

Additions and Alterations to the FELIX-OBRIEN RESIDENCE

257 Piermont Road
South Nyack, New York 10960

ISSUED FOR PERMITS AND PRICING

May 10, 2024

LIST OF DRAWINGS

T-1.1	Title Sheet, List of Drawings	N.T.S.	*A-8.1	Sill & Eave Details	3"=1'-0"	* Not Included In Permit Set
G-1.1	Notes & Abbreviations	N.T.S.	△ *A-9.1	Door & Window Details	1"=1'-0"	
G-1.2	Symbols & Energy Code	N.T.S.	△ *A-9.2	Door & Window Details	1"=1'-0"	
△ C-1.1	Site Plan, Zoning Analysis	1"=20'-0"	△ *A-9.3	Door & Window Details	3"=1'-0"	
C-2.1	Site Drainage Details	N.T.S.	△ *A-9.4	Door & Window Details	3"=1'-0"	
			△ *A-9.5	Door & Window Details	1"=1'-0", 3"=1'-0"	
D-1.1	Demolition Plans	1/8"=1'-0"	*A-10.1	Shower Details	3"=1'-0"	
△ A-1.1	Basement / Foundation Plan	1/8"=1'-0"	E-1.1	Power & Lighting Plan	1/8"=1'-0"	
△ A-1.2	First Floor Plan	1/8"=1'-0"	△ S-1.1	First Floor Framing Plan	1/8"=1'-0"	
△ A-1.3	Second Floor / Roof Plan	1/8"=1'-0"	S-1.2	Roof Framing Plan	1/8"=1'-0"	
△ *A-1.4	Reflected Ceiling Plan	1/8"=1'-0"				
A-2.1	Elevations	1/8"=1'-0"				
A-2.2	Elevations	1/8"=1'-0"				
△ A-2.3	Elevations	1/8"=1'-0"				
△ A-2.4	Elevations	1/8"=1'-0"				
A-3.1	Building Sections	1/8"=1'-0"				
A-4.1	Wall Sections	3/8"=1'-0"				
A-4.2	Stair Details	3/8"=1'-0", 3"=1'-0"				
[Drawings A5.1 through A6.2 - Not in Contract]						
*A-7.1	Interior Elevations	1/8"=1'-0"				
*A-7.2	Interior Elevations	1/8"=1'-0"				
*A-7.3	Interior Elevations	1/8"=1'-0"				



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△ Issued for Pricing - 5/10/24
△ Issued for Planning Board Review - 5/10/24
Issued for Permits - 3/15/24

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1.1

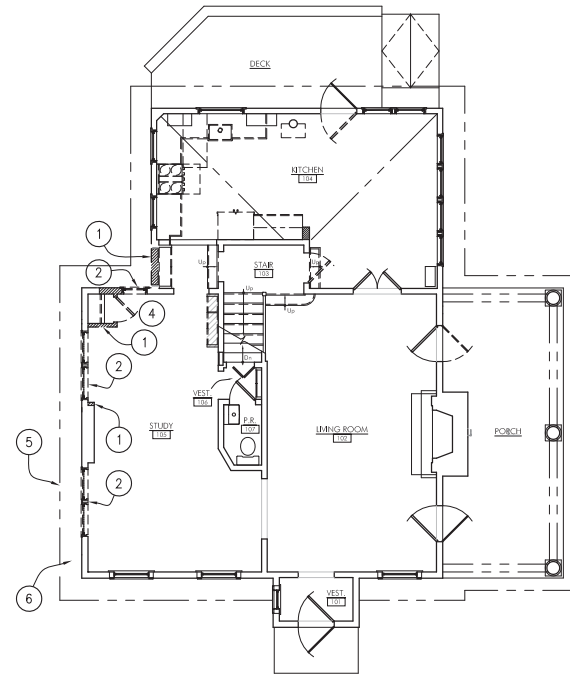
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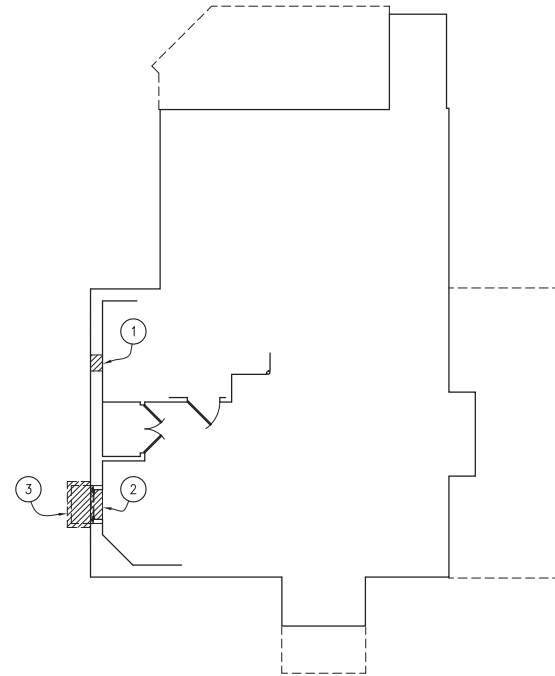
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REVISIONS

NO.	DATE	DESCRIPTION



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"
0 2' 4' 6' 10'



2 BASEMENT DEMOLITION PLAN
SCALE: 1/8"=1'-0"
0 2' 4' 6' 10'

DEMOLITION NOTES

- Contractor shall perform all operations of demolition and removal indicated on the drawings and as may be required by the work. All work shall be done carefully and neatly, in a systematic manner.
- All existing surfaces and equipment to remain shall be fully protected from damage. The Contractor shall assume full responsibility for damage and shall make repairs required without additional cost to the Owner.
- No debris shall be allowed to accumulate on the site. Debris shall be removed by the Contractor as the job proceeds. The site shall be left broom clean at the completion of demolition.
- No structural elements shall be removed unless portions affected are adequately supported by either temporary shoring or new structural elements as required to protect the stability and integrity of the existing structure.
- Remove or relocate all wiring, plumbing, and mechanical equipment affected by removal of partitions. Removed pipes and/or lines shall be cut to a point of concealment behind or below finish surfaces, and shall be properly capped or plugged.
- The Contractor shall provide, erect and maintain all temporary barrier and guards, and all temporary shoring and bracing as required by Department of Building rules and regulations.
- The Contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in any wall or roof shall be protected from all forms of weather or water penetration.
- The Contractor shall file all necessary Certificates of Insurance with the Department of Buildings, pay all fees, obtain all permits and provide any and all bonds required by any city agency in order to do the work herein described.

KEY NOTES:

- Remove portion of existing wall.
- Remove existing window.
- Remove existing window well.
- Remove existing door.
- Remove portion of existing soffit and portion of existing roof.
- Existing Gas Meter to Remain. Protect gas meter and gas line from damage.

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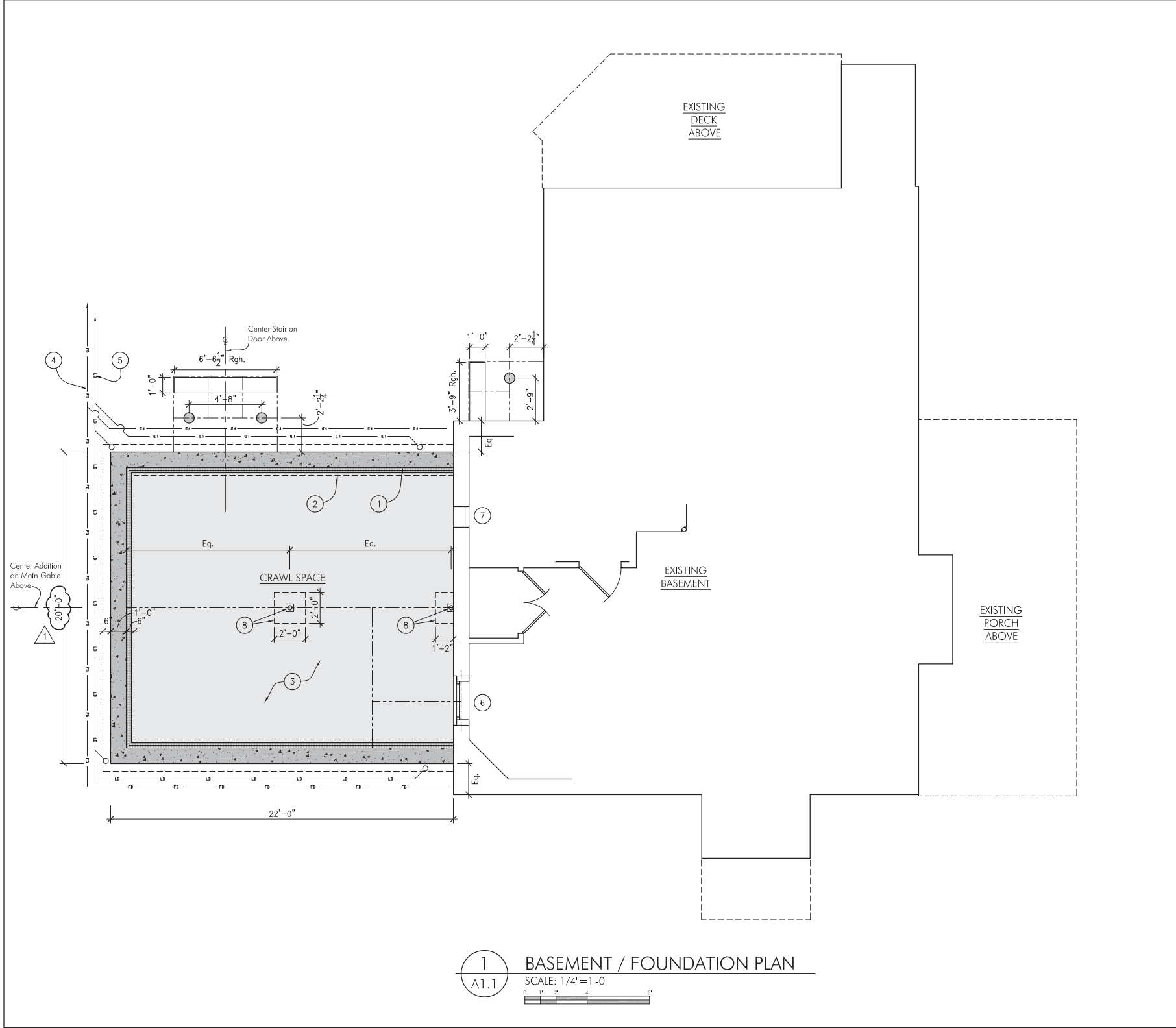
Alterations To The
FELIX-OBRIEN RESIDENCE
257 Piermont Avenue
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DEMOLITION
PLANS

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- KEY NOTES:
- ① Reinforced Concrete Foundation Wall
 - ② Reinforced Concrete Footing
 - ③ Reinforced Concrete Rat Slab
 - ④ Footing Drain Pitched to Drainage Gallery
 - ⑤ Foundation Drain Pitched to Drainage Gallery
 - ⑥ New Access Door with Vent in Existing Masonry Opening
 - ⑦ New Vent in New Masonry Opening
 - ⑧ New Steel Column and Concrete Footing



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**BASEMENT /
 FOUNDATION PLAN**

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1 BASEMENT / FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



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KEY NOTES:

- 1 Hardwood Flooring w/ Stain & Polyurethane
- 2 Porcelain Tile Flooring
- 3 P.T. Decking w/ Solid Stain
- 4 Ceramic Tile Flooring
- 5 Built-in Custom Cabinetry
- 6 New Plumbing Fixtures & Fittings
- 7 New Closet Rod & Shelf
- 8 Line of Eave Above
- 9 Line of New Overhang Above
- 10 Electric Radiant Floor Heating at Mudroom 110 and Bath 112
- 11 Heat Pump Ducted Heating and Cooling System
- 12 New Condenser Unit
- 13 Existing Gas Meter to Remain



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DRAWING TITLE

FIRST FLOOR PLAN

PROJECT NO.

SCALE

1/4" = 1'-0"

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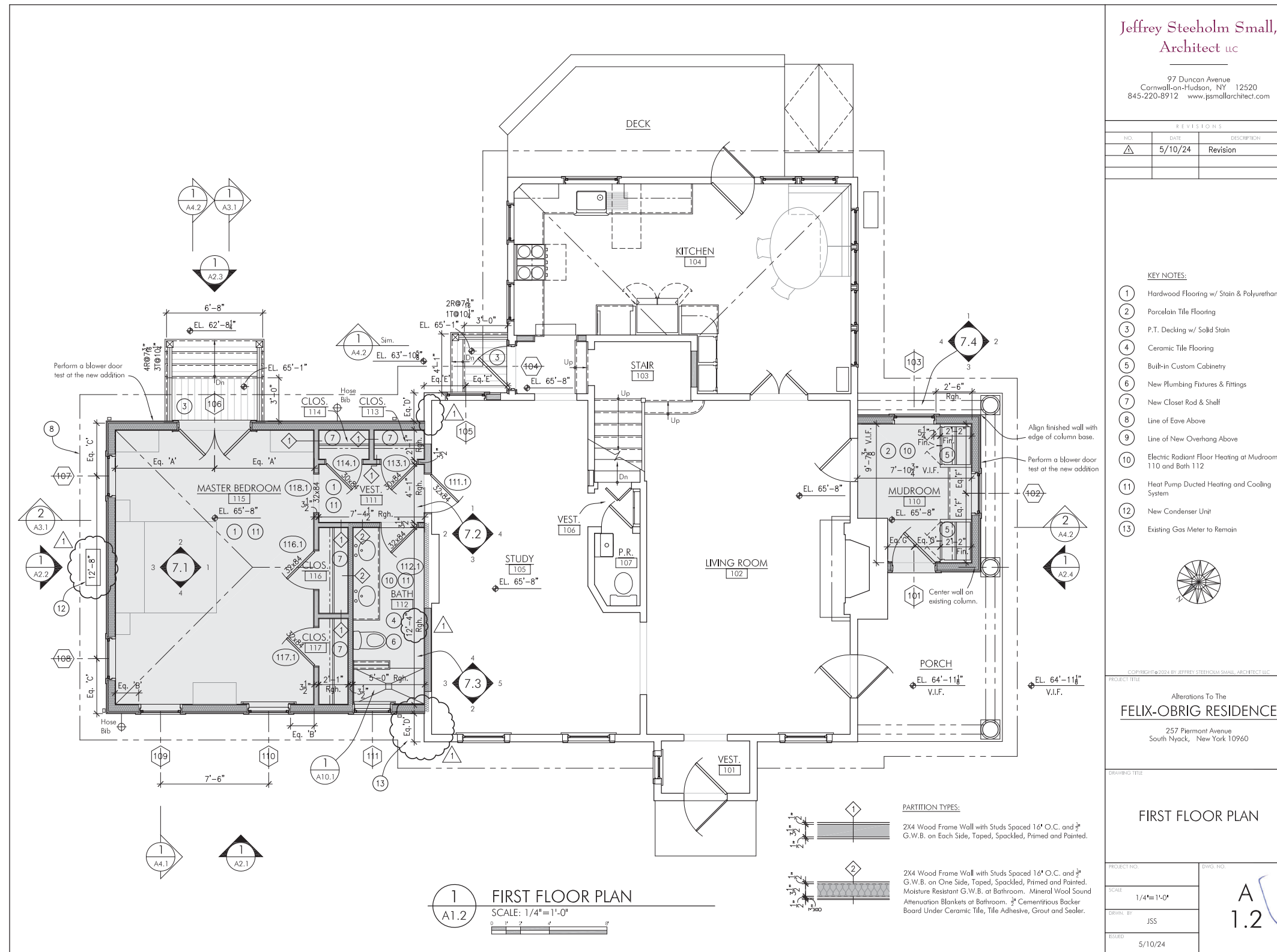
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DWG. NO.

A
1.2



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- PARTITION TYPES:**
- 1 2x4 Wood Frame Wall with Studs Spaced 16" O.C. and 3/8" G.W.B. on Each Side, Taped, Spackled, Primed and Painted.
 - 2 2x4 Wood Frame Wall with Studs Spaced 16" O.C. and 3/8" G.W.B. on One Side, Taped, Spackled, Primed and Painted. Moisture Resistant G.W.B. at Bathroom. Mineral Wool Sound Attenuation Blankets at Bathroom. 3/8" Cementitious Backer Board Under Ceramic Tile, Tile Adhesive, Grout and Sealer.



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KEY NOTES:

- ① New Asphalt Roofing to Match Existing
- ② Gutters and Leaders to Match Existing



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DRAWING TITLE

SECOND FLOOR /
ROOF PLAN

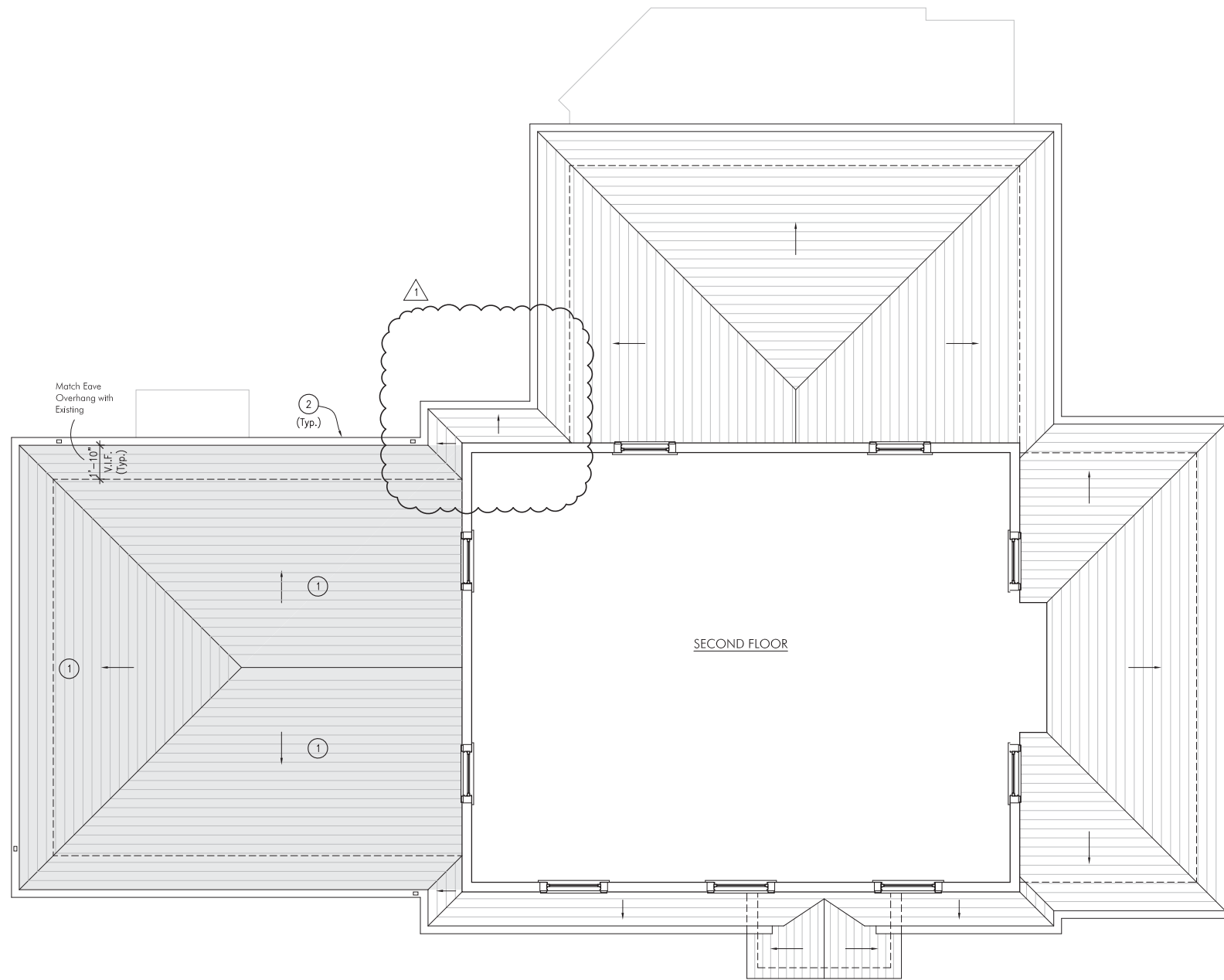
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SCALE
1/4" = 1'-0"

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A
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① SECOND FLOOR / ROOF PLAN
SCALE: 1/4" = 1'-0"
0 2 4 8'

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REVISIONS

NO.	DATE	DESCRIPTION

KEY NOTES:

- 1 New Painted Wood Siding to Match Existing
- 2 Painted Wood Eaves to Match Existing
- 3 New Painted Wood Windows / Doors
- 4 New Painted Wood Shutters, Custom to Match Existing
- 5 Face Brick to Match Existing
- 6 Asphalt Roofing to Match Existing



1 WEST ELEVATION
A2.1 SCALE: 1/4"=1'-0"
0 1 2 4 8

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ELEVATIONS

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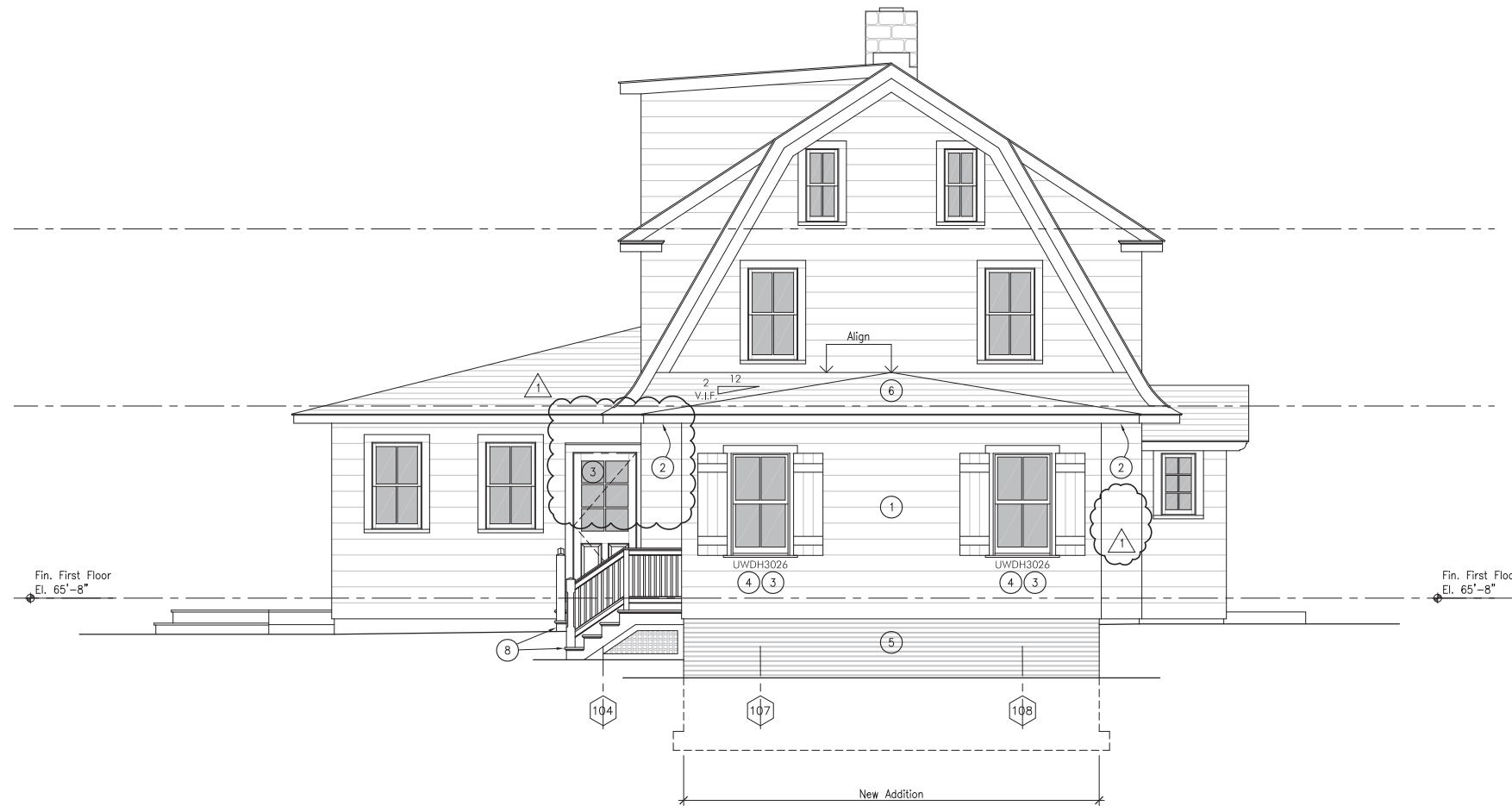
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- 3 New Painted Wood Windows / Doors
- 4 New Painted Wood Shutters, Custom to Match Existing
- 5 Face Brick to Match Existing
- 6 Asphalt Roofing to Match Existing
- 7 New Overhang to Match Existing
- 8 New Painted Wood Stairs



Fin. First Floor
El. 65'-8"

Fin. First Floor
El. 65'-8"

1 NORTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

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ELEVATIONS

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KEY NOTES:

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- ② Painted Wood Eaves to Match Existing
- ③ New Painted Wood Windows / Doors
- ④ New Painted Wood Shutters, Custom to Match Existing
- ⑤ Face Brick to Match Existing
- ⑥ Asphalt Roofing to Match Existing
- ⑦ New Overhang to Match Existing △
- ⑧ New Painted Wood Stairs
- ⑨ New Framed Trellis
- ⑩ Existing Porch to Remain



① EAST ELEVATION
A2.3 SCALE: 1/4" = 1'-0"
0' 1' 2' 4' 8'

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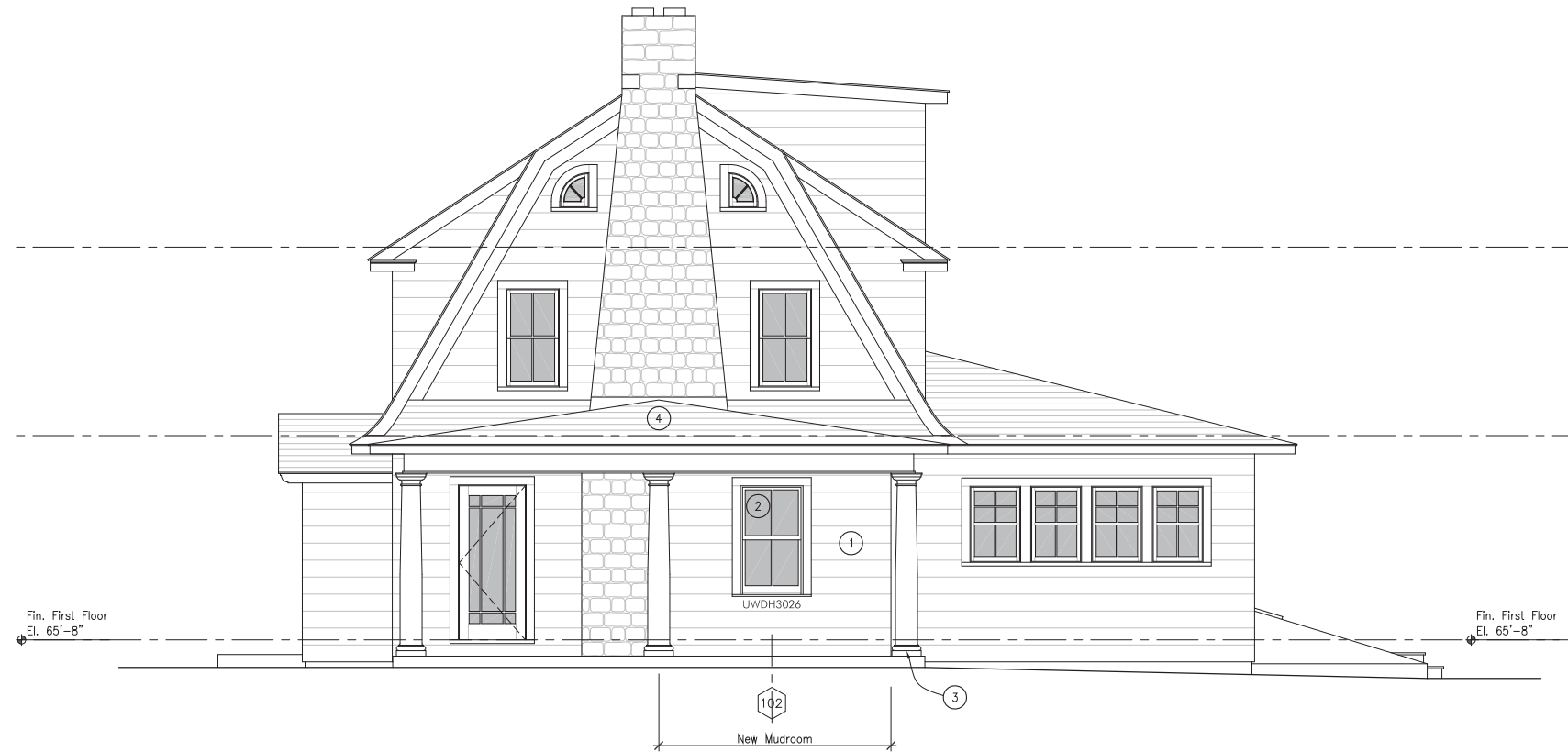
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KEY NOTES:

- ① New Painted Wood Siding to Match Existing
- ② New Painted Wood Windows / Doors
- ③ Existing Porch to Remain
- ④ Existing Roofing to Remain



① SOUTH ELEVATION
A2.4 SCALE: 1/4" = 1'-0"
0 1 2 4 8

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