

ROAM
ARCHITECTURE

December 17, 2024

Katlyn Bettmann
Town of Orangetown
Landuse Boards
26 Orangeburg Road
Orangeburg, NY 10962

Re: ZBA drawing Revision for:
168 Washington Street, Tappan, N.Y.

Dear Ms. Bettmann:

In response to our recent email correspondence regarding the above referenced property, we submit the following:

- Current Permit Drawings, Sheet A-0, revised December 11, 2024 (Revision #2) by Roam Architecture – 2 copies. Note updates shown with “clouds.”
- Architectural drawings from prior first floor addition, Sheets A-1 through A-4, dated August 29th, 2000 by John Deans. – 1 copy
- Architectural drawings from the prior second floor addition, Sheets A-1 through A-3, dated June 1, 2001 by John Deans – 1 copy
- Certificate of Occupancy – 1st floor addition – 1 copy
- Certificate of Occupancy (No. 31861, dated 02/27/2002) – 2nd floor addition – includes letter from John J. Deans, Architect - 1 copy
- Certificate of Occupancy – deck – 1 copy
- Certificate of Occupancy – front porch – 1 copy
- Property Survey by William A. Yuda, dated May 14, 1986

To our professional knowledge and belief, the above referenced property has never been in front the ZBA before, therefore Front Yards (FY1 and FY2), Side Yard (SY) and Rear Yard (RY) have never been officially designated.

Additionally, since the time of our original submission, the Building Department has provided to us a letter written by John J. Deans, RA dated June 20, 2021, which states the lot area, house square footage and FAR (copy attached). Upon review, I cannot confirm the accuracy of these values, as they do not align with my current calculations.

Town of Orangetown
MEETING OF:

JAN 29 2025

ZONING BOARD OF APPEALS

181 Old Tappan Road · Tappan, NY 10983
Tel 845.267.8479 · www.roamarch.com





The revisions to drawings include:

- On Sheet A-0, the Table of Bulk Regulations has been updated as follows per ZBA request:
 - Proposed FAR was revised as follows:

ITEM	PROJECT DRAWING DATED 6-20-24 Revision #1 - 9-19-24	RESUBMITTED DRAWING DATED Revision #2- 12-11-24	NOTES
House Size (existing)	2,649 SF	2,665 SF	Main house + garage
House Size (with proposed addition)	2,649 + 264 SF = 2,913 SF	2,665 + 264 SF = 2,929 SF	Increased due to increased existing house size (above)
Lot Size	16,709 SF	No Change	
Existing FAR	0.159 (15.9%)	No Change	
Proposed FAR	0.174 (17.4%)	0.175 (17.5%)	

- Proposed Setbacks have been clarified as follows:

ITEM	EXISTING	PROPOSED ADDITION	NOTES
Front Yard Setback #1 (FY1) - Conklin Avenue	0.70 feet (existing non-conforming)	26.50 feet (at proposed covered porch)	Variance Required
Front Yard Setback #2 (FY2) – Washington Street	9.5 feet (existing non-conforming)	16.83 feet (at proposed closet)	Variance Required
Side Yard (SY) Setback	+/- 48.5 feet (to deck)	No change	
Rear Yard (RY) Setback	+/- 107.5 feet (to deck)	No change	

- The setback locations given above have been revised to correspond to the updated official designation of the front of house. (Conklin Ave.)
- The above existing non-conforming values in the front yard setbacks (FY1 and FY2) of the existing home have not changed.
- Values under “proposed addition” are for the proposed new construction.

Very truly yours,



Roberto M. Palmerini, RA
Principal



ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)
Date: October 17, 2024

TO: OBAPAE

- | | |
|--|----------------------------------|
| ✓ NYS Dept of Environmental Conservation | ✓ Rockland County Drainage |
| New York State Dept. of Transportation | ✓ Rockland County Health |
| Palisades Interstate Park Commission | ✓ Rockland County Planning |
| NYS Thruway Authority | ✓ Rockland County Highway |
| ACOE | ✓ Rockland County Sewer Dstrt #1 |
| CSX | ✓ Orange and Rockland Utilities |
| | ✓ Veolia |

This matter is scheduled for: November 20, 2024

Review of Plans: Paul Mesibov Trust, 168 Washington Street, Tappan, NY

Section: 77.11 Block: 1 Lot: 50; R-15 zone

Chapter 43, R-15 District, Section 3.12, Group M, Column 8 (front yard: 30', with 9.5'(storage) & 26.5'(second story) proposed), and from Section 9.2 (Expansion of non-conforming bulk) for a second story bathroom addition and a new roof over part of an existing deck, at a single-family dwelling. The premises are located at 168 Washington Street, Tappan, New York and identified on the Orangetown Tax Map as Section 77.11, Block 1, Lot 50 in the R-15 zoning district.

Please review the information enclosed and provide comments.
These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: **KBettmann@orangetown.com**

Zoning Board Meeting Date: November 20, 2024

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

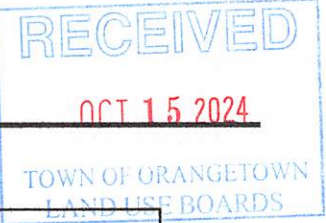
**This project is before the Zoning Board on Wednesday, November 20, 2024.
Kindly forward your completed review to this office by November 20, 2024.**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**



Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: OCT 15 2024

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-5840-24
 ASSIGNED
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: 168 Washington Street Addition Mesibov

Street Address: 168 Washington Street, Tappan, NY 10983

Tax Map Designation:
 Section: 77.11 Block: 1 Lot(s): 50
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the Right / North side of Washington Street, approximately 0 feet of the intersection of Conklin Avenue, in the Town of Orangetown in the hamlet/village of Tappan.

Acreage of Parcel <u>0.38</u>	Zoning District <u>R-15 - Group M</u>
School District <u>South Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>Orangetown</u>	Fire District <u>Tappan</u>
Water District <u>Orangetown</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)* New 2nd floor master bathroom addition and new roof over portion of existing deck.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 10/13/2024 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? If so, what amount?
- 3) Is this a standard or average density subdivision?

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage
- 3) Number of dwelling units

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type: No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 9.24.24 Section: 77.11 Block: 1 Lot: 50

Applicant: Mesibov

Address: 168 Washington St, Tappan, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12, R-15 District, Group M, Column 8 Front Yrd 30' with 9.5' (Storage) & 26.5 (second story)

Section 9.2 Expansion of non-conforming bulk requires ZBA approval

3 variances required

Comments:

second story bath addition

Dear Mesibov:

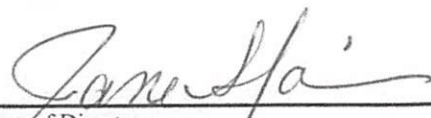
Please be advised that the Building Permit Application # 5840-24, which you submitted on 9.6.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann @orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

9/25/24




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

9/26/24
Date
Liz DeCort
Debbie Arbolino

CC: Liz DeCort
Debbie Arbolino

APPLICATION REVIEW FORM

AFFIDAVIT



State of New York)
County of Rockland) SS.:
Town/Village of Orangetown)

I, Paul Mesibov being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the Zoning board (board) in the town/village of Tappan affecting property located at 168 Washington Street, Tappan, NY 10983, Rockland County, New York.

That the following are all of the owners of property 200 ft (distance) from the premises as to which this application is being taken.

SECTION-BLOCK-LOT NAME ADDRESS

SWIS PRINT KEY NAME ADDRESS

392489 77.11-1-37./31 Laura Cantor 33 Contempra Cir,Tappan, NY 10983
392489 77.11-1-37./32 Steven Ozer 31 Contempra Cir,Tappan, NY 10983
392489 77.11-1-37./41 Anna Vero 41 Contempra Cir,Tappan, NY 10983
392489 77.11-1-37./42 Elizabeth Lenhardt 39 Contempra Cir,Tappan, NY 10983
392489 77.11-1-37./43 Jennifer St Denis 37 Contempra Cir,Tappan, NY 10983
392489 77.11-1-37./44 Steven Gannello 35 Contempra Cir,Tappan, NY 10983
392489 77.11-1-43 Barbara Tessel 200 Washington St,Tappan, NY 10983
392489 77.11-1-44 Frederick Berberich 11 Ann Dr,Tappan, NY 10983
392489 77.11-1-45 Michael C Berry 17 Ann Dr,Tappan, NY 10983
392489 77.11-1-46 Nanci Banninger 18 Ann Dr,Tappan, NY 10983
392489 77.11-1-47 Jacob Miraglia 10 Ann Dr,Tappan, NY 10983
392489 77.11-1-48 Miriam Moreno-Pedraja 4 Ann Dr,Tappan, NY 10983
392489 77.11-1-49 Angela Hutchinson 180 Washington St,Tappan, NY 10983
392489 77.11-1-50 Paul Mesibov 168 Washington St,Tappan, NY 10983
392489 77.11-1-51 Ralph Spano 11 Conklin Ave,Tappan, NY 10983
392489 77.11-1-52 Wilson Parra 17 Conklin Ave,Tappan, NY 10983
392489 77.11-1-53 Patrick J Mc Grath Jr 23 Conklin Av,Tappan, NY 10983
392489 77.11-1-54 Patrick J Mc Grath 29 Conklin Av,Tappan, NY 10983
392489 77.11-1-55 Clare Sheridan 41 Conklin Ave,Tappan, NY 10983
392489 77.11-1-56.1 BESIM LLC 73 Tappan Rd,Harrington Park, NJ 07640
392489 77.11-1-57 Stephen Mc Ghee 14 Conklin Ave,Tappan, NY 10983
392489 77.11-1-58 Margaret M Fitzpatrick 16 Conklin Ave,Tappan, NY 10983
392489 77.11-3-4 Volunteer Fire Assoc 123 Washington St,Tappan, NY 10983
392489 77.11-3-5 Yellam Llc 155 Washington St,Tappan, NY 10983
392489 77.11-3-6 Tappan Realty LLC 17 6th St,Englewood Cliffs, NJ 07632
392489 77.11-3-7 John O Olson 175 Washington St,Tappan, NY 10983
392489 77.11-3-8 Michael Matulac 307 Ferdon Ave,Piermont, NY 10968
392489 77.11-3-9 Thano A Schoppel 193 Washington St,Tappan, NY 10983
392489 77.11-3-56 John O Olson 175 Washington St,Tappan, NY 10983
392489 77.11-3-57 Michael Darretta 11 Washington La,Tappan, NY 10983
392489 77.11-3-58 Brian Clarke 12 Washington Ln,Tappan, NY 10983
392489 77.11-3-55.1 Loreta Jara 52 Oak Tree Rd,Tappan, NY 10983
392489 77.11-3-55.2 Loreta Jara 52 Oak Tree Rd,Tappan, NY 10983

Clerk of Boards Review:

Date: _____ Initials: _____

Building Dept. (Accepted By):

Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
26 W Orangeburg Road
Orangeburg, New York 10962
Tel: (845) 359-8410 ext. 4330
Website: www.orangetown.com

THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.

PROJECT NAME: Mesibov
PROPERTY ADDRESS: 168 Washington St Tappan NY 10983
TAX LOT ID: _____
NAME OF APPLICANT: Paul Mesibov
OWNER OF PROPERTY: Paul Mesibov Trust
Land Use Application/Brief Description of Project: Second floor Master Bathroom addition & new roof over existing deck

PART ONE:

1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required of both the owner and applicant (if not the same) when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).



PART THREE:

- 10. Is any person identified in Part TWO currently employed by or hold a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
- 11. Is any person identified in PART TWO the spouse, sibling, parent, child, or grandchild of any individual who is employed by or holds a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
- 12. Does any person identified in PART TWO perform services for or have a contract, or employed by an entity that has a contract to perform services for the Town of Orangetown? Please circle: YES NO
- 13. If the answer is "YES" to any of the above, please provide a supplement sheet and list every Board, Department, Office, agency or other position with the Town of Orangetown in which the party has a position, paid or unpaid, or provides services for, and identify the agency, title and date of hire.

PART FOUR:

- 14. The information contained herein shall be updated with the Town of Orangetown Office of Building Clerk and Clerk of the Boards no later than THIRTY (30) DAYS after any change in information.
- 15. **NOTE: Any person who (a) provides false or fraudulent beneficial ownership information; (b) willfully fails to provide complete or updated information; or (c) during the application process, fails to obtain or maintain credible, legible and updated beneficial ownership information shall be subject to suspension of any pending application by the applicant entity, or a "stop work" order on any work relating to the application, or both, in addition to any other applicable penalties under the Town Code, or State and Federal Statute, or both.**

STATE OF NEW YORK)

COUNTY OF ROCKLAND)

) ss.:

I, Paul Mesibov, being duly sworn, deposes and says that I am (Title) Trustee, an active or qualified member of the Paul Mesibov Trust, a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.

[Signature]
Signature

Sworn to and subscribed in my presence

This 15 day of October, 2024

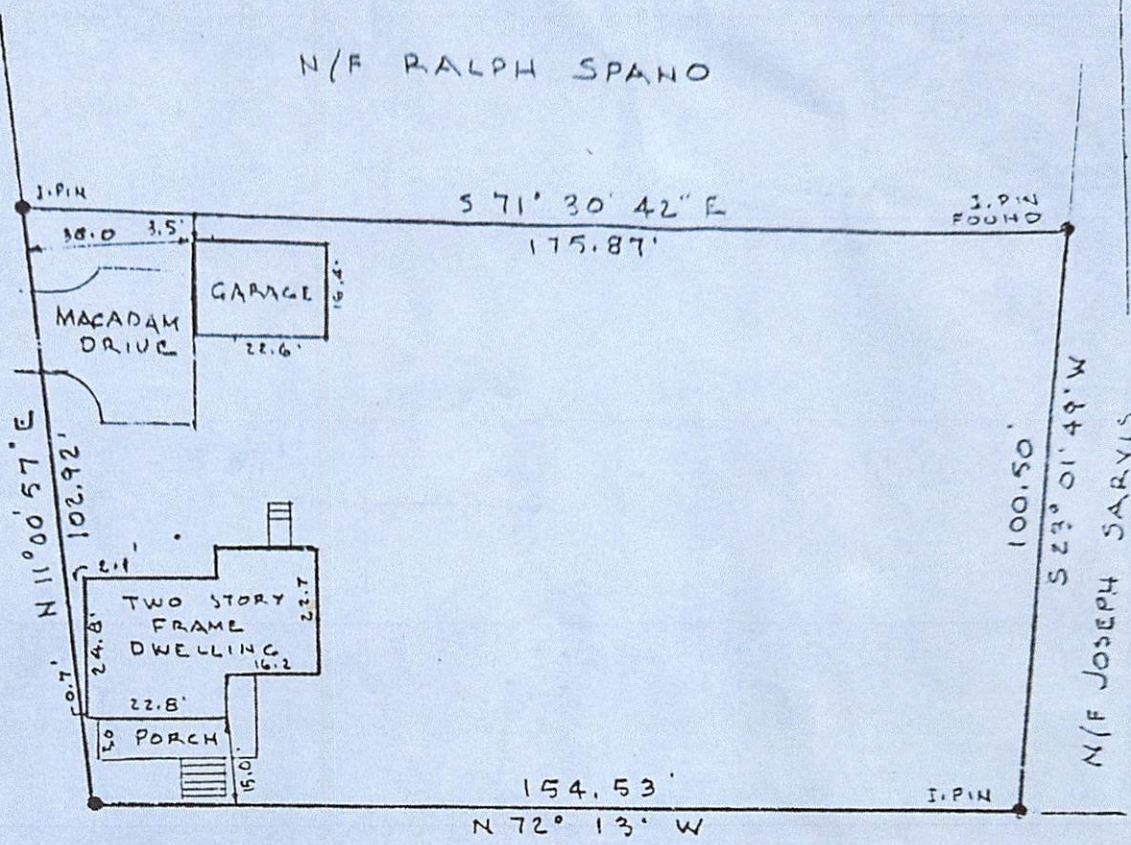
Virginia Raymond
NOTARY PUBLIC

VIRGINIA M. RAYMOND
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RA6222832
Qualified in Rockland County
Commission Expires July 20, 2024



N/F RALPH SPANO

CONKLIN AVE



WASHINGTON ST.

RECEIVED

DEC 17 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

SURVEY
FOR
A. KATHERINE McNAMARA
IN
TAPPAN

ROCKLAND COUNTY NEW YORK

CERTIFIED TO BARCLAYS BANK OF
NEW YORK N.Y., CHICAGO TITLE
INSURANCE COMPANY AND
A. KATHERINE McNAMARA TO BE
CORRECT AS SHOWN. *William C. Guda*

SCALE 1" = 30.0'
DATE MAY 14, 1986

WILLIAM A. YUDA ASSOC.
WEST NYACK N.Y.

7697

CERTIFICATE OF OCCUPANCY

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

Certificate No: 31248

Issue Date: 06/04/2001

Owner of Property: Lenora & Paul Mesibov
Address of Owner: 165 Washington Street, Tappan

Location: 165 Washington Street, Tappan

Present use of structure or land: one family dwelling

S-B-L: 77.11-1-50 (n)

ZONED: R-15

Const Type:

Occ Class:

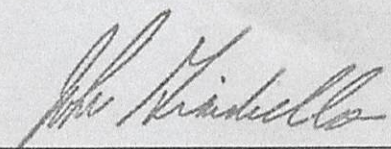
Use of Permit: RESI ALT & ADD

Census Code: 434

THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the premises herein described, situated on the above mentioned premises for the purposes specified as follows.

Use and designation for the structure or land and nature of work for which this C.O. is issued:

one story addition to side of an existing single family residence.


Director, OBZPAE



NAME MCSIBOU

OLD SECTION , BLOCK , LOT

NEW SECTION 77.11, BLOCK 1, LOT 50

ZONE R-15

SPECIAL CONSIDERATIONS

SEC. 3.12

1. ZONING BULK:
COLUMN

- | | | | |
|----|---------------------------------|--------------|---------------------|
| 4 | A). MAX. FLOOR AREA RATIO | <u>HOUSE</u> | <i>OK</i> |
| 5 | B). MIN. LOT AREA | <u>LOT</u> | |
| 6 | C). MIN. LOT WIDTH | <u> </u> | |
| 7 | D). MIN. STREET FRONTAGE | <u> </u> | <i>EXISTING OK</i> |
| 8 | E). REQ. FRONT YARD | <u> </u> | <i>NO CHANGE OK</i> |
| 9 | F). REQ. SIDE YARD WIDTH | <u> </u> | <i>OK</i> |
| 10 | G). TOTAL WIDTH BOTH SIDE YARDS | <u> </u> | <i>OK</i> |
| 11 | H). REQ. REAR YARD | <u>NA</u> | |
| 12 | I). MAX. HEIGHT | <u> </u> | <i>OK</i> |

2. COPY OF DECISIONS FROM ANY BOARDS
3. ENERGY CODE INFORMATION *OK*
4. SUPPLEMENTARY APPLICATION OF D.P.W. *NA*
5. CERTIFICATE OF WORKMAN'S COMP. INS. & DISABILITY BENEFITS OR OWNER'S AFFIDAVIT. *OK*
6. FLOOD ZONE? *NA*
7. ROCKLAND COUNTY OR N.Y. STATE HIGHWAY DEPARTMENT APPROVALS? *NA*
8. ROCKLAND COUNTY HEALTH DEPARTMENT APPROVALS ON SEPTIC? *NA*

RECEIVED
 DEC 17 2024
 TOWN OF ORANGETOWN
 LAND USE BOARDS

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK 10962

CERTIFICATE OF OCCUPANCY

Certificate No. 22798 Issued July 12 19 89
Owner of Property Mark Morris
Address of Owner 168 Washington St., Tappan

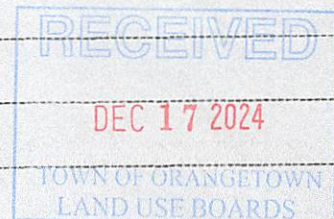
FOR PROPERTY LOCATED

Street 168 Washington St. Hamlet Tappan
Section 51 Block 455 Lot 20

THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the
one (1) family dwelling
situated on the above mentioned premises for the purposes specified below:

ZONE R-15

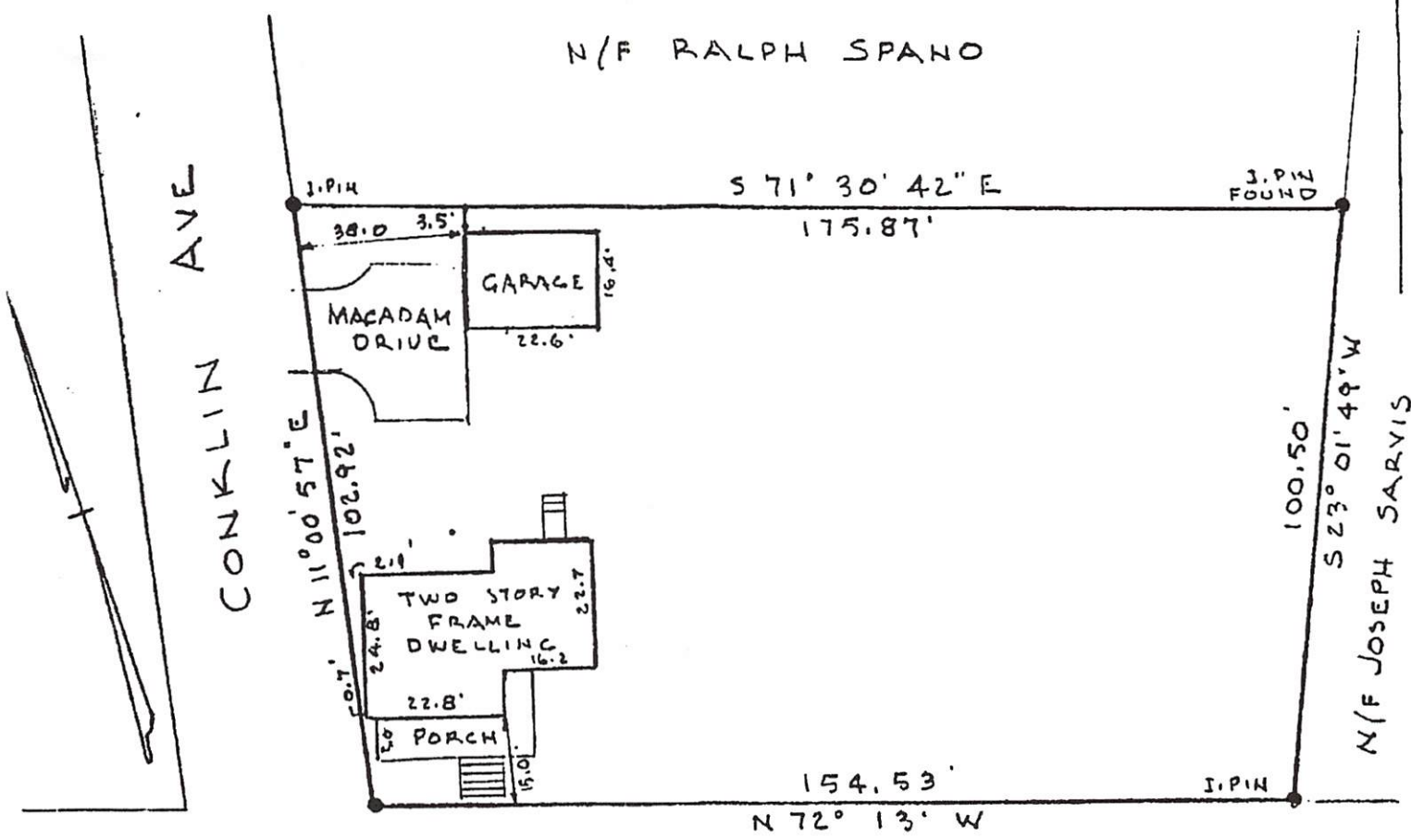
PERMITTED USE The replacement of a front porch of a one (1)
family dwelling.



Charles E. ...
DIRECTOR

CONKLIN AVE

N/F RALPH SPANO



N/F JOSEPH SARYIS

WASHINGTON ST.

RECEIVED
 DEC 17 2024
 TOWN OF GRANGETOWN
 LAND USE BOARDS

SURVEY

FOR

A. KATHERINE McNAMARA

IN

TAPPAN

ROCKLAND COUNTY NEW YORK

CERTIFIED TO BARCLAYS BANK OF
 NEW YORK N.Y., CHICAGO TITLE
 INSURANCE COMPANY AND
 A. KATHERINE McNAMARA TO BE
 CORRECT AS SHOWN. *William A. Yuda*

SCALE 1" = 30.0'
 DATE MAY 14, 1986

WILLIAM A. YUDA ASSOC.
 WEST NYACK N.Y.

ZONING BLDG. DEPT.
TOWN OF ORANGETOWN
MAY 15 1989

RECEIVED

PERMIT COPY PLANS

A set of these plans shall be kept at the building site open to inspection by the Building Inspector. Work shall comply with all requirements of the State Building Construction Code and the Zoning Ordinance, whether or not shown and/or stated on the plans. Plans shall be subject to interpretation at any time during construction.

Building Permit No. 22798
Date Issued 5/22/89
Inspector Assigned ES

RECEIVED
DEC 17 2024
TOWN OF ORANGETOWN
LAND USE BOARD

CERTIFICATE OF OCCUPANCY

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

Certificate No: 31861

Issue Date: 02/27/2002

Owner of Property: Paul & Lenora Mesibov
Address of Owner: 168 Washington Street, Tappan

Location: 168 Washington Street, Tappan

Present use of structure or land: one family dwelling

S-B-L: 77.11-1-50 (n)

ZONED: R-15

Const Type:

Occ Class:

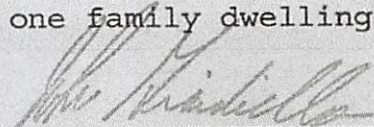
Use of Permit: RESI ALT & ADD

Census Code: 434

THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the premises herein described, situated on the above mentioned premises for the purposes specified as follows.

Use and designation for the structure or land and nature of work for which this C.O. is issued:

second story addition to side of an existing one family dwelling



Director, OBZPAE



Bert von Wurmb, Building Inspector
Town of Orangetown
Greenbush Rd.
Orangeburg, NY 10962

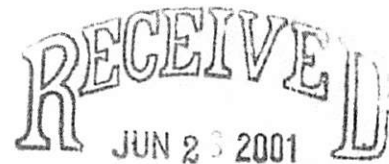
20 June 2001

Bert,

As per your request, I have calculated the floor area ratio on the proposed Mesibov addition.
The area of the lot is 16,500 sq. ft. and the net sq. footage of the house including the proposed addition is 2,294 sq. ft.
Therefore the F.A.R. is .14



John Deans, Architect



ZONING BLDG. DEPT.
TOWN OF ORANGETOWN

NAME MESIBOU

OLD SECTION , BLOCK , LOT

NEW SECTION 77.11, BLOCK 1, LOT 50

ZONE R-15

SPECIAL CONSIDERATIONS SECOND STORY ADDITION

SEC. 3.12

1. ZONING BULK:
COLUMN

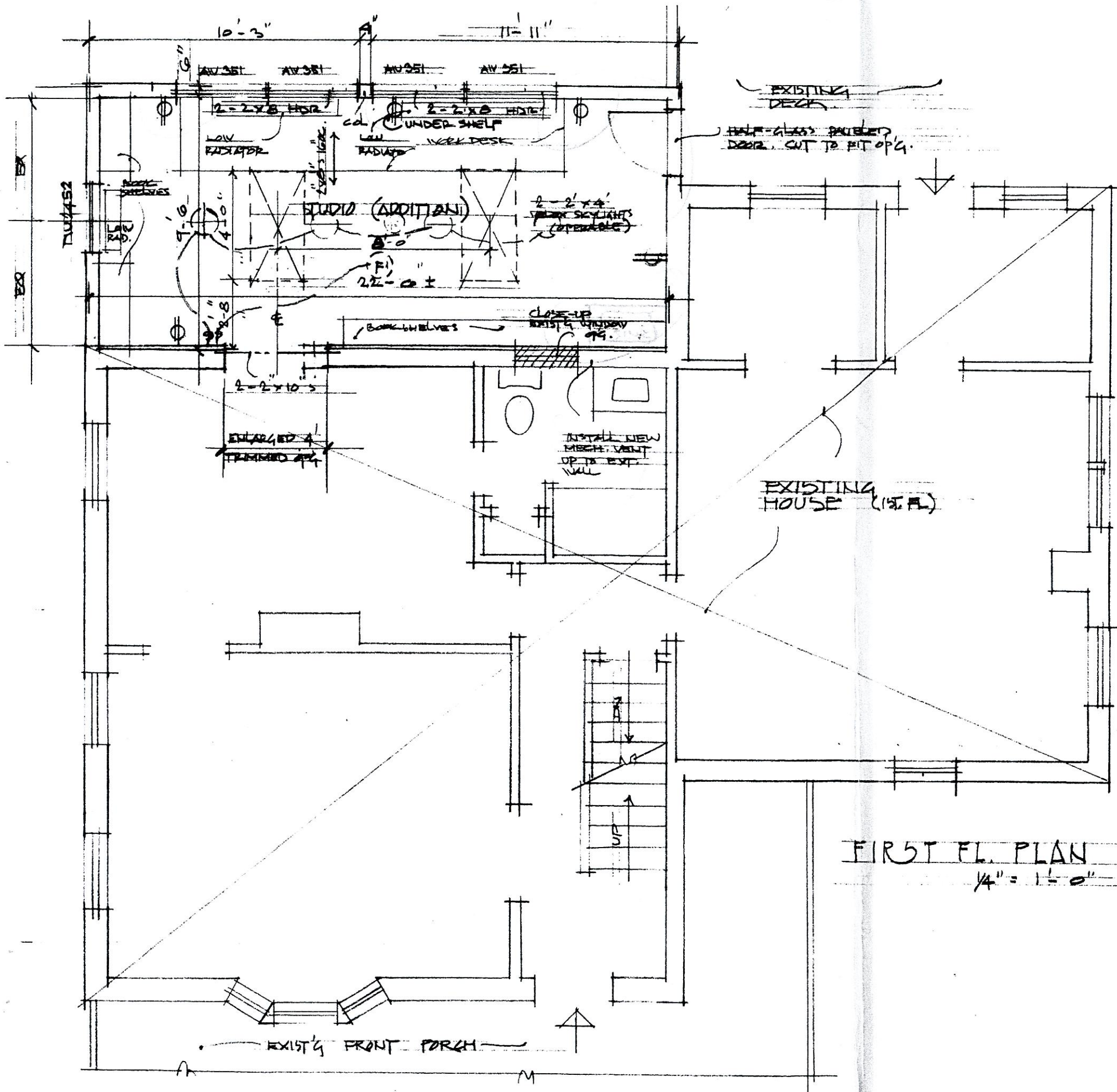
~~NOTED F.A.R. ENCROACHES PLAN ARCHITECT~~
~~LEFT MEN ON ARCHITECT'S MARKING 6/11/01~~
~~SPOKE TO JOHN DEARIS 6/20/01 9:30~~

4	MAX. FLOOR AREA RATIO	.20	OK	HOUSE
5	MIN. LOT AREA			LOT
6	MIN. LOT WIDTH	-		
7	MIN. STREET FRONTAGE		30m	
8	REQ. FRONT YARD	30'		
9	REQ. SIDE YARD WIDTH	20'		
10	TOTAL WIDTH BOTH SIDE YARDS	50'		
11	REQ. REAR YARD	35'		
12	MAX. HEIGHT	1'	OK	

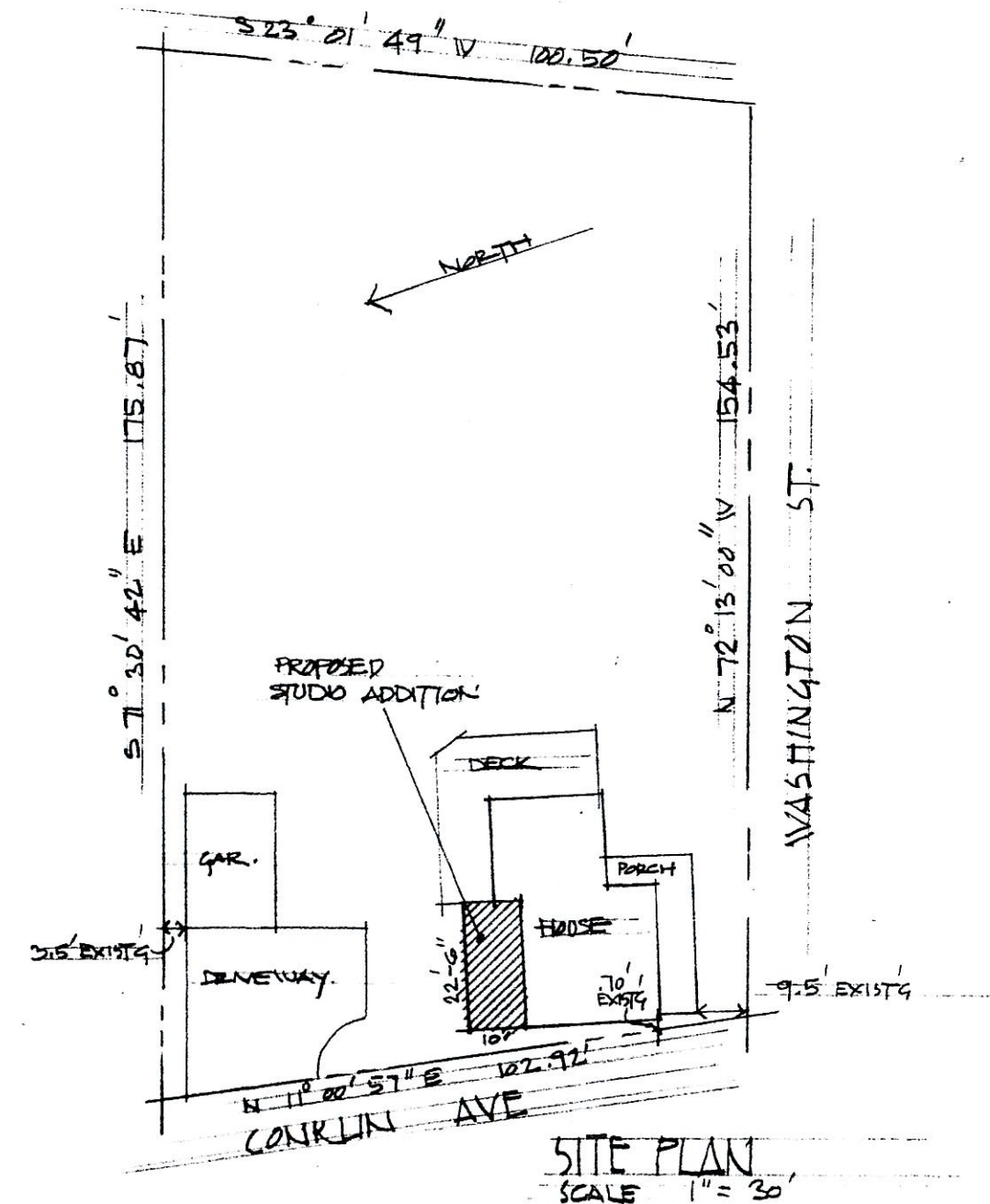
NO FURTHER
ENCROACHMENT
OK

- 2. COPY OF DECISIONS FROM ANY BOARDS
- 3. ENERGY CODE INFORMATION OK
- 4. SUPPLEMENTARY APPLICATION OF D.P.W. NA
- 5. CERTIFICATE OF WORKMAN'S COMP. INS. & DISABILITY BENEFITS OR OWNER'S AFFIDAVIT. OK
- 6. FLOOD ZONE? NA
- 7. ROCKLAND COUNTY OR N.Y. STATE HIGHWAY DEPARTMENT APPROVALS? NA
- 8. ROCKLAND COUNTY HEALTH DEPARTMENT APPROVALS ON SEPTIC? NA





FIRST FL. PLAN
 1/4" = 1'-0"

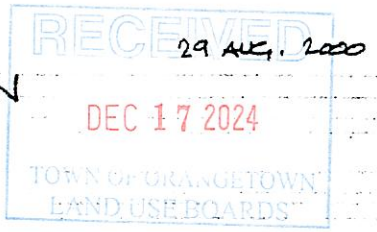


SITE PLAN
 SCALE 1" = 30'

DATA PARTIALLY FROM A SURVEY BY
 UNK, YUDA DATED MAY 1980.

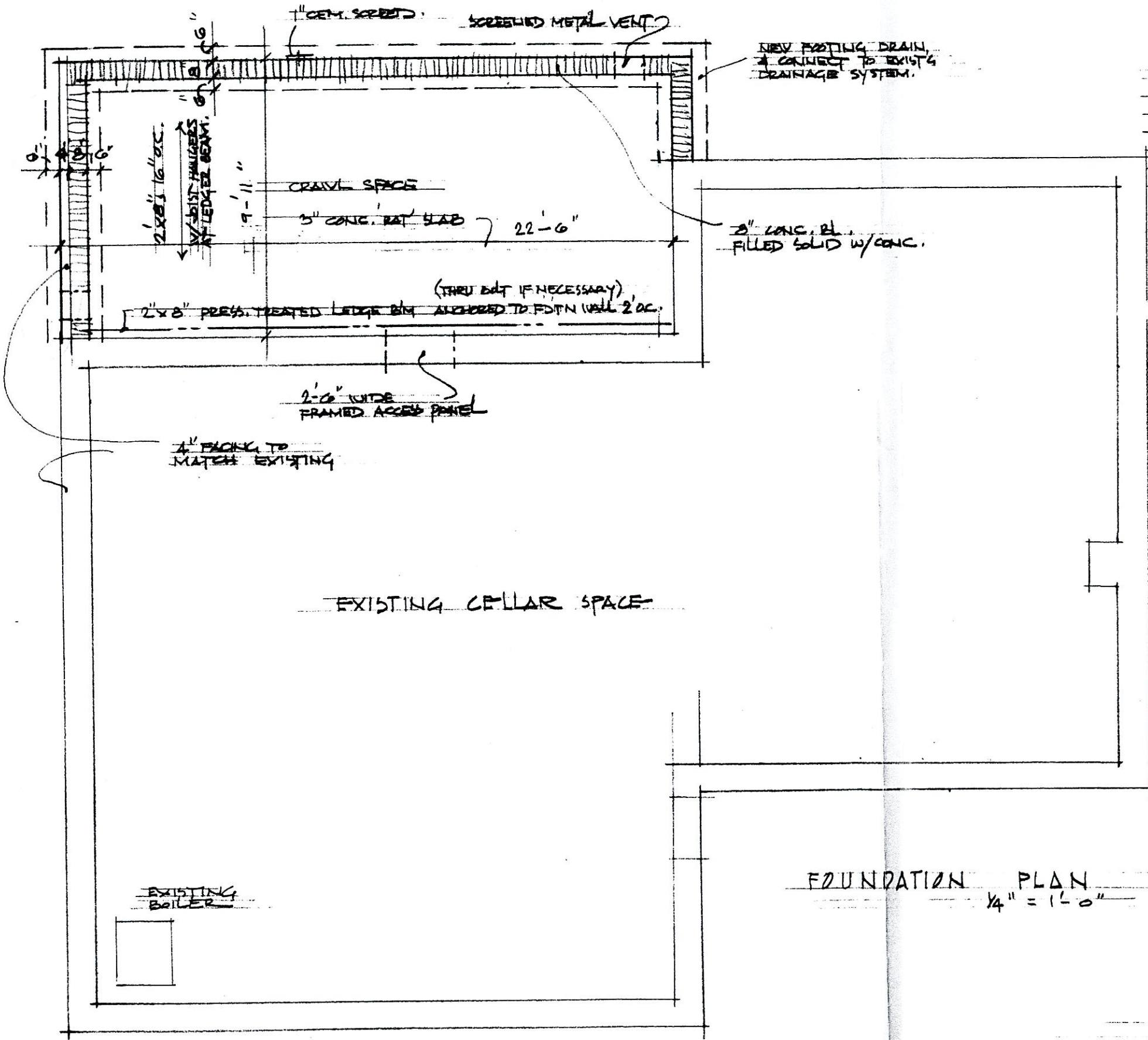
MESIDOV STUDIO ADDITION
 168 WASHINGTON ST TAPPAN NY.

JOHN DEANS, ARCHITECT
 PIERMONT, NY (845) 359-6161



DWG. NO.

A-1



NEW FOOTING DRAIN
 & CONNECT TO EXISTING
 DRAINAGE SYSTEM.

2" CONC. BL.
 FILLED SOLID W/ CONC.

2'-6" WIDE
 FRAMED ACCESS PANEL

4" PACKING TO
 MATCH EXISTING

EXISTING CELLAR SPACE

EXISTING
 BOILER

FOUNDATION PLAN
 1/4" = 1'-0"

1. INSTALL R-21 BATT INSULATION BETWEEN FLOOR JOISTS AND HOLD IN PLACE W/ 1/2" PRESSURE-TREATED PLYWOOD.
2. REMOVE SIDING FROM HOUSE SIDE OF STUDIO WALL AND INSTALL 1/2" SHEETROCK ON 1" X 2" FURRING.
3. INSTALL ELEC. OUTLETS MINIMALLY AS PER CODE AND IN LOCATIONS AS DIRECTED BY OWNER. (AND HEIGHTS)
4. ALL WINDOW NUMBER SHOWN ARE AS PER ANDERSEN 1116 CATALOG.
5. ALL CONCRETE SHALL HAVE MIN. 3,000 PSI COMP. STRENGTH.
6. ALL STRUCTURAL LUMBER SHALL HAVE MIN. 1200 PSI PER FL.
7. FIN. FLOOR SHALL BE PRE-ENGINEERED WOOD LAMINATE AS SELECTED BY OWNER.
8. LIGHTING FIXTURES WILL BE SELECTED AND FURNISHED BY OWNER.
9. ALL WORK SHALL BE IN CONFORMANCE WITH N.Y. STATE FIRE PREVENTION AND UNIFORM BUILDING CODE.
10. LEDGE BEAMS SHALL BE BOLTED TO EXISTING STRUCTURE 2' OC. AND ROOF AND FLOOR RAFTERS SHALL BE FASTENED TO SAME WITH GALVANIZED JOIST HANGERS.
11. CONSTRUCTION SHALL CONFORM TO N.Y. STATE ENERGY CODE.
12. INTERIOR WINDOW, BASEBOARDS, DOOR, AND OPENING TRIM SHALL MATCH THAT IN EXISTING HOUSE.

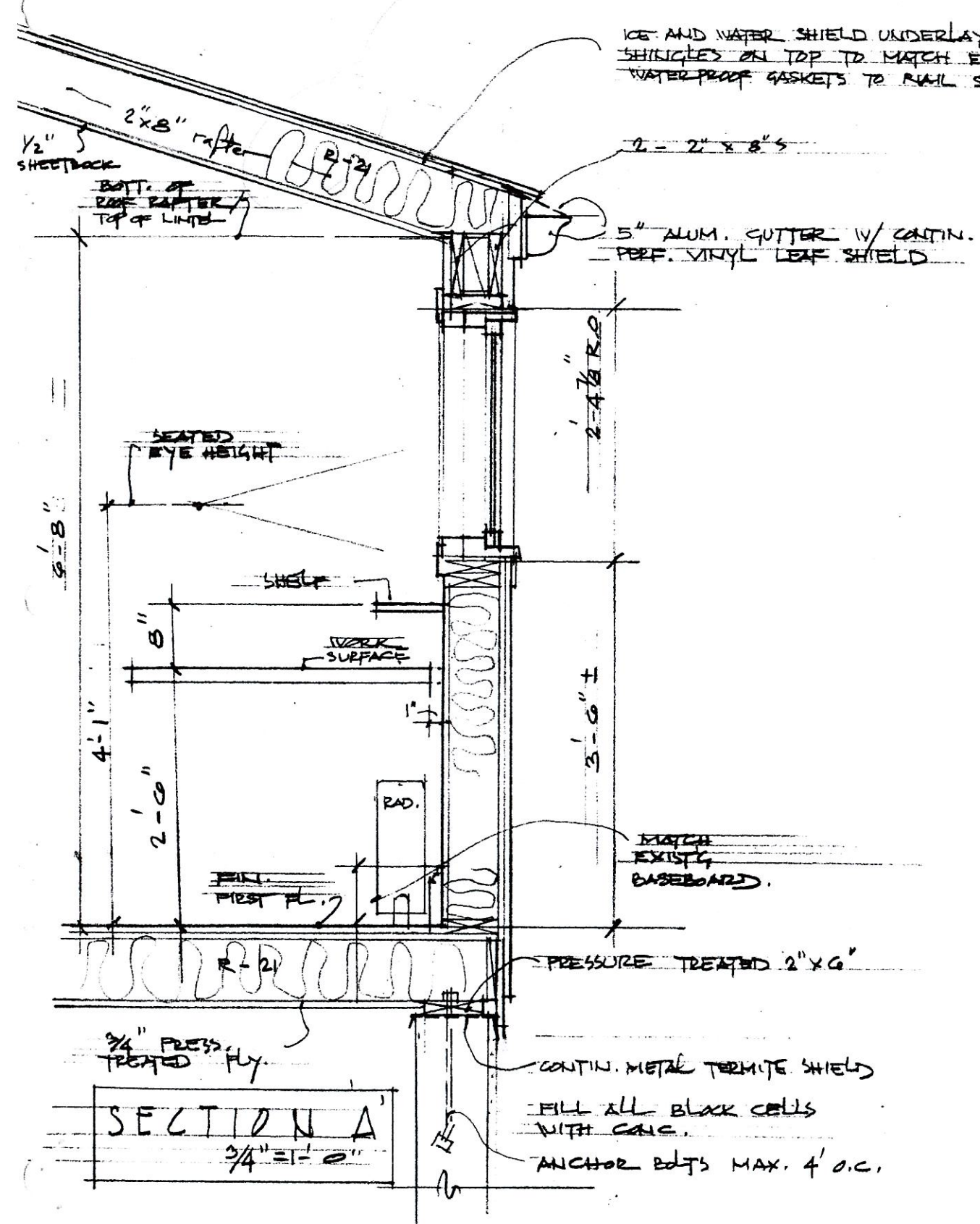
RECEIVED
 DEC 17 2024
 TOWN OF ORANGETOWN
 LAND USE BOARD

29 AUG. 2000

MESIBOX STUDIO ADDITION
 168 WASHINGTON ST, TAPPAN NY
 JOHN DEAN'S ARCHITECT
 PIERMONT, N.Y. (845) 359-6161

DRG NO.
 A-2

ICE AND WATER SHIELD UNDERLAYMENT W/
SHINGLES ON TOP TO MATCH EXISTING. USE
WATER-PROOF GASKETS TO NAIL SHINGLES.



2 - 2" x 8"s

5" ALUM. GUTTER W/ CONTIN.
PERF. VINYL LEAF SHIELD

2-4" R.F.

3'-0" ±

MATCH
EXISTG
BASEBOARD.

PRESSURE TREATED 2" x 6"

CONTIN. METAL TERMITE SHIELD

FILL ALL BLACK CELLS
WITH CONC.

ANCHOR BOLTS MAX. 4' O.C.

SECTION A
3/4" = 1'-0"

RECEIVED
DEC 17 2024
TOWN OF ORANGETOWN
LAND USE BOARD

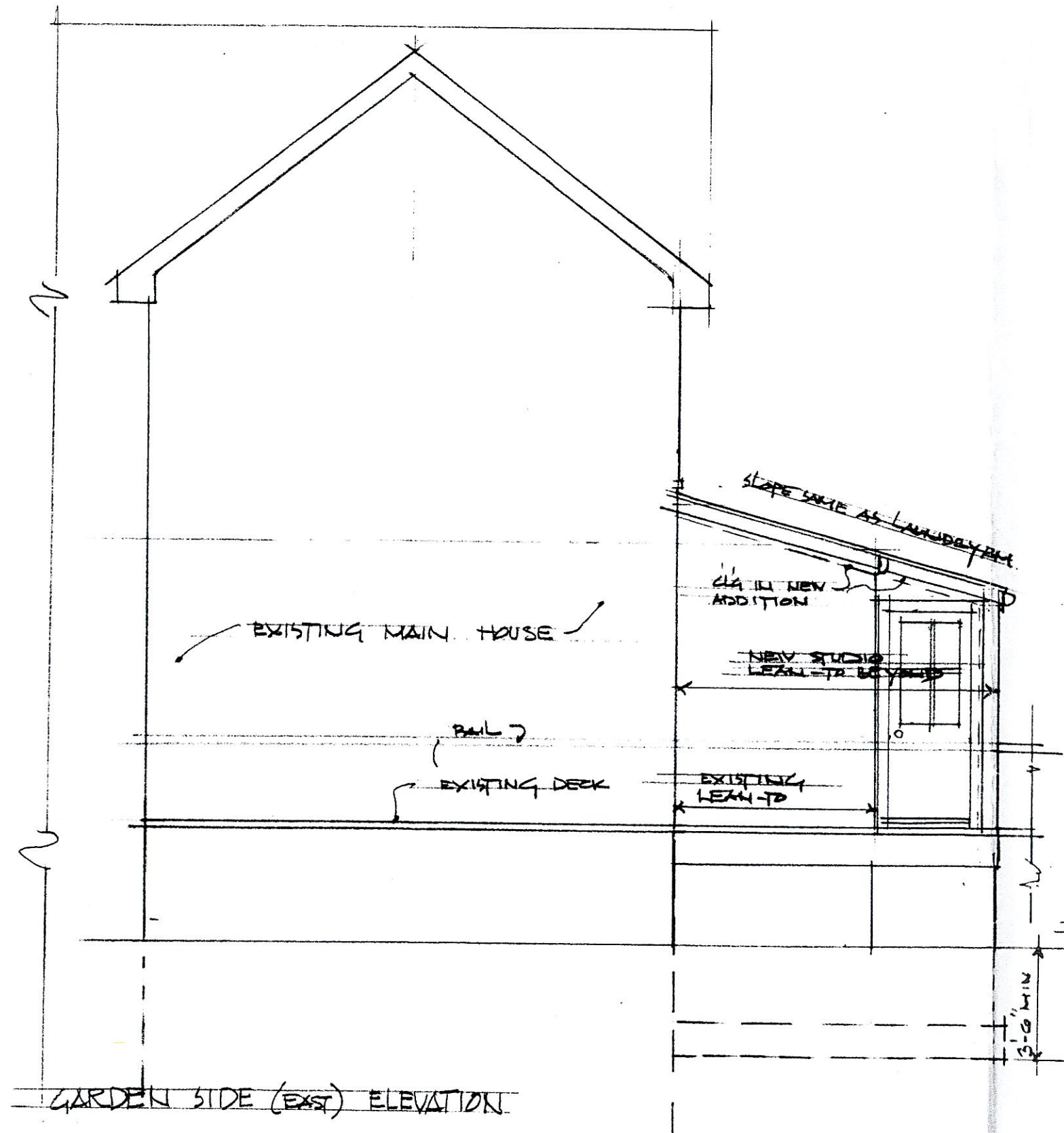
29 AUG. 2000.

MESIBOV ADDITION
165 WASHINGTON ST. TAPPAN, N.Y.

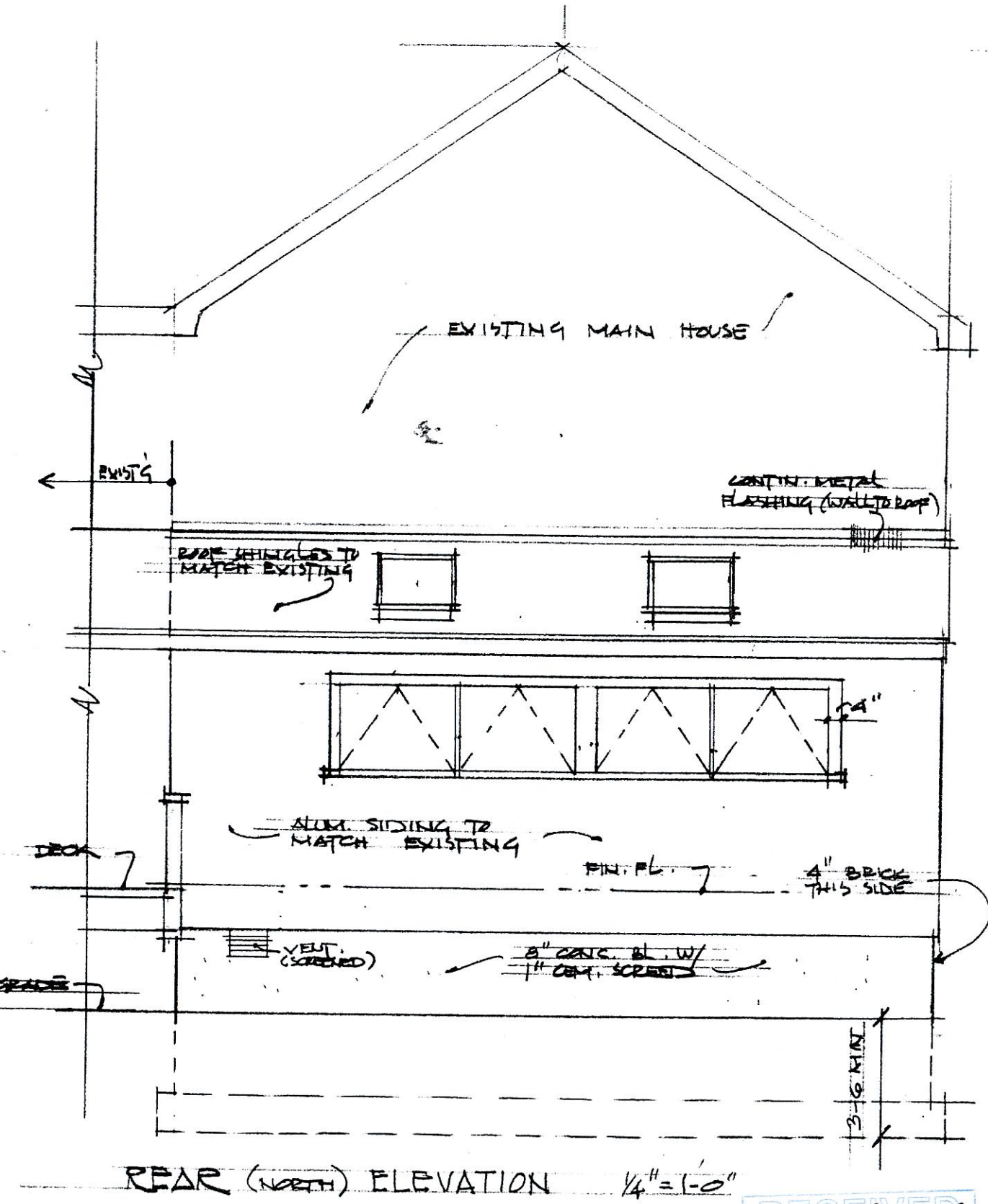
JOHN DEANS, ARCHITECT
PIERMONT, N.Y. (845) 359-6161

DWG No.

Δ-3



GARDEN SIDE (EXIST) ELEVATION



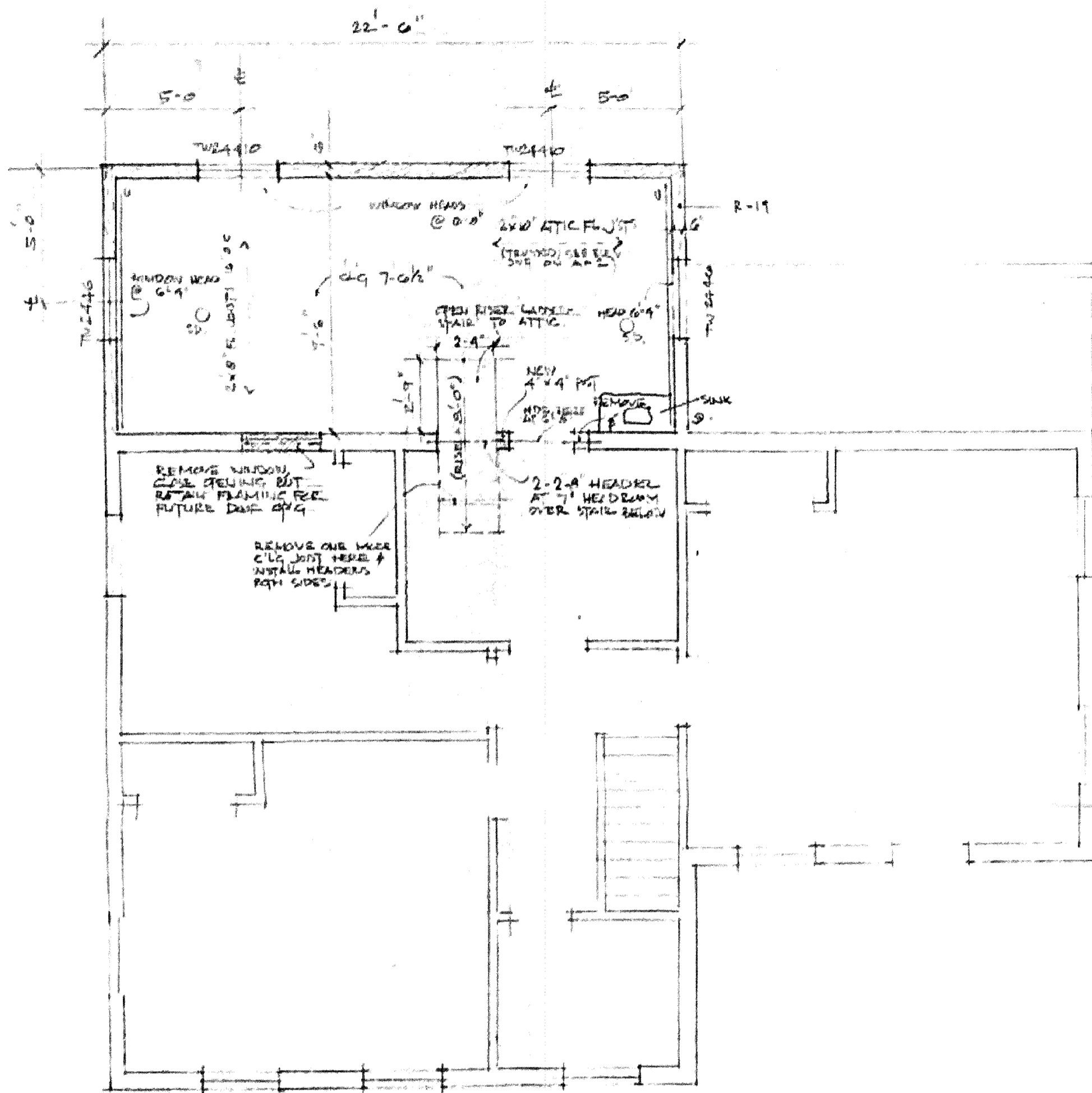
REAR (NORTH) ELEVATION 1/4" = 1'-0"

MESIBOV STUDIO ADDITION
 165 WASHINGTON ST. TAPPAN, N.Y.
 JOHN DEANS, ARCHITECT
 PIERMONT, N.Y. (914) 359-6161

RECEIVED 29 AUG 2000
 DEC 17 2024
 TOWN OF ORANGETOWN
 LAND USE BOARD

DWG NO.

A-4



SECOND FLOOR PLAN
1/4" = 1'-0"



FRONT ELEVATION

NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH N.Y. STATE FIRE PREVENTION AND UNIFORM BUILDING CODE, AND LOCAL CODES HAVING JURISDICTION.
2. ALL LUMBER SHALL HAVE A MINIMUM F_b OF 1200 PSI AND A MODULUS OF ELASTICITY OF 1,600,000.
3. WINDOW NUMBERS SHOWN ON DRAWINGS ARE AS PER ANDERSEN CO.
4. LIGHTING FIXTURES SHALL BE SELECTED AND PURCHASED BY OWNER, AND INSTALLED BY CONTRACTOR.
5. ELEC. OUTLETS SHALL BE MINIMUM AS REQ'D BY CODE, SHALL BE DUPLEX, AND 18" ABOVE THE FLOOR. SPECIFIC LOCATIONS AND/OR ADD'L OUTLETS AS DIRECTED BY OWNER.
6. ALL WALLS AND CLG SHALL BE 1/2" SHEETROCK; FLOOR SHALL BE HARDWOOD w/ 3 COATS POLYURETHANE; BASEBOARD SHALL MATCH ADJOINING ROOM.

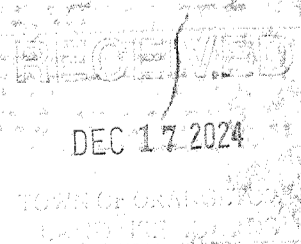
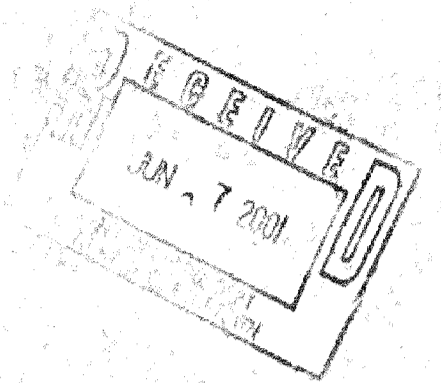
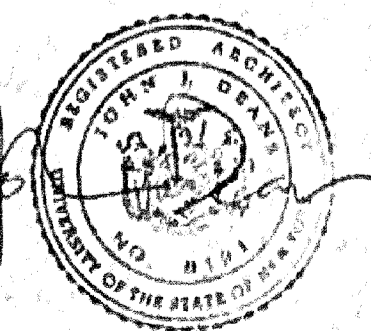
LEGEND

- = NEW WALL
- = EXISTING WALL TO REMAIN
- = EXISTING WALL TO BE REMOVED

THE MESIBOV STUDIO ADDITION 168 WASHINGTON ST.
JOHN DEANS, ARCHITECT P.O. BOX 342 PIERMONT, N.Y.

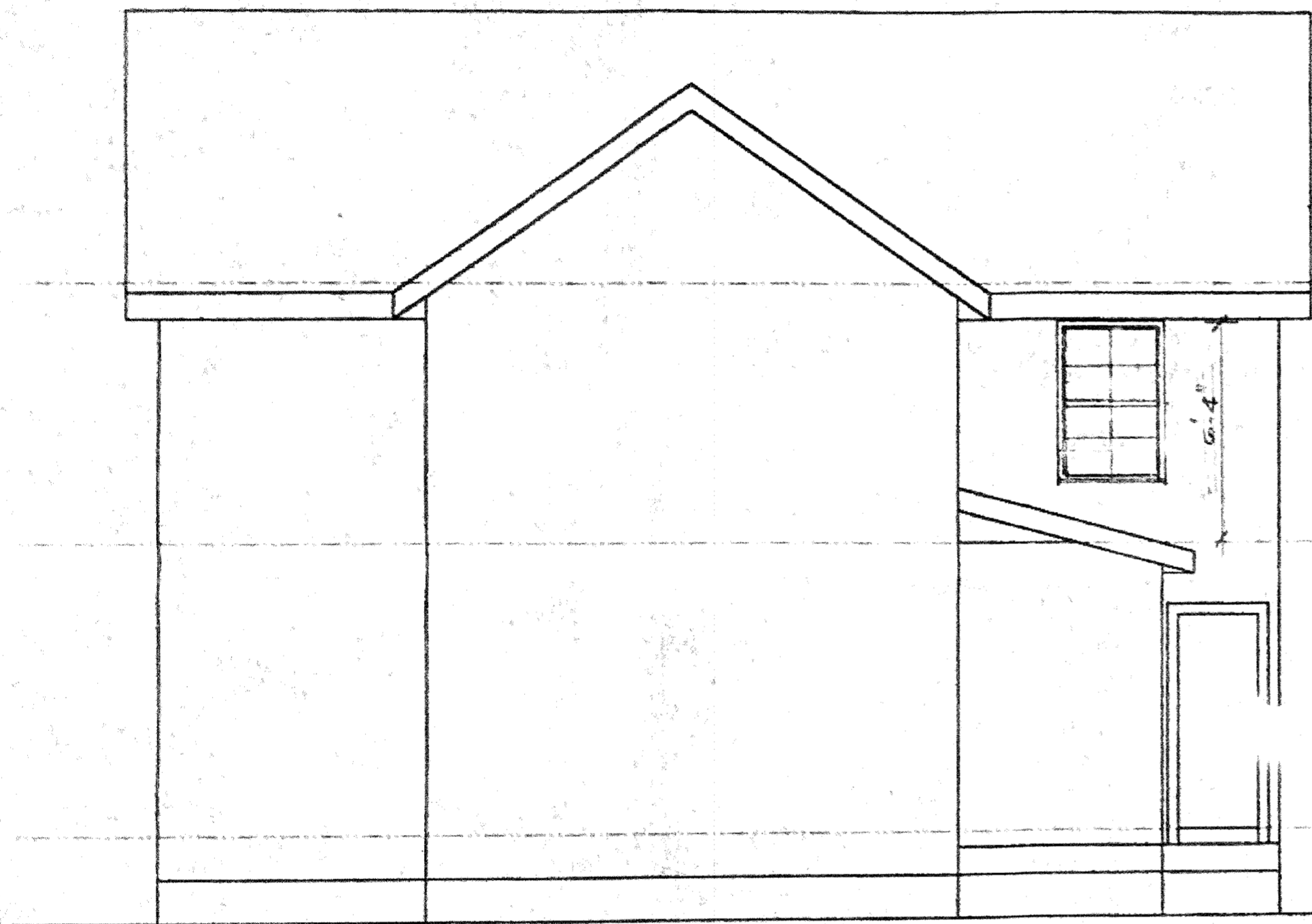
TAPPAN, N.Y.
TEL. (845) 359-6161

Building Permit No. 31861
Date Issued 7-3-01
By B.W.

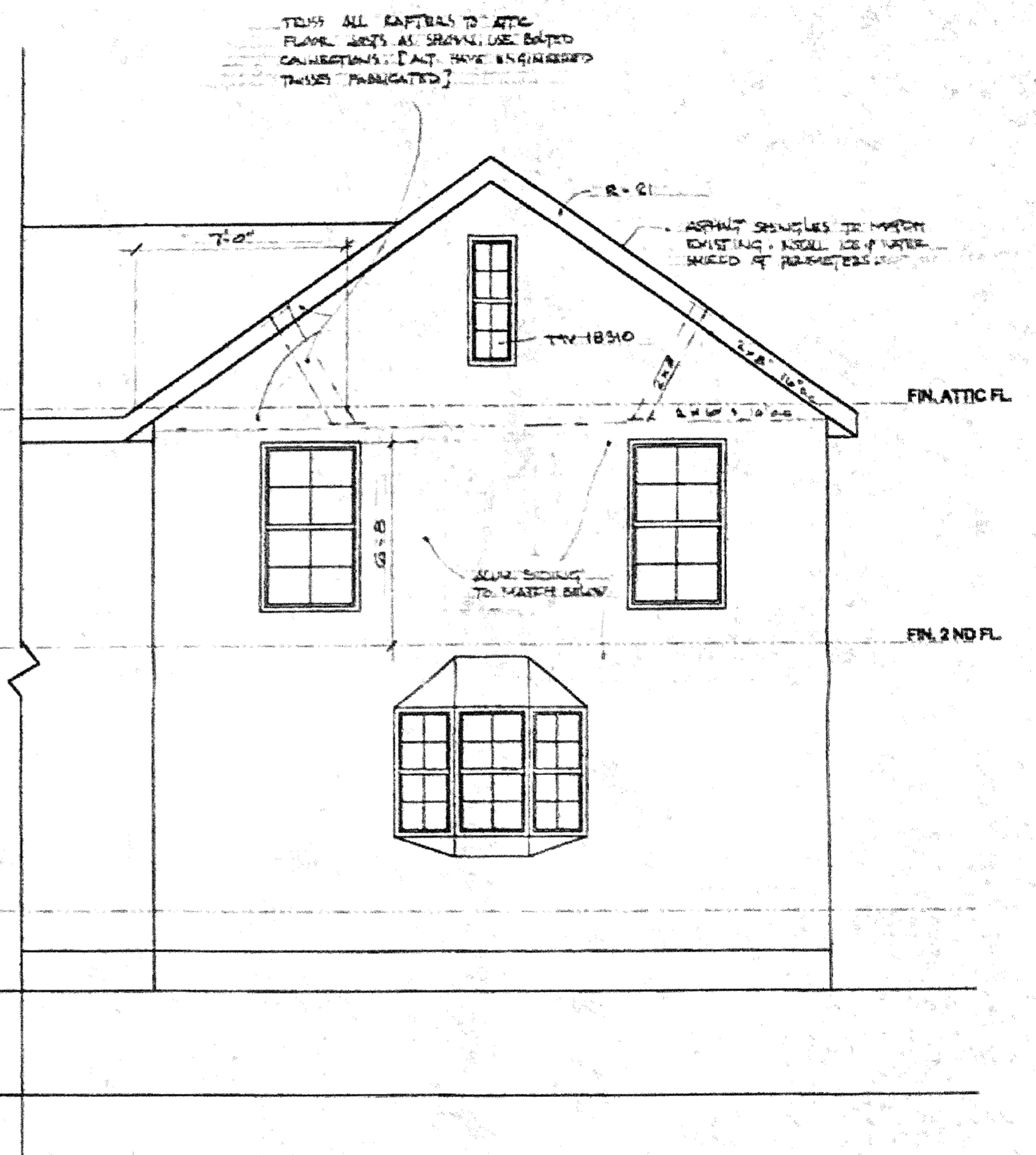


JUNE 2001
DWG. NO.

A-1



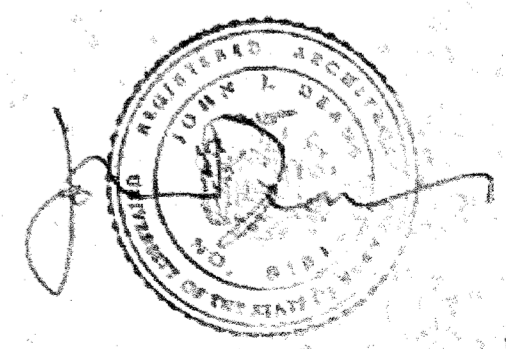
GARDEN SIDE (EAST) ELEVATION



REAR (NORTH) ELEVATION

THE MESIBOV STUDIO ADDITION 166 WASHINGTON ST.
 JOHN DEANS, ARCHITECT P.O. BOX 342 PIERMONT, N.Y.

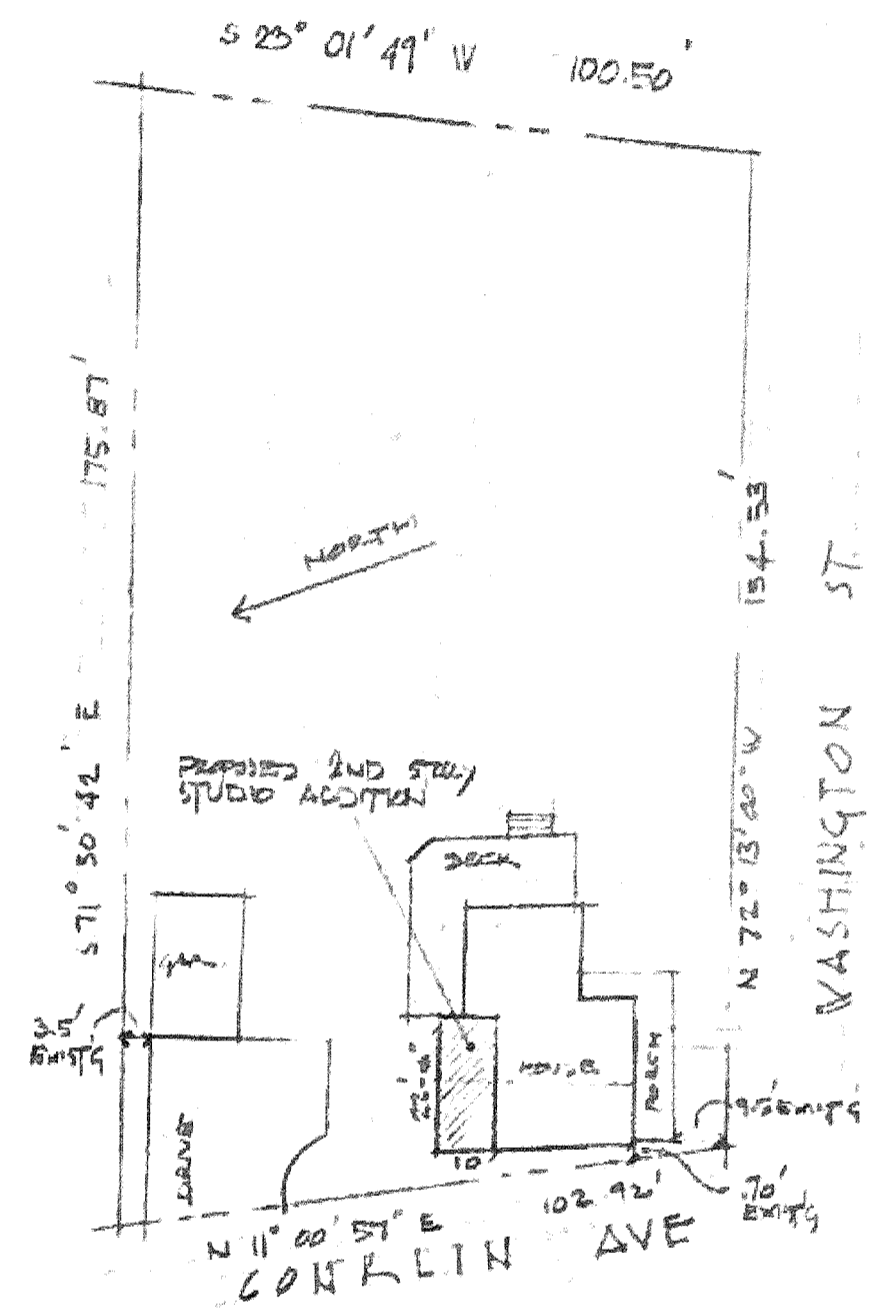
TAPPAN, N.Y.
 TEL. (845) 359-6161



1 JUN 2001

DWG. NO.

A-2

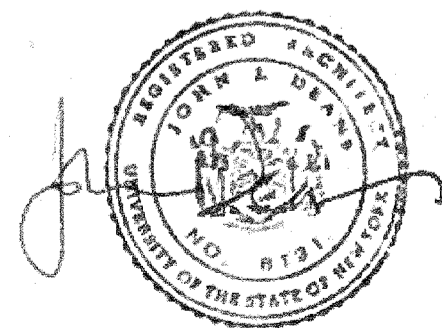


SITE PLAN 1" = 30'

SITE DATA FROM A SURVEY BY WILLIAM YUDA DATED MAY 1986

THE MESIBOV STUDIO ADDITION 165 WASHINGTON ST.
JOHN DEANS ARCHITECT.

TAPPAN, N.Y.



ISSUE 2001

DWG NO

A-3

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

2020 Residential Code of New York State: Table R301.2(1)

GROUND SNOW LOAD (LB/FT ²)	WIND DESIGN:				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			ICE BARRIER UNDERLMT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	
	WIND SPEED (MPH)	TOPO-GRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHER	FROST LINE DEPTH (INCHES)	TERMITES					WINTER DESIGN TEMP.
30	115	NO	YES	NO	B	SEVERE	36	MODERATE HEAVY	10 Deg.	YES	No	1500 OR LESS	44.6 F

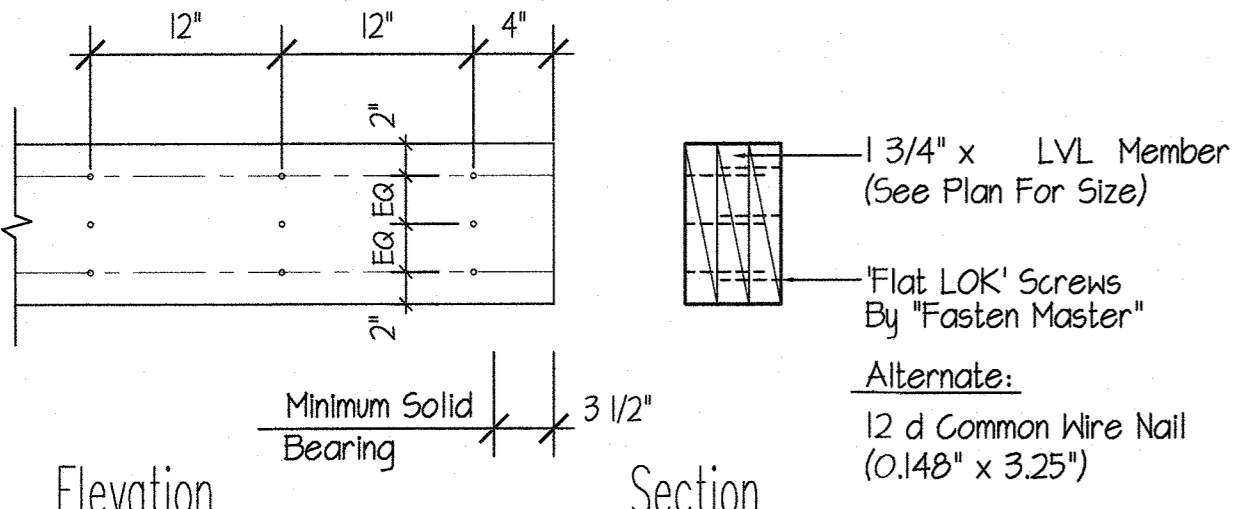
Compliance Statement:

To the best of my knowledge, belief and professional judgment, these plans and specifications are in compliance with the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State + NYStretch-2020 Supplement.

ROAM Architecture PLLC

Design Loads:

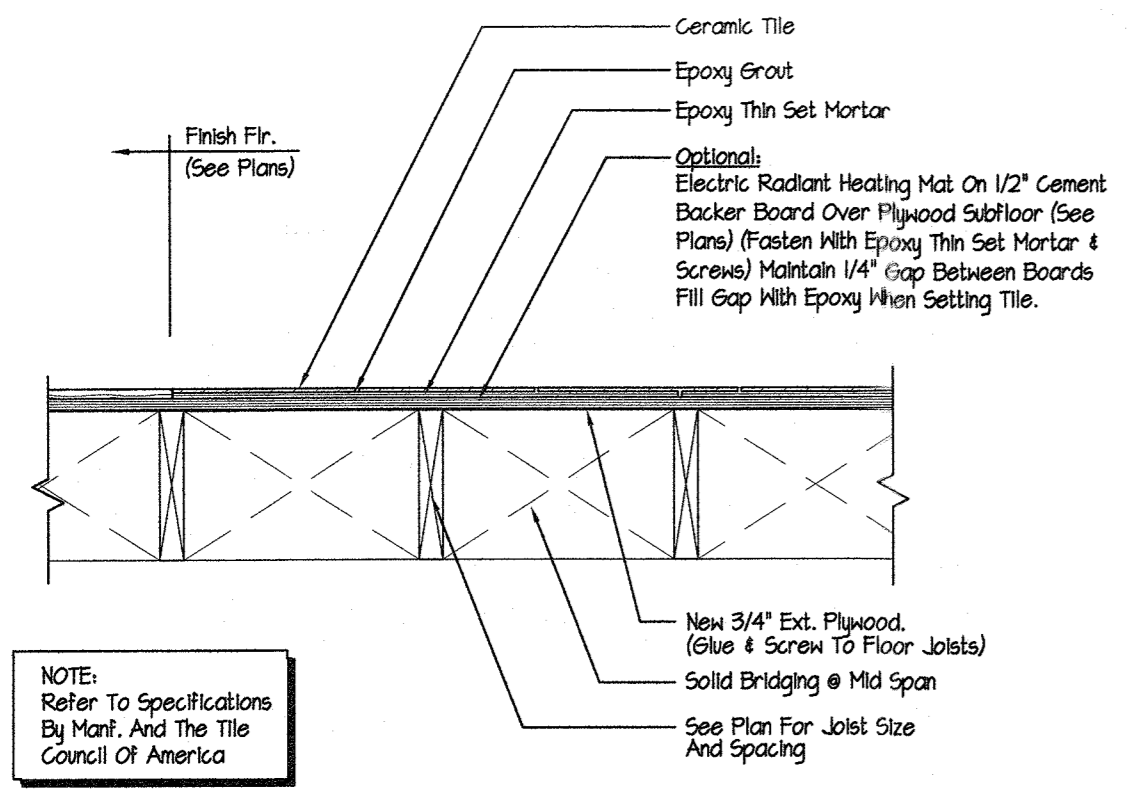
First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load (x 3'-6" Headroom)	Live Load	20 #/sf
	Dead Load	12 #/sf
0 3'-6" Headroom	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	30 #/sf
	Dead Load	12 #/sf



Note:
LVL = Laminated Veneer Lumber
By Trus-Joist MacMillan (1.1 E)
Minimum or Equal

Note:
See Plans For Size & Location
Of All LVL Members

LVL Beam Diagram
SCALE: N.T.S.

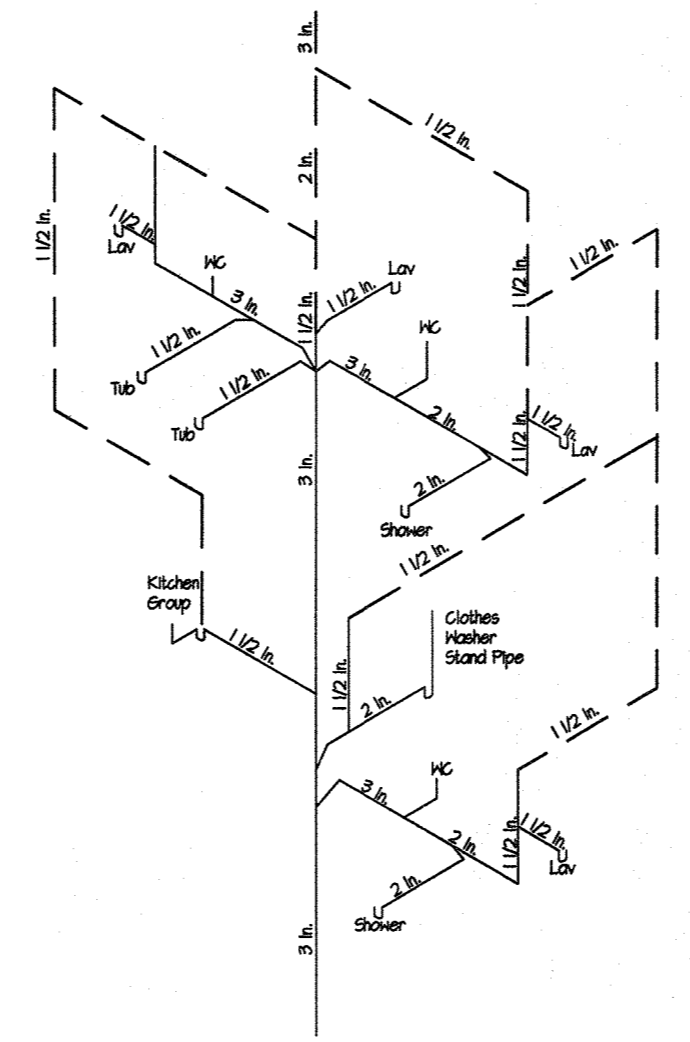


Tile Floor (Thin Set)
SCALE: N.T.S.

General Notes:

- All Work And Materials Shall Conform To All Local, County And State Codes - 2020 Residential Code Of New York State.
- Steel: Shall Conform To Astm Specification A-36 For Structural Steel.
- All Framing Lumber To Be # 2 Douglas Fir Or Better. All New work and materials unless otherwise specified shall match existing construction. All framing to meet NYS Code. Laminated Veneer Lumber "LVL": Shall Be "Microlam 1.8E" By Trus Joist Meyerhaeuser Or Equal, Min. Fb. 2600. Install As Per Manufacturer's Specifications.
- All materials shall be installed in strict accordance with manufacturers specifications.
- Contractor to consider all dimensions approximate pending field verification, prior to construction, consult Architect as required.
- Contractor to furnish and install all labor, materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner. Job shall be ready for occupancy in good workmanship manner with all work done as shown or reasonably intended on documents. It shall include but not limited to:

<ul style="list-style-type: none"> A. Building Permit B. Certificate Of Insurance C. Demolition as required D. Excavation E. Masonry F. Carpentry G. Flashing H. Siding 	<ul style="list-style-type: none"> I. Chalking/Sealant J. Gutter & Leaders K. Roofing L. Painting and Finishing M. Trim Work N. Heating & Cooling O. Plumbing P. Electrical
---	---
- The contractor shall verify location of project and secure all utilities before commencing site work. Contractor will consult with "Call Before You Dig" 1-800-462-1462 and conduct construction with due care to avoid damage to existing construction, utility mains, etc. During excavation and construction.
- All existing trees, road surfaces, etc. to remain shall be protected from damage. The contractor and subcontractors shall assume full responsibility for damage and shall make repairs required without additional cost to the owner.
- All footings to bear on solid, undisturbed earth. Concrete shall be a min. F_c = 3,000 psi compressive strength for footings & foundation walls and F_c = 3,500 psi compressive strength for floors.
- Electrician, if Required, to review any special needs and coordinate location of all new and relocated Electrical Receptacles & Wiring with Owner prior to starting work.
- Plumber, if Required, to review any special needs and coordinate location of all new and relocated Plumbing with Owner prior to starting work.



Typical Plumbing Riser Diagram
SCALE: N.T.S.

Note: Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.

CONSTRUCTION NOTES:

- HVAC:**
Heating:
- Existing Gas-Fired Boiler & Hot Water Heater To Remain.
1st Floor: Existing Heating In Kitchen, Pantry & Mudroom Area To Remain.
2nd Floor: Install New Hot Water Radiant Baseboard Heat By "Runtal" Or Equal, In M. Bedroom As Per NYS Code And New Layout. Connect To Existing M. Bedroom Zone And Reconfigure Existing Hot Water Radiant Baseboard Heat As Needed Per New Layout.
- Cooling:**
- No Air Conditioning On This Project.
- Plumbing Notes:**
1. Plumber To Install New Supply And Waste Lines As Required By New Layout And As Per Code. Connect To Existing As Required. New Waste Lines To Connect To Existing Waste Line. Wrap All New & Exposed Waste Pipes In Ceiling And Walls For Sound Attenuation.
- Electrical Notes:**
1. Electrician To Install New Outlets, Recessed Lighting, Etc. In All New Areas & Reconfigured Areas, As Need, Per Building Code & With Owner Requirements. Coordinate Locations With Owner. (Style And Color To Be Determined By Owner) Connect To Existing Electric Panel. Electrician To Verify Existing Electrical Panel Is Adequate For New Electrical Loads.
- Roofing:**
1. Install New Asphalt Shingles: "Timberline HD" By "GAF" Or Equal (Color T.B.D.) At New Addition And Patch At Existing Roof Structure As Needed.
2. Install New "Eavesgard" Waterproof Underlayment By "Henry" Or Equal Under Asphalt Roofing At Low Slope Roofs, Valleys And Along Eaves (36" Minimum).
3. All New Flashing, Gutters & Leaders To Be B.E. Aluminum, To Grade. (Color: T.B.D.)
- Exterior Siding & Trim:**
1. Existing Siding, Soffits & Fascia's On House And Detached Garage To Be Removed.
2. Install All New Vinyl Siding (Belvedere), Frieze & Corner Boards On House & Detached Garage. Vinyl Material To Be By "CertainTeed" Or Equal. (Color And Siding Exposure T.B.D.). Install All New Soffits And Fascia's On House & Detached Garage. Material To Be B.E. Aluminum. (Color T.B.D.)
- Exterior Rear Covered Porch:**
1. Existing Wood Decking To Remain. Patch Decking As Required To Match Existing.
2. New 6 x 6 Pressure Treated Columns To Match Existing Front Porch. (Stain Color T.B.D. By Owner)
3. Porch Ceiling To Be B.E. Aluminum Material To Match House. (Color: T.B.D. By Owner)
- Interior Door Notes:**
1. Interior Doors To Be By "Masonite", "REEB" Or Equal And To Be Coordinated, Purchased And Installed By GC. Review Floor Plans For Locations And Swings.
2. 1 3/4" Solid Core, Smooth Finish, MDF Panels. Prehung And Preprimed To Match Existing. Verify Door Style And Moldings With Owner.
3. Jambes To Be Solid Wood, Preprimed.
4. Stone Saddle Material (F.B.O.) For M. Bedroom To Be Determined By Owner.
5. Door Hardware By Owner (F.B.O.). Door Hinge Finish To Match Owner Supplied Door Hardware, GC To Review With Owner Prior To Final Order.
- Flooring:**
1. 1st Floor: Install New Tile Floors (F.B.O.) (In Areas Of Mudroom Only), Over 1 Layer Of 3/8" Cement Board Thin Set To Existing Plywood Subfloor.
- Install New 3/4" Thick Engineered Wood Plank Flooring (In Areas Of Kitchen And Pantry Only)
Verify Stain Color And Finish Coat With Owner.
2. 2nd Floor: Install New Tile Floors (F.B.O.) (In Areas Of New M. Bathroom Only), Over 1 Layer Of 3/8" Cement Board Thin Set To New Plywood Subfloor.

Master Bathroom Notes:

- Tile Floors (F.B.O.), Over Wood Framing To Be Set Over 1 Layer Of 3/8" Cement Board Thin Set To Plywood Subfloor. Optional: Electric Radiant Heating System Under Tile Floors
- GC To Install New Plumbing Fixtures (F.B.O.), Pre-fabricated Shower Bases (F.B.O.), Tubs (F.B.O.), Custom Shower Pans, Vanities (F.B.O.), & Stone Countertops (F.B.O.). GC To Install Tiles (F.B.O.) On Floors & Shower Enclosures (Full Height & Ceilings). Contractor To Review (F.B.O.) Items IV Owner For Quantity And Locations.
- Tiled Niches To Be Determined In Field With Owner. Provide Cement Backerboard Behind All Areas Being Tiled.
- Glass Shower Enclosures By GC. GC To Provide Solid Blocking In Walls As Needed. Coordinate Glass Enclosure Locations. Frameless Glass Enclosures To Be Tempered. Glass Style & Design And Hardware To Be Determined With Owner.
- GC To Provide Solid Blocking In Walls For Towel Bars, Etc. As Needed.
- Provide 50 CFM Exhaust Fan With 4" Solid Galv. Metal Duct Vent To Exterior As Needed.

Ceiling & Wall Finish:

- Provide New 1/2" gypsum Board On Walls And Ceilings In New Areas And Areas Affected By Construction Only. Taped And 3 Coats Of Compound.
- Interior Trim:**
GC To Provide & Install New Paint Grade Wood Castings Around Windows & Doors And Paint Grade Wood Base Moldings In New Addition And Areas Affected By Construction. Moldings To Match Existing. (Verify With Owner)

Misc. Notes:

- Linon Millwork: GC To Provide & Install (5) Paint Grade Adjustable Plywood Shelves. All Millwork To Be Painted With 1 Coat Prime And 2 Coats Paint.
- Painting Millwork: GC To Keep Existing Pantry Millwork And Install Additional Millwork As Needed By Owner. Verify With Owner.

Paint:

- GC To Prep, Prime And Paint All New Interior Surfaces And Areas Affected By New Construction. Coordinate All Colors & Finishes With Owner.

Insulation Notes:

- *** Insulation Material To Be "InsulStar II-016" Closed Cell Spray Foam Insulation By NCFI Polyurethanes Or Equal To Fill Framing Cavity ***
(GC To Leave Any Exposed Insulation In Existing Framing Bays Unless Affected By Construction)
- Provide Fire Intumescent Paint On any Areas Of Exposed Spray Foam Insulation For Fire Protection As Per Code Section R316 Of The 2020 Residential Code Of NYS.

New Addition:

- New Exterior Walls:** To Receive 5-1/2" (R-38) Closed Cell Spray Foam Insulation In Stud Cavity. (R-2 Min.)
New Rattlers & Cathedral Ceilings: To Receive 1" (R-44) Closed Cell Spray Foam Insulation With Unvented Rattlers As Per Code. (R-44 Min.)

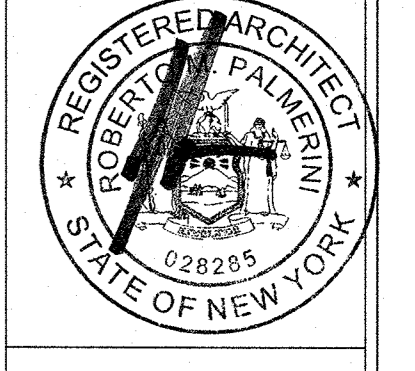
- New Floor Framing:** To Receive 1" (R-44) Closed Cell Spray Foam Insulation In Joist Bays. (R-30 Min.)

RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION	FOR PERMIT	RESUBMIT PER DATE
1	06-20-2024			
2	09-19-2024			

New M. Bathroom Addition For:
MESIBOV RESIDENCE
168 WASHINGTON STREET
TAPPAN, N.Y. 10983

GENERAL NOTES, DETAILS,
ZONING INFORMATION &
DESIGN CRITERIA



DATE: 06-20-2024
DRAWN BY: RP
SCALE: As Noted
JOB NO.: 2023.13

A-0

ZONING DATA: SECTION: 77.11, LOT: 1, BLOCK: 50
168 WASHINGTON STREET, TAPPAN NY 10983
RESIDENTIAL DISTRICT: R-15, GROUP M (SINGLE FAMILY DETACHED RESIDENCES)

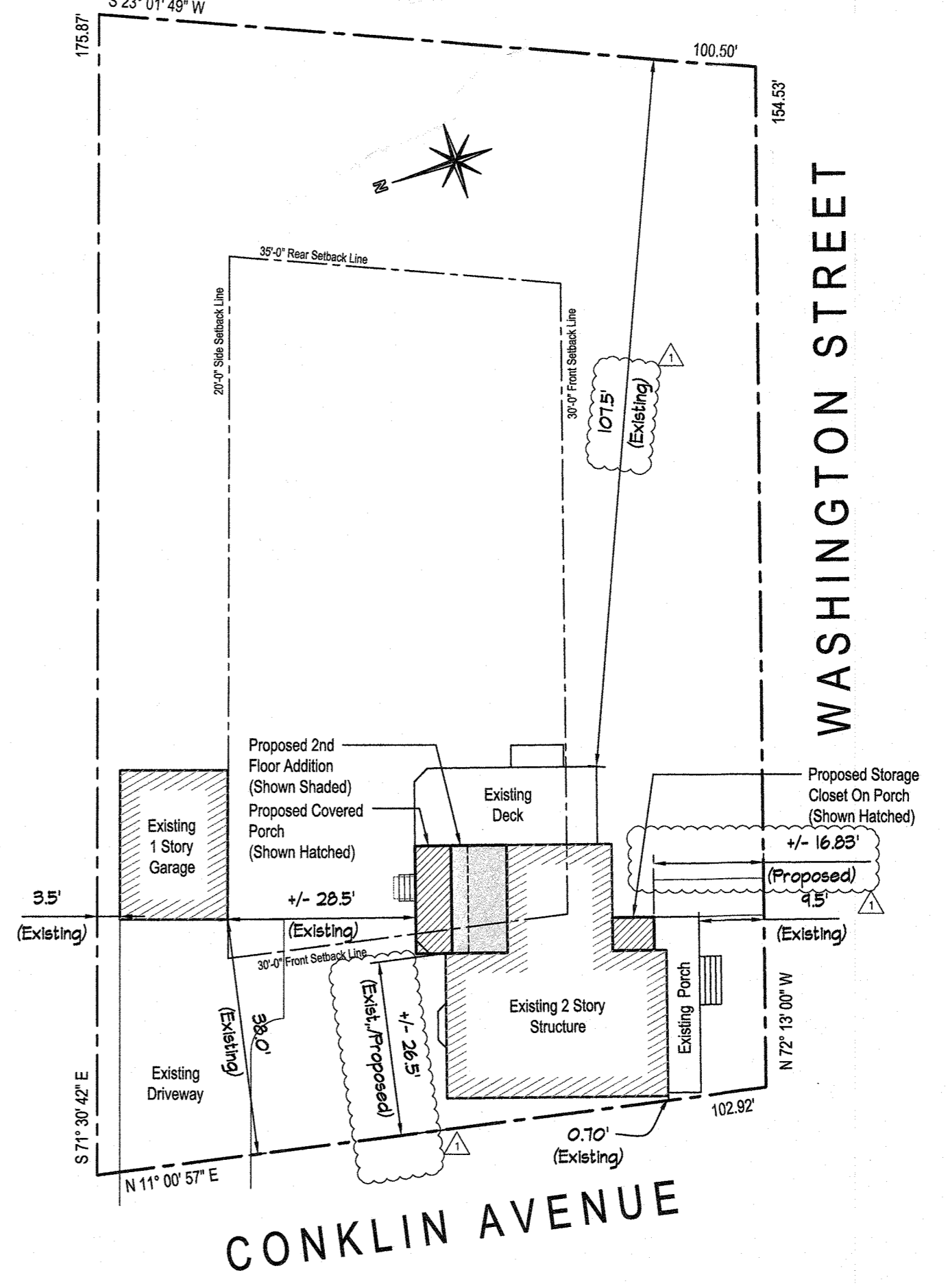
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	COMMENTS
MINIMUM LOT AREA	15,000 SQ. FT.	16,709 SQ.FT.	NO CHANGE	
MINIMUM LOT WIDTH	100 FEET	100.50 FEET	NO CHANGE	
MAXIMUM FLOOR AREA RATIO	0.20 (20%)	0.159 (15.9%)	0.174 (17.4%)	
FRONT YARD SETBACK	30 FEET MINIMUM	0.70 FEET + 9.5 FEET	± 26.50 FEET (At Porch) ± 16.83 FEET (At Closet)	EXISTING NON-CONFORMING ** Variance Required
SIDE YARD SETBACK	20 FEET MINIMUM	+/- 52.16 FEET	+/- 48.5 FEET	
TOTAL SIDE YARD SETBACK	50 FEET MINIMUM	N/A	N/A	
REAR YARD SETBACK	35 FEET MINIMUM	+/- 119.0 FEET	NO CHANGE	
BUILDING HEIGHT	12" PER FOOT (35 FEET MAX.)	N/A (+/- 23.33 FEET)	NO CHANGE	

* INFORMATION FOR THIS ZONING DATA TAKEN FROM THE SURVEY DATA OF THE PROPERTY BY WILLIAM YUDA P.L.S., DATED: MAY 14TH, 1986 AND SITE PLAN BY JOHN, J. DEAN, R.A., DATED AUGUST 29TH 2000.
* * * VARIANCES REQUIRED PER CHAPTER 43, SECTION 9.2 "NONCONFORMING BULK REGULATIONS" FOR NEW SECOND FLOOR ADDITION AND STORAGE CLOSET.

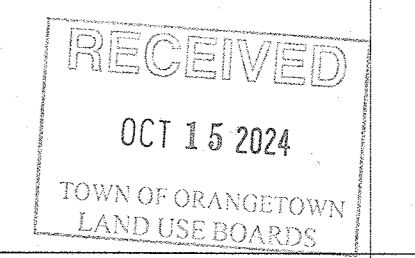
FAR Calculations

Existing:	
Accessory Bldg's:	371 Sq.Ft.
Cellar:	0 Sq.Ft. *
First Floor:	1,002 Sq.Ft.
Second Floor:	1,276 Sq.Ft.
Total:	2,649 Sq.Ft.
2,649 / 16,709 = 0.159 (15.9%) *	
Proposed:	
Basement:	0 Sq.Ft. *
First Floor:	130 Sq.Ft.
Second Floor:	134 Sq.Ft.
Total:	264 Sq.Ft.
2,649 + 264 = 2,913 / 16,709 = 0.174 (17.4%) *	
* Attic & Cellar Areas Not Included In FAR Calculations As Noted In Definitions. (Chapter 43, Article X1, Section 11.2)	

SUPERSEDED



SITE LOCATION PLAN
SCALE: 1" = 20'-0"



CLIMATIC & GEOGRAPHIC DESIGN CRITERIA												
2020 Residential Code Of New York State: Table R301.2(1)												
GROUND SNOW LOAD (LB/FT ²)	WIND DESIGN:			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WINTER DESIGN TEMP.	ICE BARRIER UNDERLMT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	WIND SPEED (MPH)	TOPO-GRAPHIC EFFECTS	SPECIAL WIND RES/ON		WEATHER	FROST LINE DEPTH (INCHES)	TERMITE					
30	115	NO	YES	B	SEVERE	36	MODERATE HEAVY	10 Deg.	YES	No	1500 OR LESS	44.6 F

Compliance Statement:

To the best of my knowledge, belief and professional judgment, these plans and specifications are in compliance with the 2020 Residential Code Of New York State and the 2020 Energy Conservation Code Of New York State + NYStretch-2020 Supplement.

ROAM Architecture PLLC

Design Loads:

First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load (3'-6" Headroom)	Live Load	20 #/sf
	Dead Load	12 #/sf
Attic Load (3'-6" Headroom)	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	30 #/sf
	Dead Load	12 #/sf

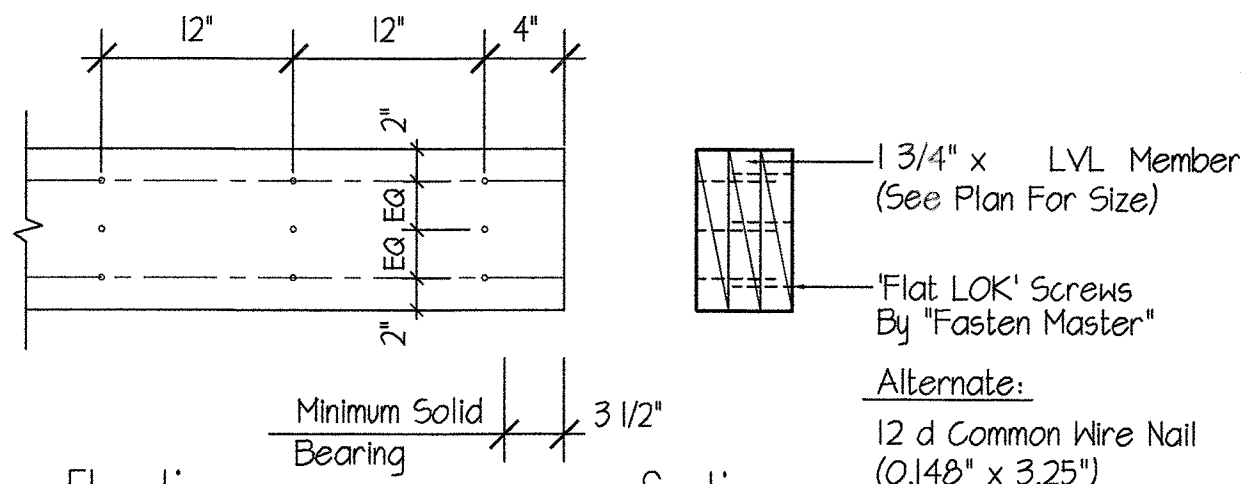
General Notes:

- All Work And Materials Shall Conform To All Local, County And State Codes - 2020 Residential Code Of New York State.
- Steel: Shall Conform To AISC Specification A-36 For Structural Steel.
- All Framing Lumber To Be # 2 Douglas Fir Or Better. All New Work and materials unless otherwise specified shall match existing construction, all framing to meet NYS Code. Laminated Veneer Lumber (LVL) Shall Be "MicroLam 1.8E" By Trus Joist Meyerhauer Or Equal, Min. Fb. 2600. Install As Per Manufacturer's Specifications.
- All materials shall be installed in strict accordance with manufacturers specifications.
- Contractor to consider all dimensions approximate pending field verification, prior to construction, consult Architect as required.
- Contractor to furnish and install all labor, materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner, job shall be ready for occupancy in good workmanship manner with all work done as shown or reasonably intended on documents. It shall include but not limited to:

A. Building Permit B. Certificate of Insurance C. Demolition as required D. Excavation E. Masonry F. Carpentry G. Flashing H. Siding I. Chalking/Sealant J. Gutter & Leaders K. Roofing L. Painting and Finishing M. Trim Work N. Heating & Cooling O. Plumbing P. Electrical	
--	--
- The contractor shall verify location of project and secure all utilities before commencing site work. Contractor will consult with "Call Before You Dig" 1-800-482-1962 and conduct construction with due care to avoid damage to existing construction, utility mains, etc. During excavation and construction.
- All existing trees, road surfaces, etc. to remain shall be protected from damage. The contractor and subcontractors shall assume full responsibility for damage and shall make repairs required without additional cost to the owner.
- All footings to bear on solid, undisturbed earth. Concrete shall be a min. Fc = 3,000 psi compressive strength for footings & foundation walls and Fc = 3,500 psi compressive strength for floors.
- Electrician, if Required, to review any special needs and coordinate location of all new and relocated Electrical Recepticals & Wiring with Owner prior to starting work.
- Plumber, if Required, to review any special needs and coordinate location of all new and relocated Plumbing with Owner prior to starting work.

CONSTRUCTION NOTES:

- HVAC:**
Heating:
 - Existing Gas-Fired Boiler & Hot Water Heater To Remain.
1st Floor: Existing Heating in Kitchen, Pantry & Mudroom Area To Remain.
2nd Floor: Install New Hot Water Radiant Baseboard Heat By "Runtal" Or Equal, In M. Bathroom As Per NYS Code And New Layout. Connect To Existing M. Bedroom Zone And Reconfigure Existing Hot Water Radiant Baseboard Heat As Needed For New Layout.
- Cooling:**
 - No Air Conditioning On This Project.
- Plumbing Notes:**
 1. Plumber To Install New Supply And Waste Lines As Required By New Layout And As Per Code. Connect To Existing As Required. New Waste Lines To Connect To Existing Waste Line. Wrap All New & Exposed Waste Pipes In Ceiling And Walls For Sound Attenuation.
- Electrical Notes:**
 1. Electrician To Install New Outlets, Recessed Lighting, Etc. In All New Areas & Reconfigured Areas, As Needed, Per Building Code & With Owner Requirements. Coordinate Locations With Owner. (Style And Color To Be Determined By Owner) Connect To Existing Electric Panel. Electrician To Verify Existing Electrical Panel Is Adequate For New Electrical Loads.
- Roofing:**
 1. Install New Asphalt Shingles: "Timberline HD" By "GAF" Or Equal (Color T.B.D.) At New Addition And Patch At Existing Roof Structure As Needed.
 2. Install New "Eaveguard" Waterproof Underlayment By "Henry" Or Equal Under Asphalt Roofing At Low Slope Roofs, Valleys And Along Eaves (5% Minimum).
 3. All New Flashing, Gutters & Leaders To Be B.E. Aluminum, To Grade. (Color: T.B.D.)
- Exterior Siding & Trim:**
 1. Existing Siding, Soffits & Fascia's On House And Detached Garage To Be Removed.
 2. Install All New Vinyl Siding (Beveled), Frieze & Corner Boards On House & Detached Garage. Vinyl Material To Be "CertainTeed" Or Equal. (Color And Siding Exposure T.B.D.). Install All New Soffits And Fascia's On House & Detached Garage. Material To Be B.E. Aluminum. (Color T.B.D.)
- Exterior Rear Covered Porch:**
 1. Existing Wood Decking To Remain. Patch Decking As Required To Match Existing.
 2. New 6 x 6 Pressure Treated Columns To Match Existing Front Porch. (Stain Color T.B.D. By Owner)
 3. Porch Ceiling To Be B.E. Aluminum Material To Match House. (Color: T.B.D. By Owner)
- Interior Door Notes:**
 1. Interior Doors To Be By "Masonite", "REED" Or Equal And To Be Coordinated, Purchased And Installed By GC. Review Floor Plans For Locations And Swings.
 2. 1 3/8" Solid Core, Smooth Finish, MDF Panels. Prehung And Preprimed To Match Existing. Verify Door Style And Moldings With Owner.
 3. Jambes To Be Solid Wood, Preprimed.
 4. Stone Saddle Material (F.B.O.) For M. Bedroom To Be Determined By Owner.
 5. Door Hardware By Owner (F.B.O.). Door Hinge Finish To Match Owner Supplied Door Hardware, GC To Review With Owner Prior To Final Order.
- Flooring:**
 1. 1st Floor: Install New Tile Floors (F.B.O.), (In Areas Of Mudroom Only). Over 1 Layer Of 3/8" Cement Board Thin Setted To Existing Plywood Subfloor.
 - Install New 3/4" Thick Engineered Wood Plank Flooring (In Areas Of Kitchen And Pantry Only). Verify Stain Color And Finish Coat With Owner.
 2. 2nd Floor: Install New Tile Floors (F.B.O.), (In Areas Of New M. Bathroom Only). Over 1 Layer Of 3/8" Cement Board Thin Setted To New Plywood Subfloor.
- Master Bathroom Notes:**
 1. Tile Floors (F.B.O.), Over Wood Framing, To Be Set Over 1 Layer Of 3/8" Cement Board Thin Setted To Plywood Subfloor. (Optional): Electric Radiant Heating System Under Tile Floors.
 2. GC To Install New Plumbing Fixtures (F.B.O.), Pre-fabricated Shower Bases (F.B.O.), Tubs (F.B.O.), Custom Shower Pans, Vanities (F.B.O.), & Stone Countertops (F.B.O.). GC To Install Tiles (F.B.O.) On Floors & Shower Enclosures (Full Height & Ceilings). Contractor To Review (F.B.O.) Items W/ Owner For Quantity And Locations.
 3. Tiled Notes To Be Determined In Field With Owner. Provide Cement Backerboard Behind All Areas Being Tiled.
 4. Glass Shower Enclosures By GC. GC To Provide Solid Blocking In Walls As Needed. Coordinate Glass Enclosure Locations. Frameless Glass Enclosures To Be Tempered Glass Style & Design And Hardware To Be Determined With Owner.
 5. GC To Provide Solid Blocking In Walls For Towel Bars, Etc. As Needed.
 6. Provide 50 CFM Exhaust Fan With 4" Solid Galv. Metal Duct Vent To Exterior As Needed.
- Ceiling & Wall Finish:**
 1. Provide New 1/2" Gypsum Board On Walls And Ceilings In New Areas And Areas Affected By Construction Only. Taped And 3 Coats Of Compound.
 GC To Provide & Install New Paint Grade Wood Casings Around Windows & Doors And Paint Grade Wood Base Moldings In New Addition And Areas Affected By Construction. Moldings To Match Existing. (Verify With Owner)
- Interior Trim:**
 1. Provide New 1/2" Gypsum Board On Walls And Ceilings In New Areas And Areas Affected By Construction Only. Taped And 3 Coats Of Compound.
- Misc. Notes:**
 1. Linen Millwork: GC To Provide 4" Install (5) Paint Grade Adjustable Plywood Shelves. All Millwork To Be Painted With 1 Coat Prime And 2 Coats Paint.
 2. Pantry Millwork: GC To Keep Existing Pantry Millwork And Install Additional Millwork As Needed By Owner. Verify With Owner.
- Insulation Notes:**
 *** Insulation Material To Be "InsulStar II-016" Closed Cell Spray Foam Insulation By NCFI Polyurethanes' Or Equal To Fill Framing Cavities.***
 (GC To Leave Any Exposed Insulation In Existing Framing Bays Unless Affected By Construction)
 - Provide Fire Intumescent Paint On any Areas Of Exposed Spray Foam Insulation For Fire Protection As Per Code Section R816 of the 2020 Residential Code Of NYS.
- New Addition:**
 New Exterior Walls: To Receive 5-1/2" (R-38) Closed Cell Spray Foam Insulation In Stud Cavity. (R-21 Min.)
 GC To Provide Solid Blocking In Walls For Towel Bars, Etc. As Needed.
 New Rafters & Cathedral Ceilings: To Receive 7" (R-41) Closed Cell Spray Foam Insulation With Unvented Rafters As Per Code. (R-49 Min.)
 New Floor Framing: To Receive 7" (R-49) Closed Cell Spray Foam Insulation In Joist Bays. (R-30 Min.)



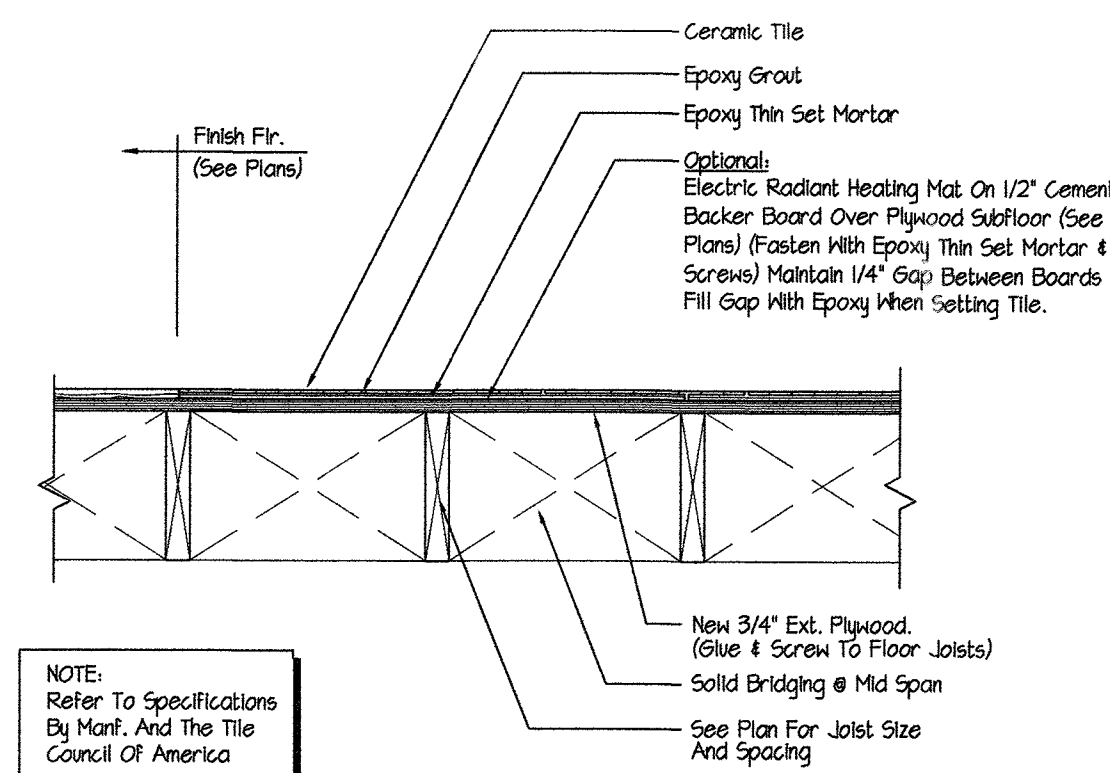
Note:

LVL = Laminated Veneer Lumber By Trus-Joist MacMillan (1.4 E) Minimum or Equal

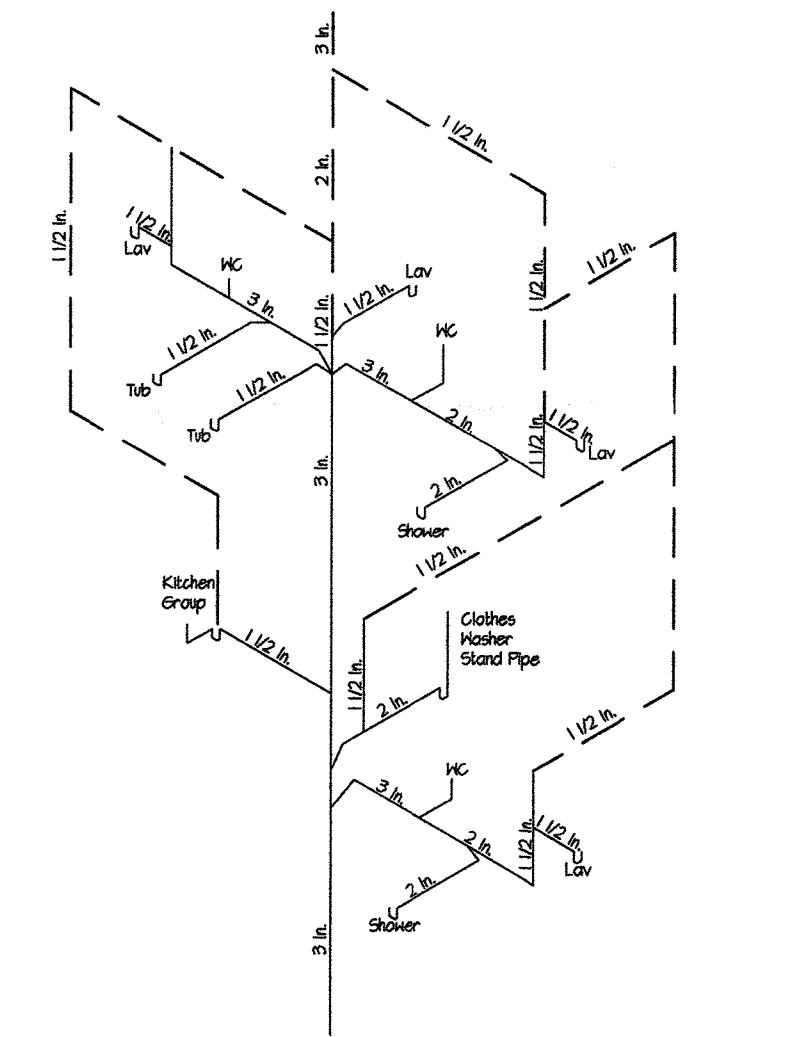
Note:

See Plans For Size & Location Of All LVL Members

LVL Beam Diagram
 SCALE: N.T.S.



Tile Floor (Thin Set)
 SCALE: N.T.S.



Typical Plumbing Riser Diagram
 SCALE: N.T.S.

ZONING DATA: SECTION: 77.11, LOT: 1, BLOCK: 50

168 WASHINGTON STREET, TAPPAN NY 10983
 RESIDENTIAL DISTRICT: R-15, GROUP M (SINGLE FAMILY DETACHED RESIDENCES)

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED ADDITION	COMMENTS
MINIMUM LOT AREA	15,000 SQ. FT.	16,709 SQ.FT.	NO CHANGE	
MINIMUM LOT WIDTH	100 FEET	100.50 FEET	NO CHANGE	
MAXIMUM FLOOR AREA RATIO	0.20 (20%)	0.159 (15.9%)	0.175 (17.5%)	
FRONT YARD SETBACK FY1 - CONKLIN AVENUE	30 FEET MINIMUM	0.70 FEET EXISTING NON-CONFORMING	± 26.50 FEET (At Porch)	** Variance Required
FRONT YARD SETBACK FY2 - WASHINGTON ST.	30 FEET MINIMUM	9.5 FEET EXISTING NON-CONFORMING	± 16.83 FEET (At Closet)	** Variance Required
SIDE YARD SETBACK	20 FEET MINIMUM	N/A	(+/- 48.5 FEET @ DECK)	
TOTAL SIDE YARD SETBACK	50 FEET MINIMUM	N/A	N/A	
REAR YARD SETBACK	35 FEET MINIMUM	N/A	(107.5 FEET @ DECK)	
BUILDING HEIGHT	12" PER FOOT (35 FEET MAX.)	N/A	(+/- 23.33 FEET)	

FAR Calculations

Existing:
 Detached Garage: 371 Sq.Ft.
 Cellar: 0 Sq.Ft. *
 First Floor: 1,010 Sq.Ft.
 Second Floor: 1,284 Sq.Ft.
 Total: 2,665 Sq.Ft.

2,665 / 16,709 = 0.159 (15.9%) *

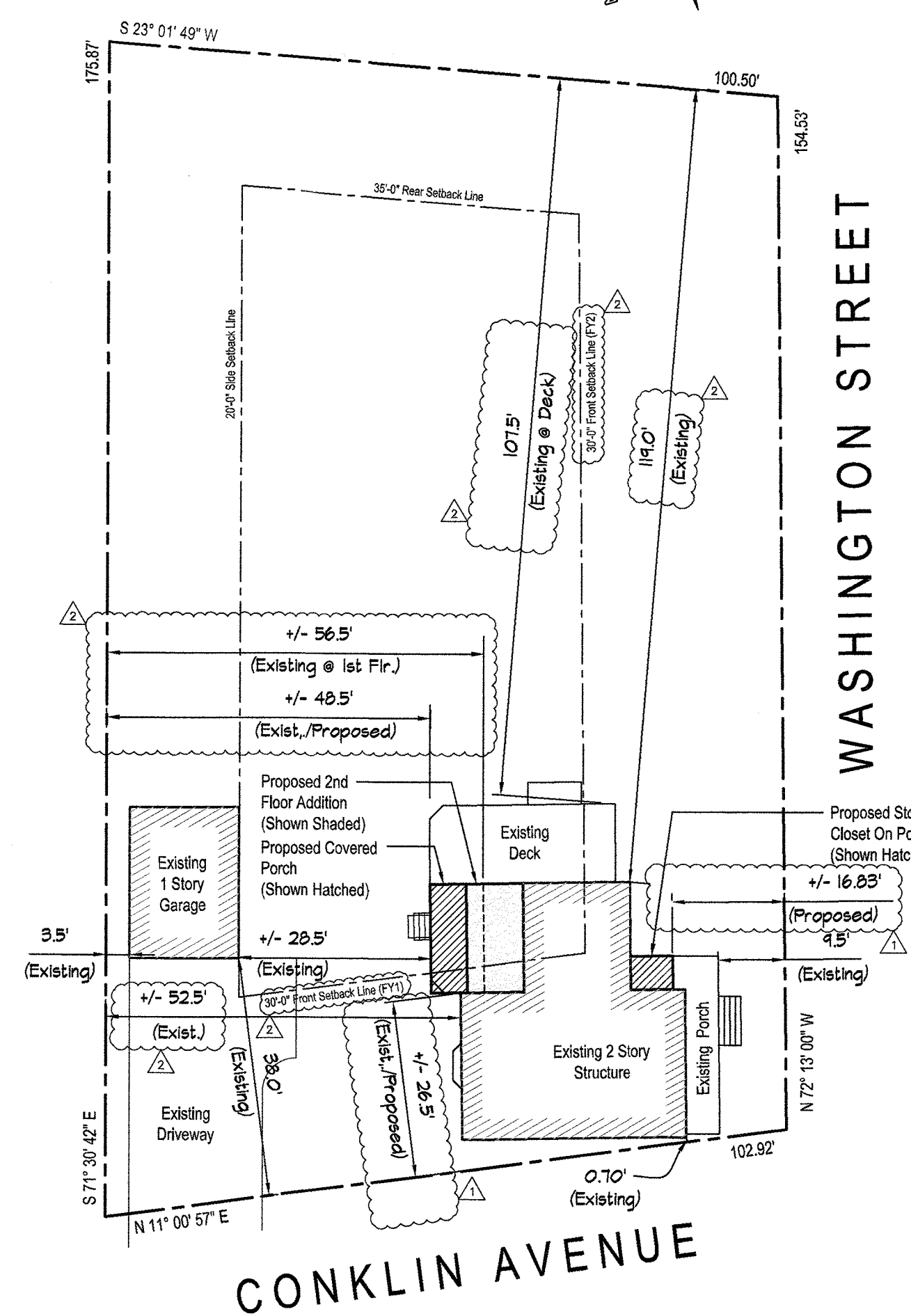
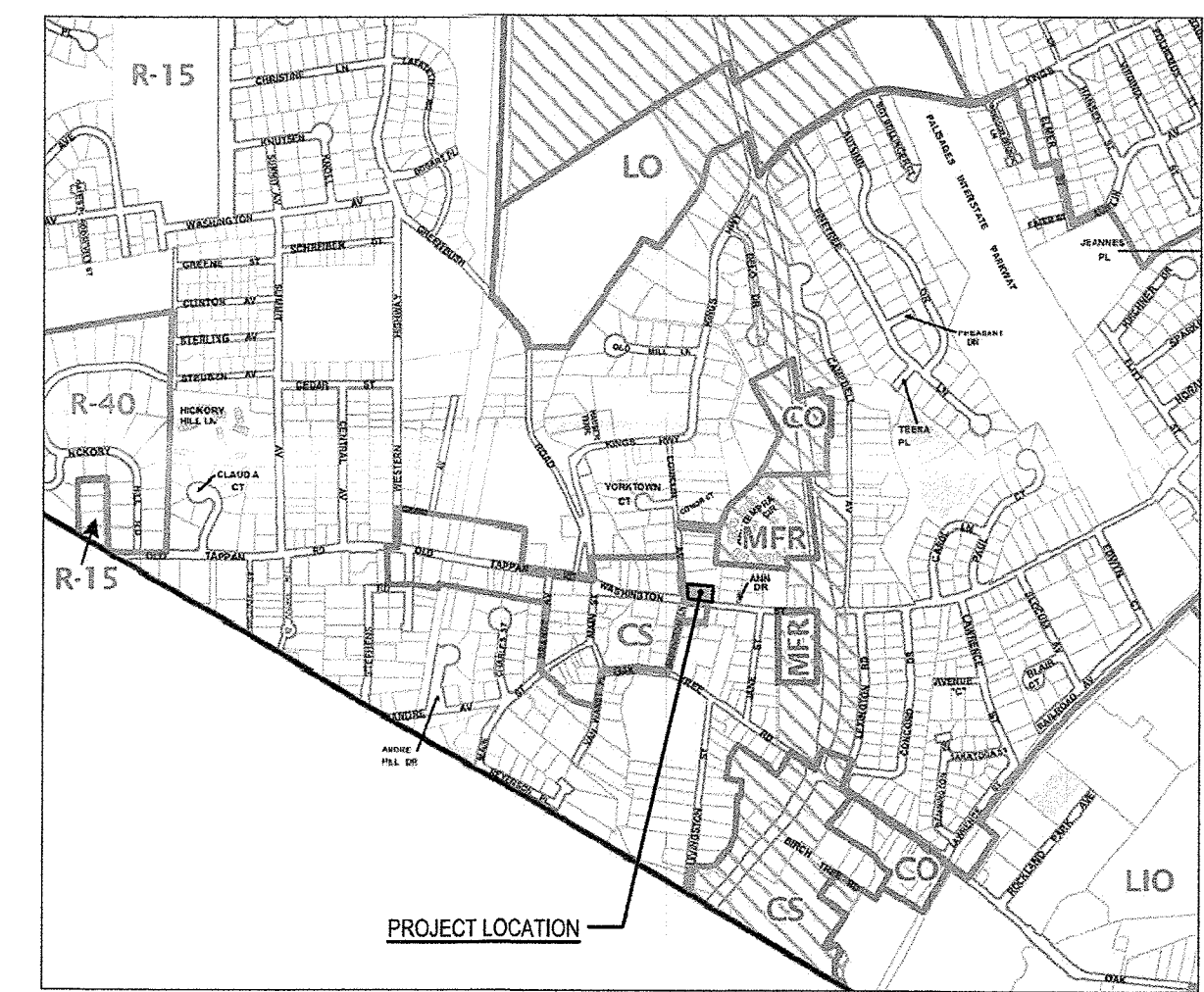
Proposed:
 Basement: 0 Sq.Ft. *
 First Floor: 130 Sq.Ft.
 Second Floor: 134 Sq.Ft.
 Total: 264 Sq.Ft.

2,665 + 264 = 2,929 / 16,709 = 0.175 (17.5%) *

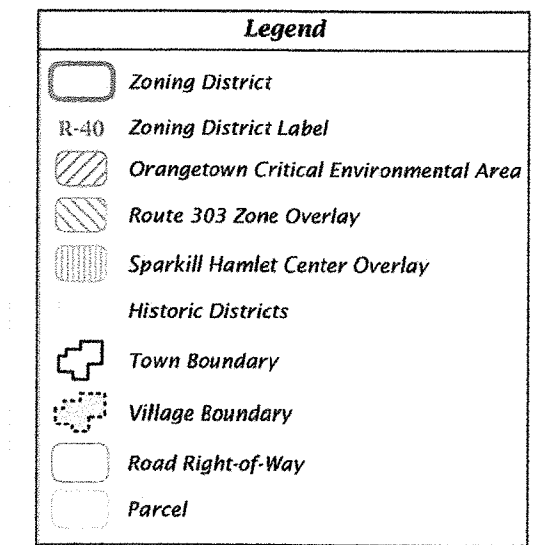
* Attic & Cellar Areas Not Included In FAR Calculations As Noted In Definitions. (Chapter 43, Article XI, Section 11.2)

* INFORMATION FOR THIS ZONING DATA TAKEN FROM THE SURVEY DATA OF THE PROPERTY BY WILLIAM YUDA P.L.S., DATED: MAY 14TH, 1986 AND SITE PLAN BY JOHN J. DEAN, R.A., DATED AUGUST 29TH 2000.
 * VARIANCES REQUIRED PER CHAPTER 43, SECTION 9.2 "NONCONFORMING BULK REGULATIONS" FOR NEW SECOND FLOOR ADDITION AND STORAGE CLOSET.

VICINITY MAP



SITE LOCATION PLAN
 SCALE: 1" = 20'-0"



Town of Orangetown
 MEETING OF:
 JAN 29 2025
 ZONING BOARD OF APPEALS

RECEIVED
 DEC 17 2024

ROAM ARCHITECTURE
 181 OLD TAPPAN RD. | TAPPAN, NY 10983
 T. 845.267.8479 | www.roamarch.com

RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION	FOR PERMIT
1	06-20-2024	Issue #1	Issue #1
2	09-19-2024	Issue #2	Issue #2
3	12-11-2024	Issue #3	Issue #3

GENERAL NOTES, DETAILS, ZONING INFORMATION & DESIGN CRITERIA

New M. Bathroom Addition For:
MESIBOV RESIDENCE
 168 WASHINGTON STREET
 TAPPAN, N.Y. 10983

GENERAL NOTES, DETAILS, ZONING INFORMATION & DESIGN CRITERIA

REGISTERED ARCHITECT
 STATE OF NEW YORK
 028285

DATE: 06-20-2024
 DRAWN BY: RP
 SCALE: As Noted
 JOB NO.: 2023.13

A-0

DO NOT SCALE DRAWINGS

Exterior Demolition Note:

- Remove & Discard Existing Siding, Surrounds, Corner Boards, Soffits, Fascias & Membranes Down To Sheathing As Required For New Construction & Siding.
- Existing Windows, Doors and Roofing Shingles To Remain Unless Otherwise Noted.
- Existing Main Roof Structure & Sheathing To Remain Unless Otherwise Noted.
- Remove & Discard Existing Roof Rafters, Only, Above Mudroom & Pantry Structure As Noted, For New Porch & M. Bathroom Construction.
- Remove and Replace Any Rotted or Damaged Framing or Sheathing As Needed.
- Existing Wood Deck To Remain.

Interior Demolition Note:

1st Floor:

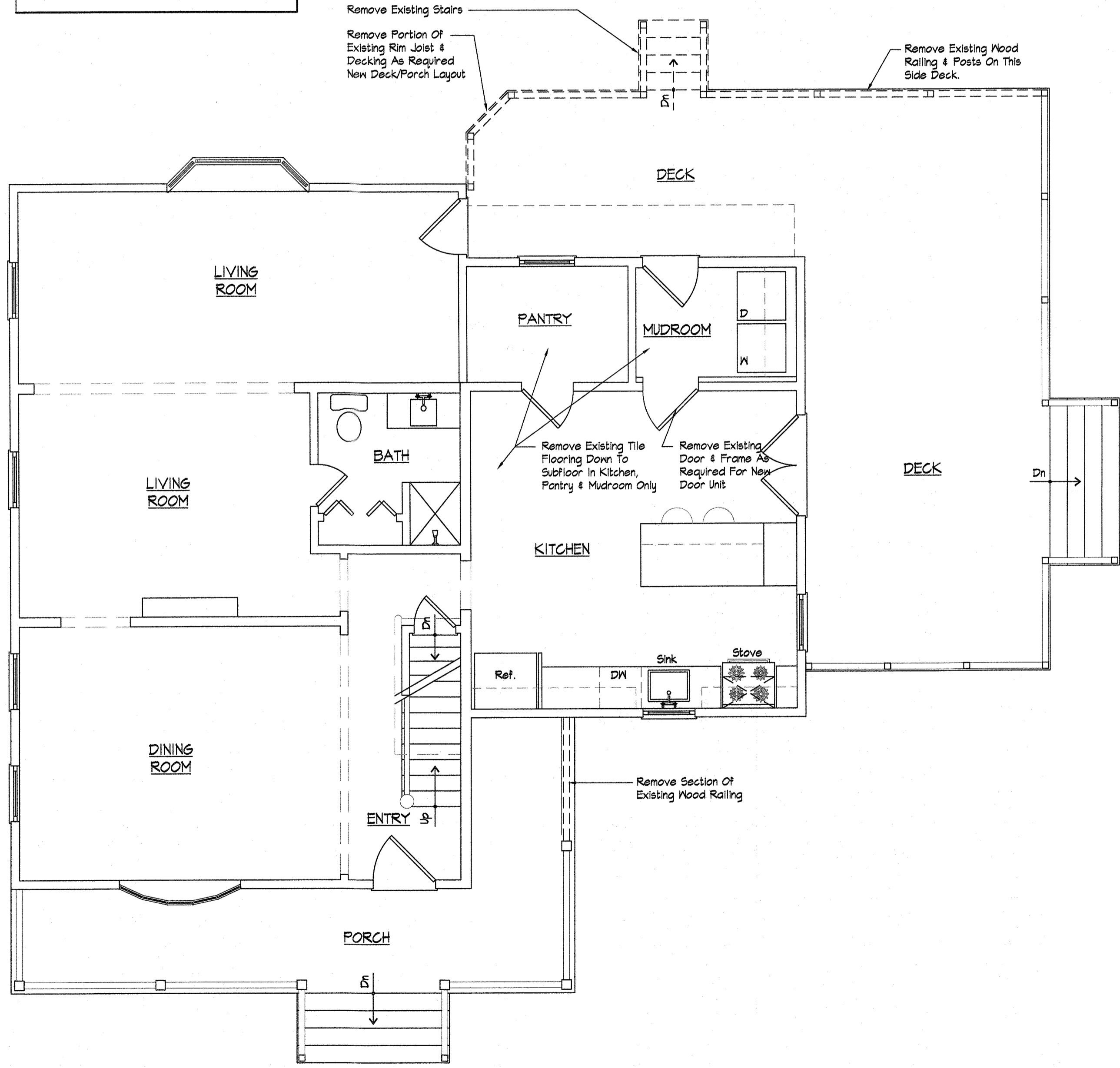
- Remove Existing Floor Finishes As Noted: (Tile Floors, Mud Jobs, Etc.) In Kitchen, Pantry & Mudroom Down To Subfloor.
- Temporarily Cap Any All Water Supply & Waste Pipes If Required By New Layout.
- Temporarily Cap Or Remove Any Electric Wiring, Lights, Outlets, Etc. Back To Source If Required By New Layout.
- Existing Staircase To 2nd Floor To Remain. G.C. To Protect During Construction.

Shoring Note:

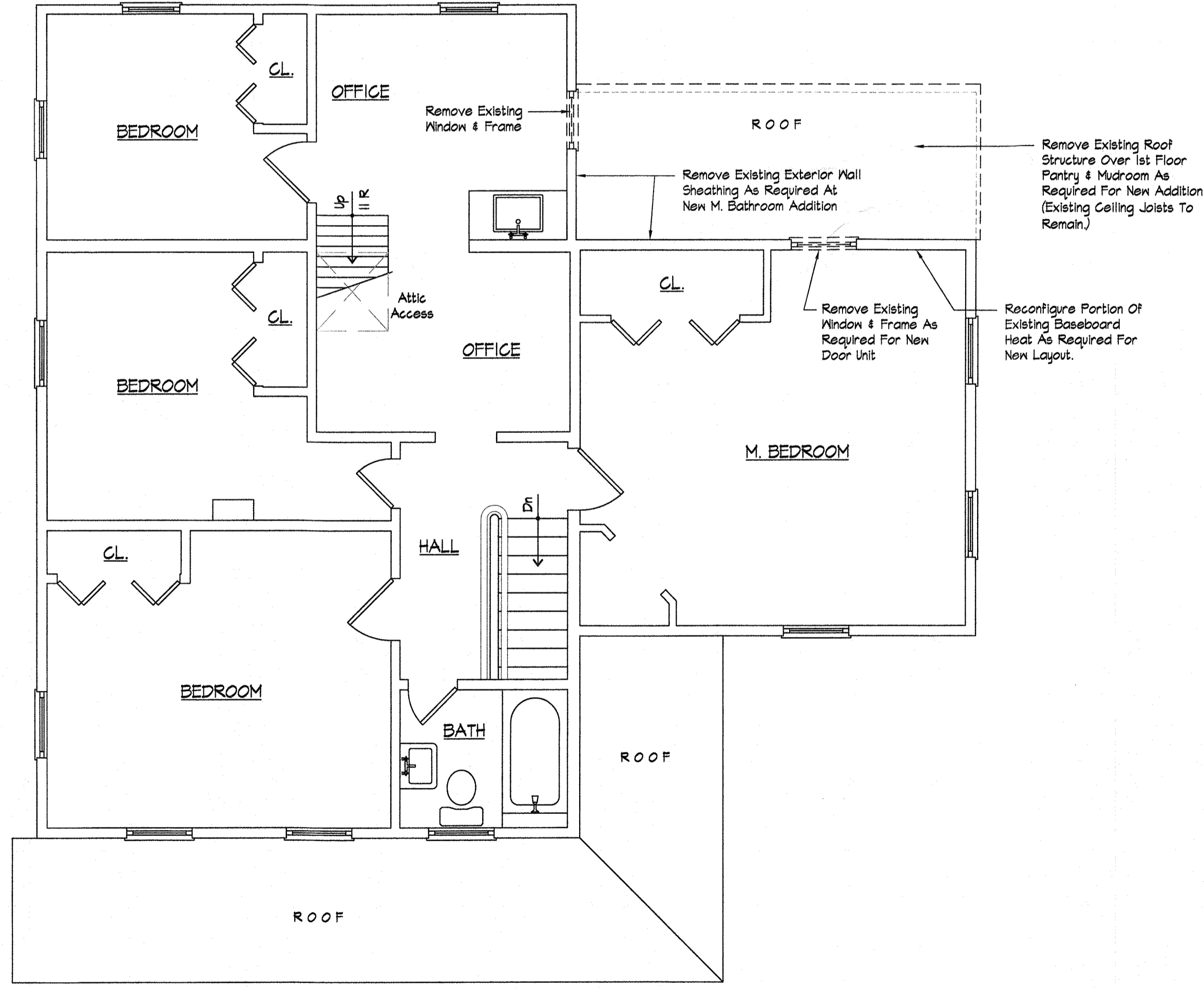
Provide Temporary Shoring As Required Prior To Removal Of Any Load Bearing Structures.

WALL LEGEND

---	EXISTING WALL TO BE REMOVED
—	EXISTING WALL TO REMAIN
---	EXISTING CEILING ABOVE



DEMOLITION PLAN - 1st FLOOR
SCALE: 1/4"=1'-0"



DEMOLITION PLAN - 2nd FLOOR
SCALE: 1/4"=1'-0"

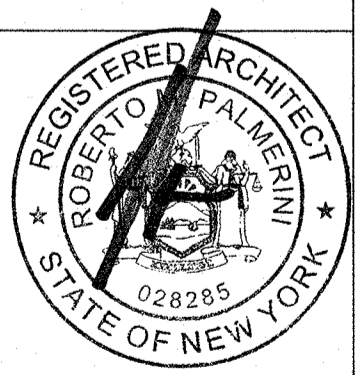
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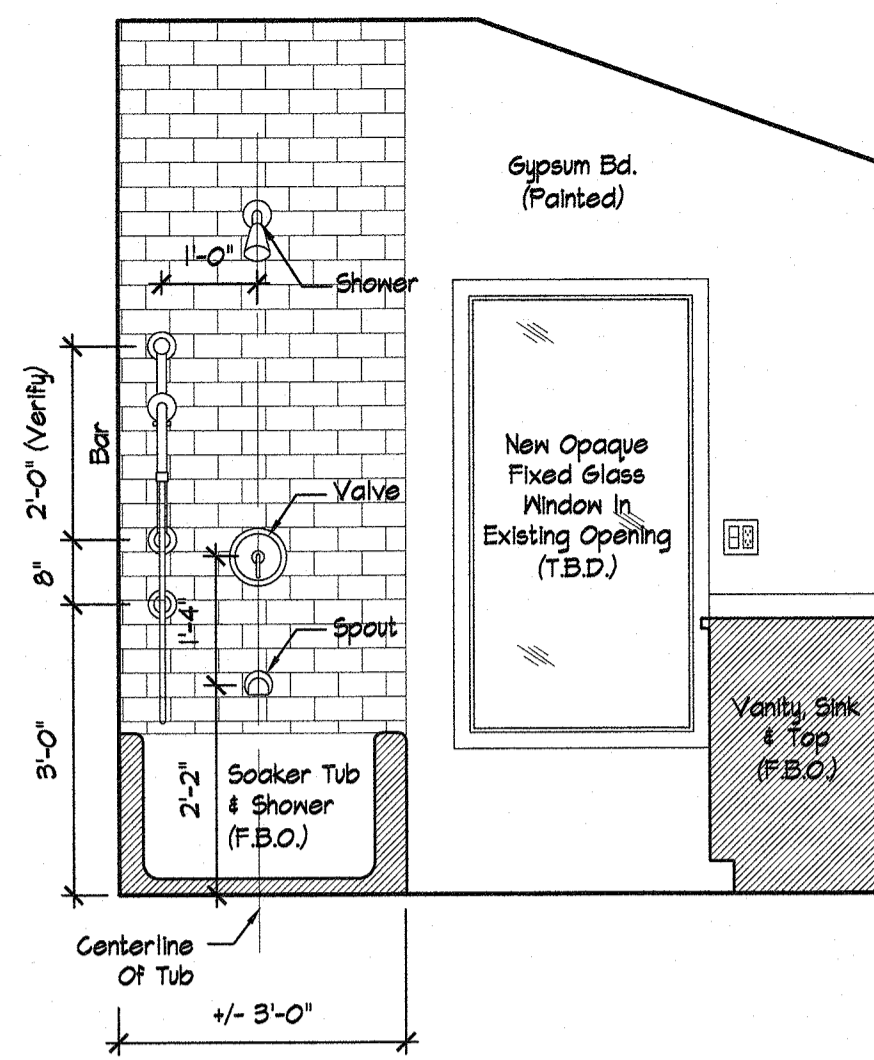
New M. Bathroom Addition For:
MESIBOV RESIDENCE
168 WASHINGTON STREET
TAPPAN, N.Y. 10983

DEMOLITION PLANS
1st & 2nd FLOOR

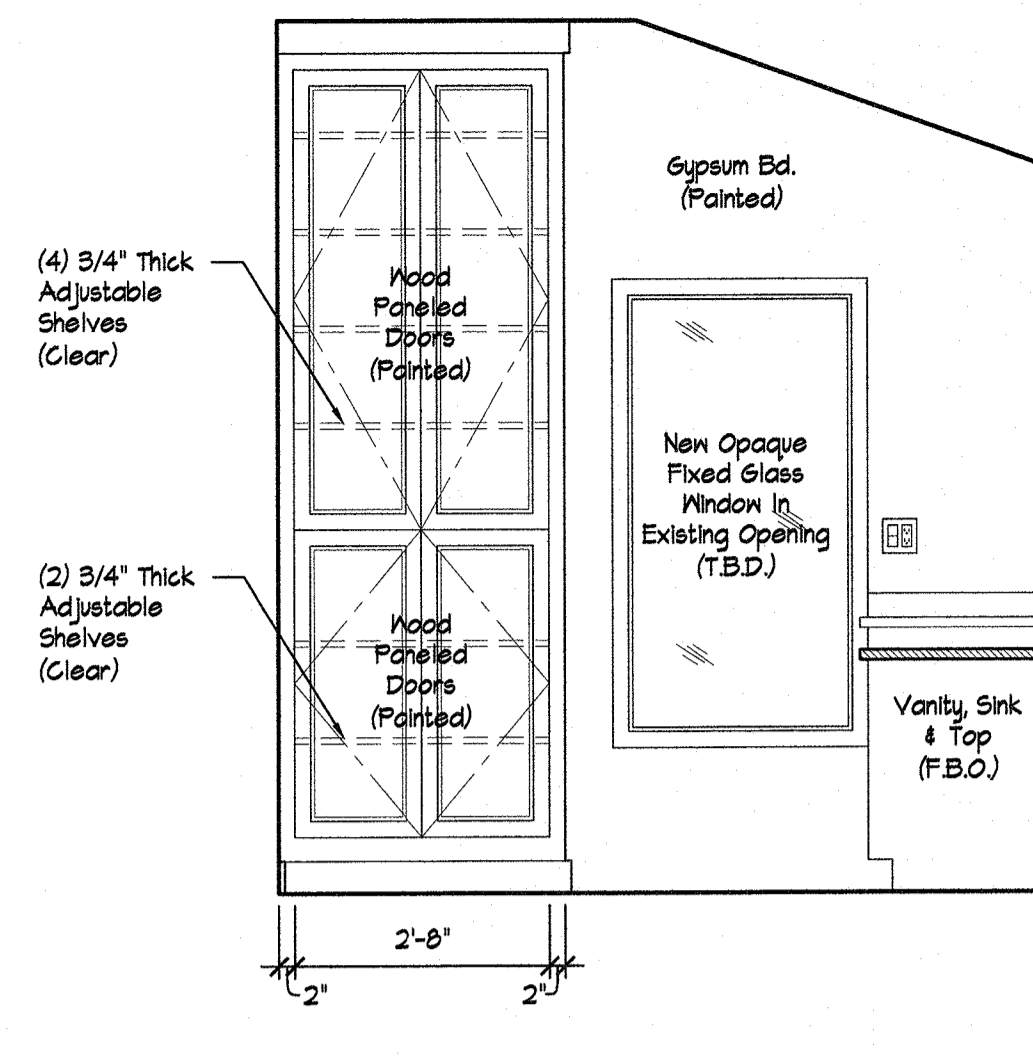


DATE: 06-20-2024
DRAWN BY: RP
SCALE: 1/4"=1'-0"
JOB NO.: 2023.13

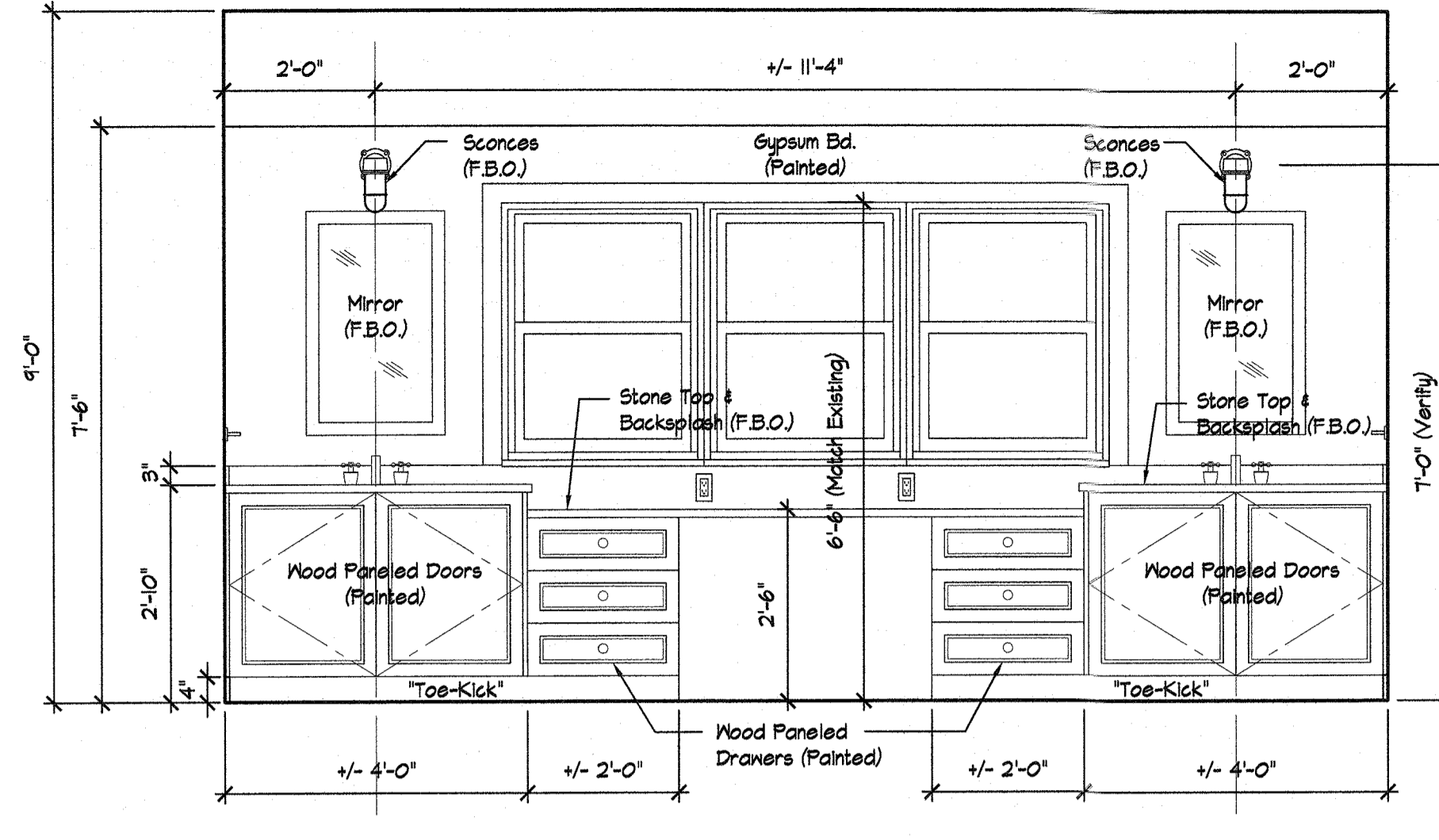
DO NOT SCALE DRAWINGS



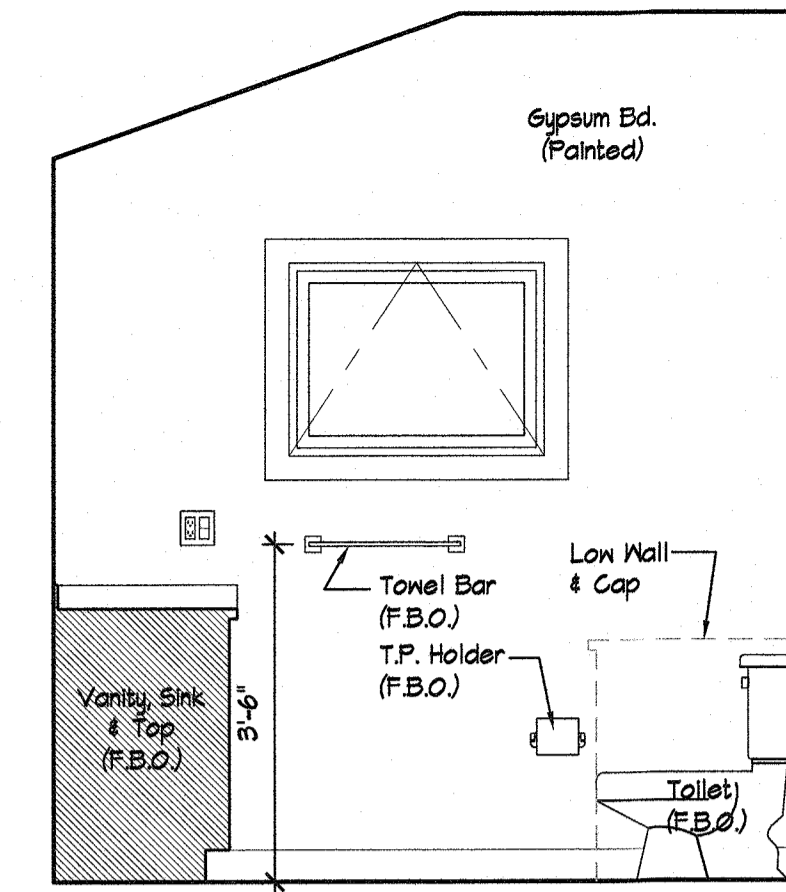
IA M. BATHROOM
1/2" = 1'-0"



IB M. BATHROOM
1/2" = 1'-0"



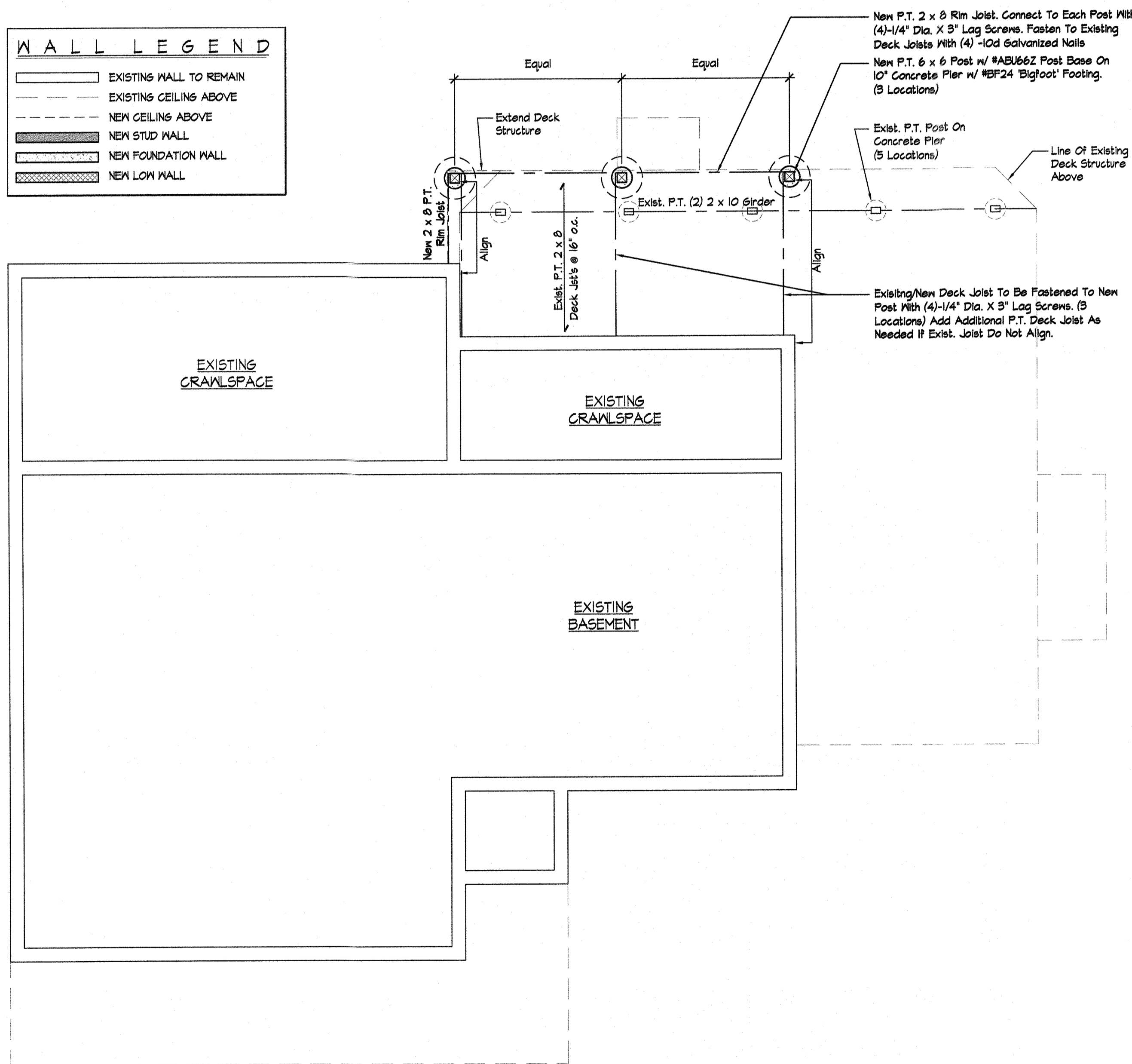
2 M. BATHROOM
1/2" = 1'-0"



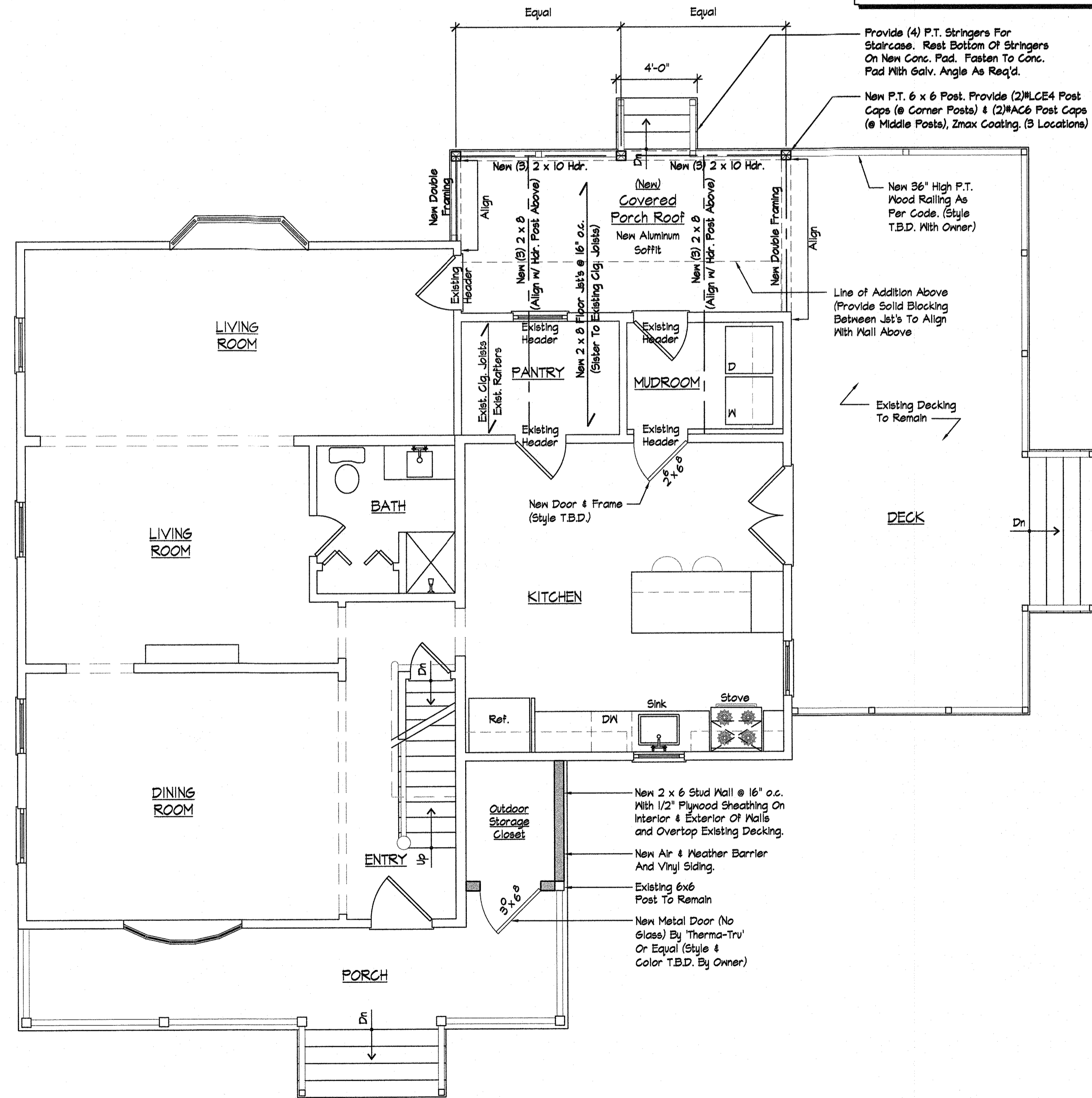
3A M. BATHROOM
1/2" = 1'-0"

EXISTING FRAMING NOTE:
- G.C. To Verify Existing Window & Door Headers. Minimum Size To Be (2) 2 x 6 Headers At Existing Exterior Openings & Minimum (2) 2 x 8 Header At Mudroom/Kitchen & Pantry/Kitchen Openings.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING CEILING ABOVE
	NEW CEILING ABOVE
	NEW STUD WALL
	NEW FOUNDATION WALL
	NEW LOW WALL



PROPOSED FOUNDATION PLAN
SCALE: 1/4"=1'-0"



PROPOSED 1st FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: Within dimensions on this drawing shall have precedence. DO NOT SCALE dimensions directly off of this drawing. Contractor shall verify all dimensions and conditions on the job and ROAM ARCHITECTURE, PLLC shall be notified of any variations from the dimensions and conditions shown on this drawing.

ISSUE	DATE	DESCRIPTION
1	06-20-2024	For Permit

New M. Bathroom Addition For:
MESIBOV RESIDENCE
188 WASHINGTON STREET
TAPPAN, N.Y. 10983

**FOUNDATION PLAN,
1ST FLOOR PLAN &
INTERIOR ELEVATIONS**



DATE: 06-20-2024
DRAWN BY: RP
SCALE: As Noted
JOB NO.: 2023.13

WINDOW & DOOR GENERAL NOTES

General Contractor To Provide Window & Door Supplier With Plans And Schedule For Bidding. Verify Schedule Information And Rough Openings To Drawings And Shop Drawings/Mfr.'s Info Prior To Final Order. Confirm With The Owner, Architect And Window Manufacturer Before Final Order. Review With Architect Any Questions, Discrepancies, Specifications, Etc...

All Exterior Windows To Be Manufactured By Andersen Windows & Doors With White Vinyl Exterior & White Painted Wood Interior With Insulated Low-E IV Heatlock Glass (0.27 U-Factor Max.) And 1-3/8" Nailing Flange, No Grills.

All Units To Include:
 -Factory Painted At All Interior Surfaces.
 -Standard Hardware. Confirm Finish With Owner Prior To Ordering
 -Install All Units Per Manufacturer's Written Specifications With Flashing, Insulation, Weatherstripping And Caulk -Extension Jambes As Required.
 -All Operable Windows To Have Aluminum Screen Frames With "Standard" Screen Or As Determined By Owner
 -All Double Hung And Awning Units To Be "Andersen", 400 Series Unless Otherwise Noted.
 -G.C. To Provide And Install All Metal Pans, Flashing, Backer Rod & Chalking As Specified By Manufacturer.

For Additional Information On Andersen Products Contact: 1 (800) 426-4261, www.andersenwindows.com

SKYLIGHT GENERAL NOTES

General Contractor To Provide Skylight Supplier With Plans And Schedule For Bidding. Verify Schedule Information And Rough Openings To Drawings And Shop Drawings/Mfr.'s Info Prior To Final Order. Confirm With The Owner, Architect And Skylight Manufacturer Before Final Order. Review With Architect Any Questions, Discrepancies, Specifications, Etc...

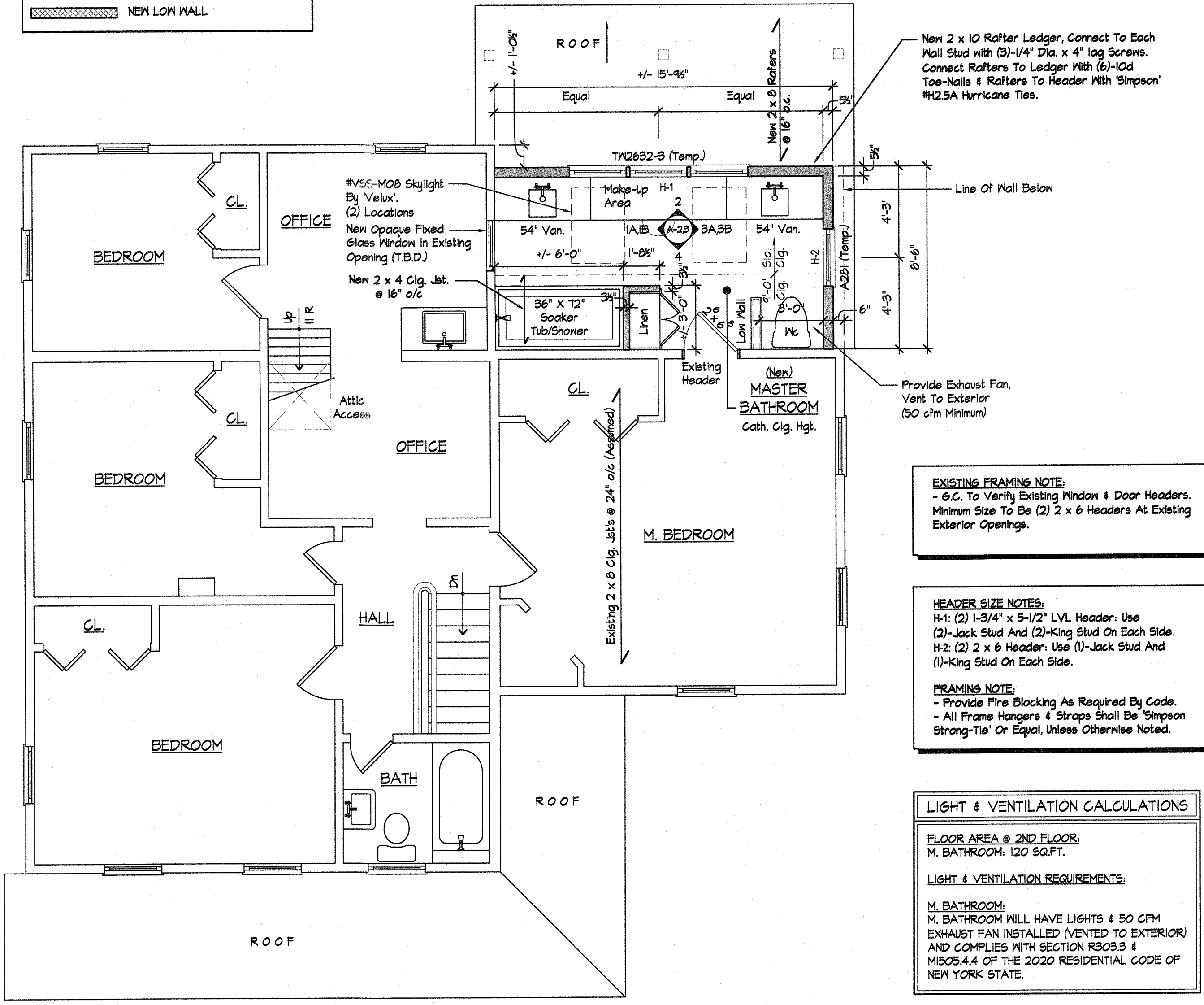
All Skylights To Be Manufactured By Velux With Wood Interior & Aluminum Exterior With Insulated Low-E Glazing, Clean, Quiet & Safe Glass'. (0.50 U-Factor Max.)

All Units To Include:
 -Provide Room Darkening, Double Pleated Blinds, Solar Powered, Color: "White", G.C. To Verify Options With Owner Prior To Ordering
 -Factory Painted At All Interior And Exterior Surfaces
 -Standard Hardware. Confirm Finish With Owner Prior To Ordering
 -Interior Casing (T.B.D.)
 -Refer To Plans For Locations.
 -Install All Units Per Manufacturer's Written Specifications With Flashing, Insulation, Weatherstripping And Caulk

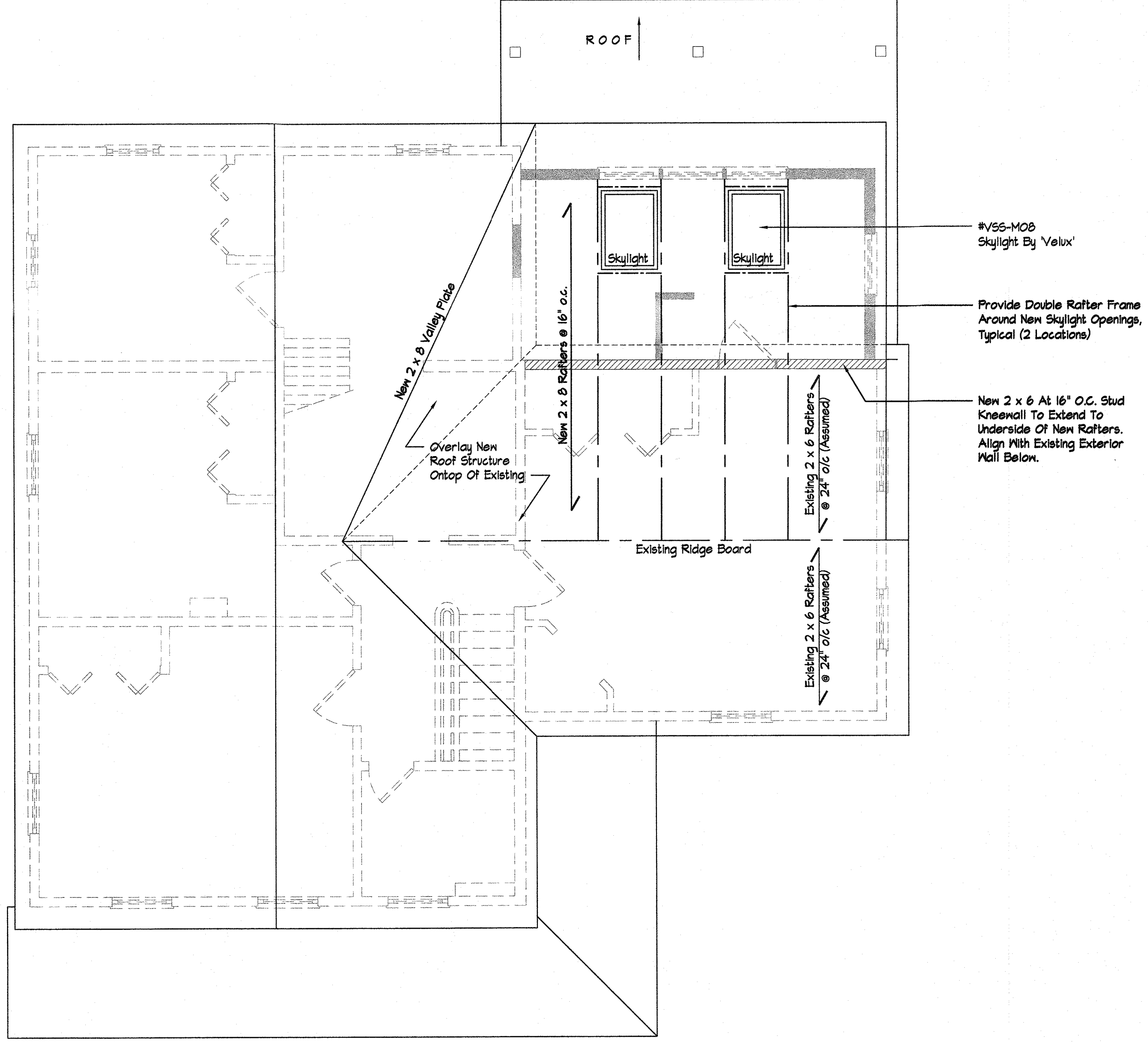
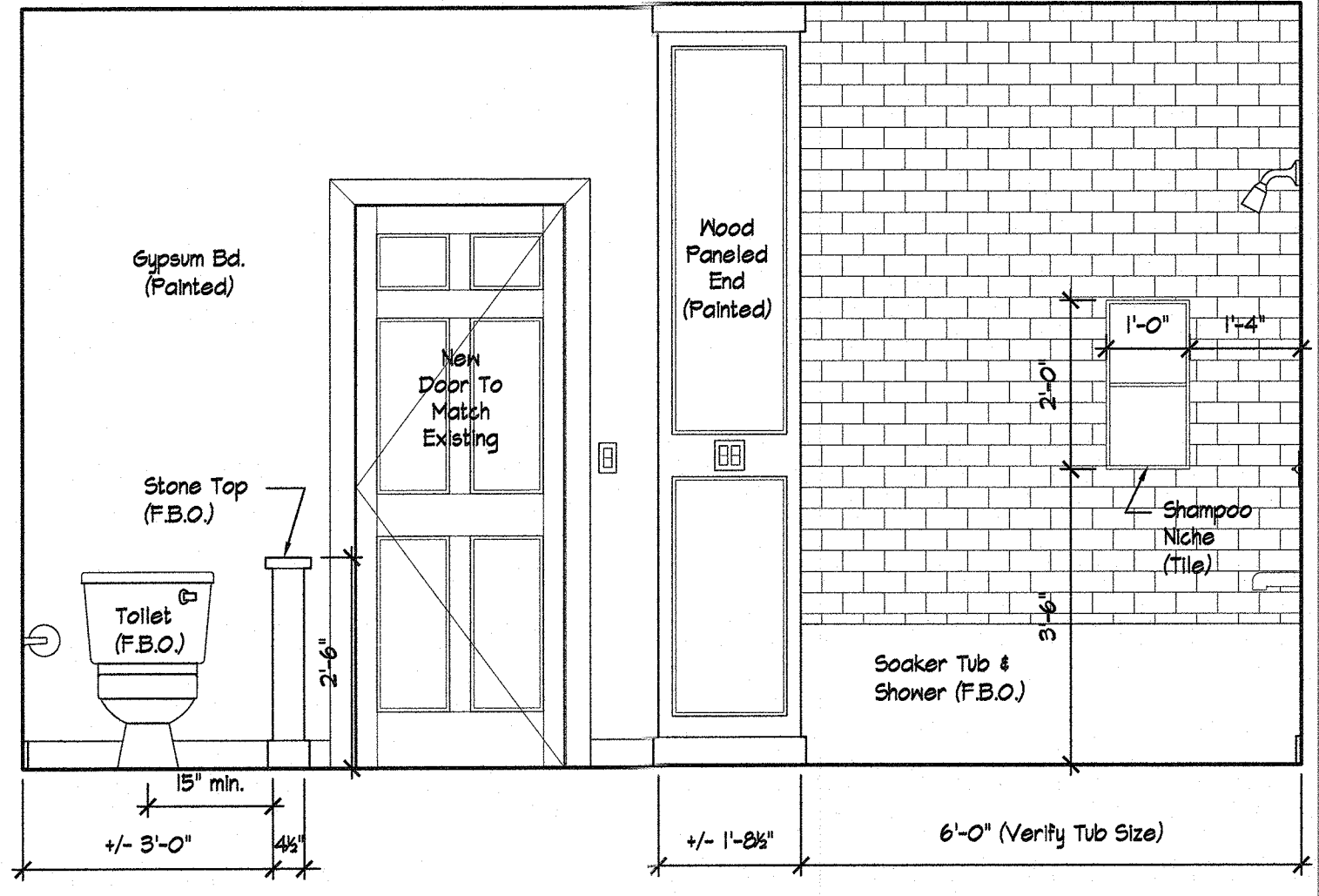
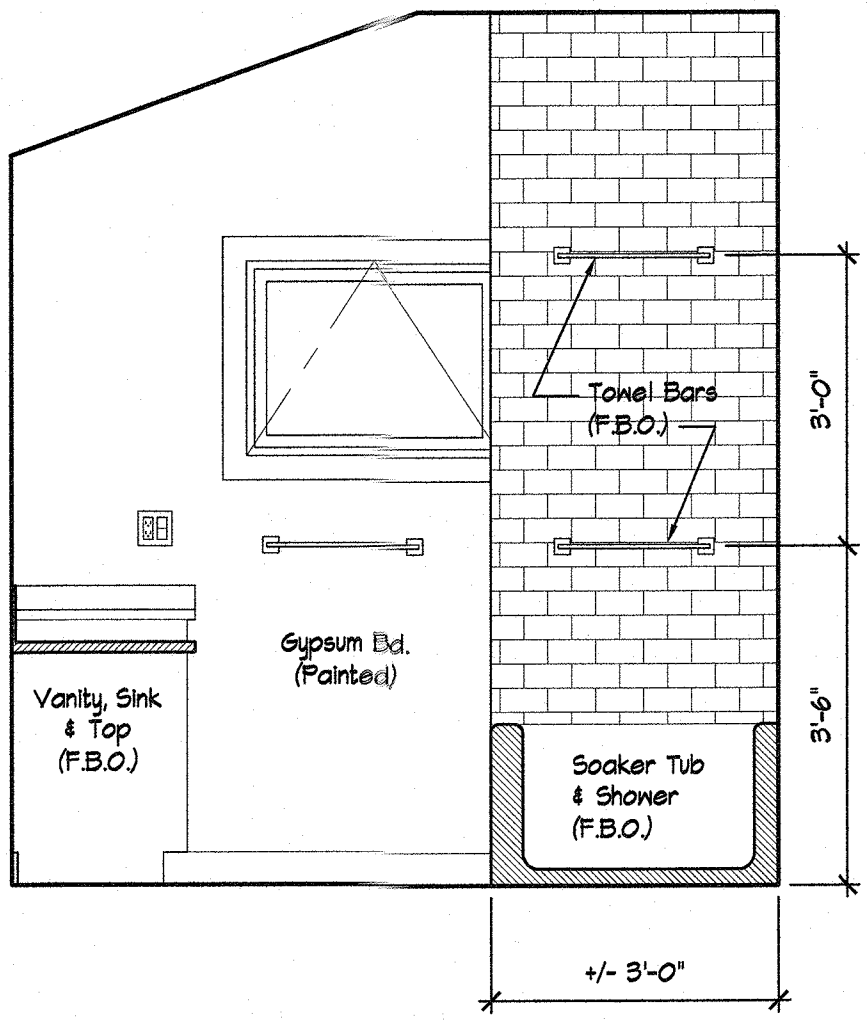
For Additional Information On Velux Products Contact: 1 (800) 888-8884, Veluxusa.com

M A L L L E G E N D

	EXISTING MALL TO REMAIN
	EXISTING CEILING ABOVE
	NEW CEILING ABOVE
	NEW STUD MALL
	NEW FOUNDATION MALL
	NEW LOW MALL



PROPOSED 2ND FLOOR PLAN
 SCALE: 1/4"=1'-0"



NOTE: Written dimensions on this drawing shall prevail over all other dimensions. DO NOT SCALE dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and ROAM ARCHITECTURE, LLC shall not be liable for any errors or omissions and any conditions shown on this drawing.

RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION
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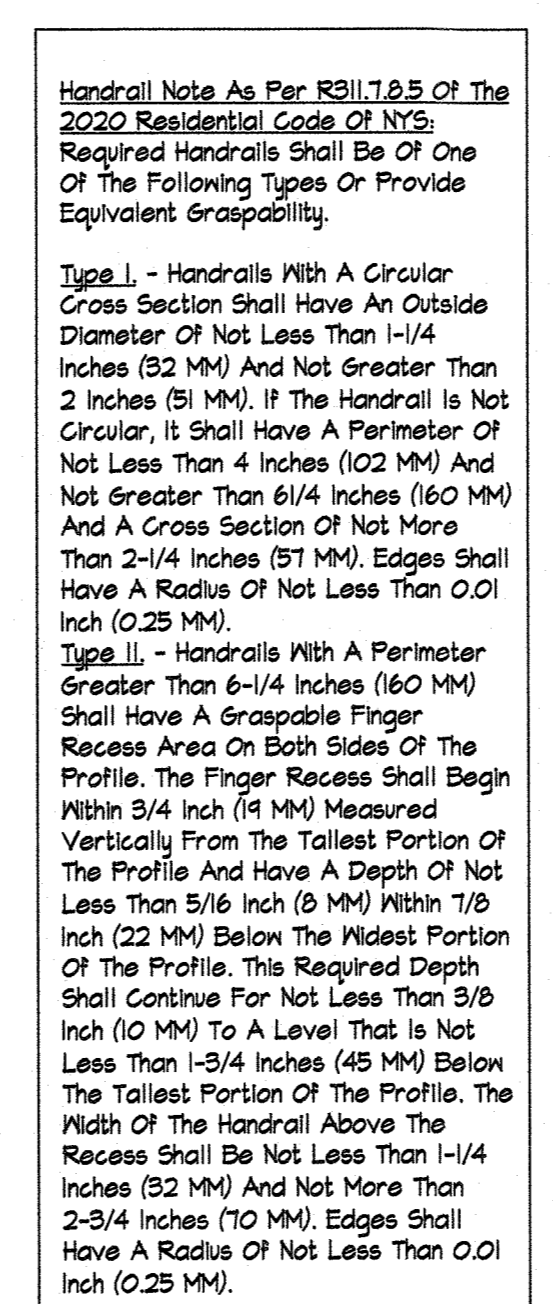
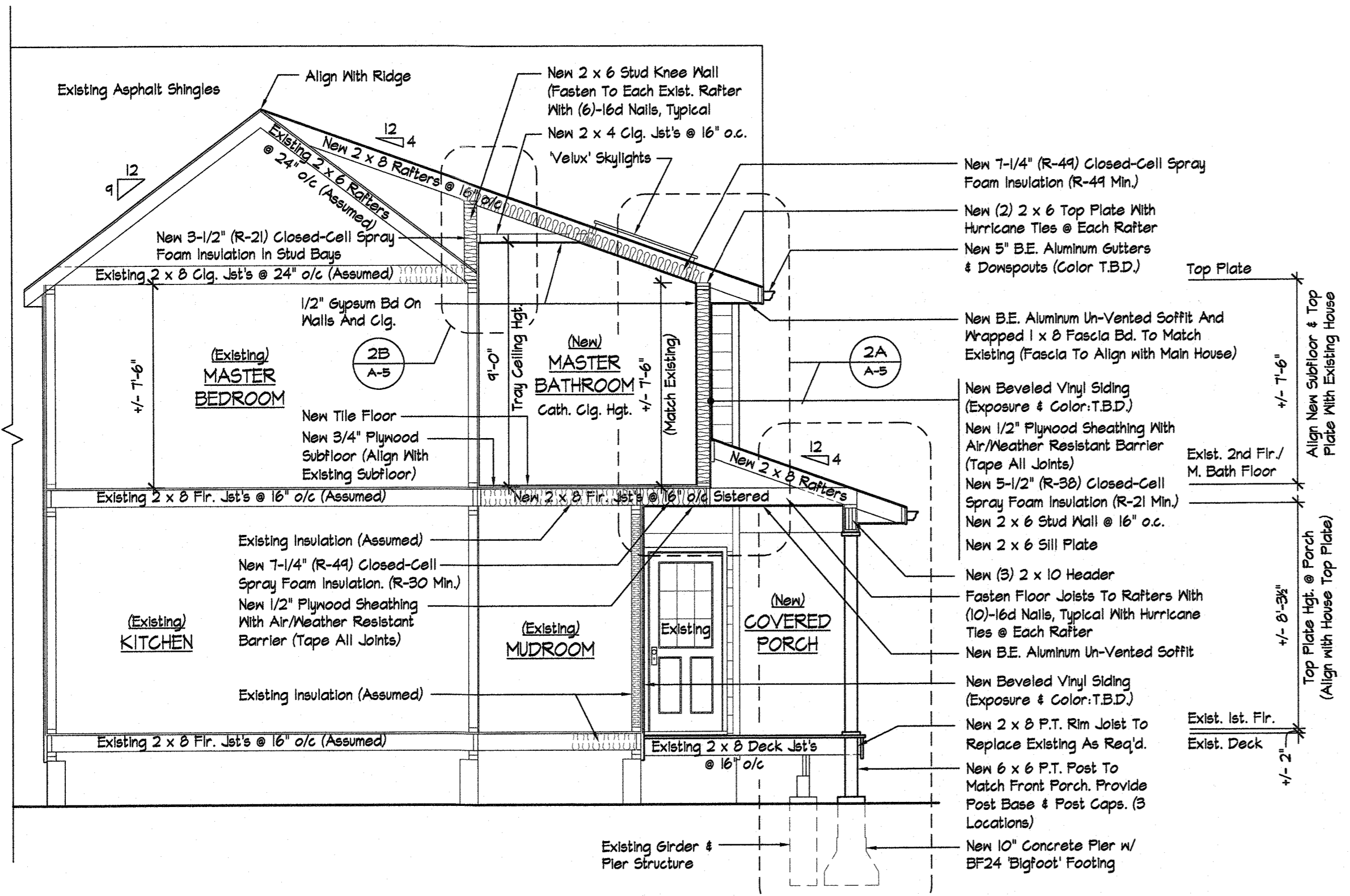
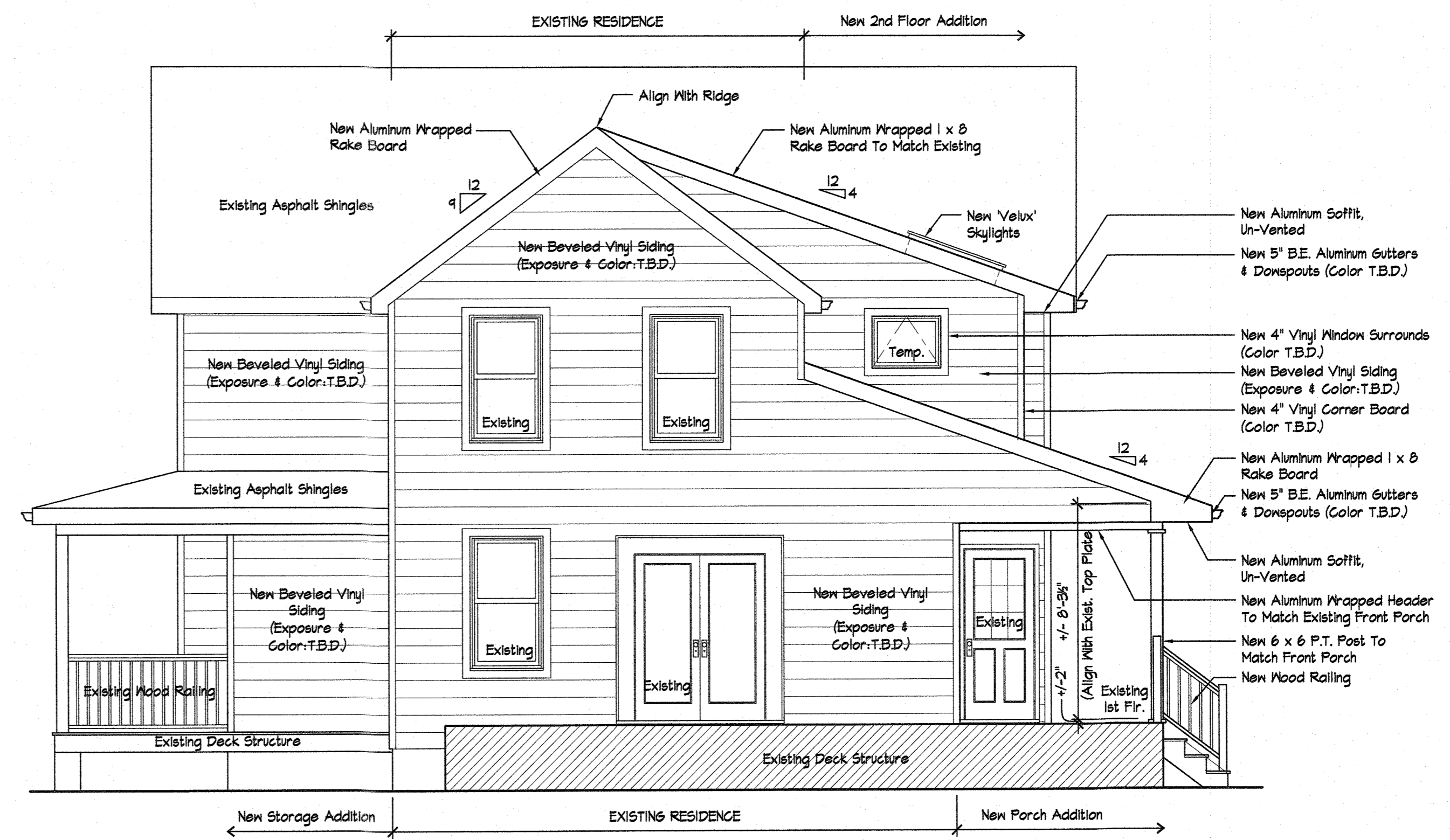
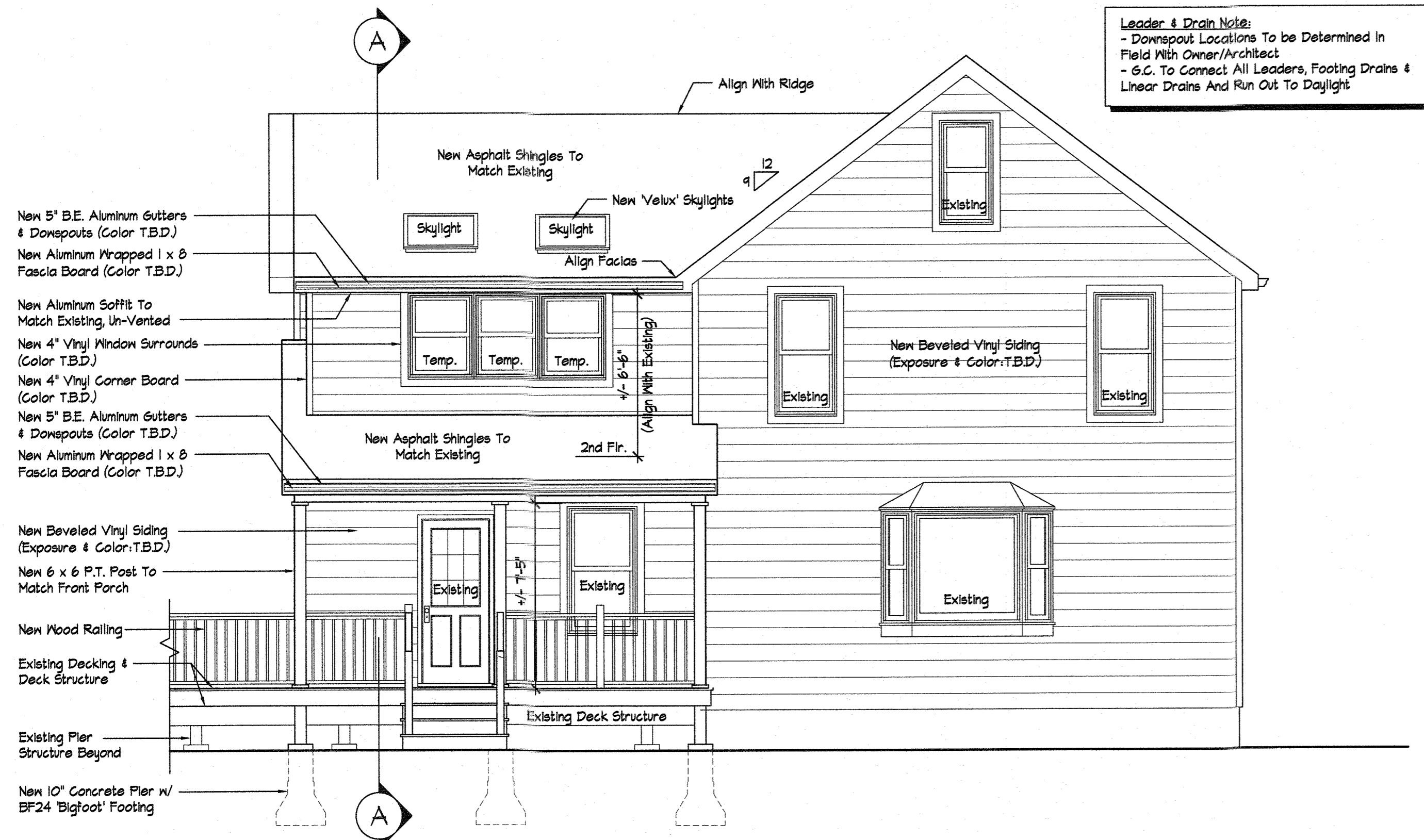
New M. Bathroom Addition For:
MESIBOV RESIDENCE
 168 WASHINGTON STREET
 TAPPAN, N.Y. 10983

**2ND FLOOR PLAN,
 ROOF FRAMING PLAN &
 INTERIOR ELEVATIONS**



DATE: 06-20-2024
 DRAWN BY: RP
 SCALE: As Noted
 JOB NO.: 2023.13

DO NOT SCALE DRAWINGS

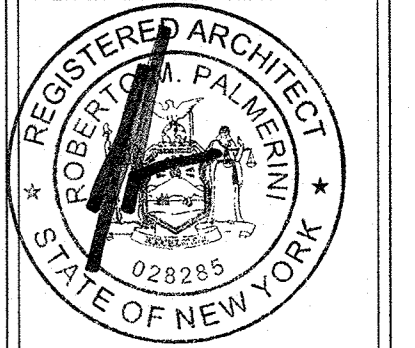


RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION	FOR PERMIT
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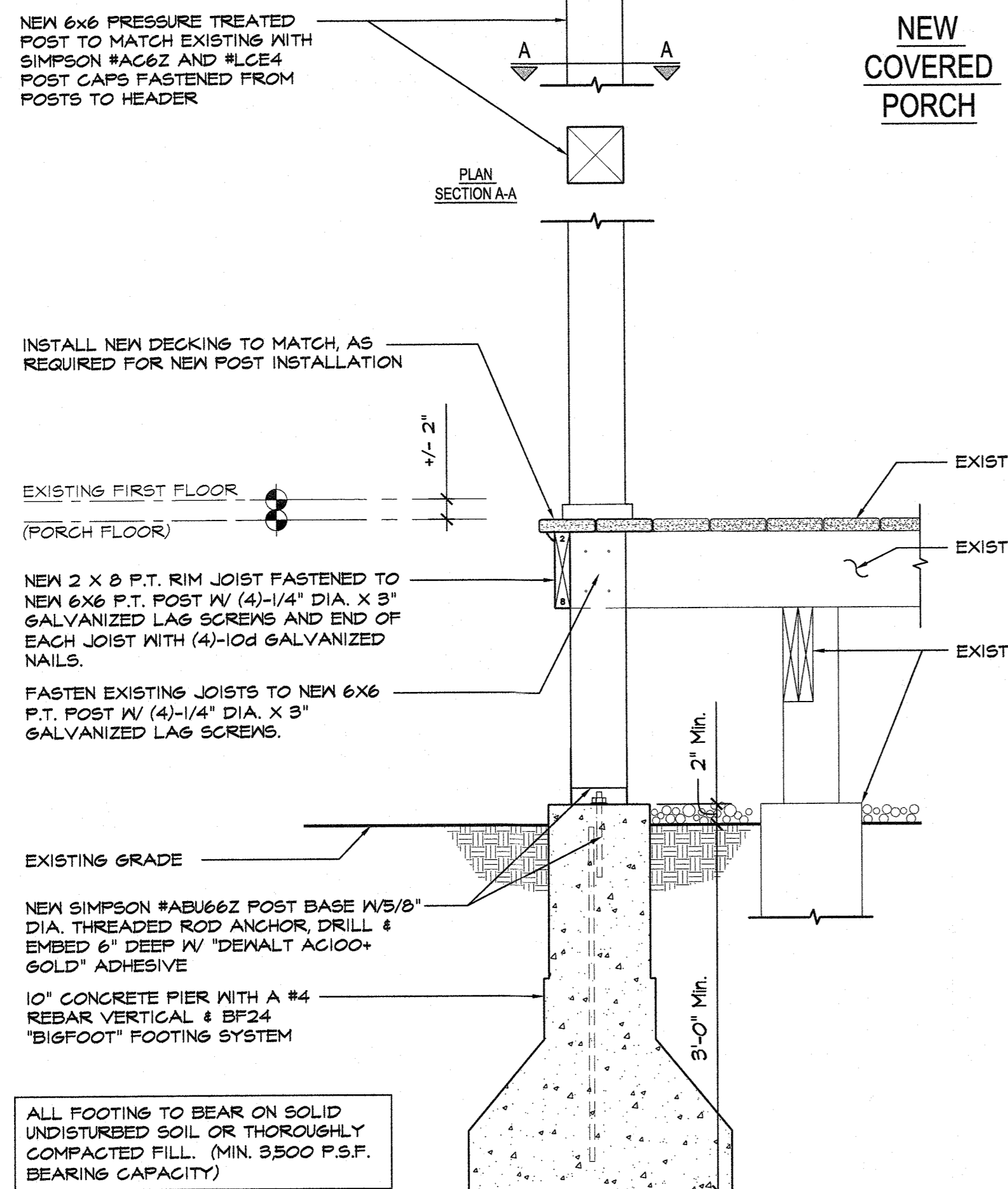
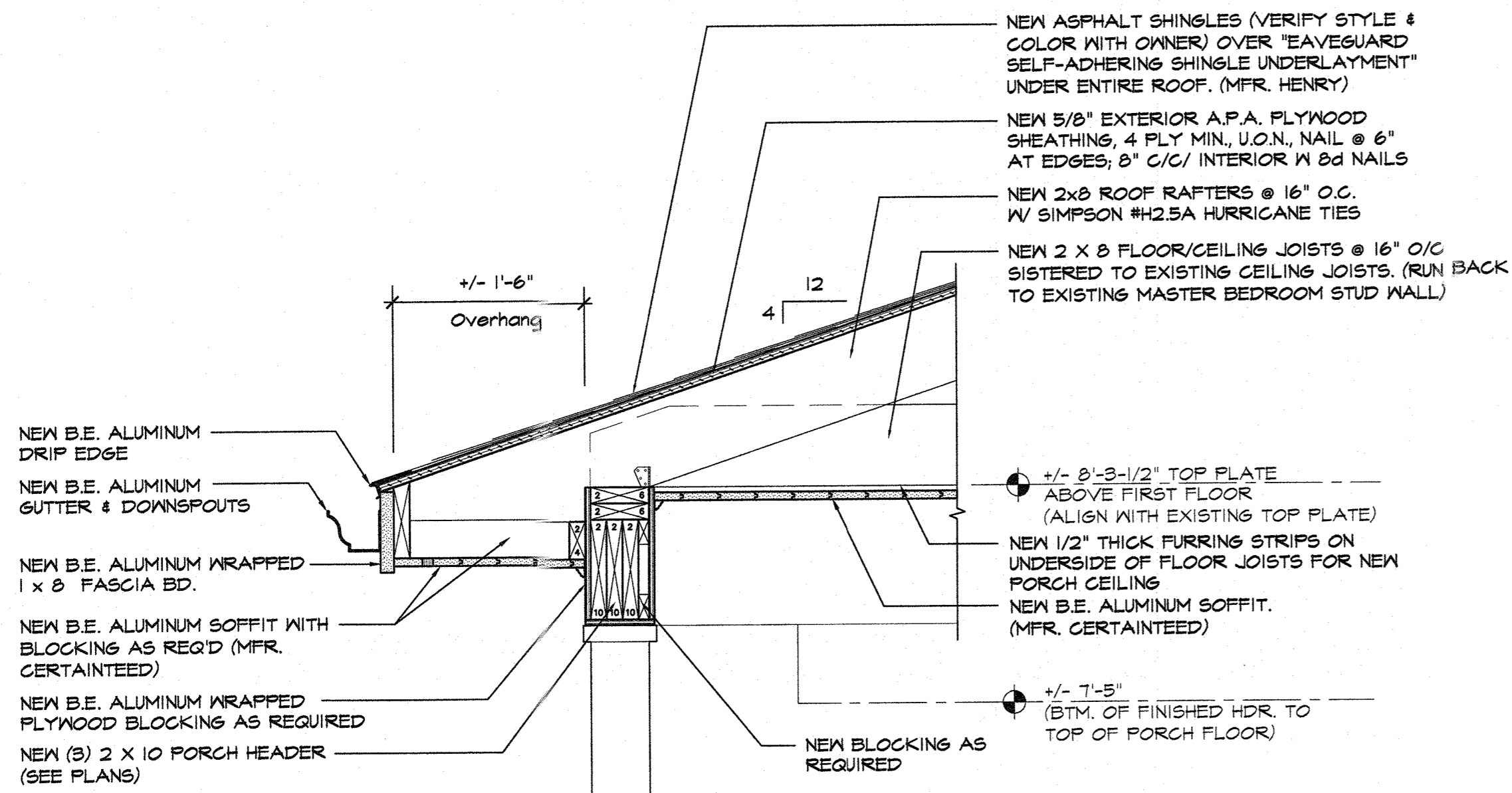
New M. Bathroom Addition For:
MESIBOV RESIDENCE
168 WASHINGTON STREET
TAPPAN, N.Y. 10983

EXTERIOR ELEVATIONS & BUILDING SECTION

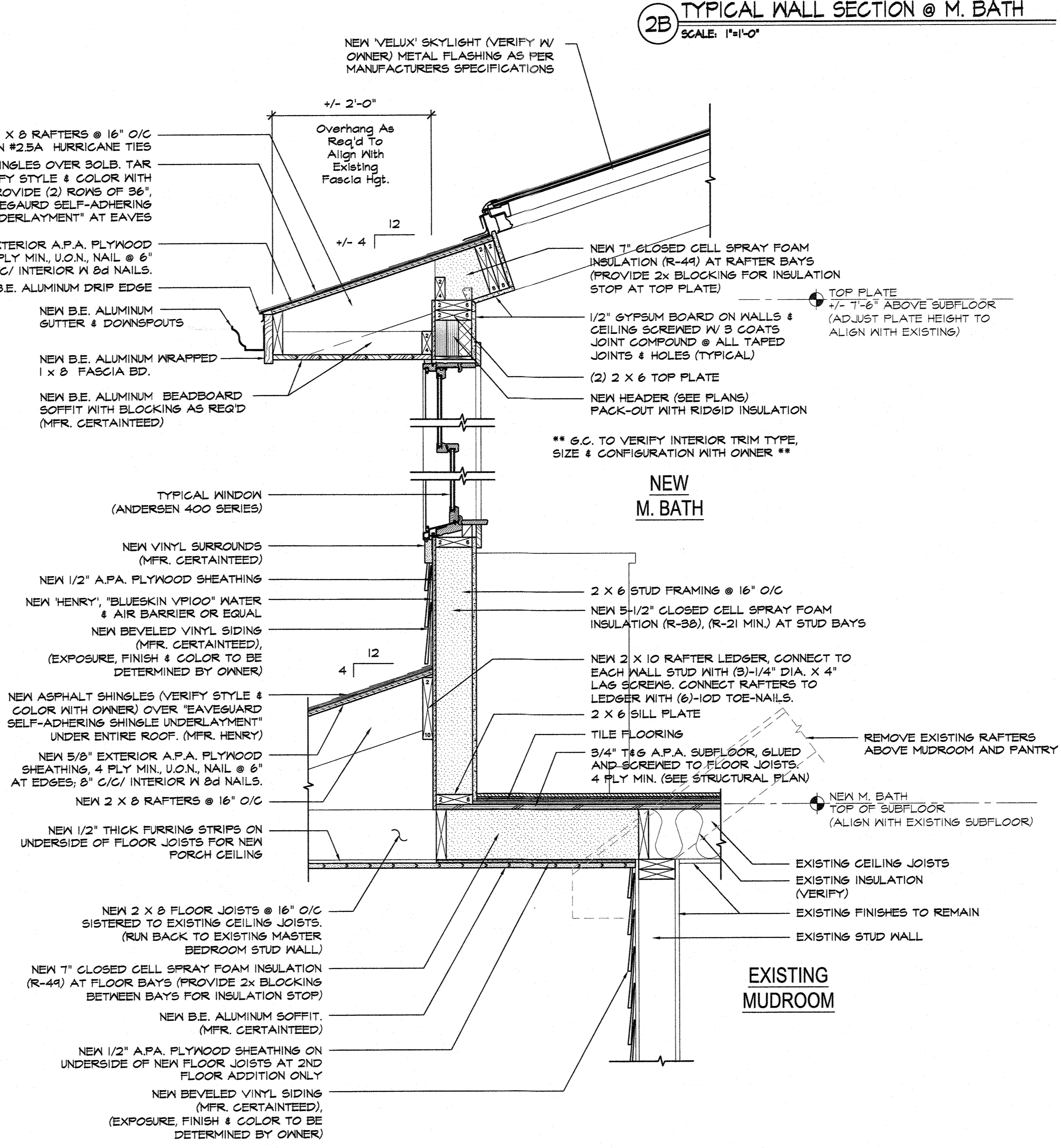


DATE: 06-20-2024
DRAWN BY: RP
SCALE: 1/4"=1'-0"
JOB NO.: 2023.13

DO NOT SCALE DRAWINGS



1 TYPICAL WALL SECTION @ PORCH
SCALE: 1"=1'-0"



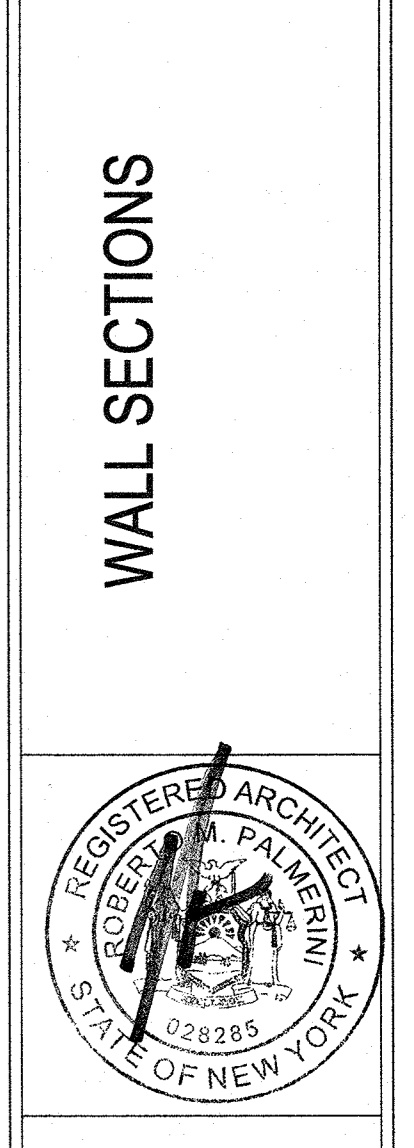
2A TYPICAL WALL SECTION @ M. BATH
SCALE: 1"=1'-0"

2B TYPICAL WALL SECTION @ M. BATH
SCALE: 1"=1'-0"

NOTE: Dimensions on this drawing shall have precedence. DO NOT SCALE DIMENSIONS DIRECTLY OFF OF THIS DRAWING. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND BE RESPONSIBLE FOR ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING.

ISSUE	DATE	DESCRIPTION
1	06-20-2024	For Permit

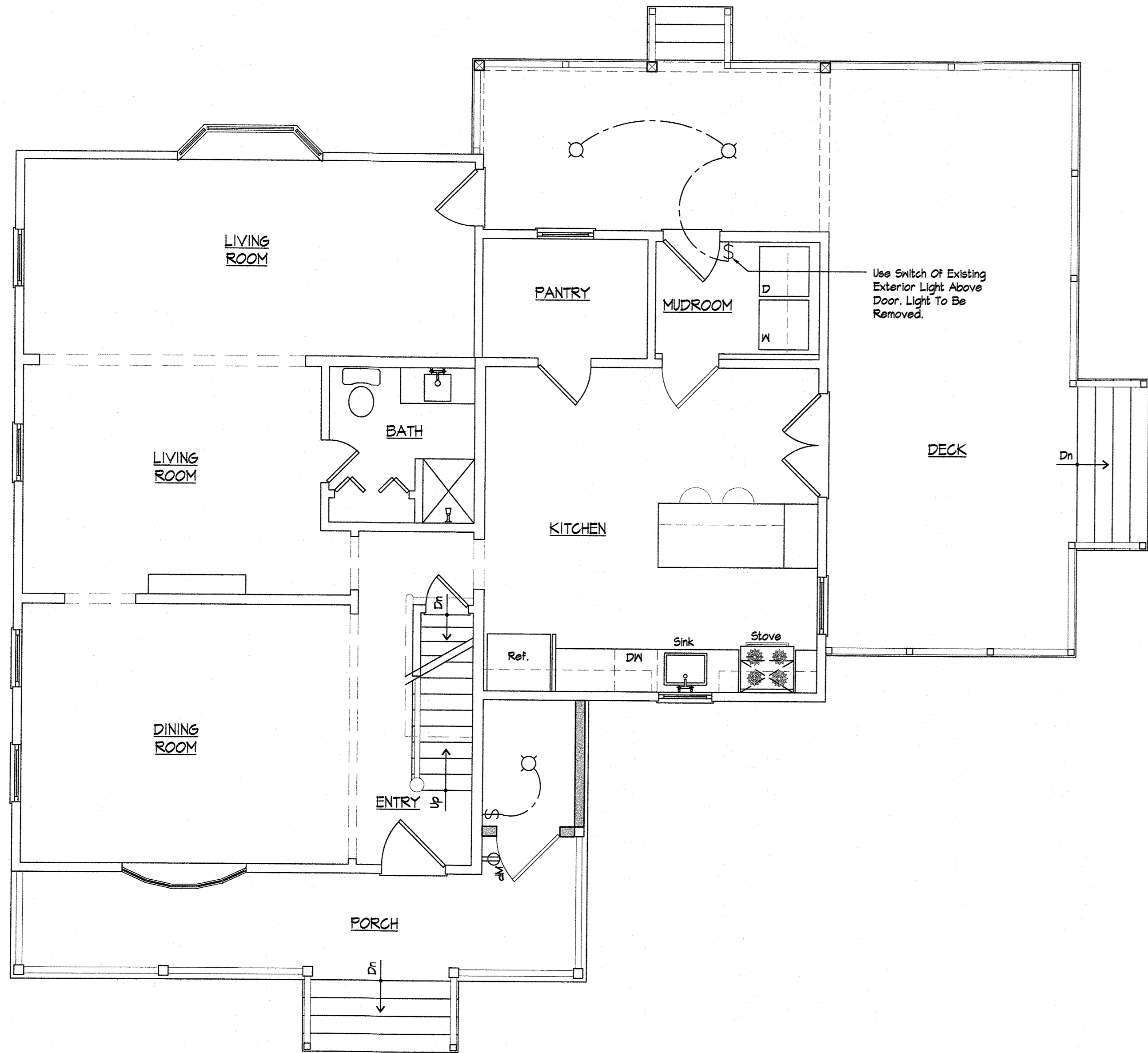
New M. Bathroom Addition For:
MESIBOV RESIDENCE
168 WASHINGTON STREET
TAPPAN, N.Y. 10983



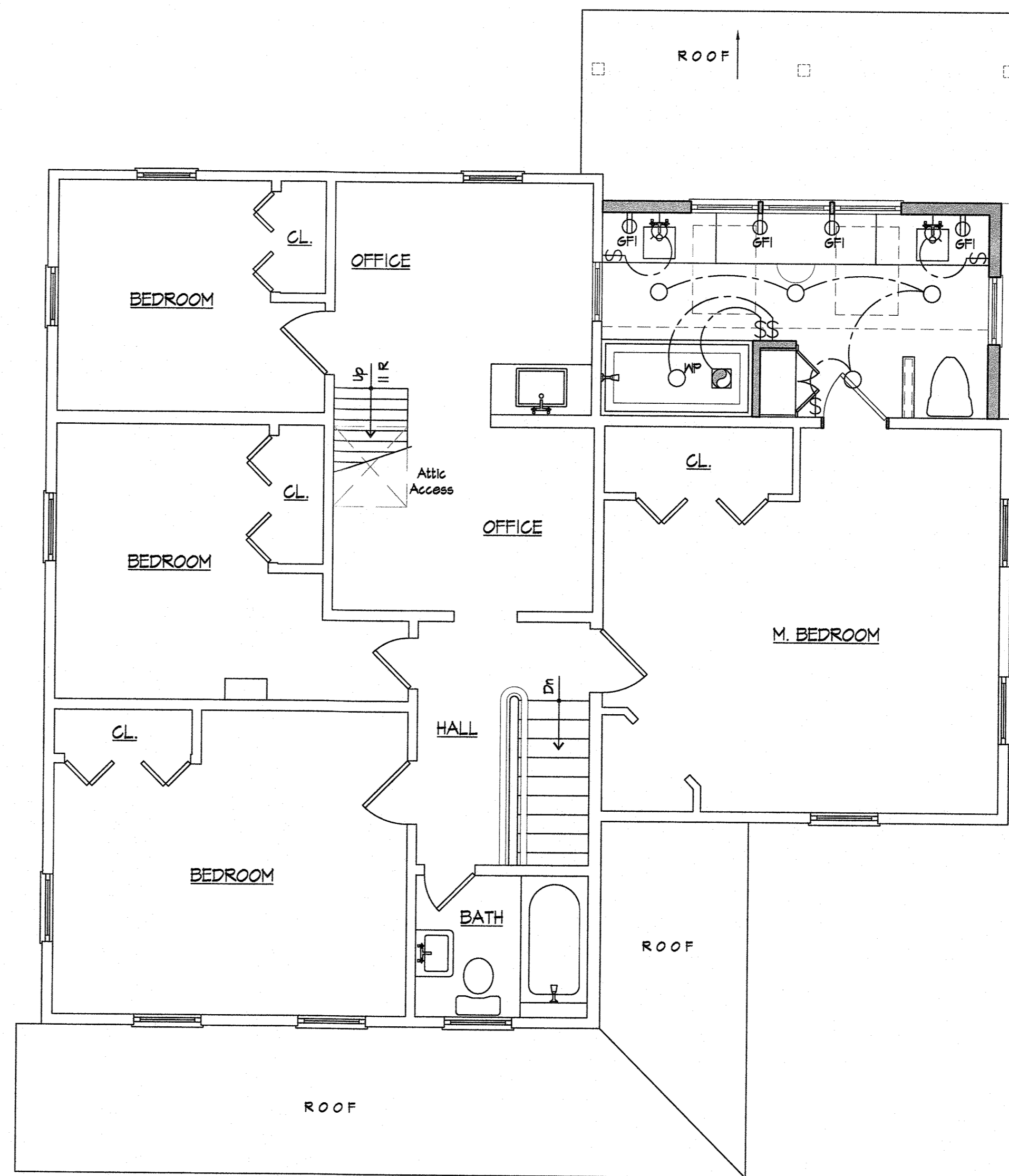
DATE: 06-20-2024
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JOB NO.: 2023.13

DO NOT SCALE DRAWINGS

ELECTRICAL SCHEDULE		ELECTRICAL NOTES	
Ⓢ	WALL MOUNTED SINGLE POLE LIGHT SWITCH	1.	Provide Wiring & Receptacles As Per Code And Typical Requirements.
Ⓢ	WALL MOUNTED 3-WAY LIGHT SWITCH	2.	Review Electrical Service For Recommendations Or Additional Work If Required.
Ⓢ	JAMB MOUNTED LIGHT SWITCH	3.	Contractor To Verify With Owner Mounting Heights And Exact Locations Of Receptacles And Fixtures In The Field Prior To Setting Any In Place.
Ⓢ	THREE-WAY WALL MOUNTED DIMMER SWITCH	4.	Contractor To Provide All Switches, Wiring, Receptacles, And Fixtures (U.O.N.)
Ⓢ	SURFACE MOUNTED CEILING FIXTURE (FBO - FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN)	5.	G.C. To Provide Switch, Wiring & Receptacle For Fixtures To Be Furnished By Owner (F.B.O.)
Ⓢ	WALL MOUNTED LIGHT FIXTURE (FBO - FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN)	6.	Switches In Similar Locations To Be Ganged In One Faceplate.
○	RECESSED LED LIGHT	7.	Stereo (F.B.O.) And Security Systems (N.I.C.) To Be Coordinated With Owner.
○	RECESSED LED LIGHT WATERPROOF	8.	G.C. To Provide And Install Lamps, Not Less Than 90% Of The New Permanently Installed Lighting Fixtures Shall Use Lamps With An Efficacy Of At Least 85 Lumens Per Watt Or Have A Total Luminaire Efficacy Of At Least 45 Lumens Per Watt As Per Section N104.1 (R404.1) Of The 2020 Residential Code Of New York State & NYStretch-2020 Supplement.
Ⓢ	FLOOR MOUNTED DUPLEX CONVENIENCE RECEPTACLE OUTLET	9.	G.C. To Confirm All Appliance And Equipment Outlet Locations And Power Requirements With Manufacturers Specification.
Ⓢ	DUPLEX CONVENIENCE RECEPTACLE OUTLET	10.	All New Installed Electrical Work Shall Comply With The Requirements Of Chapter E34 Through E49, As Required, Of The 2020 Residential Code Of New York State And The NFPA70-2014.
Ⓢ	DUPLEX GROUND FAULT RECEPTACLE OUTLET	11.	All New Electrical Outlets To Be Equipped With Ground Fault And Arc Fault Protection As Per Section A.1601.2.4 Of The 2020 Residential Code Of New York State.
Ⓢ	WATER PROOF RECEPTACLE OUTLET	12.	Any New Light Fixtures In Wet Or Damp Locations To Be Marked "Suitable For Wet Conditions" Or "Suitable For Damp Conditions" As Per Section E4009.4 Of The 2020 Residential Code Of New York State.
Ⓢ	DEDICATED RECEPTACLE OUTLET - VERIFY LOAD REQUIREMENTS	SMOKE & CARBON MONOXIDE DETECTOR SCHEDULE	
—	UNDERCABINET LIGHTS, INSTALL WITH ROCKER SWITCH.	Ⓢ	CEILING MOUNTED SMOKE DETECTOR
—	WALL MOUNTED LED LIGHT FIXTURE	Ⓢ	CEILING MOUNTED CARBON MONOXIDE DETECTOR
Ⓢ	CEILING FAN/LIGHT FIXTURE (FBO - FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN)	Ⓢ	CEILING MOUNTED HEAT DETECTOR
Ⓢ	GARAGE DOOR OPENER	Ⓢ	CEILING MOUNTED COMBO SMOKE/CARBON MONOXIDE DETECTOR
Ⓢ	EXTERIOR FLOOD LIGHT FIXTURE (FBO - FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN)	New Construction:	
Ⓢ	CEILING EXHAUST FAN - VENT TO THE EXTERIOR (FBO - FURNISHED BY OWNER, INSTALLED BY ELECTRICIAN)	1. Smoke & Carbon Monoxide Detectors To Have Hardwired Power Source W/ Battery Back-up & Interconnected As Per 2020 IRC Of New York State.	
		Existing Construction:	
		1. Contractor To Confirm Existing Smoke & Carbon Monoxide Detectors Thru-out House. Install New Battery Operated Detectors At Existing Locations As Required. Detectors Shall Conform To All Applicable Codes And Shall Be Installed As Per Building Code.	



ELECTRICAL PLAN - 1st FLOOR
SCALE: 1/4"=1'-0"



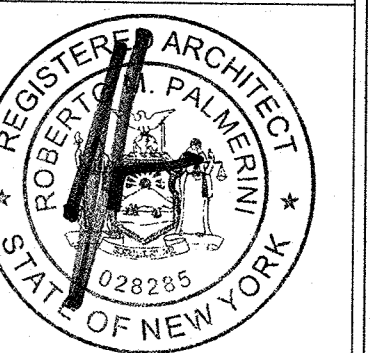
ELECTRICAL PLAN - 2nd FLOOR
SCALE: 1/4"=1'-0"

NOTE: Minimum dimensions on this drawing shall be as shown. Do not SCALE dimensions directly off of this drawing. Contractor shall verify and be responsible for all dimensions and conditions on the drawing. All dimensions shall be in feet and inches. All dimensions shall be in feet and inches. All dimensions shall be in feet and inches. All dimensions shall be in feet and inches. All dimensions shall be in feet and inches.

RECORD OF ISSUES	
ISSUE	DESCRIPTION
1	06-20-2024 For Permit

New M. Bathroom Addition For:
MESBOV RESIDENCE
168 WASHINGTON STREET
TAPPAN, N.Y. 10983

ELECTRICAL PLAN
1st & 2nd FLOOR



DATE: 06-20-2024
DRAWN BY: RP
SCALE: 1/4"=1'-0"
JOB NO.: 2023.13