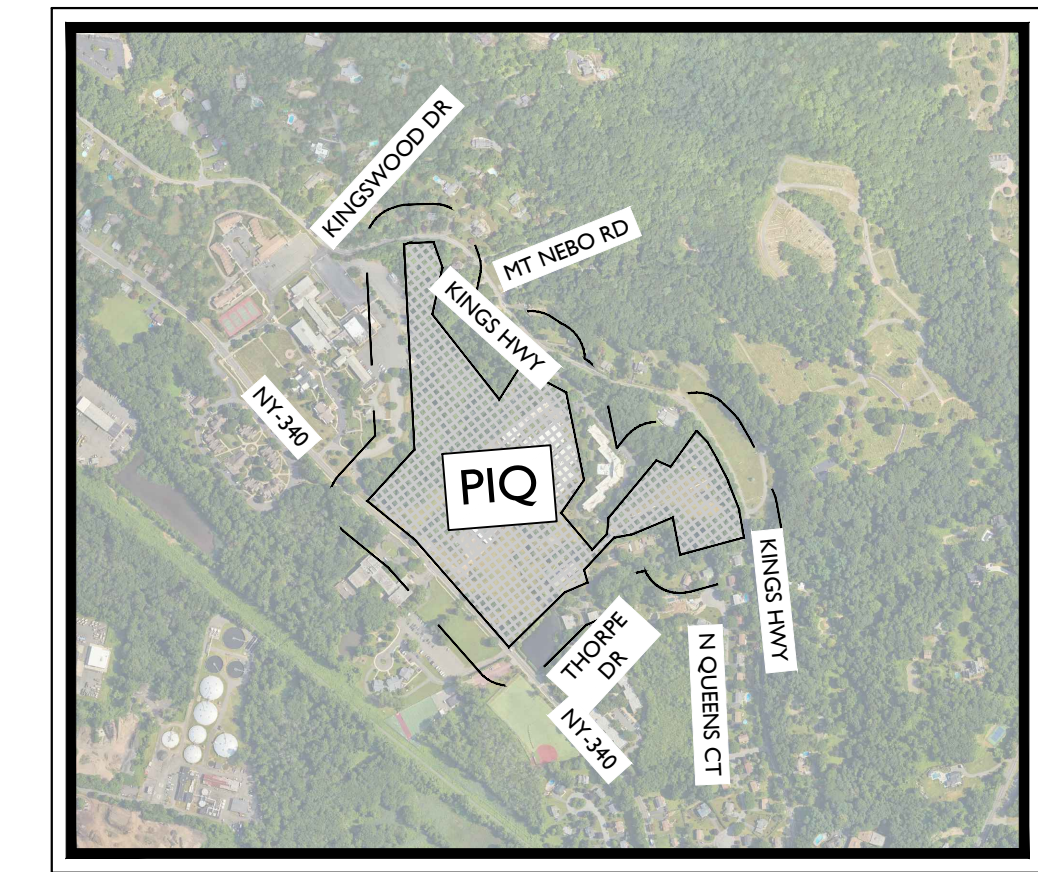


PRELIMINARY SITE PLAN FOR ST. THOMAS AQUINAS COLLEGE PROPOSED TRACK & FIELD SECTION 74.16, BLOCK 1, LOT 2.1 175 ROUTE 340 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

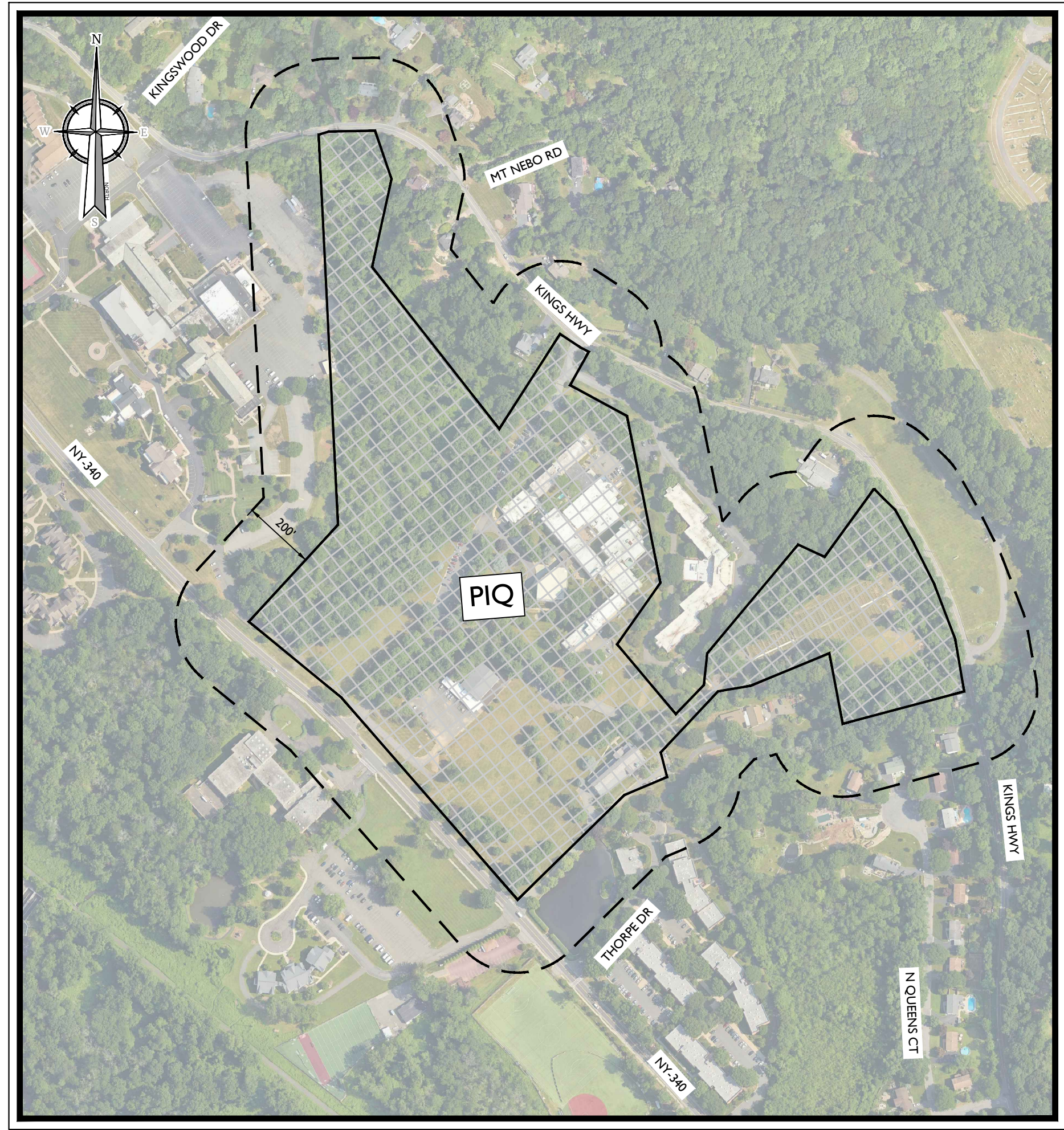


VICINITY MAP

SOURCE: GOOGLE EARTH
1000 0 1000
SCALE: 1" = 1000'

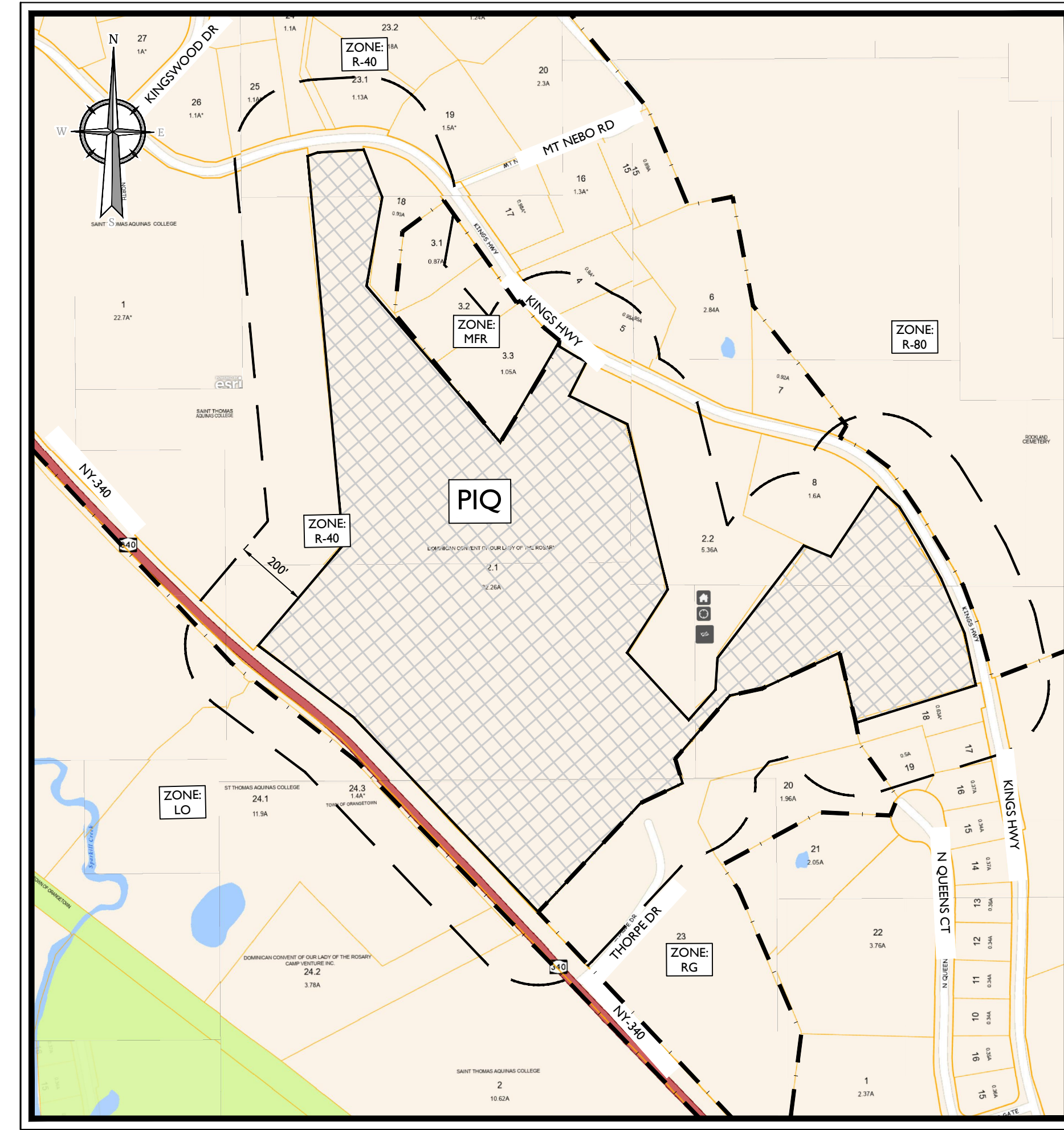
INDEX OF SHEETS		
SHT. No.	DRAWING TITLE	LATEST REVISION
1	COVER SHEET	11/13/24
2	DEMOLITION PLAN	11/13/24
3	OVERALL LAYOUT PLAN	11/13/24
4	LAYOUT PLAN	11/13/24
5	GRADING, DRAINAGE, & UTILITIES PLAN	11/13/24
6	GRADING, DRAINAGE, & UTILITIES BLOW-UP PLAN	11/13/24
7	LANDSCAPE PLAN	11/13/24
8	SOIL EROSION & SEDIMENT CONTROL PLAN	11/13/24
9	CONSTRUCTION DETAILS	11/13/24
10	CONSTRUCTION DETAILS	11/13/24
11	CONSTRUCTION DETAILS	11/13/24

200' PROPERTY OWNER LIST	
PARCEL ID NO.	OWNER'S NAME/ADDRESS
74.12-1-15	James R Jones 30 Mt Nebo Rd, Orangeburg NY 10962
74.12-1-16	Richard A McQuade 157A Kings Highway, Orangeburg NY 10962
74.12-1-17	Susan R Ferguson 157 Kings Highway, Orangeburg NY 10962
74.12-1-18	John P Bartolotta 148 Kings Highway, Orangeburg NY 10962
74.12-1-19	Mia C Pagnozzi 147 Kings Highway, Orangeburg NY 10962
74.12-1-20	Peter Gordon 141 Kings Highway, Orangeburg NY 10962
74.12-1-21.1	Lori Destefano 135 Kings Highway, Orangeburg NY 10962
74.12-1-23.1	Michael Wouffe 129 Kings Highway, Orangeburg NY 10962
74.12-1-23.2	Michael Wouffe 131 Kings Highway, Orangeburg NY 10962
74.12-1-25	Felberto Gerosen 117 Kings Highway, Orangeburg NY 10962
74.12-1-26	Denis Doyle 1 Kingswood Dr, Orangeburg NY 10962
74.15-1-17	St. Thomas Aquinas College 125 Route 340, Sparkill NY 10976
74.16-1-1	St. Thomas Aquinas College 125 Route 340, Sparkill NY 10976
74.16-1-2.1	Dominican Convent 175 Route 340, Sparkill NY 10976
74.16-1-2.2	Dowling Housing Corp 9 Thorpe Dr, Sparkill NY 10976
74.16-1-4	Victor S Alemany 159 Kings Highway, Orangeburg NY 10962
74.16-1-5	Joel J Rhodes 165 Kings Highway, Orangeburg NY 10962
74.16-1-6	Walter Aurel 171 Kings Highway, Orangeburg NY 10962
74.16-1-7	Regina Fogarty 175 Kings Highway, Orangeburg NY 10962
74.16-1-8	Camp Venture Inc. 25 Smith St, Suite 512, Nanuet NY 10962
74.16-1-14	Joey Poblete 7 N Queens Ct, Orangeburg NY 10962
74.16-1-15	Merna Brins 8 N Queens Ct, Orangeburg NY 10962
74.16-1-16	Fauzia Abdul-Quader 9 N Queens Ct, Orangeburg NY 10962
74.16-1-17	NY Oratory of St Philip Neri 175 Route 340, Sparkill NY 10976
74.16-1-18	Thomas Actin PO Box 206, Sparkill NY 10976
74.16-1-19	Anthony Scorziello 10 N Queens Ct, Orangeburg NY 10962
74.16-1-20	Fernando O Dy 11 N Queens Ct, Orangeburg NY 10962
74.16-1-21	Mary F Contreras 12 N Queens Ct, Orangeburg NY 10962
74.16-1-22	Khirs M Ananites 13 N Queens Ct, Orangeburg NY 10962
74.16-1-23	Thorpe Housing PO Box 254, Sparkill NY 10976
74.16-1-24.1	St. Thomas Aquinas College 125 Route 340, Sparkill NY 10976
74.16-1-24.2	Camp Venture Inc. 25 Smith St, Suite 512, Nanuet NY 10962
74.20-1-2	St. Thomas Aquinas College 125 Route 340, Sparkill NY 10976
74.16-1-3.1	Mary Kate Dillon 150 Kings Highway, Orangeburg NY 10962
74.16-1-3.2	Gianna Moyles 152 Kings Highway, Orangeburg NY 10962
74.16-1-3.3	Shawn Loomis 154 Kings Highway, Orangeburg NY 10962



AERIAL MAP

SOURCE: GOOGLE EARTH
300 0 300
SCALE: 1" = 300'



TAX & ZONING MAP

SOURCE: ROCKLAND COUNTY GIS
300 0 300
SCALE: 1" = 300'

PREPARED BY:

COLLIERS ENGINEERING & DESIGN, CT, P.C.
300 TICE BOULEVARD, SUITE 101
WOODCLIFF LAKE, NJ 07677

Colliers
Engineering & Design
www.colliersengineering.com

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REV	DATE	DRAWN BY	DESCRIPTION
1	11/13/24	CMA	REVISED PER TOWN OF ORANGETOWN PLANNING BOARD REVIEW LETTER

STATE OF NEW YORK
JESSE BARRETT COKELEY
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 090987-01
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0077609

PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE
SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

Colliers
Engineering & Design

WOODCLIFF LAKE
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411

SCALE: AS SHOWN	DATE: 8/21/24	DRAWN BY: JAG	CHECKED BY: JF
PROJECT NUMBER: 18001787B	DRAWING NAME: C-COVER		

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1 of 11

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE REGULAR MEETING OF _____ DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

2024/10/07 09:28:58 Engineering Size Plans/CT/ORA/CS/CO/008 - B/C/CAU

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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



REV	DATE	DRAWN BY	DESCRIPTION
1	1/17/24	CMA	REVISED PER TOWN OF ORANGETOWN PLANNING BOARD REVIEW LETTER



Jesse Barrett Cokerley
 NEW YORK LICENSED PROFESSIONAL ENGINEER
 LICENSE NUMBER: 090987-01
 COLLIER'S ENGINEERING & DESIGN CT, P.C.
 N.Y. C.O.A.#: 0017609

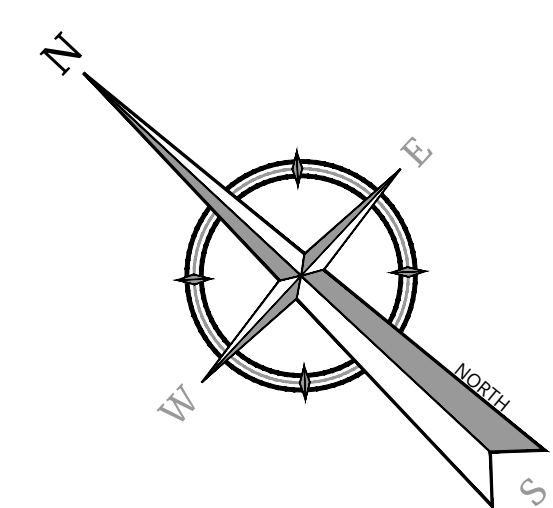
PRELIMINARY
 SITE PLAN
 FOR
ST. THOMAS AQUINAS COLLEGE
 SECTION 74.16
 BLOCK 1
 LOT 2.1
 125 ROUTE 340
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY
 NEW YORK

Colliers
 Engineering & Design
 WOODCLIFF LAKE
 300 Tice Boulevard
 Suite 101
 Woodcliff Lake, NJ 07677
 Phone: 845.352.0411
 COLLIER'S ENGINEERING & DESIGN ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SCALE: AS SHOWN	DATE: 8/21/24	DRAWN BY: JAG	CHECKED BY: JF
PROJECT NUMBER: 18001787B	DRAWING NAME: C-DEM0		

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
 2 of 11



DEMOLITION NOTES:

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
 - "LEASE AREA EXHIBIT" SHEET 1 OF 1, DATED FEBRUARY 8TH, 2023, PREPARED BY COLLIER'S ENGINEERING & DESIGN, P.L.S. LIC. NO. 050820 OF NEW YORK
 - GEOTECHNICAL EXPLORATION REPORT FOR ST. THOMAS AQUINAS COLLEGE TRACK AND FIELD, PREPARED BY COLLIER'S ENGINEERING AND DESIGN, CT.P.C. DATED 7/11/24
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651 et seq.).
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
 - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
 - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CALL BEFORE YOU DIG NUMBER FOR NEW JERSEY IS 811 AND SHOULD BE NOTIFIED TO MARKOUT UTILITIES PRIOR TO CONSTRUCTION.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL BE PROHIBITED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING TO MONITOR THE EFFECTS ON ALL ADJACENT STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

INFILTRATION TEST RESULTS

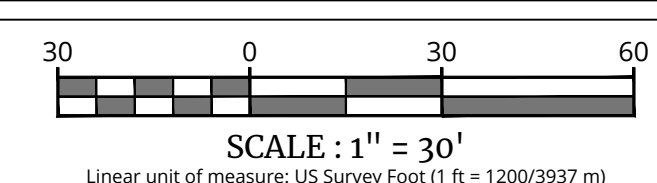
LOCATION ID	MEASURED INFILTRATION RATE (IN/HR) (MIN/MAX)
IT-01	23 / 24
IT-02	13 / 19
IT-03	24 / 24
IT-04	10 / 15
IT-05	24 / 24
IT-06	24 / 24

LEGEND

- TP-XX = TEST PIT LOCATION (JUNE, 2024); (SEE GEOTECHNICAL DATA REPORT DATED JULY 1, 2024)
- TB-1-XX = TEST BORING LOCATION (JUNE, 2024); (SEE GEOTECHNICAL DATA REPORT DATED JULY 1, 2024)
- TB-2-XX = TEST BORING LOCATION (JANUARY, 2024); (SEE GEOTECHNICAL DATA REPORT DATED JULY 1, 2024)
- TP-XX = TEST PIT LOCATION (OCTOBER, 2023); (SEE GEOTECHNICAL DATA REPORT DATED NOVEMBER 14, 2023)
- IT-XX = INFILTRATION TEST LOCATION (OCTOBER, 2023); (SEE GEOTECHNICAL DATA REPORT DATED NOVEMBER 14, 2023)
- T.B.R. = TO BE REMOVED
- - - = ITEMS TO BE REMOVED
- = ITEMS TO REMAIN
- ▨ = ABANDONED FOUNDATIONS TO BE REMOVED

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.





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Table with columns: REV, DATE, DRAWN BY, DESCRIPTION. Row 1: 1, 1/11/2024, CHA, REVISED PER TOWN OF ORANGETOWN PLANNING BOARD REVIEW LETTER



Jesse Barrett Cokeley NEW YORK LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: 090987-01 COLLIERS ENGINEERING & DESIGN CT, P.C. N.Y. C.O.A.#: 0017609

PRELIMINARY SITE PLAN FOR ST. THOMAS AQUINAS COLLEGE

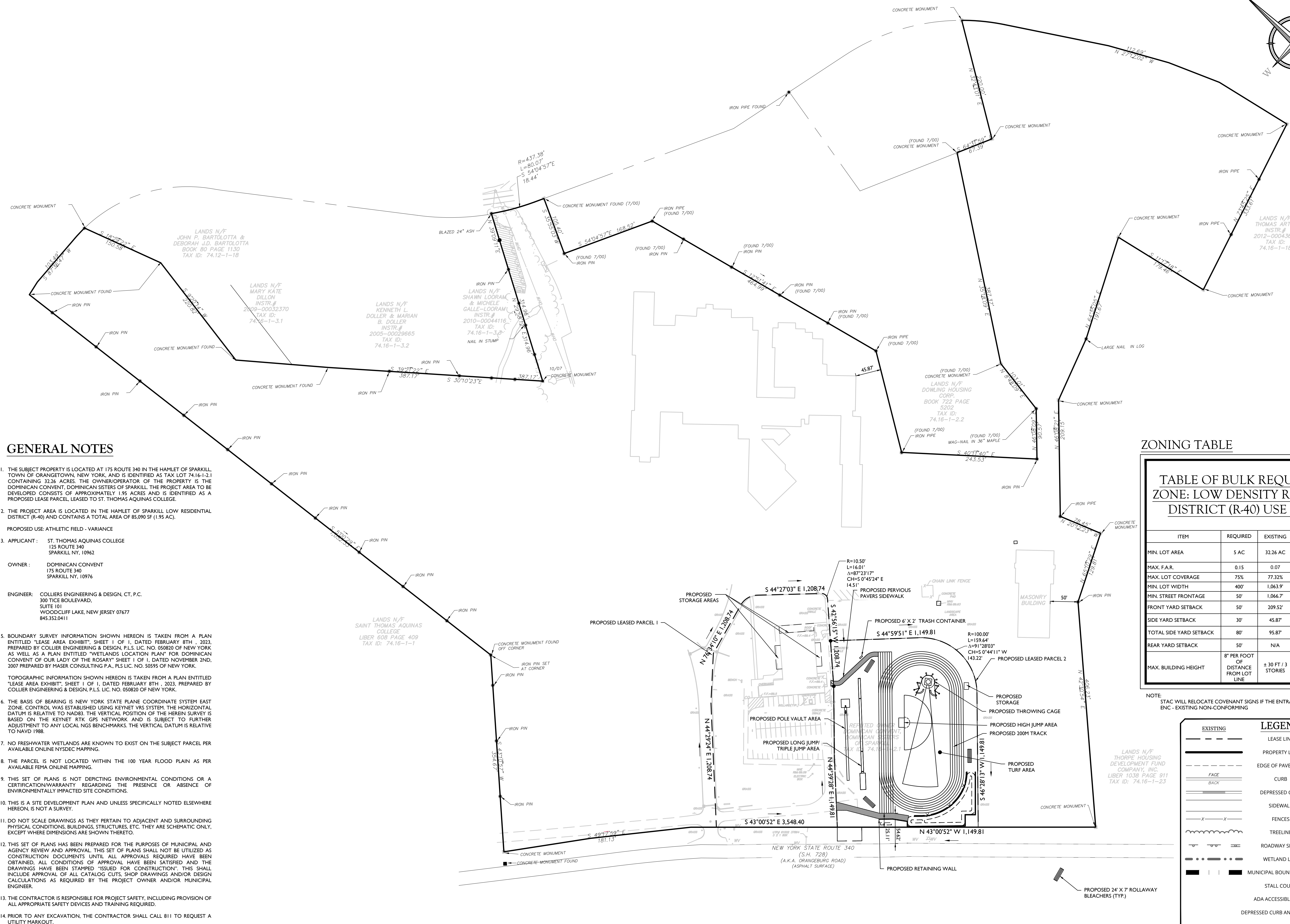
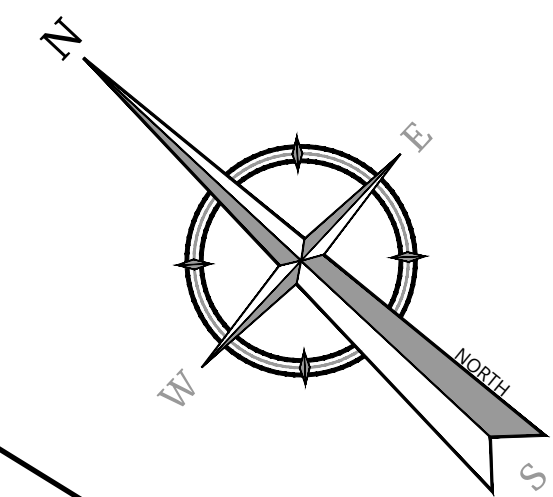
SECTION 74.16 BLOCK 1 LOT 2.1 125 ROUTE 340 TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

WOODCLIFF LAKE 300 Tice Boulevard Suite 101 Woodcliff Lake, NJ 07677 Phone: 845.352.0411 COLLIERS ENGINEERING & DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE SURVEYING CT, P.C.

Table with columns: SCALE, DATE, DRAWN BY, CHECKED BY, PROJECT NUMBER, DRAWING NUMBER, SHEET TITLE

OVERALL LAYOUT PLAN

3 of 11



GENERAL NOTES

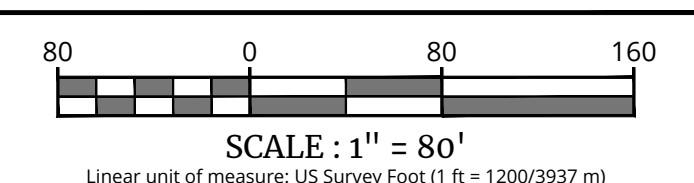
- 1. THE SUBJECT PROPERTY IS LOCATED AT 175 ROUTE 340 IN THE HAMLET OF SPARKILL, TOWN OF ORANGETOWN, NEW YORK... 2. THE PROJECT AREA IS LOCATED IN THE HAMLET OF SPARKILL LOW RESIDENTIAL DISTRICT (R-40) AND CONTAINS A TOTAL AREA OF 85,090 SF (1.95 AC). 3. APPLICANT: ST. THOMAS AQUINAS COLLEGE... 4. OWNER: DOMINICAN CONVENT... 5. ENGINEER: COLLIERS ENGINEERING & DESIGN, CT, P.C. 6. BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "LEASE AREA EXHIBIT", SHEET 1 OF 1, DATED FEBRUARY 8TH, 2023. 7. NO FRESHWATER WETLANDS ARE KNOWN TO EXIST ON THE SUBJECT PARCEL PER AVAILABLE ONLINE NYSDEC MAPPING. 8. THE PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN AS PER AVAILABLE FEMA ONLINE MAPPING. 9. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. 10. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY. 11. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO. 12. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. 13. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED. 14. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.

ZONING TABLE

TABLE OF BULK REQUIREMENTS ZONE: LOW DENSITY RESIDENTIAL DISTRICT (R-40) USE GROUP: F. Table with columns: ITEM, REQUIRED, EXISTING, PROVIDED, COMPLIES. Rows include MIN. LOT AREA, MAX. F.A.R., MAX. LOT COVERAGE, etc.

NOTE: STAC WILL RELOCATE COVENANT SIGNS IF THE ENTRANCE IS RELOCATED ENC - EXISTING NON-CONFORMING

LEGEND table showing symbols for EXISTING and PROPOSED features: LEASE LINE, PROPERTY LINE, EDGE OF PAVEMENT, CURB, DEPRESSED CURB, SIDEWALK, FENCES, TREELINE, ROADWAY SIGNS, WETLAND LINE, MUNICIPAL BOUNDARY LINE, STALL COUNT, ADA ACCESSIBLE STALL, DEPRESSED CURB AND ADA RAMP, DIRECTION OF TRAFFIC FLOW.



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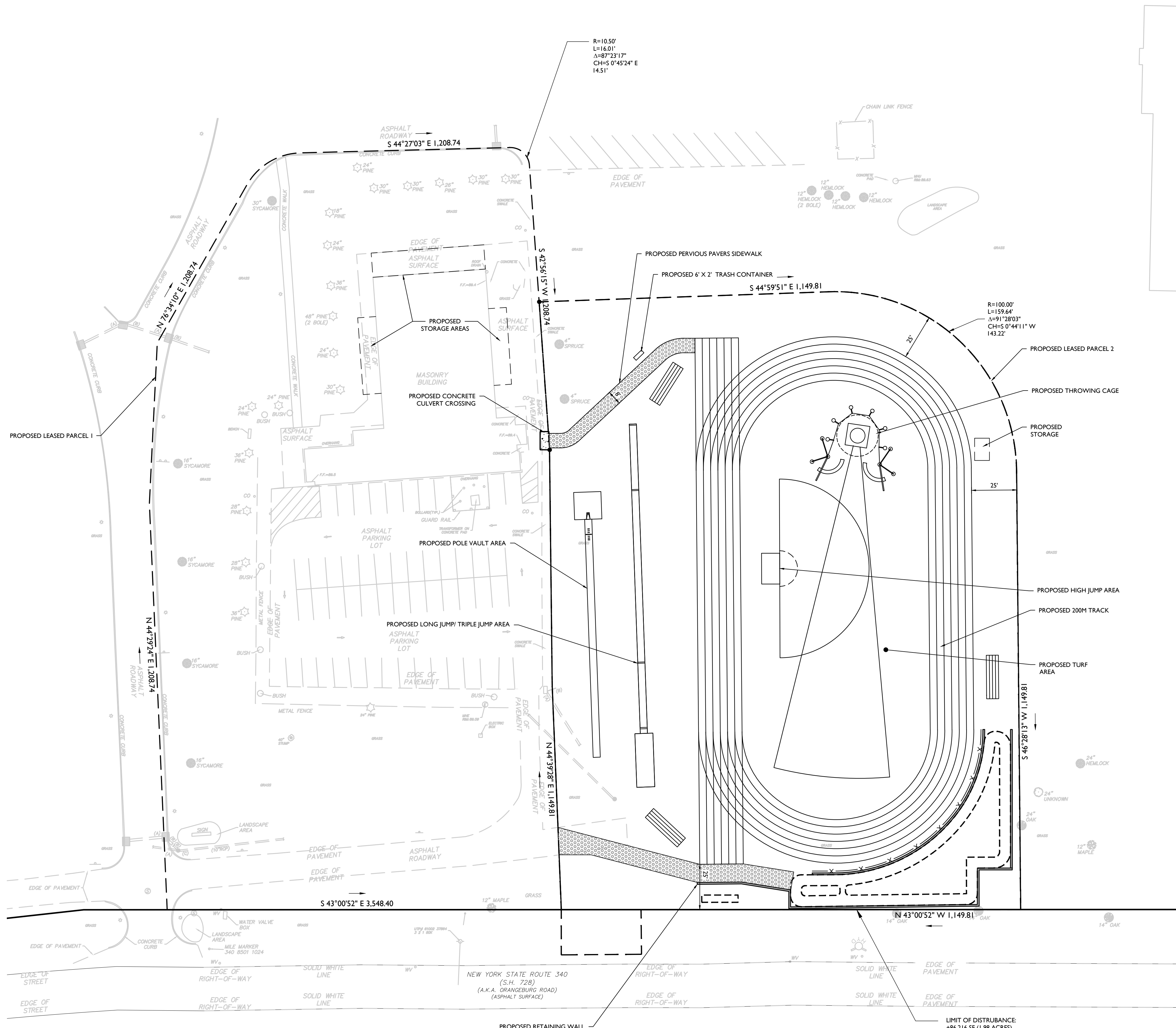
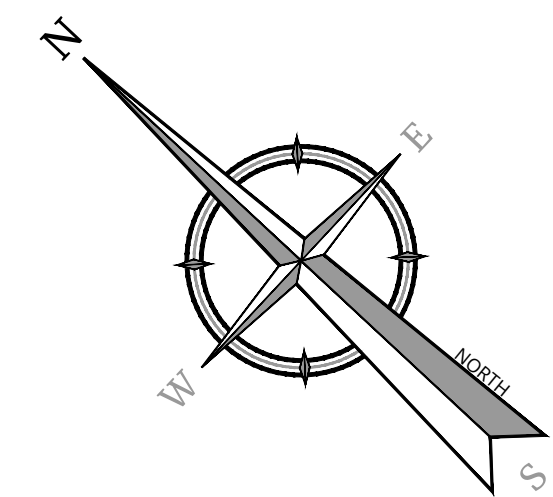
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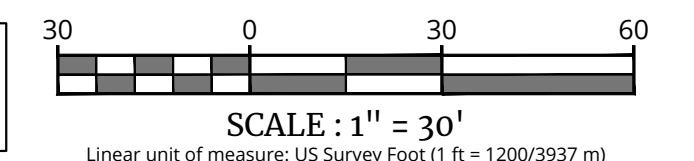


EXISTING	LEGEND	PROPOSED
---	LEASE LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
FACE BACK	CURB	FACE BACK
---	DEPRESSED CURB	---
---	SIDEWALK	---
X-X	FENCES	X-X
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	STALL COUNT	10
---	ADA ACCESSIBLE STALL	♿
---	DEPRESSED CURB AND ADA RAMP	HC
---	DIRECTION OF TRAFFIC FLOW	→

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.8(b) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS.



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REV	DATE	DRAWN BY	DESCRIPTION
1	11/15/24	CMA	REVISED PER TOWN OF ORANGETOWN PLANNING BOARD REVIEW LETTER

Jesse Barrett Cokeley
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 090987-01
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0077609

PRELIMINARY
SITE PLAN
FOR
ST. THOMAS AQUINAS
COLLEGE
SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

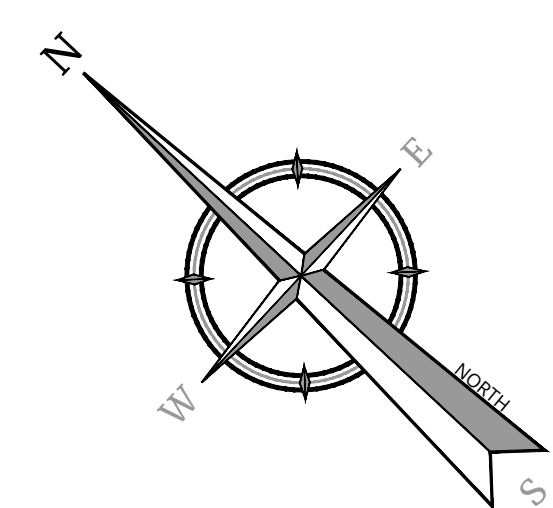
WOODCLIFF LAKE
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	8/21/24	JAG	JF
PROJECT NUMBER:	DRAWING NAME:		
18001787B	C-LAY1		

SHEET TITLE:
LAYOUT PLAN

SHEET NUMBER:
4 of 11

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



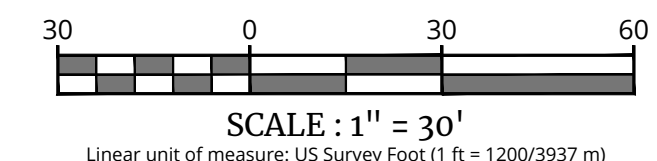
ADA NOTES FOR CONTRACTOR

- NOTES:**
- CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE/PROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN, AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE LATEST FEDERAL PROPOSED "ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROWAG).
 - FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EGRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS AND ANY SUPPLEMENTAL STATE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - (NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN.)
 - A. PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.
 - B. CURB RAMP(S) - SLOPES MUST NOT EXCEED 1:12 (8.3%).
 - C. LANDINGS
 - i. LANDINGS AT CURB RAMP(S) - MUST BE 4 FT. MIN., X 4 FT. MIN. AND ARE TO BE INCREASED TO 5 FEET WHERE THE LANDING SPACE (TURNING SPACE) IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
 - ii. LANDINGS AT RAMP(S) - MUST BE 5 FT. MIN. IN THE DIRECTION OF TRAVEL AND BE PROVIDED AT EACH END OF THE RAMP. MUST PROVIDE POSITIVE DRAINAGE (1% MIN.), AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION. WHEN LANDING IS ALSO A TURNING SPACE, IT MUST BE A MINIMUM 5 FT X 5 FT.
 - iii. LANDINGS AT DOORWAYS - SEE NOTE F BELOW.
 - D. PATH OF TRAVEL ALONG ON-SITE ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH (EXCLUDING THE CURB) OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS MUST NOT REDUCE THIS MINIMUM WIDTH). IN A PUBLIC RIGHT-OF-WAY, THE MINIMUM WIDTH EXCLUDING THE CURB IS 4 FT. THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE.
 - E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP, WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES, MUST BE PROVIDED. THE RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES, HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. 1% AND NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
 - F. EXTERIOR DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA IS GENERALLY 5 FT X 5 FT, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS. (SEE APPLICABLE CODE SECTIONS).
 - IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, INCLUDING WHETHER OR NOT FALL PROTECTION IS REQUIRED.
 - IT IS RECOMMENDED THAT THE CONTRACTOR CHECK THE SLOPE OF FORMWORK FOR COMPLIANCE WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED BY GC AND ENGINEER. SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
- THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- ALL NEW UTILITIES/SERVICES TO BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), ADS #12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), HANCOR SURE-LOCK HIGH DENSITY POLYETHYLENE PIPE (HDPEP) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	FACE OF CURB	
	BACK OF CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	'B' INLET	
	'E' INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	FLARED END SECTION	
	HEADWALL	
	HYDRANT	
	POLE MOUNTED LIGHT	
	CONTOURS	
	SPOT ELEVATION	
	DIRECTION OF OVERLAND FLOW	
	TOP OF CURB ELEVATION	
	BOTTOM OF CURB ELEVATION	
	TOP OF DEPRESSED CURB ELEVATION	



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811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
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NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 090987-01
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0077609

PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE

SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340

TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

Colliers Engineering & Design
WOODCLIFF LAKE
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SCALE: AS SHOWN	DATE: 8/21/24	DRAWN BY: JAG	CHECKED BY: JF
PROJECT NUMBER: 18001787B	DRAWING NAME: C-GRAD		

SHEET TITLE: GRADING, DRAINAGE AND UTILITY PLAN

SHEET NUMBER: 5 of 11

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE

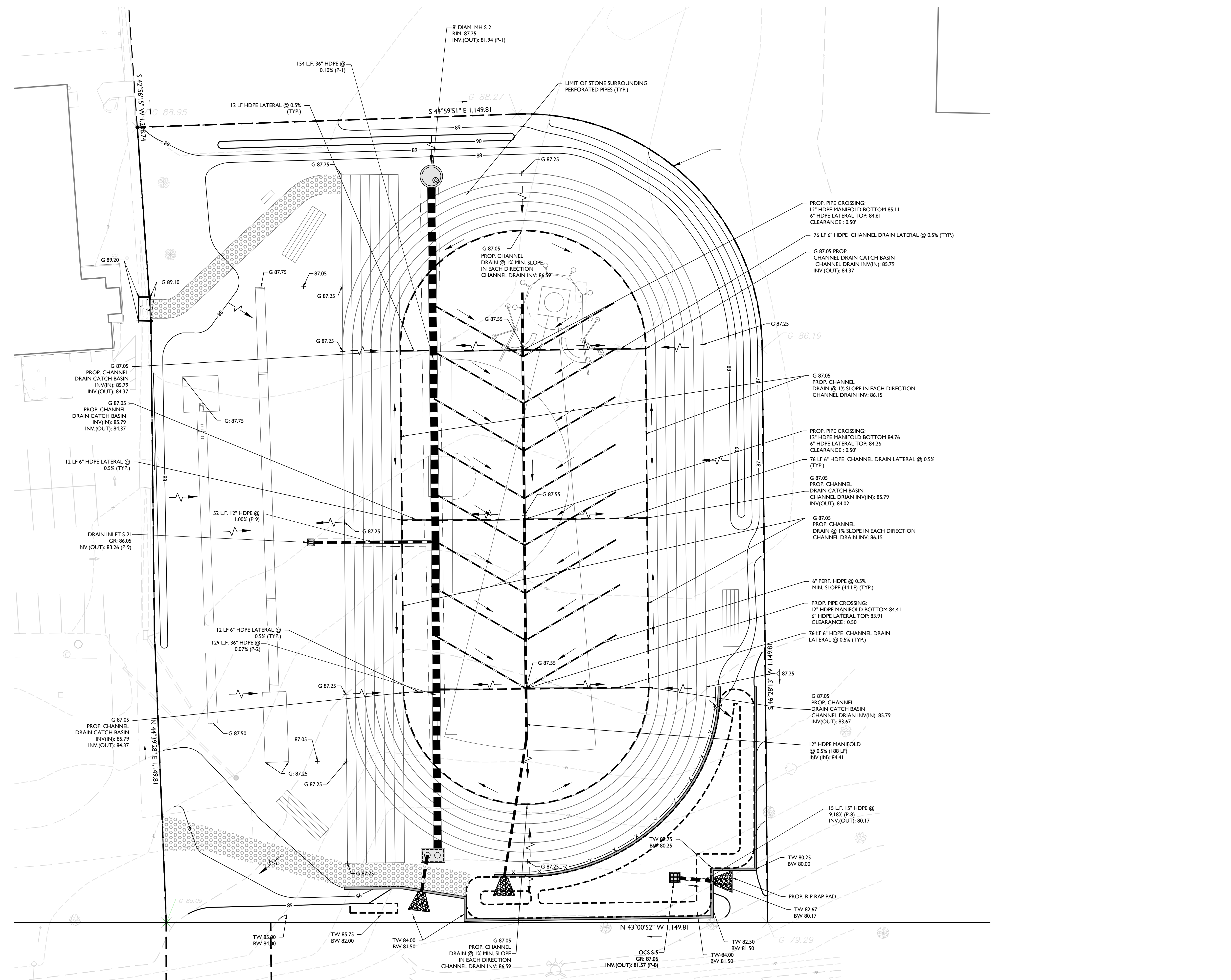
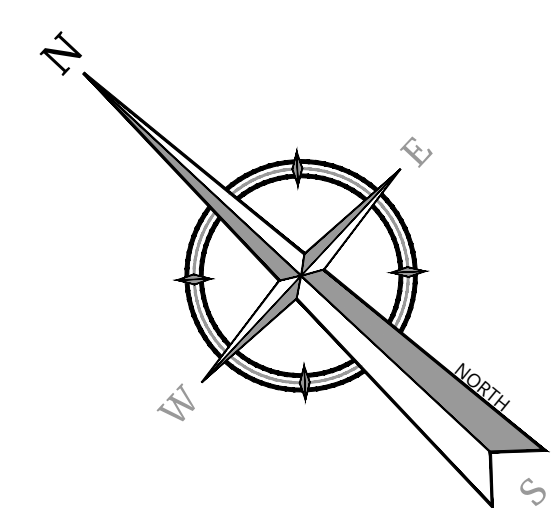
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NEW YORK

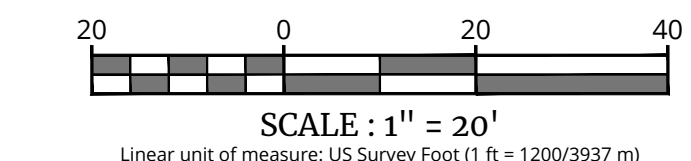
WOODCLIFF LAKE
300 Tice Boulevard
Suite 101
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AS SHOWN	8/21/24	JAG	JF
PROJECT NUMBER:		DRAWING NAME:	
18001787B		C-GRAD	

GRADING, DRAINAGE AND UTILITY PLAN
BLOW-UP PLAN



EXISTING	LEGEND	PROPOSED
12+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	'B' INLET	---
---	'E' INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CONTOURS	---
x 29.0	SPOT ELEVATION	x 29.0
---	DIRECTION OF OVERLAND FLOW	---
x TC 29.0	TOP OF CURB ELEVATION	x TC 29.0
x BC 29.0	BOTTOM OF CURB ELEVATION	x BC 29.0
---	TOP OF DEPRESSED CURB ELEVATION	x TDC 29.0



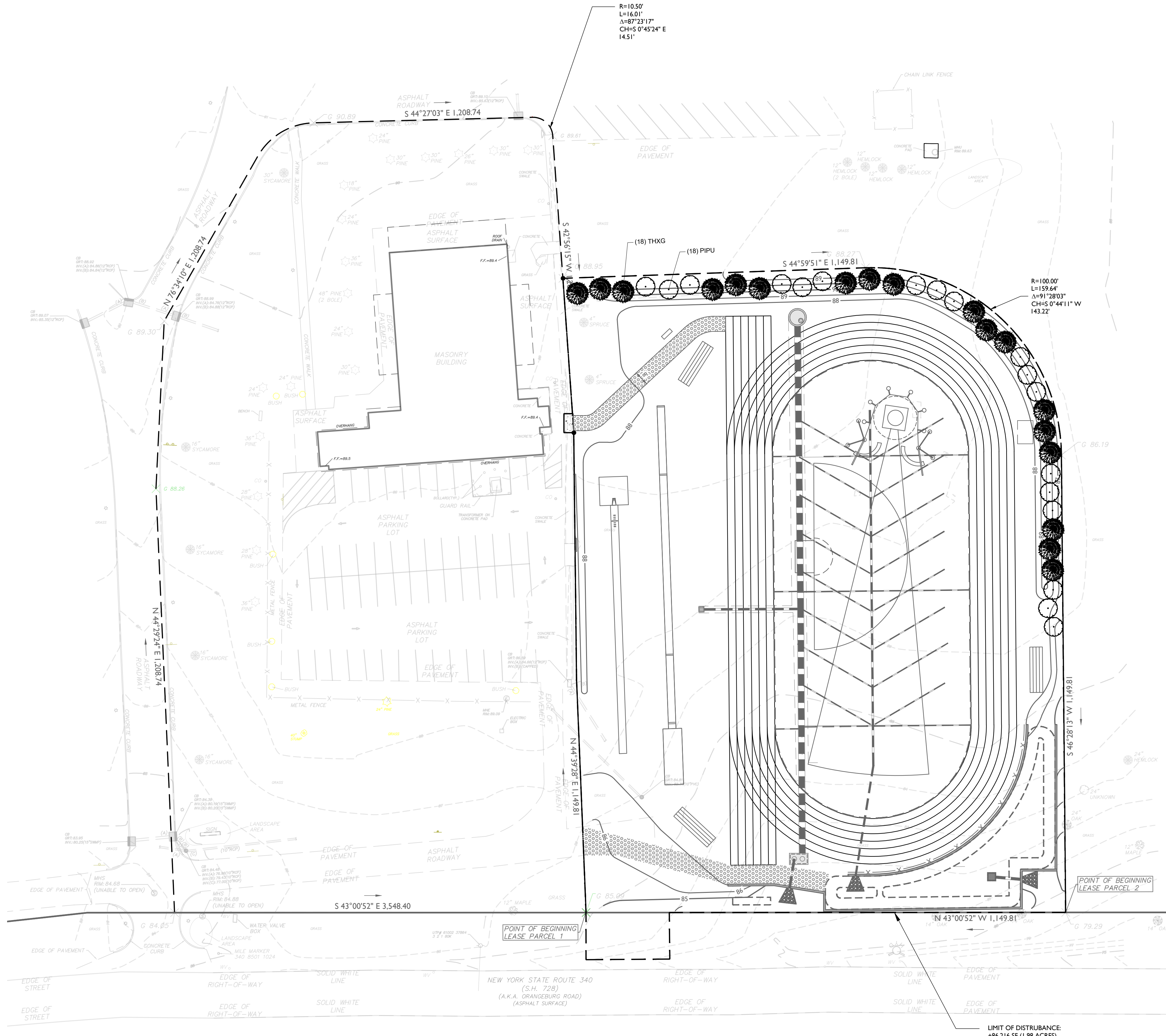
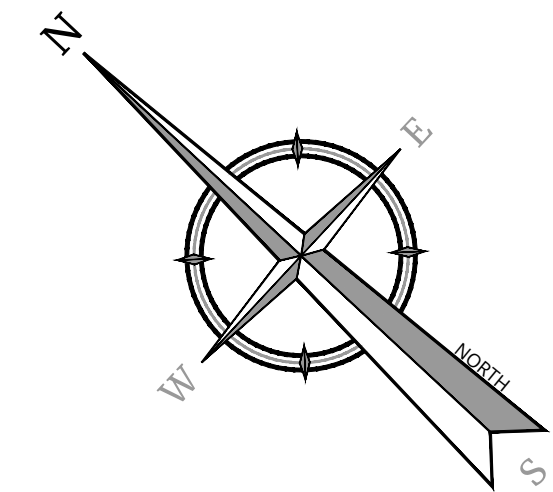
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GENERAL PLANTING NOTES

A. GENERAL

1. THE LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

1. PLANT MATERIAL:
 - A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
 - B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
 - C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
 - D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
 - E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, WRAPPING, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. PLANTING PROCEDURES

1. PLANTING BEDS:
 - A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - B. PLANTING BEDS SHALL RECEIVE THREE (3) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
 - C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
4. PLANTING METHODS:
 - A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
 - (1) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
 - (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
 - (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2" INCHES IN CALIPER).
 - B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
 - C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
 - D. 888 PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
 - E. CORD BINDING OF ALL 888 PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

D. MAINTENANCE

1. PRUNING:
 - A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
 - C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
2. LAWN AREAS:
 - A. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
 - B. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SEED SPECIFICATIONS AS NOTED ON THE PHASE II SOIL EROSION AND SEDIMENT CONTROL SHEET.
 - C. SOIL, IF SPECIFIED, SHALL CONSIST OF A NEW YORK CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
3. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. GRADING OR CLEARING EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
4. SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.
5. VEGETATION THAT DIES DURING ANY SEASON SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

PLANT DETAIL NOTES

1. CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
2. PLANTING MUST BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF ORANGETOWN. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.
3. BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLANT.
4. PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE. NEVER CUT CENTRAL TRUNK OR LEADER.

SEE CONSTRUCTION DETAILS FOR LANDSCAPE DETAILS

THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

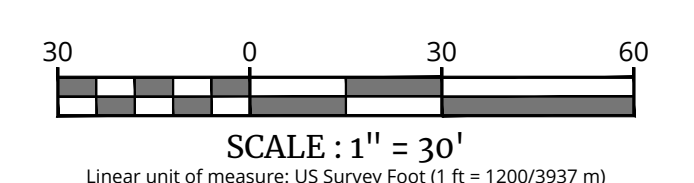
THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239(8)(M) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

TREES TO BE PLANTED IN ACCORDANCE WITH THE TOWN CODE REGULATION 21-25, SHADE TREE ORDINANCE

PLANTING SCHEDULE				
CODE	BOTANICAL NAME	COMMON NAME	COND. NOTES	QTY
EVERGREEN TREES				
PIPU	PICEA PLUGENS GLAUGA	COLOMADO BLUE SPRUCE	6' B & B	18
THXG	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' B & B	18



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REV	DATE	DRAWN BY	DESCRIPTION
1	11/17/24	CWA	REVISED PER TOWN OF ORANGETOWN PLANNING BOARD REVIEW LETTER

Jesse Barrett Cokerley
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 090987-01
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0077609

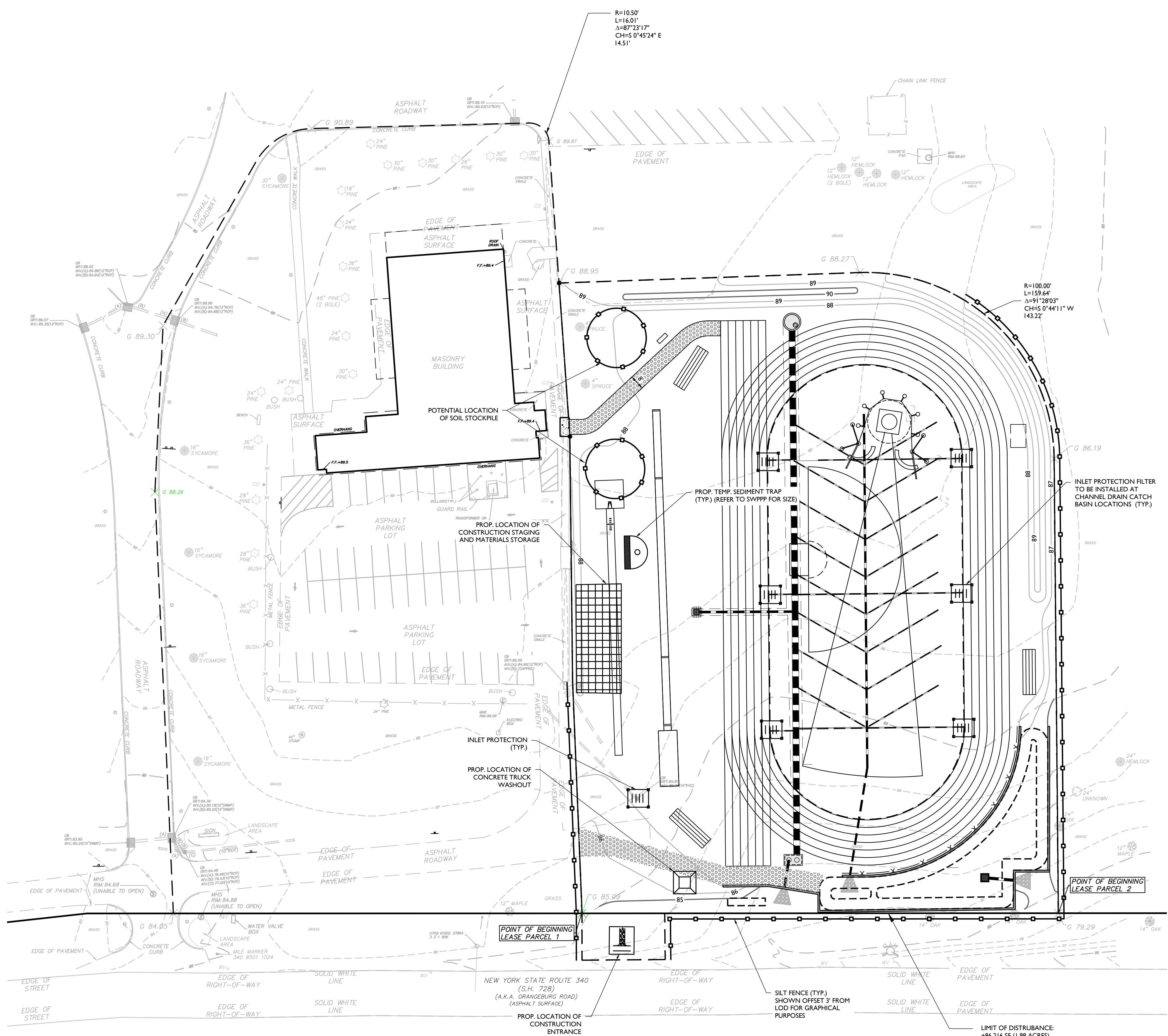
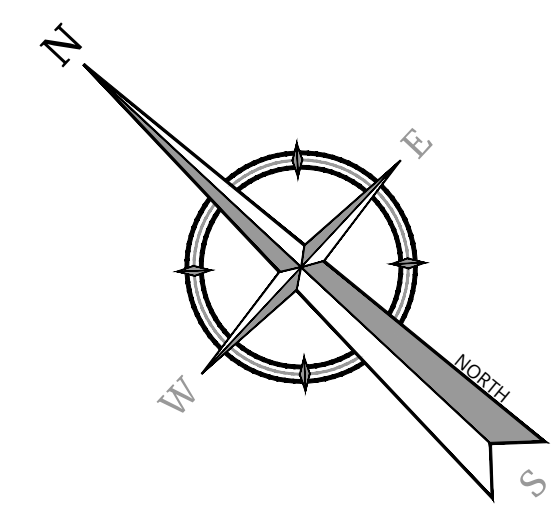
PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE
SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

Colliers Engineering & Design
300 Tice Boulevard Suite 101 Woodcliff Lake, NJ 07677
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE SURVEYING CT, P.C.

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	8/21/24	JCW	JF
PROJECT NUMBER:	DRAWING NAME:		
18001787B	C-LAND		

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
7 of 11



GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES

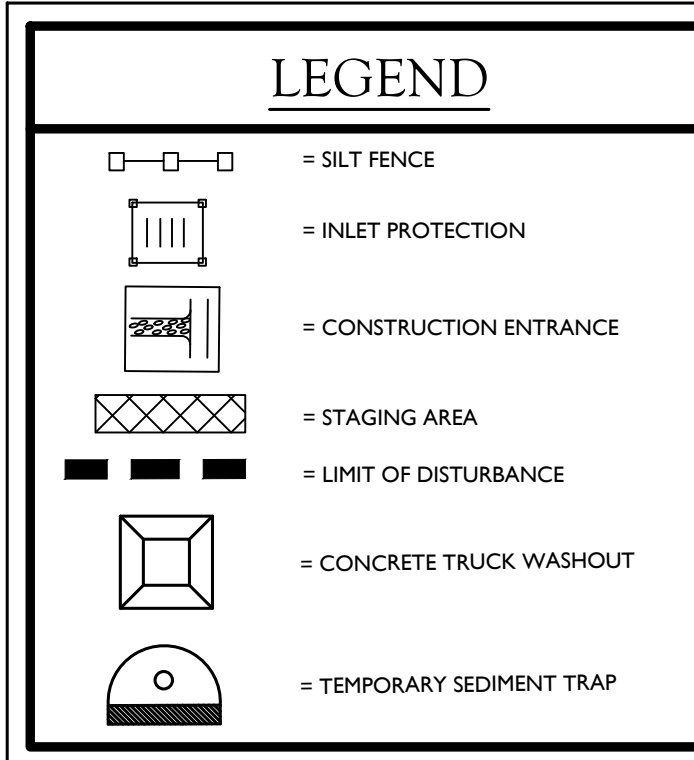
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS FOR DISTURBANCES LESS THAN FIVE (5) ACRES AND SEVEN (7) DAYS FOR DISTURBANCES GREATER THAN FIVE (5) ACRES, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2016 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL OR AS AMENDED.
5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL. HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
10. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. CONDUIT OUTLET PROTECTION MUST BE REVIEWED & SUPPLEMENTED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
12. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
13. SHOULD THE CONTROL OF DUST BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
14. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
15. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
16. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
17. CONCRETE WASHOUT, DUMPSTER, & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED AT THE PRE-CONSTRUCTION MEETING. THEY SHALL BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE AND STAGING AREAS AND SHALL BE USED PRIOR TO EXITTING THE PROJECT SITE. THE LOCATION SHALL BE IN A PRACTICAL, CLEARLY DELINEATED, AREA AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
18. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
19. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
20. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
21. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
22. ALL TEMPORARY STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED, ALL AREAS OF DISTURBANCE HAVE ACHIEVED FINAL STABILIZATION AND ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE SWPPP AND ARE OPERATIONAL.

****FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERSISTENT SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.**

MAINTENANCE PLAN DURING CONSTRUCTION:
 INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-20-001 OR AS AMENDED. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 25% OF ITS CAPACITY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6" DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

NOTE: DURING THE CONSTRUCTION OF A PHASE, EACH SUBSEQUENT PHASE WILL HAVE REACHED FINAL STABILIZATION BEFORE INITIATING THE NEXT PHASE.

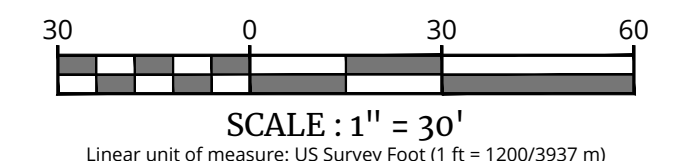
MAINTENANCE AGREEMENT NOTE:
 THE OWNER/APPLICANT SHALL ENTER INTO AN ENFORCEABLE MAINTENANCE AGREEMENT WITH THE MUNICIPALITY (IF AN MS4 COMMUNITY) RELATED TO MAINTENANCE OF STORMWATER FACILITIES. THE OWNER/APPLICANT IS RESPONSIBLE TO PERFORM ALL REQUIRED MAINTENANCE BOTH DURING CONSTRUCTION AND LONG-TERM. THE NATURE OF THE AGREEMENT IS TO ALLOW THE MUNICIPALITY TO PERFORM MAINTENANCE AT THEIR OPTION SHOULD THE OWNER/APPLICANT FAIL TO ADEQUATELY MAINTAIN THE SYSTEM AS DETERMINED BY THE MUNICIPAL ENGINEER. MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SWPPP AND DETAIL SHEETS.



LIMIT OF DISTURBANCE = 86,216 SF (1.98 AC)

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 NEW YORK LICENSED PROFESSIONAL ENGINEER
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 COLLIER'S ENGINEERING & DESIGN CT, P.C.
 N.Y. C.O.A.#: 0017609

PRELIMINARY SITE PLAN
 FOR
ST. THOMAS AQUINAS COLLEGE

SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340

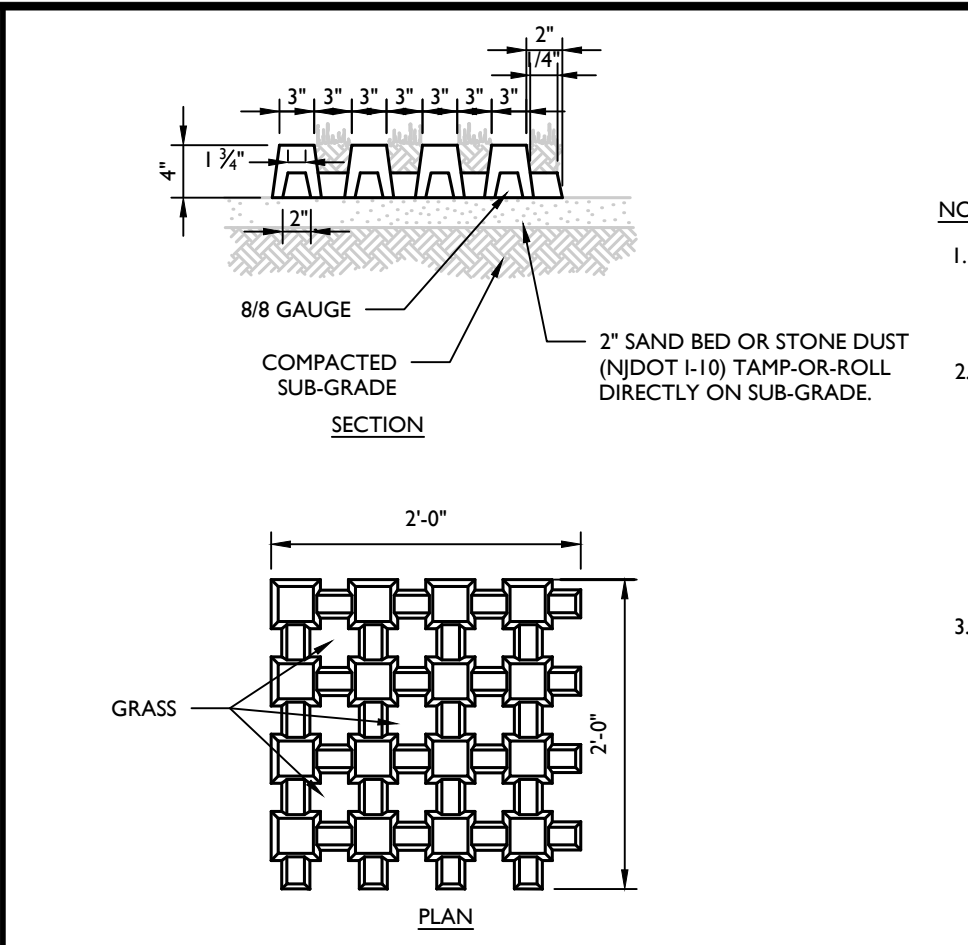
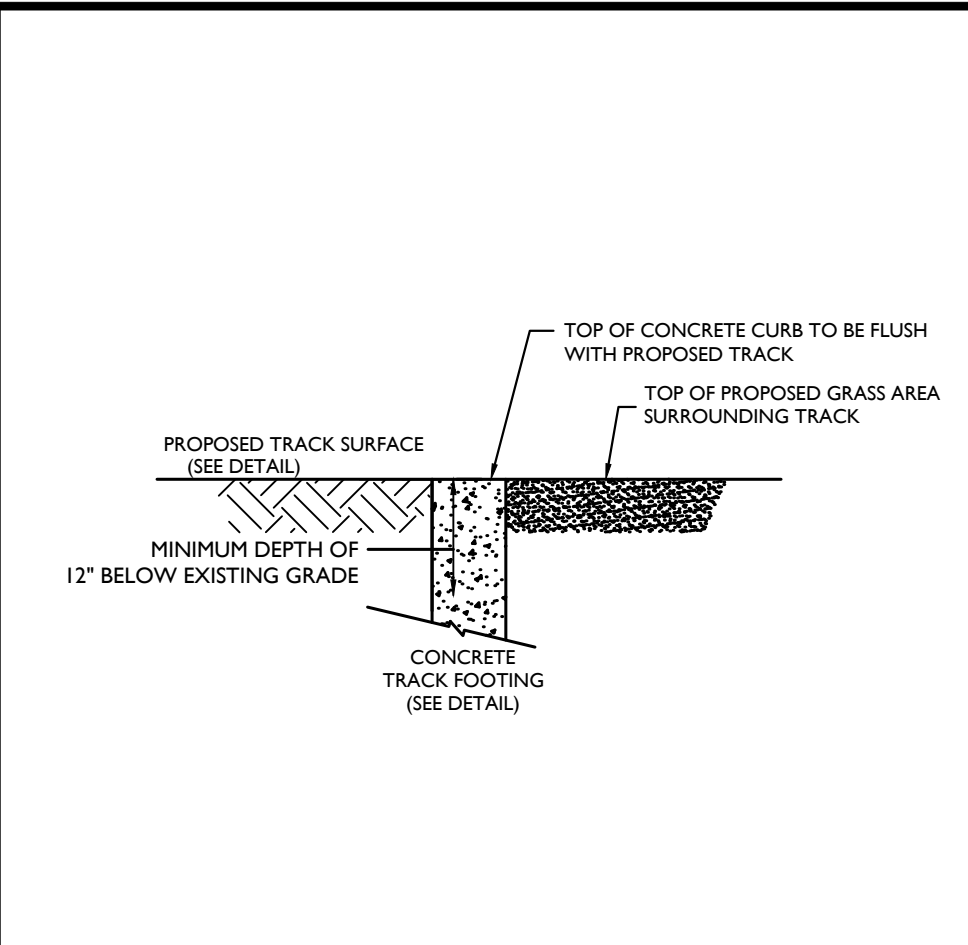
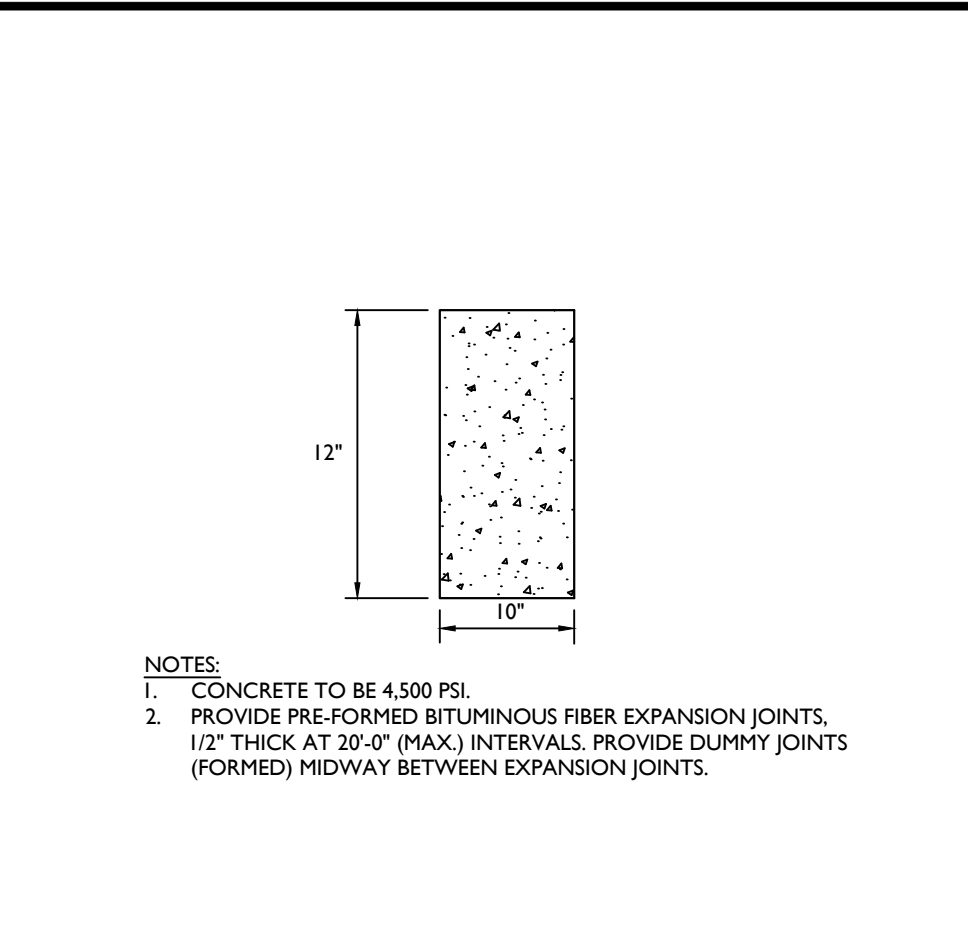
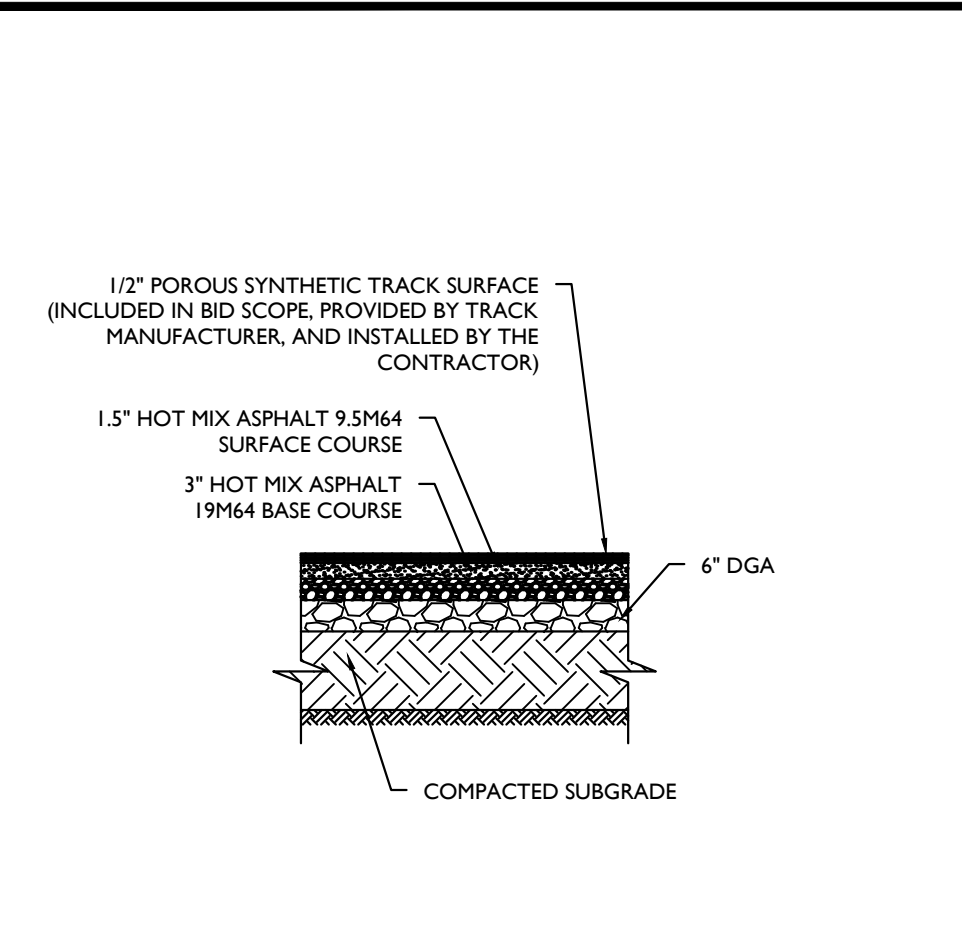
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

Colliers
 Engineering & Design
 300 Tice Boulevard
 Suite 101
 Woodcliff Lake, NJ 07677
 Phone: 845.352.0411
 COLLIER'S ENGINEERING & DESIGN ARCHITECTURE, LANDSCAPE ARCHITECTURE SURVEYING CT, P.C.

SCALE: AS SHOWN	DATE: 8/21/24	DRAWN BY: JAG	CHECKED BY: JF
PROJECT NUMBER: 18001787B	DRAWING NAME: C-SESC		

SOIL EROSION & SEDIMENT CONTROL PLAN

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



- NOTES:
- PAVERS SHALL BE MANUFACTURED BY **HASTINGS PAVEMENT CO., INC.**, FABRICATED WITH 6"x6" X 8/8 GAUGE STEEL MESH, AND 5000 PSI CONCRETE OR APPROVED EQUAL.
 - SETTING BED FOR PAVERS SHALL BE EITHER UNDISTURBED EARTH OR FILL COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D-1557-44 + PLUS 4% OR MINUS 2% OPTIMUM MOISTURE. REMOVE FROM THE SETTING BED, ROCK OR OTHER MATERIALS WHICH WOULD CREATE UNEVEN BEARING. PLACE TOPSOIL, SAND, OR STONE DUST IN A 2" COMPACTED LAYER TO PRESENT A TRUE AND EVEN GRADE OVER ENTIRE AREA TO RECEIVE PAVER. SET PAVERS AND LINE UP TO ABUT.
 - REFER TO THE GENERAL SEEDING NOTES IN DETAIL 5 OF THIS SHEET FOR SPECIFIC REQUIREMENTS.

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31; AND AUGUST 16 AND OCTOBER 15.

MIXTURE - HARD FESCUE	120 LBS/ACRE
PERENNIAL RYE GRASS	30 LBS/ACRE
KENTUCKY BLUE GRASS (BLEND)	40 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC REGULATIONS. A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRASS STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

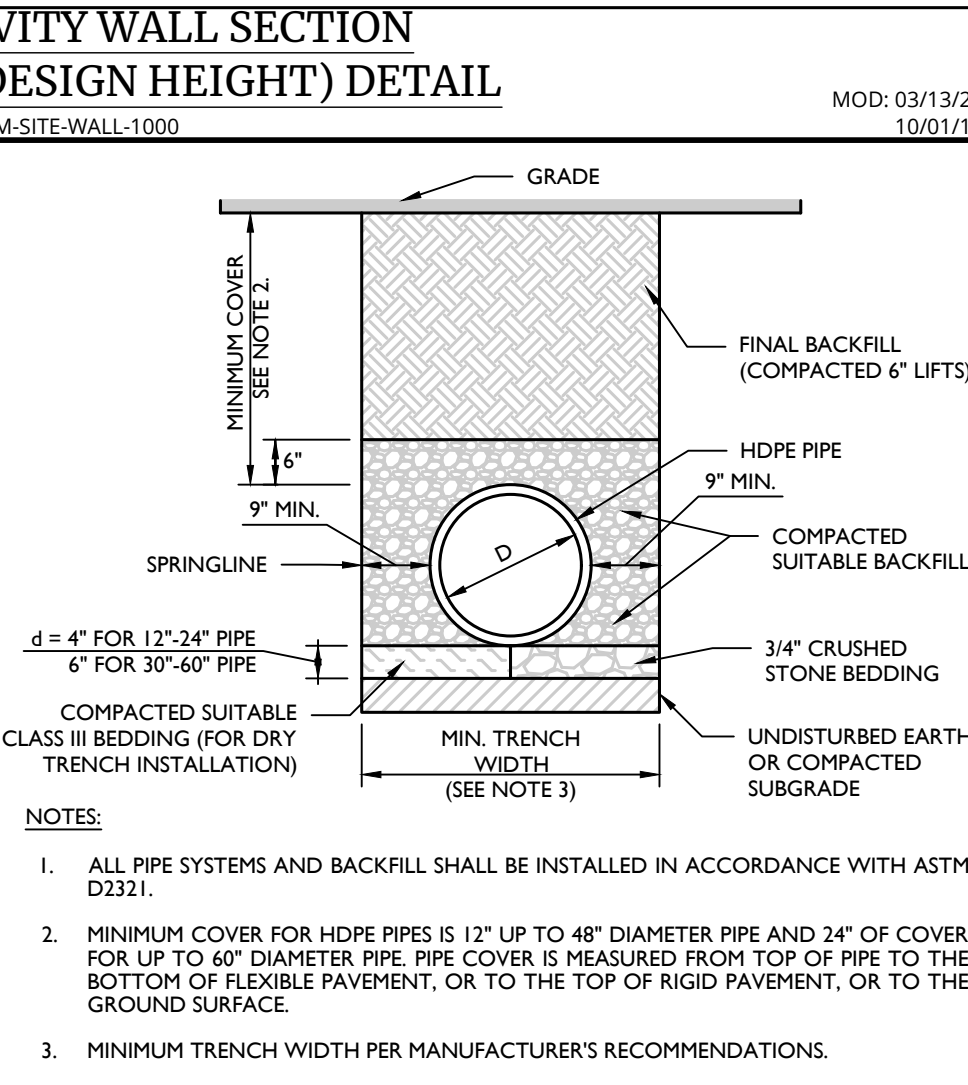
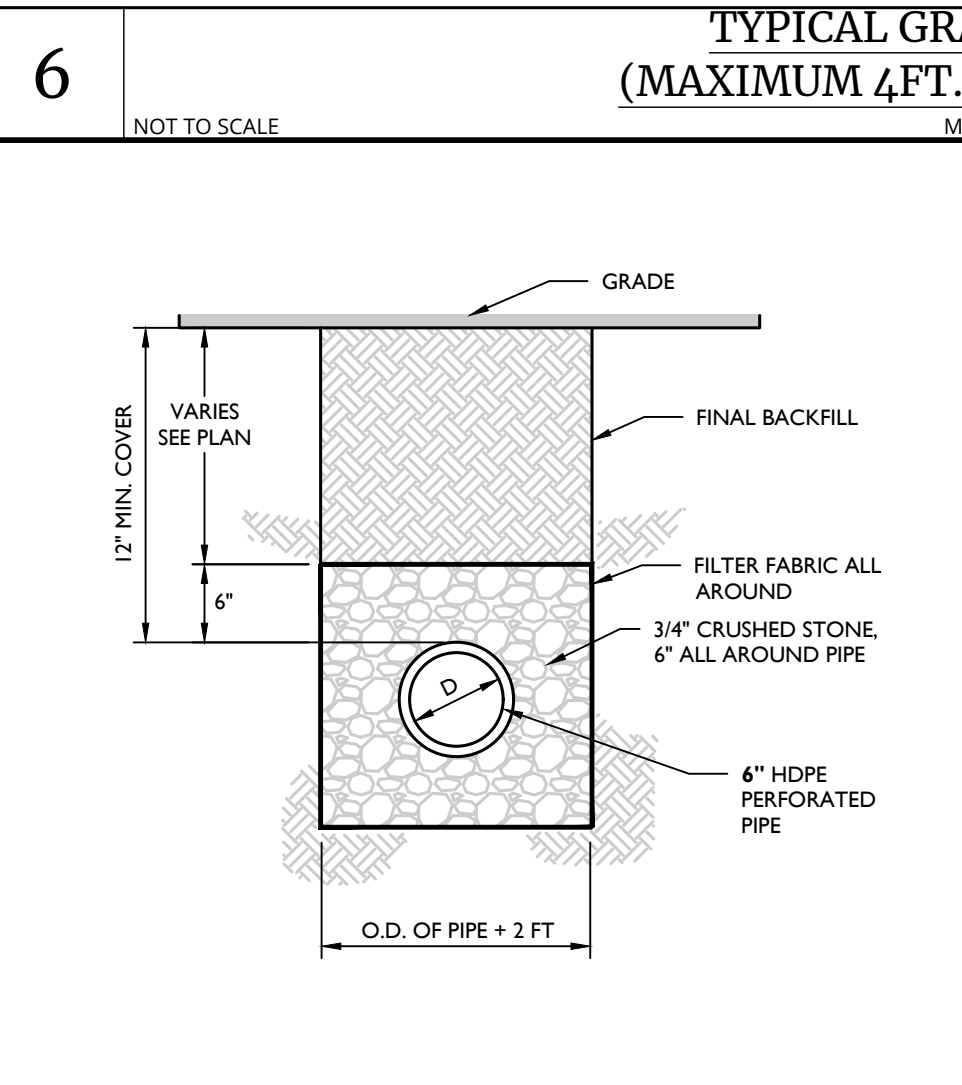
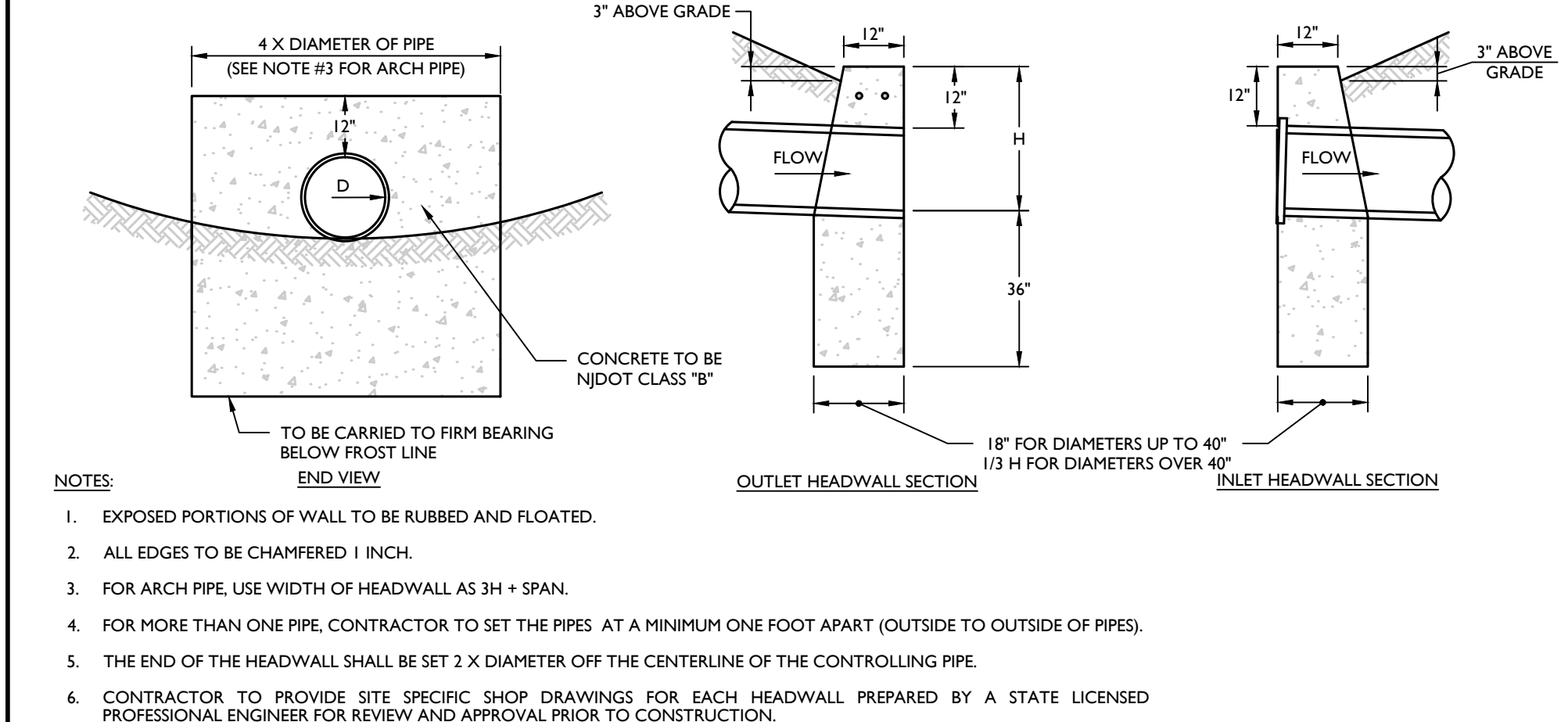
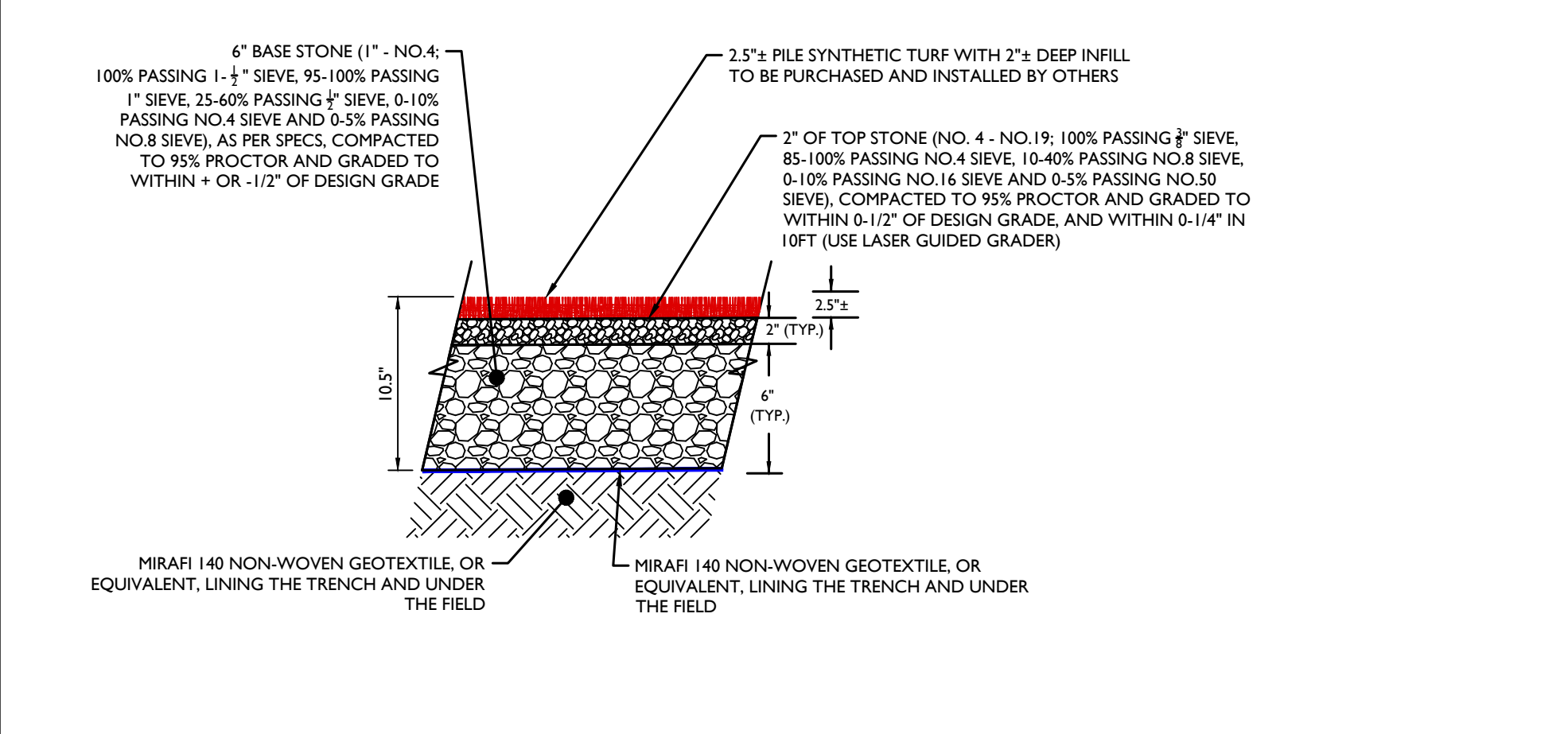
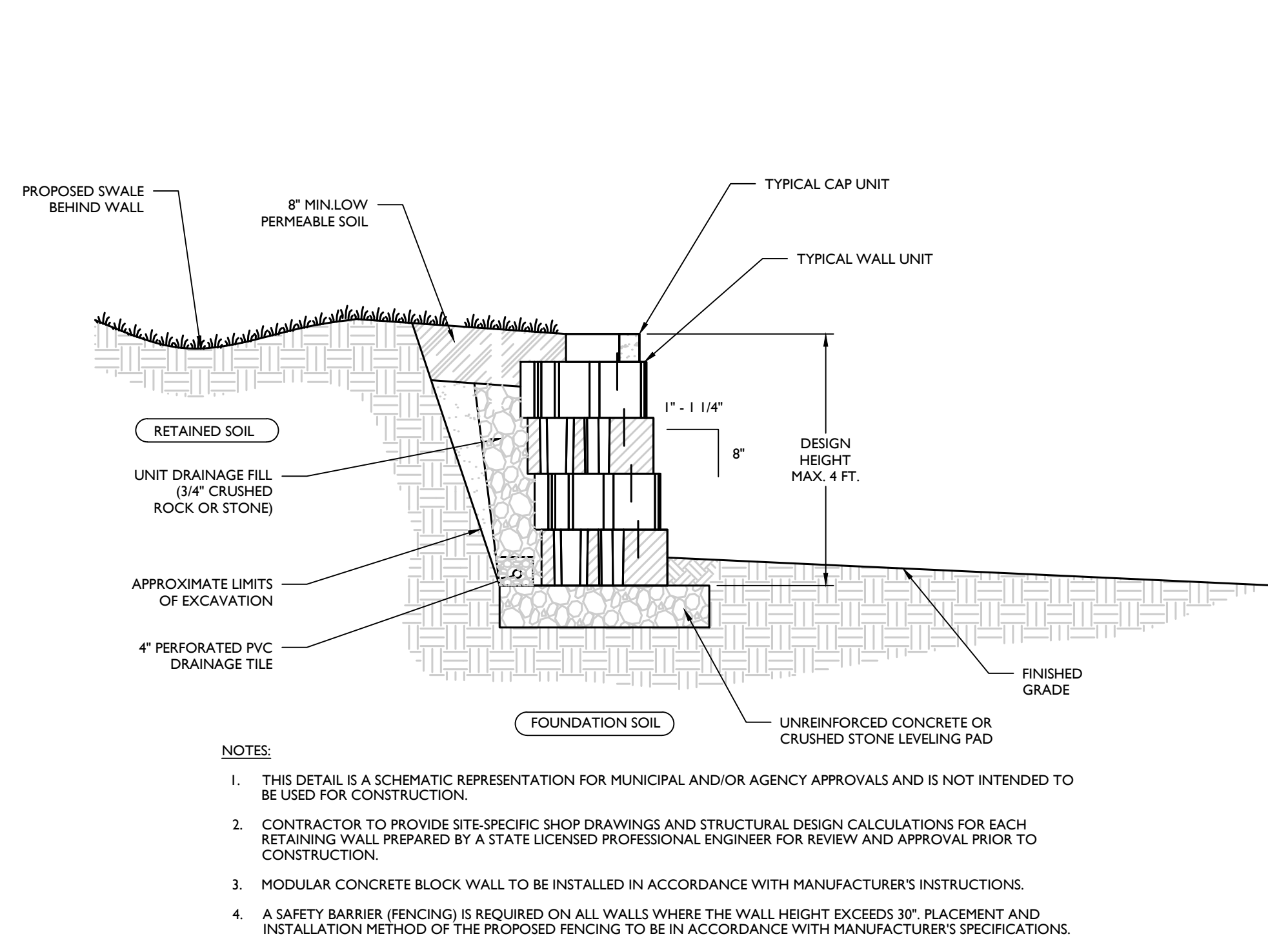
1 SYNTHETIC POROUS TRACK SURFACE SECTION
NOT TO SCALE MOD: 04/12/22

2 CONCRETE TRACK FOOTING AROUND TRACK PERIMETER
NOT TO SCALE MOD: 04/19/22

3 SYNTHETIC TRACK AT PERIMETER OF TRACK
NOT TO SCALE MOD: 04/19/22

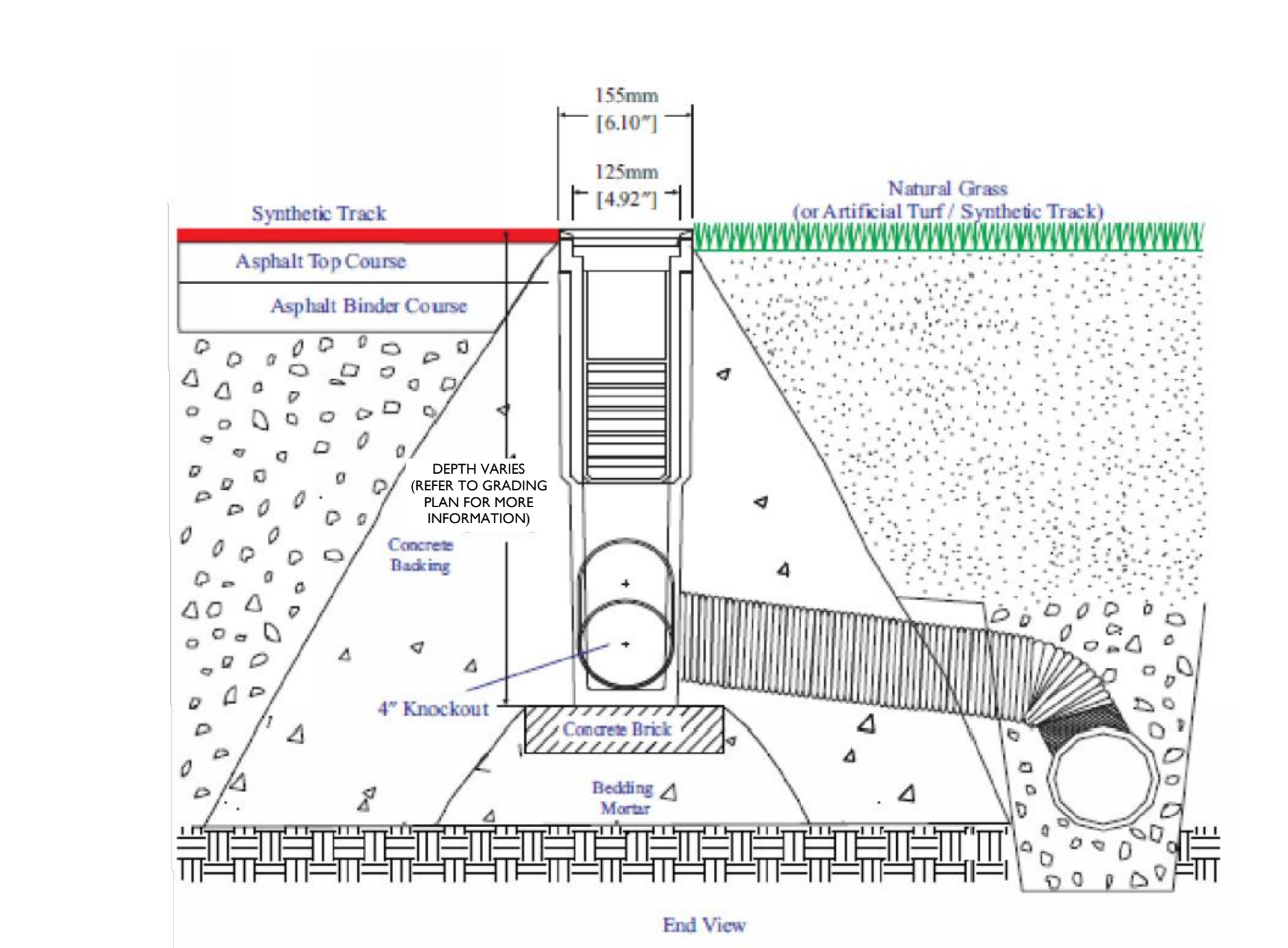
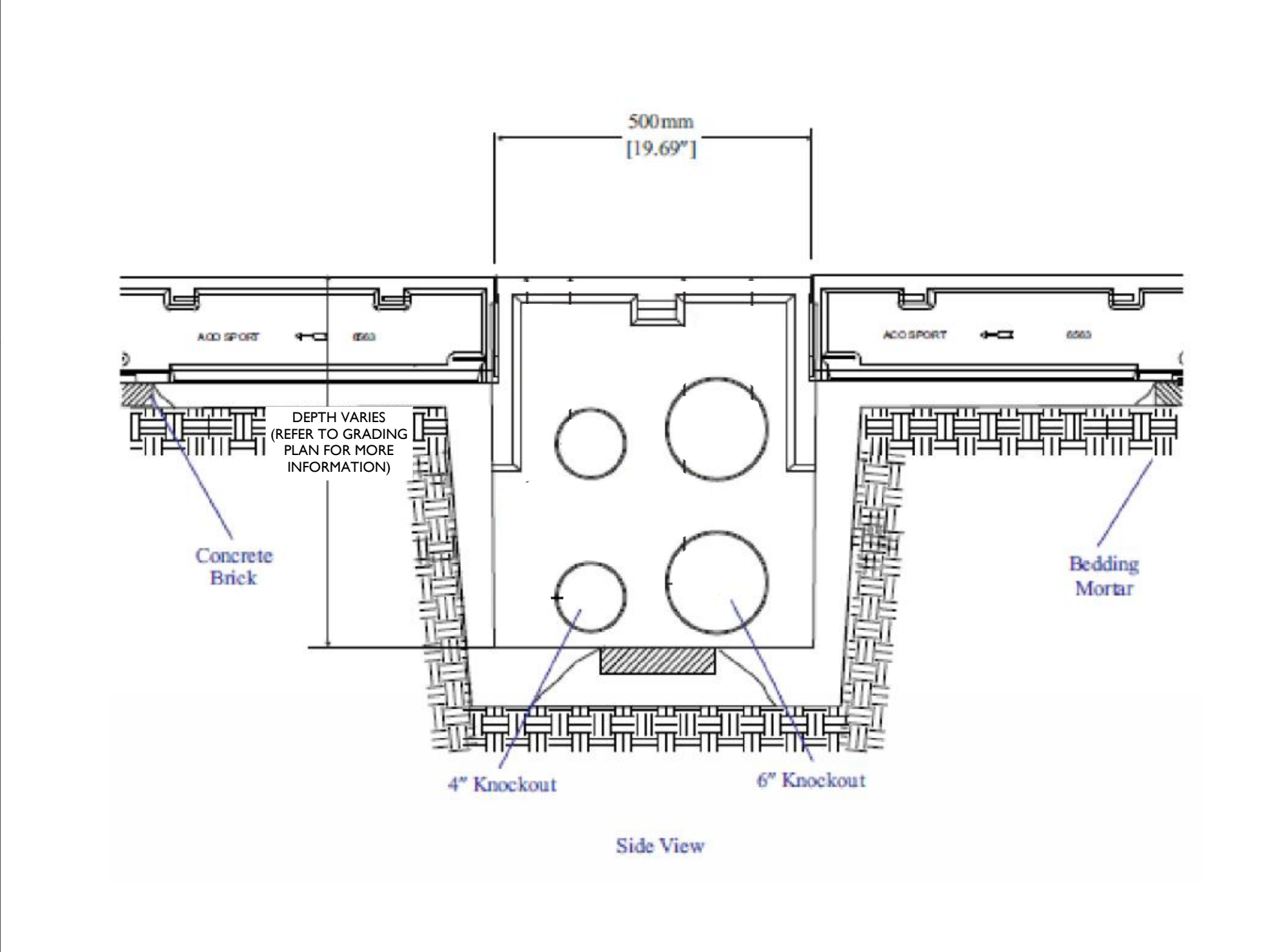
4 GRASS PAVERS DETAIL
NOT TO SCALE MCNY-SITE-PVMT-2500 MOD: 03/18/24 07/01/19

5 GENERAL SEEDING NOTES
NOT TO SCALE



7 TYPICAL TURF SECTION
NOT TO SCALE MOD: 03/13/24 10/01/19

8 CONCRETE HEADWALL (STRAIGHT) DETAIL
NOT TO SCALE MCNY-UTIL-STRM-2101 07/01/19



9 UNDERDRAIN DETAIL (ALT 1)
NOT TO SCALE MCNY-UTIL-STRM-2400 MOD: 12/20/22 07/01/19

10 HDPE STORM PIPE BEDDING DETAIL
NOT TO SCALE MCNY-UTIL-STRM-2302 MOD: 12/21/22 07/01/19

11 CHANNEL DRAIN CATCH BASIN AT INNER TRACK PERIMETER
NOT TO SCALE

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PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE
SECTION 74.16
BLOCK 1
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TOWN OF ORANGETOWN
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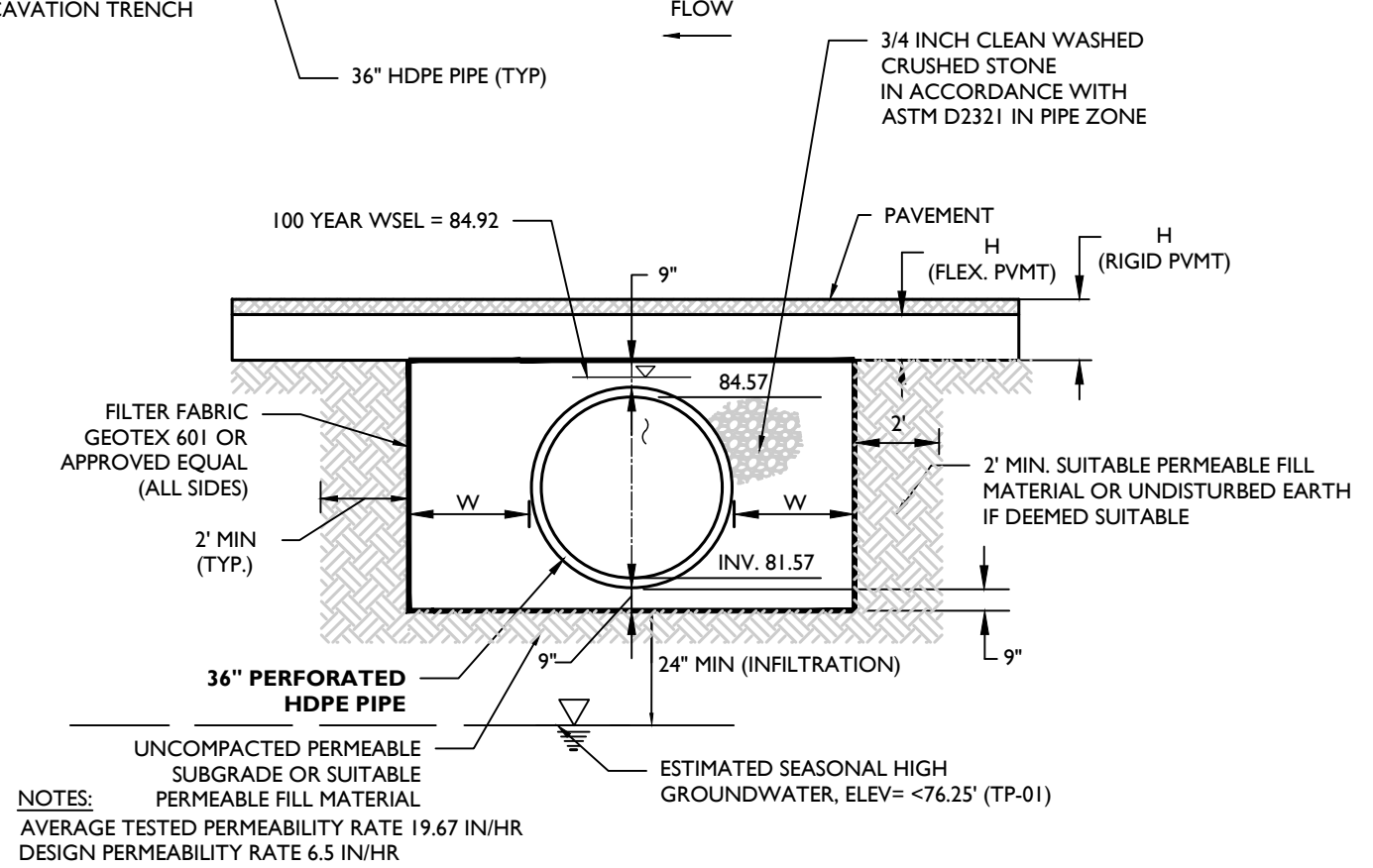
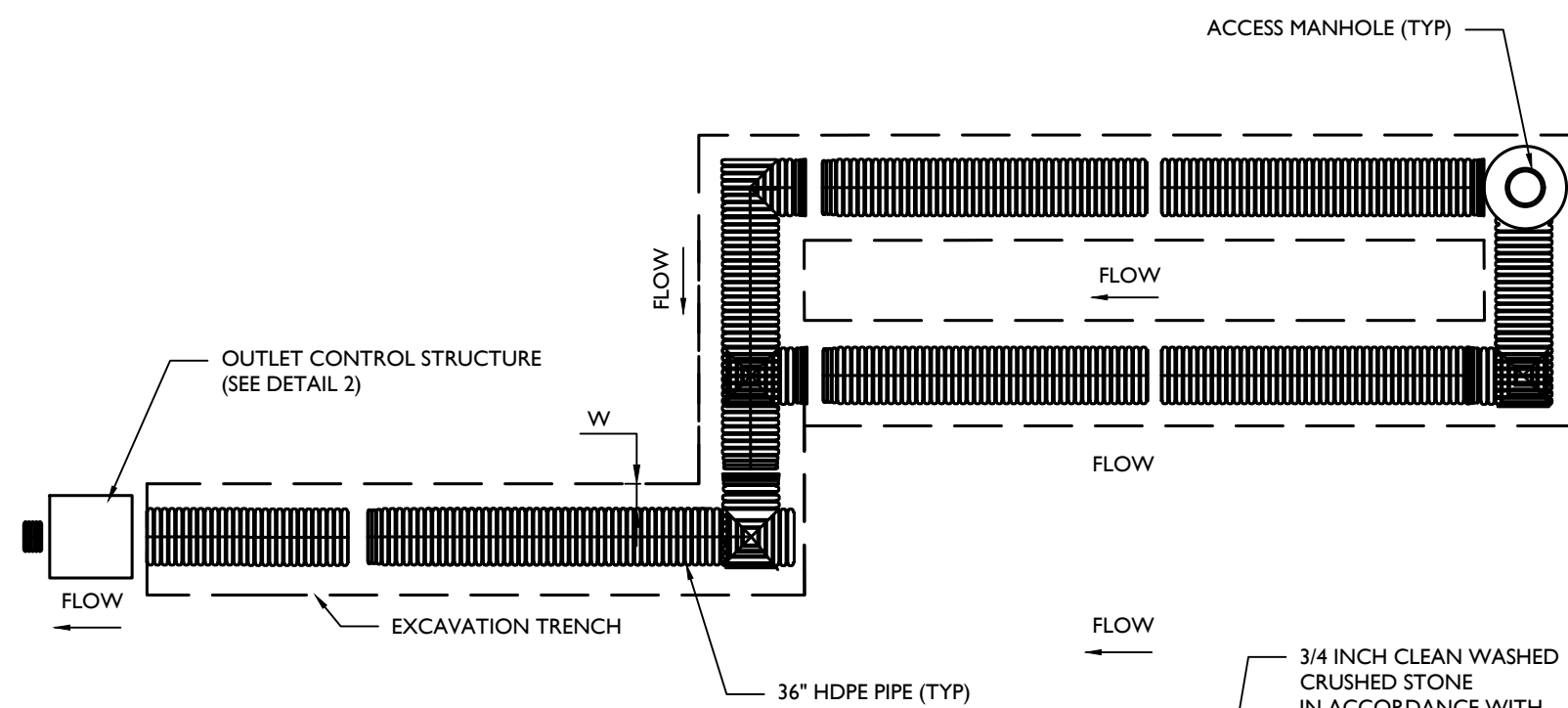
Colliers Engineering & Design
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COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SCALE: AS SHOWN DATE: 8/21/24 DRAWN BY: JAG CHECKED BY: JF
PROJECT NUMBER: 18001787B DRAWING NAME: C-DTL5

SHEET TITLE: **CONSTRUCTION DETAILS**
SHEET NUMBER: 9 of 11

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NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SIDE WALL "W"	H (MIN. PIPE COVER) (TRAFFIC)
36" (900 MM)	42" (1067 MM)	18" (457 MM)	12" (292 MM)
42" (1050 MM)	48" (1219 MM)	18" (457 MM)	24" (610 MM)
48" (1200 MM)	54" (1372 MM)	18" (457 MM)	24" (610 MM)
60" (1500 MM)	67" (1702 MM)	18" (457 MM)	24" (610 MM)

UNDERGROUND INFILTRATION BASIN CONSTRUCTION NOTES:

- PRE-CONSTRUCTION:**
- CONTRACTOR SHALL PROCURE THE SERVICES OF A NEW YORK LICENSED PROFESSIONAL ENGINEER TO PERFORM REGULAR OVERSIGHT OF THE CONSTRUCTION OF THE UNDERGROUND INFILTRATION BASIN TO ENSURE ITS EFFECTIVENESS. THE FOLLOWING REQUIRED OVERSIGHT ACTIVITIES INCLUDING, BUT NOT LIMITED TO:
 - PARTICIPATION BY THE ENGINEER AND CONTRACTOR AT A PRE-CONSTRUCTION MEETING TO REVIEW THE CONTRACTOR'S FAMILIARITY WITH CONSTRUCTION OF THE UNDERGROUND INFILTRATION BASIN/BMP.
 - THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN/BMP CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA.
 - ENSURING THAT EARTHWORK DOES NOT OCCUR WITHIN THE LIMITS OF THE BASIN/BMP WHEN THE SOIL MOISTURE CONTENT IS ABOVE THE LOWER PLASTIC LIMIT AND THAT THE SPECIFICATIONS OF THE REPLACEMENT SOIL ARE MET.
 - TESTING EACH SOIL LAYER WHERE THE PERMEABILITY RATE IS CRITICAL PRIOR TO THE PLACEMENT OF THE HDPE PIPES TO ENSURE THAT THE PERMEABILITY RATE OF THE SUBSOIL HAS BEEN RETAINED.
 - THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO ORDERING MATERIALS.
- DURING CONSTRUCTION:**
- ALL EARTHWORK OPERATIONS, INCLUDING EXCAVATION, GRADING AND BACKFILL OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF A NEW YORK LICENSED PROFESSIONAL ENGINEER.
 - DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN/BMP.
 - THE LOCATION OF THE PROPOSED INFILTRATION BASIN/BMP MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES. EXCAVATION AND CONSTRUCTION OF THE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
 - PRIOR TO INSTALLATION OF STONE BEDDING, THE PERMEABILITY RATE OF THE UNDERLYING OR REPLACEMENT SOILS SHALL BE CONFIRMED AND CERTIFIED BY A NEW YORK LICENSED PROFESSIONAL ENGINEER THAT IT MEETS THE MINIMUM DESIGN PERMEABILITY RATE. RESULTS OF THE PERMEABILITY TESTS SHALL BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE PLACEMENT OF THE STONE BEDDING AND HDPE PIPES.
 - UNSATURABLE MATERIALS SHALL BE REMOVED. EXCAVATIONS TO REMOVE HYDRAULICALLY RESTRICTIVE MATERIAL SHALL EXTEND A MINIMUM OF 1' BELOW THE IMPERMEABLE LAYER AND REMOVAL OF THE MATERIAL SHALL BE WITNESSED AND CERTIFIED BY A PROFESSIONAL ENGINEER.
 - THE REPLACEMENT MATERIAL MUST MEET ALL SPECIFICATIONS FOR CLEAN COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33. MEETING AGGREGATE GRADATION SIZE NO. 10 (ASHTO M-43) AND THE MINIMUM TESTED PERMEABILITY RATE IS 8 INCHES PER HOUR. AS CERTIFIED BY A NY LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET.
 - THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO INFILTRATION BASIN/BMP PUT INTO OPERATION.
- PERMEABILITY TESTING REQUIREMENTS:**
- PERMEABILITY TESTING MUST BE PERFORMED ON THE UNDERLYING SOIL BEFORE STONE BEDDING AND HDPE PIPE INSTALLATION IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION IN THE "NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL APPENDIX D: INFILTRATION TESTING REQUIREMENTS".
 - AS REQUIRED BY THE "NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL APPENDIX D: INFILTRATION TESTING REQUIREMENTS", MINIMUM OF 1 PERMEABILITY TEST AND 1 TEST PIT PER 200 SF SHALL BE PERFORMED WITHIN THE BASIN BOTTOM. THE MINIMUM PERMEABILITY RATE OF EACH TEST PIT SHALL BE 0.5 INCHES PER HOUR.
 - IF THE PERMEABILITY RATES DO NOT MEET THE REQUIRED DESIGN RATE NOTED ABOVE, REMEDIAL ACTION MAY BE REQUIRED BY THE CONTRACTOR. THE SOILS BELOW THE INFILTRATION BMP MUST BE EXCAVATED AND REPLACED AND THEN RE-TESTED UNTIL THE REQUIRED DRAIN TIME IS ACHIEVED. ALL POST-CONSTRUCTION SOIL PERMEABILITY TEST RESULTS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- POST-CONSTRUCTION:**
- UPON COMPLETION OF THE BASIN/BMP, THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A PHOTO DOCUMENTATION OF THE UNDERGROUND SYSTEM BEFORE BACKFILL AND AN AS-BUILT SURVEY AFTER THE COMPLETION OF THE UNDERGROUND BASIN/BMP, PREPARED BY A NEW YORK LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL BOTTOM OF BASIN/BMP ELEVATIONS, AND ALL INFORMATION PERTAINING TO THE OUTLET CONTROL STRUCTURE INCLUDING ORIFICE AND WEIR SIZES AND ELEVATIONS. THE OUTLET PIPE AND NEXT DOWN-STREAM DRAINAGE STRUCTURE SHALL BE SURVEYED.
 - THE PROFESSIONAL ENGINEER THAT WITNESSES THE BASIN/BMP CONSTRUCTION AND PERFORMED THE SOIL PERMEABILITY TESTS SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE DESIGN ENGINEER WITH THE RESULTS OF THE PERMEABILITY TESTS.

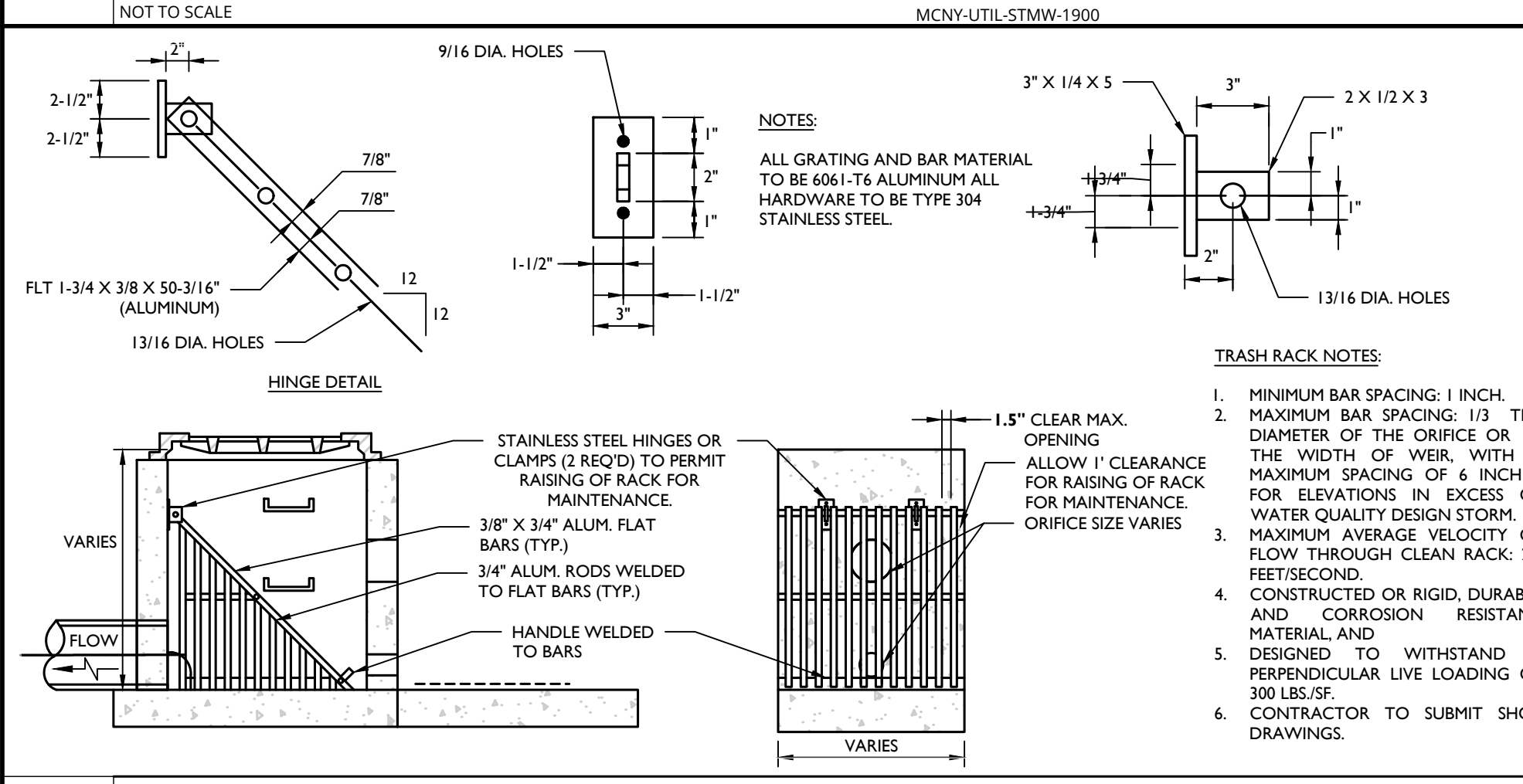
- NOTES:**
- SEE ABOVE CHART SPECIFIC TO MATERIAL/PIPE SIZES PER MANUFACTURER'S SPECIFICATIONS.
 - (H) FOR FLEXIBLE PAVEMENT MAY INCLUDE THE PAVEMENT SUBBASE THICKNESS AS MINIMUM COVER.
 - CLASS I/A BACKFILL MATERIAL PER ASTM 2321 REQUIRED FOR PIPES 60" DIAMETER OR LARGER.

UNDERGROUND INFILTRATION BASIN (OPEN SYSTEM) DETAIL

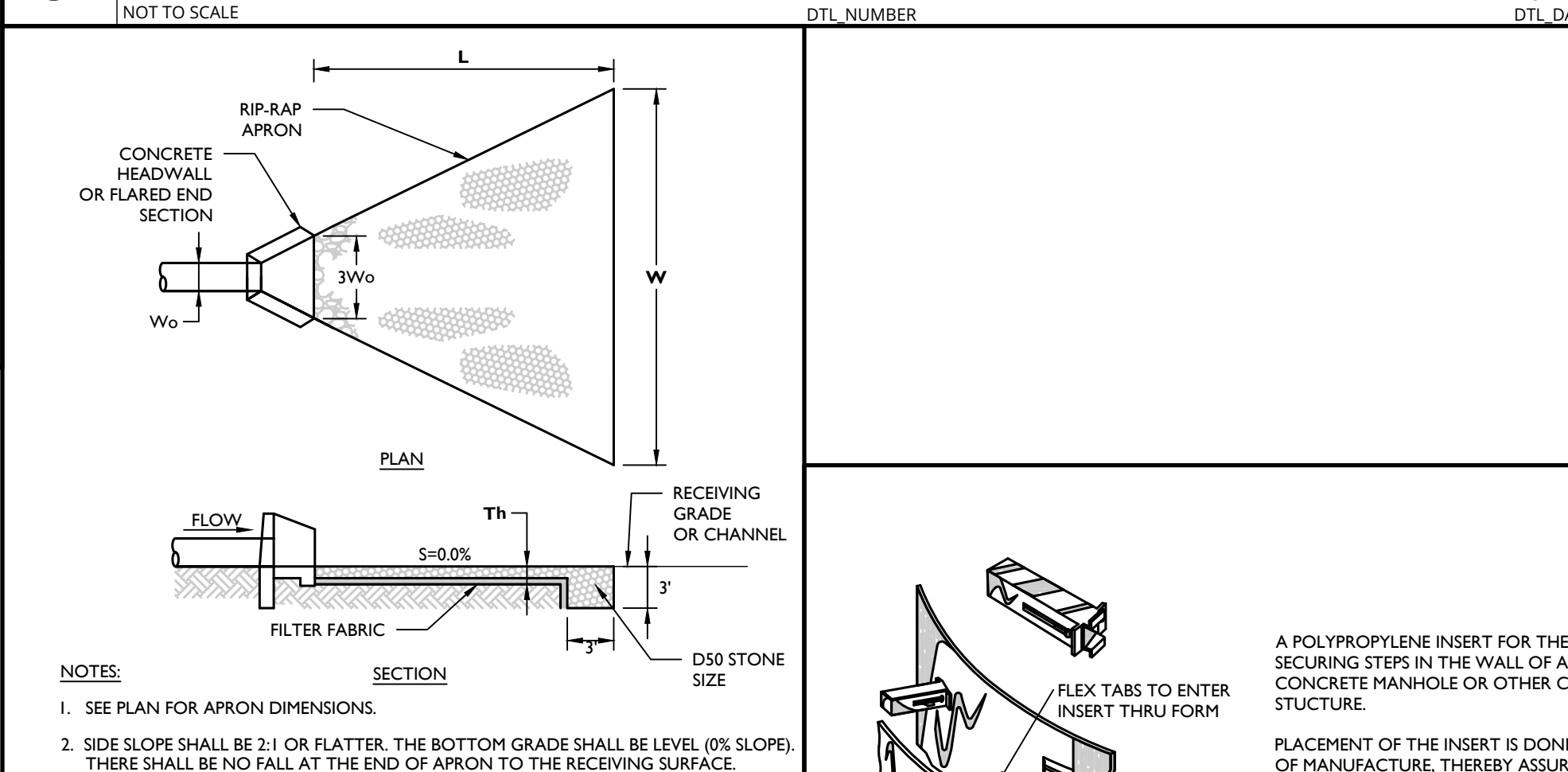
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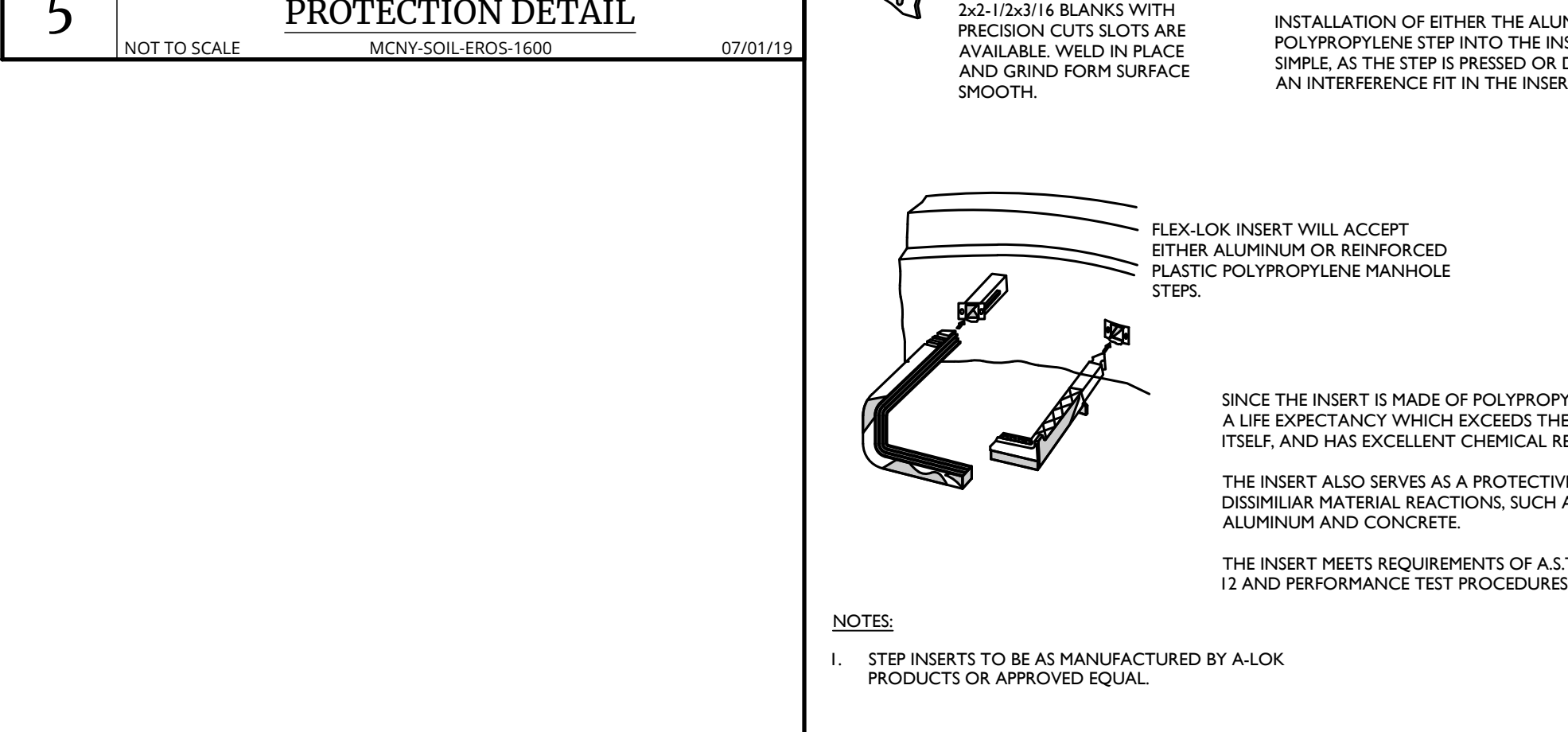
2 OUTLET CONTROL STRUCTURE (WITH TOP SLAB) DETAIL



3 SLANTED TRASH RACK DETAIL



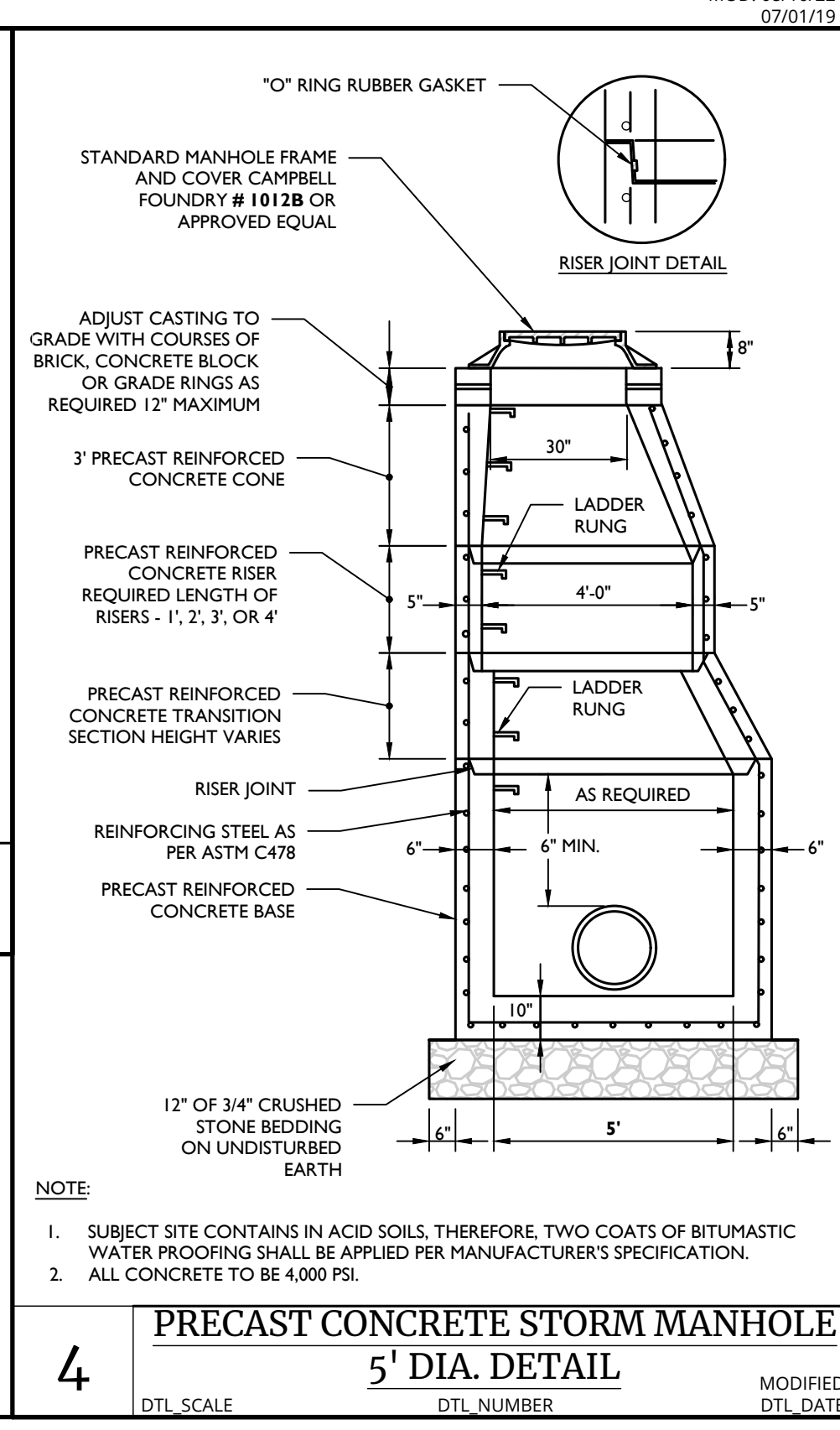
5 CONDUIT OUTLET PROTECTION DETAIL



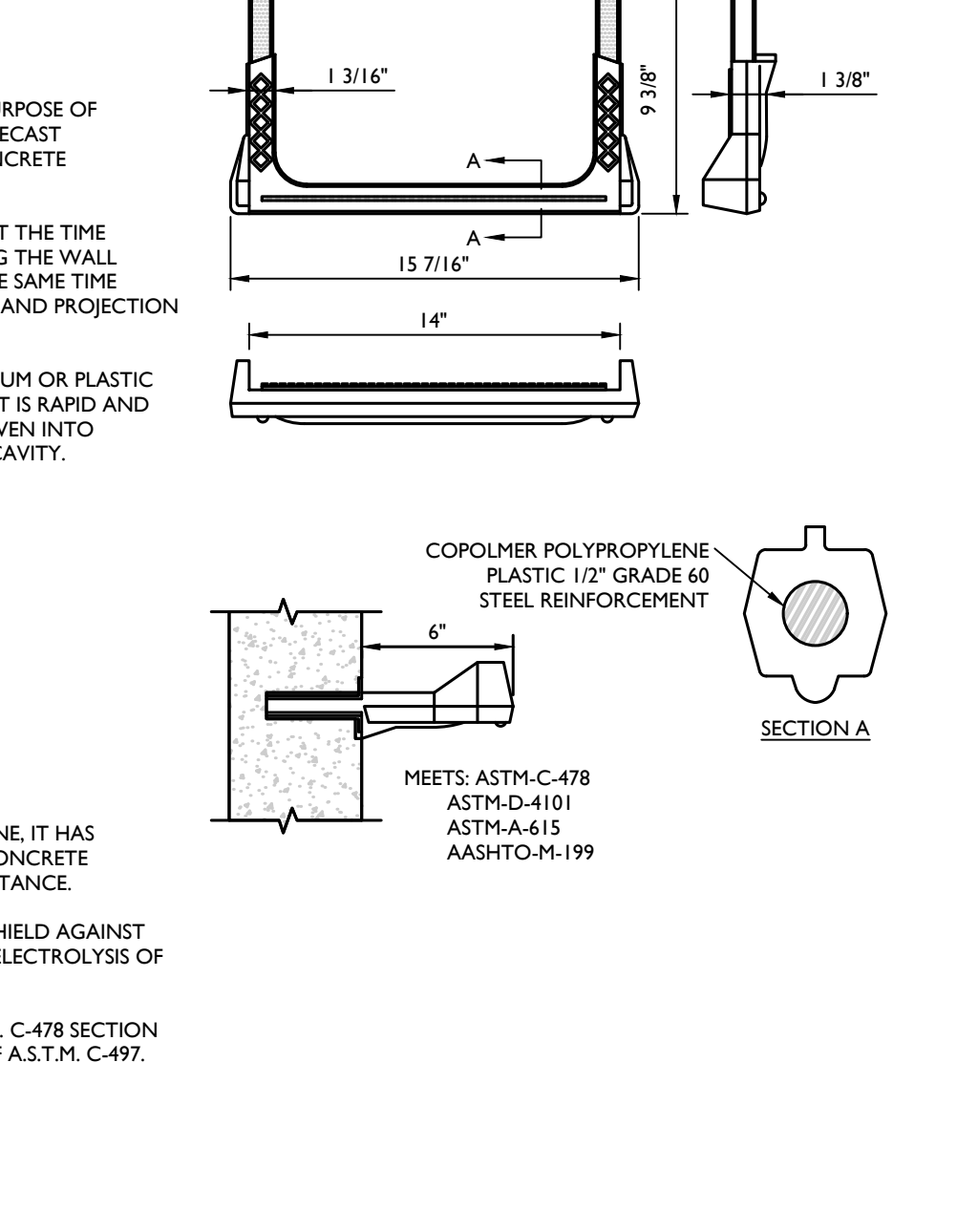
6 LADDER RUNG (COPOLYMER) DETAIL



4 PRECAST CONCRETE STORM MANHOLE 5' DIA. DETAIL



5 CONDUIT OUTLET PROTECTION DETAIL



6 LADDER RUNG (COPOLYMER) DETAIL



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STATE OF NEW YORK
Jesse Barrett Cokerley
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 090987-01
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0077609

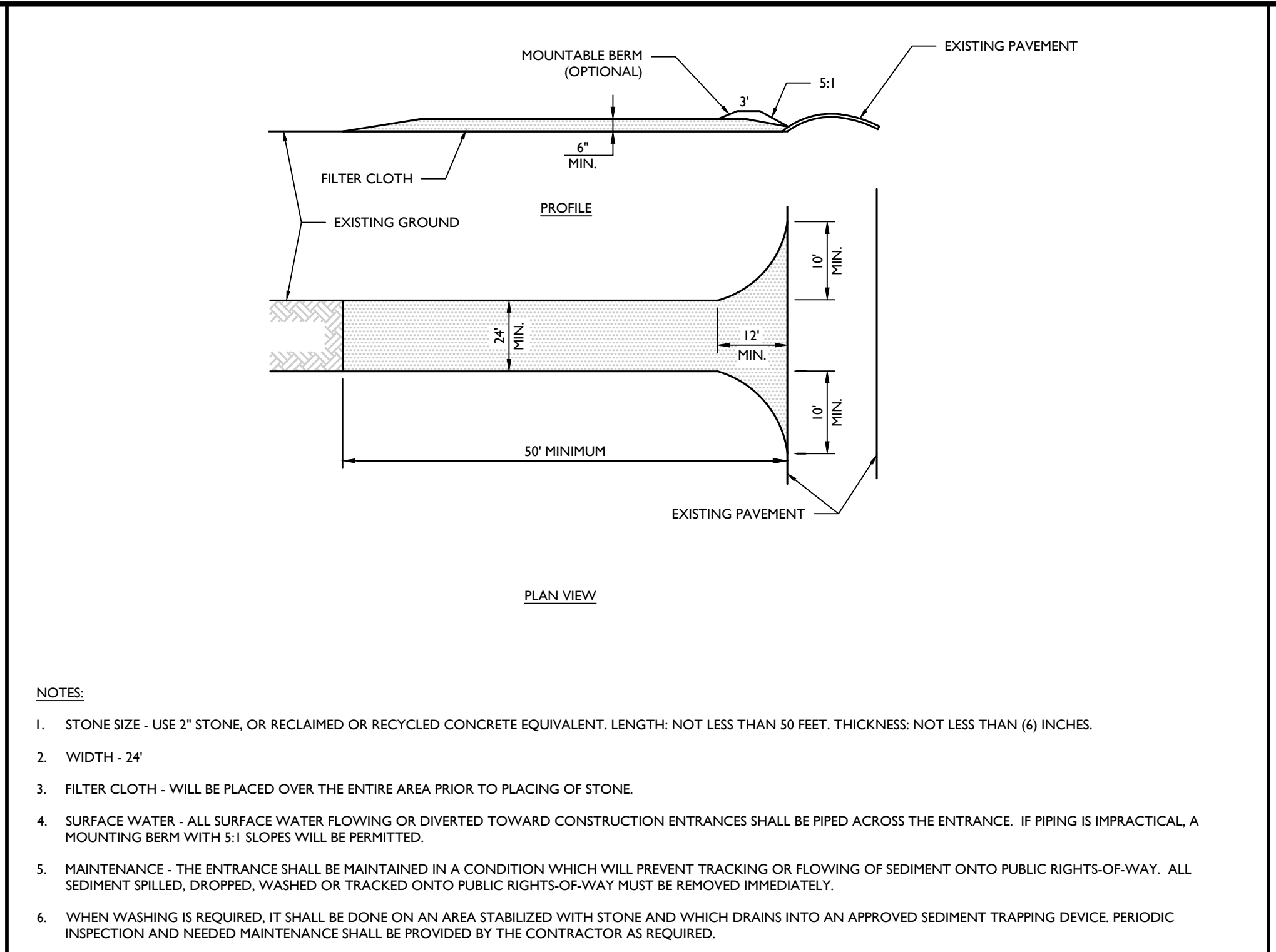
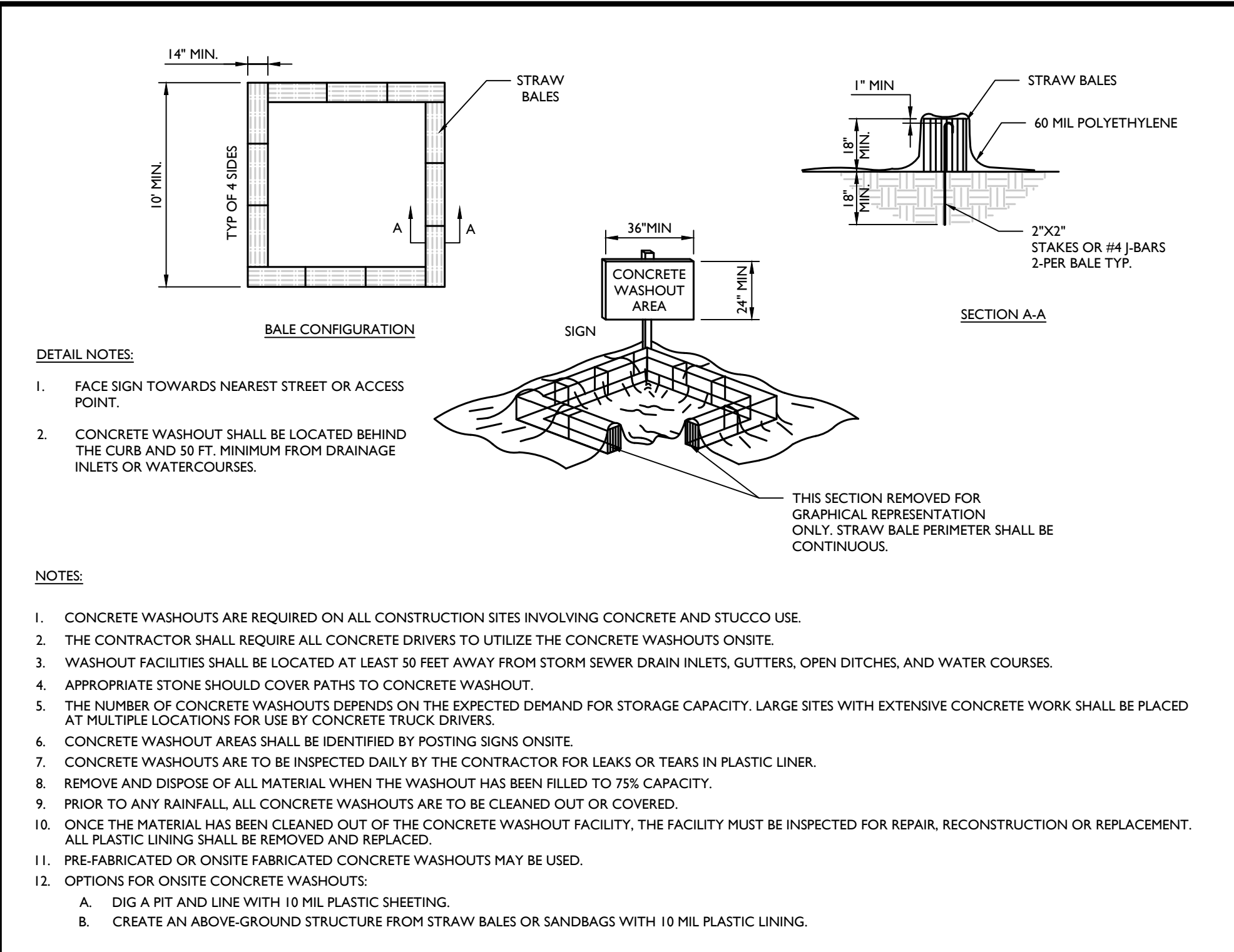
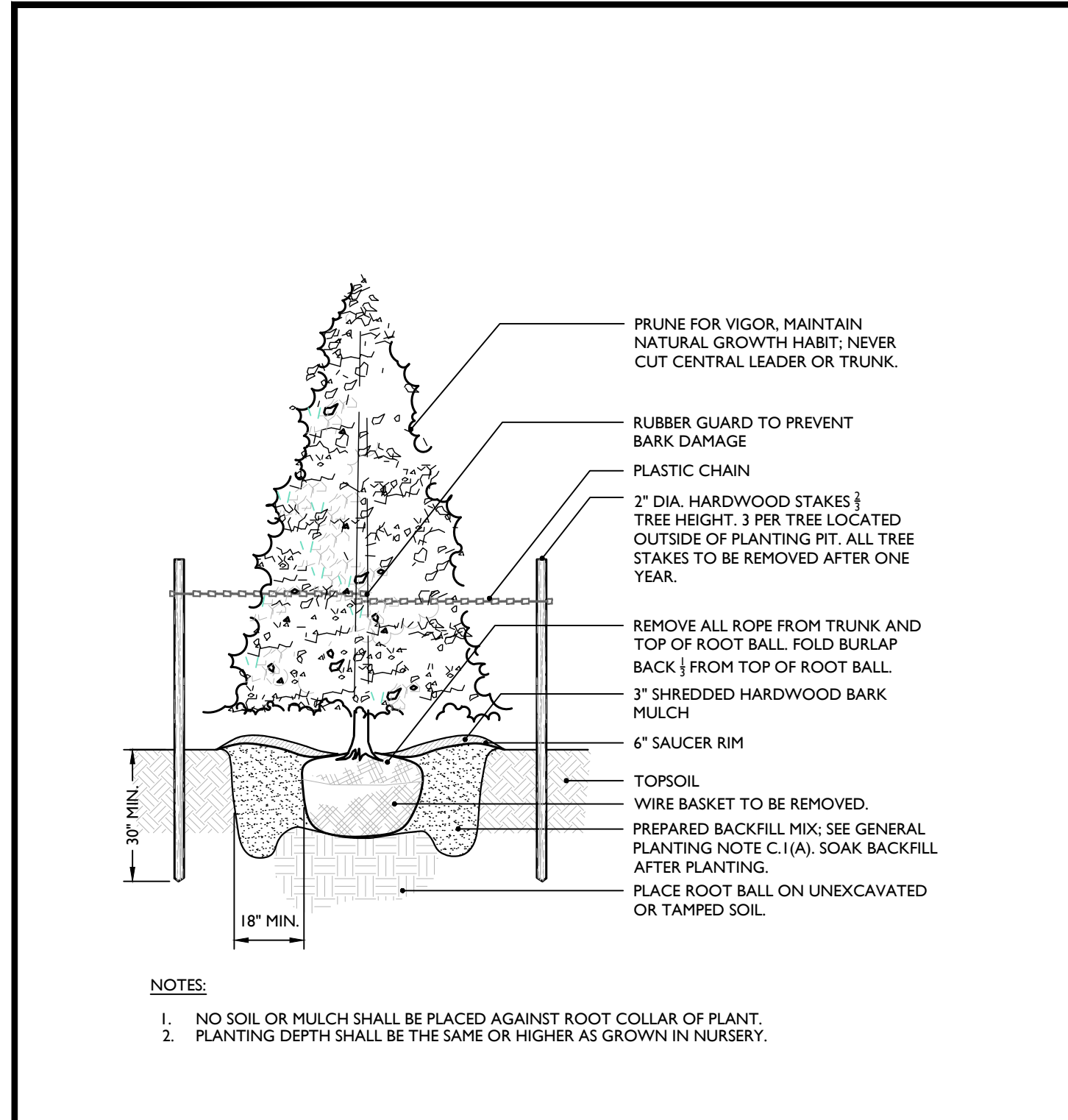
PRELIMINARY SITE PLAN
FOR
ST. THOMAS AQUINAS COLLEGE
SECTION 74.16
BLOCK 1
LOT 2.1
125 ROUTE 340
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

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PROJECT NUMBER: 18001787B DRAWING NAME: C-DTL5

SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: 10 of 11

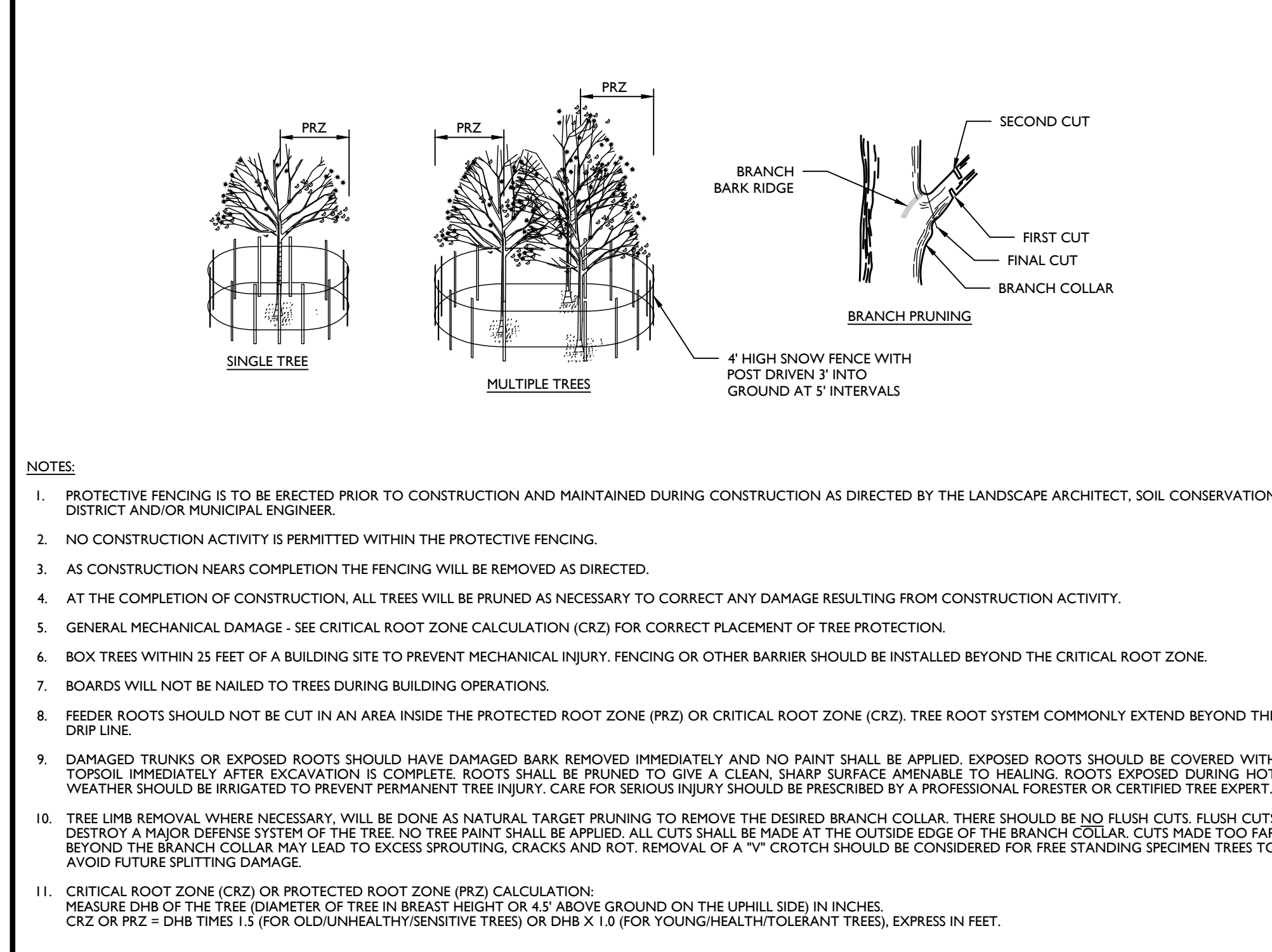
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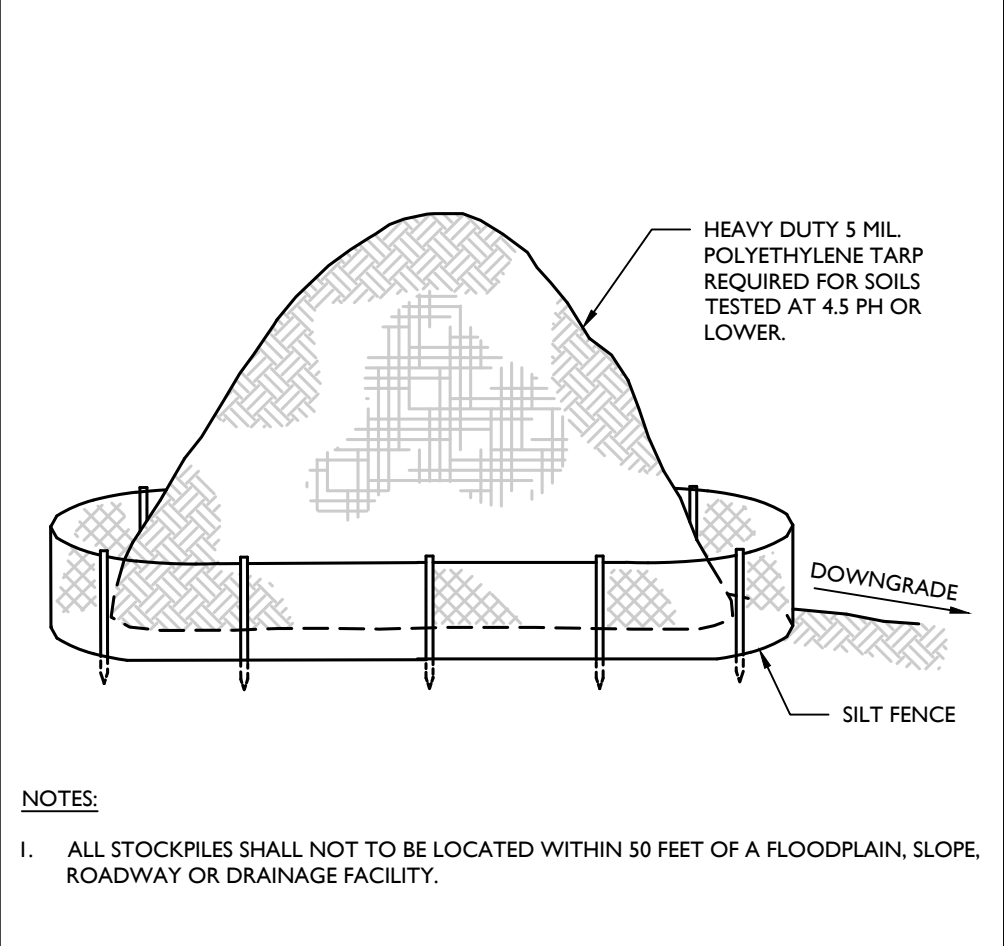
1 EVERGREEN TREE PLANTING DETAIL
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2 CONCRETE WASHOUT DETAIL
MCNY-SOIL-EROS-1700
07/01/19
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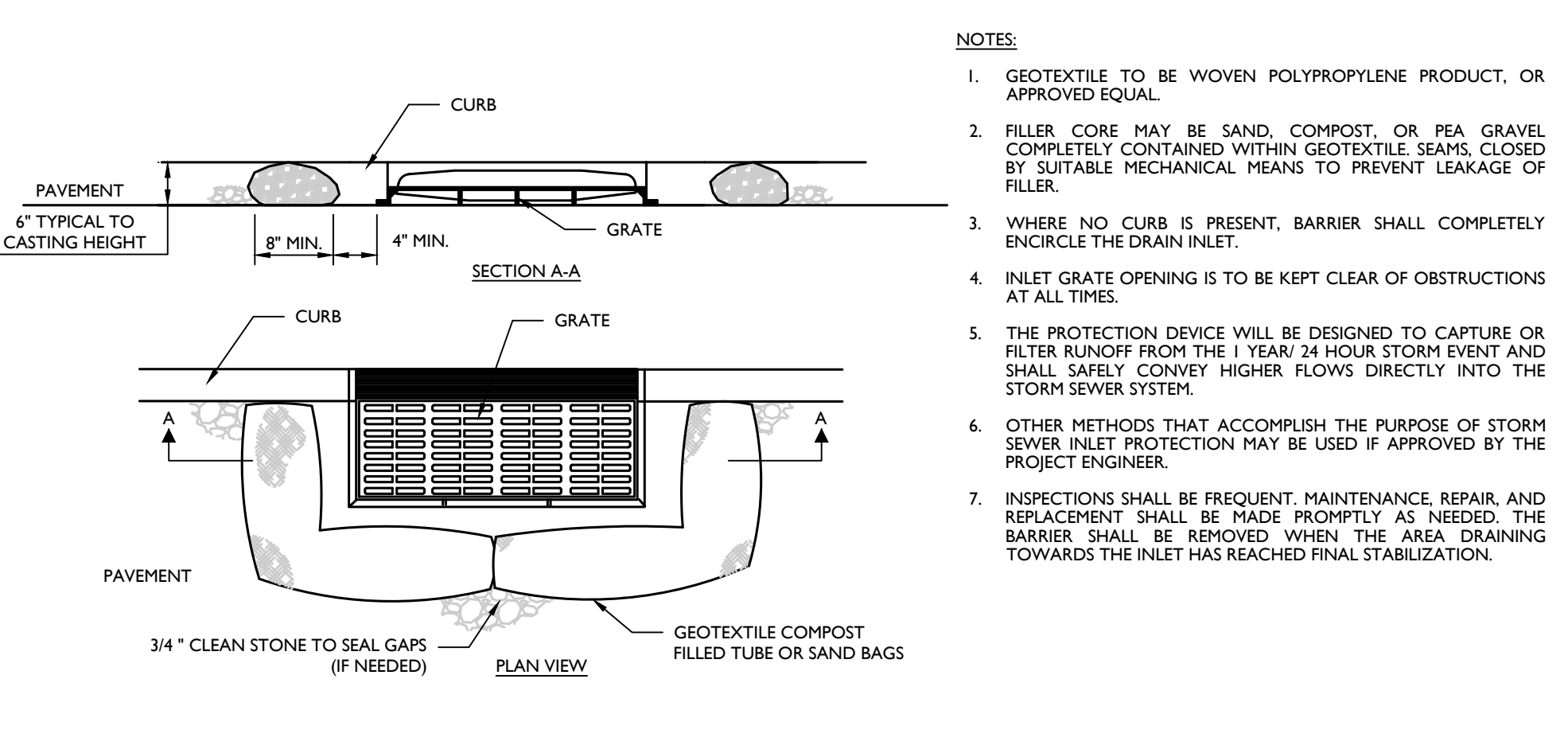
3 STABILIZED CONSTRUCTION ENTRANCE DETAIL
MCNY-SOIL-EROS-1000
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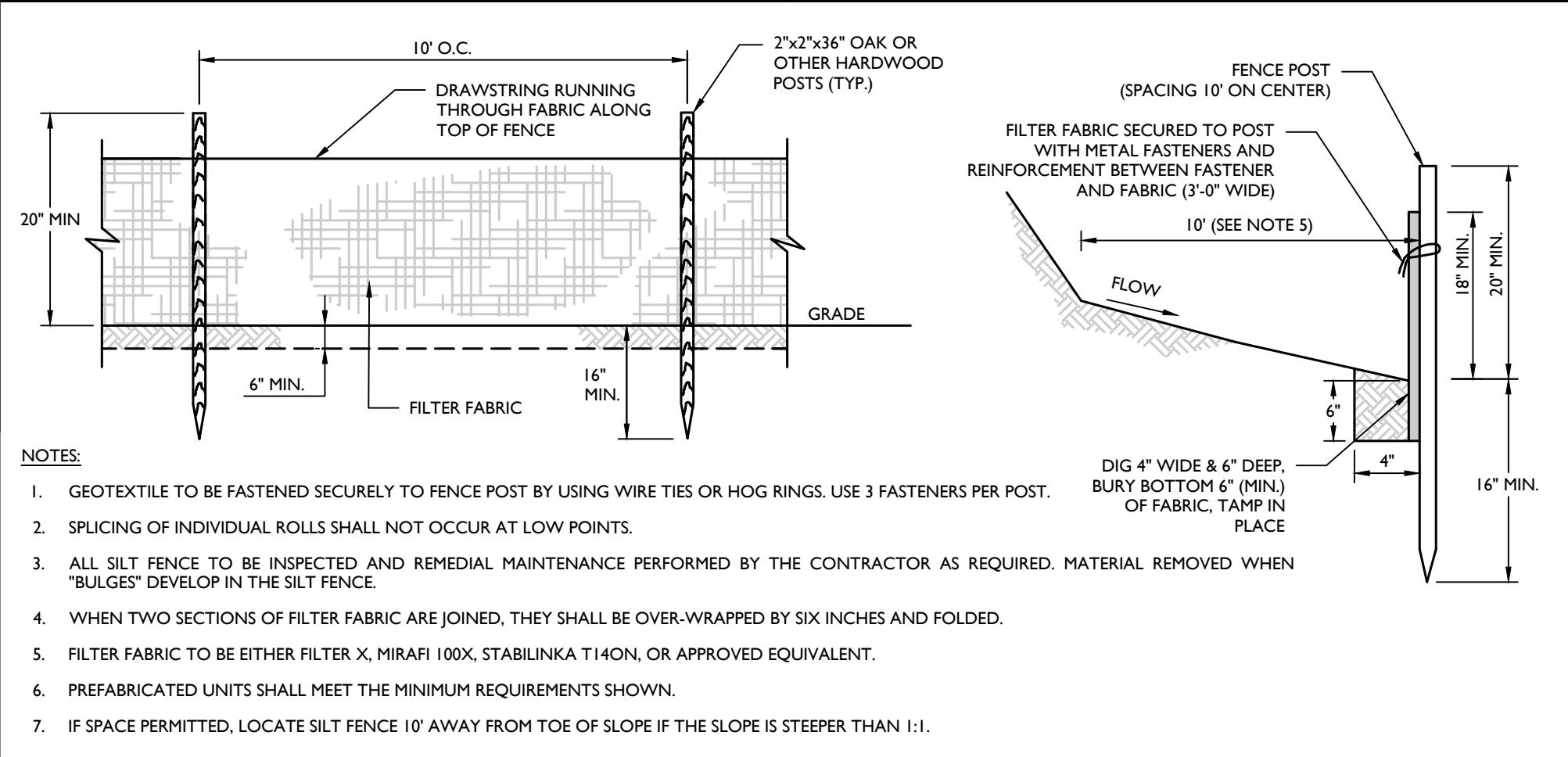
4 TEMPORARY TREE PROTECTION DETAIL
MCNY-SOIL-EROS-2100
07/01/19
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5 TOPSOIL STOCKPILE DETAIL
MCNY-SOIL-EROS-2500
07/01/19
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6 INLET PROTECTION (FILTER BARRIER) DETAIL
MCNY-SOIL-EROS-1500
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7 STANDARD SILT FENCE DETAIL
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