

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 10/17/2024

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-5940-24
 ASSIGNED _____
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Ward Family Trust

Project Name: 234 BETSY ROSS DR. ALTERATION

Street Address: 234 BETSY ROSS DR. ORANGETOWN, NY

Tax Map Designation:

Section: 73.16 Block: 2 Lot(s): 42

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the SOUTH side of BETSY ROSS DR., approximately 82 feet NW of the intersection of RUTGERS RD, in the Town of ORANGETOWN in the hamlet/village of _____.

Acreage of Parcel <u>.34</u>	Zoning District <u>R-22</u>
School District <u>PEARL RIVER</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>Orangeburg</u>	Fire District <u>Orangeburg</u>
Water District <u>veolia</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

EXIST'G TWO FAMILY RESIDENCE SHALL BE ALTERED & EXTENDED. 1ST FLR BD. S SHALL BE EXTENDED TO ADD NEW "WALKIN" CLOSET. THE BED RM. BATH RM SHALL BE EXTENDED FOR NEW PLB. FIXT.S. HALL BATHRM RENOVATED. BSMT EXTENDED BELOW 1ST. FL

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 10/8/24 Applicant's Signature: Matthew Sam
10/16/24 Madelin J Ward





OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962



Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 10.22.24 Section: 73.16 Block: 2 Lot: 42

Applicant: Ward

Address: 234 Betsy Ross Dr, Orangeburg, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12, R-22 District, Group I, Col. 4, Max FAR 20% with 23.65% proposed, Col 8
Min Front Yrd 40' w/ 35' proposed, Col 9, Min Side Yard 25' with 22' proposed.

3 Variances required

Comments:

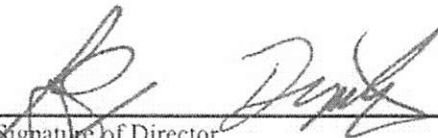
Front Yard, Side Yard and FAR Variances Required

Dear Ward:

Please be advised that the Building Permit Application # 5940-24, which you submitted on 9.24.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,

 10/22/24
Richard Oliver
Deputy Building Inspector

 _____ 10/22/24
Signature of Director Date
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd
CC: Katlyn Bettmann
Elizabeth Decort

MATTHEW OSCAR ARCHITECT

222 Ackertown Rd., Monsey N.Y. 10952 845-371-1444 845-642-7120 MOscar.RA@gmail.com

12-1--2024

TRANSMITTAL page 1 of 2

RE: Ward 73.16-2-42 ZBA submission

To: Katlyn Bettmann

Town of Orangetown
Landuse Boards
26 Orangeburg Road
Orangeburg, NY 10962

Re: ZBA Agenda of November 20th
Response to ZBA Comments
234 Betsey Ross Dr. Alteration

Please find attached the following items delivered by messenger

Revised Drawing A-001 zoning page and A-005 proposed basement plan and A-004 proposed Elevations.

The following text is a copy of your email line item requests. My comments are in red indicating where in the attached revised drawings I have responded to the same.

Show the measurements of all of the different areas of the house----- I added additional dimensions on drawing A-001 & A-005 to clarify the location & size of the Apartment in the basement . The other plans had standard dimensions shown.

This needs to be done clearly on A-005.00 as well. ----- I added additional dimensions on drawing A-005 to clarify the location & size of the Apartment in the basement

Show the apartment approved and the measurements ----- I added additional dimensions on drawing A-005 and A-001 to clarify the location & size of the Apartment in the basement

Show what is being added and the measurements -----SAME AS ABOVE



Show the previous and proposed on the bulk table-----A-001-----This drawing has been updated to highlight the previous existing bulk and the proposed bulk.

Show exactly what is existing and what is being added-----The revised drawings issued show this however both A-001 and A-005 are being revised to make this more clear using additional graphics to demonstrate the same.-

Identify/rename the multi-purpose room--See revised drawing A-005---Room to be called Library-

At the time of the ZBA meeting, it was stated that this will be a storage room, and the garage door is to be removed, this should be labelled as such.-I understand that there was some confusion over this area of the proposed extension. After the meeting I read the zoning text 4.5 segments which the chairman recommended. Zoning Law Chapter 43-4.5 Additional regulations for single-family conversions.

That zoning code section 4.54 states:

“There shall be only a single front entrance to the (total) dwelling.” He wanted the 3’-0”x 6’-8” standard doorway removed in my opinion. I believe he was concerned that the new basement area extension could be used as an additional dwelling space. In this revision drawings we are being clear that this space will be a garage with a single 8’-0 wide garage door only.

It is no longer referred to as a storage space in the revised drawings. It is now clearly designated as a garage and will be used as such. The revised drawing A-004 eliminated this 3’x7’ door

Identify what areas are to be for the apartment, and what areas are to be for the main house. That was already done-The revised drawings highlight the same—in a A-001 diagram and the A-005 plan--

Also show what every area is. Same as above

Identify how many garage(s) there will be, and ensure there are only garage doors on the garages. There will be only two garages as clarified in the revised Plans.

List how many bedrooms are in the house separately and total. A-001 emphasizes the bedroom count.

1 bed room in basement in the restrictive covenant dwelling + 3 bedrooms on the first floor

Thank you for your attention to this matter,

Matthew Oscar
Architect



OFFICE OF THE TOWN ATTORNEY
TOWN OF ORANGETOWN
TOWN HALL
ORANGEBURG, NY 10962



TERESA M. KENNY
TOWN ATTORNEY

JOHN S. EDWARDS
FIRST DEPUTY TOWN ATTORNEY

TELEPHONE
(845) 359-5100
FAX
(845) 359-2715

September 28, 2007

Mr. & Mrs. Michael C. Ward
234 Betsy Ross Drive
Orangeburg, NY 10913

RE: Restrictive Covenant
234 Betsy Ross Drive, Orangeburg

Dear Mr. & Mrs. Ward:

This Office is in possession of a copy of a Restrictive Covenant regarding the above-referenced premises given to us by your contractor, George. Same has been recorded in the Rockland County Clerk's Office (copy enclosed) and does meet the standards of the Town of Orangetown as same apply to such Covenant.

Should you require any further assistance, please do not hesitate to contact this Office.

Very truly yours,

Kevin T. Mulhearn
Deputy Town Attorney

:bjd
enc.
cc: Debbie Arbolino, Adm. Aide, ZBA



Paul Piperato, County Clerk
1 South Main St Ste 100
New City, NY 10956
(845) 638-5221

Rockland County Clerk Recording Cover Sheet

Received From :
MICHAEL WARD
234 BETSY ROSS DR
ORANGEBURG NY 10962

Return To :
MICHAEL WARD
234 BETSY ROSS DR
ORANGEBURG NY 10962

First GRANTOR

WARD, MICHAEL

First GRANTEE

-RESTRICTIVE COVENANT

Index Type : Land Records

Instr Number : 2007-00014272

Book : Page :

Type of Instrument : Restrictive Covenant
Type of Transaction : Declaration

Recording Fee : \$39.00

Recording Pages : 4

Restrictive

Covenant

*TO: Town Attorney
Office for Review
per Decision 7/11/07*

Recorded Information

State of New York

County of Rockland

I hereby certify that the within and foregoing was
recorded in the Clerk's office for Rockland
County, New York

On (Recorded Date) : 03/28/2007

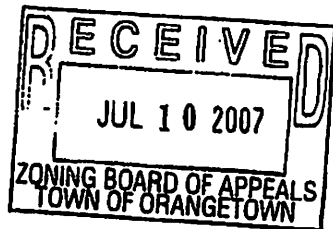
At (Recorded Time) : 7:14:42 AM



Doc ID - 017277210004

Paul Piperato

Paul Piperato, County Clerk



This sheet constitutes the Clerks endorsement required by Section 319 of Real Property Law of the State of New York

Entered By: COUNTER1 Printed On : 03/28/2007 At : 7:15:26AM

DECLARATION OF RESTRICTIVE COVENANTS

March 21, 2007

Michael & Madeline WARD RESIDING AT: 234 Betsy Ross Drive, Orangeburg
New York HEREINAFTER REFERRED TO AS THE "OWNER".

WHEREAS, THE OWNER HOLDS IN FEE ALL THAT CERTAIN TRACT OF LAND DESCRIBED IN
SCHEDULE "A" ATTACHED HERETO AND PART HEREOF: HEREINAFTER REFERRED TO AS THE PREMISES;
AND

WHEREAS, SAID OWNER DESIRED THE ISSUANCE OF A BUILDING PERMIT AND/OR A
CERTIFICATE OF OCCUPANCY FOR THE CONVERSION OF A DETACHED, OWNER-OCCUPIED SINGLE-
FAMILY DWELLING SO AS TO ADD ONE ADDITION, SUBORDINATE DWELLING UNIT UNDER THE PROVISIONS
OF LOCAL LAW NO. 7, 1981, AS AMENDED;

AND

WHEREAS, UNDER SAID LOCAL LAW NO. 7, 1981, THE TOWN OF ORANGETOWN REQUIRES CERTAIN
PROTECTIVE RESTRICTIONS, CONDITIONS, LIMITATIONS AND COVENANTS BEFORE ISSUANCE OF A
BUILDING PERMIT AND/OR A CERTIFICATE OF OCCUPANCY, WHICH SHALL BE AS HEREINAFTER PROVIDED,
AND THE OWNER CONSENTS THERETO;

NOW THEREFORE, SAID OWNER HEREBY DECLARES THE PREMISES TO BE SUBJECT TO THE
FOLLOWING COVENANT:

1. THAT IN THE EVENT THE OCCUPATION OF THE PREMISES BY THE OWNER, HIS OR HER
SPOUSE OR THE SURVIVOR OF THEM CEASES, THE DWELLING AUTOMATICALLY REVERTS TO ONE
DWELLING UNIT, WITHOUT FURTHER ACTION OF THE TOWN BOARD OR ANY LOCAL DEPARTMENT, AGENCY
OR BUREAU HAVING JURISDICTION.

IN WITNESS WHEREOF, THE OWNER (S) HAVE DULY EXECUTED THIS DECLARATION OF THE DAY
AND YEAR ABOVE INDICATED.

Madeline S. Ward
Michael C. Ward

SWORN BEFORE ME THIS _____ DAY OF _____

20 _____

NOTARY PUBLIC, STATE OF NEW YORK

UNIFORM FORM OF SUBSCRIBING WITNESS ACKNOWLEDGMENT

STATE OF NEW YORK
COUNTY OF ROCKLAND)SS.:

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, the Subscribing witness(es) to the foregoing instrument, with whom I am personally acquainted who, being by me duly sworn, did depose and say that he/she/they reside(s) in (If the place of residence is in a city, include the street and street number, if any, thereof); that he/she/they know(s) _____ to the individual(s) described in and who executed the foregoing instrument; that said subscribing witness(es) was/were present and saw said _____ execute the same; and that said witness(es) at the same time subscribed his/her/their name(s) as a witness thereto.

Notary Public

UNIFORM FORM OF ACKNOWLEDGEMENT

STATE OF NEW YORK
COUNTY OF ROCKLAND)SS.:

On the 21st day of March, in the year 2007, before me, the undersigned, a Notary Public in and for said State, personally appeared ^{MAD. L. WARD} ~~Michael Ward~~, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name(s) is (are) _____, subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Jo Ann Amelio
Notary Public

JO ANN AMELIO
Notary Public, State of New York
No. 01AM5029868
Qualified In Richmond County
Commission Expires 7/10

880

THIS INDENTURE, made the 12th day of December, nineteen hundred and Ninety

BETWEEN

M. Glazer and Georgina P. Glazer, husband and wife
234 Betsy Ross Drive
Orangetown, New York 10962

party of the first part, and

Michael C. Ward and Madeline J. Ward, husband and wife
135 West Washington Avenue
Pearl River New York 10965

party of the second part,

WITNESSETH, that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, its successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Orangetown, County of Rockland and State of New York, known and designated as Lot 253 on a certain map entitled "Betsy Ross Estates, Section Three" filed in the Rockland County Clerk's Office on May 1st, 1972 in Book 83 of Maps at Page 72 as Map No. 4272 and said lot is more particularly bounded and described as follows.

BEGINNING at an iron pin in the Southerly line of Betsy Ross Drive, distant Northwesteily 82.00 feet from the Northwesteily end of the curve connecting the Southerly line of Betsy Ross Drive with the Westeily line of Rutgers Road West, said beginning point being the Northwesteily corner of the premises and the Northeasteily corner of Lot 254 on the aforesaid filed map; running thence

- 1) South 61° 31' 42" East along the Southerly line of Betsy Ross Drive, a distance of 82.00 feet to a point of curve; running thence
- 2) On a curve to the right having a radius of 25.00 feet, the arc length of 43.16 feet to a point on the Westeily line of the Rutgers Road West; running thence
- 3) South 36° 23' 30" West along the Westeily line of Rutgers Road West a distance of 20.52 feet to a point of curve; running thence
- 4) Continuing along the Westeily line of Rutgers Road West on a curve to the left having a radius of 285.00 feet the arc length of 101.50 feet to an iron pin at the Southeasteily corner of the premises, said point also being the Northeasteily corner of lands now or formerly of the Town of Orangetown; running thence
- 5) North 62° 31' 42" West along the Southerly line of the premises and the Northerly line of said lands of the Town of Orangetown, a distance of 105.73 feet to an iron pin at the Southwesteily corner of the premises said point also being the southeasteily corner of Lot 254 on said filed map; running thence
- 6) North 27° 28' 15" East along the division line between Lots 253 & 254 on the aforesaid filed map, a distance of 150.00 feet to an iron pin at the Southerly line of Betsy Ross Drive, the Northwesteily corner of the premises, the Northeasteily corner of Lot 254 on the aforesaid filed map, the point or place of BEGINNING.

Being the same premises conveyed to the Grantors herein by Deed from Teroses Construction Corp., Dated November 15th, 1974, and recorded on November 19th in Liber 955 of Deeds at pg 976.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any street roads abutting the above described premises to the center lines thereof; TOGETHER with the appurte and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND HOLD the premises herein granted to the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covepants that the party of the second part has not done or suffered an

Distribution:

**TOWN OF ORANGETOWN
ZONING BOARD OF APPEALS DECISION**

**SECTION 4.52: CREATE AN ADDITIONAL DWELLING UNIT
APPROVED**

To:	Madeline and Michael Ward 234 Betsy Ross Drive Orangeburg, New York 10965	ZBA#07- 68 July 5, 2007 Page 1 of 4
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FROM: Orangetown Planning Board

RE: The Application of Madeline and Michael Ward for a variance from Chapter 43, Section 4.52, R-15 District, "There shall be no significant exterior change and no new structures built on the property within the past 10 years so as to create an additional dwelling unit", for an addition to an existing single-family residence. Premises are located at 234 Betsy Ross Drive, Orangeburg, New York and is identified on the Orangetown Tax Map as Section 73.16, Block 2, Lot 42; R-22

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held Thursday, July 5, 2007, at which time the Board made the following determination hereinafter set forth.

Madeline and Michael Ward and Dorothy Scarpa appeared and testified. The following documents were presented:

1. Architectural Plans prepared by Kathryn Connell, R.A., dated April 9, 2007.
2. A copy of a Survey prepared by Adler & Young, P.C., dated December 20, 1993.
3. A copy of a site plan noting the proposed addition.

On advise of Mr. Magrino, Attorney to the Zoning Board of Appeals, Mr. Mowerson, Chairperson, moved for a Board determination that the foregoing application is a Type II action under SEQRA regulations which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as followed: Ms. Albanese, aye; Mr. Sullivan, absent; Ms. Castelli, aye; Mr. Doherty, aye; and Mr. Mowerson, aye.

TOWN OF ORANGETOWN
JUL 19 02:56
TOWN OF ORANGETOWN

Mrs. Ward testified that the addition was needed for her mother and father to move into the house. Senior citizen development house was not an option and the house needed to be expanded to accommodate the family's needs. Mrs. Ward noted that her father had arthritis and needed to live on one level.

Mr. Mowerson read from Section 4.5 of the Town Code of Orangetown, stating that the applicant needed to sign a Covenant regarding reversion of the dwelling back to a single family dwelling when the Wards move out. Mrs. Ward stated that she has already filed the Covenant with Rockland County Clerk's Office. Mr. Magrino, Town of Orangetown Deputy Town Attorney, requested that Mrs. Ward provide the document to the Town of Orangetown for review and approval.

Mrs. Ward noted that they did not want to convert the garage into living space and construct a new garage on the other side of the house. This would have created the need to disturb the landscaping and property. Mr. Ward stated that they have two children who drive therefore; there are four cars in the family.

Ms. Castelli requested information regarding the impact on the neighborhood. Mrs. Ward stated that she has had discussions with the abutting property owners, who are in support of the proposed addition to her house.

Public Comment:

No Public Comment.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

TOWN CLERK, OFFICE

JUL 19 2:56 2

TOWN OF ORANGETOWN

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of property, hearing all the testimony and reviewing the documents presented, the Board found and concluded that:

1. The requested **Section 4.52: Create an Addition Dwelling Unit Variance**, would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties.
2. The requested **Section 4.52: Create an Addition Dwelling Unit Variance** would not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
3. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining variances.

DECISION: In view of the foregoing and testimony and documents presented, the Board: **RESOLVED**, that the application for the requested **Section 4.52: Create an Additional Dwelling Unit Variance is APPROVED and that the Covenant regarding reversion of the dwelling back to a single family dwelling (as required under Section 4.5) be provided to the Town of Orangetown Town Attorney Office for review and approval in substance and form;** and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which the are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested by only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational verification purposes relative to any variances being requested.

TOWN CLERK OF TOWN

JUL 19 12:56 2

TOWN OF ORANGETOWN

- (iv) A building permit as well as any other necessary permits must be obtained with a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the Building Department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

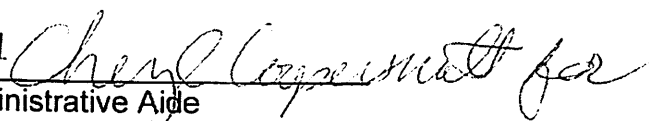
- (v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other Board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested **Section 4.52: Create an Additional Dwelling Unit Variance** was presented and moved by Ms. Castelli, seconded by Ms. Albanese, and carried as follows: Ms. Albanese, aye; Mr. Sullivan, absent; Ms. Castelli, aye; Mr. Doherty, aye; and Mr. Mowerson, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the Office of the Town Clerk.

DATED: July 5, 2007

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Administrative Aide
Deborah Arbolino

Distribution:

TOWN OF ORANGETOWN

Lot #253 Betsy Ross Estates Sec. III

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK 10962

CERTIFICATE OF OCCUPANCY

Certificate No. 14981 Issued November 6th 19 74

Owner of Property Torsoe Brothers Construction Corporation

Address of Owner 21 Madison Hill Road, Suffern, N. Y.

FOR PROPERTY LOCATED

Street Betsy Ross Drive Hamlet Nauraushaun, N. Y.

Section 31 Block 347 Lot 253

THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the
Dwelling

situated on the above mentioned premises for the purposes specified below:

ZONE R22

PERMITTED USE New 1-Family Dwelling, with
2-Car Garage Under.

T. Di Lorenzo

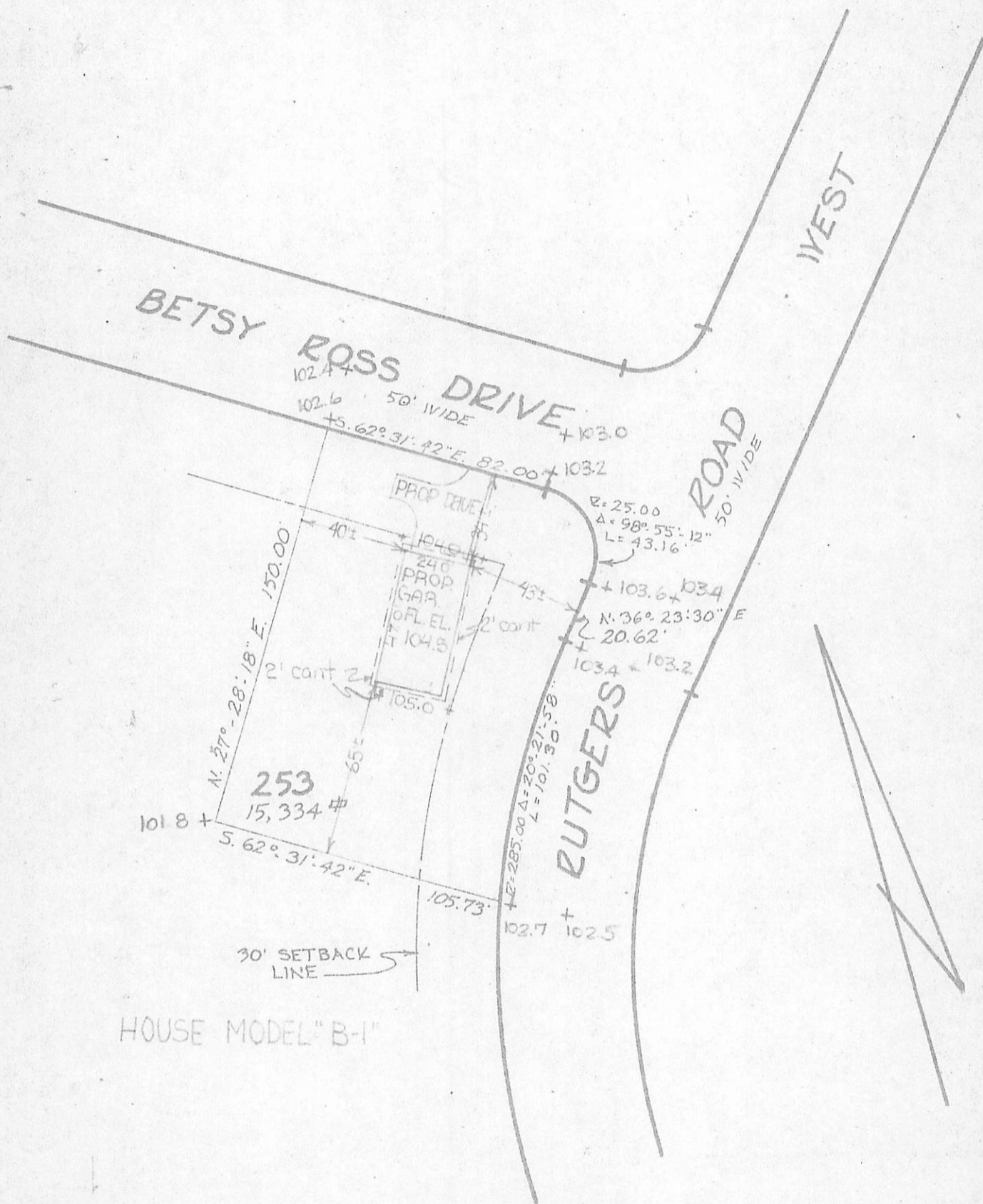
DIRECTOR

SURVEY
OF
PROPERTY
AT
NAURAUSHAUN

TOWN OF ORANGETOWN

ROCKLAND COUNTY

NEW YORK



CERTIFIED CORRECT AND ACCURATE TO

TAX MAP
BEING LOT 253 BLOCK SECT 3
MAP OF BETSY ROSS ESTATES
FILED IN THE OFFICE OF THE
ROCKLAND COUNTY CLERK
ON AS MAP No.
SCALE: 1" = 50' DATE 7-20-72

FABIAN C. ADLER & ASSOCIATES
PROFESSIONAL ENGINEERS
4 INDEPENDENCE AVE., TAPPAN, N. Y.

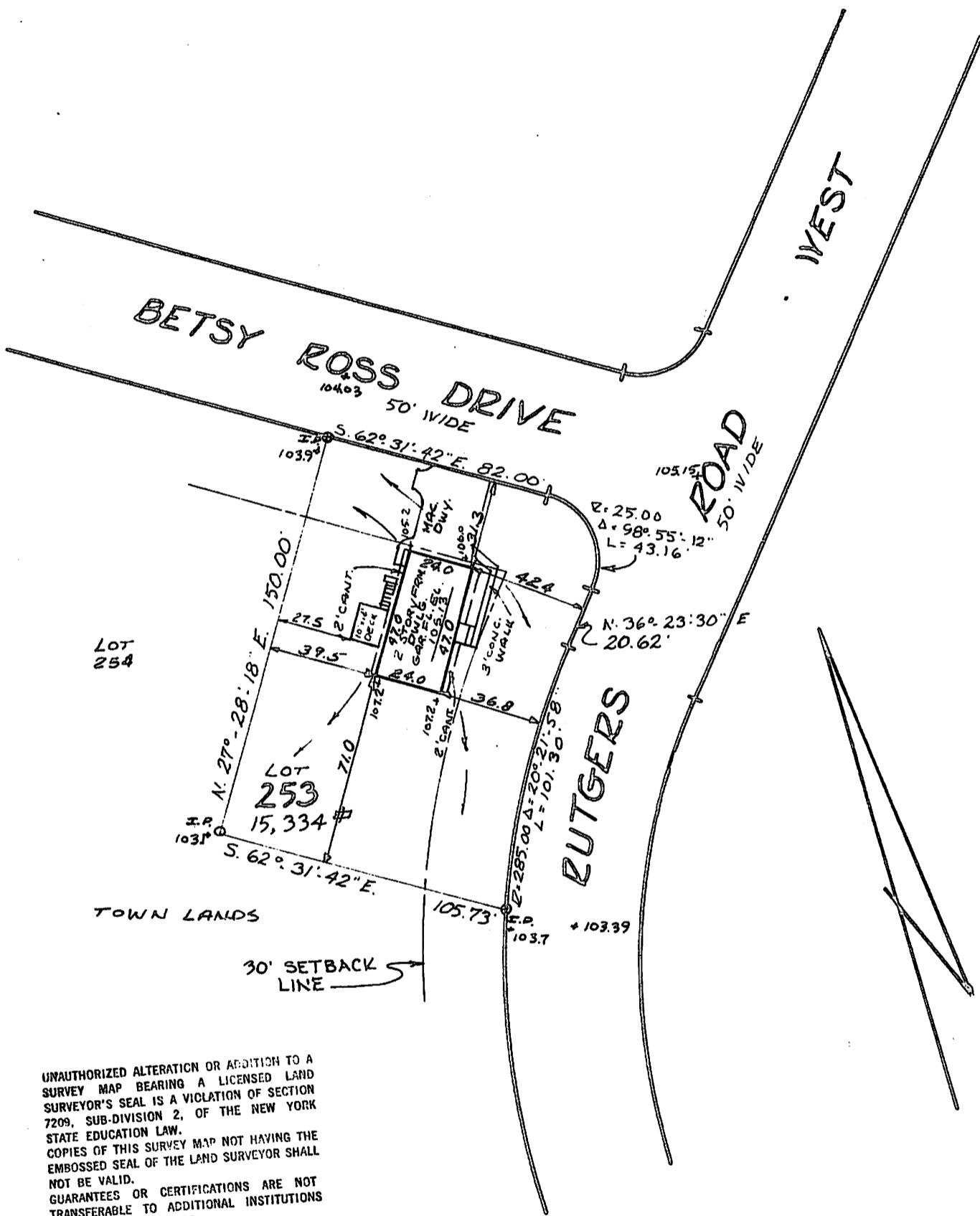
DWG. No.
REV.
SURVEY
PLOT I.D.S.
CHECK

SURVEY
OF
PROPERTY
AT
'NAURAUSHAUN'

TOWN OF ORANGETOWN

ROCKLAND COUNTY

NEW YORK



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

HOUSE MODEL - B
BI-LEVEL

CERTIFIED CORRECT AND ACCURATE TO
CITY BANK MID HUDSON N.A. &
CHICAGO TITLE INSURANCE COMPANY,
HOME TITLE DIVISION.

TAX MAP
BEING LOT 253 BLOCK
MAP OF BETSY ROSS ESTATES
FILED IN THE OFFICE OF THE III
ROCKLAND COUNTY CLERK
ON 5-1-72 AS MAP No. 4272
BK. 83 PG. 72
SCALE: 1" = 50' DATE

John P. Hoffman P.L.S. # 48355
ADLER, CARUSO & YOUNG
PROFESSIONAL ENGINEERS
4 INDEPENDENCE AVE., TAPPAN, N. Y.

UNDER CONSTRUCTION - 10-26-73
FINAL SURVEY & I.P.'S SET - 10-17-74

DWG. No.
REV.
SURVEY
PLOT W.D.S.
CHECK

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK 10962

CERTIFICATE OF OCCUPANCY

Certificate No. 22227 Issued August 24, 1988
Owner of Property Martin & Georgiann Glazer
Address of Owner 234 Betsy Ross Dr., Orangeburg, N.Y. 10962

FOR PROPERTY LOCATED

Street Betsy Ross Dr. Hamlet Nauraushaun
Section 31 Block 349 Lot 253

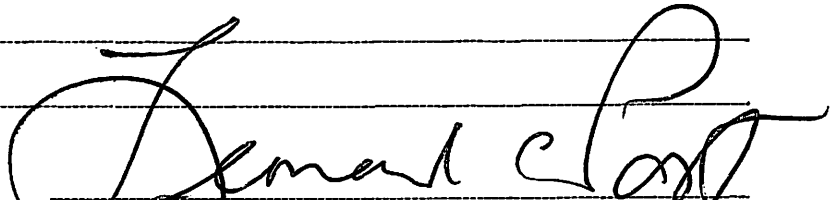
THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the
One family dwelling

situated on the above mentioned premises for the purposes specified below:

ZONE R 22

PERMITTED USE Two wooden decks, #1-8'x10' and #2-15'x20' at the
side of a one family dwelling.

It is recommended that wood decks be adequately maintained and
periodically inspected for soundness.



DIRECTOR

Office of Building, Zoning
and Planning Administration and Enforcement
Town of Orangetown, Rockland County, New York

CERTIFICATE OF OCCUPANCY

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

Certificate No: 37429

Issue Date: 03/26/2009

Owner of Property: Michael and Madeline Ward
Address of Owner: 234 Betsy Ross Drive Orangeburg NY

Location: 234 Betsy Ross Drive Orangeburg NY 10962

Present use of structure or land: Residential Dwelling

S-B-L: 71.16-2-42 (n)

ZONED: R22

Const Type:

Occ Class:

Use of Permit: RESI ALT ADD

Census Code: 434

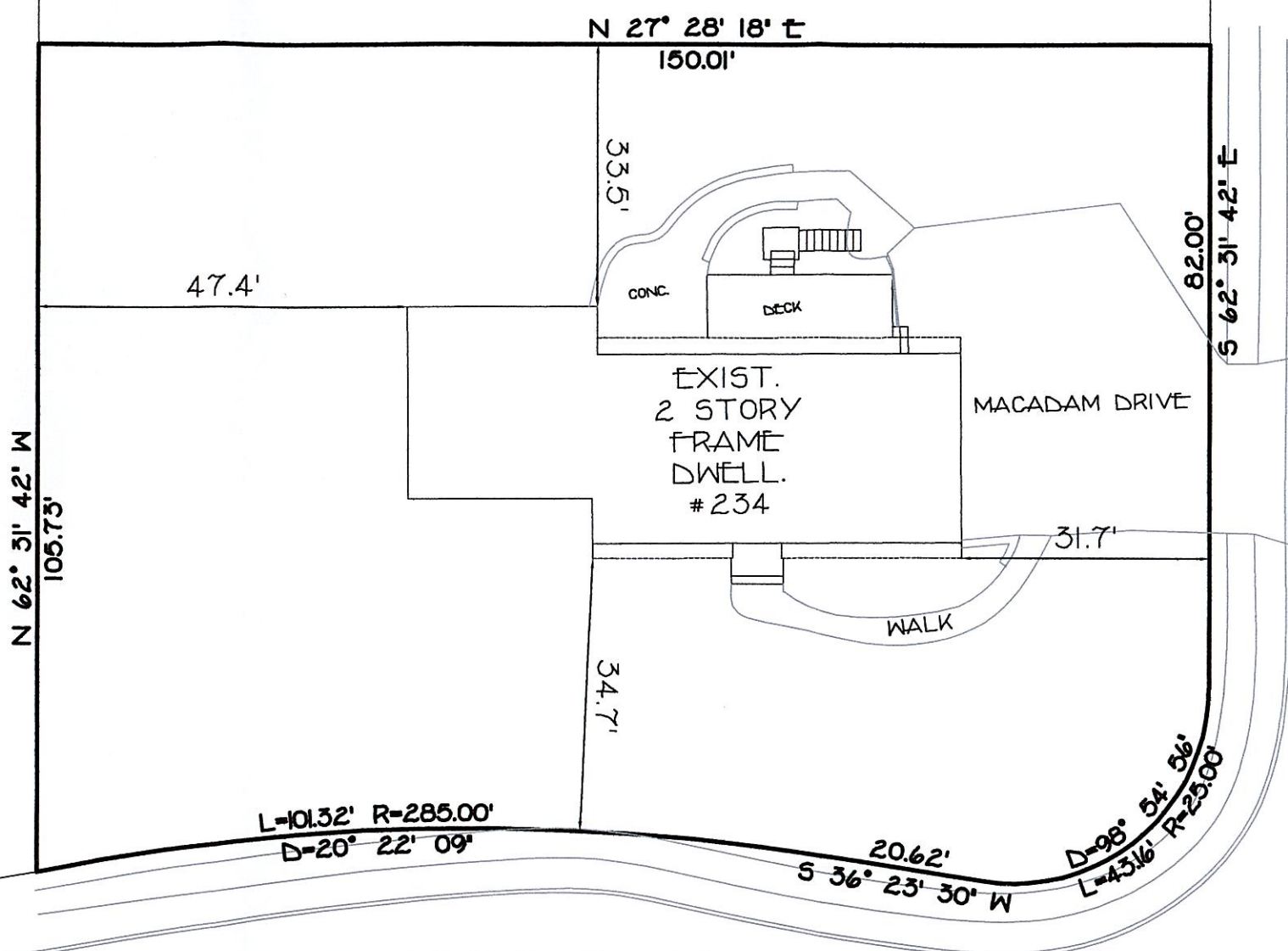
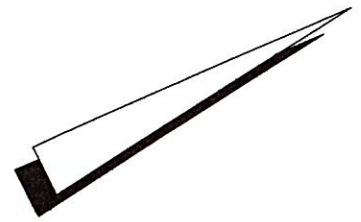
THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the premises herein described, situated on the above mentioned premises for the purposes specified as follows.

Use and designation for the structure or land and nature of work for which this C.O. is issued:

Two story addition to left side renovation in existing basement
first floor addition to deck restructured two family as per
ZBA # 07-68



Director, OBZPAE



NOTE:
 "IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY."
 "ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR."
 "THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR, EXCEEDS THE SCOPE OF THE ENGAGEMENT."
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
 EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER ARE NOT VALID.
 CERTIFICATE OF TITLE IS REFERABLE TO ADDITIONAL INSTITUTIONS AND SUBSEQUENT OWNERS.
 USE OF THIS MAP IN ANY TRANSACTION, OR FILING WITH ANY AGENCY OR OFFICE IS AN UNLAWFUL VIOLATION OF FEDERAL COPYRIGHT LAWS.



ANTHONY R. CELENTANO, L.S. LIC. #050633

RUTGERS ROAD W.

Town of Orangetown
 MEETING OF:
 NOV 20 2024
 ZONING BOARD OF APPEALS

LOT AREA = 15,335.3 SQUARE FEET
 BEING LOT 253 ON A CERTAIN MAP ENTITLED "BETSY ROSS ESTATES SECTION THREE" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #4272 BOOK #83 PAGE #72 ON 05/1/1972.

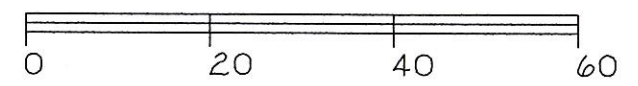


BETSY ROSS DRIVE

TAX SECTION 70.16 BLOCK 2 LOT 42

SURVEY FOR
 234 BETSY ROSS DR.

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 ORANGETOWN, NEW YORK
 AUGUST 11, 2024 SCALE: 1" = 30'



ANTHONY R. CELENTANO PLS
 31 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Code information
 Occupancy Type ---Group R-3
 Construction Type 5B

Applicable Codes:
 NYS 2020 Residential Building Code
 2020 International Building Codes w/ Amendments
 2020 International Fire Code w/Amendments
 2020 International Plumbing Code w/Amendments
 2020 International Mechanical Code w/ Amendments
 2020 International Fuel and Gas Code w/Amendments
 2018 International Energy Conservation Code w/Amendments
 Most Current National Electrical Code

All work shall comply with all the requirements of the local building code and zoning ordinances of Orangetown and the 2020 NYS IBC and all the related ICC current code books and supplements and the current National Electrical Code.

FIRE STOPPING NOTES:
 DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER R302.

FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH TIGHT JOINTS EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES AND CHIMNEYS AS PER R302.

ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL. FIRESTOPS SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACES AS PER SEC. R302. CONCEALED SPACES WITHIN STAIR CONSTRUCTION SHALL BE FIRESTOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER R302.

- List of Drawings**
- A-001 Title Page -Location Plan, Zoning Analysis
 - A-002 Existing First Floor Plan
 - A-003 Existing basement Plan
 - A-004 Existing & Proposed Elevations
 - A-005 Proposed Bsmt/Foundation, Grade Level alterations
 - A-006 Proposed First Floor Plan Alteration Extension
- Note: General Notes, Plumbing Diag, Energy Code Compliance, structural details framing, to be submitted after Zoning review

REQUIRED INSPECTIONS:

The contractor is Req'd to familiarize themselves with the local bldg. dept. inspection requirements of the Orangetown Building Dept.
 The following inspection list shall be verified by the contractor with the Building Inspector:

THE FOLLOWING INSPECTIONS ARE LISTED ON THE BLDG. DEPT. APPLICATION REQUIREMENTS AND MUST BE SCHEDULED CONTRACTORS SHALL VERIFY INSPECTION REQUIREMENTS WITH THE BUILDING DEPT.

1. Footings & foundation
2. Framing
3. Electrical
4. Plumbing
5. Insulation: with all fire stopping installed.
6. Final Inspection

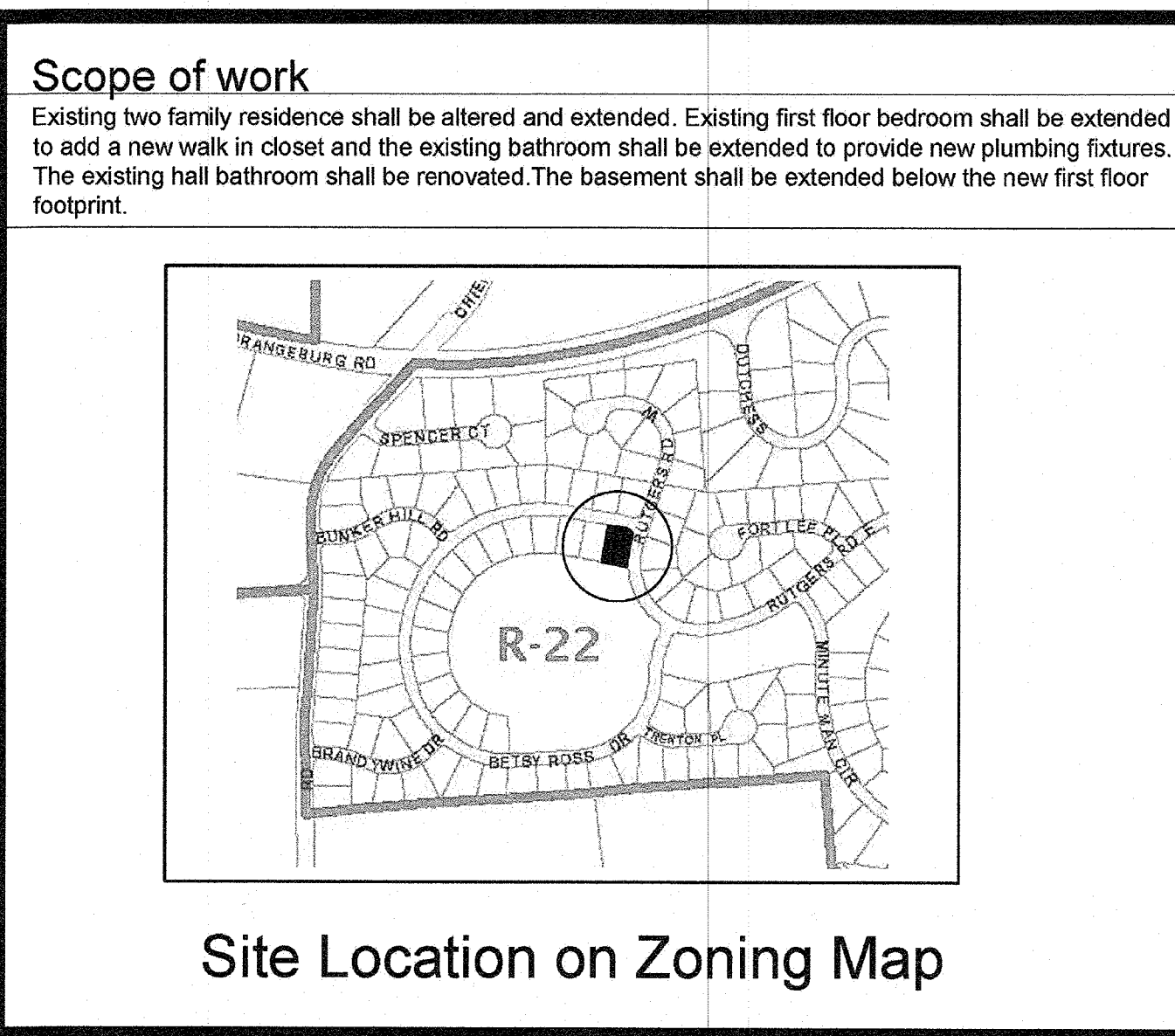
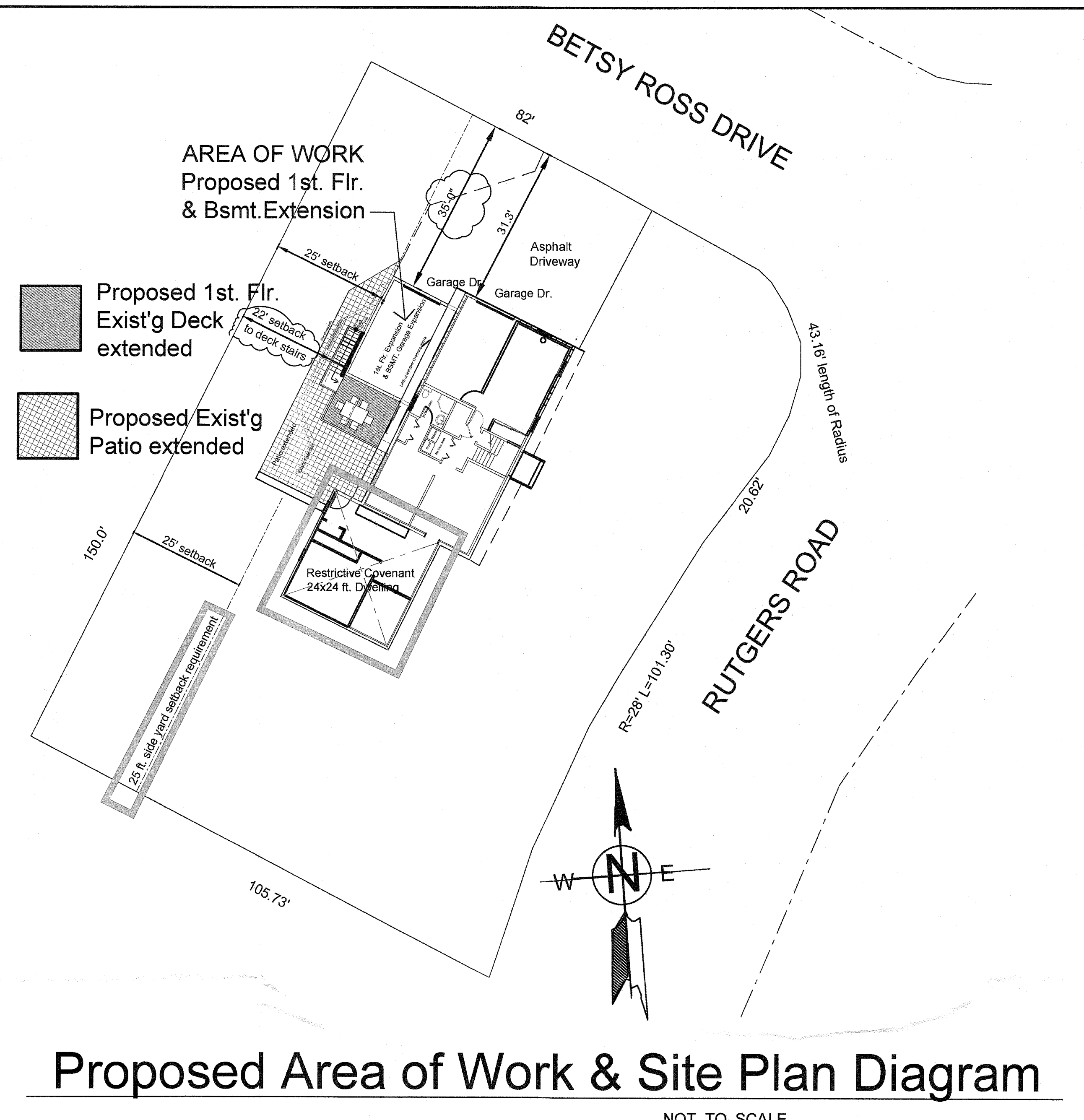
	District	Single family detached Residence.	Max Flr. Area Ratio	Min. Lot Area	Min. mum Lot Width	Min. Street Frontage	Required Front Yard	Req'd Side Yard	Total Side Yard	Required Rear Yard	Max Bldg. Height
REQUIRED	R22	"1"	.20	22,500	125'	75 ft.	40 Ft.	25 Ft.	60 Ft.	45 Ft.	9' per Lin.Ft. 17.1
EXIST'G			.198	15,344**	105**	229'	31.3 FL **	39.5 FL	Corner Lot Not Applicable	47 Ft.	16.8 Ft.
PROPOSED			0.2365*	15,344**	105**	229'	35 Ft.***	22 Ft.***	Corner Lot Not Applicable no change	47 Ft. no change	16.8 Ft. no change

* 3,046 Existing square footage is based on filed and approved 2007 application
 The apartment dwelling = 578 sq.ft. REV. 11-25-2024 - Apt. Sq.Ft. clarified
 The main house = 2,470 sq.ft.
 Combined house = 3,046 sq.ft.

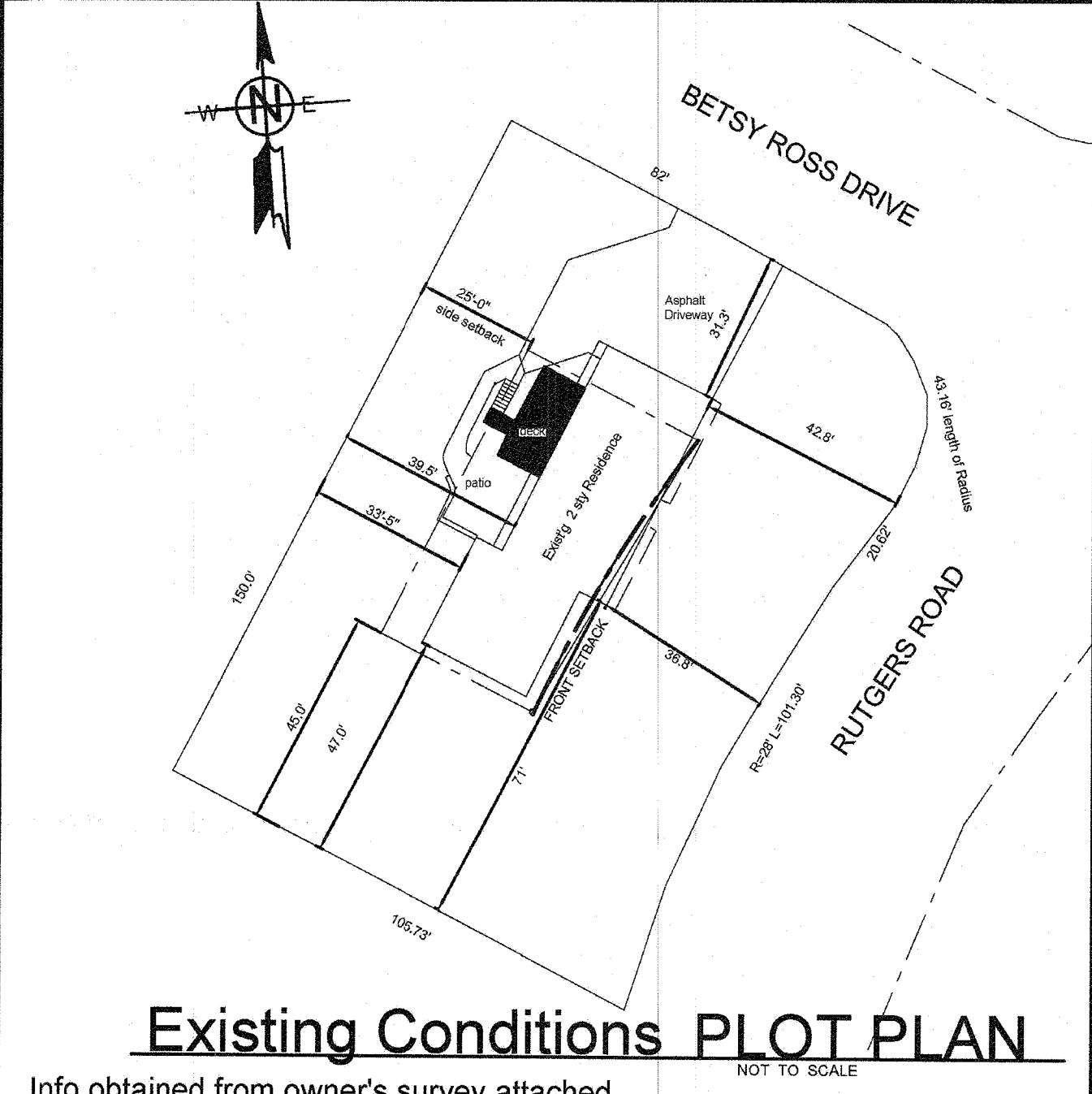
** Pre-existing Non-conforming **
 *** Variance Required ***

23.65% = Proposed First Flr = 12.5 x 21.59 = 270. Sq.Ft.
 Bsmt. Flr = 14.5 x 21.59 = 313. Sq.Ft.
 Proposed additional = 583 Sq.Ft.
 * Prior total sq.Ft. 3046 Exst'g *
 + 583 new addition = 3629 / 15344 = 23.65%
 *** 23.65% Variance Required ***
 23.65% proposed > 20% allowed therefore a Variance is Req'd.
 3.65% relief is requested.

REV. 10-20-24
 REV. 9-30-24
 REV. 10-20-24



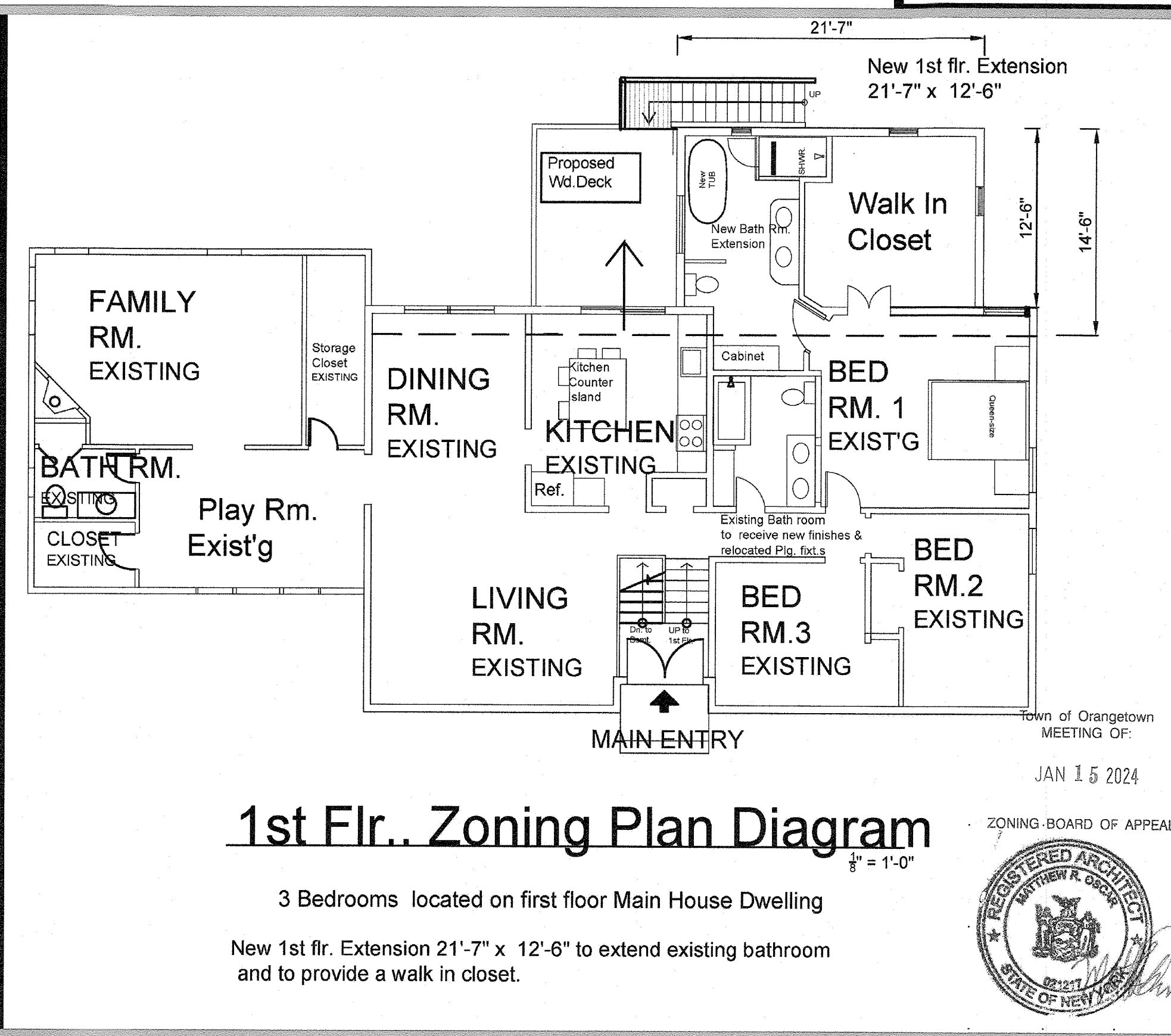
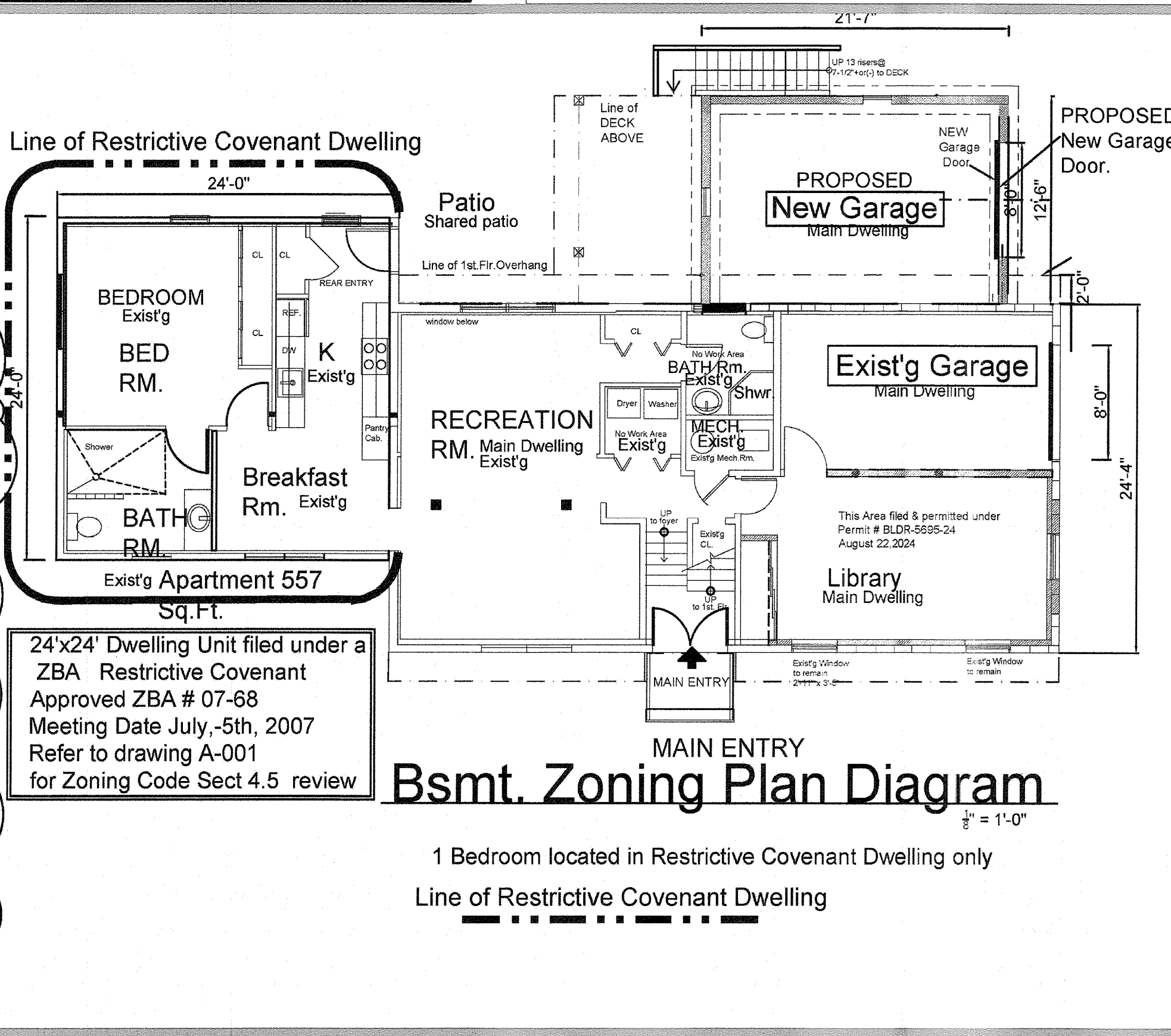
Sec./Block/Lot # 73.16-2-42



This proposed work complies with Zoning Law Chapter 43

REV. 11-29-2024 Zoning Code info added.

4.5 Additional regulations for single-family conversions. [Added 6-8-1981 by L.L. No. 7-1981]	
4.51. The dwelling must be owner-occupied and a covenant satisfactory to the Town Attorney as to form must be filed to the effect that, if the grantor owner or his or her spouse or the survivor(s) of them ceases to occupy the said dwelling, the dwelling automatically reverts to only one dwelling unit [Amended 4-25-1983 by L.L. No. 3-1983]	The surviving owners Husband and wife will be occupying the 576 sq.ft. dwelling and the owner's daughter's family will be occupying the main house. The restrictive covenant was filed and confirmed by the Town of Orangetown attorney Sept. 28th 2007 with the Declaration of Restrictive Covenant. A copy is attached with this application.
4.52. There shall be no significant exterior change and no new structures built on the property within the past 10 years so as to create an additional dwelling unit. [Amended 10-22-1984 by L.L. No. 21-1984]	COMPLIES
4.53. The new unit must have a safe and proper means of entrance and exit.	COMPLIES
4.54. There shall be only a single front entrance to the dwelling.	There shall be only a single front entrance to the dwelling. There will remain one main entrance from the street front yards. A rear door to a rear yard patio remains as per the ZBA approved drawing for the apartment dwelling
4.55. At least three parking spaces are required.	COMPLIES
4.56. The house must be at least 15 years old.	COMPLIES
4.57. The dwelling must comply with all fire, safety and building codes.	COMPLIES
4.58. The owner who first converts the dwelling subsequent to the effective date of this local law must have resided in said dwelling for at least 15 years. [Added 8-19-1991 by L.L. No. 14-1991]	COMPLIES



Survey information provided by owner's survey by Anthony R. Celentano PLS., -845-429-5290
 31 Rosman Rd., Thiells, NY 10984--
 Survey attached dated AUGUST-11-24

Legend Note: Dec 9th, 2024
 Red highlights indicate changes to drawing after Nov. 20, 2024 ZBA #24-59 Meeting

Applicant of Record:
Matthew Oscar, Architect
 222 Ackertown Rd., Monsey, NY 10952
 845-371-1444 Fx 866-849-5292 moscar.ra@gmail.com
 NY Lic. # 21217 NJ Lic. # 13669

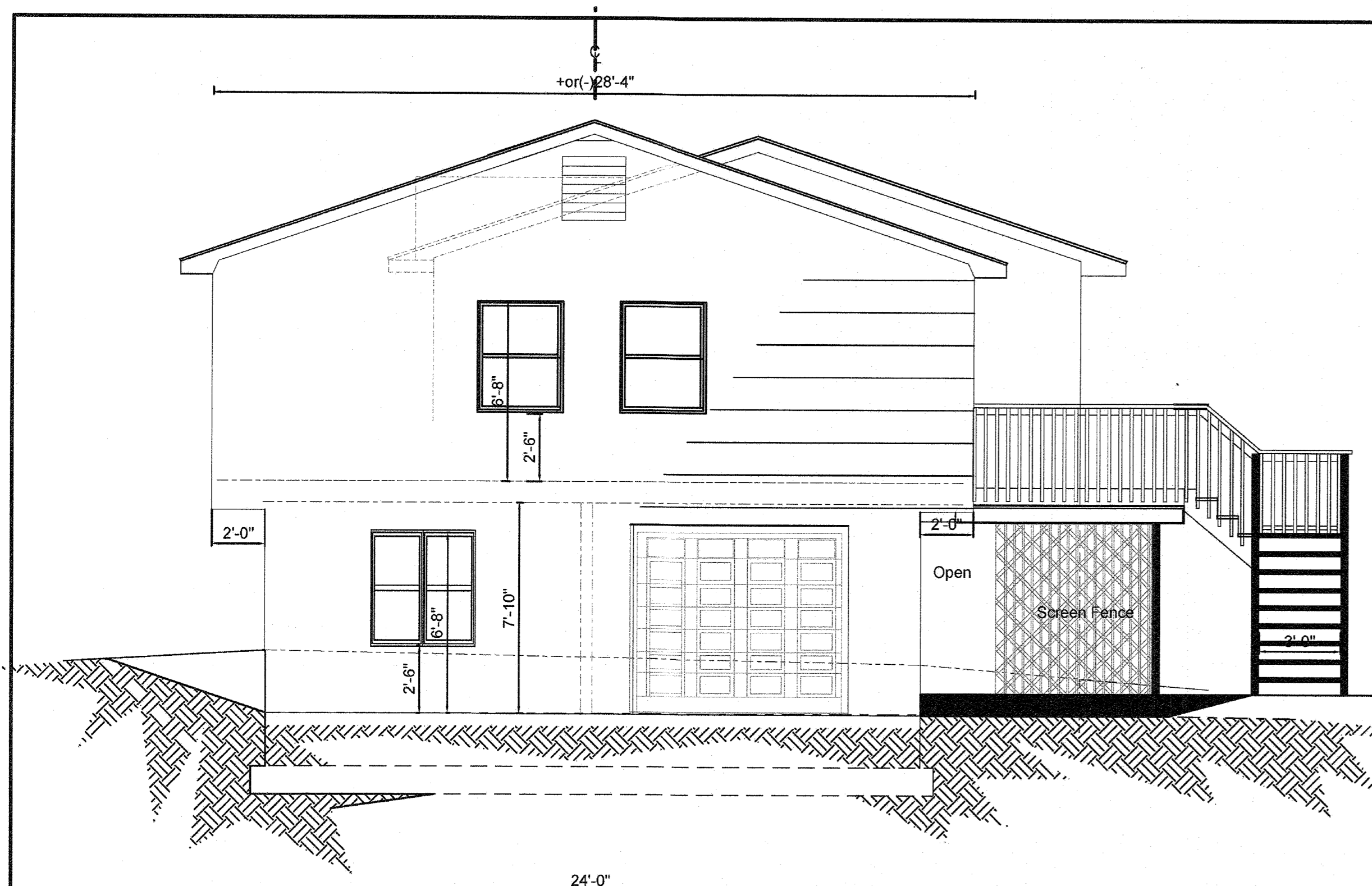
PROJECT LOCATION:
 234 Betsy Ross Drive DEC 13 2024

SHEET TITLE:
 TITLE PAGE : Zoning, Location Plan

Scale: as noted
 DATE: 8-30-2024
 REVISIONS: 8/30/24 Side Yard Variance required at 22 by back side
 11-25-2024 Existing apartment dwelling located with zoning info noted
 11-25-2024 Restrictive Covenant drawing approved by Planning Board Commission

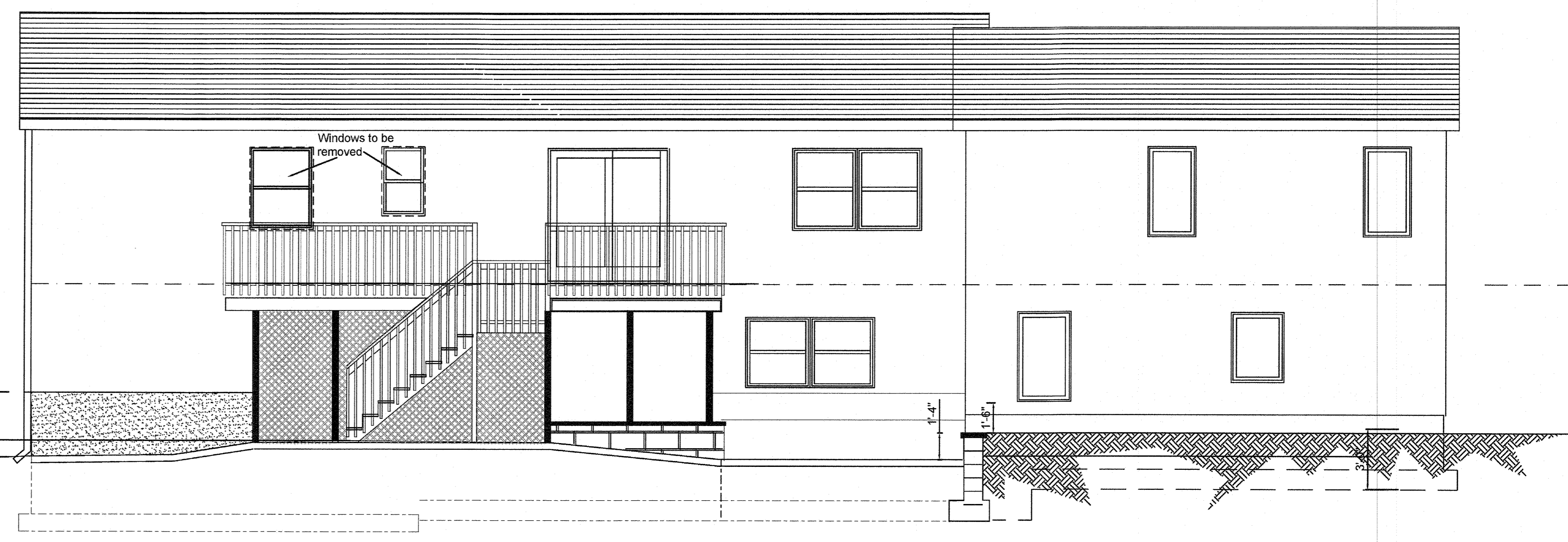
A- 001.00

Sheet 1 of 6



Existing North Elevation

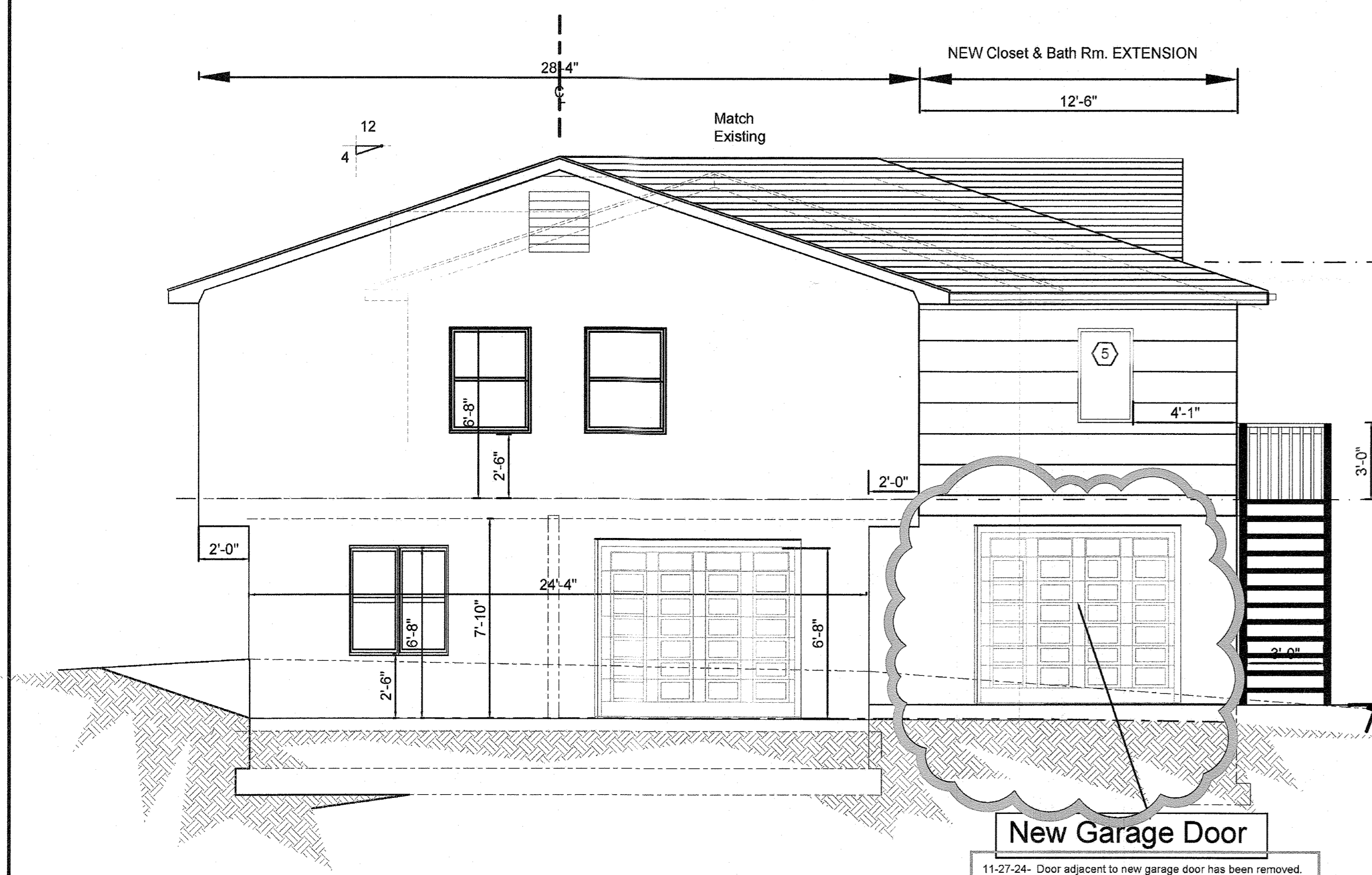
1/4" = 1'-0"



Existing Rear (West) Elevation

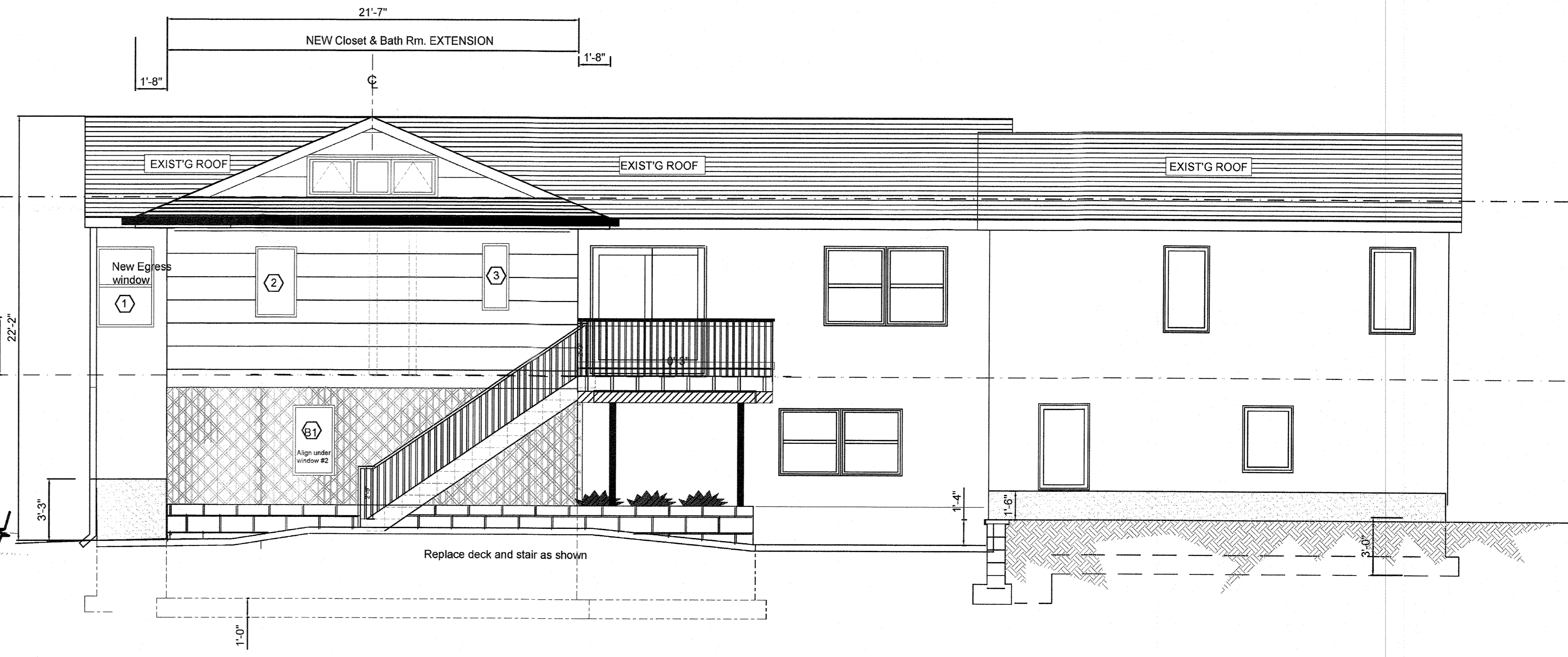
1/4" = 1'-0"

Relocate Dryer vent and any other mechanical vents according to the NYS Mech and Plumbing Code as required.



Proposed North Elevation

1/4" = 1'-0"



Proposed West Elevation

1/4" = 1'-0"

Relocate Dryer vent and any other mechanical vents according to the NYS Mech and Plumbing Code as required.

Legend Note: Dec 9th ,2024
Red highlights indicate changes to the drawing since Nov 20,2024 ZBA-#24-59 Meeting



Applicant of Record:	
Matthew Oscar, Architect	
222 Ackertown Rd., Monsey, NY 10952	
845-371-1444 Fx 866-849-5292 moscar.ra@gmail.com	
NY Lic. # 21217 NJ Lic. # 13669	
PROJECT LOCATION:	DEC 13 2024
234 Betsy Ross Drive	
SHEET TITLE:	
Existing & Proposed Elevations	
Scale : as noted	
DATE:	9-12-2024
REVISIONS: 10-20-2024 Proposed Floor Plan & FAR Approved & Front Yard Variance Rec'd	
11-27-24- Remove Door adjacent to new garage door	
A- 004.00	
Sheet 4 of 6	

