

ADDITION TO:  
**PIERCE RESIDENCE**

16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NY 10960

**degenstein**  
architects  
planners

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NY LIC. 13332 CT LIC. 8305

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**ENERGY CONSERVATION CONSTRUCTION CODE REQUIREMENTS**

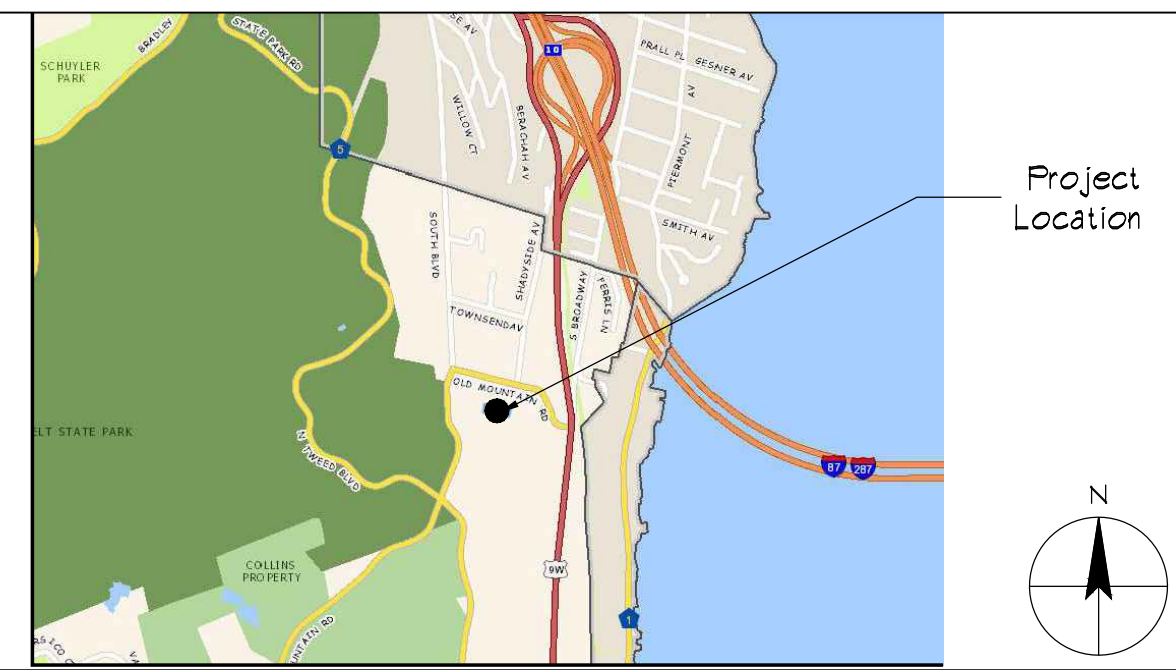
2018 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AND NY STATE ENERGY CODE 2020 (V10 / JULY 2019)

- I. HEATING DEGREE DAYS (TABLE R301.3(2)) 5400 < HDD65" ≤ 41000 RESIDENTIAL ZONE: 54
- II. PROJECT TYPE: ADDITION TO EXISTING DWELLING (CHAPTER 4 RESIDENTIAL ENERGY EFFICIENCY)
- III. INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT (TABLE 402.1(2))

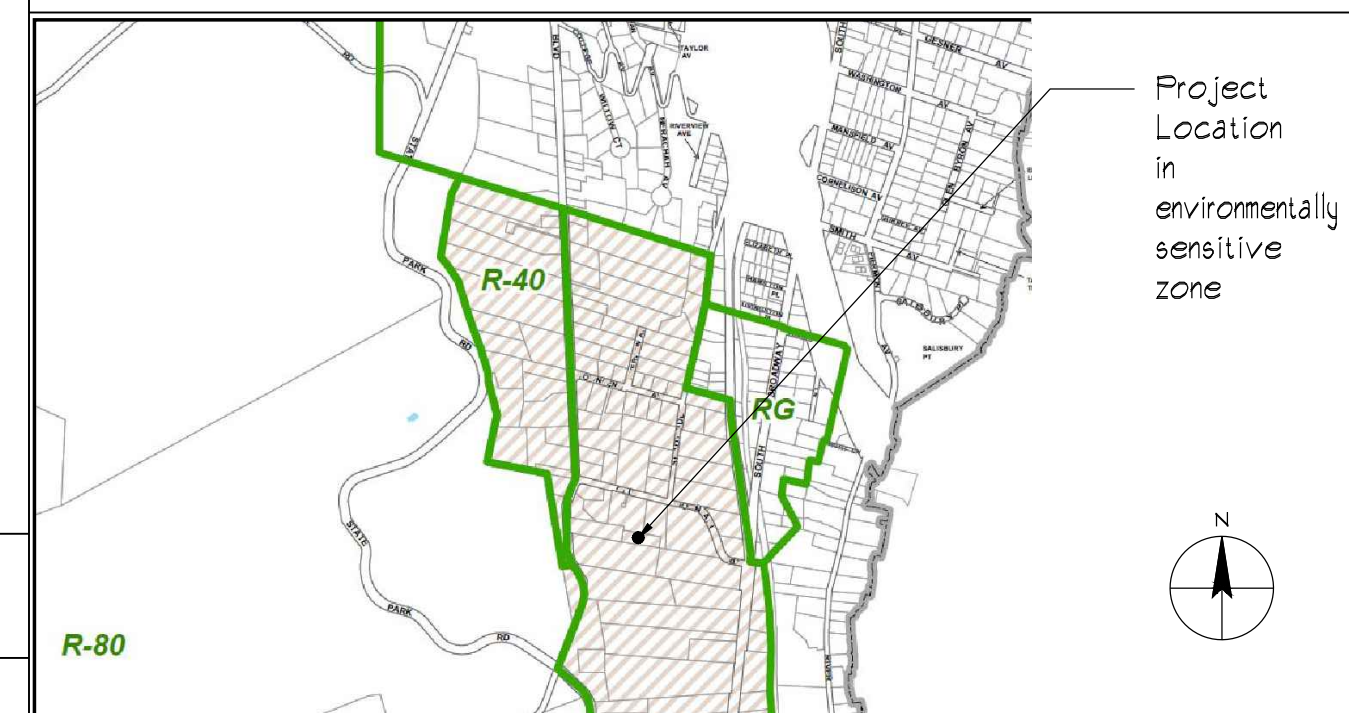
COMPONENT	MINIMUM REQUIRED	PROVIDED
FENESTRATION U FACTOR	0.21	0.21 *
SKYLIGHT U FACTOR	0.30	NA
GLAZED FENESTRATION	NR	NR
CEILING R VALUE	R-45	R-50.15 + R-25
WOOD FRAME WALL R VALUE	R-21 INT OR R-20 + R-5 OR R-13 + R-10	R-23 + R-6
MASS WALL R VALUE	R-5 / R-20	NA
FLOOR R VALUE	R-30 (SEE NOTES)	NA
BASEMENT WALL R VALUE	R-15 / R-15	R-23 + R-15
SLAB R VALUE / DEPTH	R-10 / 4	R-10 / 4
CRAWL SPACE WALL R VALUE	R-15 / R-15	NA
VAPOR RETARDER (402.1.4) + R100.1 IRC	NOT REQUIRED	
INFILTRATION RATE (402.4.3)		
COMPONENT	MAXIMUM RATES	RATES SPECIFIED
WINDOWS	0.3 CFM / SF.	0.3 CFM / SF.
DOORS	0.5 CFM / SF.	0.5 CFM / SF.

\* SEE GENERAL NOTE 8

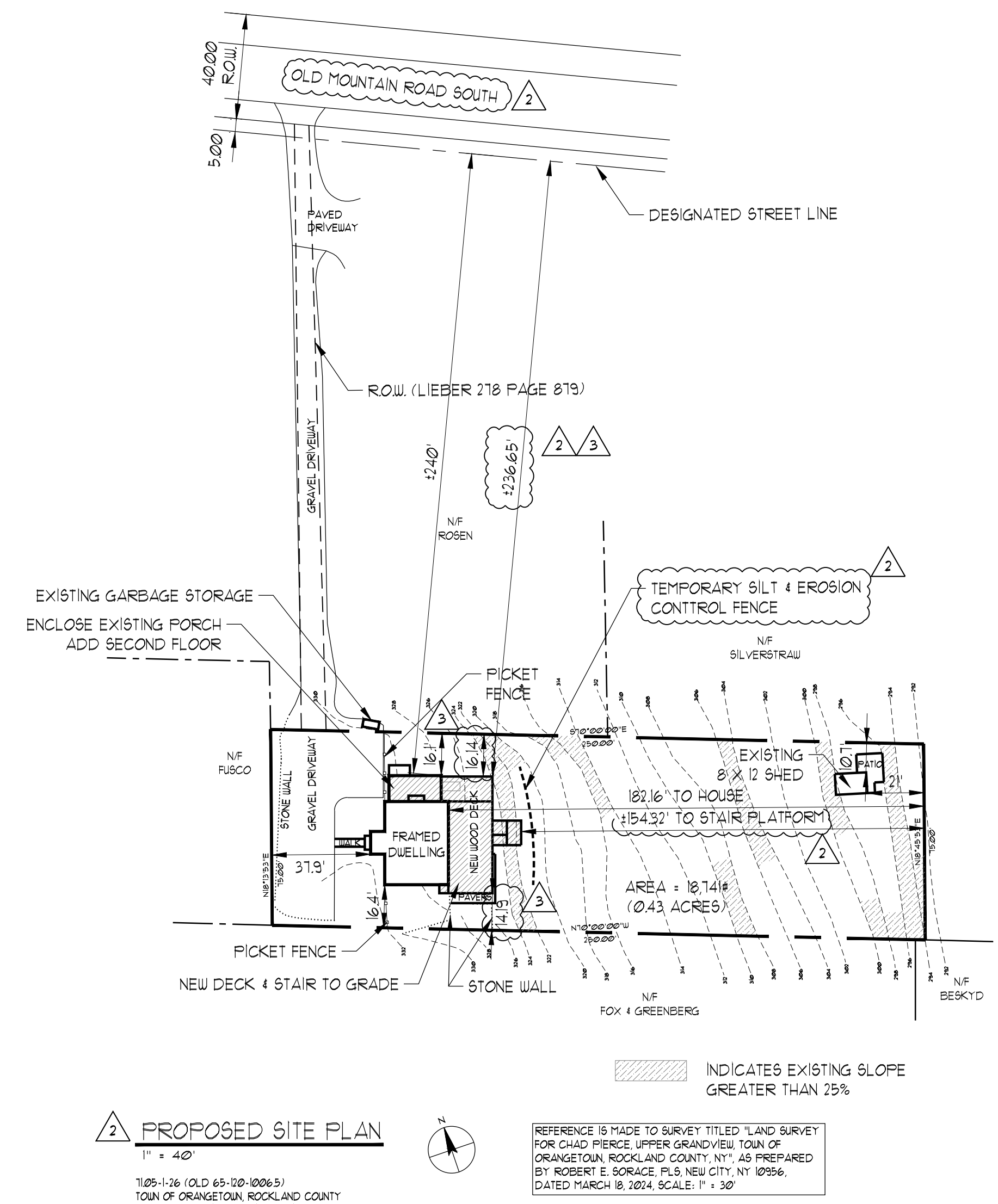
**LOCATION MAP**



**ZONING MAP**



**SITE PLAN**



**PROPOSED SITE PLAN**

REFERENCE IS MADE TO SURVEY TITLED "LAND SURVEY FOR CHAD PIERCE, UPPER GRANDVIEW TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY" AS PREPARED BY ROBERT E. GORGE, PLS, NEW CITY, NY 10996, DATED MARCH 18, 2014, SCALE: 1" = 30'

**ZONING INFORMATION**

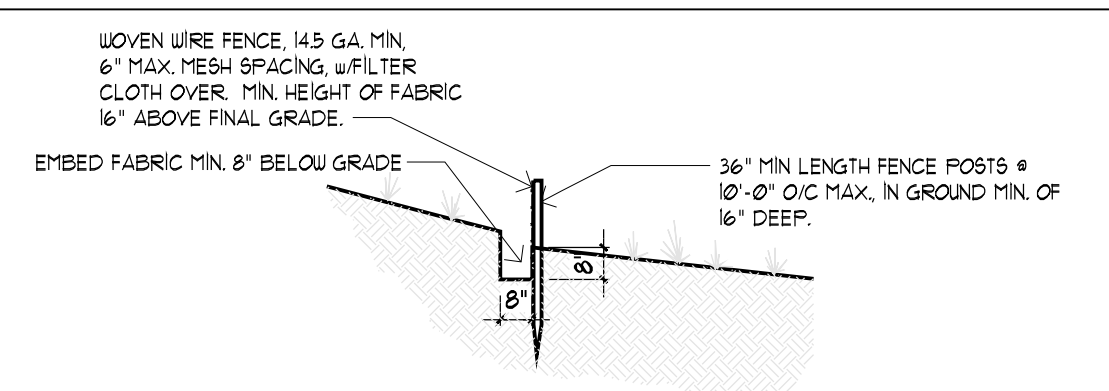
**TOWN OF ORANGETOWN  
ZONING YARD & BULK REGULATIONS**

(TAX MAP SECTION 7105, BLOCK 1, LOT 26)  
ZONE: R-22 MEDIUM DENSITY RESIDENCE (22,500±)  
CRITICAL ENVIRONMENTAL AREA

ITEMS	REQUIRED	EXISTING	PROPOSED
MAX. F.A.R. - ADJUSTED <sup>c</sup>	0.20 (2510±)	0.16	0.19
MIN. LOT AREA	22,500±	18,741± <sup>d</sup>	NO CHANGE
ADJUSTED LOT AREA <sup>c</sup>	-	17,548'	NO CHANGE
MIN. LOT WIDTH	125'	250'	NO CHANGE
MIN. STREET FRONTAGE	75'	0' <sup>d</sup>	NO CHANGE
MIN. FRONT YARD SETBACK <sup>e</sup>	40'	(236.65' OR 161') <sup>b, d, e</sup>	NO CHANGE
MIN. SIDE YARD SETBACK	25'	31.9'	NO CHANGE
TOTAL SIDE YARD, MIN	60'	192.22'	
MIN. REAR YARD	45'	14.19' <sup>b</sup>	NO CHANGE
MAX. BUILDING HEIGHT	9' / FT. DIST FROM E OR 10'	14' / FT <sup>b</sup> 23.88'	NO CHANGE

- a. PER ART. X, SEC. 501 (g) (1) THIS SITE PLAN REQUIRES PLANNING BOARD REVIEW & APPROVAL
- b. PRE-EXISTING, NON-CONFORMANCE (THE LOT IS UNDERSIZED PER CH. 43, SEC. 52)
- c. SEE STEEP SLOPE LOT AREA ADJUSTMENT, EXISTING & PROPOSED F.A.R. ARE BASED ON THIS ADJUSTMENT.
- d. PROPOSED WORK REQUIRES AN INTERPRETATION UNDER CHAP. 43, SEC. 92, EXPANSION OF NON-CONFORMING BULK "NORMAL MAINTENANCE AND REPAIR", RECONSTRUCTION OR ENLARGEMENT OF A BUILDING WITH NON-CONFORMING BULK IS PERMITTED IF THE SAME DOES NOT INCREASE THE DEGREE OF NON-CONFORMING BULK IN SUCH BUILDING, HAS NOT BEEN INCREASED AND BUILDING HEIGHT, FRONT YARD SETBACK HAS NOT BEEN DECREASED (A VARIANCE IS REQUIRED)
- e. GENERAL NOTE 1 - "REQUIRED FRONT YARDS AND MAXIMUM BUILDING HEIGHTS ARE SUBJECT TO SEC. 511 WITH THE DESIGNATED STREET LINE BEING USED AS THE LOT LINE" THIS THE FRONT YARD SETBACK IS 340'
- f. 236.65' OR 161' DEPENDING UPON ZBA DETERMINATION

**SILT & EROSION CONTROL FENCE**



- NOTES:**
- WOVEN WIRE FENCING: 1/4" GA. MIN. 6" MAX. MESH SPACING, W/ FILTER CLOTH OVER. MIN. HEIGHT OF FABRIC 16" ABOVE FINAL GRADE.
  - EMBED FABRIC MIN. 8" BELOW GRADE.
  - 36" MIN LENGTH FENCE POSTS @ 10'-0" O.C. MAX. IN GROUND MIN. OF 16" DEEP.
- SOIL EROSION & SEDIMENT CONTROL PLAN:**
- TEMPORARY SEDIMENT BARRIER SHALL BE INSTALLED BELOW THE DISTURBED AREAS DURING CONSTRUCTION.
  - ALL AREAS DISTURBED BY ON-SITE GRADING THAT WILL NOT BE CONSTRUCTED UPON SHALL BE ESTABLISHED WITH PERMANENT VEGETATIVE COVER.
  - FERTILIZERS: 5-10-5 AGRICULTURAL GRADE<sup>1</sup> APPLY 20 LBS/1000 SQ. FT.
  - SEED: 50% PENNUNLAW AND 50% FIESTA PERENNIAL RYE. APPLY 1 LBS/500 SQ. FT.
  - MULCH: APPLY CHOPPED HAY AS REQUIRED FOR UNIFORM, LIGHT COVER.
  - MOISTURE: AS REQUIRED FOR GERMINATION AND GROWTH
  - EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE DURING CONSTRUCTION TO MINIMIZE SEDIMENT RUN-OFF.

**ABBREVIATIONS**

A/C	AIR CONDITIONING	EX	EXISTING	PERF	PERFORATED
ARCH/ENG	ARCHITECT/ENGINEER	EXT	EXTERIOR	PLYUD	PLYWOOD
ALUM	ALUMINUM	FL	FLOORING	PTD (ED)	PAINTED
APPROX	APPROXIMATE	FL	FLOOR FEET	PSF	POUNDS PER SQUARE FOOT
ARCH	ARCHITECTURAL	FT	FOOT FEET	PSI	POUNDS PER SQUARE INCH
BLDG	BUILDING	FTG	FOOTING	PVC	POLY VINYL CHLORIDE
BO	BOTTOM OF	GALV	GALVANIZED	R	RADON EXHAUST
BRIHT	BATH	GWB	GYP BOARD	REQD	REQUIRED
CAB	CABINET	HC	HOLLOW CORE	REV	REVISION(S), REVISED
CBP	CIRCUIT BREAKER PANEL BOARD	HM	HOLLOW METAL	RLG	RAILING
CH	CHEMICAL	HR	HOUR	ROOF	ROOF
CIRC	CIRCULATION	HT	HEIGHT	RO	ROUGH OPENING
CL & COL	CENTER LINE	HTG	HEATING	SC	SOLID CORE
CONC	CONCRETE	HVAC	HEATING/VENTILATING/AIR CONDITIONING	SD	STORM DRAIN
CONC	CONCRETE	HU	HOT WATER	SF	SQUARE FOOT (FEET)
CONT	CONTINUOUS	HUD	HARDWOOD	SHT	SHEET
COORD	COORDINATE	INCL	INCLUDED (ING)	SML	SMALLER
CORR	CORRIDOR	INSUL	INSULATE (ION)	STL	STEEL
CS	CAST STONE	INT	INTERIOR	STRUCT	STRUCTURAL
CT	CERAMIC TILE	KIT	KITCHEN	SUSP	SUSPENDED
CTR	COUNTER	LAV	LAVATORY	S15	S15EM
DEM	DEMOLISH	LVT	LUXURY VINYL TILE	TIS	TREAD
DM	DIMENSION	MEGH	MECHANICAL	TAG	TONGUE AND GROOVE
DN	DOWN	MIN	MINIMUM	TRP	TYPICAL
DET	DETAIL	MISG	MISCELLANEOUS	UN	UNLESS OTHERWISE NOTED
DWG	DRAWING	MOLD	MOLDING	VCT	VINYL COMPOSITION TILE
ELEC	ELECTRICAL	MUL	MASONRY OPENING	VF	VERIFY IN FIELD
ELEV	ELEVATION	MTL	METAL	VT	VINYL TILE
EMERG	EMERGENCY	NA	NOT APPLICABLE	WB	WOOD BASE
EQ	EQUAL	NR	NOT IN CONTRACT	WC	WATER CLOSET
ER	EXISTING TO BE RELOCATED	NR	NOT REQUIRED	WU	WITHOUT
		NTS	NOT TO SCALE	WP	WATERPROOF (ING)
		OC	ON CENTER(S)		
		O.H.	OVER HANG / HEAD		
		OPNG	OPENING		
		OPP	OPPOSITE		

**FLOOR AREA TABULATION**

COMPONENT	EXISTING	PROPOSED
HOUSE		
BASEMENT	190±	110± a
PATIO UNDER DECK	132±	193± b
FIRST FLOOR	1021±	1031±
1/2 FLOOR DECK AREA UNDER UPPER DECK	NA	113±
SECOND FLOOR	184±	992±
SHED	96±	96±
TOTAL	2,829±	3,228±
ADJUSTED LOT AREA	17,548±	17,548±
F.A.R. ADJUSTED FOR SLOPES	0.16	0.19

- a. VESTIBULE AT REAR DOOR REMOVED
- b. LOWERING CONCRETE SLAB INCREASES COVERED PATIO

**STEEP SLOPES LOT AREA ADJUSTMENTS**

SLOPES GREATER THAN 25%	2,385± @ 50% = 1,193±
LOT AREA	18,741±
ADJUSTED LOT AREA	(18,741±) - (1,193±) = 17,548±
REQUIRED F.A.R.	20% OF 17,548± = 3,510±
EXISTING F.A.R.	2,829± / 17,548± = 16%
PROPOSED F.A.R.	3,228± / 17,548± = 19%

**DRAWING LIST**

A-000	ENERGY CODE REQMTS, LOCATION/ZONING MAPS, ZONING INFORMATION, SITE PLAN & DRAWING LIST
A-010	GENERAL NOTES, DEMOLITION NOTES, BASEMENT FLOOR EXISTING CONDITIONS, DEMOLITION PLANS & LEGEND
A-020	FIRST & SECOND FLOOR EXISTING CONDITIONS & DEMOLITION PLAN
A-030	EXISTING EXTERIOR ELEVATIONS
A-300	BASEMENT / FOUNDATION ALTERATION & ADDITION PLAN & BUILDING SECTION
A-301	FIRST FLOOR ALTERATION & ADDITION PLAN & DECK DETAILS
A-302	SECOND FLOOR ALTERATION & ADDITION PLAN & RESCHECK
A-500	SOUTH & WEST PROPOSED ELEVATIONS
A-501	NORTH & EAST PROPOSED ELEVATIONS
A-100	WALL SECTIONS & DETAILS

**ADDITIONAL IMPERVIOUS SURFACE AREA**

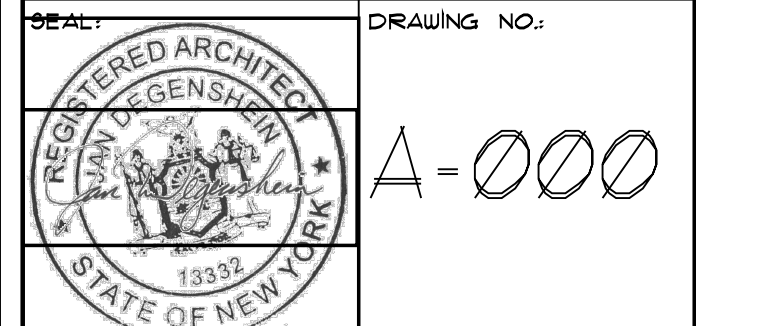
LOCATION	EXISTING	PROPOSED	CHANGE
REAR DECK / PATIO / STAIR	616±	917±	+301±
NORTH ENTRY PORCH	0±	32±	+32±
TOTAL	616±	949±	+333±

3	10/25/24	BUILDING DEPARTMENT COMMENTS
2	9/18/24	ADDITIONAL INFORMATION
1	7/19/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
**ADDITION TO:  
PIERCE RESIDENCE**  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

DRAWING TITLE:  
**ENERGY CODE REQMTS, LOCATION/  
ZONING MAPS, ZONING INFORMATION,  
SITE PLAN & DRAWING LIST**

DRAWN BY: IL PROJECT NO.: 22716  
CHECKED BY: JD

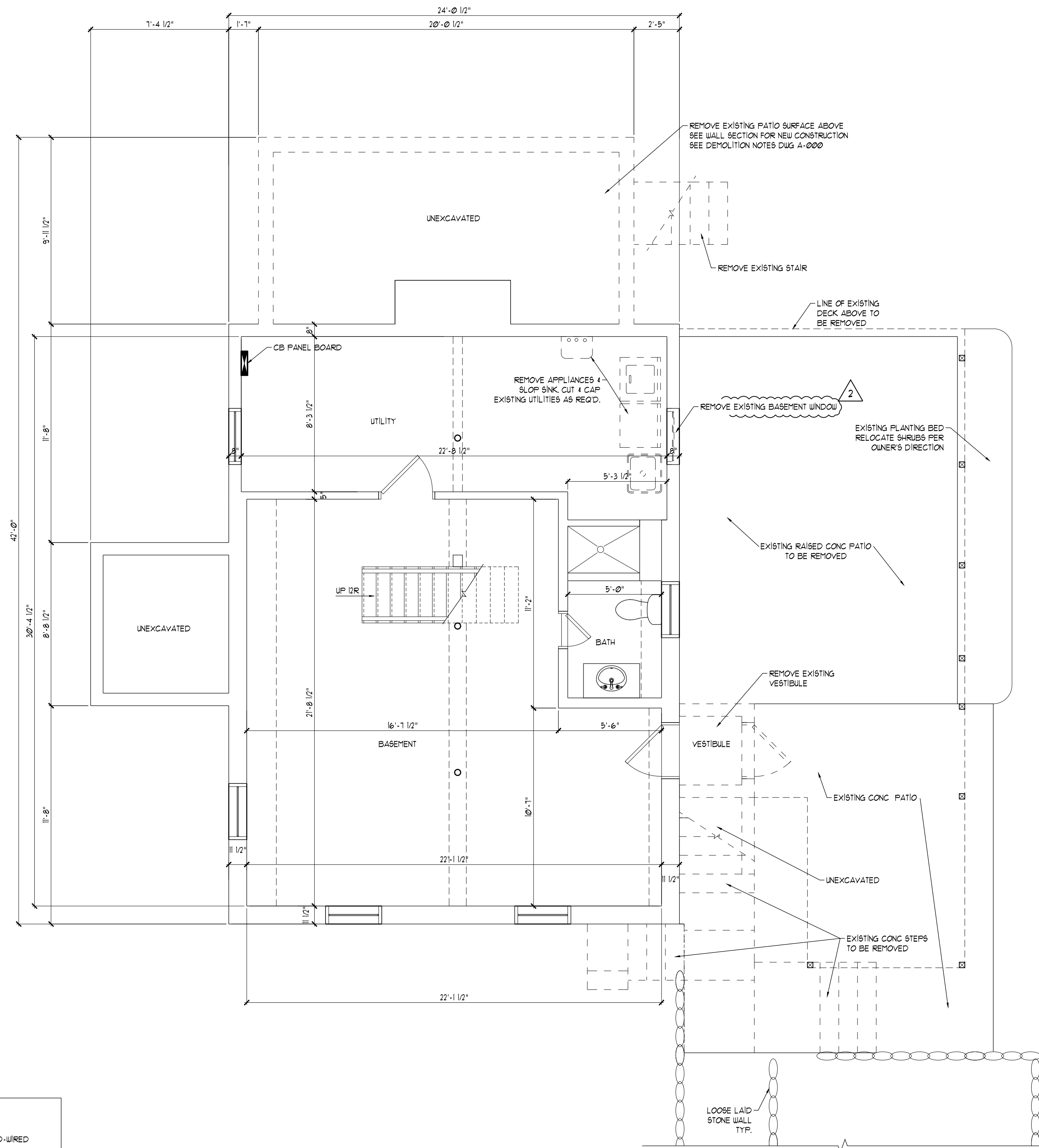


GENERAL NOTES

- 1 GENERAL
- 1a ALL CONTRACTORS WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER MATCHING & ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADE. ALL ADJACENT SURFACES TO ITS WORK SHALL BE LEFT AS THEY APPEARED PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK TO BE DONE. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF THE WORK. ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
- 1b THE CONTRACTORS AND ALL SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT THROUGH INSPECTION OF THE SITE AND THE DRAWINGS SO AS TO THOROUGHLY UNDERSTAND THE DRAWINGS, ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR AS MAY APPLY, TO ENSURE THAT DISCREPANCIES OR OMISSIONS ARE REPORTED AND CLARIFICATION OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR OR SUBCONTRACTOR.
- 1c WEATHER PROTECT THE WORK SITE & HOME INTERIOR AT ALL TIMES. CLEAN THE WORK SITE DAILY OF DEBRIS THAT MAY BE WIND DRIVEN.
- 1d ALL DIMENSIONS ARE ESTABLISHED FOR FINISHED WALLS AND PARTITIONS UNLESS OTHERWISE NOTED. WALLS SHOWN ALIGNED SHALL BE FINISHED FLUSH AND SMOOTH. ALL FINISH WORK SHALL BE STRAIGHT, PLUMB AND WITHOUT DEFECTS TO ACHIEVE A SMOOTH CONDITION.
- 1e ALL WORK SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE, THE FIRE CODE, AND THE 2018 ENERGY CONSERVATION AND CONSTRUCTION CODE, INCLUDING 2020 NYS STRETCH CODE REQ'YS.
- 1f CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQ'D PATCHING, AND REFINISHING.
- 1g CONTRACTOR TO CONFORM TO ALL FEDERAL OSHA REQUIREMENTS FOR SAFETY ON & OFF CONSTRUCTION SITE.
- 1h CONTRACTOR SHALL CONFORM TO FEDERAL EPA, STATE DEC & LOCAL ENVIRONMENTAL REGULATIONS IN THE PERFORMANCE OF ALL WORK.
- 1i STAGE WORK & STORAGE OF MATERIALS TO THE SATISFACTION OF THE OWNER & LOCAL AUTHORITIES.
- 1j THE CONTRACTOR SHALL PROVIDE A DUMPSTER & PORT-O-SAN, EACH EMPTIED AS REQ'D.
- 1k FIRE-STOP VENT PENETRATIONS AT EACH FLOOR LEVEL FROM BASEMENT TO ATTIC WITH NON-COMBUSTIBLE MATERIALS.
- 2 SITE
- 2a PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO MARK-OUT & IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES.
- 2b SOIL BEARING CAPACITY IS ASSUMED TO BE 1500 PSF. ANY DEVIATION FROM THIS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- 3 PROVIDE CARBON-REDUCED CONCRETE FORMULA FOR ALL CONCRETE MIXES.
- 6 TIMBER NOTES
- 6a ALL FRAMING LUMBER SHALL BE SOUND DOUGLAS FIR-LARCH NO. 2 DRY (19% MAX. MOISTURE CONTENT), FREE OF CHECKS, KNOTS, INSECT INFESTATION OR OTHER DEFECTS. UNFACTORED MIN. F=875 PSI, MIN. E=1600000 PSI. ENGINEERED LUMBER GIRDERS SHALL BE MIN. F=2500 PSI, E=2,000,000.
- 6b FIRE-STOP ALL BEARING WALLS @ MID-HEIGHT OF WALL, BETWEEN EACH STUD, DOUBLE JOISTS UNDER PARTNS.
- 6c TAPE & ROLL ALL EDGES OF ZIP BOARD W/ HUBER COMPATIBLE PRODUCT.
- 7 THERMAL MOISTURE PROTECTION
- 7a ALL EXTERIOR OPENINGS SHALL BE PROPERLY CAULKED, CLOSED-CELL ICYNENE, FLASHED AND WEATHERSTRIPPED, WHERE APPLICABLE, AND ZIP-TAPED & ROLLED AFTER WINDOW AND DOOR INSTALLATION.
- 7b PROVIDE CONTINUOUS CAULKING BEAD AT ALL SILL PLATES ENCLOSED & ALL PIECES OF EXTERIOR HORIZONTAL LUMBER ASSEMBLIES AND DOORS, WINDOWS & HARDWARE.
- 8 GLAZING IS INSULATED GLASS, LOWE4 W/ HEATLOCK BY ANDERSEN, MAX. U = 0.27.
- 9 FINISHES
- 9a USE LO VOC FINISHES.
- 10 MECHANICAL
- 10a PROVIDE HEAT, SMOKE & CARBON MONOXIDE DETECTION IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- 10b ALL DUCTS SHALL BE FULLY INSULATED, SEALED BY AEROSEAL PROCESS & TESTED FOR LEAKS & INSTALLED IN CONDITIONED SPACE.
- 10c DUCTWORK CHASES SHALL BE DETERMINED BY MECHANICAL CONTRACTOR & ARCHITECT.
- 10d PROVIDE ONE BALANCED HONEYWELL ERY VENTILATION SYSTEM FOR EACH NEW ZONE.
- 10e IF A FULL SOLAR ARRAY IS CHOSEN, PROVIDE A MITSUBISHI HVAC SYSTEM W/ (2) HYPER HEAT HEAT PUMPS SUPPORTING MULTIPLE DUCTED INDOOR AIR HANDLERS.
- 10f ALL NEW HVAC UNITS WILL BE CONNECTED TO OUTDOOR UNIT W/ INSULATED REFRIGERANT COPPER TUBING LINE RUNNING IN CONCEALED AREAS, PROPERLY CAULKED AT PENETRATIONS.
- 10g PLUMBER SHALL PROVIDE CONDENSATE DRAIN CONNECTED & RUN TO INTERIOR LOCATION W/ OVERFLOW PROTECTION.
- 10h OUTDOOR HEAT PUMPS TO BE SET ON LIFT BRACKETS TO ALLOW FOR DEFROST DRAINAGE.
- 10i LINE SETS TO BE NITROGEN PRESSURE TESTED TO 400 PSI. UNIT WILL BE EVACUATED TO 500 MICRONS TO CREATE A MOISTURE FREE REFRIGERANT ENVIRONMENT.
- 10j 40A REFRIGERANT CHARGE WILL BE ADJUSTED TO FACTORY SPEC.
- 10k PROVIDE DAY / NIGHT THERMOSTAT FOR EACH SYSTEM & ZONE.
- 10l CONTRACTOR SHALL GUARANTEE ANY NEW HEATING INSTALLATION TO PROVIDE WINTER INDOOR TEMPERATURE OF 68°F WHEN OUTDOOR TEMPERATURE IS 0°F WITH A 10 MPH WIND. CONTRACTOR SHALL GUARANTEE ANY NEW COOLING INSTALLATION TO PROVIDE A SUMMER INDOOR TEMPERATURE OF 75°F WHEN OUTSIDE TEMPERATURE IS 95°F. INSTALLATION AND EQUIPMENT SHALL COMPLY WITH NYS ENERGY CONSERVATION CONSTRUCTION CODE AND ASHRAE GUIDELINES FOR HVAC. PROVIDE FOR ALL NEW HABITABLE AND OCCUPIABLE SPACES.
- 10m ALL PLUMBING WORK SHALL BE PERFORMED BY A LOCALLY LICENSED PLUMBER.
- 10n FIXTURES & FITTINGS SHALL COMPLY W/ CURRENT NYS PLUMBING CODE, ENERGY STRETCH CODE & WATERSENSE STANDARDS.
- 10o ALL SUPPLY PIPES SHALL BE INSULATED.
- 10p PROVIDE RECIRCULATION LOOP FOR HOT WATER SUPPLY & A MOTION DETECTOR IN EACH BATHROOM & LAVATORY CONNECTED TO A PUMP AT THE WATER HEATER. DISTANCE FROM WH. TO NEW MASTER LAV. SHALL NOT EXCEED 50'.
- 10q EXTEND EXISTING SECOND FLOOR HVAC TO MASTER BATHROOM & MASTER CLOSET.
- 10r PROVIDE ERY FOR AREAS OF NEW CONSTRUCTION, SIZED ADEQUATELY FOR THE SPACES, INCLUDING NEW CONDITIONED AREAS & NUMBER OF OCCUPANTS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 11 ELECTRICAL
- 11a CONTRACTOR SHALL PROVIDE ALL WIRING, BOXES, OUTLETS, SWITCHES, DETECTORS, BREAKER PANELS, OTHER ELECTRICAL DEVICES AND OTHER FEATURES REQUIRED FOR A COMPLETE INSTALLATION. ALL WORK SHALL BE PERFORMED BY A LOCALLY LICENSED ELECTRICIAN.
- 11b ALL ELECTRICAL WORK SHALL CONFORM TO NFPA 70 (THE NATIONAL ELECTRIC CODE), LATEST EDITION, AND THE LOCAL UTILITY COMPANY, AND SHALL BE SUBJECT TO INSPECTION AND CERTIFICATION BY AN INSPECTION SERVICE ACCEPTABLE TO THE MUNICIPALITY. ELECTRICIAN SHALL PROVIDE UNIT PRICES FOR INSTALLING ADD'L LIGHTING FIXTURES AND ELECTRICAL DEVICES, BEYOND THOSE SHOWN ON PLANS. ALL LIGHT FIXTURES MUST BE LED LAMPED.
- 11c ALL WORK SHALL BE PERFORMED BY A ROCKLAND COUNTY LICENSED ELECTRICIAN.
- 11d PROVIDE (2) BACK-UP BATTERY STORAGE UNITS INTERCONNECTED TO EXISTING SOLAR ARRAY & LOCATED AS INDICATED ON DRAWINGS.

DEMOLITION NOTES

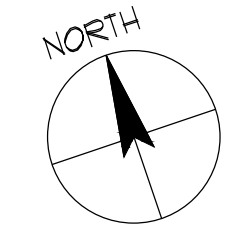
- THE DEMOLITION INFORMATION IS GENERAL AND DOES NOT EXHAUSTIVELY INDICATE ALL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION NECESSARY TO ACCOMPLISH THE INTENT OF THE DRAWINGS AND THE SCOPE OF THE WORK WHETHER OR NOT SPECIFICALLY SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVIDE NECESSARY DEMOLITION PERMIT FROM THE MUNICIPALITY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT ALL AREAS OF THE PROJECT SO AS TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS, THE NATURE AND SCOPE OF THE WORK, AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION. REFER TO DRAWINGS AND ACTUAL FIELD CONDITIONS TO DETERMINE A MORE COMPLETE SCOPE AND PARTICULARS OF DEMOLITION REQUIREMENTS.
- REPORT ALL DISCREPANCIES BETWEEN DRAWINGS AND ASSUMED EXISTING CONDITIONS TO THE ARCHITECT IMMEDIATELY UPON OBSERVATION.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS SHOWN ON DRAWINGS TO BE REMOVED.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE PREMISES DAILY, AT A MINIMUM, RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED. REMOVAL FROM SITE SHALL BE SOURCED PER LOCAL, STATE & FEDERAL REQUIREMENTS.
- REMOVE ALL FOOTINGS, FOUNDATIONS & SLAB AT NEW ADDITION WHERE DEEMED UNSAFE. CONTRACTOR TO EXPOSE FOOTING, FOUNDATION & SLAB. CONFER W/ OWNER & ARCHITECT. REMOVE ANY UNSAFE CONSTRUCTION & REPLACE W/ NEW CODE-COMPLIANT CONSTRUCTION. DO NOT FURTHER REDUCE NORTHERLY SIDE YARD BLDG. SETBACK FROM PROPERTY LINE.



**LEGEND**

	EXISTING TO BE REMOVED		SMOKE DETECTOR, HARD-WIRED
	EXISTING TO REMAIN		SMOKE & CARBON MONOXIDE DETECTOR, HARD-WIRED
	NEW PARTITION		135° RATE OF RISE HEAT DETECTOR
	DOOR TAG		CEILING LIGHT FIXTURE
	WINDOW TAG E - EGRESS		WALL MOUNTED LIGHT FIXTURE
	SINGLE POLE LIGHT SWITCH		FREEZE-PROOF HOSE BIB
	3-WAY LIGHT SWITCH		LOW-SOON COMBINATION EXHAUST FAN & LIGHT FIXTURE 30 CFM W/ AUTO-CLOSE
	PILOT LIGHT SWITCH		
	DUPLEX RECEPTACLE		
	GF1 DUPLEX RECEPTACLE		
	20A DEDICATED CIRCUIT		

**1 EXISTING BASEMENT PLAN**  
SCALE: 1/4" = 1'-0" GROSS FLOOR AREA = 922\*



**degenstein**  
architects  
planners

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NO.	DATE	DESCRIPTION
2	9/18/24	ADDITIONAL INFORMATION
1	7/9/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
ADDITION TO:  
**PIERCE RESIDENCE**  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

DRAWING TITLE:  
**BASEMENT FLOOR  
EXISTING CONDITIONS &  
DEMOLITION PLANS  
GENERAL NOTES &  
DEMOLITION NOTES & LEGEND**

DRAWN BY: IL PROJECT NO.: 2276  
CHECKED BY: JD

REGISTERED ARCHITECT  
JAN DEGENSTEIN  
STATE OF NEW YORK  
13332

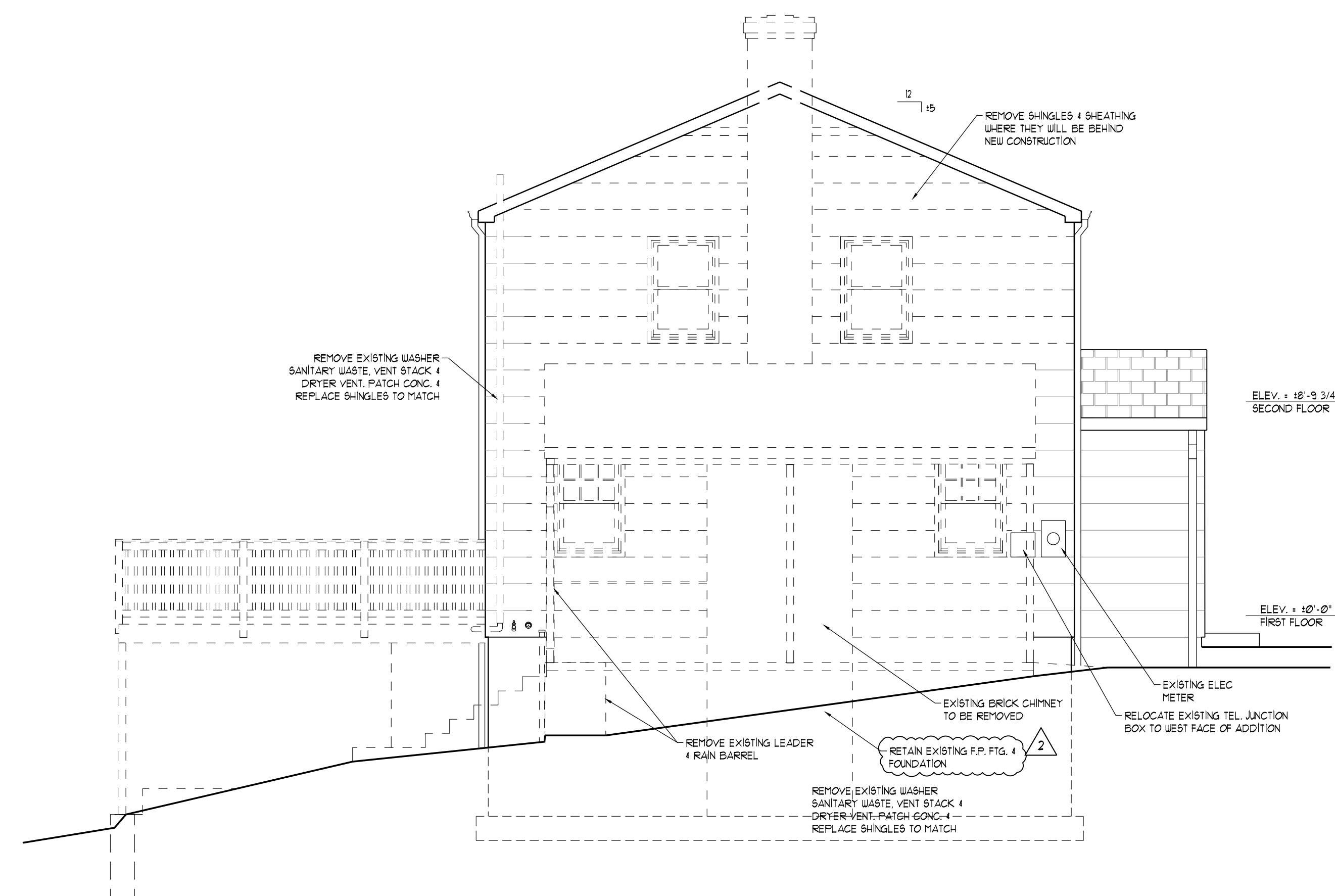
DRAWING NO.:  
A-010



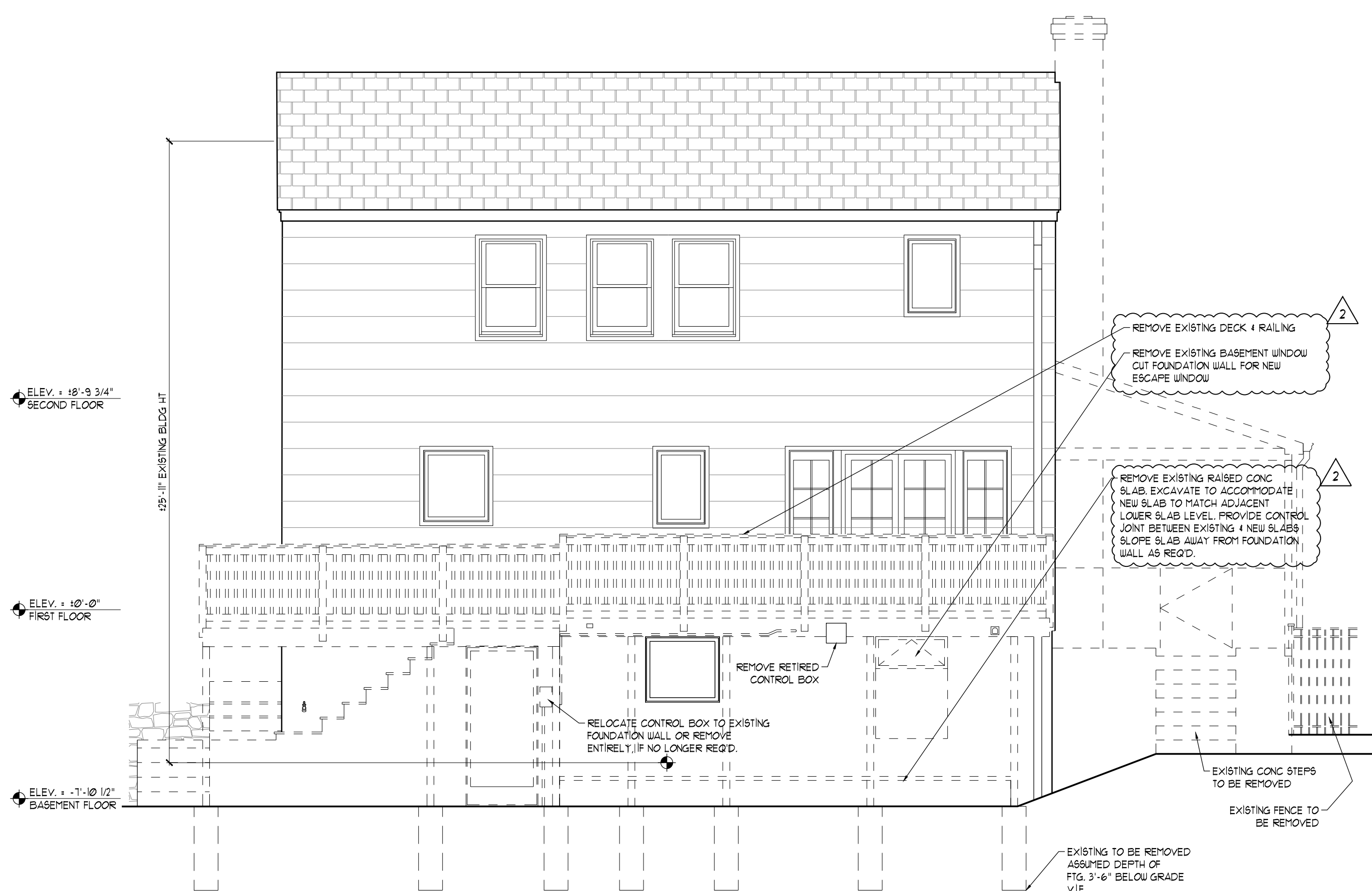
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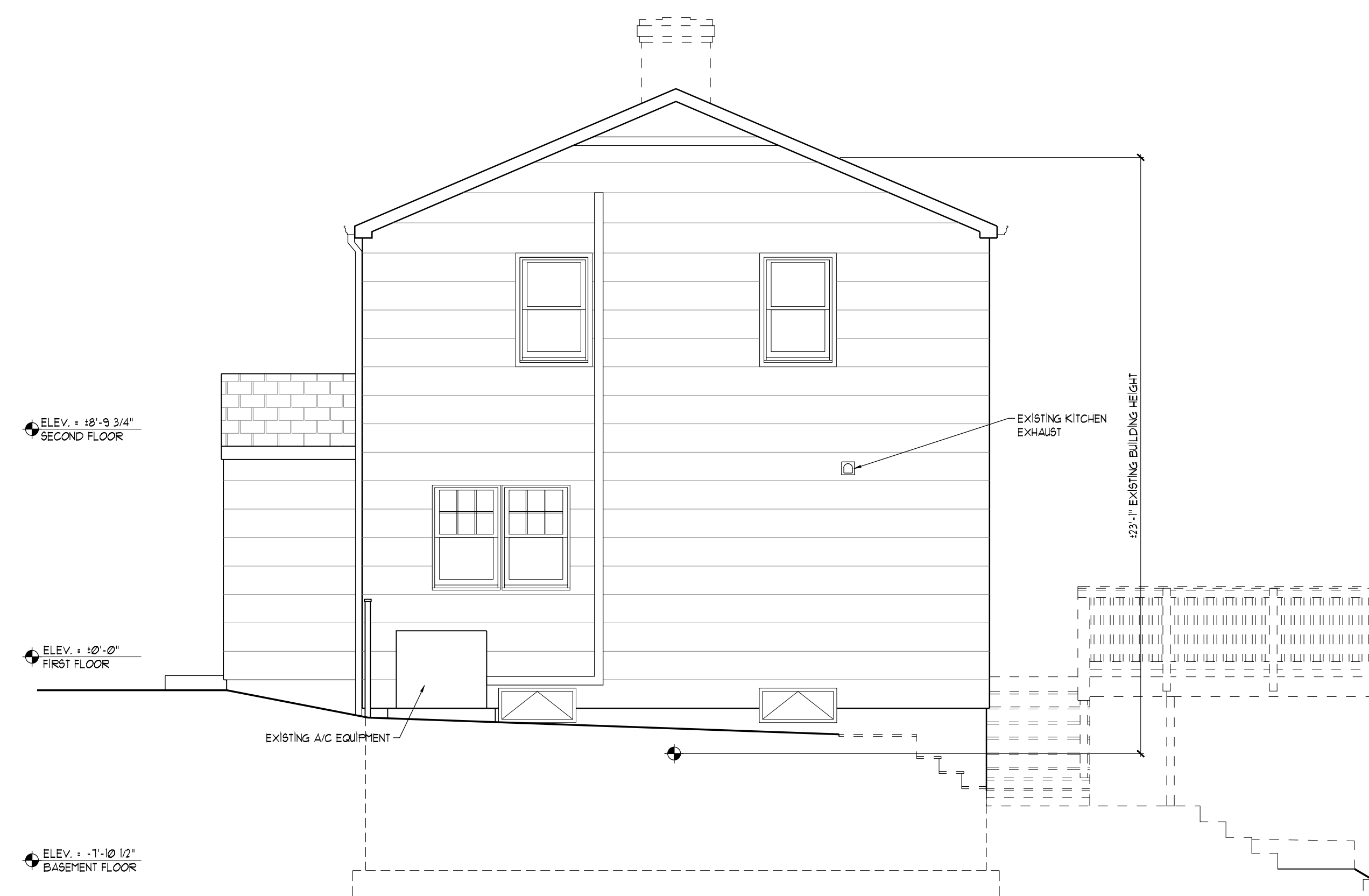
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
2	9/18/24	ADDITIONAL INFORMATION
	4/3/24	BUILDING PERMIT SUBMISSION

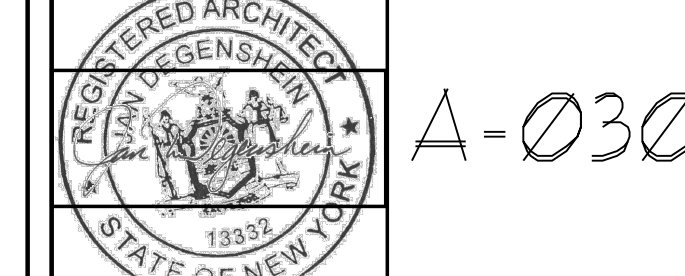
PROJECT TITLE:  
ADDITION TO:  
PIERCE RESIDENCE  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

DRAWING TITLE:  
EXISTING ELEVATIONS &  
EXTERIOR DEMOLITION

DRAWN BY: IL PROJECT NO.: 2276

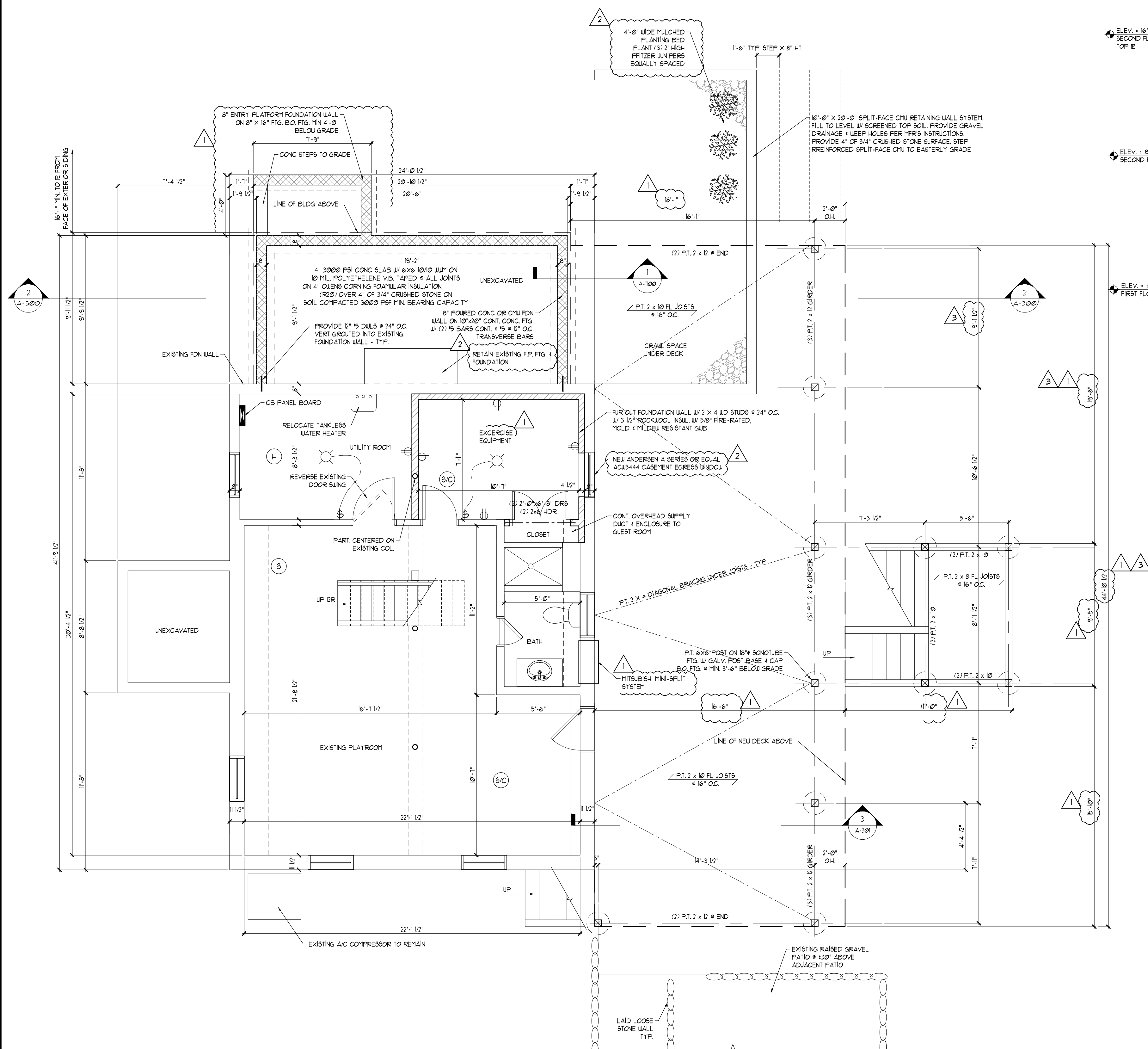
CHECKED BY: JD

DRAWING NO.:

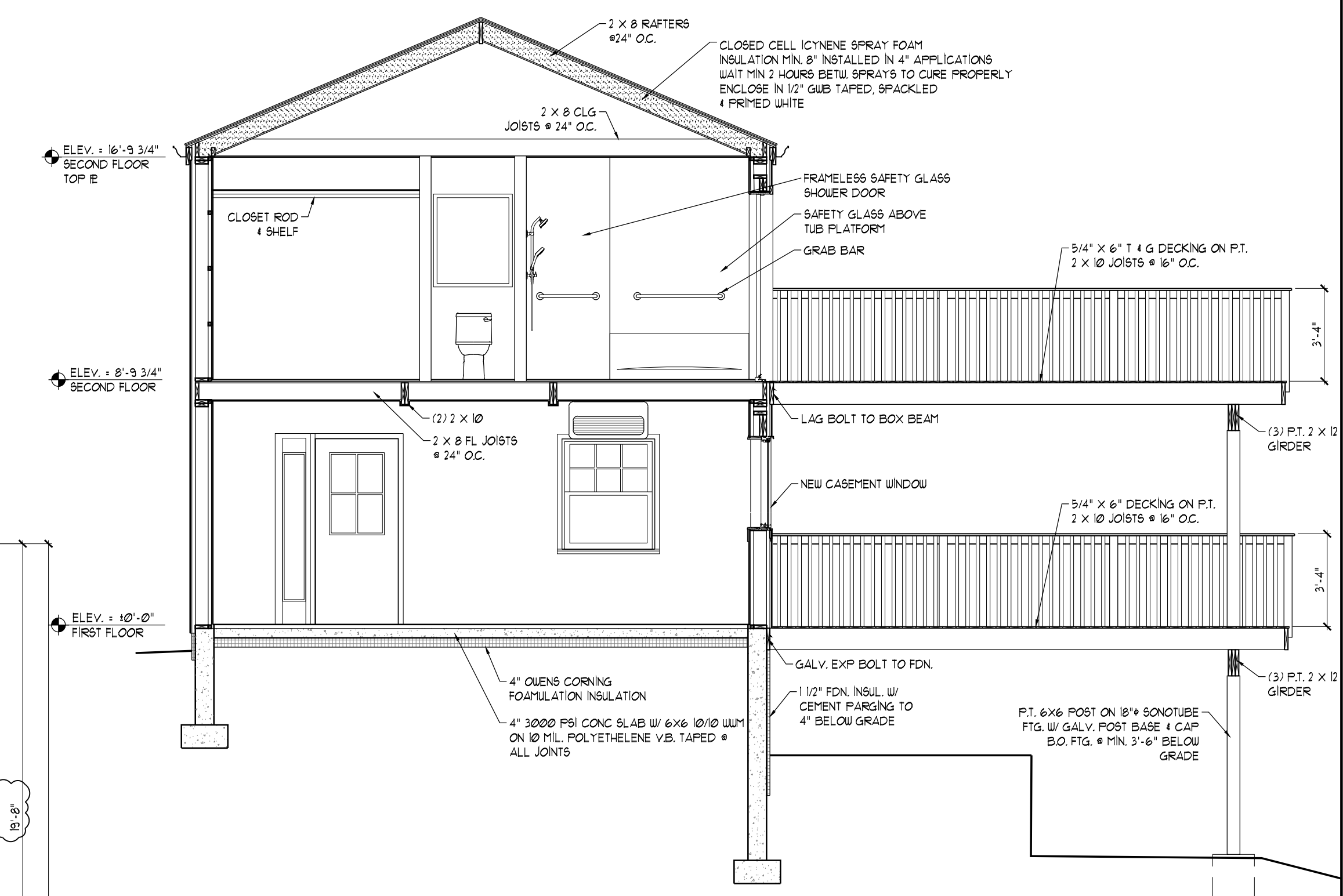
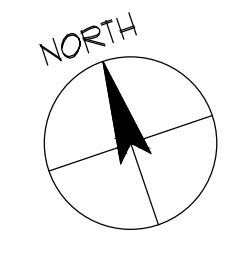


A-030

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**1 BASEMENT / FOUNDATION ALTERATION & ADDITION PLAN**  
SCALE: 1/4" = 1'-0"



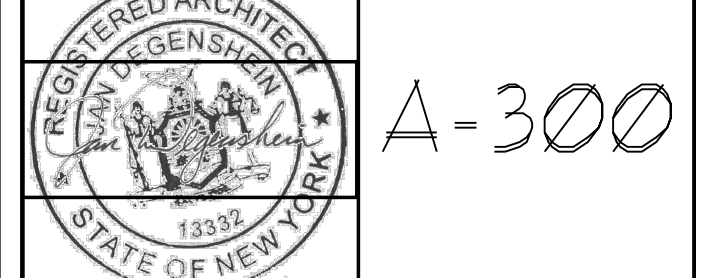
**2 BUILDING SECTION @ ADDITION**  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
3	10/25/24	BUILDING DEPARTMENT COMMENTS
2	9/18/24	ADDITIONAL INFORMATION
1	7/19/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
ADDITION TO:  
**PIERCE RESIDENCE**  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

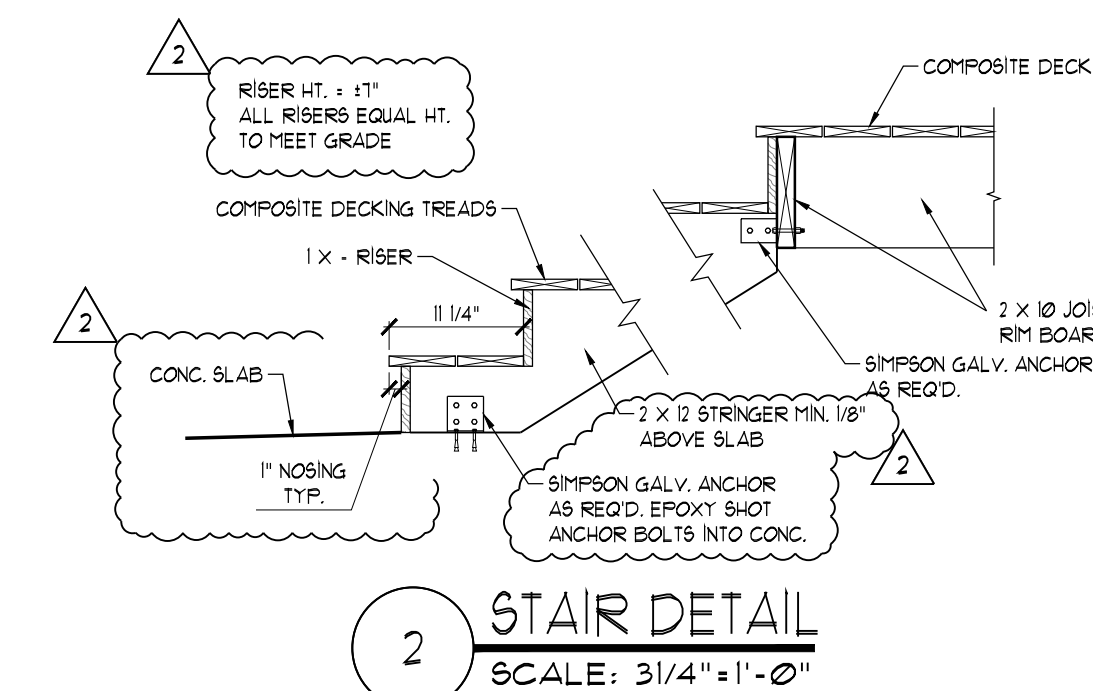
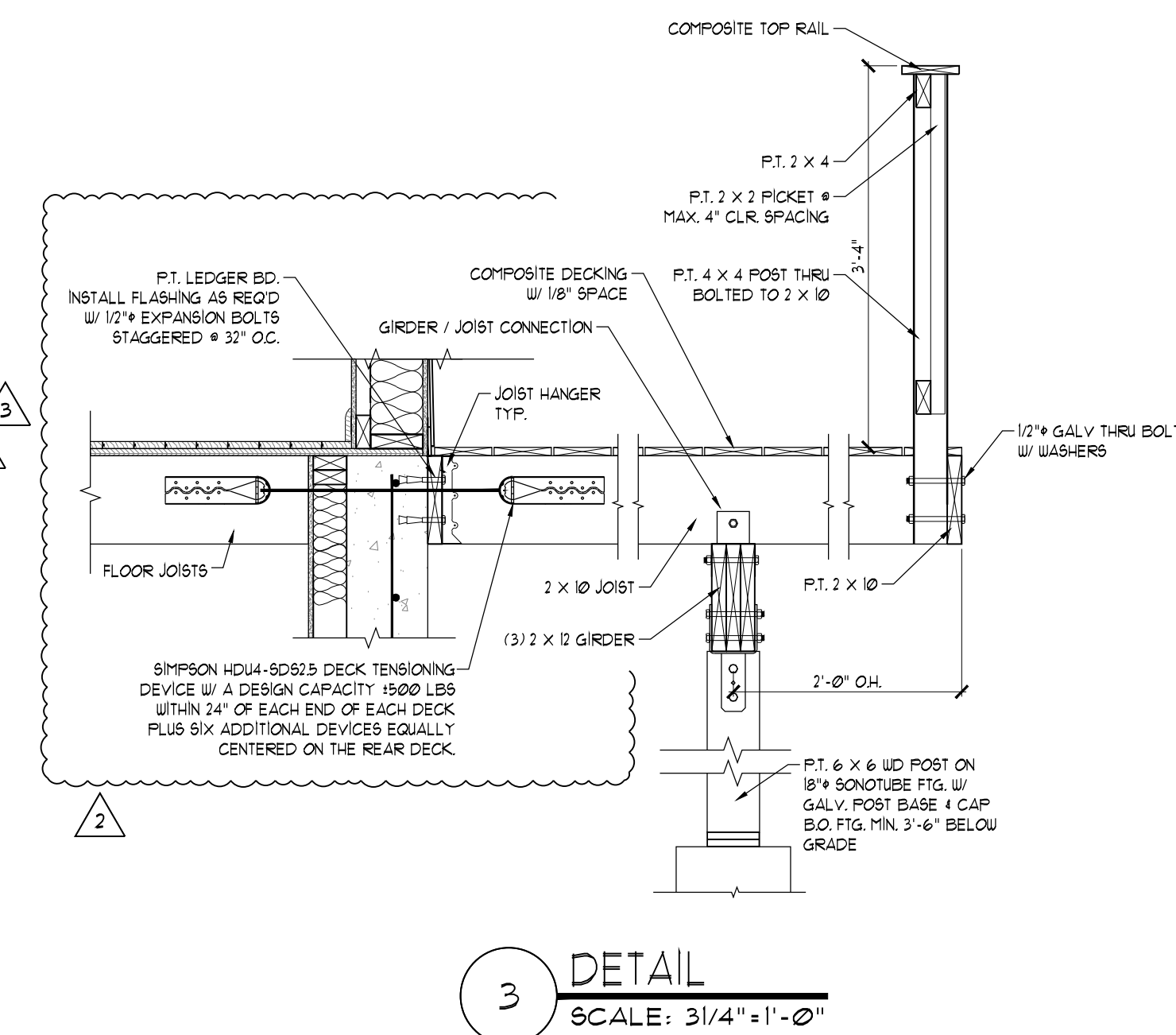
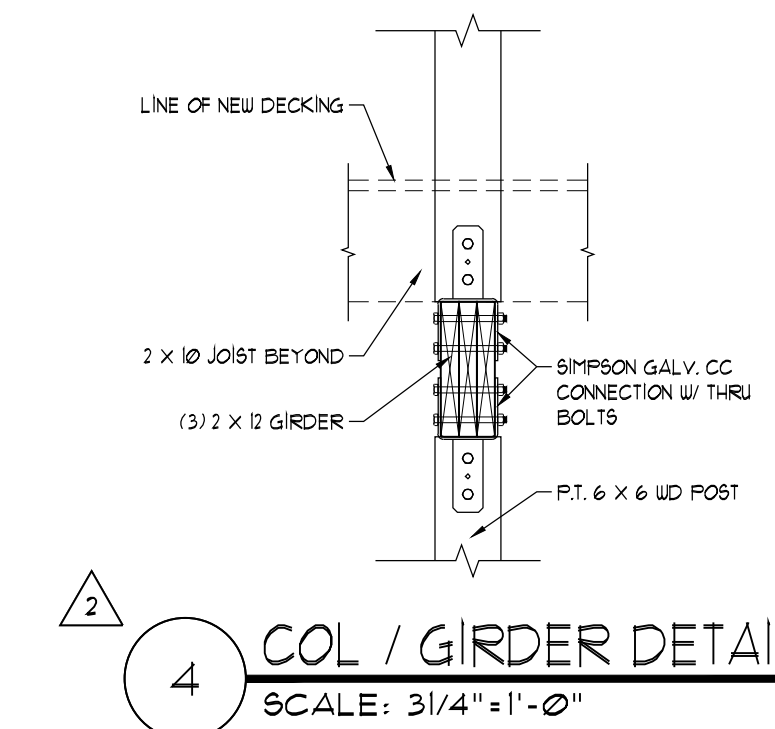
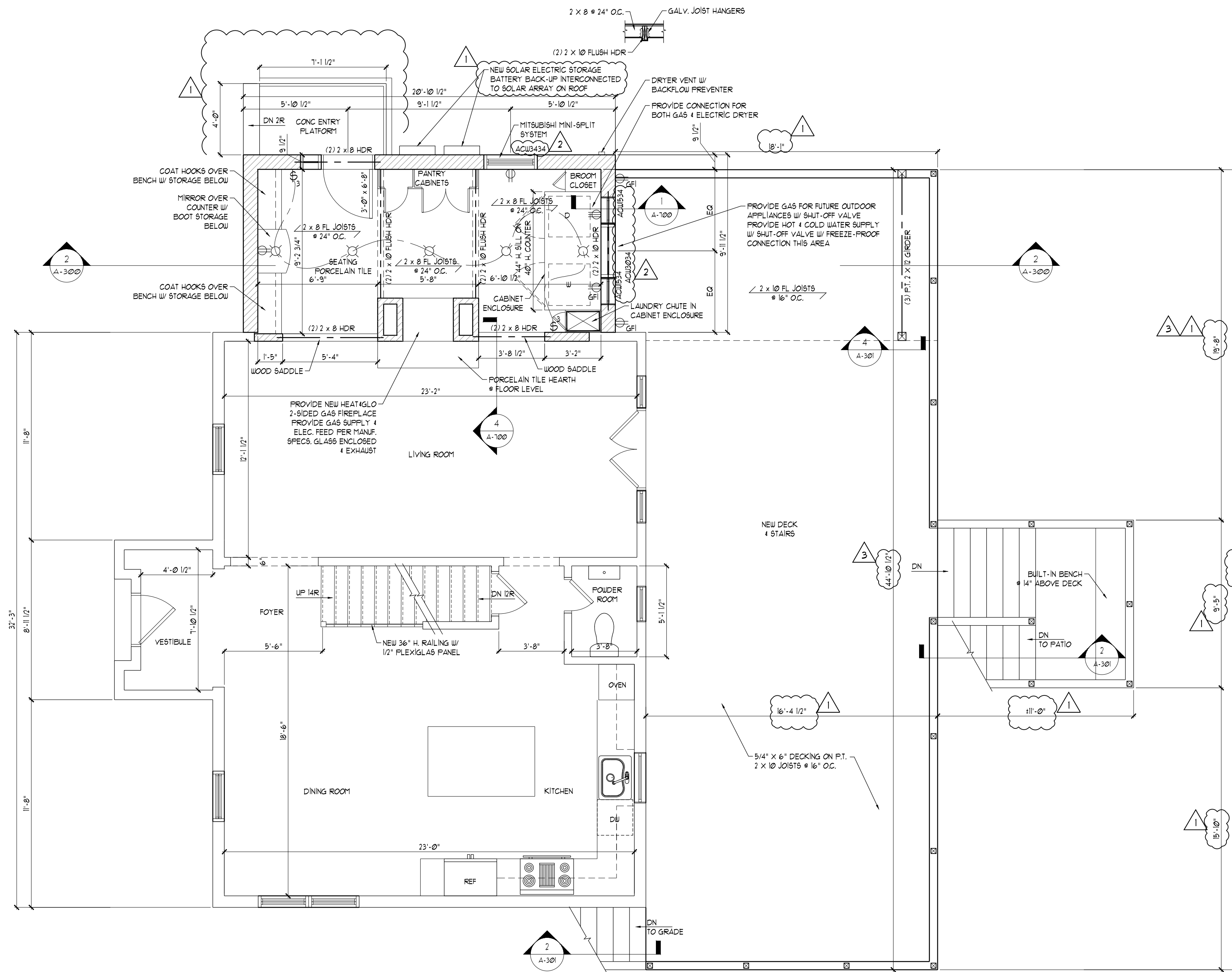
DRAWING TITLE:  
**BASEMENT / FOUNDATION  
ALTERATION & ADDITION  
PLAN & BUILDING  
SECTION**

DRAWN BY: IL	PROJECT NO.: 2276
CHECKED BY: JP	
DATE:	DRAWING NO.:



A-300

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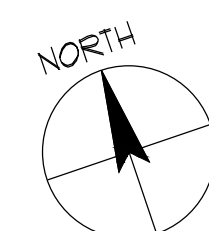
NO.	DATE	DESCRIPTION
3	10/25/24	BUILDING DEPARTMENT COMMENTS
2	9/18/24	ADDITIONAL INFORMATION
1	7/19/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
ADDITION TO:  
PIERCE RESIDENCE  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

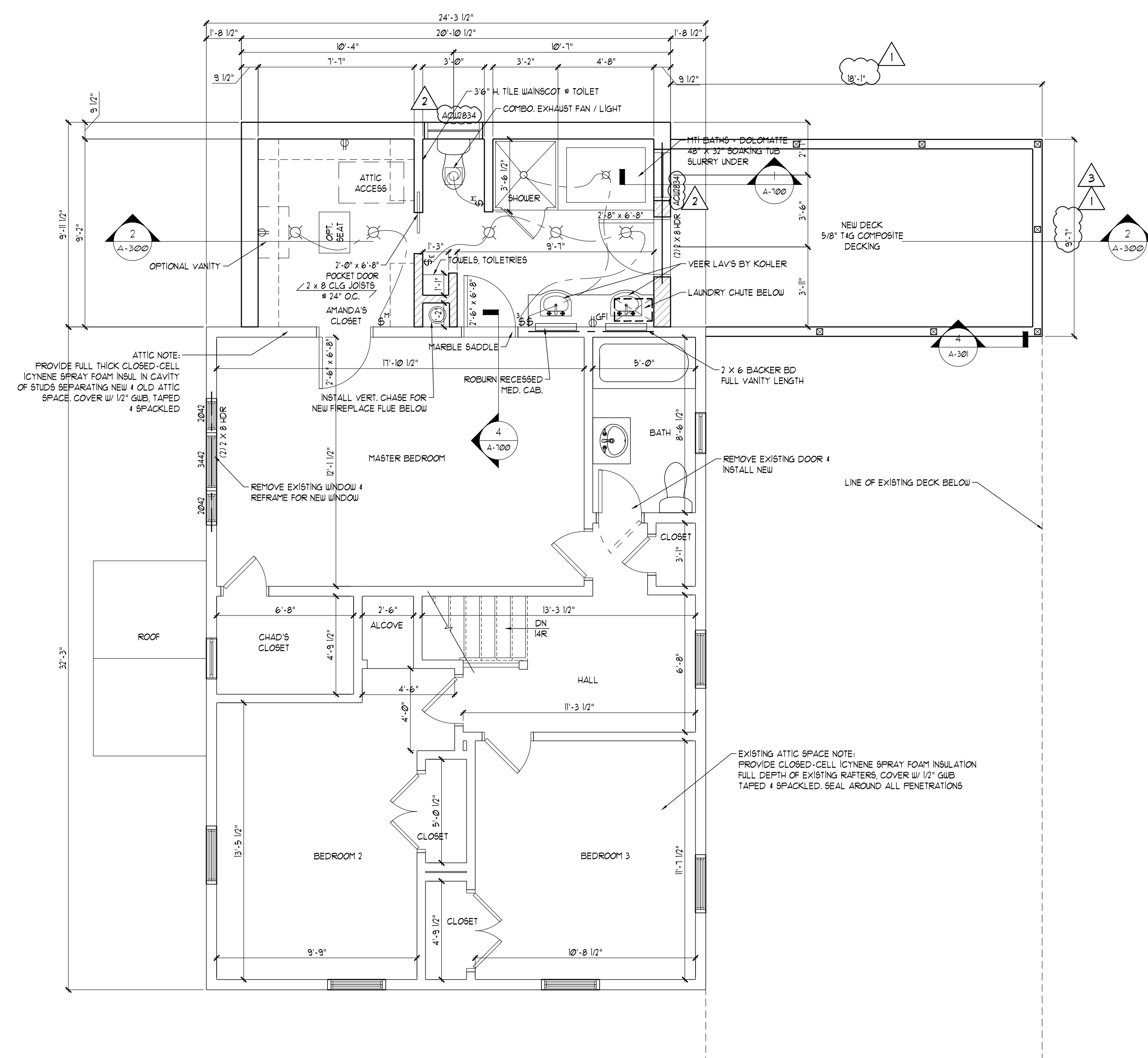
DRAWING TITLE:  
FIRST FLOOR ALTERATION  
& ADDITION PLANS &  
DECK DETAILS

DRAWN BY: IL PROJECT NO.: 2276  
CHECKED BY: JP

REGISTERED ARCHITECT  
JAN DEGENSTEIN  
13332  
STATE OF NEW YORK  
DRAWING NO.: A-301



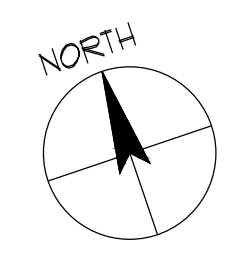
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ATTIC NOTE:  
PROVIDE FULL THICK CLOSED-CELL  
ICYNE SPRAY FOAM INSUL IN CAVITY  
OF STUDS SEPARATING NEW + OLD ATTIC  
SPACE. COVER W/ 1/2" G&B, TAPED  
& SPACKLED

EXISTING ATTIC SPACE NOTE:  
PROVIDE CLOSED-CELL ICYNE SPRAY FOAM INSULATION  
FULL DEPTH OF EXISTING RAFTERS. COVER W/ 1/2" G&B  
TAPED & SPACKLED. SEAL AROUND ALL PENETRATIONS

**1 SECOND FLOOR ALTERATION & ADDITION PLAN**  
SCALE: 1/4" = 1'-0"



NO.	DATE	DESCRIPTION
3	10/25/24	BUILDING DEPARTMENT COMMENTS
1	7/25/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

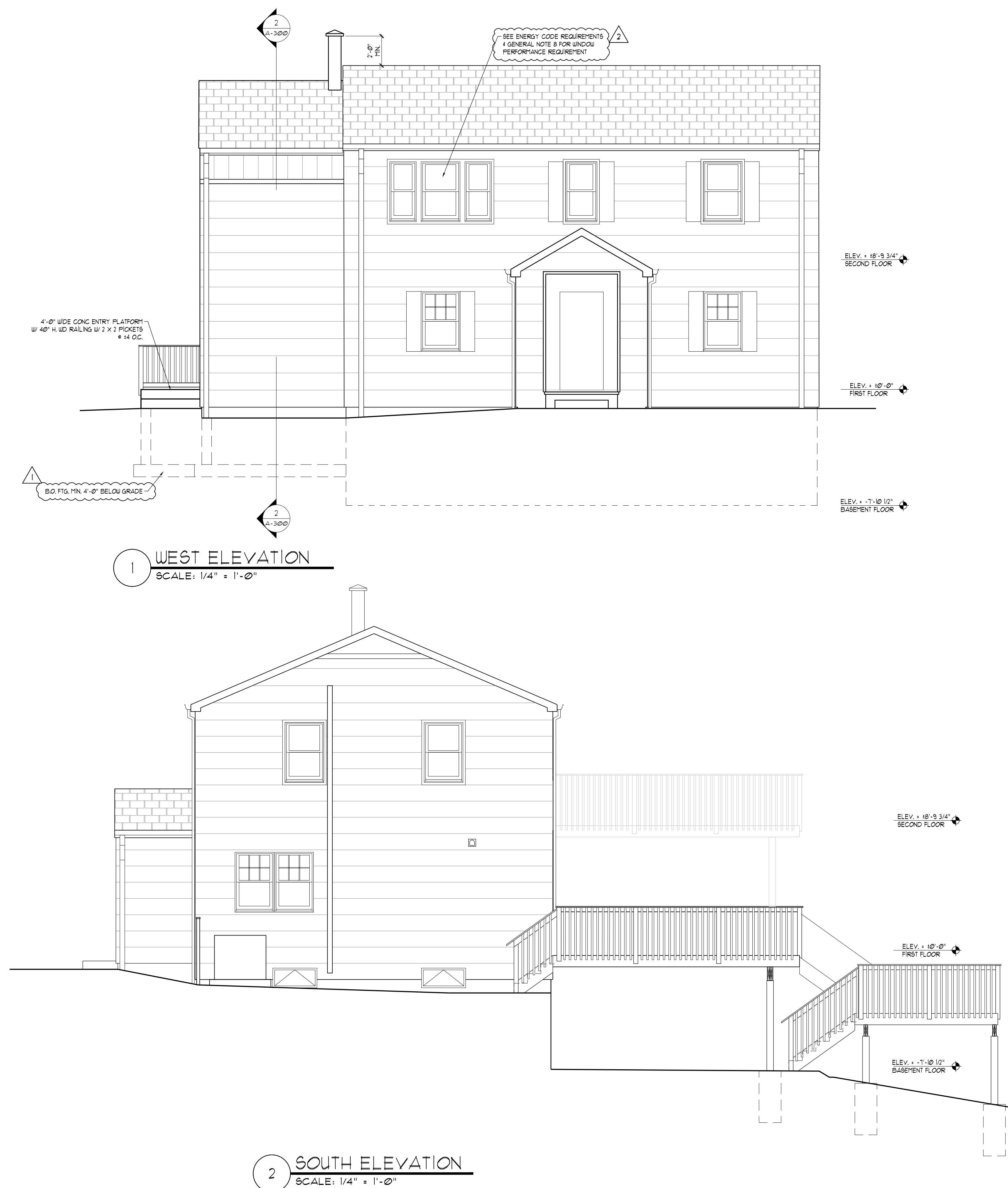
PROJECT TITLE:  
ADDITION TO:  
**PIERCE RESIDENCE**  
76 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

DRAWING TITLE:  
**SECOND FLOOR  
ALTERATION & ADDITION  
PLANS & RESCHECK**

DRAWN BY: JL	PROJECT NO.: 2276
CHECKED BY: JP	

REGISTERED ARCHITECT  
STATE OF NEW YORK  
13332  
A-302

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1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
2	9/18/24	ADDITIONAL INFORMATION
1	7/9/24	BUILDING DEPARTMENT COMMENTS
	4/3/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
ADDITION TO:  
PIERCE RESIDENCE  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

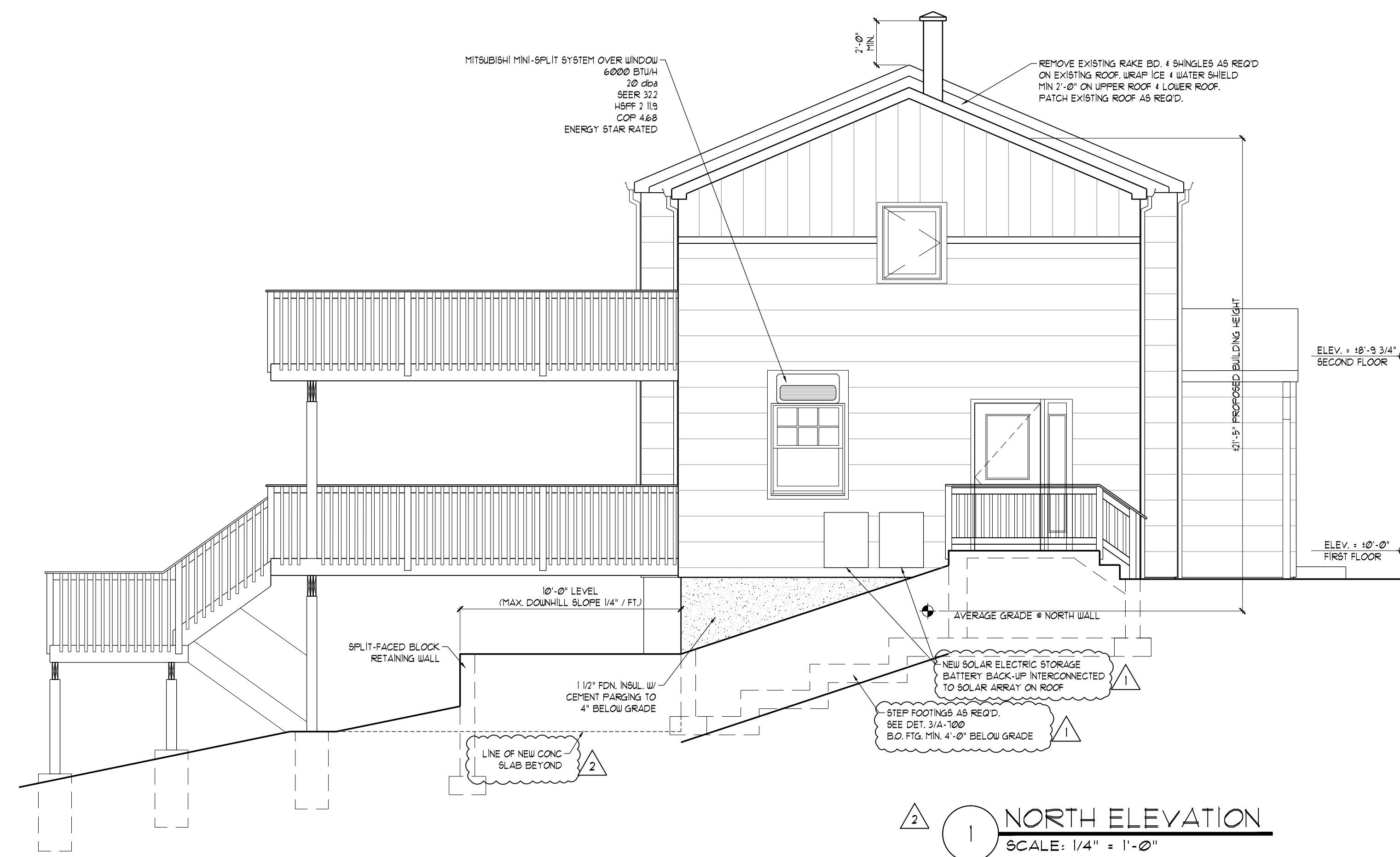
DRAWING TITLE:  
SOUTH & WEST  
PROPOSED ELEVATIONS

DRAWN BY: IL PROJECT NO.: 2276  
CHECKED BY: JD

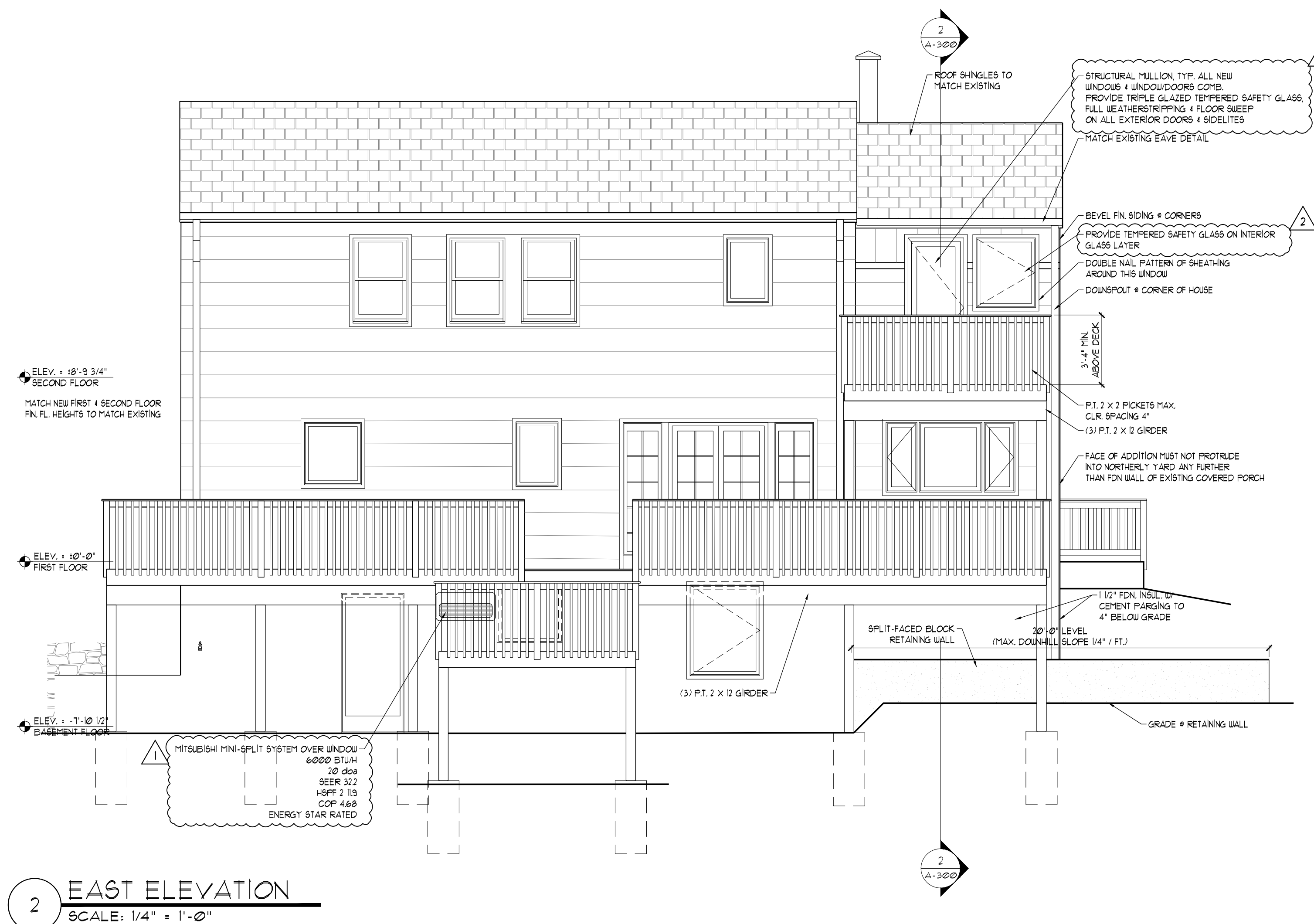
REGISTERED ARCHITECT  
JAN DEGENSHEIN  
13332  
STATE OF NEW YORK  
DRAWING NO.: A-500



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**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
2	9/18/24	ADDITIONAL INFORMATION
1	7/19/24	BUILDING DEPARTMENT COMMENTS
	4/12/24	BUILDING PERMIT SUBMISSION

PROJECT TITLE:  
ADDITION TO:  
**PIERCE RESIDENCE**  
16 OLD MOUNTAIN ROAD SOUTH  
UPPER GRANDVIEW, NEW YORK  
10960

DRAWING TITLE:  
**NORTH & EAST  
PROPOSED ELEVATIONS**

DRAWN BY: IL	PROJECT NO.: 2276
CHECKED BY: JD	

REGISTERED ARCHITECT  
JAN DEGENSHEIN  
19932  
STATE OF NEW YORK  
DRAWING NO.: **A-501**

