

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)
Date: December 5, 2024

TO: OBAPAE

- | | |
|--|----------------------------------|
| ✓ NYS Dept of Environmental Conservation | ✓ Rockland County Drainage |
| ✓ New York State Dept. of Transportation | ✓ Rockland County Health |
| ✓ Palisades Interstate Park Commission | ✓ Rockland County Planning |
| ✓ NYS Thruway Authority | ✓ Rockland County Highway |
| ✓ ACOE | ✓ Rockland County Sewer Dstrt #1 |
| ✓ CSX | ✓ Orange and Rockland Utilities |
| ✓ <i>NYS Historical Preservation</i> | ✓ Veolia |

This matter is scheduled for: January 15, 2025

Review of Plans: Palisades Free Library, Addition & Alterations, 19 Closter Road, Palisades, NY

Section: 78.17 Block: 2 Lot: 22; R-40 - zone

Chapter 43, R-40 District, Table 3.12, Group E, Column 4 (Floor Area Ratio: .15 permitted, with .31 existing and .325 proposed), Column 9 (Side Yard: 30' required, with 12' proposed), from table 3.11, Column 6, #3(Off-Street parking: 21 spots required, with 11 spots existing and proposed), for a one-story addition to an existing Public Library. The premises are located at 19 Closter Road, Palisades, New York and identified on the Orangetown Tax Map as Section 78.17, Block 2, Lot 22 in the R-40 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: January 15, 2025

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed, and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, January 15, 2025**. **Kindly, forward your completed review to this office PRIOR TO: January 15, 2025.**

Reviewing Agency: _____

Name: _____ Date: _____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
26 Orangeburg Rd.
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

ZONING BOARD OF APPEALS

Date: Nov. 6, 2024

Applicant: Palisades Library

Address: 19 Closter Road, Palisades, NY 10964

Section: 78.17

Block: 2

Lot: 22

Permit# BLDC-4891-24

Plans Submitted: Survey Map dated 5/22/2014 signed and sealed by William D. Youngblood, L.S.,

Addition & Alteration plans with the most recent revision date 11/1/2024 signed and sealed by

Dennis M. Letson, L.P.E., & Robert Michael Esmay, R.A., (3 pages)

Project Name: Palisades Free Library Addition & Alterations

Date of Submittal to Land Use Board: November 6, 2024

Date of Board Meeting: TBD

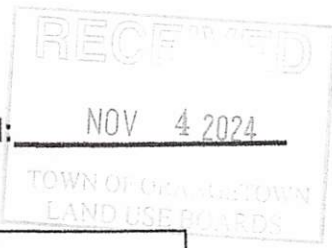
Sincerely,

Katlyn Bettmann

Senior Clerk Typist

Date/Initial of OBZPAE Review Completed: *J* 11/14/24





Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: NOV 4 2024

Please check all that apply:

<input checked="" type="checkbox"/> <u>Planning Board</u>	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> <u>Historical Board</u>
<input checked="" type="checkbox"/> <u>Zoning Board of Appeals</u>			<input checked="" type="checkbox"/> <u>Architectural Board</u>
<input type="checkbox"/> Subdivision			<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots			<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> <u>Site Plan</u>			<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use			<input checked="" type="checkbox"/> <u>Final Interpretation</u>
<input type="checkbox"/> Special Permit			
<input checked="" type="checkbox"/> <u>Variance</u>			
<input type="checkbox"/> Performance Standards Review			
<input type="checkbox"/> Use Variance			
<input type="checkbox"/> Other (specify): _____			

PERMIT#: 4871-24
 ASSIGNED _____
 INSPECTOR: Glenn
 Referred from Planning Board: YES/ NO
 If yes provide date of Planning Board meeting: 9/25/24

Project Name: ADDITION & ALTERATION TO THE PALISADES FREE LIBRARY
 Street Address: 19 CLOSTER ROAD PALISADES, NY 10964

Tax Map Designation:
 Section: 78.17 Block: 2 Lot(s): 22
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the WEST side of CLOSTER RD., approximately 0 feet of the intersection of OAK TREE RD., in the Town of ORANGETOWN in the hamlet/village of PALISADES
 Acreage of Parcel 0.2865 Zoning District R40 GROUP B
 School District S. ORANGETOWN Postal District 10964-PALISADES
 Ambulance District S. ORANGETOWN Fire District ORANGETOWN
 Water District YEOLI Sewer District ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)
SMALL (195 SQ. FT.) ONE STORY ADDITION TO AN EXISTING PUBLIC LIBRARY

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 10-31-2024 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing ^{SITE} square footage 12,478 sq ft
- 2) Total square footage _____
- 3) Number of dwelling units 0

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type:

NO

Project History:

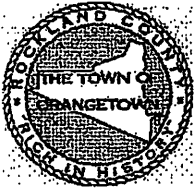
Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

PLANNING BOARD - PB 24-42 - 7/25/24
PRELIMINARY APPROVAL WITH CONDITIONS

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N.A.



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962**

**Jane Slavin, RA
Director**

(845) 359-8410

Fax: (845) 359-8526

Date: September 20, 2024

To: Planning Board

**From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.**

**Subject: Palisades Free Library Site Plan
Palisades Historic District - Building Addition
Prepreliminary/ Preliminary/ Final Site Plan
and SEQRA Review
19 Closter Road, Palisades
78.17/2/22; R-40 zoning district**

**RECEIVED
SEP 24 2024
TOWN OF ORANGETOWN
LAND USE BOARDS**

PB #24-42

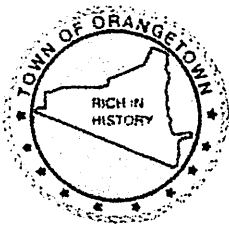
Submission Reviewed:

Proposed addition and alteration package as prepared by Michael Esmay, last revised 6/18/24.

- 1) Per Chapter 43, Table 3.12, R-40 zoning district the following bulk variances are required;
 - a) Column 4, max FAR permitted is 0.15 with 0.31 existing and 0.325 proposed.
 - b) Column 9, min side yard required is 30' with 12' proposed.
- 2) Per Chapter 43, Table 3.11, R-40 district, column 6, #3, minimum off-street parking required is 21 spots with 11 existing and proposed.
- 3) Per Town Code Chapter 2, section 2-4, ACABOR review is required.
- 4) Per Town Code Chapter 12, section 12-4, HABR review is required.
- 5) The SEAF needs to be revised as follows;

**No. 12a should be YES, 12b should be NO
No. 13a should be YES**
- 6) The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped by the Chief Clerk to the Board and the construction plans are reviewed and approved by the inspector.

**RECEIVED
NOV 4 2024
TOWN OF ORANGETOWN
LAND USE BOARDS**



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE PLANNING BOARD

Date: April 15, 2024 Section: 78.17 Block: 2 Lot: 22

Applicant: Palisades Free Library

Address: 10 Closter Rd, Palisades, NY

RE: Application Made at: same

Referred For: **§ 21A-4 Site development plan approval required.**
 [Amended 9-4-2018 by L.L. No. 11-2018]

A. No building permit or certificate of occupancy shall be issued, other than for a single- or two-family residence and structures accessory thereto, except for a building or use that is in conformity with a site development plan approved by the Planning Board,

B. Approval of a site plan by the Planning Board is required for the development or redevelopment of any property or structure for a new use, the expansion or relocation of any existing use, or a change of use.


(1) A change that results in a difference in the numerical listing or the use column (Uses Permitted by Right, Uses by Special Permit, Conditional Uses, General Accessory Uses) for all uses as set forth in Chapter 43. § 3.11, Table of General Use Regulations.

(2) A change in the off-street parking requirements for a use as specified in Chapter 43. § 3.11, Table of General Use Regulations.

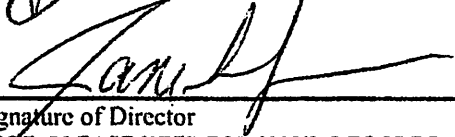
Comments:
1 Story Addition

Dear Palisades Free Library

Please be advised that the Building Permit Application # 4891-24, which you submitted on Mar 21, 2024, has been referred to the Orangetown Planning Board. Please contact the Board office at 845-359-8410 ext. 4316 and someone will assist you in the preparation necessary to appear before the board or you may email Katlyn Bettmann at kbettmann@orangetown.com
 Sincerely,


 Richard Oliver
 Deputy Building Inspector

4/15/24


 Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS

RECEIVED
 NOV 4 2024
 TOWN OF ORANGETOWN
 PLANNING BOARD

4/15/24

1-30-2023 JSA

Date
 CC: Liz DeCort
 Cheryl Coopersmith

NIS	PRINT KEY	NAME	ADDRESS
2489	78.17-2-21	Tracey Weigel	39 Glen Byron Ave, Nyack, NY 10960
2489	78.17-2-22	Palisades Free Library	19 Closter Rd, Palisades, NY 10964
2489	78.17-2-23	Teri R Zehentner	21 Closter Rd, Palisades, NY 10964
2489	78.17-2-24	23 Closter Road LLC	P.O. Box 152, Palisades, NY 10964
2489	78.17-2-25	Diane Donnelly	25 Closter Rd, Palisades, NY 10964
2489	78.17-2-26	Charles Hyun Choi	P.O. Box 54, Palisades, NY 10964
2489	78.17-2-27	Emelyn DePalma	76 Fern Rd, Palisades, NY 10964
2489	78.17-2-28	Pierre Relland	685 Oak Tree Rd, Palisades, NY 10964
2489	78.17-2-29	Sunny Park	679 Oak Tree Rd, Palisades, NY 10964
2489	78.17-2-30	Palisades Community Center Inc	P.O. Box 222, Palisades, NY 10964
2489	78.18-1-58	Robert D Nuell	20 Clinton St Apt 6G, New York, NY 10002
2489	78.18-2-1	Robert P Lewis	194 Hook Mountain Ln, Upper Nyack, NY 10994
2489	78.18-2-2	Paul Papay	709 Oak Tree Rd, Palisades, NY 10964
2489	78.18-2-3	Paul Papay	709 Oak Tree Rd, Palisades, NY 10964
2489	78.18-2-23	Yutaka Matsumoto	32 Closter Rd, Palisades, NY 10964
2489	78.18-2-24	Jesse Fleck	28 Closter Rd, Palisades, NY 10964
2489	78.18-2-25	Kelly Lynn Campbell	22 Closter Rd, Palisades, NY 10964
2489	78.18-2-26	James Adams	P.O. Box 682, Palisades, NY 10964
2489	78.17-2-20.1	Dennis Tirch	694 Oak Tree Rd, Palisades, NY 10964
2489	78.17-2-20.2	William Walther	P.O. Box 651, Palisades, NY 10964



PALISADES FREE LIBRARY
19 Closter Road, Palisades, NY 10964
845-359-0136 phone 845-359-6124 fax
www.palisadeslibrary.org

October 30, 2024

Zoning Board of Appeals
Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, NY 10962
845-359-8410 x 4331

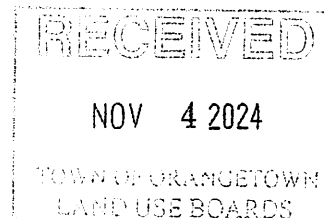
To Whom it May Concern:

I designate Michael Esmay as an agent of the Palisades Free Library and authorize him to appear in front of the Zoning Board of Appeals on our behalf.

Regards,

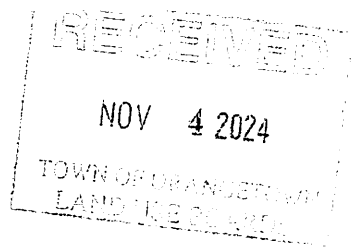


Marjorie Galen, President
Board of Trustees
Palisades Free Library



Short Environmental Assessment Form

Part 1 - Project Information



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

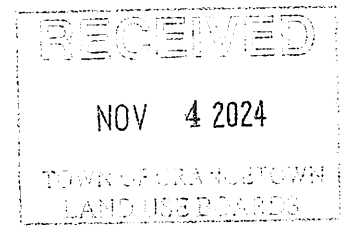
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information	
ADDITION & ALTERATION TO THE PALISADES FREE LIBRARY	
Name of Action or Project:	
19 CLOSTER RD. / PALISADES, NY	
Project Location (describe, and attach a location map):	
Brief Description of Proposed Action:	
SMALL ONE STORY ADDITION TO A PUBLIC LIBRARY	
Name of Applicant or Sponsor:	Telephone: 845-357-0366
Address: PALISADES FREE LIBRARY	E-Mail:
19 CLOSTER ROAD	
City/PO: PALISADES	State: NY Zip Code: 10964
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?	NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	<input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?	NO YES
If Yes, list agency(s) name and permit or approval: TOWN OF GRANGETOWN	<input type="checkbox"/> <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?	0.2865 acres
b. Total acreage to be physically disturbed?	0.016 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	0.2865 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:	
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)	
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (Specify):	
<input type="checkbox"/> Parkland	

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

RECEIVED
 NOV 4 2024
 TOWN OF GREEN BROOK
 LAND USE BOARD

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plain?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>MICHAEL ESMAY</u> Date: <u>11/3/24</u> Signature: <u>[Handwritten Signature]</u> Title: <u>ARCHITECT</u>		





Michael Esmay / Architect

NARRATIVE FOR AN APPLICATION TO THE ORANGETOWN ZONING BOARD OF APPEALS FOR AN ADDITION AND ALTERATION TO THE PALISADES FREE LIBRARY /19 CLOSTER ROAD / PALISADES, NY

The Library Site is a corner lot located in Palisades NY at the intersection of Oak Tree Road and Closter Road. It is Orangetown's Tax Lot Number 78.18-2-22 located in a R-40-Group B Zoning District and the Palisades Historic District. A Public Library is a use permitted by right in this Zoning District.

The Library Board of Trustees is proposing a small, 195 square foot, one story high addition to the Children's Room. This much needed space will be used for play, story hour and other activities. The proposal has been reviewed and granted Preliminary Approval with conditions by the Planning Board.

On this Site the Library has occupied an old historic structure for over seventy years and during this time, as the Library has grown, there have been three additions to this structure. Except for one bulk requirement (Frontage) the Site does not conform to the requirements of the Orangetown Zoning Ordinance Bulk Regulations. With this proposal the Board of Trustees is seeking three variances to the requirements of the Bulk Regulations:

<u>Regulation</u>	<u>Requirement</u>	<u>Existing</u>	<u>Proposed</u>
Side Yard	30 feet	22.7 feet	12 feet
Floor Area Ratio	0.15	0.31	0.325
Parking	1 car / 200 sq.ft.	11 (20 required)	11 (21 required)

The Site is located in an area where many of the abutting and nearby properties are non-conforming by virtue of lot size and other bulk requirements. For example within 600 feet of the Site around the intersection of Oak Tree Road and Closter Road there are 21 properties that are undersized for the lot area requirement of the R40 Zoning District. As examples, attached are several surveys of nearby properties that are non-conforming. This indicates that what the Library Board is seeking is not

inconsistent with other existing properties in this area and not precedent setting.

Factors to be taken into considering this application:

Will an undesirable change be produced in the character of the neighborhood or a detriment to nearby properties?

The proposed Addition and Alteration is consistent with and will not be a detriment to the surrounding properties and be in character with the Palisades area. The proposal will not increase density and traffic and its aesthetic impact will not set a negative precedent as it is consistent with other properties in the neighborhood and the Palisades Historic District.

Could the benefit sought by the Board of Trustees be achieved by some method feasible for them to pursue other than an Area Variance?

Because of the existing non-conforming status of the property it would be impossible in any way to construct any Addition to the Library without seeking a variance to the Zoning Ordinance from the Zoning Board and furthermore the benefit cannot be achieved by altering the layout within the existing Library structure.

Is the requested variance substantial?

The proposed Addition is small with an area of 195 square feet which is 5% of the existing Library's area and the Floor Area Ratio increases from 0.31 to 0.328 and as such, within this context, should not be considered substantial. In addition, considering that the existing Front Yard Setbacks are 1.5 feet and 15.9 feet a proposed 12 foot Side Yard Setback would not be substantial.

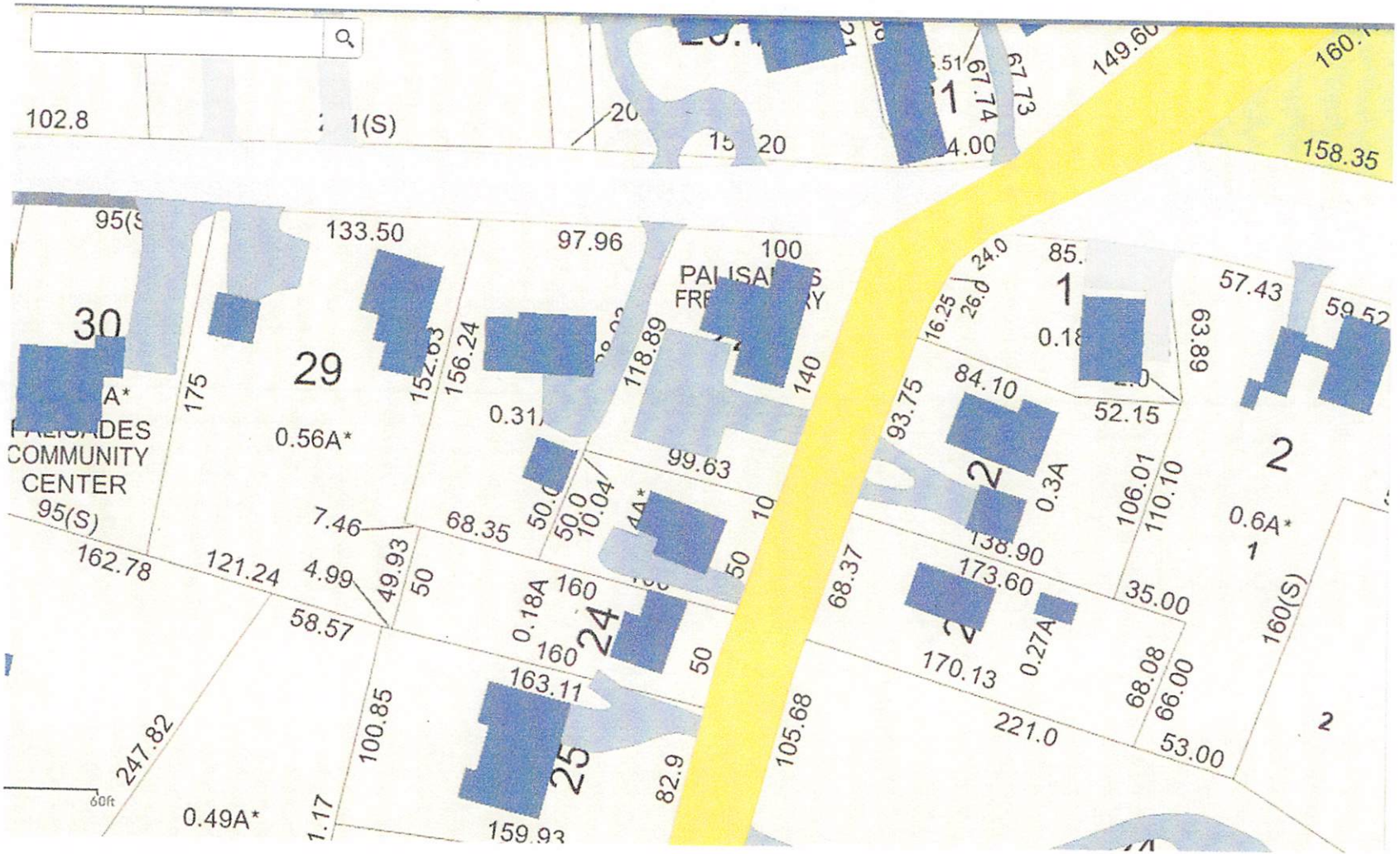
Will the proposed variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

The proposed Addition and Alteration will not have an adverse effect on the physical or environmental conditions in the neighborhood. The Library use is benign and the Addition has a small area and as designed minimizes Site

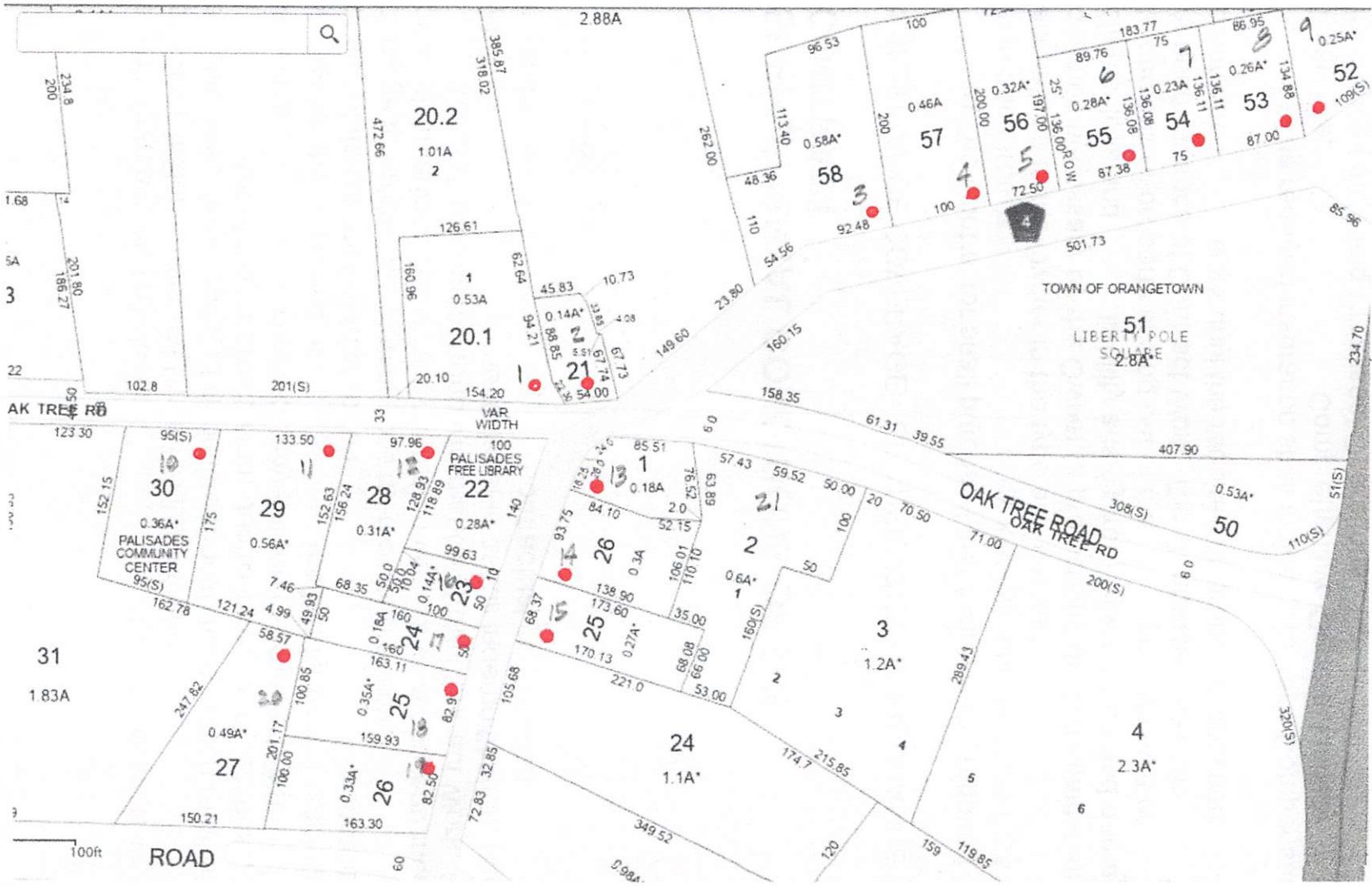
disturbance. There will be no additional impervious surface added to the Site as a result of this proposal

Is the alleged difficulty self- created?

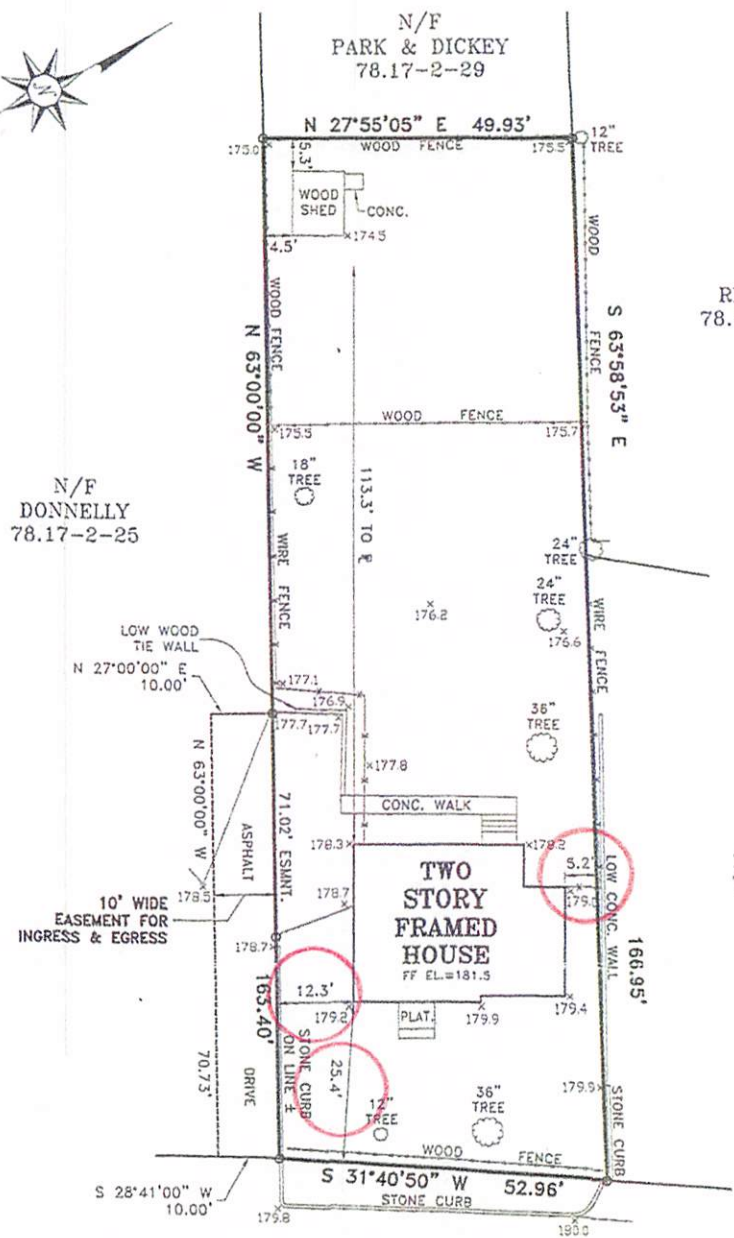
The alleged difficulty is as a result of it's existing non-conforming property that the Library obtained more than 70 years ago. From this perspective the difficulty is self-created. It is important to note that as well as the Library, there are many nearby properties that are also non-conforming and have received variances that are equal in scope to the variance the Library seeks.



RECEIVED
 DEC 2 2024
 TOWN OF GRANGETOWN
 LAND USE BOARD



LOT AREA
8,478.10 S.F.
OR
0.20 ACRES



N/F
RELLAND
78.17-2-28

N/F
DONNELLY
78.17-2-25

RECEIVED
DEC 2 2024
TOWN OF ORANGETOWN
LAND USE BOARD

N/F
ZEHEINTNER
78.17-2-23

CLOSTER ROAD

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED INSTRUMENT #2023-23814 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
7. ELEVATION DATUM BASED UPON APPROXIMATE USGS.
8. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

Town of Orangetown
MEETING OF:

JAN 9 2023

HISTORICAL AREAS
BOARD OF REVIEW

W.E. James
Engineering
and
Land Surveying, PLLC
8 CHEANDA LANE
WALLKILL, NEW YORK 12589
PHONE: (845) 566-6522 FAX: (845) 566-6525
EMAIL: WEJames@optonline.net
www.wejamesassociates.com

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON: OCTOBER 27, 2023

CERTIFIED ONLY TO:
1. BARBARA MEYER

William E. James
WILLIAM E. JAMES, P.E., P.L.S.
NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

PROJECT TITLE:
SURVEY PREPARED FOR
Barbara Meyer
TAX MAP SECTION 78.17, BLOCK 2, LOT 24
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

SCALE: 1" = 20'	DATE: OCTOBER 30, 2023	SHEET NO: 1 OF 1
--------------------	---------------------------	---------------------

PROJECT CAD REFERENCE:
ROCKLAND COUNTY/TOWN OF CLARKSTOWN/CLOSTER ROAD/WATER.DWG

RECEIVED
 DEC 2 2024
 TOWN OF ORANGETOWN
 LAND USE BOARD

CLOSTER ROAD

SURVEY UPDATED ON
 6/15/2021 TO SHOW LOCATION
 OF FRONT ENTRY STAIRS+LANDING
 AND REAR 12'x16' DECK.
 BY JOHN McCULLOUGH

78.18-2-24
 NIF
 NILSA BARRETO

78.18-2-26
 NIF
 PER TARA JOHANSSON

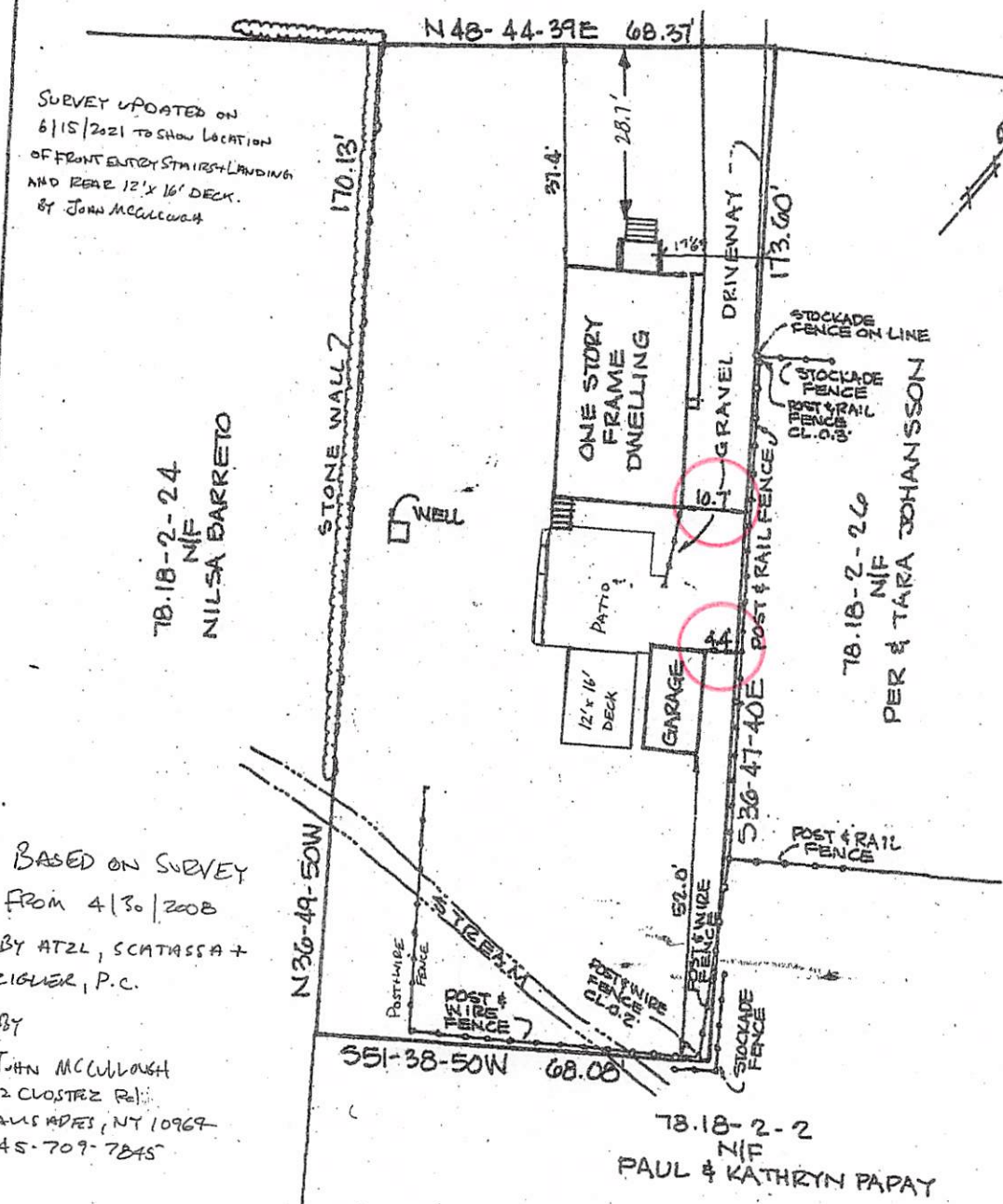
BASED ON SURVEY
 FROM 4/30/2008
 BY ATZL, SCATASSA +
 ZIGLER, P.C.

BY
 JOHN McCULLOUGH
 22 CLOSTER Rd.
 PALISADES, NY 10964
 845-709-7845

78.18-2-2
 NIF
 PAUL & KATHRYN PAPAY

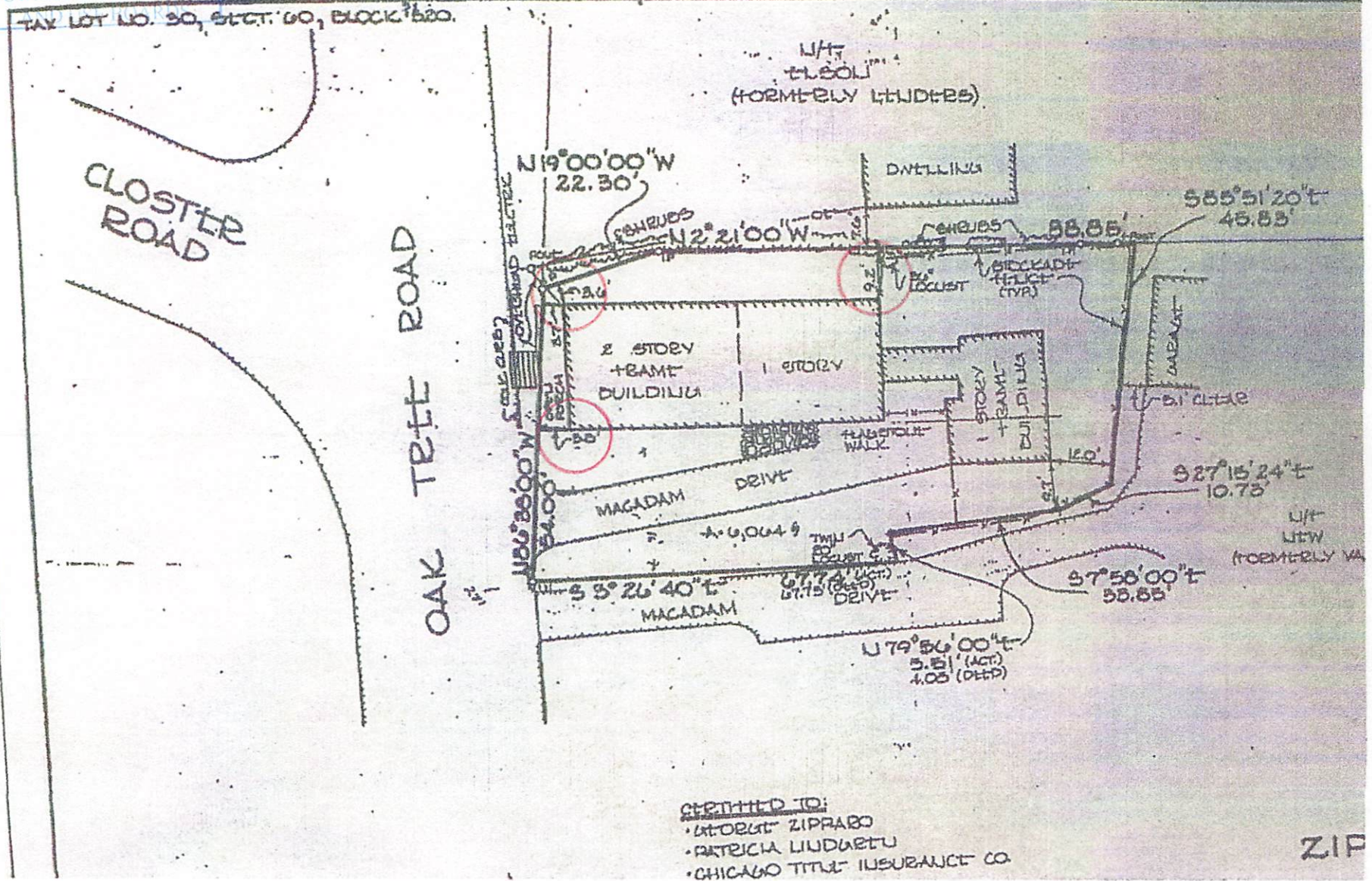
SURVEY OF PROPERTY FOR
LAURA EBMEYER-TRUST
 PALISADES - TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 APRIL 30, 2008 SCALE 1"=20'

AREA = 11,706 SQ. FT.
 TAX LOT: 78.18-2-25



RECEIVED
 DEC 2 2024
 TOWN OF GRAND TOWN

TAX LOT NO. 30, SECT. 60, BLOCK 1620.



CERTIFIED TO:
 • ATORGET ZIPRABO
 • PATRICIA LINDARBU
 • CHICAGO TITLE INSURANCE CO.

ZIP

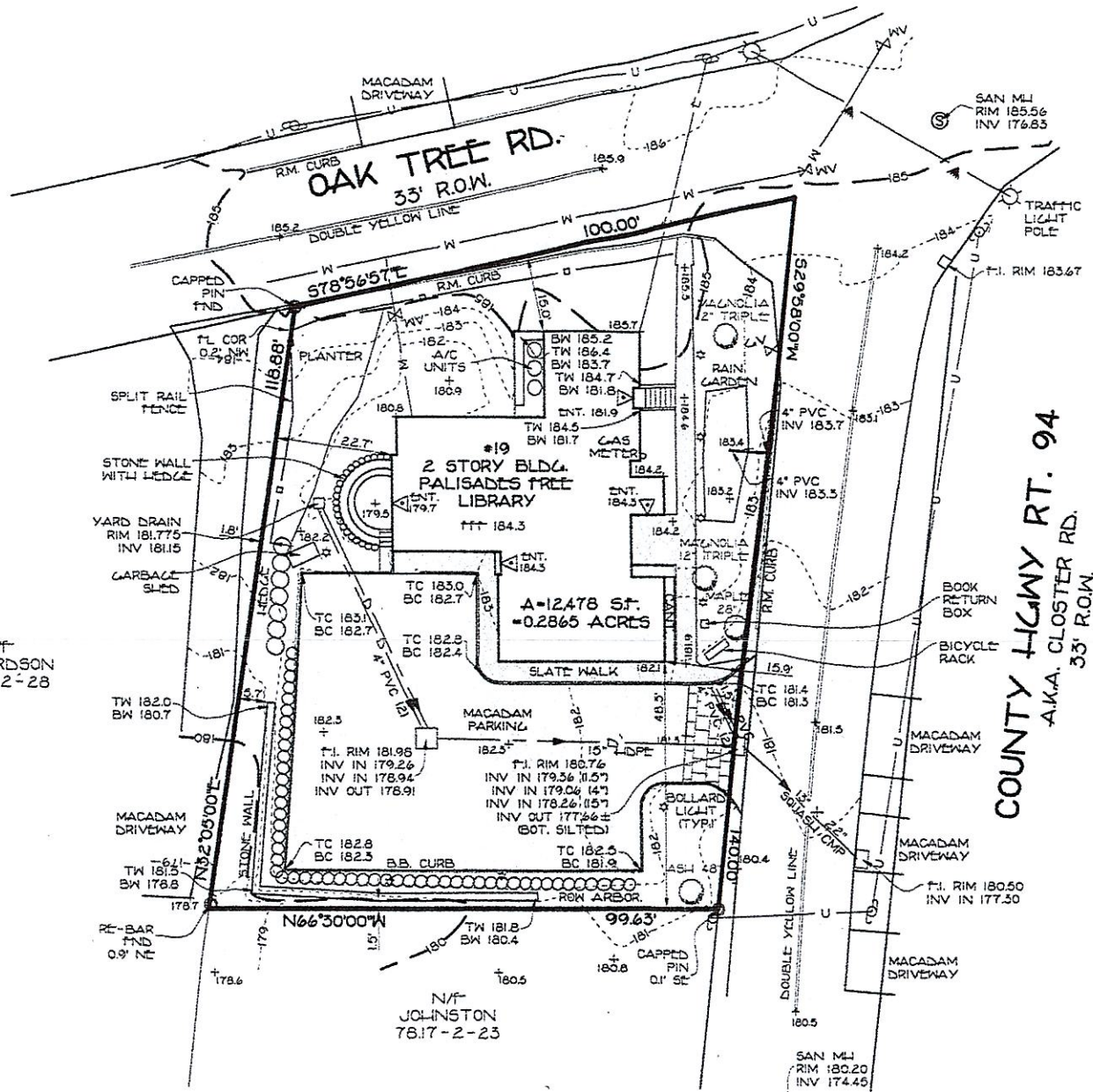
TAX LOT: SECTION 78.17, BLOCK 2, LOT 22

DEED REFERENCE:
L. 548 / P. 472
L. 891 / P. 372

INST. #2004-28139
2012-31251
2008-41518
1997-21776

N/T
RICHARDSON
76.17-2-28

N/T
JOHNSTON
76.17-2-23



TOPOGRAPHICAL SURVEY
OF
PALISADES FREE LIBRARY
LOCATED IN
PALISADES
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTALLATIONS OR SUBSEQUENT OWNERS. USE OF UNSCALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND VIOLATION OF FEDERAL COPYRIGHT LAWS.

WILLIAM D. YOUNG, P.E. # 50466 ©

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION, ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING
SITE PLANNING
16 NORTH MAIN STREET
P.O. BOX 818
HARRIMAN, N.Y. 10926
TEL: (845) 782-8543
FAX: (845) 782-5901
SPARACO.STEVE@SELSNY.COM WDYLS1@GMAIL.COM

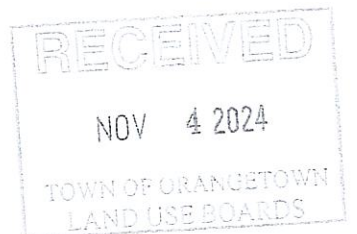
FILE #	SY-1105
DATE	MAY 22, 2014
SCALE	1" = 20'

SY-1105

Town of Orangetown
MEETING OF:

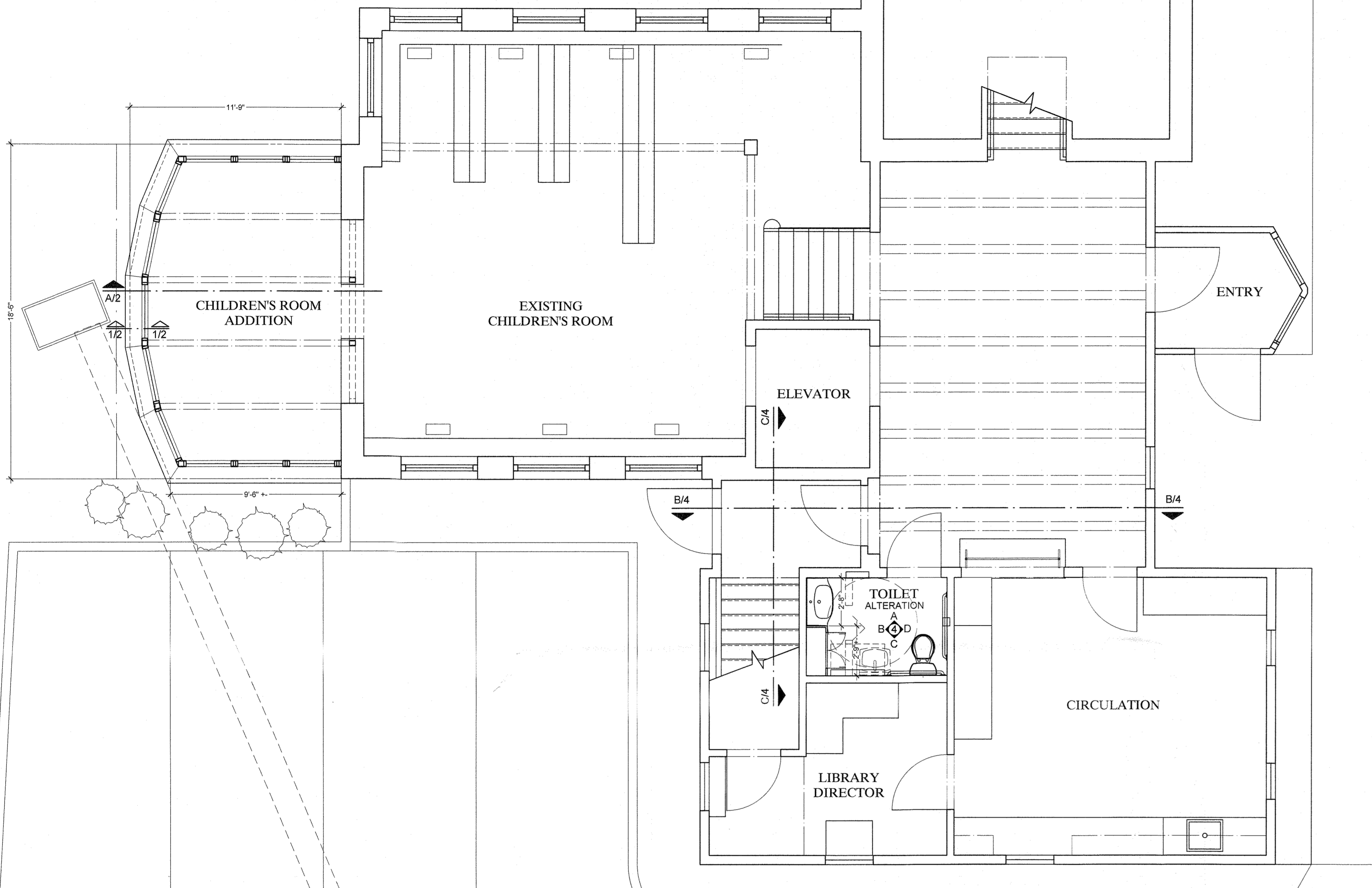
JAN 15 2025

ZONING BOARD OF APPEALS



LEGEND

	EXISTING TO REMAIN		DRAWING #
	EXISTING TO BE REMOVED		SECTION #
	NEW FRAME WALL		DRAWING #
	ALTERED EXISTING SURFACE PATCH TO MATCH ADJACENT SURFACES.		WALL SECTION #

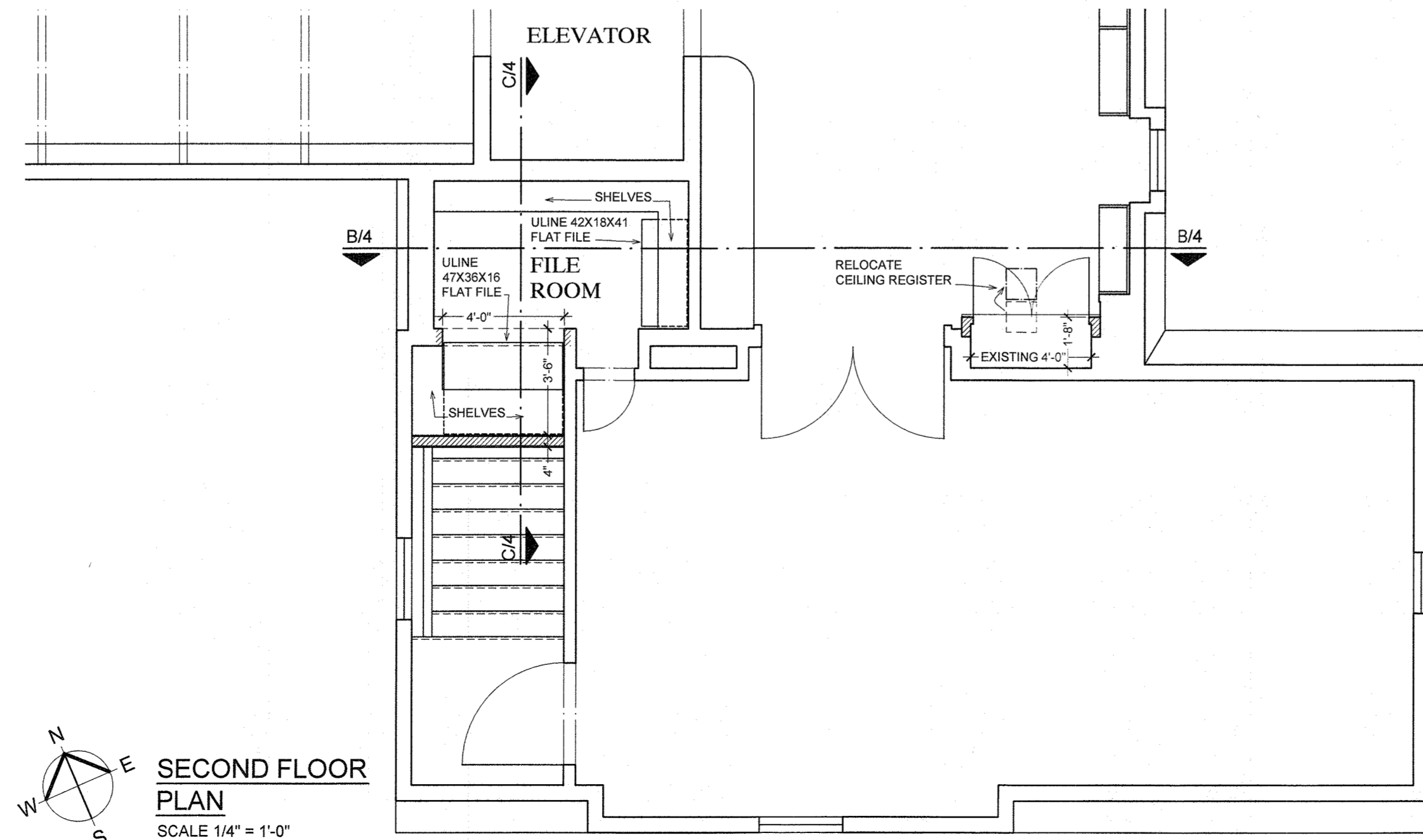


FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

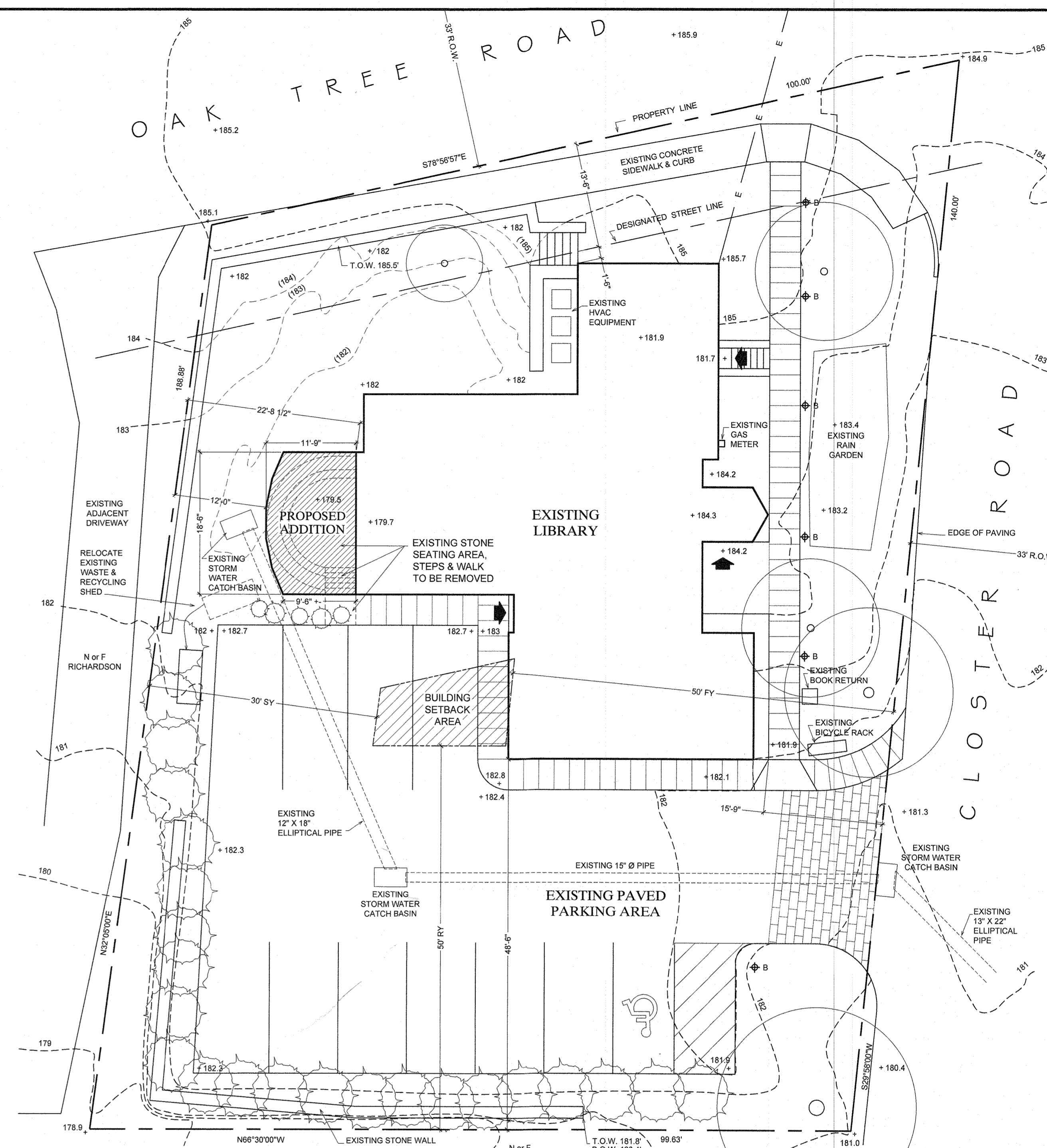
- NOTES**
- PROPERTY OWNERS: BOARD OF TRUSTEES PALISADES FREE LIBRARY, MARJORIE GALEN, PRESIDENT 19 CLOSTER ROAD (COUNTY HIGHWAY NO. 4), PALISADES, NY 10964
 - ALL WORK SHALL BE IN COMPLETE CONFORMANCE WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, INCLUDING THE NEW YORK STATE BUILDING, ENERGY & EXISTING BUILDING CODES, AND THE TOWN OF ORANGETOWN BUILDING, ZONING AND PLANNING ENFORCEMENT.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN IN THE MANNER SPECIFIED BY SECTION 239 L & M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE SITE A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AND THE OFFICE OF BUILDING, ZONING AND PLANNING ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH MEETING.
 - ALL OUTDOOR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES TAKE PLACE ON SUNDAY OR LEGAL HOLIDAY. THE SAME SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM.

PARKING ANALYSIS

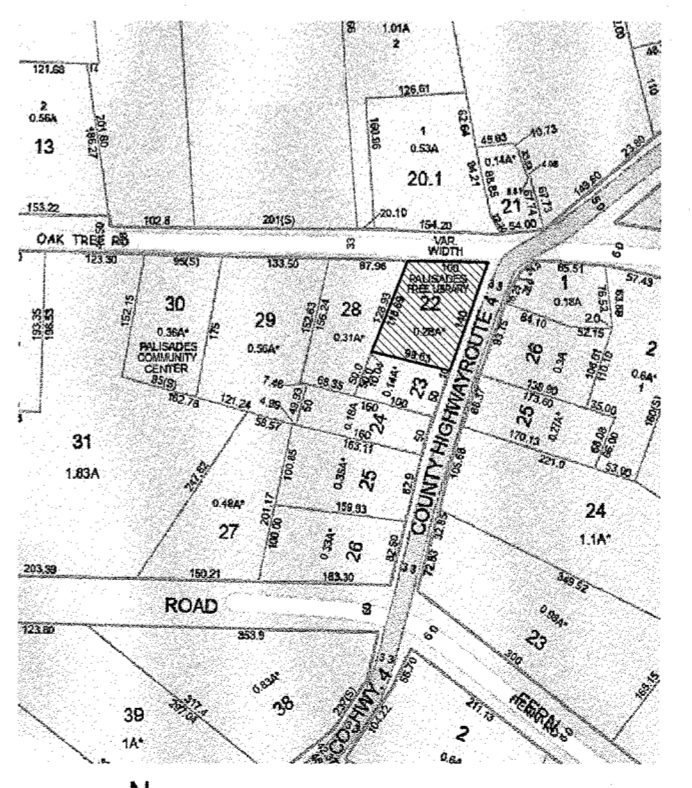
EXISTING	3870 (REQUIRED SQUARE FEET)	= 19.35 = 20 REQUIRED SPACES
PROPOSED	4070 (PROPOSED SQUARE FEET)	= 20.35 = 21 REQUIRED SPACES



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



SITE PLAN
SCALE 1" = 10'



SITE LOCATION MAP

GRAPHICS LEGEND

	+ 182 SPOT ELEVATION
	182 CONTOUR LINE TO REMAIN
	(182) CONTOUR LINE TO BE MODIFIED
	PROPERTY LINE
	DESIGNATED STREET LINE
	BUILDING SETBACK LINE
	EXISTING TO BE REMOVED
	BUILDING SETBACK AREA
	ADDITION
	EXISTING STONE PAVERS
	EXISTING SLATE WALKWAY
	EXISTING TREE
	EXISTING BUILDING

ZONING DATA

ZONING DISTRICT: R40, GROUP B, PALISADES HISTORIC DISTRICT. USE PERMITTED BY RIGHT.
TAX LOT: 78.17-2-22

BULK REQUIREMENTS

REGULATION	REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	5 ACRES	12,478 SF 0.2865 ACRES	* NO CHANGE
MIN. LOT WIDTH	400'	129'	* NO CHANGE
MIN. LOT FRONTAGE	50'	240'	* NO CHANGE
MIN. FRONT YARD	50'	1.5' & 15.9'	* NO CHANGE
MIN. SIDE YARD	30'	22.7'	* 12' **
TOTAL SIDE YARD	80'	N.A. CORNER LOT	* N.A. CORNER LOT
MIN. REAR YARD	50'	48.5'	* NO CHANGE
MAX. FLOOR AREA RATIO	0.15	0.31	* 0.325 **
MIN. PARKING	1 SPACE / 200 SF	EXISTING: 11 REQUIRED: 20	PROPOSED: 11 REQUIRED: 21 **
MAX. BUILDING COVERAGE		17.7%	19.3% ***
DEVELOPMENT COVERAGE		62.9%	NO CHANGE
MAX. HEIGHT	8'7"	11'7"	* 8'7" ADDITION

Town of Orangetown
MEETING OF:
JAN 15 2025

* EXISTING NON-COMFORMITY. VARIANCE GRANTED 01/27/94. ZBA DECISION # 94-05, & 07/11/12. ZBA DECISION #12-43.
** VARIANCE REQUIRED
*** INCLUDES PAVING IN OAK TREE ROAD & CLOSTER ROAD.

ENGINEER: [Signature]

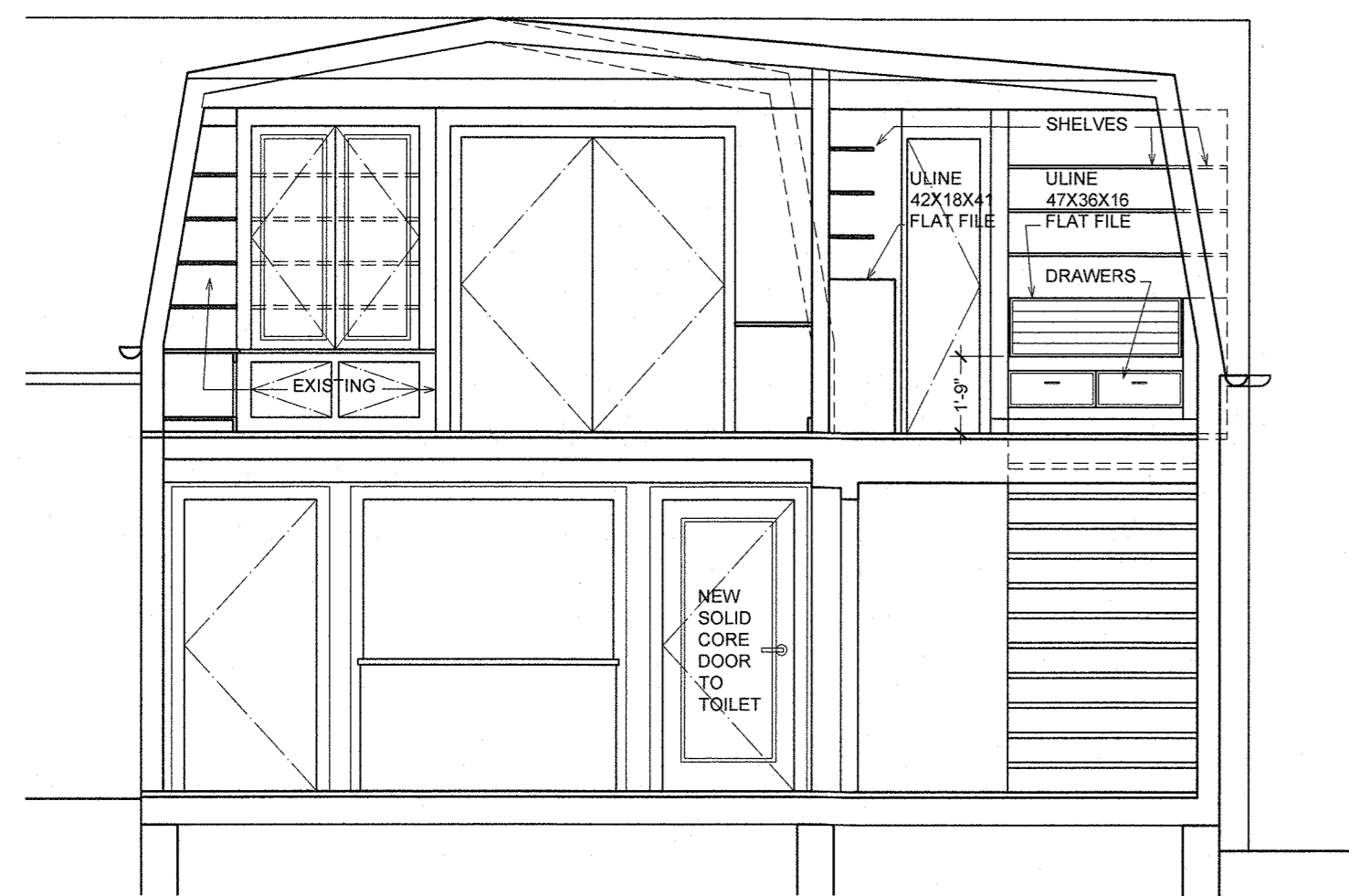
REGISTERED ARCHITECT: [Signature]

DATES:
03.18.24
04.01.24 REVISED
05.09.24 PLANNING BD.
05.18.24 REVISED
11.01.24 ZBA

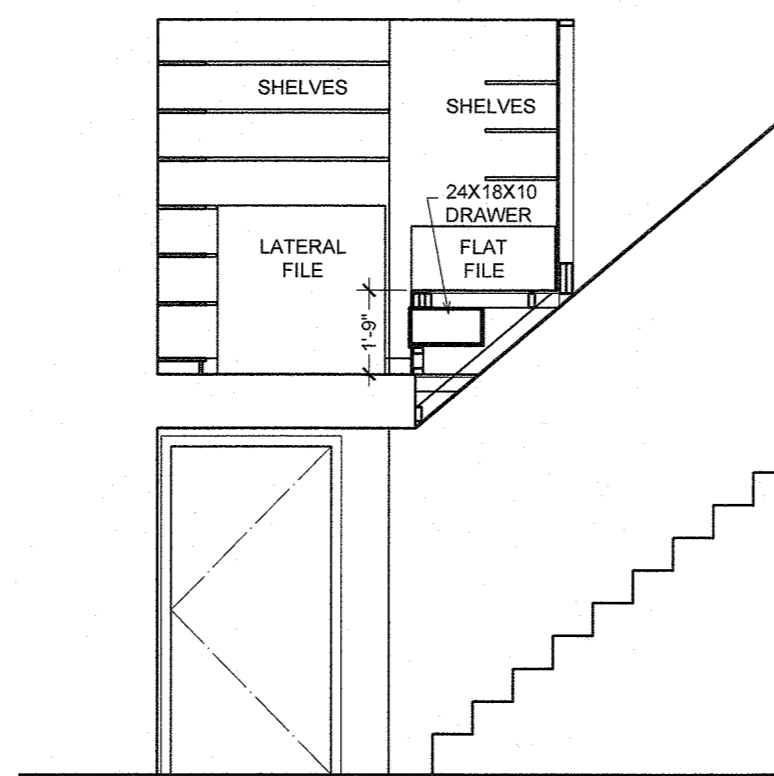
ADDITION & ALTERATION to the PALISADES FREE LIBRARY
19 Closter Road, Palisades, NY 10964

SITE PLAN & FLOOR PLANS

Michael Esmay Architect
17 Van Houten Street, Upper Nyack, NY 10980 (845) 358-0933 mikesmay@aol.com



SECTION B
SCALE 1/4" = 1'-0"



SECTION C
SCALE 1/4" = 1'-0"

STANDING SEAM STEEL ROOFING, CRAFTMAN STYLE, SLATE GREY, ON ICE & WATER SHIELD UNDERLAYMENT ON 1/2" CDX PLYWOOD SHEATHING ON 6" RIGID INSULATION ON 2"x6" T&G WOOD DECKING.

6" COPPER GUTTER
WOOD FASCIA BOARD TO MATCH EXISTING TRIM
2-2X8
MARVIN CASEMENT WINDOWS TO MATCH EXISTING WINDOWS
STONE SILL TO MATCH EXISTING

2" RIGID INSULATION ON WATER PROOFING ON 8" CONCRETE (3000 PSI) WALL W/ #4 BARS 12" O/C BOTH WAYS.

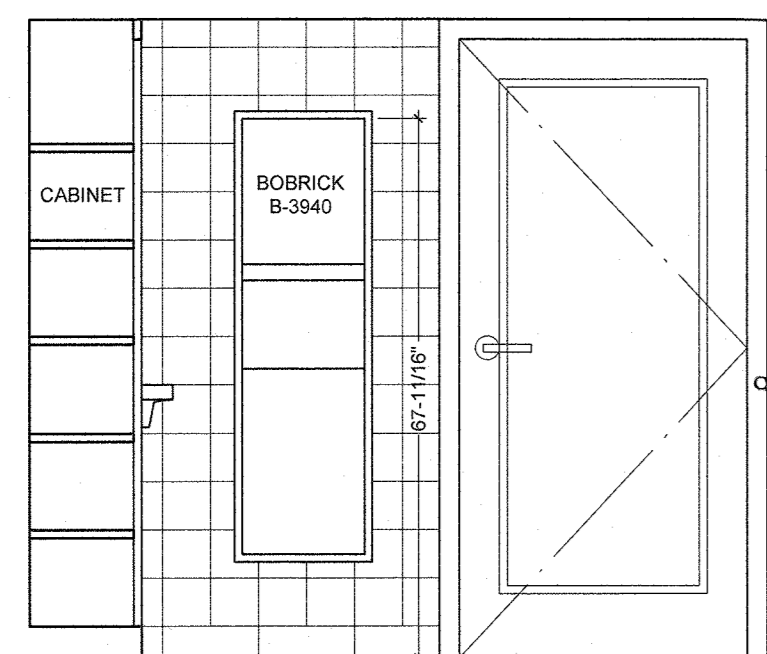
10'x24" CONTINUOUS CONCRETE (3000 PSI) FOOTING W/ 2-#5 BAR REINFORCING ON UNDISTURBED SOIL A MINIMUM OF 3'-6" BELOW FINISHED GRADE.

CHILDREN'S ROOM ADDITION

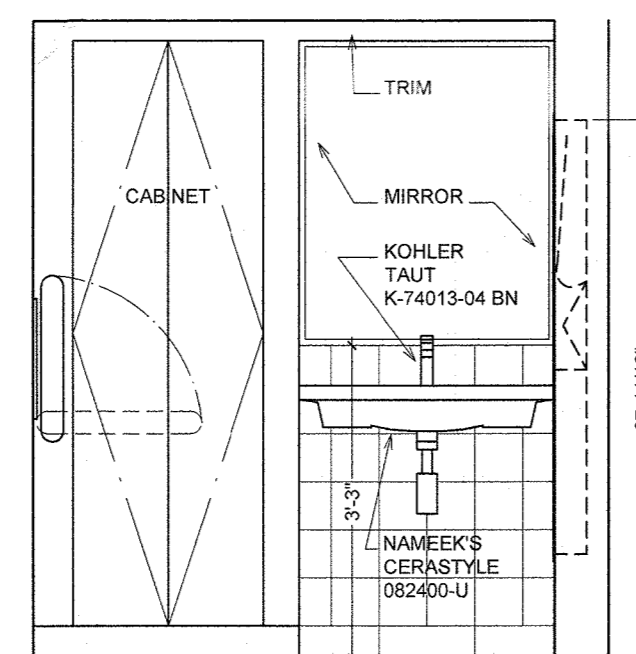
EXISTING CHILDREN'S ROOM

1/2" DRYWALL ON 2X4 STUD WALL W/ FULL-THICK BATT INSULATION
4" CONC. SLAB W/ 6"x6" #10x#10 W/M REINFORCING ON VAPOR BARRIER ON 4" CRUSHED STONE ON UNDISTURBED OR TAMPED SOIL

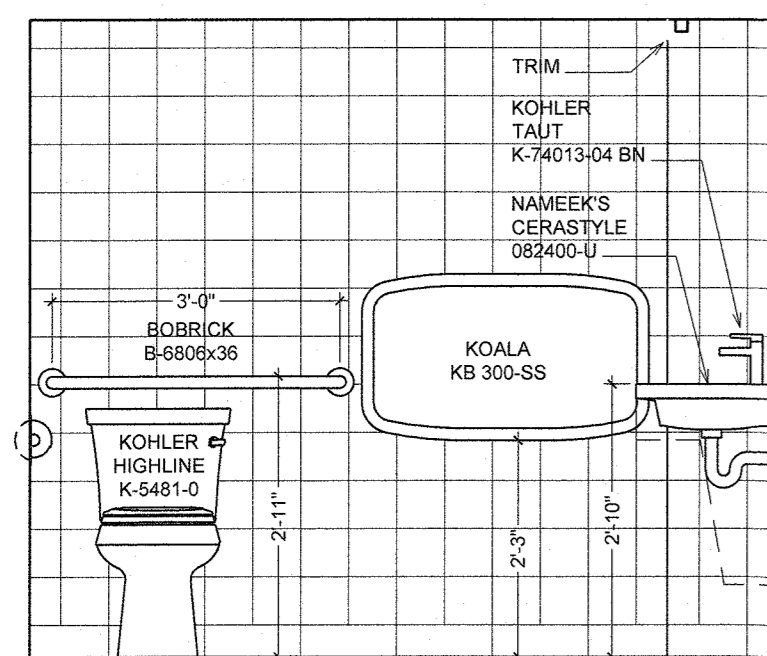
SECTION A
SCALE 1/4" = 1'-0"



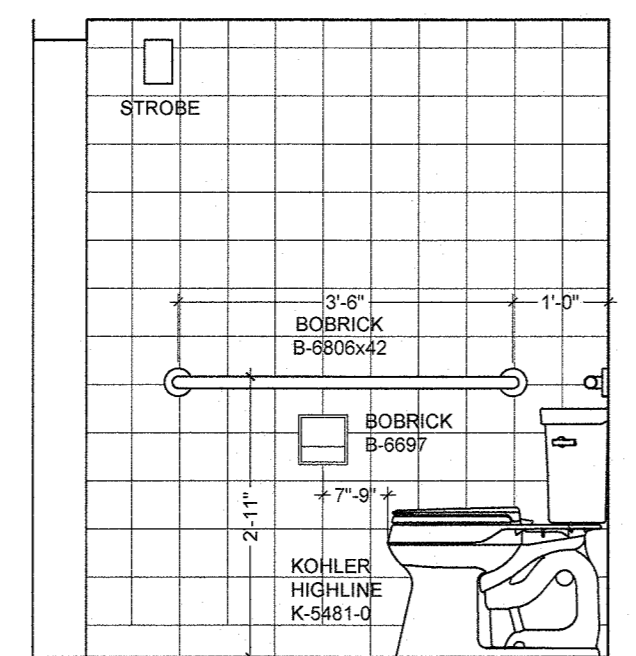
ELEVATION A
SCALE 1/2" = 1'-0"



ELEVATION B
SCALE 1/2" = 1'-0"



ELEVATION C
SCALE 1/2" = 1'-0"



ELEVATION D
SCALE 1/2" = 1'-0"

STANDING SEAM STEEL ROOFING, CRAFTMAN STYLE, SLATE GREY, ON ICE & WATER SHIELD UNDERLAYMENT ON 1/2" CDX PLYWOOD SHEATHING ON 6" RIGID INSULATION ON 2"x6" T&G WOOD DECKING.

6" COPPER GUTTER
WOOD FASCIA BOARD TO MATCH EXISTING TRIM
2-2X8
MARVIN CASEMENT WINDOWS TO MATCH EXISTING WINDOWS
STONE SILL TO MATCH EXISTING
GROUND ELEVATION

2" RIGID INSULATION ON WATER PROOFING ON 8" CONCRETE (3000 PSI) WALL W/ #4 BARS 12" O/C BOTH WAYS.

10'x24" CONTINUOUS CONCRETE (3000 PSI) FOOTING W/ 2-#5 BAR REINFORCING ON UNDISTURBED SOIL A MINIMUM OF 3'-6" BELOW FINISHED GRADE.

WOOD TRIM ON 4X6

1/2" DRYWALL ON 2X4 STUD WALL W/ FULL-THICK BATT INSULATION
4" CONC. SLAB W/ 6"x6" #10x#10 W/M REINFORCING ON VAPOR BARRIER ON 4" CRUSHED STONE ON UNDISTURBED OR TAMPED SOIL

WALL SECTION
SCALE 1/2" = 1'-0"

STANDING SEAM STEEL ROOFING, CRAFTMAN STYLE, SLATE GREY, ON ICE & WATER SHIELD UNDERLAYMENT

1/2" CDX PLYWOOD SHEATHING
6" RIGID INSULATION
2"x6" T&G WOOD DECKING
WOOD TRIM
4X6

ROOF DETAIL - @ INTERSECTION W/ EXISTING WALL
SCALE 1" = 1'-0"

ENGINEER	ARCHITECT REGISTERED ARCHITECT ROBERT MICHAEL STATE OF NEW YORK 010967	DATES 03.18.24 04.01.24 REVISED 05.09.24 PLANNING BD 05.18.24 REVISED 11.01.24 ZBA	ADDITION & ALTERATION to the PALISADES FREE LIBRARY 19 Closter Road, Palisades, NY 10964 SECTIONS, DETAILS & INTERIOR ELEVATIONS Michael Esmay Architect 17 Van Houten Street, Upper Nyack, NY 10960 (845) 358-0933 mikesmay@aol.com	2
----------	--	---	---	----------




SOUTH
SCALE 1/4" = 1'-0"



NORTH
SCALE 1/4" = 1'-0"



WEST
SCALE 1/4" = 1'-0"

ENGINEER		DATES 03.18.24 04.01.24 REVISED 05.09.24 PLANNING BD. 06.18.24 REVISED 11.01.24 ZBA	ADDITION & ALTERATION to the PALISADES FREE LIBRARY 19 Closter Road, Palisades, NY 10984	<h1>3</h1>
			ELEVATIONS	
			Michael Esmy Architect 17 Van Houten Street, Upper Nyack, NY 10980 (845) 358-0933 mikesmay@aol.com	