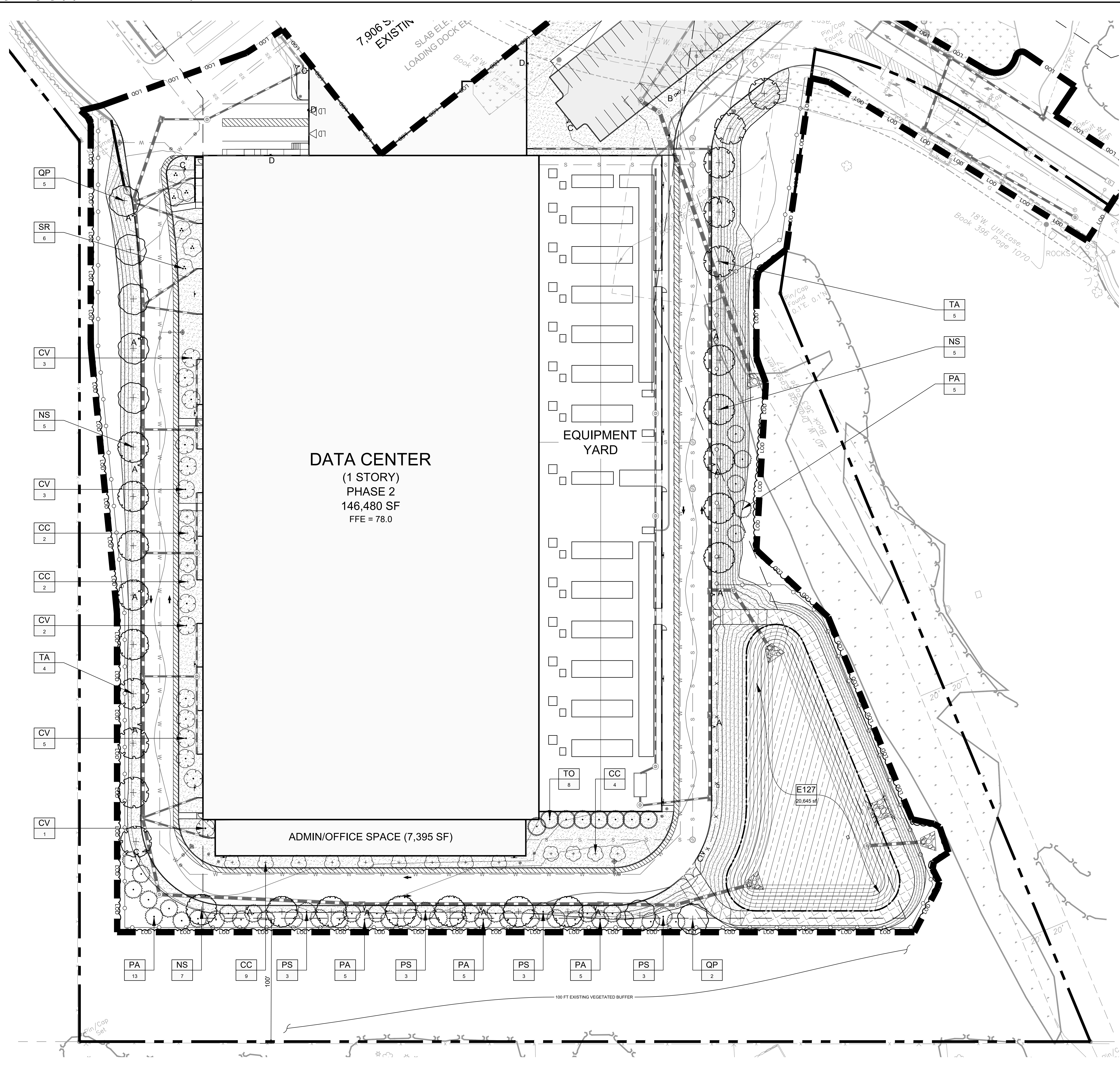
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OVERALL LANDSCAPE PLAN

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 NEW YORK

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LA-1.0

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LEGEND	
	PROPERTY LINE
	10' SIDEYARD SETBACK
	TOTAL AREA OF DISTURBANCE (13.50 AC)
	BUILDING
	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
	CONCRETE
	EQUIPMENT YARD (STONE)
	GRAVEL
	8" HIGH BLACK IRON ORNAMENTAL FENCE
	CONCRETE CURB
	CONCRETE FLUSH CURB
	2' WIDE RETAINING WALL
	EXTENTS OF STORMWATER POND
	MODIFIED EXISTING TREE LINE

PLANT KEY

SYMBOL CODE BOTANICAL / COMMON NAME

DECIDUOUS TREES

- NS Nyssa sylvatica Sour Gum
- QP Quercus palustris Pin Oak
- TA Tilia americana American Linden

EVERGREEN TREES

- PA Picea abies Norway Spruce
- PS Pinus strobus White Pine
- TO Thuja occidentalis 'Green Giant' Green Giant Arborvitae

ORNAMENTAL TREES

- CC Cercis canadensis Eastern Redbud
- CV Crataegus viridis 'Winter King' 'Winter King' Hawthorn
- SR Syringa reticulata Japanese Tree Lilac

GROUND COVERS

- XG Grass Seed Area
- E127 ERNST SEED MIX 127 RETENTION BASIN WILDLIFE MIX

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/12/2024
2	ISSUED FOR PRG REVIEW	08/29/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

Kimley-Horn
 New York
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 WHITE PLAINS, NY 10601
 PHONE: 914-388-9200
 WWW.KIMLEY-HORN.COM

DATABANK

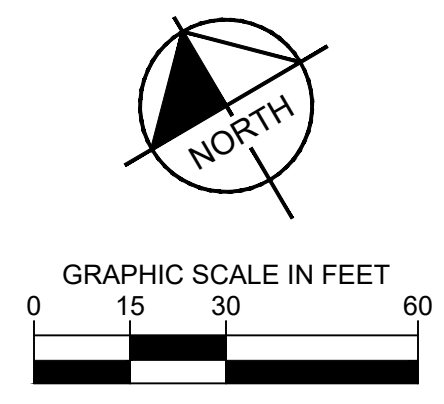


KIM PROJECT	DATE	SCALE	DESIGNED BY:	TAS	KC	DL
11257802	06/12/2024	AS SHOWN				

LANDSCAPE PLAN

DATABANK ORANGETOWN
 PHASE 2
 2000 CORPORATE DRIVE
 ORANGETOWN, NY 10962
 NEW YORK

SHEET NUMBER
LA-1.1



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GENERAL NOTES

- Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- Planting beds and individual tree plantings shall be mulched continuously as specified.
- Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
- Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.
- All material including planting operation appurtenances shall be of domestic origin manufacture and sourced within 100 miles of the project site.
- Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

A. General

- Live healthy plants free of dead branches and parts
- Free of disease, insect, injury and damage
- Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
- Free of girdling roots or rootbound/circling container conditions
- Plants of consistent in growth habit and healthy character
- Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
- Point of origin growing location within 100 miles of project site
- Graded, standards, caliper, sizes and stock consistent with *ANSI Z60.1, American Standard for Nursery Stock* most current edition
- Species identified consistent with *Hortus Third, Concise Dictionary of Plants Cultivated in the United States and Canada*, most current edition
- Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses*, most current edition
- All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

- Deciduous Single Trunk
 - Full, straight and upright with consistent symmetrical natural branching pattern throughout
 - Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction
- Deciduous Multi-Trunk
 - Full and upright with straight consistent symmetrical natural branching pattern throughout
 - Canes evenly spaced and of similar growth habit
 - Free of suckers and extraneous branching
- Evergreen Single-Trunk
 - Full and upright with continuous symmetrical dense natural habit
 - Clear branching height twelve (12) inches above top of rootball
 - Free of suckers and extraneous branching
 - Do not shear or otherwise prune to shape plantings

C. Evergreen and Deciduous Shrubs

- Full, dense and naturally symmetrical.
- Consistent with container and/or balled and burlapped size
- Free of suckers and extraneous branching.
- Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

- Full and dense in pots or flats

E. Perennials and Seasonal Color

- Full and dense in pots or flats

F. Turf Grass

- Subgrade
 - Soil Mix-10% Compost, 90% topsoil by volume
 - Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than 1/4 inch in any dimension
 - Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable
- Grass Sod
 - Install not longer than twenty-four (24) hours from harvest
 - Grass bed not less than two (2) inches in continuous thickness
 - 100% continuous live sod coverage after first growing season and at end of warranty period.
 - Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
 - Stagger installation rows and place aligned parallel to contours
 - Fill joints solidly with planting bed preparation soil
 - Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1
- Grass Seed
 - Mix approved by the Landscape Architect
 - Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
 - Provide seed mix not greater than 15% annual or perennial rye
 - Coverage 85% continuous coverage live stand after first growing season and at end of warranty
 - Replacement or overseeding mixes consistent with original application/installation
 - Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A. Testing

- Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

- Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than 1/4 inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%

C. Use of Existing Topsoil

- Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

D. Shredded Hardwood Mulch

- 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Compost Ph

- Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G. Compost Testing

- Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
- Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

H. Planting Mix

- 85% topsoil and 15% Compost

I. Fertilizer

- Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

J. Herbicide

- Product and Material Safety Data as approved by Owner

K. Water

- Potable unless otherwise approved by Owner

L. Hardwood Stakes

- 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M. Tree Ties

- Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric

- Mirafi 140-N or approved equal

O. Steel Edging

- 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone

- Locally sourced, river rounded, unfaceted river stone/cobbles.
- Size shall not exceed 3 total inches in any dimension.
- Color and texture approved by Owner
- When placed in concrete or mortar setting bed, lamp to secure and brush clear joints.
- Concrete or mortar as approved by owner.

III. Execution

A. Site Conditions

- Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
- Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
- Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
- Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
- Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

1. Deciduous and Evergreen Trees

Do not install/plant the following trees between September 15 and March 15

- Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinea)
- Dogwood (Cornus Sp.)
- Sweetgum (Liquidambar Sp.)
- All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

2. Deciduous and Evergreen Shrubs

- Install/plant between March 15 and June 15 and/or September 15 and November 30

3. Perennials

- Install/plant between March 15 and June 15 and/or September 15 and November 30

4. Spring Flowering Bulbs

- Install/plant between September 15 and December 15

5. Seasonal Annuals

- Install/plant in season per approved schedule

6. Turf Grass

- Install/plant between March 15 and May 15 and/or September 15 and November 30
- Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

7. No Plant Installation

- Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

C. Positioning & Location of Plantings

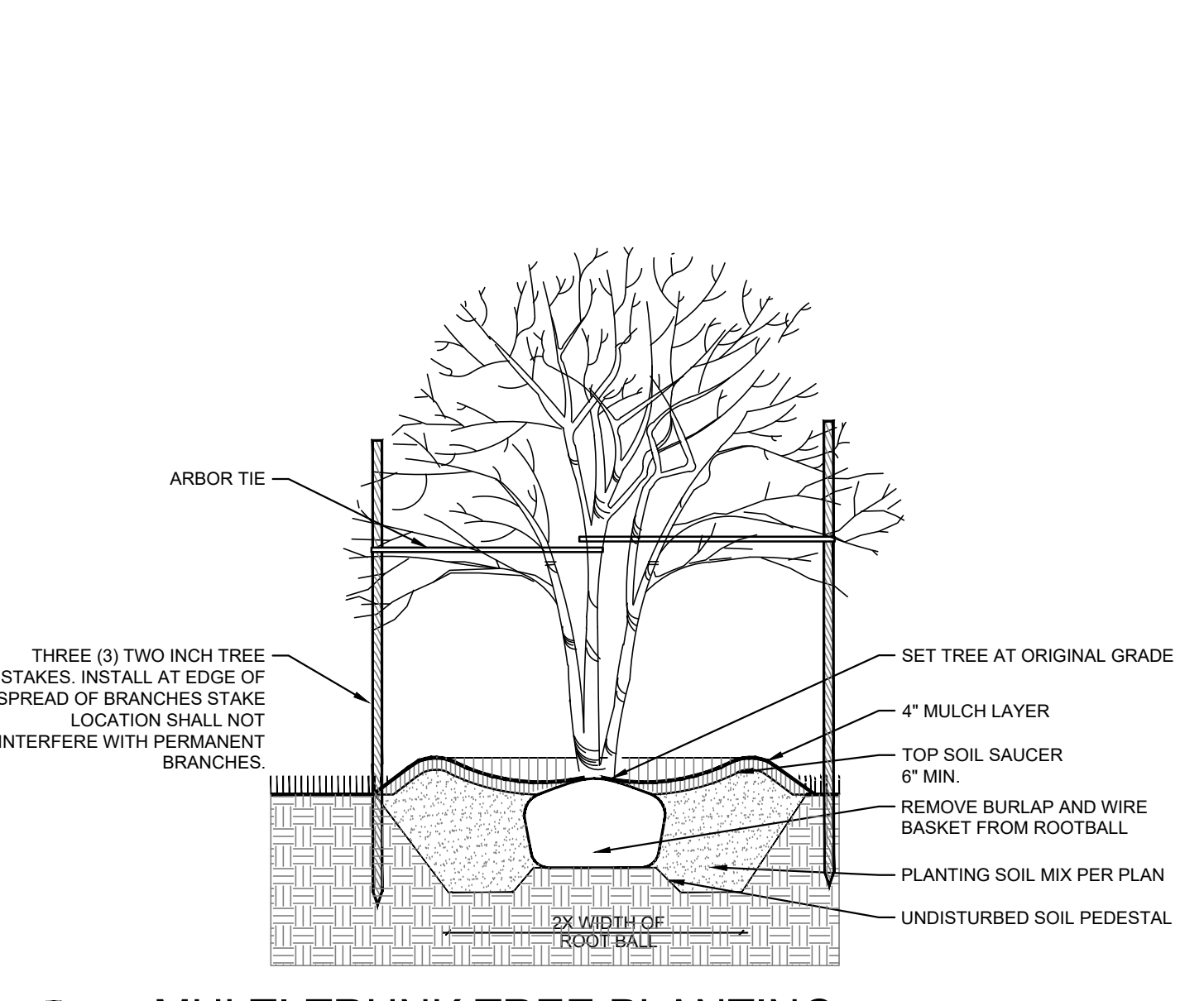
- Position plants to show the most-prominent and well-formed face to most-public view
- Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
- Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

D. Implementation

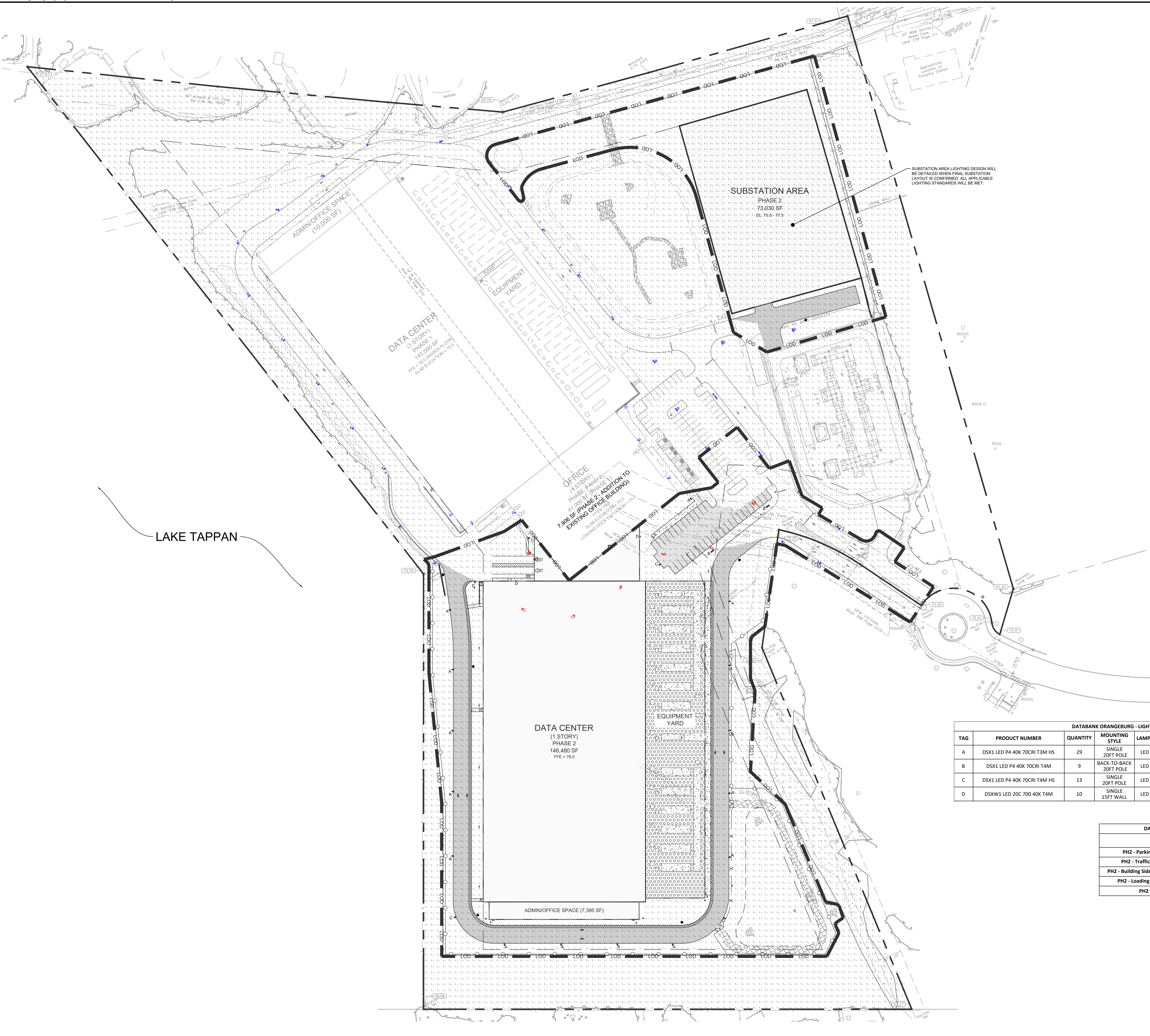
- Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
- Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
- Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
- Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
- Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up

- Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.
- Repair any damage to existing conditions that occurred during execution of work.
- All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.



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LEGEND

- PROPERTY LINE
- 10' SIDEYARD SETBACK
- TOTAL AREA OF DISTURBANCE (13.50 AC)
- BUILDING
- PROPOSED SITE LIGHTING POLE AND FIXTURE
- BUILDING MOUNTED FIXTURE
- ⋈ LUMINAIRE TAG
- ⊕ CALCULATION POINT
- ⊕ LIGHT FIXTURE TO BE RELOCATED
- ⊕ LIGHT FIXTURE TO REMAIN

- LIGHTING NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSITE ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE, P.C., LAST REVISED JANUARY 4TH, 2023.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE REGULATION AND CODES.
 - ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC) 1 FC = 10.76 LUX.
 - CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURER THROUGH EXCEL FILES.
 - ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THESE CALCULATIONS.
 - THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING PROPOSED OFF-SITE STREET LIGHTING AND LANDSCAPE LIGHTING.
 - ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. CONTRACTOR TO FIELD COORDINATE EXACT LOCATIONS AND SETBACKS AGAINST UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
 - ALL SITE LIGHTING POLES TO BE AT MOUNTING HEIGHT OF 20' AND BUILDING MOUNTED LIGHTS TO BE AT MOUNTING HEIGHT OF 15'.
 - PHASE 2 LIGHTING DESIGN TO MATCH PART NUMBERS AND APPROXIMATE LIGHT LEVELS IN PHASE 1.
 - EXISTING FIXTURE AND POLE TO BE RELOCATED FROM PHASE 1 LOCATION TO CORRESPONDING PHASE 2 LOCATION. CONCRETE BASE AT EXISTING LOCATION TO BE DEMOLISHED.
 - PROPOSED FIXTURE SHALL BE MOUNTED ON EXISTING POLE. SHOULD CONTRACTOR BE UNABLE TO DRILL NEW MOUNTING HOLES, A NEW POLE SHOULD BE ORDERED TO FACILITATE DESIGNED INTENT.

SUBSTATION AREA LIGHTING DESIGN WILL BE DETAILED WHEN FINAL SUBSTATION LAYOUT IS CONFIRMED. ALL APPLICABLE LIGHTING STANDARDS WILL BE MET.

DATABANK ORANGEBURG - LIGHTING FIXTURE SCHEDULE

TAG	PRODUCT NUMBER	QUANTITY	MOUNTING STYLE	LAMPS	LUMENS	LF	WATTS	DESCRIPTION
A	DSX1 LED P4 40K 70CRI T3M HS	29	SINGLE 20FT POLE	LED	11404	0.85	125W	WIDE THROW POLE MOUNTED AREA LIGHT
B	DSX1 LED P4 40K 70CRI T4M	9	BACK-TO-BACK 20FT POLE	LED	(2) 11006	0.85	(2) 125W	DUAL MOUNTED FORWARD THROW POLE MOUNTED AREA LIGHT
C	DSX1 LED P4 40K 70CRI T4M HS	13	SINGLE 20FT POLE	LED	11006	0.85	125W	FORWARD THROW POLE MOUNTED AREA LIGHT
D	DSXW1 LED 20C 700 40K T4M	10	SINGLE 15FT WALL	LED	5342	0.85	46W	FORWARD THROW BUILDING MOUNTED WALLPACK

DATABANK ORANGEBURG - CALCULATION SUMMARY (FC)

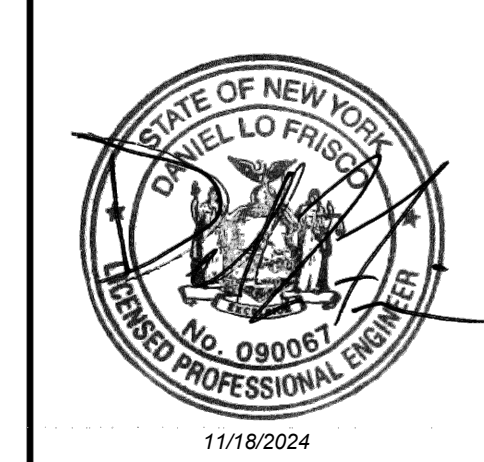
	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN	MAX/MIN
PH2 - Parking Lot	2.23	5.80	1.00	2.23	5.80
PH2 - Traffic Loop	2.19	4.20	1.00	2.19	4.20
PH2 - Building Sidewalk	1.22	2.40	0.60	2.03	4.00
PH2 - Loading Dock	2.16	3.90	1.20	1.80	3.25
PH2 - LOD	0.66	7.60	0.00	0.00	0.00

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRICING	08/26/2024
2	ISSUED FOR PRG REVIEW	08/22/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

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 PHONE: 914-388-6000
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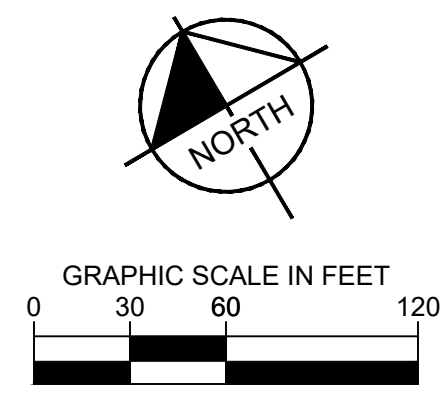


PKM PROJECT	DATE	SCALE	DESIGNED BY:	DRAWN BY:	CHECKED BY:
11257802	06/12/2024	AS SHOWN	TAS	KC	DL

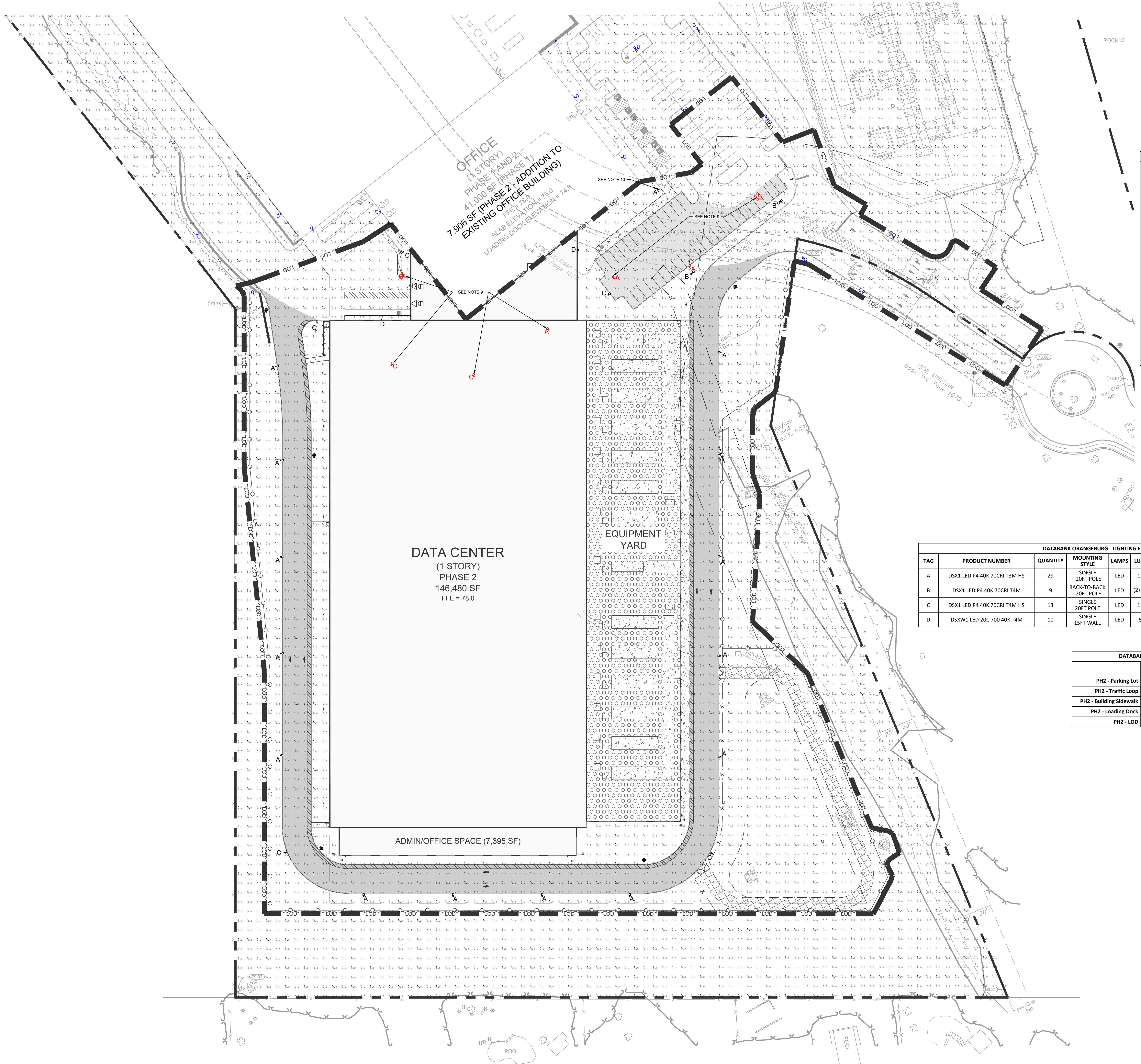
OVERALL LIGHTING PLAN

DATABANK ORANGEBURG PHASE 2
 2000 CORPORATE DRIVE
 ORANGEBURG, NY 10962
 TOWN OF ORANGETOWN NEW YORK

SHEET NUMBER
LT-1.0



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LEGEND

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- - - 10' SIDEYARD SETBACK
- ▬ TOTAL AREA OF DISTURBANCE (13.50 AC)
- ▭ BUILDING
- SITE LIGHTING POLE AND FIXTURE
- ⊕ BUILDING MOUNTED FIXTURE
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- ⊕ CALCULATION POINT
- ⊕ LIGHT FIXTURE TO BE RELOCATED
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DATABANK



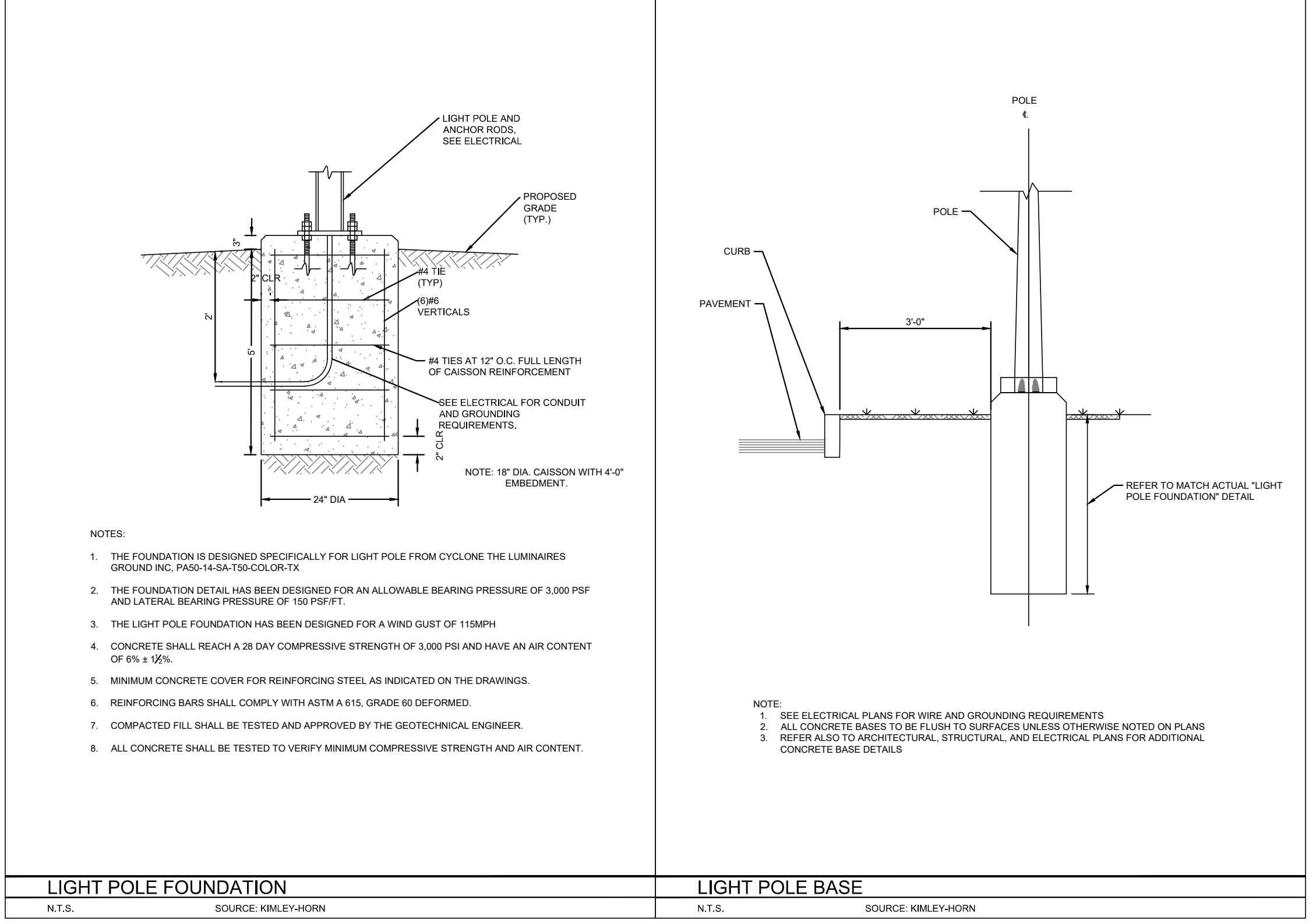
KIM PROJECT	11257802	DATE	06/12/2024	SCALE	AS SHOWN	DESIGNED BY:	TAS	DRAWN BY:	KC	CHECKED BY:	DL
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LIGHTING PLAN

DATABANK ORANGEBURG PHASE 2
 2000 CORPORATE DRIVE
 ORANGEBURG, NY 10962
 NEW YORK
 TOWN OF ORANGETOWN

SHEET NUMBER
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D-Series Size 1 LED Area Luminaire

Specifications

Length: 1.01 ft
Width: 0.37 ft
Height: 0.17 ft
Weight: 27 lbs

Ordering Information

EXAMPLE: DSK1 LED P7 40K T3M MVOLT 5PA NLTAR2 PRVH DDBXD

Code	Part	Description	Options
DSK1	LED	LED Luminaire	
P7	40K	40,000K Color Temp	
T3M	T3M	3000lm Output	
MVOLT	MVOLT	Multiple Voltage	
5PA	5PA	5 Year Warranty	
NLTAR2	NLTAR2	Non-Linear Thermal Arresting Resistor	
PRVH	PRVH	Prevent Reverse Voltage	
DDBXD	DDBXD	Dark Box Design	

D-Series Size 1 LED Wall Luminaire

Specifications

Width: 13.34" (340mm)
Depth: 10" (254mm)
Height: 6.30" (160mm)

Ordering Information

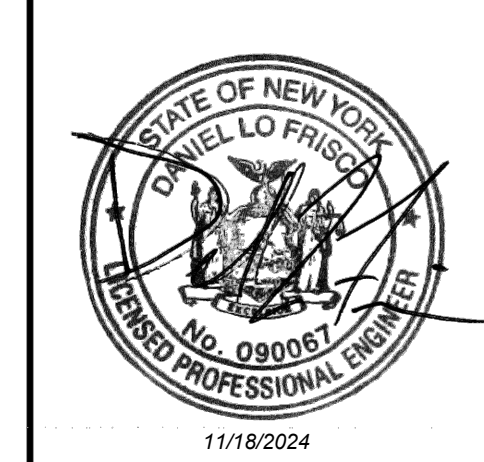
EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DDBXD

Code	Part	Description	Options
DSKW1	LED	LED Wall Luminaire	
20C	20C	20,000lm Output	
1000	1000	1000mm Length	
40K	40K	40,000K Color Temp	
T3M	T3M	3000lm Output	
MVOLT	MVOLT	Multiple Voltage	
DDBXD	DDBXD	Dark Box Design	

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRG REVIEW	08/29/2024
2	ISSUED FOR PRG REVIEW	08/29/2024
3	ISSUED FOR TOWN OF ORANGETOWN REVIEW	11/19/2024

FOR PERMIT REVIEW

Kimley-Horn
New York
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WHITE PLAINS, NY 10601
PHONE: 914-388-6000
WWW.KIMLEY-HORN.COM



KIM PROJECT	11257802
DATE	06/12/2024
SCALE	AS SHOWN
DESIGNED BY:	TAS
DRAWN BY:	KC
CHECKED BY:	DL

LIGHTING DETAILS

DATABANK ORANGEBURG PHASE 2
2000 CORPORATE DRIVE
ORANGEBURG, NY 10962
NEW YORK

SHEET NUMBER LT-1.2