

# Historical Areas Board of Review(HABR)

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 77 Main Street, Tappan, NY 10983 Section/Block/Lot: 77.15-1-3

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	GRANITE/BLACK	PVC/EPDM	DEC TEC / MULE HIDE
Siding:	White	Wood - cedar or pine	Depends on Availability
Decorative Siding:	N/A	N/A	N/A
Soffits & Fascia:	White	Wood and Composite	Azek
Gutters & Leaders:	White	Aluminum	ALCOA
Windows:	White	Wood/Aluminum	Marvin
Trim:	White	Composite	Azek
Shutters:	Blue or Grey	Composite	Azek
Front Door:	White	Wood/Glass	Custom
Back Door:	White	Wood/Glass	Rogue Valley
Garage Door(s):	N/A	N/A	N/A
Other Door(s):	N/A	N/A	N/A
Lighting:	Black	Metal	Kichler
(Recessed) Lighting:	White	Metal	Halo-Rab
Stone or Rock being used on Structure:	Grey (existing)	Natural	Reuse available on property
Stone or Rock being used on walkway(s):	Red (existing)	Cement	Cambridge
Other: HVAC	White	METAL	FUJITSU / MITSUBISHI
HANDICAP LIFT	BEIGE	METAL	TBD

If any is used

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

### LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other ( <i>specify</i> ): _____	<input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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**PERMIT#:** \_\_\_\_\_

**ASSIGNED**

**INSPECTOR:** \_\_\_\_\_

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** NC 77 MAIN RENOVATION

**Street Address:** 77 Main ST  
Tappan, NY 10983

**Tax Map Designation:**  
Section: 77.15 Block: 1 Lot(s): 3  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
On the East side of Main ST, approximately 150 feet West of the intersection of \_\_\_\_\_, in the Town of Orangetown in the hamlet/village of Tappan.

<b>Acreage of Parcel</b> <u>0.18</u> <b>School District</b> <u>South Orangetown CSD</u> <b>Ambulance District</b> <u>South Orangetown</u> <b>Water District</b> _____	<b>Zoning District</b> <u>CS</u> <b>Postal District</b> <u>10983</u> <b>Fire District</b> <u>Tappan</u> <b>Sewer District</b> <u>Orangetown</u>
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**Project Description:** (*If additional space required, please attach a narrative summary.*)  
Alteration, reconstruction, repair and rehabilitation of building - inclusive of framing.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 12/18/2024 Applicant's Signature: \_\_\_\_\_

# APPLICATION REVIEW FORM

**Applicant:** NC 77 MAIN OWNER LLC Phone # 917-559-5268

**Address:** 463 Livingston Ave, Suites 102-166 Norwood NJ 07648  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** NC 77 MAIN OWNER Phone # 917-559-5268

**Address:** 463 Livingston Ave, Suite 102-166 Norwood NJ 07648  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Kevin Brodie - Architect Phone # 845-928-9855

**Address:** 218 Spring Street Monroe NY 10950  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** Andrew Rosenberg Phone # 917-559-5268

**Address:** 463 Livingston Ave, Suites 102-166 Norwood NJ 07648  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Joe Panzella Phone # 917-559-5268

**Address:** 453 Livingston Ave, Suites 102-166 Norwood NJ 07648  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path                       | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary              | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:

\_\_\_\_\_

\_\_\_\_\_

### Referral Agencies:

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

### Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Informal consultations before the Historical Areas Board of Review ("HABR") on February 14, 2023 (HABR #23-02) and July 11, 2023 (HABR #23-13). Additionally formal reviews of our application were heard by the HABR on March 26, 2024 (HABR #24-03) and September 10, 2024 (HABR #24-08)

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

\_\_\_\_\_  
\_\_\_\_\_



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT

TOWN OF ORANGETOWN

26 Orangeburg Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW**

Date: 12.16.24 Section: 77.15 Block: 1 Lot: 3

Applicant: NC 77 Main Owner LLC

Address: 77 Main St, Tappan, NY

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

Comments:

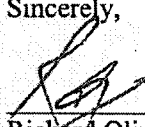
Change ramp to Lift

RTU's to roof

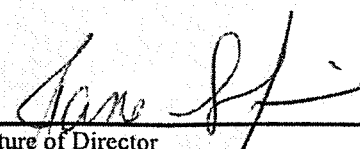
Dear NC 77 Main Owner LLC

Please be advised that the Building Permit Application # 5385-24, which you submitted on 12.16.24, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Katlyn Bettmann, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or [kbettmann@orangetown.com](mailto:kbettmann@orangetown.com)

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

12/16/24

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
10-01-2024 : emd

12/16/24  
Date  
CC: Katlyn Bettmann  
Elizabeth Decort

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.  
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

SCANNED 6-13-24

ZONE: <u>C.S</u>	<u>GMD</u> OFFICIAL USE ONLY	ACREAGE: <u>.181</u>
Inspector: <u>Kee</u>	Date App Received: <u>6/12/24</u>	Received By: <u>Sm</u>
Permit No. <u>BLDC-5385-24</u>	Date Issued: <u>10/18/24</u>	
CO No. _____	Date Issued: _____	
Permit Fee: <u>6552</u>	Ck# <u>1001</u>	Paid By <u>NC 77 main Owner</u>
GIS Fee: <u>190</u>	Ck# _____	Paid By <u>LLC</u>
Stream Maintenance Fee <u>30</u>	Ck# _____	Paid By _____
Total <u>6742</u>		
Additional Fee: _____	Ck# _____	Date Paid _____
1 <sup>st</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2 <sup>nd</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

RECEIVED  
TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application,  
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 77 MAIN ST. TAPPAN NY 10983

Section: 77.15 Block: 1 Lot: 3

Property Owner: N.C. 77 MAIN OWNER LLC

Mailing Address: 463 LIVINGSTON ST SUITES 102-166 NORWOOD NJ 07648

Email: PANZELLAJ@GMAIL.COM Phone #: \_\_\_\_\_

Lessee (Business Name): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Business / Use: OFFICE - REAL ESTATE - P

Contact Person: JOE PANZELLA Relation to Project: MANAGER OF OWNER

Email: PANZELLAJ@GMAIL.COM Phone#: 917-559-5268

Architect/Engineer: KEVIN BRODIE NYS Lic # 027039

Address: 218 SPRING ST MONROE NY 10950 Phone#: 845.928.2504

Builder/General Contractor: JOHN CALLANDRULO RC Lic # \_\_\_\_\_

Address: 357 COLONIAL BLVD WASHINGTON TWP NJ 07676 Phone#: \_\_\_\_\_

Plumber: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Electrician: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Heat/Cooling: \_\_\_\_\_ RC Lic#: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Existing use of structure or land: COMMERCIAL

Proposed Project Description: ALTERATION AND RECONSTRUCTION - REPAIR of OFFICE BUILDING - FRAMING

Proposed Square Footage: \_\_\_\_\_ Estimated Construction Value (\$): 355,000

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR: \_\_\_\_\_

Chapter 12 Section 12-4(E) requires HABE approval

6/19/24 [Signature]

12/16/24  
CH 12, SECTION 12-4(E) REQUIRES HABE 1  
(REVISION)  
12/16/24 [Signature]

FOR OFFICE USE ONLY SECTION 77.15 BLOCK 1 LOT 3 NAME NC 77 MAIN PERMIT # 5385

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
 TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.  
**APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

SCANNED 6-13-24

ZONE: <u>C.S</u>	OFFICIAL USE ONLY	ACREAGE: <u>.181</u>
Inspector: <u>Kee</u>	Date App Received: <u>6/12/24</u>	Received By: <u>Sm</u>
Permit No. <u>BLDC-5385-24</u>	Date Issued: <u>10/18/24</u>	
CO No. _____	Date Issued: _____	
Permit Fee: <u>6552</u>	Ck# <u>1001</u>	Paid By <u>NC 77 MAIN OWNER</u>
GIS Fee: <u>190</u>	Ck# _____	Paid By <u>LLC</u>
Stream Maintenance Fee <u>30</u>	Ck# _____	Paid By _____
Total <u>6742</u>		
Additional Fee: _____	Ck# _____	Date Paid _____
1 <sup>st</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2 <sup>nd</sup> 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

RECEIVED  
 JUN 19 2024  
 TOWN OF ORANGETOWN  
 BUILDING DEPARTMENT

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application,  
**PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

Property Location: 77 MAIN ST. TAPPAN NY 10983

Section: 77.15 Block: 1 Lot: 3

Property Owner: N.C. 77 MAIN OWNER LLC

Mailing Address: 463 LIVINGSTON ST SUITES 102-166 NORWOOD NJ 07648

Email: PANZELLAJ@GMAIL.COM Phone #: \_\_\_\_\_

Lessee (Business Name): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Business / Use: OFFICE - REAL ESTATE - P

Contact Person: JOE PANZELLA Relation to Project: MANAGER & OWNER

Email: PANZELLAJ@GMAIL.COM Phone#: 917-559-5268

Architect/Engineer: KEVIN BRODIE NYS Lic # 027039

Address: 218 SPRING ST MONROE NY 10950 Phone#: 845.920.2504

Builder/General Contractor: JOHN CALANDRULO RC Lic # \_\_\_\_\_

Address: 357 COLONIAL BLVD WASHINGTON TWP NJ 07676 Phone#: \_\_\_\_\_

Plumber: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Electrician: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Heat/Cooling: \_\_\_\_\_ RC Lic#: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Existing use of structure or land: COMMERCIAL

Proposed Project Description: ALTERATION AND RECONSTRUCTION - REPAIR of OFFICE BUILDING - FRAMING

Proposed Square Footage: \_\_\_\_\_ Estimated Construction Value (\$): 355,000

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

PERMIT REFERRED / DENIED FOR:

Chapter 12 Section 12-4(E) requires HABER approval

[Signature] 6/19/24

12/16/24  
 CH 12, SECTION 12-4(E) REQUIRES HABER 1  
 (REVISION)  
 12/16/24

FOR OFFICE USE ONLY SECTION 77.15 BLOCK 1 LOT 3 NAME - NC 77 MAIN PERMIT# 5385

# NEXT CHAPTER EQUITIES LLC

Andrew L. Rosenberg  
Member and Manager

Joseph Panzella  
Member and Manager

December 20, 2024

To: Orangetown Historical Areas Board of Review  
20 Greenbush Road  
Orangeburg, New York 10962

Ladies and Gentlemen:

As you may recall, we purchased the property located at 77 Main Street. (“**Property**”) in December, 2022 and have appeared before the Historical Areas Board of Review (“**Board**”) on four (3) prior occasions - two informal consultations in February, 2023 and July, 2023, as well as two formal permit application review hearings in March and September of this year in connection with the our reconstruction and rehabilitation of the building. For your reference, I have enclosed a copy of the submission that we made in connection with our most recent (September, 2024) appearance before the Board.

The rehabilitation and reconstruction of the building is progressing on schedule and we are looking forward to completing the restoration and rehabilitation of this historic property by mid-2025. We are now appearing before the Board to make the Board aware of a few changes/revisions in materials and plans since the September, 2024 hearing and the approval that resulted therefrom as follows:

1. **Handicap Access** – The original intent, as approved by the Board, was to install a ramp at the rear of the Property to provide for handicap access. In lieu of the ramp, we now intend to replace the ramp with a staircase and landing and install a handicap lift leading to the platform.
2. **Decking Material** -In lieu of the Trex® Select product previously approved by he Board, we have decided to go with the Dec-Tec® Classic Line. This will be significantly much easier to maintain and clean and will limit the collection of any water on the deck at the Property.
3. **Roof Material** – For the flat roof at the rear of the property, we intend to proceed with Mule Hide® EPDM product in lieu of the GAF ® Asphalt product previously shown to the Board.

{02221496;1}

463 Livingston Avenue, Suites 102-166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)



## ***NEXT CHAPTER EQUITIES LLC***

Orangetown Historical Areas Board of Review  
December 20, 2024  
Page 2 of 2

4. **Location of Air-Conditioners** – For logistical reasons and lack of space along the western façade of the Property, we would like to relocate one air-conditioner condenser unit from the western façade of the Property to the roof of the property.

As we have stressed in each of our prior appearances before the Board, we have approached, and will continue to approach, each phase of this renovation with the overriding goal of keeping the existing historic look and feel of the property while using materials that offer longevity and energy efficiency and have a period appropriate appearance.

We truly appreciate the continued courtesy and cooperation of the Board in connection with this restoration and rehabilitation.

Very truly yours,

**NEXT CHAPTER EQUITIES LLC**, a  
New Jersey limited liability company

By: /s/ Andrew L. Rosenberg

Andrew L. Rosenberg  
Member and Manager

By: /s/ Joseph S. Panzella

Joseph S. Panzella  
Member and Manager

{02221496;1}

463 Livingston Avenue, Suites 102166, Norwood, New Jersey 07648 ● [Blackacreinfo@gmail.com](mailto:Blackacreinfo@gmail.com)

Clerk of Boards Review:  
Date: \_\_\_\_\_ Initials: \_\_\_\_\_

Building Dept. (Accepted By):  
Date: \_\_\_\_\_ Initials: \_\_\_\_\_

**ENTITY DISCLOSURE FORM**

TOWN OF ORANGETOWN  
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)  
20 Greenbush Road  
Orangeburg, New York 10962  
Tel: (845) 359-8410  
Website: [www.orangetown.com](http://www.orangetown.com)

**THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.**

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PROJECT NAME: 77 MAIN STREET RESTORATION  
PROPERTY ADDRESS: 77 Main Street, Tappan, New York 10983  
TAX LOT ID: Section: 77.15; Block I; Lot 3  
NAME OF APPLICANT: NEXT CHAPTER EQUITIES LLC  
OWNER OF PROPERTY: NC 77 MAIN OWNER LLC  
Land Use Application/Brief Description of Project: GUT REHABILITATION OF HISTORIC MAIN BUILDING AND  
NON-HISTORIC BARN; EXPANSION OF MAIN BUILDING

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**PART ONE:**

1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
  - a. All records regarding membership interests in the Entity;
  - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).

PART THREE:


- 10. Is any person identified in Part TWO currently employed by or hold a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES  NO
- 11. Is any person identified in PART TWO the spouse, sibling, parent, child, or grandchild of any individual who is employed by or holds a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES  NO
- 12. Does any person identified in PART TWO perform services for or have a contract, or employed by an entity that has a contract to perform services for the Town of Orangetown? Please circle: YES  NO
- 13. If the answer is "YES" to any of the above, please provide a supplement sheet and list every Board, Department, Office, agency or other position with the Town of Orangetown in which the party has a position, paid or unpaid, or provides services for, and identify the agency, title and date of hire.

PART FOUR:

- 14. The information contained herein shall be updated with the Clerk of the Boards no later than THIRTY (30) DAYS after any change in information.
- 15. **NOTE: Any person who (a) provides false or fraudulent beneficial ownership information; (b) willfully fails to provide complete or updated information; or (c) during the application process, fails to obtain or maintain credible, legible and updated beneficial ownership information shall be subject to suspension of any pending application by the applicant entity, or a "stop work" order on any work relating to the application, or both, in addition to any other applicable penalties under the Town Code, or State and Federal Statute, or both.**

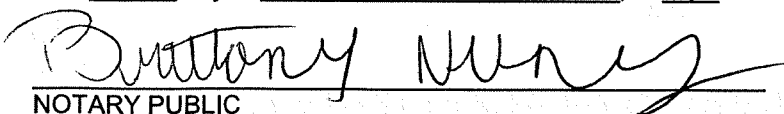
STATE OF NEW YORK )  
                   NEW YORK ) ss.:  
 COUNTY OF ROCKLAND )

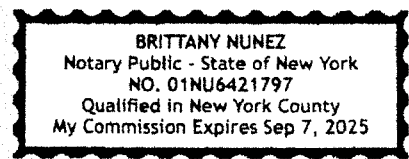
I, ANDREW ROSENBERG, being duly sworn, deposes and says that I am (Title) a MEMBER & MANAGER, an active or qualified member of the NEXT CHAPTER EQUITIES, LLC, a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.

  
 \_\_\_\_\_  
 Signature

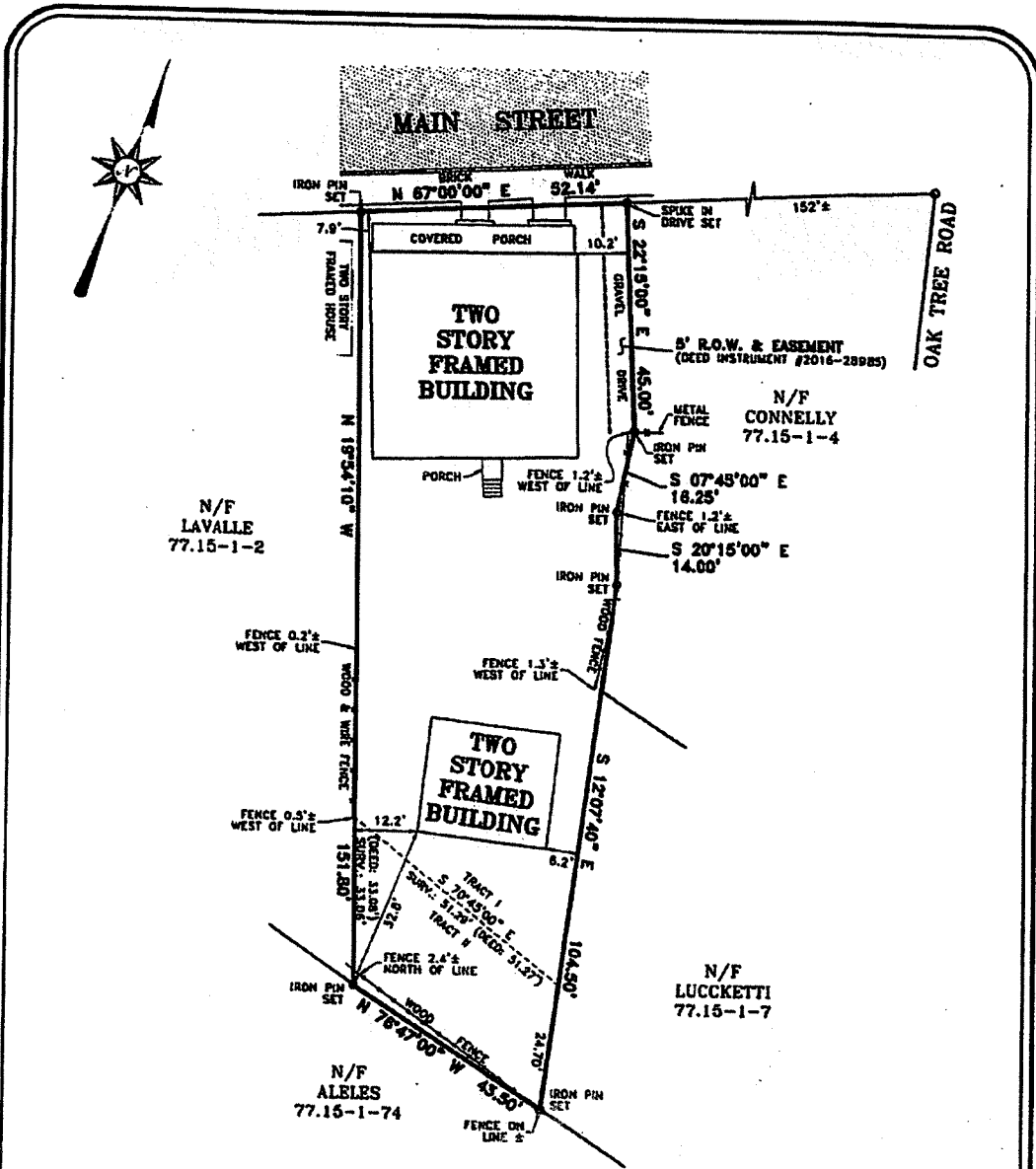
Sworn to and subscribed in my presence

This 17<sup>th</sup> day of DECEMBER, 2024

  
 \_\_\_\_\_  
 NOTARY PUBLIC



SWIS	PRINT KEY	NAME	ADDRESS
392489	77.10-3-26	Daniel P Mc Guire	26 Brandt Ave, Tappan, NY 10983
392489	77.10-3-27	Zdzislaw Gremski	32 Brandt Ave, Tappan, NY 10983
392489	77.10-3-28	Ralph Giron	60 Main St, Tappan, NY 10983
392489	77.10-3-29	James Phelan	81 Charles St, Tappan, NY 10983
392489	77.10-3-30	Abelino Acosta	73 Charles St, Tappan, NY 10983
392489	77.10-3-31	Stanislaw Morsztyn	67 Charles St, Tappan, NY 10983
392489	77.10-3-32	Kaitlin Ginley	61 Charles St, Tappan, NY 10983
392489	77.11-3-64	New World Investments LI	407 N Highland Ave Ste 1, Nyack, NY 10960
392489	77.11-3-65	Tappan Library	93 Main St, Tappan, NY 10983
392489	77.11-3-67	Historic Realty Corp	110 Main St, Tappan, NY 10983
392489	77.11-3-68	88 Main Realty LLC	89 Hickory Hill Rd, Tappan, NY 10983
392489	77.11-3-69	Donald A Stoneham	P.O. Box 72, Tappan, NY 10983
392489	77.11-3-70	Thomas A Migge Jr	98 Main St, Tappan, NY 10983
392489	77.11-3-71	Joseph Gambardella	102 Main St, Tappan, NY 10983
392489	77.11-3-72	Andrea Nahass	19 Brandt Ave, Tappan, NY 10983
392489	77.14-1-4	Paula Oland	61 Main St, Tappan, NY 10983
392489	77.15-1-1	William R Beckmann	67 Main St, Tappan, NY 10983
392489	77.15-1-2	Thomas A Lavalle	73 Main St, Tappan, NY 10983
392489	77.15-1-3	NC 77 Main Owner LLC	463 Livingston Ave Ste 102-166, Livingston, NJ 07648
392489	77.15-1-4	Heather Jean Connelly	81 Main St, Tappan, NY 10983
392489	77.15-1-5	Michael J Dinger	83 Main St, Tappan, NY 10983
392489	77.15-1-6	DJK Propeties Inc	P.O. Box 97, Tappan, NY 10983-0097
392489	77.15-1-7	Michael J Lucchetti	2 Van Wardt Pl, Tappan, NY 10983
392489	77.15-1-8	George P Schuhknecht	3 Van Wardt Pl, Tappan, NY 10983
392489	77.15-1-9	Cesar Baeza	27 Oak Tree Rd, Tappan, NY 10983
392489	77.15-1-69	Michael J Hall	17 Van Wardt Pl, Tappan, NY 10983
392489	77.15-1-70	Carol Dolan	5 Van Wardt Pl, Tappan, NY 10983
392489	77.15-1-73	David E Booth	22 Van Wardt Pl, Tappan, NY 10983
392489	77.15-1-74	John N Aleles	12 Van Wardt Pl, Tappan, NY 10983
392489	77.14-1-5.1	Kevin Heaton	45 Main St, Tappan, NY 10983
392489	77.14-1-5.2	Robert W Harlow	59 Main St, Tappan, NY 10983
392489	77.14-1-5.3	Kevin Tichy	51 Main St, Tappan, NY 10983



**GENERAL NOTES:**

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED INSTRUMENT #2016-28985 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS AND EXISTING DOCUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.

**LOT AREA**  
7,916.63 S.F.  
OR  
0.18 ACRES

REVISED: NOVEMBER 8, 2022 (IRON PINS SET ADDED)

**W.E. James**  
Engineering  
and  
Land Surveying, PLLC

8 CHIRANDA LANE  
WALKERVILLE, NEW YORK 12869  
PHONE: (518) 800-0888 FAX: (518) 800-0888  
EMAIL: WJJames@optonline.net  
www.wjamesassoc.com

COPIES OF THIS SURVEY MAP AND RECORDING THE LAND SURVEYOR'S CERTIFIED SEAL SHALL BE MADE AVAILABLE TO ANY AND ALL PERSONS WHOSE INTERESTS ARE AFFECTED BY THIS SURVEY AND TO ANY PERSON WHO REQUESTS THE SAME IN WRITING TO THE SURVEYOR. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION CONTAINED THEREON. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION CONTAINED THEREON.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON SEPTEMBER 13, 2022

**DETERMINED ONLY TO:**

1. NC 77 MAIN OWNER LLC
2. NC 77 MAIN CHAPTER EIGHTER LLC
3. STEWART TITLE INSURANCE COMPANY
4. ALL NEW YORK TITLE AGENCIES, INC.

*William E. James*  
**WILLIAM E. JAMES, P.E., P.L.S.**  
BY STATE PROFESSIONAL LAND SURVEYOR LICENSE #055565

**PROJECT TITLE:**  
SURVEY PREPARED FOR  
**NC 77 Main  
Owner LLC**

TAX MAP SECTION 77.15, BLOCK 1, LOT 3  
TOWN OF GLOAGHTOWN  
ROCKLAND COUNTY, NEW YORK

SCALE: 1" = 20'  
DATE: SEP. 22, 2022  
SHEET NO. 1 OF 1

PROJECT GEO REFERENCE  
ROCKLAND COUNTY DEPARTMENT OF CONSERVATION DIVISION 14 1000 BROADWAY 100

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 LAND USE BOARDS



TimberlineHDZ®  
 High Definition® Lifetime® Shingles

# Color Availability

## Nationally Available Colors

OPTION #1



Meeting Date  
 to HABR# 24-08

APPROVED

Town of Orangetown  
 Historic Areas Board of Review

## Harvest Blend Colors



## Regionally Available Colors (See next page for details.)

OPTION 3



↑  
 OPTION 2

Town of Orangetown  
 MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
 BOARD OF REVIEW

For more details visit [gaf.com/TimberlineHDZ](http://gaf.com/TimberlineHDZ)

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Roof

Town of Orangetown  
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SEP 10 2024

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BOARD OF REVIEW

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TOWN OF ORANGETOWN  
LAND USE BOARDS

# LIBERTY™ SBS Self-Adhering Roofing System

## Benefits:

- Self-adhering membrane systems can be installed without open flames on your roof
- No fumes or odors caused by hot asphalt or solvent-based adhesives
- Up to 15-Year Limited Warranty covering manufacturing defects available for select systems at no cost<sup>1</sup>
- System guarantees covering material defects and workmanship errors are also available for purchase for approved systems installed by GAF certified contractors. Contact GAF for specific requirements.<sup>2</sup>
- Seven popular colors complement your Timberline® or other GAF asphalt shingle roof
- No torches, kettles, or dangerous chemicals
- Minimal set-up and clean-up time can speed up installation as compared with mopped SBS systems
- No need to stage expensive equipment
- Utilizes similar technology as RUBEROID® SBS modified bitumen membranes
- Versatile installation options

## Product Details:

- Specifications (approximate)<sup>3</sup>
- LIBERTY™ Self-Adhering Base/Ply Sheet
    - Roll size: 2 squares<sup>4</sup> (216 sq. ft. [20.1 m<sup>2</sup>])
    - Roll width: 39.375" (1.0 m)
    - Roll length: 66' (20.1 m)
    - Approx. roll weight: 82 lb. (37.2 kg)
    - Roll thickness: 0.068" (1.73 mm)
  - LIBERTY™ Self-Adhering Cap Sheet
    - Roll size: 1 square<sup>4</sup> (112 sq. ft. [10.4 m<sup>2</sup>])
    - Roll width: 39.375" (1.0 m)
    - Roll length: 34' (10.4 m)
    - Approx. roll weight: 96.4 lb. (43.7 kg)
    - Roll thickness: 0.157" (4.0 mm)

## Codes & Standards:

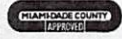
▪ UL Classified<sup>5</sup>



▪ FM Approved<sup>6</sup>



▪ Miami-Dade County Product Control approved



▪ Texas Department of Insurance



▪ FBC Approved

## Color Options:



Note: These blended colors are designed to complement your shingles, not to be an exact match. Because of the small size of these samples, it's difficult to reproduce the actual color effect. Please be sure to see a full-size roll before making a final color selection.

OPTIONS

Town of Orangetown  
Historic Areas Board of Review

APPROVED

Subject to HABR# 24-08

Meeting Date: September 10, 2024

*[Signature]*

<sup>1</sup>Exclusions apply. See LIBERTY™ Limited Warranty on SBS Materials for complete coverage and restrictions.

<sup>2</sup>Exclusions apply. See System Pledge™ Roof Guarantee and RUBEROID®/GAFGLAS™ Diamond Pledge™ NDL Roof Guarantee for complete coverage and restrictions.

<sup>3</sup>Values stated are approximate and subject to normal manufacturing variation. These values are not guaranteed and are provided solely as a guide. Usability of these values may vary and depend on quantity and width of side and end jobs.

<sup>4</sup>See UL Online Certifications Directory for actual assemblies.

<sup>5</sup>Refer to RoofNav.com for actual assemblies.



PLANT ROOF



**CLASSIC AZEK**  
Available in smooth or woodgrain finish

**PAINTPRO TECHNOLOGY**  
Reversible (one side smooth, one side woodgrain)

Smooth Finish      Woodgrain Finish

Town of Orangetown  
MEETING OF:

SEP 10 2024

AZEK HISTORIC AREAS  
BOARD OF REVIEW

3/4" X THICKNESS		
NOMINAL	ACTUAL	18'
3/4 x 4	1 1/2" x 3 3/4"	S
3/4 x 6	1 1/2" x 5 3/4"	S
3/4 x 8	1 1/2" x 7 3/4"	S
3/4 x 10	1 1/2" x 9 3/4"	S
3/4 x 12	1 1/2" x 11 3/4"	S

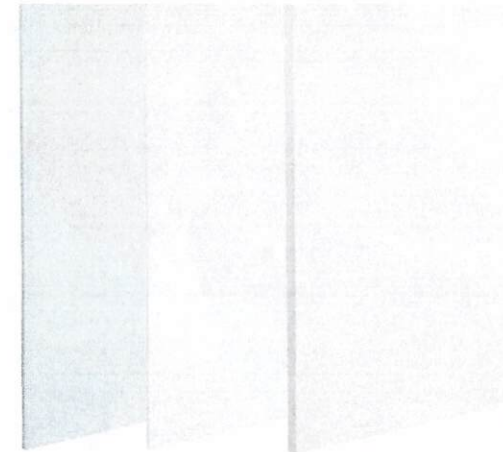
6/4" X THICKNESS		
NOMINAL	ACTUAL	20'
6/4 x 4	1 1/2" x 3 3/4"	W
6/4 x 6	1 1/2" x 5 3/4"	W
6/4 x 8	1 1/2" x 7 3/4"	W
6/4 x 10	1 1/2" x 9 3/4"	W
6/4 x 12	1 1/2" x 11 3/4"	W

5/4" X THICKNESS					
NOMINAL	ACTUAL	12'	16'	18'	20'
5/4 x 4	1" x 3 3/4"	SW	P	SW	SW
5/4 x 5	1" x 4 3/4"	SW		SW	SW
5/4 x 6	1" x 5 3/4"	SW	P	SW	SW
5/4 x 8	1" x 7 3/4"	SW	P	SW	SW
5/4 x 10	1" x 9 3/4"	SW	P	SW	SW
5/4 x 12	1" x 11 3/4"	SW	P	SW	SW
5/4 x 16	1" x 15 3/4"	SW	P	SW	SW

4/4" X THICKNESS				
NOMINAL	ACTUAL	12'	16'	18'
1 x 2	3/4" x 1 1/2"		P	SW
1 x 3	3/4" x 2 1/2"		P	
1 x 4	3/4" x 3 1/2"	SW	P	SW
1 x 5	3/4" x 4 1/2"	SW		SW
1 x 6	3/4" x 5 1/2"	SW	P	SW
1 x 8	3/4" x 7 1/2"	SW	P	SW
1 x 10	3/4" x 9 1/2"	SW	P	SW
1 x 12	3/4" x 11 1/2"	SW	P	SW
1 x 16	3/4" x 15 1/2"	SW	P	SW

5/8" X THICKNESS		
ACTUAL	12'	18'
5/8" x 3 3/4"	SW	SW
5/8" x 5 3/4"	SW	SW
5/8" x 7 3/4"	SW	SW
5/8" x 9 3/4"	SW	SW
5/8" x 11 3/4"	SW	SW
5/8" x 15 3/4"	SW	SW

Smooth Finish (S)      Woodgrain Finish (W)      PaintPro Technology (P)



PaintPro Sheet      Sheet      ATM Sheet

## AZEK SHEET

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

SHEET					
ACTUAL	8'	10'	12'	18'	20'
3/4" x 4'	SW	SW	S	S	
3/4" x 4'	SWP	SWP	SP	SP	
3/4" x 4'	S	S	S	S	
3/4" x 4'	SWP	SWP	S	S	
1" x 4'	S	S	S	S	S

## AZEK-TO-MILL (ATM)

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.

AZEK-TO-MILL					
ACTUAL	8'	10'	12'	18'	20'
1 1/2" x 9 3/4"				S	
1 1/2" x 3 3/4"				S	
1 1/2" x 5 3/4"				S	
1 1/2" x 7 3/4"				S	
1 1/2" x 9 3/4"				S	
1 1/2" x 11 3/4"				S	
1 1/2" x 48" Sheet	S				
1 1/2" x 48" Sheet	S	S	S		S

## PROTECTIVE FILM KEEPS CLASSIC WHITE TRIM CLEAN

Classic AZEK Trim with protective film is available for smooth and woodgrain finishes. To ensure it looks as beautiful on your client's home as it does when it leaves our facilities, a protective film preserves AZEK Trim's crisp white semi-matte finish.

NOMINAL THICKNESS	NOMINAL WIDTH					
	4	5	6	8	10	12
5/4	SW	SW	SW	SW	SW	SW
4/4	SW	SW	SW	SW	SW	SW
5/8	SW	SW	SW	SW	SW	SW

The film protects AZEK Trim through every production phase:

- Shipping
- Repackaging
- Installation
- Storage
- Handling

AZEK Trim with protective film should be kept in a cool, dry place. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during, or immediately after installation.



Trim + Soft



Town of Orangetown  
Historic Areas Board of Review

MARVIN®

APPROVED

Subject to HABR# 24-08

Meeting Date: September 10, 2024



ARCHITECT: Anne Adams

**UNITS + APPLICATIONS:** When a young couple purchased this 1910s-era colonial revival in the Queen Anne neighborhood of Seattle, they loved the home's classic, quintessentially American architecture but wanted to update and modernize it without compromising its original character, charm and period detail. Making the home more energy efficient was an important goal for the owners; the decision was made to replace all of the original windows and add more glazing. The new windows kept with the scale and style of the original house and Marvin was able to replicate the lite proportions of the original windows with the new units. The ovolo detailing on the new Marvin windows and doors was almost identical to the sticking that was on the original windows.



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RESIDENTIAL REMODEL  
**QUEEN ANNE  
SEATTLE, WA**

Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

WINDOWS

MARVIN®



HISTORICAL MATCHING

# CENTRAL UNION MISSION WASHINGTON, D.C.

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LAND USE BOARDS

Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

APPROVED

ARCHITECT: Cox Graae + Spack Architects

UNITS & APPLICATIONS: Marvin Clad Ultimate Double Hung Windows and Round Top Transoms were used with Thorsen flashing to match original window profiles. Custom flashing solutions addressed waterproofing issues in the existing masonry.

Subject to HABR# 24-08

Meeting Date: September 10, 2024

Windows

HISTORIC SOLUTIONS

TRI-BUILT® SHUTTERS & SIDING ACCESSORIES CATALOG

Meeting Date: 9/10/2024  
 Subject to HARB  
 APPROVED  
 Town of Orangetown  
 Historic Areas Board of Review

TRI-BUILT® STANDARD OPEN LOUVER SHUTTER

16 Colors 001, 002, 004, 008, 009, 010, 018, 023, 027, 028, 036, 078, 117, 122, 166, 167 and paintable (030)  
 Widths 12" and 14 1/2"  
 (widths are nominal)  
 Lengths 25", 31", 36", 39", 43", 48", 52", 55", 60", 64", 67", 72", 75", & 80" (lengths are nominal)  
 Packaged Shutters 43" and under receive 8 pack of Shutter-Loks®.  
 Shutters over 47" receive 12 pack of Shutter-Loks®.



Size	Item #	Size	Item #
12" x 25"	00 01 1225 ***	14 1/2" x 25"	00 01 1425 ***
12" x 31"	00 01 1231 ***	14 1/2" x 31"	00 01 1431 ***
12" x 36"	00 01 1236 ***	14 1/2" x 36"	00 01 1436 ***
12" x 39"	00 01 1239 ***	14 1/2" x 39"	00 01 1439 ***
12" x 43"	00 01 1243 ***	14 1/2" x 43"	00 01 1443 ***
12" x 48"	00 01 1248 ***	14 1/2" x 48"	00 01 1448 ***
12" x 52"	00 01 1252 ***	14 1/2" x 52"	00 01 1452 ***
12" x 55"	00 01 1255 ***	14 1/2" x 55"	00 01 1455 ***
12" x 60"	00 01 1260 ***	14 1/2" x 60"	00 01 1460 ***
12" x 64"	00 01 1264 ***	14 1/2" x 64"	00 01 1464 ***
12" x 67"	00 01 1267 ***	14 1/2" x 67"	00 01 1467 ***
12" x 72"	00 01 1272 ***	14 1/2" x 72"	00 01 1472 ***
12" x 75"	00 01 1275 ***	14 1/2" x 75"	00 01 1475 ***
12" x 80"	00 01 1280 ***	14 1/2" x 80"	00 01 1480 ***

TRI-BUILT® STANDARD RAISED PANEL SHUTTER

16 Colors 001, 002, 004, 008, 009, 010, 018, 023, 027, 028, 036, 078, 117, 122, 166, 167 and paintable (030)  
 Widths 12" and 14 1/2"  
 Lengths 31", 35", 39", 43", 47", 51", 55", 59", 63", 67", 67" Cottage Style, 71", 75", & 80"  
 (lengths are nominal)  
 Packaged Shutters 43" and under receive 8 pack of Shutter-Loks®.  
 Shutters over 48" receive 12 pack of Shutter-Loks®.



Size	Item #	Size	Item #
12" x 31"	00 02 1231 ***	14 1/2" x 31"	00 02 1431 ***
12" x 35"	00 02 1235 ***	14 1/2" x 35"	00 02 1435 ***
12" x 39"	00 02 1239 ***	14 1/2" x 39"	00 02 1439 ***
12" x 43"	00 02 1243 ***	14 1/2" x 43"	00 02 1443 ***
12" x 47"	00 02 1247 ***	14 1/2" x 47"	00 02 1447 ***
12" x 51"	00 02 1251 ***	14 1/2" x 51"	00 02 1451 ***
12" x 55"	00 02 1255 ***	14 1/2" x 55"	00 02 1455 ***
12" x 59"	00 02 1259 ***	14 1/2" x 59"	00 02 1459 ***
12" x 63"	00 02 1263 ***	14 1/2" x 63"	00 02 1463 ***
12" x 67"	00 02 1267 ***	14 1/2" x 67"	00 02 1467 ***
12" x 67" cottage style	00 02 6712 ***	14 1/2" x 67" cottage style	00 02 6714 ***
12" x 71"	00 02 1271 ***	14 1/2" x 71"	00 02 1471 ***
12" x 75"	00 02 1275 ***	14 1/2" x 75"	00 02 1475 ***
12" x 80"	00 02 1280 ***	14 1/2" x 80"	00 02 1480 ***

TRI-BUILT® STANDARD BOARD-N-BATTEN SHUTTERS

16 Colors 001, 002, 004, 008, 009, 010, 018, 023, 027, 028, 036, 078, 117, 122, 166, 167 and paintable (030).

Widths

Spaced - 12"  
 Joined - 14"

Lengths

From 31" to 80" Shutters under 55" in length will have 2 cross battens. Shutters 55" and over will have 3 cross battens. Lengths and widths are nominal.

Packaged: Boxed pairs with 12 screws.

\*NOTE: When ordering 4-Board Joined with Arch Top shutters add 7" to the window opening height to determine total shutter height. For example: 50" high window opening + 7" arch = 57" shutter.



Total length of J4-A includes arch top\*

12" Width  
 3-Board Spaced

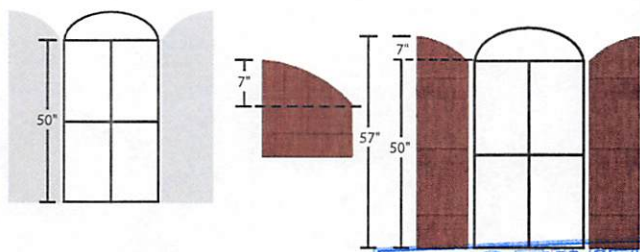
Size	Item #
12" x 31"	00 03 1231***
12" x 35"	00 03 1235***
12" x 39"	00 03 1239***
12" x 43"	00 03 1243***
12" x 47"	00 03 1247***
12" x 51"	00 03 1251***
12" x 55"	00 03 1255***
12" x 59"	00 03 1259***
12" x 63"	00 03 1263***
12" x 67"	00 03 1267***
12" x 71"	00 03 1271***
12" x 75"	00 03 1275***
12" x 80"	00 03 1280***

14" Width  
 4-Board joined

Size	Item #
14" x 31"	00 03 1431***
14" x 35"	00 03 1435***
14" x 39"	00 03 1439***
14" x 43"	00 03 1443***
14" x 47"	00 03 1447***
14" x 51"	00 03 1451***
14" x 55"	00 03 1455***
14" x 59"	00 03 1459***
14" x 63"	00 03 1463***
14" x 67"	00 03 1467***
14" x 71"	00 03 1471***
14" x 75"	00 03 1475***
14" x 80"	00 03 1480***

14" Width  
 4-Board joined w/arch top

Size	Item #
14" x 45"	00 33 1445***
14" x 49"	00 33 1449***
14" x 53"	00 33 1453***
14" x 57"	00 33 1457***
14" x 61"	00 33 1461***
14" x 65"	00 33 1465***
14" x 69"	00 33 1469***
14" x 73"	00 33 1473***
14" x 77"	00 33 1477***
14" x 81"	00 33 1481***
14" x 85"	00 33 1485***
14" x 89"	00 33 1489***
14" x 94"	00 33 1494***



\*\*\*Indicates add color code numbers.

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COLOR PROGRAM

COLOR

STOCK SHUTTER COLORS\*



STOCK VENT COLORS



\*All blocks are available in full color offering (250+ colors). Actual colors may vary from printed representations.

Standard Shutters:

Louver, Raised Panel, and Board-n-batten

17 Colors: 001, 002, 004, 008, 009, 010, 018, 023, 027, 028, 036, 078, 117, 122, 166, 167 and paintable (030)

Non-Stock

Color Program: Louver and Raised Panel Only

Louver and Raised Panel Standard sized shutters can be produced in any color. This program is designed to provide color options on large scale projects. The lead time is 4 weeks and orders are non-cancelable and non-returnable. 25 pair minimum.

Custom Color Program:

Standard Shutters can be produced in a custom color. Minimum order size of 100 pairs per color, per size. Different size shutters or colors cannot be combined to achieve the minimum order. Custom color orders have a 10 week lead time. Orders are non-cancelable and non-returnable. Additional charges apply.

Mount Block Utility Vent Color Program

Available in our full color offering.

All Mount Blocks including Standard, Water Management, Insulated Siding. All Utility Vents including Standard, Water Management, Insulated Siding. Foundation Master is available in the 24 stock colors plus paintable. Available in our full page color offering with a 3 box minimum.

Gable Vent Color Program

001, 002, 008, 011, 012, 013, 016, 020, 021, 023, 028, 034, 045, 048, 049, 069, 078, 082, 085, 089, 095, 097, 117, 123 and Paintable (030).

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Historic Areas Board of Review

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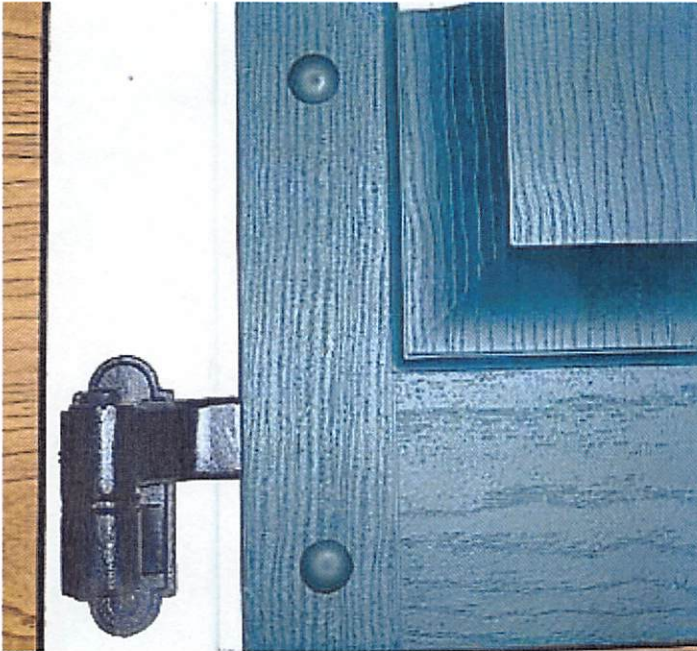
Meeting Date: September 10, 2024

*[Signature]*

\*\*\*Indicates add color code numbers.

blackacreinfo@gmail.com

**From:** Joe Panzella <panzellaj@gmail.com>  
**Sent:** ~~Tuesday, September 24, 2024 10:10 AM~~  
**To:** ~~Katlyn Bettmann~~  
**Cc:** Andrew Rosenberg  
**Subject:** Re: NC 77 Main Owner HABR Decision / Spec sheets 77.15-1-3  
**Attachments:** Shutters Open Louver in Wedgewood Blue.pdf; Trim Windows Building Trim Facia and Soffits AZEK-Exteriors Catalog 2024.pdf.pdf; Trex Railing Classic White Decking Rock Harbor or Coastal Bluff.pdf



Town of Orangetown  
Historic Areas Board of Review

**APPROVED**

Subject to HABR# 24-08

Meeting Date: September 10, 2024

*[Signature]*

~~On Tue, Sep 24, 2024 at 9:18 AM Katlyn Bettmann <kbettmann@orangetown.com> wrote:~~

~~Good morning Joe,~~

~~It seems that these are coming up as being stored in a google drive, and is asking me to sign in to google, in order to download these files. As we do not have a google account, I am unable to proceed. Please send these in pdf's or dropbox files, otherwise a thumbdrive can be dropped off. However we will need to receive this ASAP.~~

~~Thank you,~~

~~Katlyn Bettmann~~

~~Town of Orangetown~~

~~Landuse Boards~~

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SHUTTER HANDLE

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77



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Historic Areas Board of Review

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Subject to HABR# 24-08

Meeting Date: September 10, 2024

*[Handwritten signature]*

Double Front Door

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SEP 27 2024

TOWN OF ORANGETOWN  
LAND USE BOARDS

Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

Town of Orangetown  
Historic Areas Board of Review

APPROVED

Subject to HABR# 24-08

Meeting Date: September 10, 2024

*[Handwritten Signature]*



SINGLE FRONT DOOR

RECEIVED

SEP 27 2024

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LAND USE BOARDS

Town of Orangetown  
MEETING OF:

SEP 10 2024

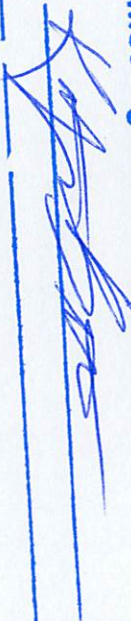
HISTORICAL AREAS  
BOARD OF REVIEW

Town of Orangetown  
Historic Areas Board of Review

APPROVED

Subject to HABR# 24-08

Meeting Date: September 10, 2024



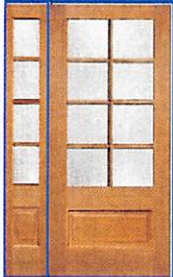


DETAIL - Frost Door Raised Panel



Item Total: \$ 4,080.42  
 Item Quantity Total: \$ 4,080.42

Item: 0002: Ext 14" / 36" x 84" F37804 / F37508 RHI 6 9/16" FrameSaver Location: Quantity: 1

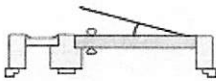


Fir 36"x84" Single Door w Left Sidelite

2,967.42



**Configuration Options** [Hide](#)



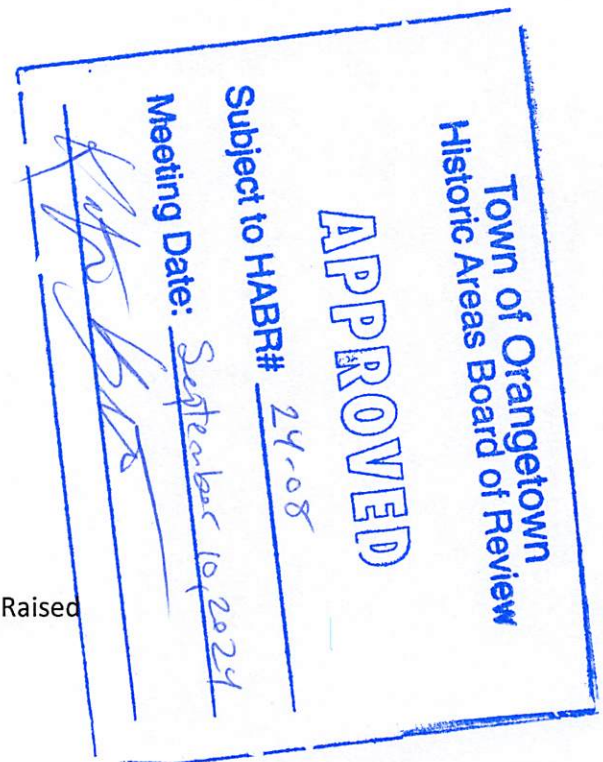
EXTERIOR  
 Right-Hand Inswing  
 Sidelite Strike Side

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Wood Exterior
- **Product Type:** Exterior
- **Region:** East
- **Product Material:** Performance Series Wood
- **Material Type:** Fir
- **Configuration (Units viewed from Exterior):** Single Door w Left Sidelite
- **Unit Construction:** Continuous
- **Factory Finish Option:** No
- **Slab Width:** 36"
- **Slab Height:** 84"
- **Product Style:** 3/4 Lite
- **Raised Molding:** None
- **Glass Type:** Clear
- **Panel Type:** 1-7/16" Double Hip Raised
- **Grille Type:** 7/8" SDL
- **Insulation:** Insulated Glass
- **Model:** F37508
- **Sidelite Material Type:** Fir
- **Sidelite Width:** 14"
- **Sidelite Height:** 84"
- **Sidelite Style:** 3/4 Lite
- **Sidelite Raised Molding:** None
- **Sidelite Glass Type:** Clear
- **Sidelite Panel Type:** 1-7/16" Double Hip Raised
- **Sidelite Insulation:** Insulated Glass
- **Sidelite Grille Type:** 7/8" SDL
- **Sidelite Model:** F37804
- **Handing:** Right Hand Inswing
- **Frame Material:** FrameSaver
- **Jamb Depth:** 6 9/16"

Town of Orangetown  
 MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
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REAR door

Town of Orangetown  
Historic Areas Board of Review

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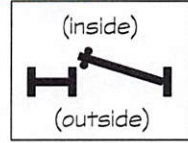
SEP 27 2024

TOWN OF ORANGETOWN  
LAND USE BOARDS

APPROVED

Subject to HABR# 24-08 <sup>2 29/32"</sup>

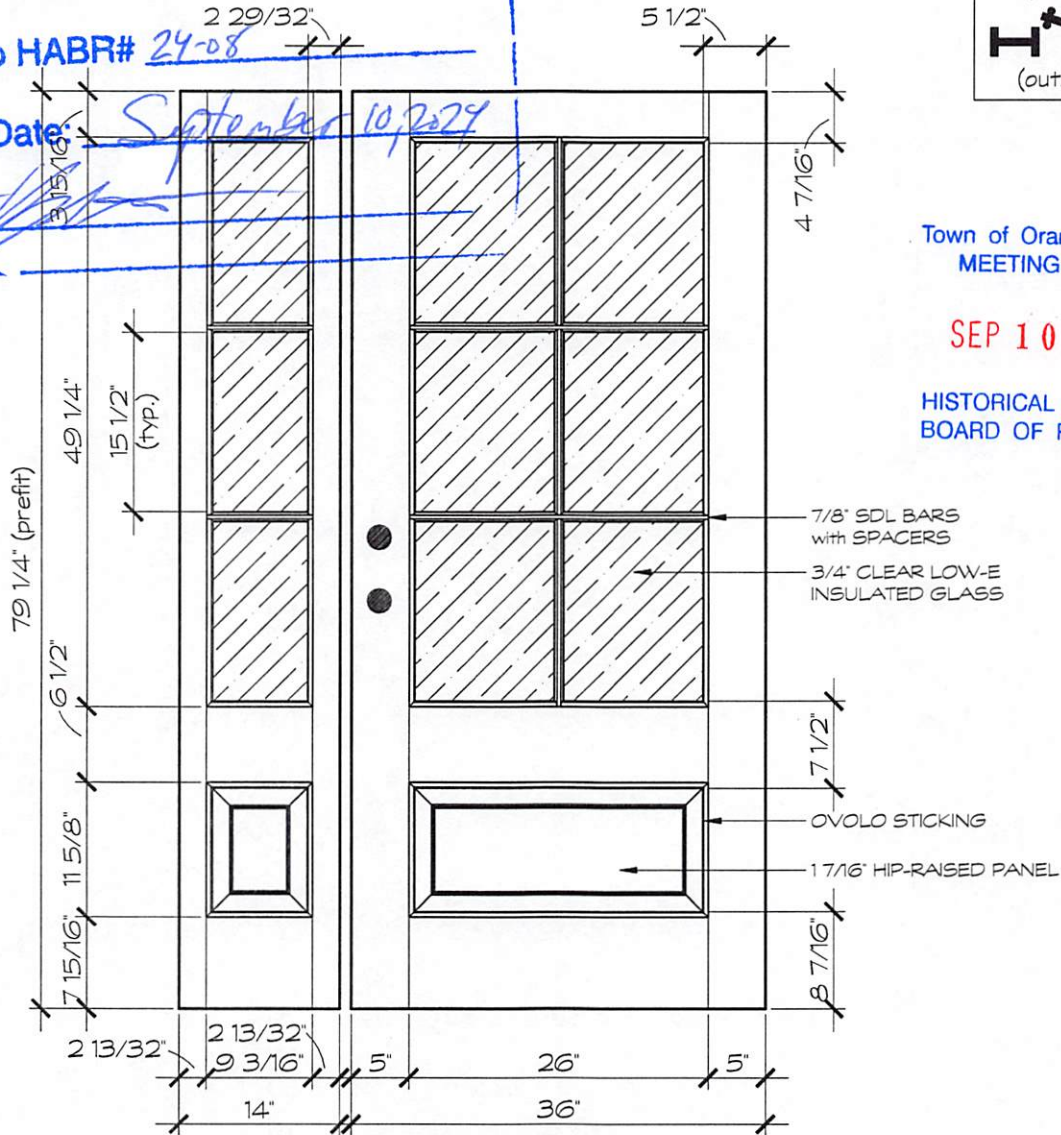
Meeting Date: September 10, 2024



Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW



**DOOR DETAIL**

SCALE: 3/4" = 1'-0"

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

WHEN PLACING ORDERS, PLEASE SIGN BOTH QUOTE AND ALL SUPPLIED DRAWINGS TO PREVENT DELAYS IN ORDER PROCESSING.

QUOTE #30561000 / LINE 3

DOOR: 37506  
SIDELIGHT: 37803



PROPOSED DOOR UNIT FOR  
**WINDOWRAMA**  
71 HEARTLAND BOULEVARD  
EDGEWOOD, NEW JERSEY 11717  
JOB:

DWG. #30561000

DATE: 9/10/2024

DRAWN: K. APGAR

NOTE:

DRAWING DEPICTED AS VIEWED FROM EXTERIOR  
DRAWINGS ARE FOR GENERAL REFERENCE ONLY AND  
MAY NOT BE BUILT TO THE EXACT DETAIL SHOWN

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO REEB MILLWORK CORPORATION AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF REEB MILLWORK CORPORATION.

1000 MALONEY CIRCLE  
BETHLEHEM, PA 18015

OFFICE: 610-867-6160  
WEB: WWW.REEB.COM



REAR Door Config

blackacreinfo@gmail.com

**From:** Joe Panzella <panzellaj@gmail.com>  
**Sent:** ~~Tuesday, September 24, 2024 10:08 AM~~  
**To:** ~~Katlyn Bettmann~~  
**Cc:** Andrew Rosenberg  
**Subject:** Re: NC 77 Main Owner HABR Decision / Spec sheets 77.15-1-3  
**Attachments:** HVAC Spec Sheet.pdf, Lighting Soffit - Halo QuickLink RL4-DM 0-10V spec sheet.pdf



Town of Orangetown  
Historic Areas Board of Review  
**APPROVED**  
Subject to HABR# 24-08  
Meeting Date: September 0, 2024  
*[Handwritten Signature]*

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LAND USE BOARDS

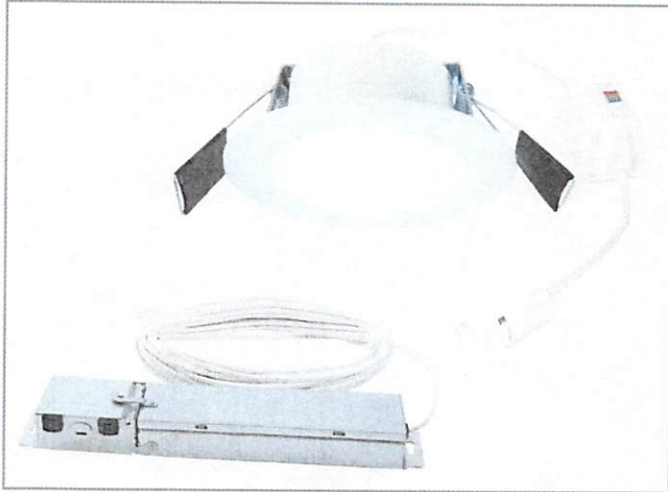
Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

EXTERIOR LIGHTING

Project	<b>RECEIVED</b> SEP 27 2024	Catalog #	SEP 10 2024	Type	
Prepared by	TOWN OF ORANGETOWN LAND USE BOARDS	Notes	HISTORICAL AREAS BOARD OF REVIEW	Date	



# HALO

## QuickLink | RL4-DM 0-10V

Halo QuickLink Low Voltage Lighting Kit  
Canless Installation

### Typical Applications

- Residential • Light Commercial

### Product Certification



Refer to ENERGY STAR® Certified Products List.  
Can be used to comply with California Title 24 High Efficacy requirements.  
Certified to California Appliance Efficiency Database under JAB.

### Product Features



### Interactive Menu

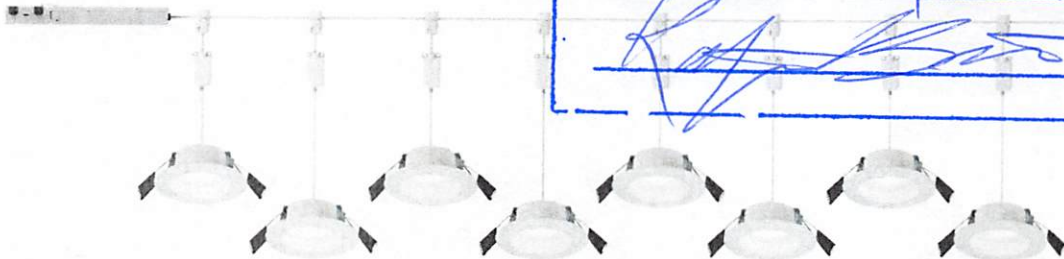
- Order Information page 2
- Product Specifications page 2
- Photometric Data page 4
- Product Warranty

### Top Product Features

- Single driver powers multiple LED fixtures connected by low voltage cable
- Selectable CCT: 2700K, 3000K, 3500K, 4000K, 5000K
- Direct mount – does not require recessed housing or junction box
- 120-277V input, dimmable down to 5% with select 0-10V dimmers
- Perfect for new construction or remodel work
- Power supply is Non-IC, LED units are IC rated

## QuickLink

Low Voltage System



**1** POWER SUPPLY & **8** FIXTURES  
50ft.

SAVE UP TO **85%**  
WIRING TIME

Town of Orangetown  
Historic Areas Board of Review

**APPROVED**

Subject to HABR# 24-08

Meeting Date: September 10, 2024

*[Signature]*

BETTER

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TOWN OF ORANGETOWN  
LAND USE BOARDS



Trex Select  
DECKING & RAILING

The perfect pairing of price and minimal maintenance.

\$\$

☆☆

Scratch Resistance



Trex Select®  
COMPOSITE DECKING

PEBBLE GREY

SADDLE

Trex Select®  
COMPOSITE RAILING

Rail+Post Color Options  
CLASSIC OR T-RAIL

CLASSIC WHITE

Baluster/Infill Options

Square Composite Balusters  
in Classic White

Round Aluminum Balusters  
in Charcoal Black

Town of Orangetown  
MEETING OF:

SEP 10 2024

GOOD



Town of Orangetown  
Historic Areas Board of Review

APPROVED

Subject to HABR# 24-08

Meeting Date: September 10, 2024

*Kap... [Signature]*

Trex Enhance  
DECKING

Blends the beauty of wood with the ease of composite  
-all at a practical price.

☆☆

Scratch Resistance



HISTORICAL AREAS  
BOARD OF REVIEW

Trex Enhance®  
COMPOSITE DECKING

Naturals

FOGGY WHITE

ROCKY HARBOR

TOASTED SAND

COASTAL-BLUFF

Basics

CLAM SHELL

BEACH DUNE

SADDLE

Decking + Railing

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MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

HIKVISION®

DS-2CD2347G1-L(U)  
4 MP ColorVu Fixed Turret Network Camera

ColorVu



### Key Features

- Max. 2688 × 1520 @30fps
- 2.8 mm/4 mm/6 mm fixed lens
- H.265+, H.264+
- 120dB WDR
- 0.0014 @ (F1.0, AGC ON), 0 Lux with Light
- Built-in micro SD/SDHC/SDXC slot, up to 128G
- Built-in mic (Optional)
- 24/7 full time color

### ColorVu

Hikvision ColorVu technology provides 24/7 vivid colorful images with F1.0 advanced lenses, high performance sensors and friendly lighting. F1.0 super-aperture collects more light to produce brighter images. Advanced sensor technology can vastly improve the utilization of available light. In zero-light scenarios, built-in, warm supplemental lighting works to guarantee colorful images.

Town of Orangetown  
Historic Areas Board of Review  
**APPROVED**  
Subject to HABR# 24-08  
Meeting Date: September 10, 2024  
*[Signature]*



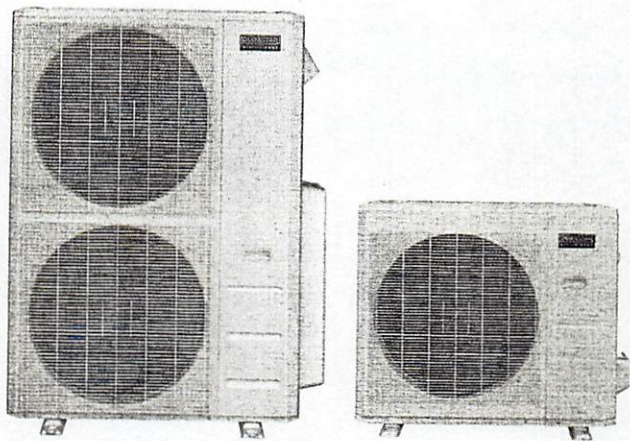
www.hikvision.com

CCTV - CAMERAS

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 LAND USE BOARDS

## SIRIUS HEAT™

**FOR SERIOUS COLD,  
THERE'S SIRIUS HEAT™**



Outdoor units with Sirius Heat technology combine industry innovations to provide up to 100% heating capacity at 0°F and consistent performance in temperatures as low as -22°F.

- High-efficiency heat pump up to 26.4 SEER2
- Up to 100% heating capacity at 0°F
- Low ambient heating down to -22°F
- Low ambient cooling down to 5°F
- Included base pan heater
- Inverter compressor
- Auto-restart feature
- Anti-corrosion fin coating
- Port adaptors included

Town of Orangetown  
MEETING OF:

SEP 10 2024

HISTORICAL AREAS  
BOARD OF REVIEW

### SIRIUS HEAT - SINGLE ZONE

Model #	Cooling Capacity1 (BTU)	Heating Capacity2 (BTU)	Heating Capacity at 5°F2 (BTU)	SEER2	EER2	HSPF2	Voltage (V)	Rec. Breaker (A)	Dimensions (in.)(HxWxD)
DRA1H09S1A	9000	12000	11000	26.4	15.8	11.6	208-230	15	21.81 x 31.69 x 13.00
DRA1H12S1A	12000	12000	11000	23.1	13	10.5	208-230	15	21.81 x 31.69 x 13.00
DRA1H18S1A	18000	18000	17200	22	13	10.6	208-230	25	26.50 x 35.06 x 13.44
DRA1H24S1A	24000	26000	23000	22.3	12.5	10.3	208-230	35	31.88 x 37.25 x 16.13
DRA1H33S1A	33000	35000	34600	20	11.7	10	208-230	40	31.88 x 37.25 x 16.13

### SIRIUS HEAT - MULTI-ZONE

Model #	Cooling Capacity1 (BTU)	Heating Capacity2 (BTU)	Heating Capacity at 5°F2 (BTU)	# of Zones	SEER2	EER2	HSPF2	Voltage (V)	Rec. Breaker (A)	Dimensions (in.)(HxWxD)
DRA2H18M1A	18000	20000	18000	2	20.5	12.5	9	208-230	25	31.88 x 37.25 x 16.13
DRA3H28M1A	28000	28000	25000	3	22.6	11.8	9.8	208-230	40	31.88 x 37.25 x 16.13
DRA4H36M1A	36000	36000	36000	4	20	12.5	9.7	208-230	60	52.50 x 37.50 x 16.31
DRA5H48M1A	48000	49000	45000	5	21.2	11	10	208-230	60	52.50 x 37.50 x 16.31
DRA5H55M1A	55000	55000	45500	5	20	10.5	9.3	208-230	60	52.50 x 37.50 x 16.31

Town of Orangetown  
 Historic Areas Board of Review

**APPROVED**

Subject to HARR# 24-08

Meeting Date: September 10, 2024

Capacities can vary based on the indoor units connected.  
 1 AHRI conditions measured at 95°F (A1Full)  
 2 AHRI conditions measured at 47°F (H1Full)  
 3 Capacity under AHRI M1 conditions (H42): Indoor 70°F DB, 67°F WB / Outdoor 5°F DB, 4°F WB

HVAC

Alteration and Reconstruction of Office Building

Next Chapter Equities, LLC  
350 Pine Lane  
Haworth, NJ 07641

PROJECT LOCATION  
TAX MAP# 77.15-1-3  
77 Main Street  
Hamlet of Tappan  
Town of Orangetown  
Rockland County, NY

ARCHITECT  
KEVIN BRODIE ARCHITECT  
218 SHIPPING STREET  
MONROE, NY 10950  
TEL: 845-928-2504  
EMAIL: KBROD7@OPTONLINE.NET  
RESIDENTIAL AND COMMERCIAL DESIGN  
NEW CONSTRUCTION • ADDITIONS • RENOVATIONS  
CONSULTANT



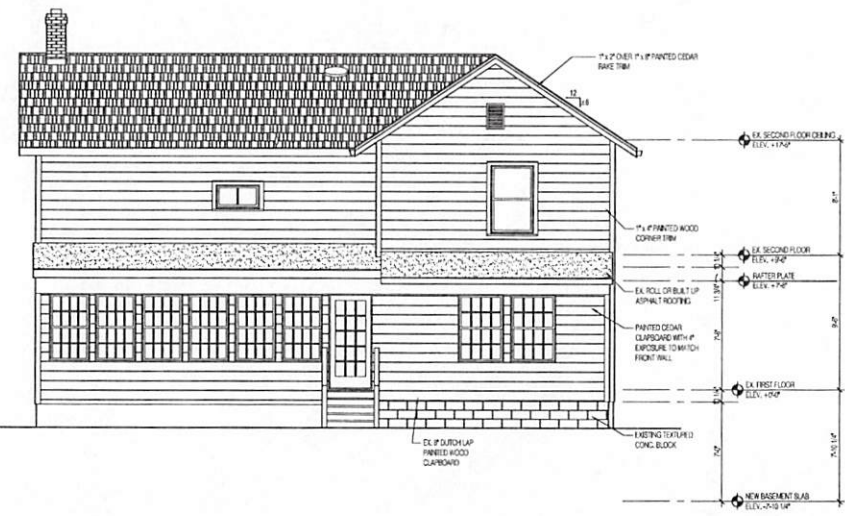
Issues and Revisions		
No.	Date	Issues and Revisions
1.	7/11/23	HISTORIC BOARD MEETING #2
2.	11/16/23	CONCEPT PLANS
3.	11/20/23	CONCEPT PLANS #2
4.	11/22/24	FOUNDATION AND 1st FLOOR
5.	1/30/24	ADDED SITE AND BLACK TABLE
6.	3/2/24	REVISED FOUNDATION
7.	6/10/24	FRAMING PERMIT & H.A.B.R.

Revision and Signature  
Kevin Brodie NY License No: 027039

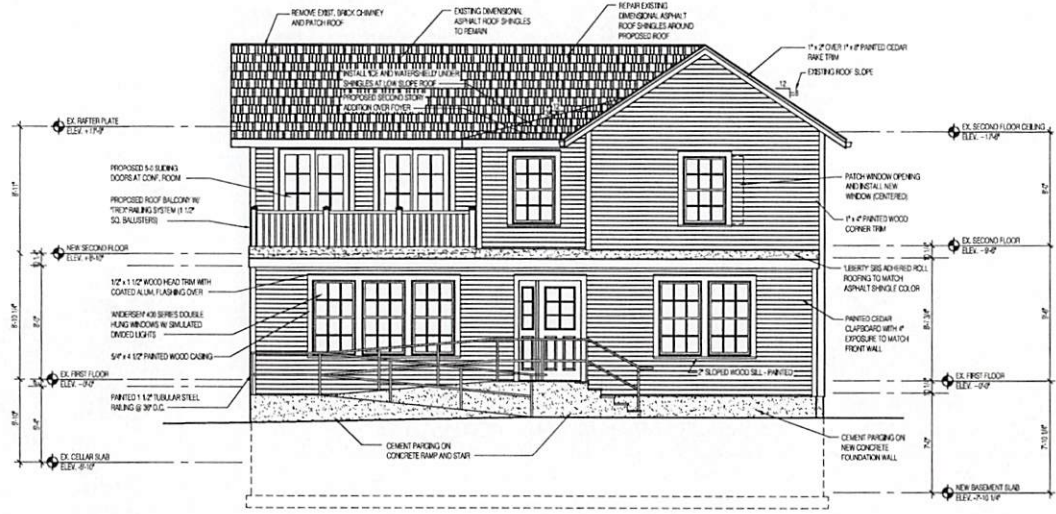
Drawing Description: ELEVATIONS  
Project Number: 2524  
Computer File: ELEV 00  
Scale: 1/4" = 1'-0"

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MEETING OF  
SEP 10 2024  
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BOARD OF REVIEW



1 EXISTING REAR (SOUTH) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED REAR (SOUTH) ELEVATION  
SCALE: 1/4"=1'-0"

Town of Orangetown  
Historic Areas Board of Review  
**APPROVED**

Subject to HABRR# 29-08

Meeting Date: September 10, 2024

[Handwritten signature]

Ramp

A4.02



DECISION  
**APPROVED WITH CONDITIONS AND OPTIONS**

TO: Joseph Panzella (NC 77 Main Owner, LLC.)  
77 Main Street  
Tappan, NY 10983

HABR#24-08  
September 10, 2024

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#24-08: Application of NC 77 Main Owner, LLC., for a review of demolishing and rebuilding rear, first floor portion of existing structure at an existing commercial dwelling located at 77 Main Street, Tappan, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4 (E), Historical Areas Board of Review.  
Tax Map Designation: 77.15 / 1 / 3; CS zone

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, April 9, 2024 at which time the Board made the following determination:

Joseph Panzella, manager, Andrew Rosenberg, manager, and Kevin Brodie, architect, appeared.

The following documents were presented:

1. Copy of plans labelled "Alteration and Reconstruction of Office Building", dated June 10, 2024 (12 pages).
2. A letter dated June 18, 2024, from Next Chapter Equities LLC (2 pages).
3. A package of computer-generated pictures with exhibits A thru 8D.
4. A package from the previous submission dated June 26, 2023.
5. A package from the previous submission dated January 12, 2023.

Joseph Panzella stated that this was their fourth time at the Historic Board; that the project is on its way; that they are ready to proceed with framing, finishes, and the colors of the building to complete the project; that some roof colors are back ordered so if they could do either color that would be better; that we felt it would be more important to have the "Gingerbread" trim remain on the front of the building where it is visible; that there is more damage to the trim than what is currently visible because of the tree that is covering it; that when the trim gets removed it is possible for the material to come apart; that out of all of the windows this line is the most expensive; that right now there are two windows on the porch, per exhibit 4c, and two front entrances; that they would like to add a third front door as an option; that they share a driveway with their neighbor and have offered to do the whole driveway; that they would like to add a deck to the rear of the building where the flat roof exists; that they may reconfigure the front porch to have the handicap ramp here, although they don't have a lot of room here; that the gravel driveway is not good for this access.

Andrew Rosenberg stated that for the roof they would like to use the same, or similar, color to what is there now; that the flat portion of the roof in the back will coincide instead of just black it would be a slate color to compliment; that the "gingerbread" trim detail on the fascia may need to be replaced; that they would like to preserve it, replace it, and put it back; that on the West side of the roof they would like to remove these pieces and put them on the left hand side where there are some missing pieces; that they do not know at the moment what the trim will need but they can try to replicate it; that the trim appears to be bent and cracking; that the gutters in the photos, exhibit two, which is page three of the submission, are the identical white to what exists; that they tried to find the best window to match the existing mullions; that the window is manufactured by "Marvin"; that they have a historical line of windows; that they will match the windows as close as possible to what is there, according to that historical line; that for the window trim they will be copying what is there, per exhibit three; that the windows will be trimmed in "Azek" brand composite window casing, which is a change from the original design; that they will be trimmed with the casing on the left side, around all of the windows, and the right side casing will go to the right side;

that the part on the right side is the oldest part of the building; that the shutters will be on the bottom floor of the building only; that they will be a louver design in a blueish grey color it is cutting edge "Tru-bilt" brand composite Wedgewood blue; that they can do the shutters in wood; that there are two front doors; that it is a center front double door; that there is a trim panel at the bottom that is glass; that the left side door is a single door with raised panels at the bottom; that a millwork worker met with them and gave them a price to try to copy the existing doors; that they are very thin with no weather stripping; that as they need to be replaced they now have two options; that option one would be to beef them up build them up from the back side; that they have not been able to find someone who would be able to do option one; that option two is to find put in thermal pane glass double transom on the top, per exhibit B, craftsman doors; that the they would then need to get a price to match as close as possible to the bottom of the raised panel, per Exhibit 4c; that if they are going to build the doors at this point then they should match them; that they would like to have the choice to do either door option; that the doors will be a different design but will be the same as what they have now; that when the doors are finished no one will come by and say that they look different; that they do not want to have to come back for the doors; that the rear door, per Exhibit 5B, is a colonial door in white and will be replaced with a door that has a different window location; that the lighting, per Exhibit 6A, they would like to keep there; that Exhibit 6B is another option for the lighting, but that it would be used in the same location; that every door will have the same light fixture next to it; that they would like to add recessed lighting into the eaves or onto the porch; that they will have red pavers on the sidewalks and gravel material for the driveway; that the deck windows would match the six over three window; that they are also proposing a two-story portion over staircase with a walk out balcony and double doors; that this would be sitting on top of the flat roof with a two-story bump out; that this would be invisible from the street; that there would be no added usable space; that the deck, per Exhibit 7, will be done in "Trex" brand brown composite decking with white railings; that the balusters will be composite one and a half (1 1/2") inch by one and a half (1 1/2") inch, in white; that the "Trex color is actually rock harbor with select classic white or possible island mist greyish that the staircase does not comply with any handicap or building codes; that they are aware that they may need to get approvals from other Boards for these items; that they would like to have security cameras installed; that they would like to have one on each side of the rear of the building; that they would like to have one on the front, tucked back, but they do not light up; that the security camera brand is hike vision and the cameras will all be white; that they would like to have them put in the eaves on each corner of the porch, not pointed at any of the neighbors; that one camera would be installed in the front left corner of the porch ceiling, and another in the front right corner of the porch ceiling; that these would be pointing towards the center of the porch, at the front doors; that there will be one camera on the Eastern side, and another on the South Eastern corner facing North; that there will also be two cameras in the back; that one would be on the South Eastern side, and the other would be on the Western corner; that both of these would be pointing down towards the driveway; that there would be a total of six security cameras, all facing entryways; that they would like the existing historic signage to remain; that they would also like to add a sign in cast bronze to be added with additional tenants listed; that there would be no lighting for the additional signage; that the HVAC system is shown on the plans; that the HVAC system is on the East side at the rear of the building; that there is an existing tree buffer for the HVAC system; that they would like to get an approval to the handicap ramp as it is currently proposed, and come back if there are to be any changes made.

Kevin Brodie stated that one gutter needs to be replaced; that the trim may not be that bad; that they can cut out the broken section of trim at the front gutter which is where he believes the water would be collecting behind it; that he believes the façade is roughly from the 1850's; that led paint was probably used and is good for preservation; that the window sash at the bottom of the new windows will be larger, and presented a sample; that these are aluminum clad and do not come with this trim; that they will be removing the windows from this trim; that the shutters at the Tappan library are not fifty-fifty; that the windows were field measured and ordered based on those measurements; that the measurements were done from the interior as the building was gutted; that the measurements are based on the dimensions taken at the site; that the site plan is scientifically developed;

that maybe a picture from his iPad will help clarify and showed a picture to the Board; that the windows were measured with "Marvin" and they have the same measurements; that the siding is to remain; that the window opening is to remain as it is; that the recessed lighting will be approximately eight (8') feet apart; that they can eliminate the lights at the windows; that they will put four lights under the eaves; that the existing siding is five (5") inch by three quarter (3/4") inch clapboard, or one (1") inch by five (5") inch lap siding with four (4") inch exposure; that they are going to conform to make them all have a four (4") inch exposure so that everything is matching; that this is not a stock item, but that it gives a better look; that they will be putting up new sheathing on the siding of the house; that the sheathing is a wood material with the same exposure; that right now the foundation has very little exposed, due to the grading; that they will cement patch and stucco to cover; that in the front the porch covers the foundation; that in the back there is some foundation seen; that there was a mix removed that was mostly stucco over rubblestone; and they would like to stay with that look; that in order to do the ramp they would need a railing and a drawing, which they do not have.

Chairwoman Raso stated that she likes either roof color option; asked if anyone has checked on the condition of the trim; stated that she would like to see it replaced in kind; that the shutters should be louvers with hinges to match; that the chimney that was existing was in bad shape, so they had to take it down; that they would like to patch it up and close off the roof, and eliminate the chimney; that the chimney was exposed only on the roof.

Thano Schoppel stated that whichever roof color option is not on back order would be good; that the Board has given them a lot of leeway in this project and he would like to see them keep the trim; stated that the shutters at the library are wood; stated that the front doors should remain distinct; that the photograph feels different from the photograph, and the spacing looks different; stated that if the applicant is going to be adding a third door than removing the shutters would be best; that they can put a pad at the back of building for the ramp.

Loren Plotkin stated that the trim element does not look like an element that is that old, but that it does look fragile; he also asked what is the oldest part of the building; asked if having the doors not look alike is something the applicant wants to do; that they don't have to match because they don't now; stated that he ok with either front door option.

William Walther stated that the if the door downstairs is a raised panel than the shutters should be done to match as a raised panel, not louver; that the time period you would want to be bringing back would have also had a raised panel; asked what the shutters on the Tappan library are, if they are split with the trim fifty-fifty; asked if they are putting shutters downstairs, why are you not putting them upstairs; agreed that the shutters should be louver with hinges to match; stated that if he is ok with them fixing the door, but that if would like to change the doors then he would like them to come back in front of the Board; that looking at the photograph provided it appears that the windows in the drawing are not the same as the windows in the photograph; that the distance between the window in the photograph and the windows in the drawing are greater; stated that they should double check the dimensions that are existing and come back to the Board; stated that the Applicant is not prepared to discuss the relocation of the handicap ramp at this meeting.

Scott Wheatly stated that the shutters at the Tappan library are also louvers; that the applicant likes this look as well; stated that the doors should be insulated and remain with a historical look; that they should be the same color white; asked what the driveway will look like, and asked if this is a flood area.

TOWN OF ORANGETOWN

The Board agreed that the “Gingerbread” trim detail should be kept; they also agreed that recessed lighting should not be installed in the front side, only as specified.

The Board went into Executive session to discuss legal matters with Stefanie Schera, Deputy Town Attorney, and for further clarification as to what materials can be utilized. New materials consistent/compatible with original materials, not the same to make alterations to structure. Additional discussion to clarify and to discussion in regards to the possibility of an additional front door. The Applicants understand that the Historic Board can vote visually and on whether or not the door is harmonious with the surrounding areas for the door. However, further approval may need from other boards and/or the Building Department in order to receive their permit approval.

PUBLIC COMMENT:

No public comment.

**FINDINGS OF FACT:**

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the renovations are listed below (some of which were not specifically outlined in the application. However, all items listed below were presented and voted on at the time of the HABR meeting):

1. The roof shall be GAF Timberline HDZ in oyster gray, hollow gray, or pewter gray, the same or similar to match the existing.
2. The flat roof shall be Liberty SBS in slate or black, to complement existing.
3. The trim shall be “Gingerbread” style and replicated to match existing.
4. The gutters shall match existing, in white.
5. The shutters (option, if applicant does not add a third front door) shall be, at the bottom floor only, louver style Tri-built open Wedgewood blue 004 with faux pin hinges in black metal.
6. The windows shall be Marvin brand Historical line, similar to the central union mission and queen anne seattle, mullion and window to match in kind to what currently exists.
7. The window trim shall be AZEK brand aluminum clad composite around all of the windows, different design from what currently exists.
8. The front door shall be Craftsman, or custom, center double door with trim pan at bottom of left door, and raised panel at bottom of right door in white.
9. The front doors shall be built up and insulated, but remain mismatched and look Historic.
10. The front door molding shall be white raised panel, as pictured.
11. The existing siding is to remain.
12. The siding to be added shall be 4” exposure to match existing.
13. The sheathing to be added will be wood material with same exposure, which is not a stock item.
14. The rear door will be reeb brand wood exterior, replaced to match in kind to what currently exists, with different window locations.
15. The lighting shall remain if possible, or be replaced in kind, per Exhibit 6B.
16. The recessed lighting shall be Halo Quicklink RL4-DM 0-10V installed in four locations approximately 8’ apart, in the eaves, not over the windows, and not where the other lighting is to exist.
17. The foundation shall be cement patched to match, stucco to match, and rubblestone to match existing.
18. The driveway shall be gravel material, and red pavers on sidewalk.
19. The decking shall be Trex Enhance brand composite, in Rocky Harbor or Coastal bluff color.

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TOWN OF ORANGE TOWN

20. The balusters shall be Trex Transend brand composite 1 ½" x 1 1/2 "classic white, or island mist.
21. The railings shall be Trex Select brand composite, in classic white.
22. The Security cameras shall be Hikvision brand, white in color. There shall be a total of 6 cameras, all focused on entryways. There shall be one on each corner of the front porch, facing centered towards the front doors. There shall be one on the Eastern side and one on the South Eastern Corner facing North. There shall be two in the back on the South Eastern and Western corner pointing down towards the driveway.
23. The existing Historical AA signage shall remain.
24. There shall be an additional signage added in cast bronze with no lighting.
25. There shall be a Durastar brand Sirius heat HVAC system model # DRA5H48M1A in the rear of the building on the East side, with an existing tree buffer.
26. The chimney shall be removed, closed off, and patched.
27. There shall be a handicap ramp, in Concrete Gray, and railings in galvanized steel, at the rear of the building, built as presented per the plans, and to code.

**THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.**

***\*\* PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.***

**PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:**

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

**IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT , CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.**

TOWN OF ORANGETOWN  
2024 SEP 27 A 9 21  
CLERK'S OFFICE

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports ( if any), Plans labeled “a copy of plans labelled “Alteration and Reconstruction of Office Building”, dated June 10, 2024 (12 pages), a letter dated June 18, 2024, from Next Chapter Equities LLC (2 pages), a package of computer-generated pictures with exhibits A thru 8D, a package from the previous submission dated June 26, 2023, a package from the previous submission dated January 12, 2023”; is APPROVED AS SUBMITTED WITH THE FOLLOW CONDITION; the Historic Board has visually accepted the proposed, with the options listed. If further Board approvals are required, or any changes are to be made, The Applicants understand that the Historic Board can vote visually and on whether or not the door is harmonious with the surrounding areas for the door. However, further approval may need from other boards and/or the Building Department in order to receive their permit approval.

The foregoing resolution to approve the Plans labeled “a copy of plans labelled “Alteration and Reconstruction of Office Building”, dated June 10, 2024 (12 pages), a letter dated June 18, 2024, from Next Chapter Equities LLC (2 pages), a package of computer-generated pictures with exhibits A thru 8D, a package from the previous submission dated June 26, 2023, a package from the previous submission dated January 12, 2023” as submitted, with the following condition: prior approval of the Historical Area Board of Review is required prior to any change or modification or the requirements and/or conditions set forth in this Decision; the Historic Board has visually accepted the proposed, with the options listed. If further Board approvals are required, or any changes are to be made, the Applicants understand that the Historic Board can vote visually and on whether or not the door is harmonious with the surrounding areas for the door. However, further approval may need from other boards and/or the Building Department in order to receive their permit approval.; was presented and moved by Thano Schoppel, seconded by William Walther and carried as follows: Thano Schoppel, aye; Margaret Raso, aye; Loren Plotkin, aye; William Walther, aye; and Scott Wheatley, aye.

The Senior Clerk Typist to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: September 10, 2024

HISTORICAL AREAS BOARD OF REVIEW  
TOWN OF ORANGETOWN

BY:   
\_\_\_\_\_  
Katlyn Bettmann, Senior Clerk Typist

DISTRIBUTION:

APPLICANT  
TOWN BOARD MEMBERS  
HABR MEMBERS  
SUPERVISOR  
TOWN ATTORNEY  
DEPUTY TOWN ATTORNEY  
OBZPAE  
BUILDING INSPECTOR- TBD

TOWN CLERK  
HIGHWAY DEPARTMENT  
TOWN HISTORIAN  
DEPT. OF ENVIRONMENTAL  
ENGINEERING  
HABR, PB, FILE  
PB, ZBA, ACABOR CHAIRMAN

TOWN CLERK'S OFFICE  
2024 SEP 27 A 9:27  
TOWN OF ORANGETOWN

# Alteration and Reconstruction of Office Building

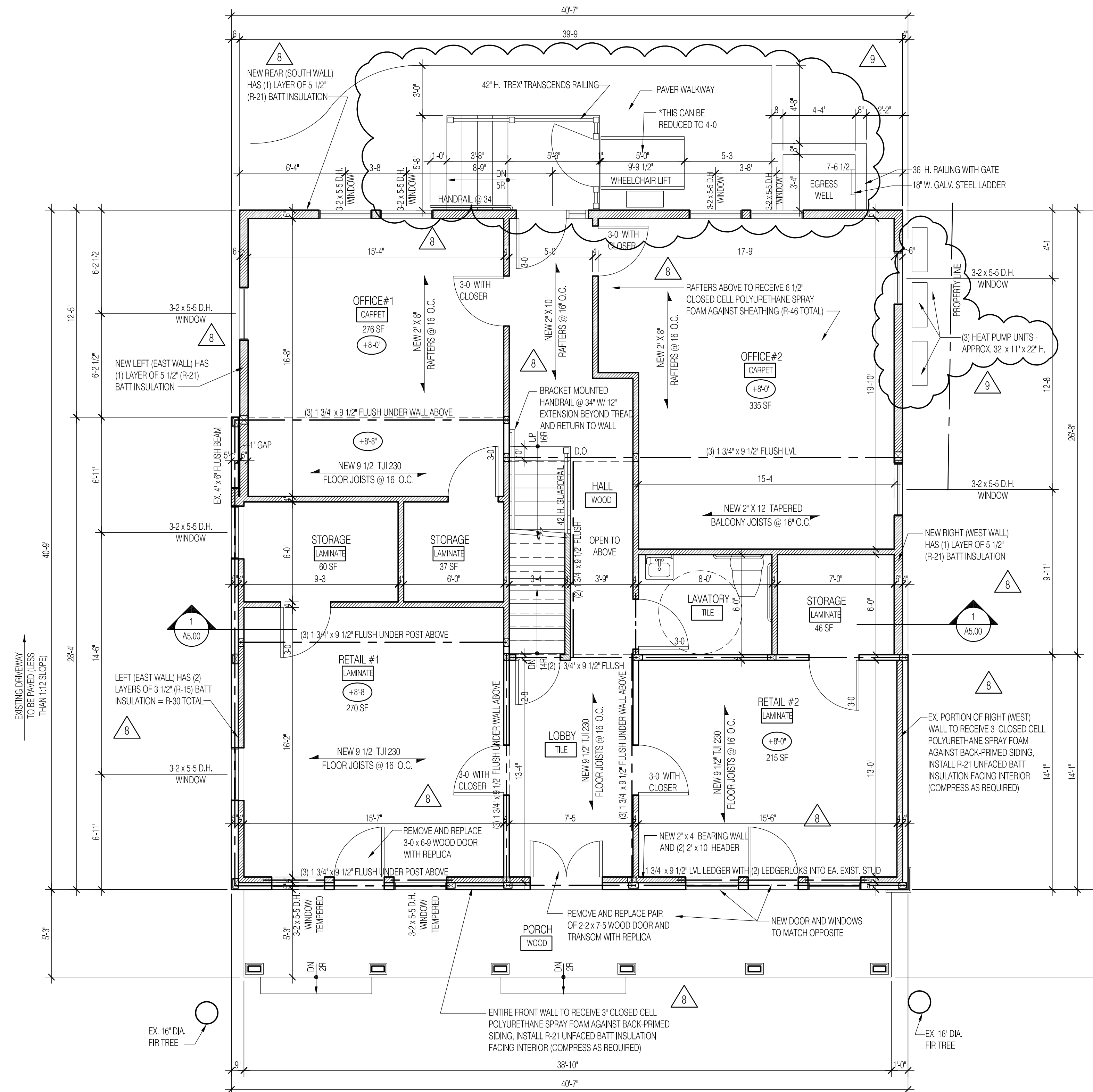
CLIENT  
**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

PROJECT LOCATION  
**TAX MAP# 77.15-1-3**  
 77 Main Street  
 Hamlet of Tappan  
 Town of Orangetown  
 Rockland County, NY

ARCHITECT  
**KEVIN BRODIE ARCHITECT**  
 218 SPRING STREET  
 MONROE, NY 10950  
 TEL: 845-928-2504  
 EMAIL: KBROD7@OPTONLINE.NET

RESIDENTIAL AND COMMERCIAL DESIGN  
 NEW CONSTRUCTION - ADDITIONS - RENOVATIONS

CONSULTANT



**FLOOR AREAS:**  
 EXIST. FIRST FLOOR = 1642 S.F.  
 EXIST. SECOND FLOOR = 814 S.F.  
 TOTAL AREA = 2456 S.F.  
 EXIST. ACCESSORY STRUCTURE = 645 S.F.

**OCCUPANCY CALCULATIONS:**  
 RETAIL AREA (MERCANTILE) = 60 SF PER OCCUPANT  
 RETAIL STORAGE = 300 S.F. PER OCCUPANT  
 OFFICE AREA (BUSINESS) = 100 SF PER OCCUPANT

RETAIL = 485 SF + 106 SF STORAGE = 9 OCCUPANTS  
 1st FLOOR OFFICES = 648 SF = 7 OCCUPANTS  
 2nd FLOOR OFFICES = 814 SF = 9 OCCUPANTS  
 TOTAL OCCUPANT LOAD = 25 OCCUPANTS

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	7/11/23	HISTORIC BOARD MEETING #2	KB	KB
2.	11/10/23	CONCEPT PLANS	KB	KB
3.	11/20/23	CONCEPT PLANS #2	KB	KB
4.	1/12/24	FOUNDATION AND 1st FLOOR	KB	KB
5.	1/30/24	ADDED SITE AND BULK TABLE	KB	KB
6.	5/2/24	REVISED FOUNDATION	KB	KB
7.	6/10/24	FRAMING PERMIT & H.A.B.R.	KB	KB
8.	10/7/24	FRAMING PERMIT REVISIONS	KB	KB
9.	12/19/24	WHEELCHAIR LIFT, CONDENSERS	KB	KB

Registration and Signature  
 Kevin Brodie NY License No: 027039



Drawing Description:  
 FIRST FLOOR PLAN

Project Number: 2324  
 Computer File: PLAN\_01

Scale: 1/4" = 1'-0"

# Alteration and Reconstruction of Office Building

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**Next Chapter Equities, LLC**  
 350 Pine Lane  
 Haworth, NJ 07641

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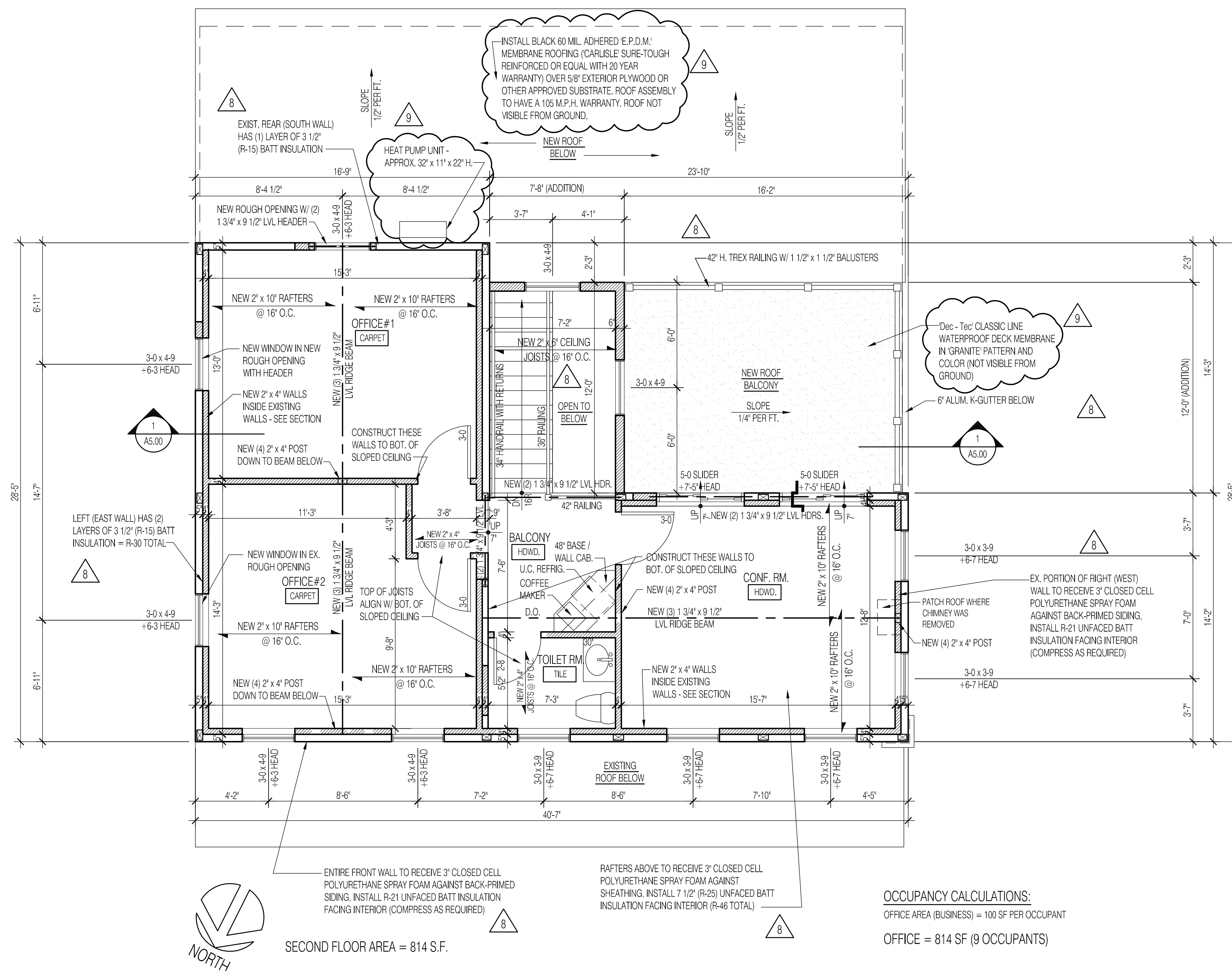
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CONSULTANT

### GENERAL NOTES:

1. ALL SECOND FLOOR DOOR AND WINDOW HEADERS TO BE (2) 1 3/4" x 9 1/2" L.V.L. MEMBERS UNLESS OTHERWISE NOTED.
2. INSTALL SOLID BLOCKING BELOW POSTS.
3. ALL DIMENSIONS TAKEN TO NOMINAL STUD WIDTH.
4. INSTALL METAL JOIST HANGERS AT ALL MEMBERS FRAMING INTO FLUSH BEAMS.
5. SECOND FLOOR INTERIOR DOORS TO BE 6'-8" HIGH. DOORS TO BE SOLID CORE M.D.F.
6. ALL WINDOWS TO BE PELLA CLAD WOOD ARCHITECT SERIES CASEMENT WINDOWS WITH 7/8" HISTORICAL GRILLES (SDL). LOW E GLAZING (0.24 U-VALUE).
7. SEE SECTIONS FOR EXTERIOR WALL INSULATION.
8. ALL RAFTERS TO RECEIVE 6" OF CLOSED CELL POLYURETHANE SPRAY FOAM (R-42).
9. HEATING AND COOLING TO BE PERFORMED BY MULTI-ZONE SPLIT SYSTEM HEAT PUMPS (TO BE DESIGNED BY OTHERS).



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9.	12/19/24	WHEELCHAIR LIFT, CONDENSERS	KB	KB

Registration and Signature  
 Kevin Brodie NY License No: 027039



Drawing Description:  
 SECOND FLOOR PLAN

Project Number: 2324  
 Computer File: PLAN\_01

Scale: 1/4" = 1'-0"



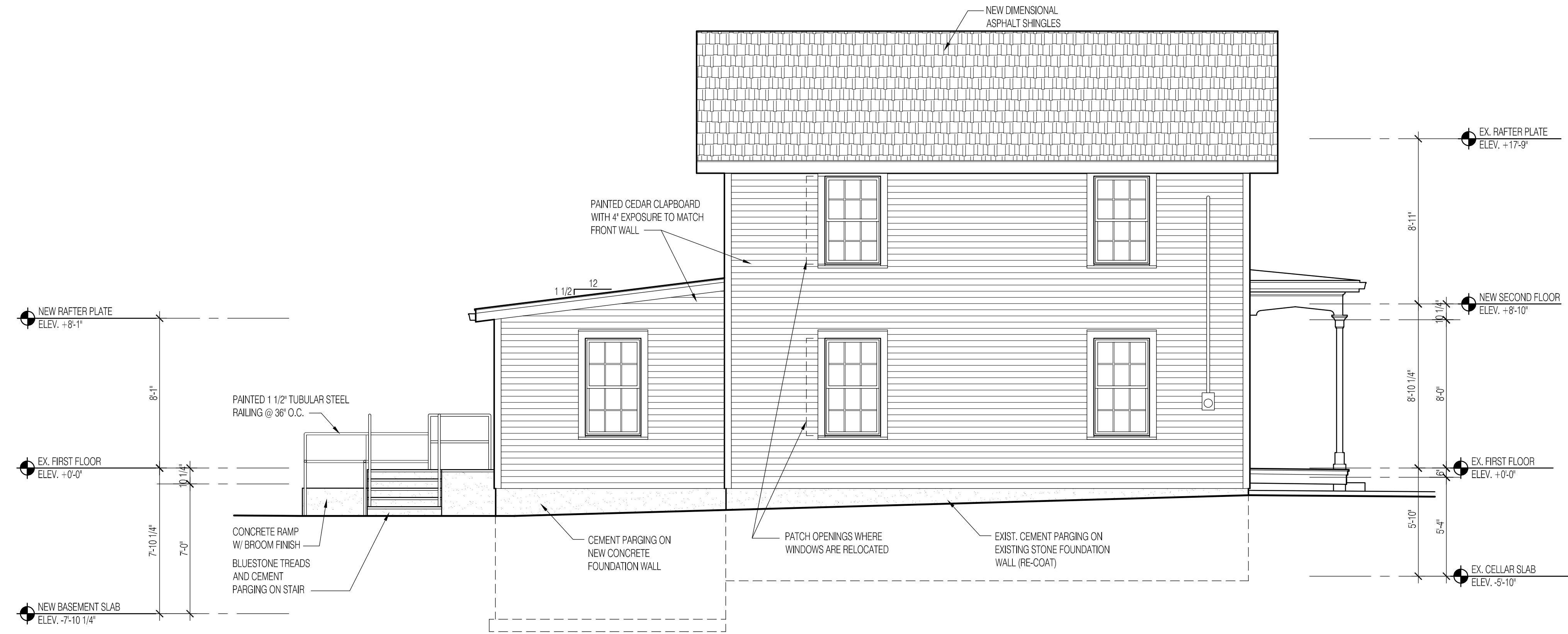
# Alteration and Reconstruction of Office Building

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 Haworth, NJ 07641

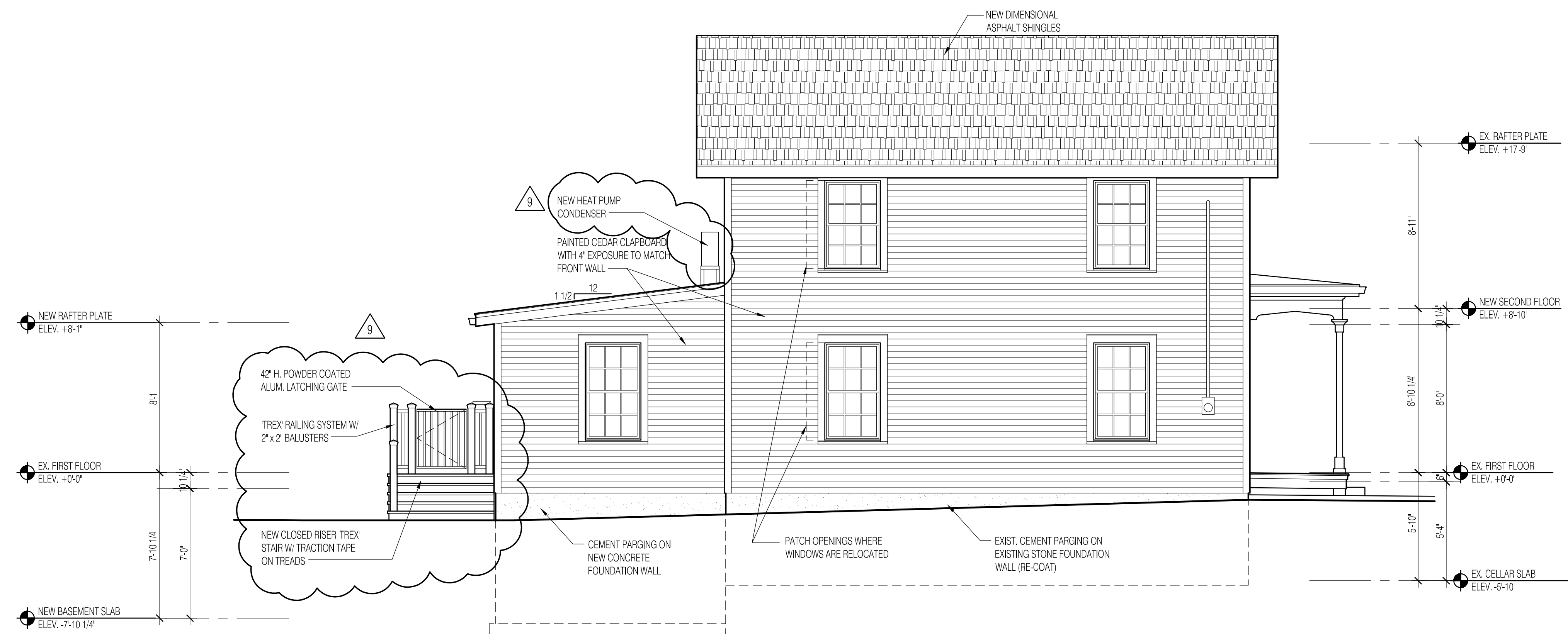
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**1 LEFT (EAST) ELEVATION AS APPROVED BY H.A.B.R.**  
 SCALE: 1/4"=1'-0"



**2 PROPOSED LEFT (EAST) ELEVATION**  
 SCALE: 1/4"=1'-0"

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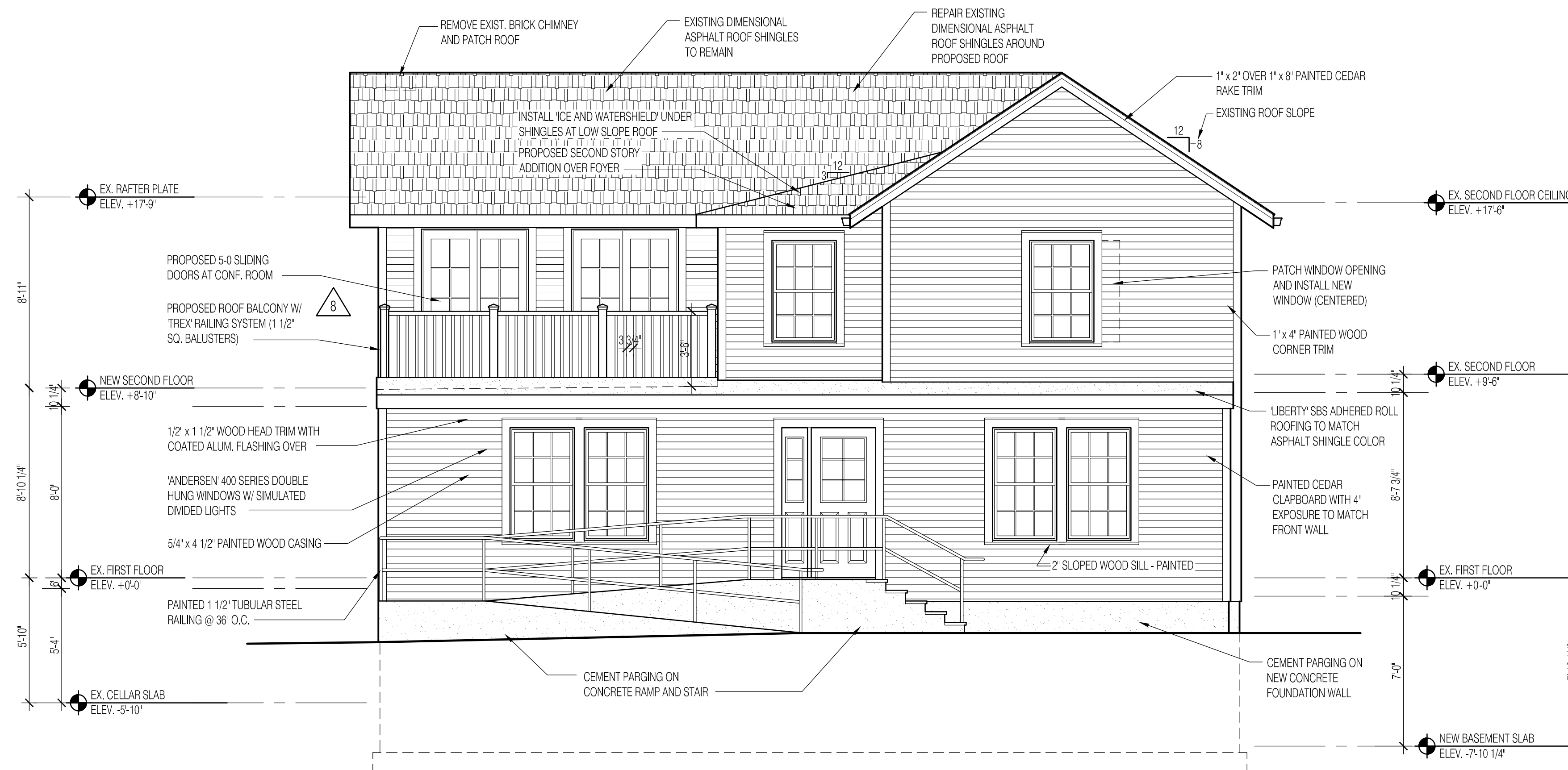
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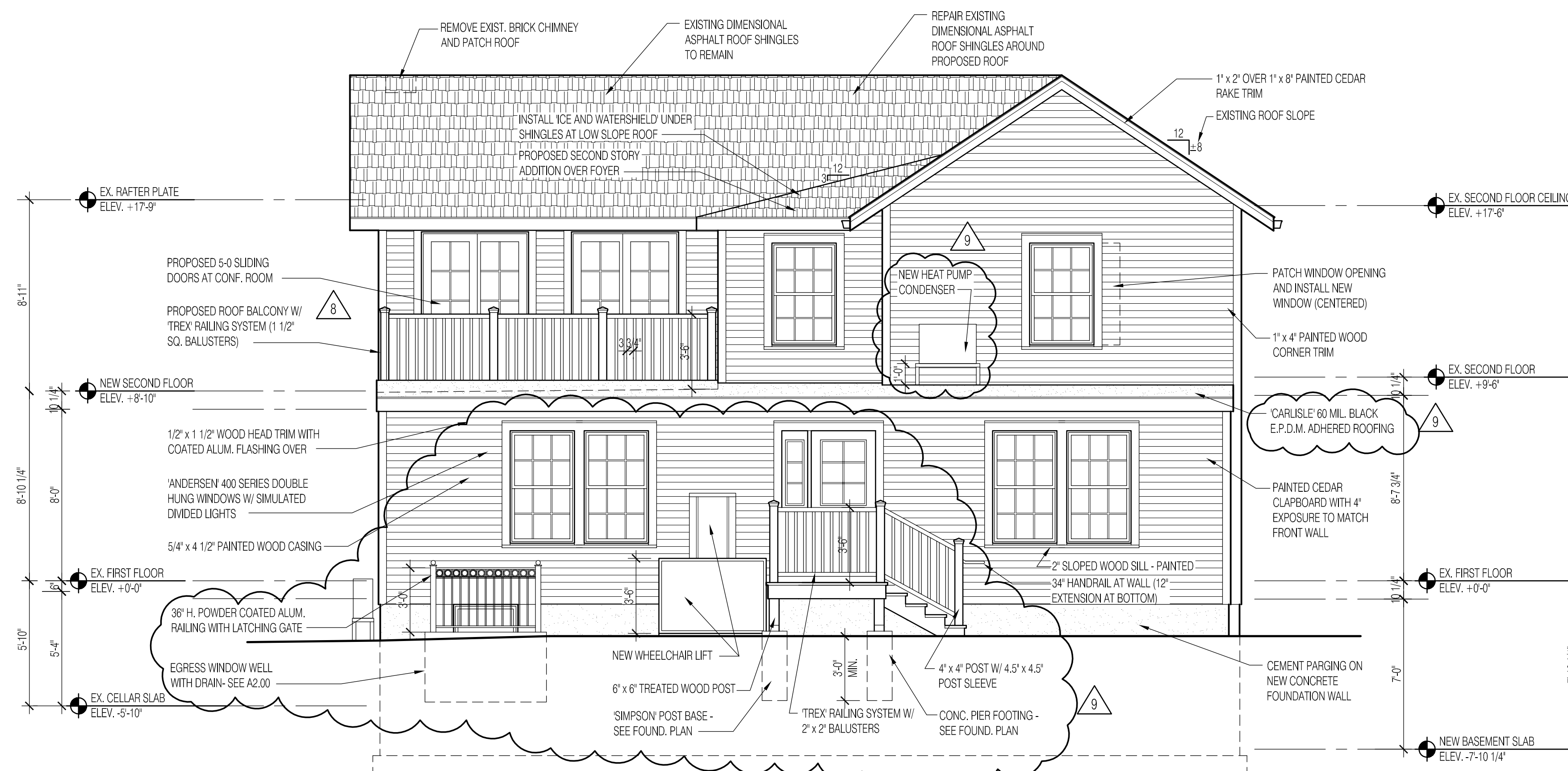
Drawing Description:  
 ELEVATIONS

Project Number: 2324  
 Computer File: ELEV 00

Scale: 1/4" = 1'-0"



**1 REAR (SOUTH) ELEVATION AS APPROVED BY H.A.B.R.**  
SCALE: 1/4"=1'-0"



**2 PROPOSED REAR (SOUTH) ELEVATION**  
SCALE: 1/4"=1'-0"

# Alteration and Reconstruction of Office Building

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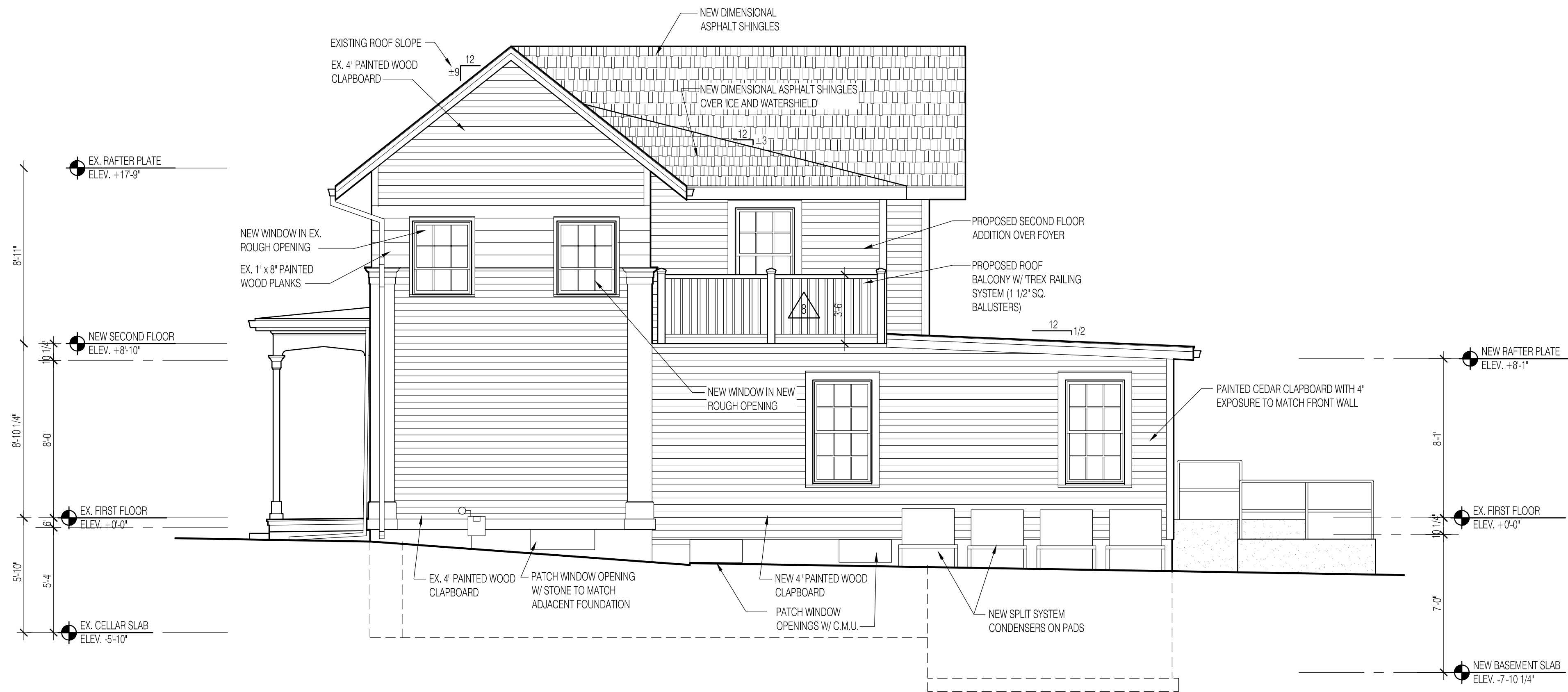
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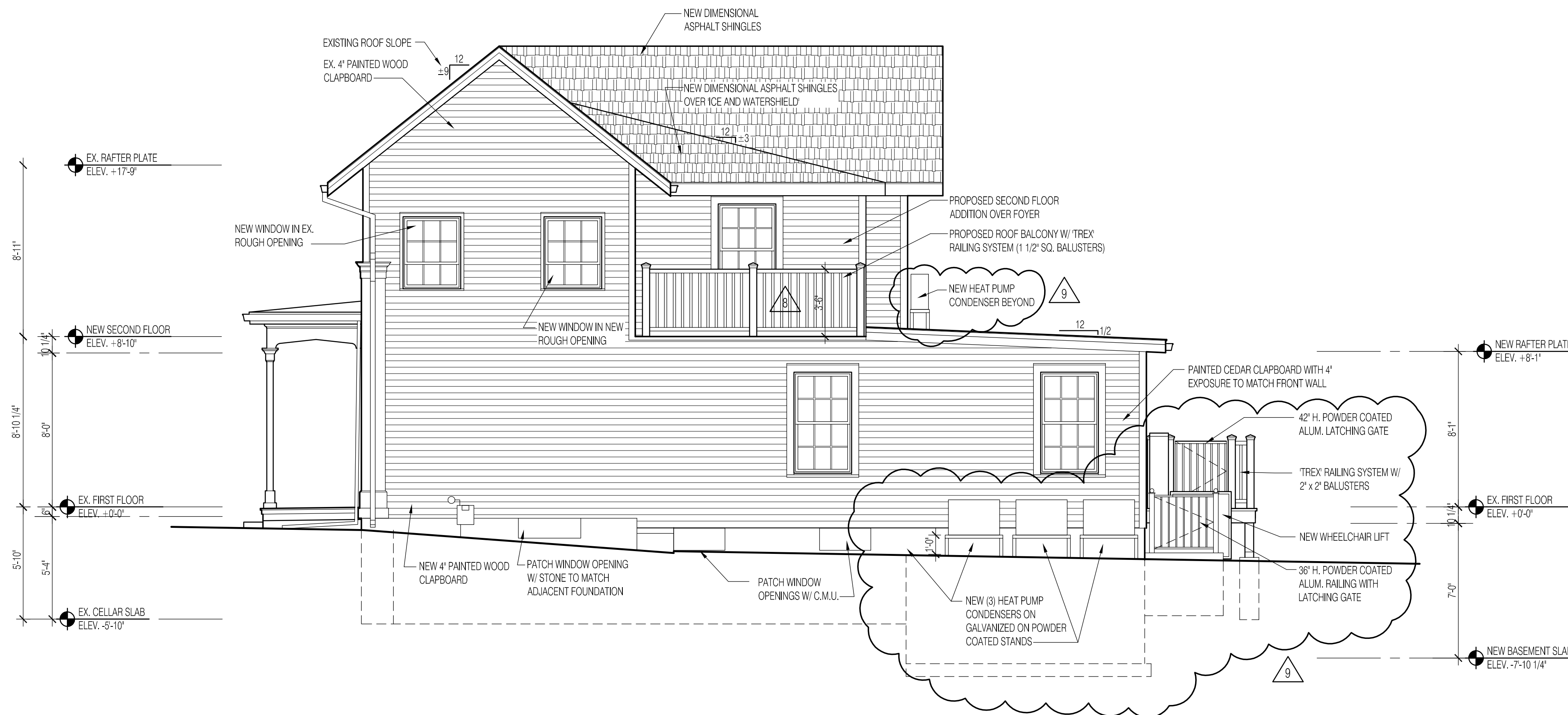
Drawing Description:  
ELEVATIONS

Project Number: 2324  
Computer File: ELEV 00

Scale: 1/4"=1'-0"



**1 RIGHT (WEST) ELEVATION AS APPROVED BY H.A.B.R.**  
SCALE: 1/4"=1'-0"



**2 PROPOSED RIGHT (WEST) ELEVATION**  
SCALE: 1/4"=1'-0"

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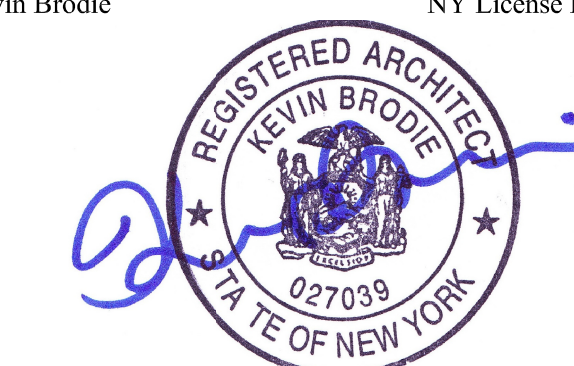
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Kevin Brodie NY License No: 027039



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