

SOURCE: USGS 7.5 MINUTE QUADRANGLE MAP, NYACK, NY, DATED 2023

LOCATION MAP

SCALE: 1" = 1000'±

SITE PLANS FOR MATIV HOLDINGS, INC. PROPOSED PARKING LOT IMPROVEMENTS

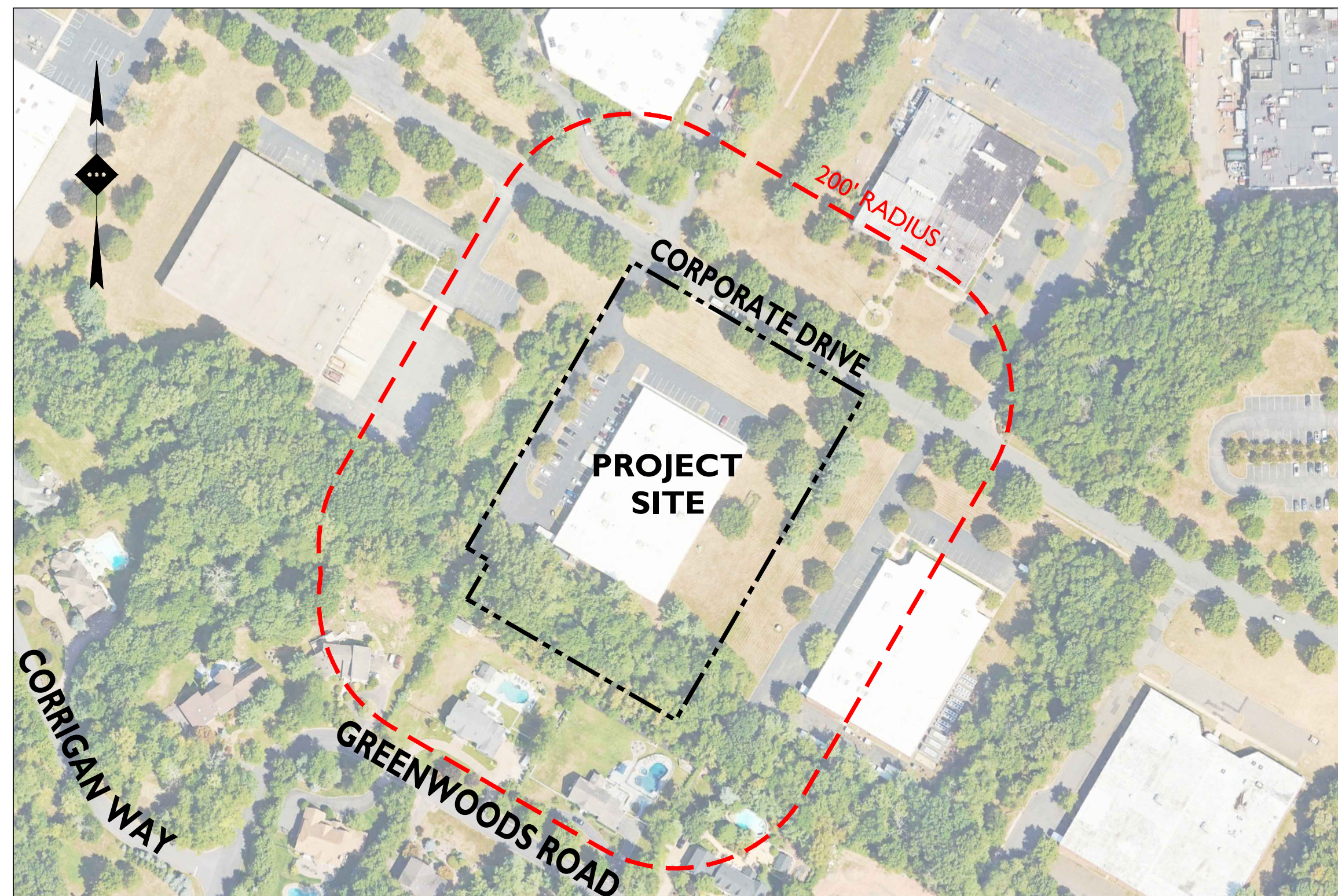
SECTION 73.19, BLOCK I, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

APPLICANT

RICHARD MALLARD
MATIV HOLDINGS, INC.
25 CORPORATE DRIVE
ORANBURG, NY 10962
(845) 270-4672
RICHARD.MALLARD@MATIV.COM

OWNER

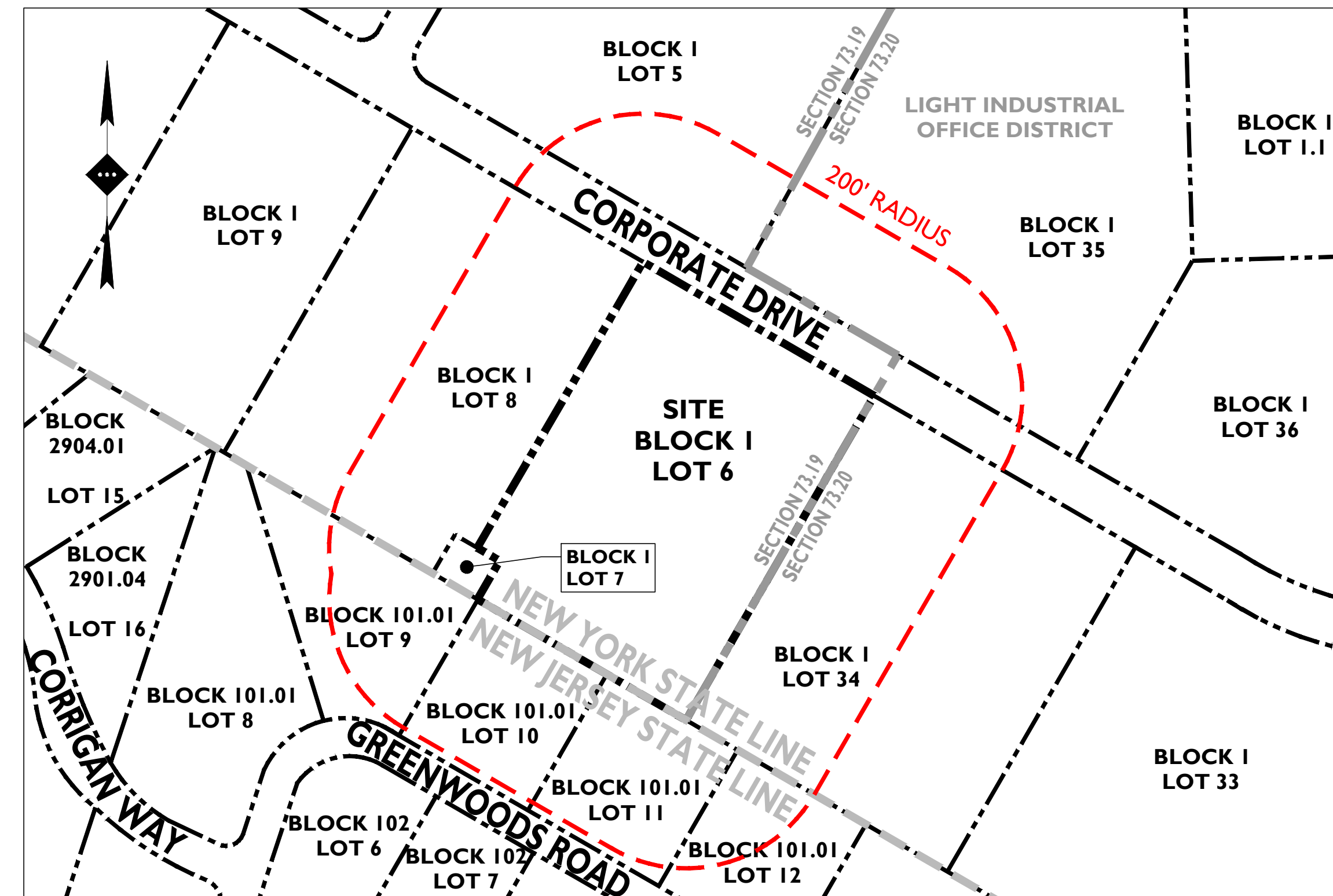
ORANBURG NY HOLDINGS LLC
141 AYERS CT. SUITE 1A
TEANECK, NJ 07666
201-308-6118
STEVEN@SOLOMONB.COM



SOURCE: GOOGLE EARTH SATELLITE IMAGERY, DATED 07/18/2022

AERIAL MAP

SCALE: 1" = 150'±



SOURCE: ROCKLAND COUNTY PARCEL VIEWER & NEW JERSEY OGIN VIEWER

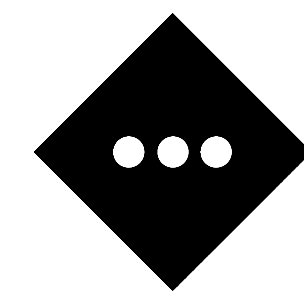
TAX & ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, ISSUED 03/05/2024
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO SATELLITE IMAGERY, DATED 07/18/2022, RETRIEVED 03/29/2024
 - LOCATION MAP OBTAINED FROM USGS 7.5 MINUTE SERIES TOPO MAP, NYACK, NY, DATED 2023
 - TAX & ZONING MAPS OBTAINED FROM ROCKLAND COUNTY GIS TAX & PARCEL VIEWER AND NEW JERSEY ONLINE GEOGRAPHICAL INFORMATION NETWORK
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
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EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
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GRADING & DRAINAGE PLAN	C-5
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CONSTRUCTION DETAILS	C-12 - C-13

ISSUE	DATE	BY	DESCRIPTION
2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/17/2024	JF	ISSUED FOR REVIEW

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MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK I, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



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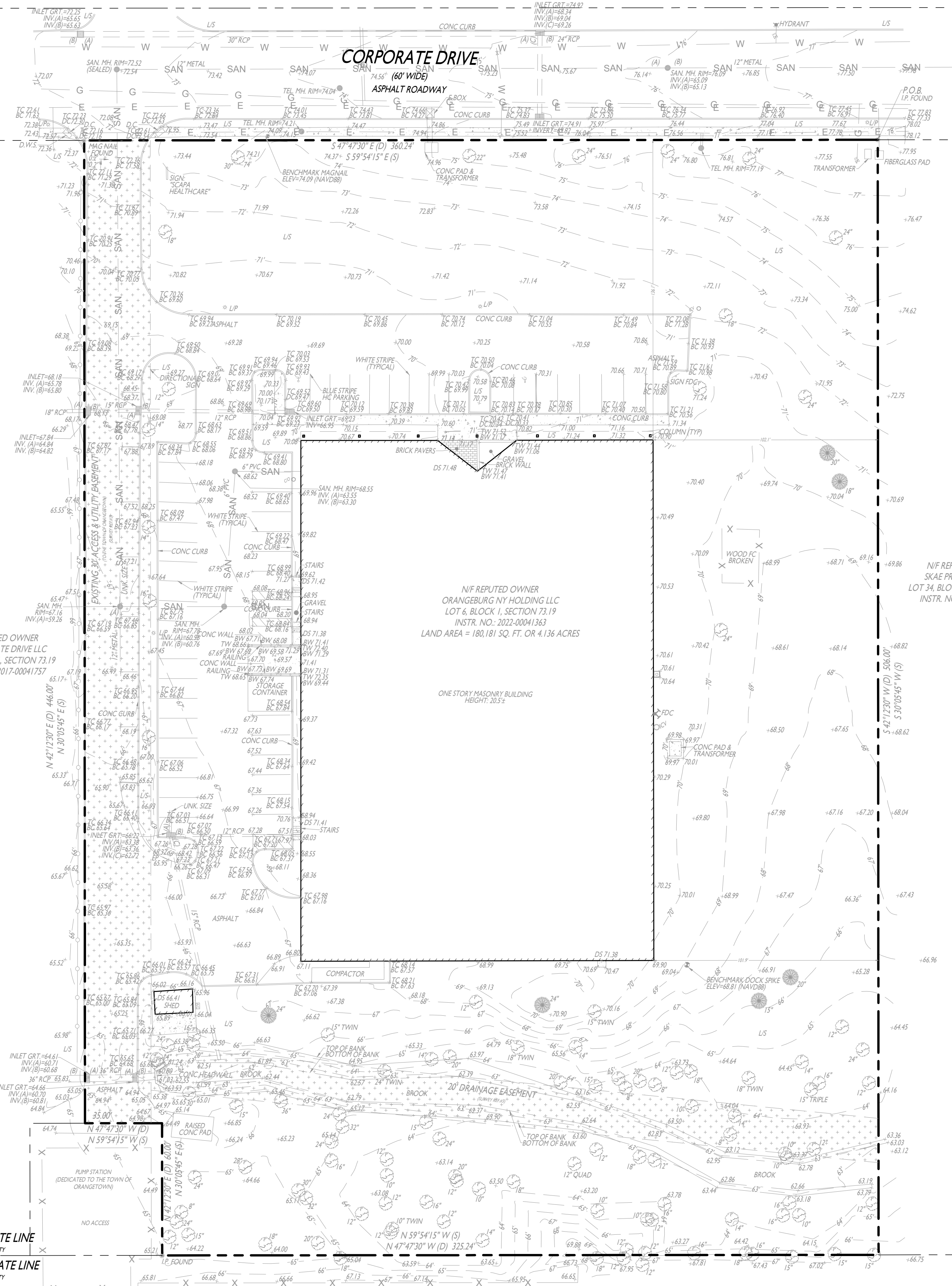
SCALE: AS SHOWN PROJECT ID: NYC-230218

TITLE:

COVER SHEET

DRAWING:

C-1



SYMBOL	DESCRIPTION
[Symbol]	BUILDING
[Symbol]	CONCRETE SIDEWALK / MAT
[Symbol]	ASPHALT / CONCRETE CURB
[Symbol]	DEPRESSED CURB
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	IRON ROD HANDRAIL
[Symbol]	MAST ARM LIGHT POLE
[Symbol]	POLE
[Symbol]	LIGHT FIXTURE
[Symbol]	SIGNS
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	INLET
[Symbol]	MAN HOLE
[Symbol]	BOLLARDS
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	EDGE OF PAVEMENT
[Symbol]	OVERHEAD WIRE
[Symbol]	UNDERGROUND GAS LINE
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	UNDERGROUND ELEC LINE
[Symbol]	100
[Symbol]	101
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	GRADE SPOT SHOT
[Symbol]	TC 100.50
[Symbol]	BC 100.00
[Symbol]	TOP OF CURB SHOT
[Symbol]	BOTTOM OF CURB SHOT
[Symbol]	HANDICAP PARKING
[Symbol]	LANDSCAPING
[Symbol]	GAS METER
[Symbol]	AIR CONDITIONING UNIT
[Symbol]	PINE TREE - DIAMETER NOTED
[Symbol]	CLEAN OUT
[Symbol]	IRON PIN
[Symbol]	BENCHMARK
[Symbol]	DETECTABLE WARNING STRIP

SURVEY NOTES

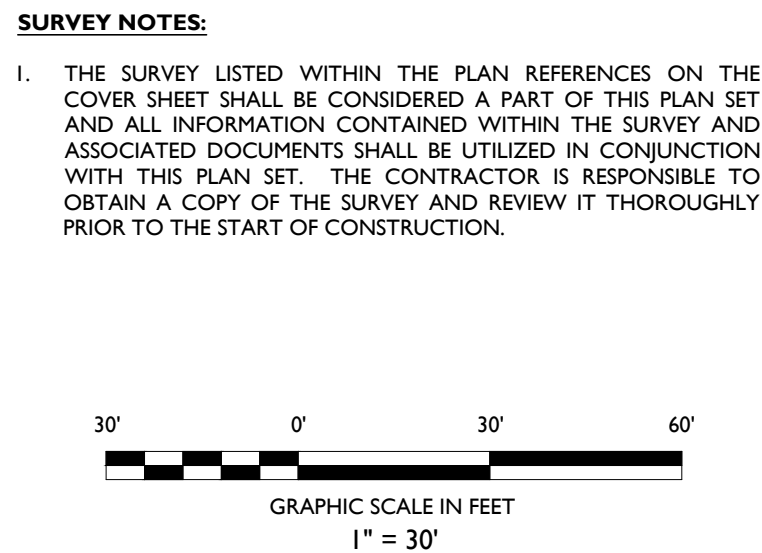
- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2024, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) EAST ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
- BENCHMARK = DOCK SPIKE = 68.81 (NAVD88), LOCATED NEAR THE SOUTH CORNER OF THE EXISTING BUILDING.
BENCHMARK = MAG NAIL = 74.09 (NAVD88), LOCATED ALONG THE NORTH EAST PROPERTY LINE
- BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.

SURVEY REFERENCES

- A DEED BETWEEN 25 CORPORATE DRIVE LLC, (GRANTOR) AND ORANGEBURG NY HOLDINGS LLC, (GRANTEE), DATED NOVEMBER 18TH, 2022, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS INSTRUMENT #2022-00041363
- A TAX MAP SHEET 73.19, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE, NEW YORK, REVISED THROUGH MARCH 1, 2022.
- A MAP ENTITLED "SUBDIVISION OF SECTION 1 OF ROCKLAND CORPORATE PARK", DESIGNED BY HENRY HOROWITZ, INC., FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5761, BOOK 103, PAGE 69, FILED ON JUNE 25, 1985.
- A MAP ENTITLED "SUBDIVISION OF TAX LOT 36-345-18.6, ROCKLAND CORPORATE PARK", DESIGNED BY HENRY HOROWITZ, INC., FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5832, BOOK 104, PAGE 64, FILED ON DECEMBER 17TH, 1985.

LAND AREA NOTES
LAND AREA OF LOT 6, BLOCK 1, SECTION 73.19 = 180,181 SQ. FT. OR 4.136 ACRES

FLOOD NOTE
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 360686, MAP NUMBER 36087C0186G WHICH BEARS AN EFFECTIVE DATE OF MARCH 3RD, 2014.



ISSUED FOR REVIEW: JZ
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2 12/02/2024
1 06/11/2024

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SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

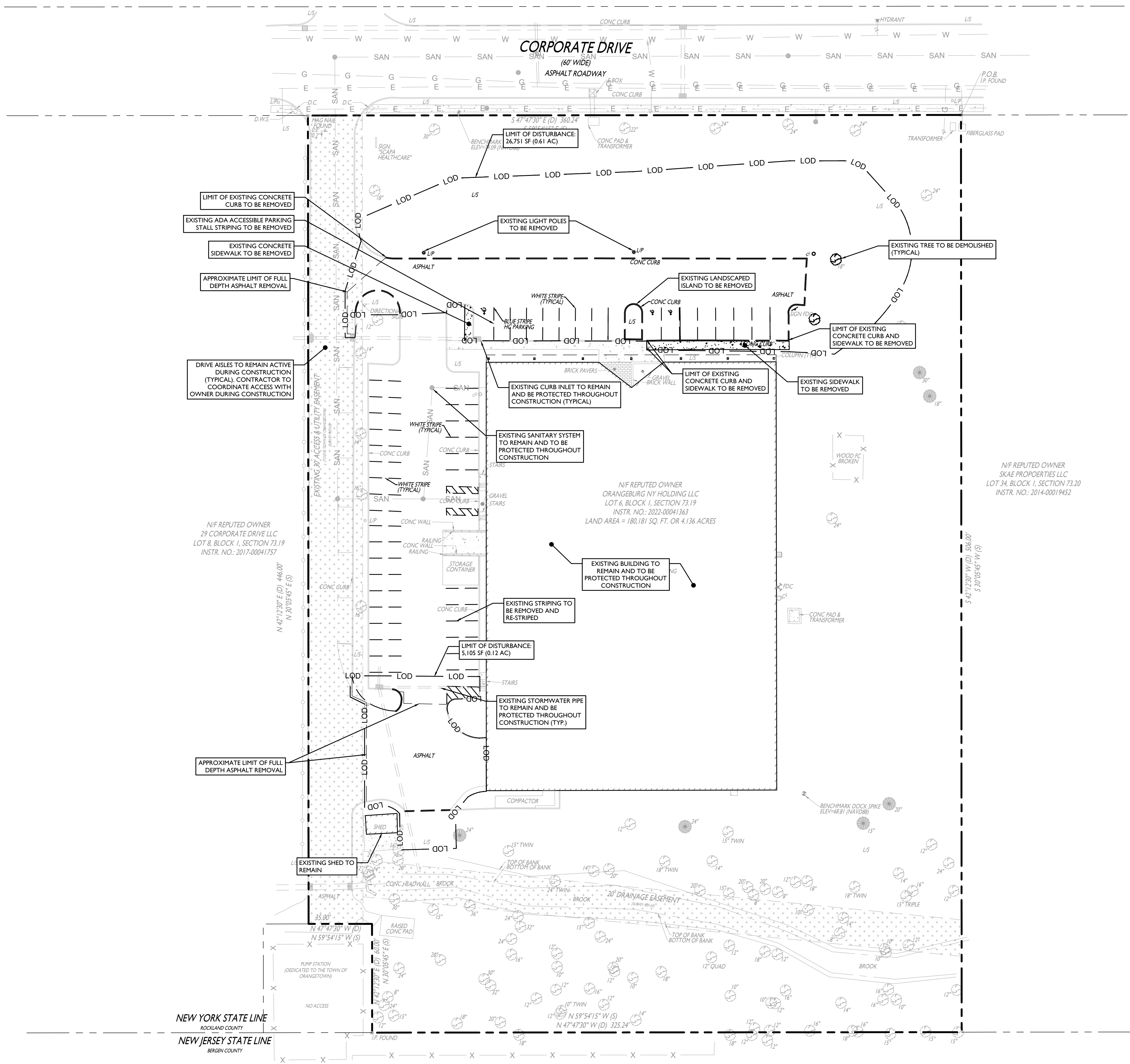
ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:
C-2



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

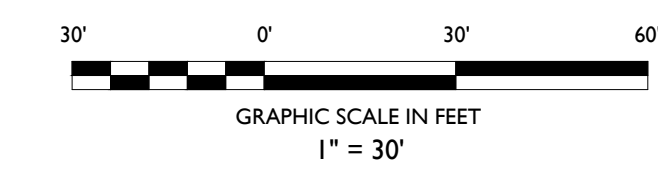


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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED BEFORE THE START OF ANY EXPLOSIVE PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

TOTAL AREA OF DISTURBANCE: 31,856 SF (0.73 ACRES)



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JZ	JF	12/02/2024		
		06/11/2024		
2	1			

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SITE PLAN

MATV HOLDINGS INC.

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ROCKLAND COUNTY, NEW YORK

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NEW YORK LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

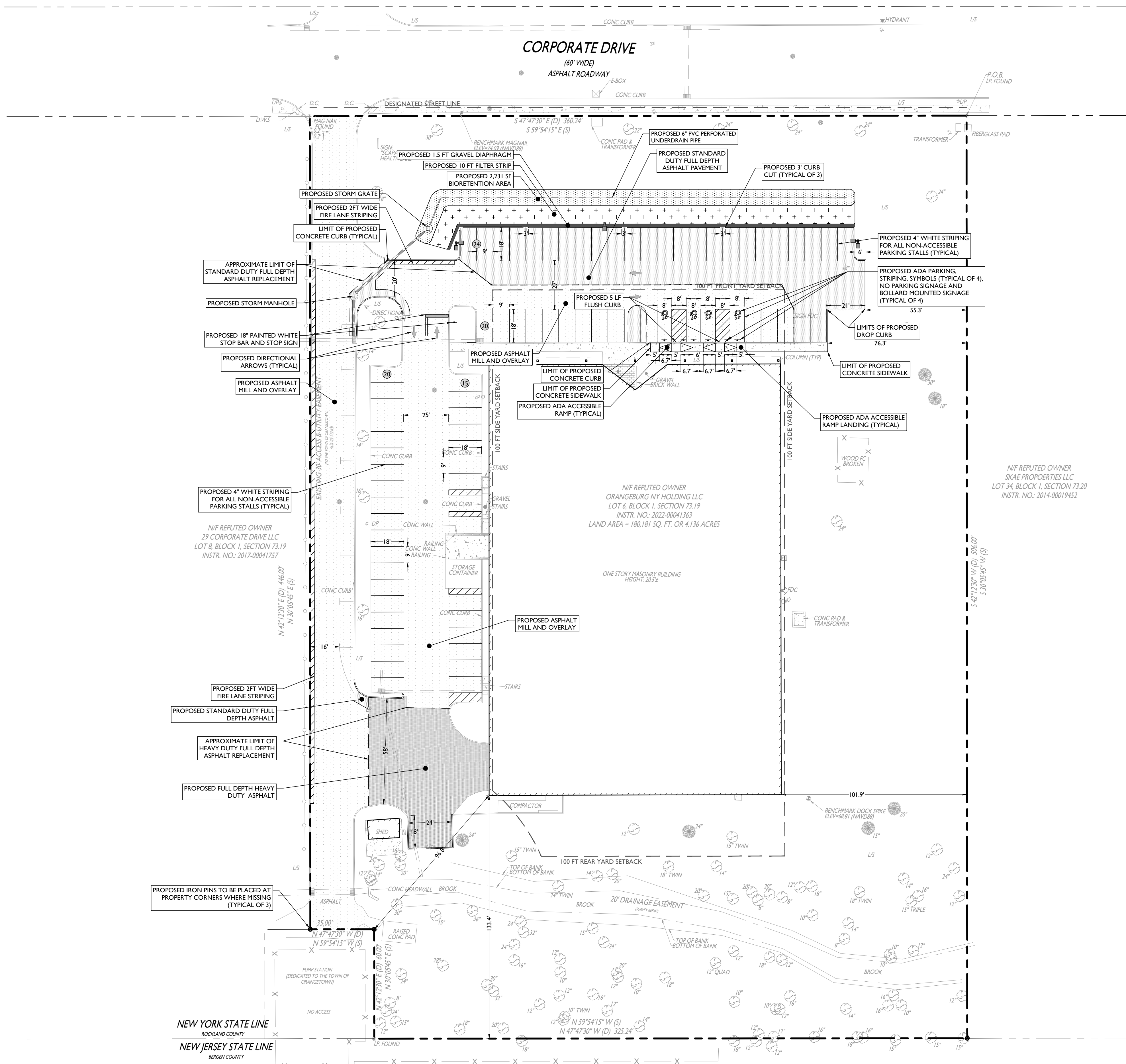
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SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
DEMOLITION PLAN

DRAWING:
C-3

U:\STONEFIELD\DESIGN\PROJECTS\NY\230218 ORANGETOWN MATV INC\PROJECT - 25 CORPORATE DRIVE, ORANGETOWN, NY\CAD\DWG\230218-D3-DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	SETBACK LINE
=====	PROPOSED CURB
-----	PROPOSED DROP CURB
==	PROPOSED FLUSH CURB
▨	PROPOSED MILL AND OVERLAY
▩	PROPOSED STANDARD DUTY FULL DEPTH ASPHALT
▧	PROPOSED HEAVY DUTY FULL DEPTH ASPHALT
---	PROPOSED SAWCUT LINE
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED AREA LIGHT

LAND USE AND ZONING			
BLOCK 1, LOT 6			
LIGHT INDUSTRIAL OFFICE DISTRICT (LIO)			
PROPOSED USE	RESEARCH & TESTING LAB	PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2.00 AC	4.14 AC (180,181 SF)	NO CHANGE
MINIMUM LOT WIDTH	300 FT	360.2 FT	NO CHANGE
MINIMUM STREET FRONTAGE	150 FT	360.2 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	75%	42.9% (77,332 SF)	46.9% (84,490 SF)
MAXIMUM FLOOR AREA RATIO	0.40	0.21 (37,571 SF)	NO CHANGE
MAXIMUM BUILDING HEIGHT	(2) + 136' 10" = 34' 2"	<34' 2"	NO CHANGE
MINIMUM FRONT YARD SETBACK	100 FT	136.8 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (ONE)	100 FT	96.8 FT (EN)	NO CHANGE
MINIMUM SIDE YARD SETBACK (BOTH)	200 FT	198.7 FT (EN)	NO CHANGE
MINIMUM REAR YARD SETBACK	100 FT	133.4 FT	NO CHANGE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 43 ATTACHMENT B	REQUIRED PARKING FOR RESEARCH FACILITIES: 1 SPACE FOR EACH 2 EMPLOYEES OR 300 SQUARE FEET OF GROSS FLOOR AREA 37,571 SF / 300 SF = 125 REQUIRED SPACES	79 SPACES (V)
§ 43.6.34	REQUIRED PARKING STALL SIZE: 9 FT X 18 FT	9 FT X 18 FT
§ 43.6.34	REQUIRED DRIVE AISLE SIZE: ANGLED PARKING: 20 FT 90 DEGREE PARKING: 22 FT	25 FT
§ 43.6.41(b)	REQUIRED LOADING BERTHS: FOR EACH 25,000 SF OF FLOOR AREA, ONE LOADING BERTH IS REQUIRED 37,731 SF / 25,000 SF = 2 REQUIRED BERTHS	2 BERTHS COMPLIES

SUPPLEMENTAL REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 43 ATTACHMENT B	ALL AREAS NOT USED FOR BUILDING OR FOR ACCESSORY OFF-STREET PARKING SHALL BE SUITABLY LANDSCAPED AND MAINTAINED IN GOOD CONDITION. SCREENINGS SHALL BE PROVIDED IN THE MANNER REQUIRED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION, AND PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE PROPOSED SCREENING PLANS SHALL BE SUBMITTED TO AND APPROVED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION.	COMPLIES
§ 43 ATTACHMENT B	ENTRANCES AND EXITS SHALL BE LOCATED ONLY ON A COMMERCIAL STREET, IMPROVED TO CONFORM WITH THE TOWN BOARD SPECIFICATIONS ORDINANCE, AND SHALL BE SO LOCATED AS TO DRAW A MINIMUM OF VEHICULAR TRAFFIC TO AND THROUGH RESIDENTIAL STREETS.	COMPLIES
§ 43 ATTACHMENT B	NO PARKING IS PERMITTED IN ANY REQUIRED YARD, UNLESS PERMITTED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION. THIS PERMISSION MAY BE GIVEN AT THE TIME OF SITE REVIEW, OR AT THE TIME OF THE APPROVAL OF A COMMERCIAL SUBDIVISION OR CONDITIONAL USE APPROVAL.	DOES NOT COMPLY (V)

(V) VARIANCE

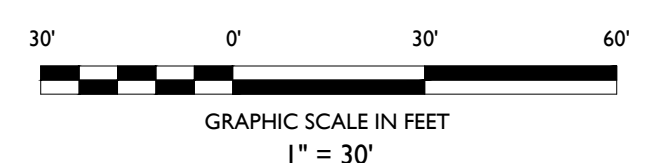
IMPERVIOUS COVERAGE IS INCREASING BY 5,768 SF

TOTAL AREA OF DISTURBANCE: 31,856 SF (0.73 ACRES)

SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK BEING DONE ON OR NEAR THE ANY OF THE EXISTING OR PROPOSED SANITARY SEWER IMPROVEMENTS AND OR THE PROPOSED SANITARY BUILDING CONNECTION



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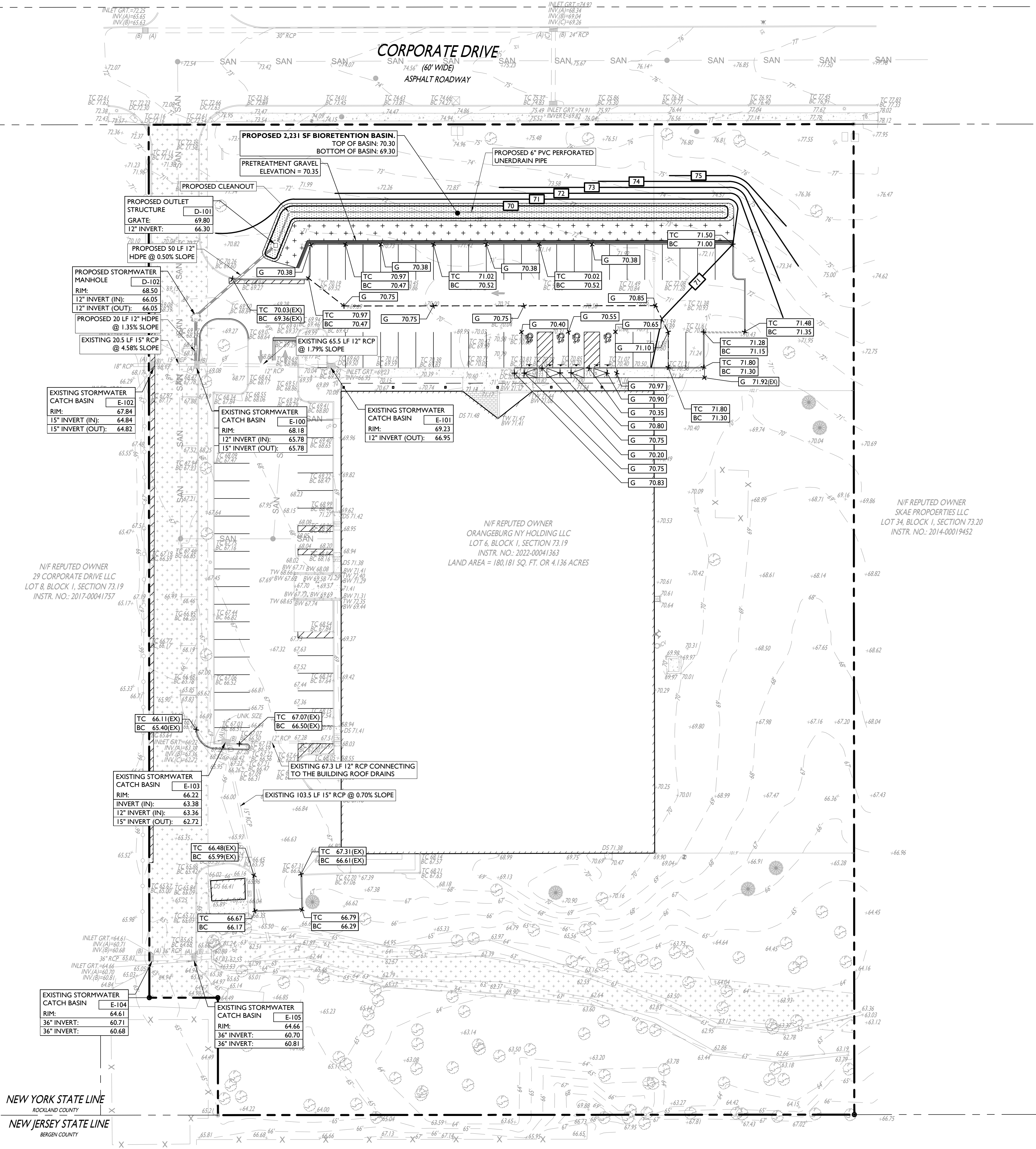
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SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE: **SITE PLAN**

DRAWING: **C-4**

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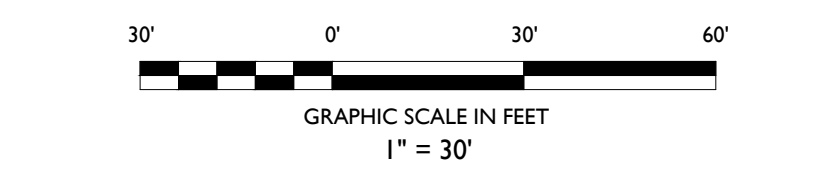


SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT

LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30\"/>



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SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
23 CORPORATE DRIVE
HAMLET OF ORANGETOWN, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER

ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

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engineering & design

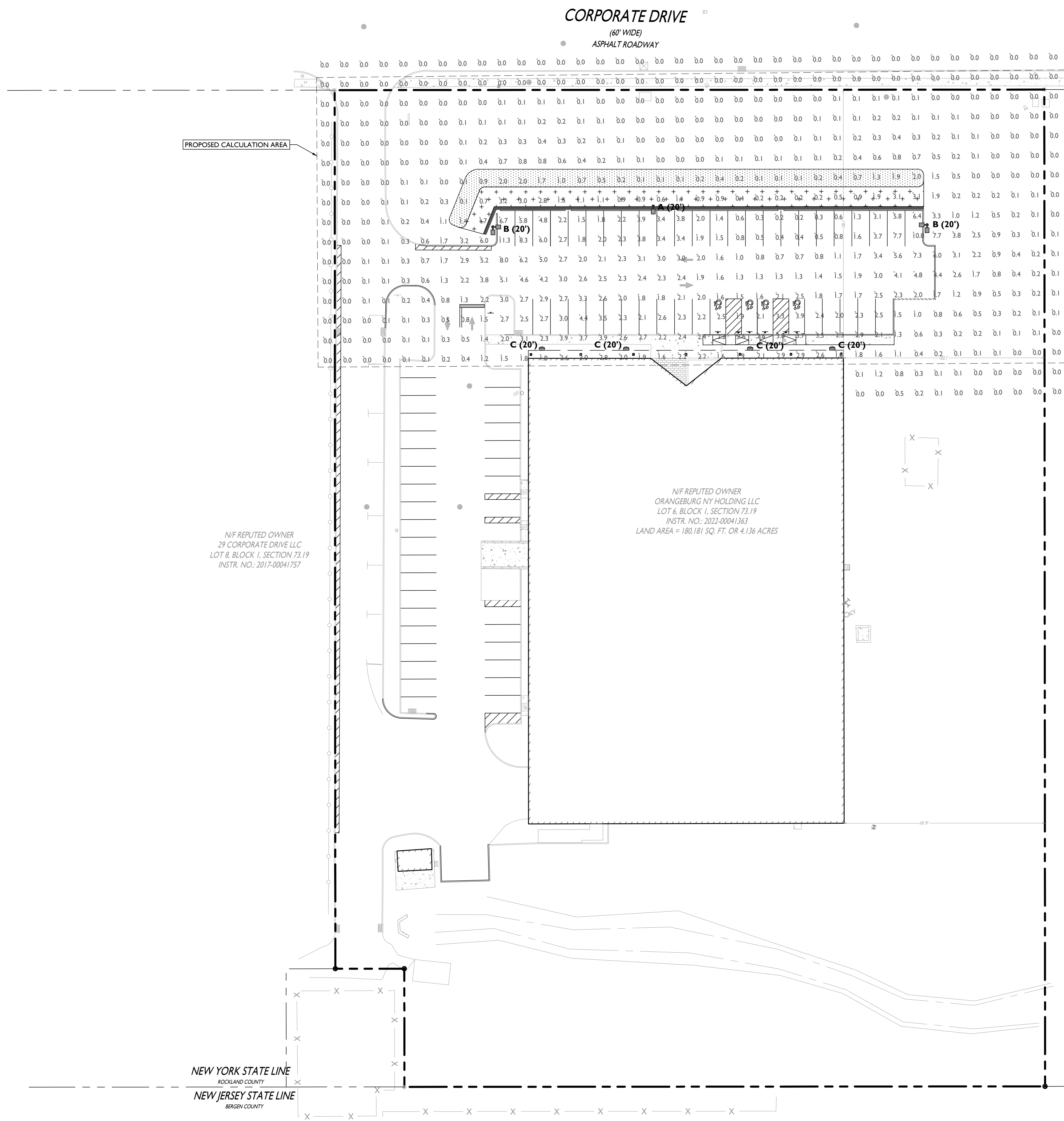
SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
GRADING & DRAINAGE PLAN

DRAWING:
C-5

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 DATE PLOTTED: 12/02/2024 10:00:00 AM
 PLOTTER: HP DesignJet 2550C
 PLOT SCALE: 1" = 30'
 PLOT AREA: 11.00 x 17.00
 PLOT OFFSET: 0.50 x 0.50
 PLOT ORIGIN: 0.00 x 0.00
 PLOT UNIT: INCHES
 PLOT WEIGHT: 24.00 LBS
 PLOT COLOR: BLACK
 PLOT FONT: Arial, 10pt
 PLOT LINEWEIGHT: 0.20mm
 PLOT STYLE: STONEFIELD.ctb
 PLOT DEVICE: HP DesignJet 2550C

U:\STONFIELD\CORPORATE\NYC230218\ORAN\NYC230218\ORAN\NYC230218\NYC230218\LIGHTING.dwg



SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xxx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
[Symbol]	PROPOSED AREA LIGHT
[Symbol]	PROPOSED BUILDING MOUNTED LIGHT

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
[Symbol]	A	1	EVOLVE LED AREA LIGHT (EACL)	ASYMMETRIC FORWARD THROW (TYPE IV)	0.9	GE CURRENT	EACL01_D4AF740...ELS-EAC-RBL-CLCK.IES
[Symbol]	B	2	EVOLVE LED AREA LIGHT (EACL)	ASYMMETRIC WIDE THROW (TYPE IV)	0.9	GE CURRENT	EACL01_D3AW740...ELS-EAC-ABL-CLCK.IES
[Symbol]	C	4	CREE EDGE WALL MOUNTED LIGHT	TYPE IV	0.9	CREE	SEC-EDG-4M...8-E-UL-350-40K-CONFIGURED.IES

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ISSUED FOR REVIEW	ISSUED FOR REVIEW	DATE	BY	DESCRIPTION
JZ	JZ	12/02/2024		
	JF	06/11/2024		
2	1			ISSUE

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SITE PLAN

MATV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER

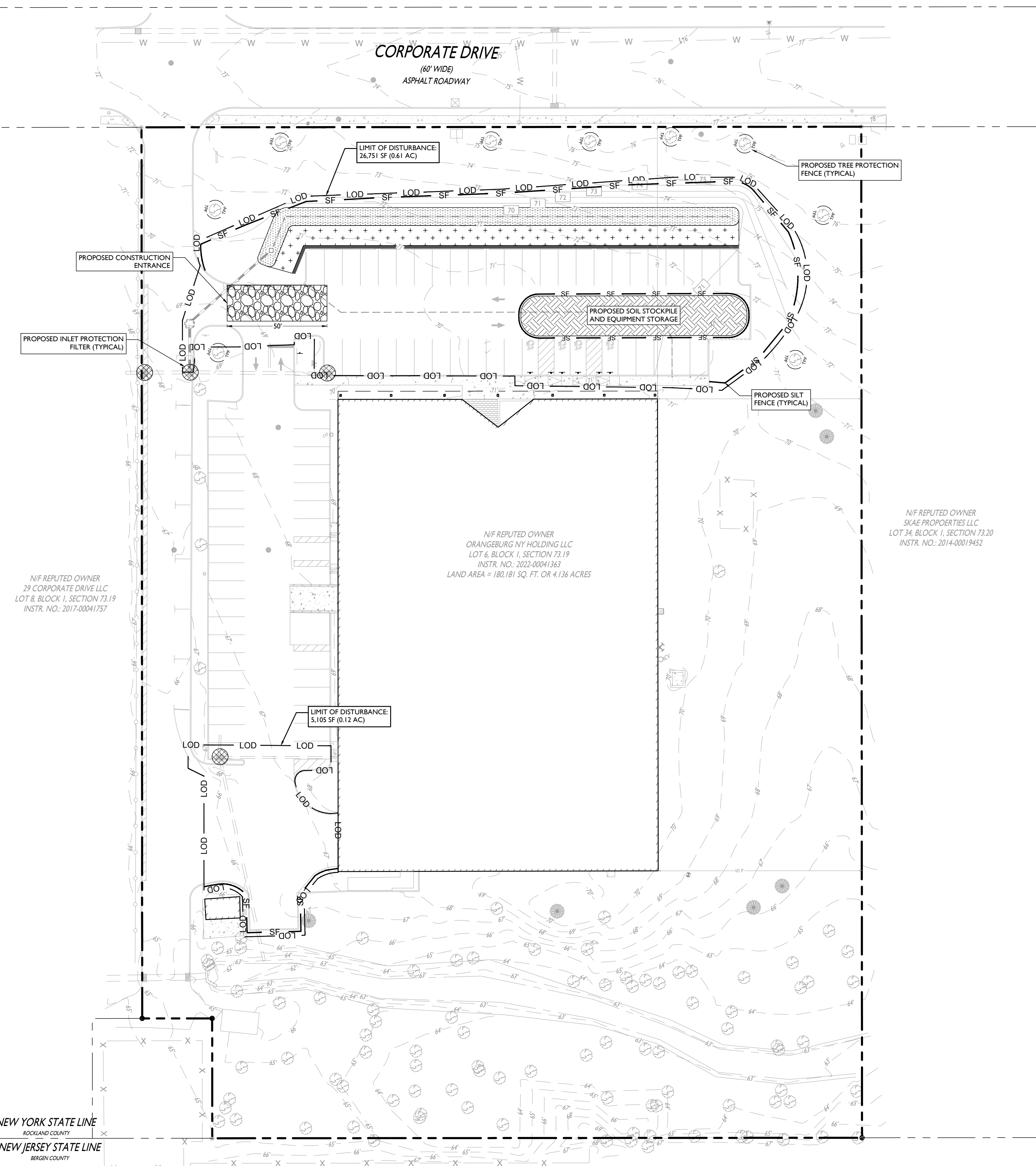
ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
LIGHTING PLAN

DRAWING:
C-6



N/F REPUTED OWNER
29 CORPORATE DRIVE LLC
LOT 8, BLOCK 1, SECTION 73.19
INSTR. NO.: 2017-00041757

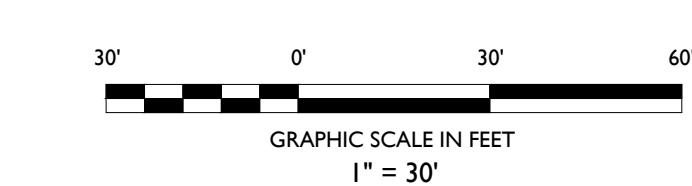
N/F REPUTED OWNER
ORANGETOWN NY HOLDING LLC
LOT 6, BLOCK 1, SECTION 73.19
INSTR. NO.: 2022-00041363
LAND AREA = 180,181 SQ. FT. OR 4.136 ACRES

N/F REPUTED OWNER
SKAE PROPERTIES LLC
LOT 34, BLOCK 1, SECTION 73.20
INSTR. NO.: 2014-00019452

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

TOTAL AREA OF DISTURBANCE: 31,856 SF (0.73 ACRES)



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		06/17/2024		
2	1			ISSUE

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SITE PLAN

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ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK
PROFESSIONAL ENGINEER

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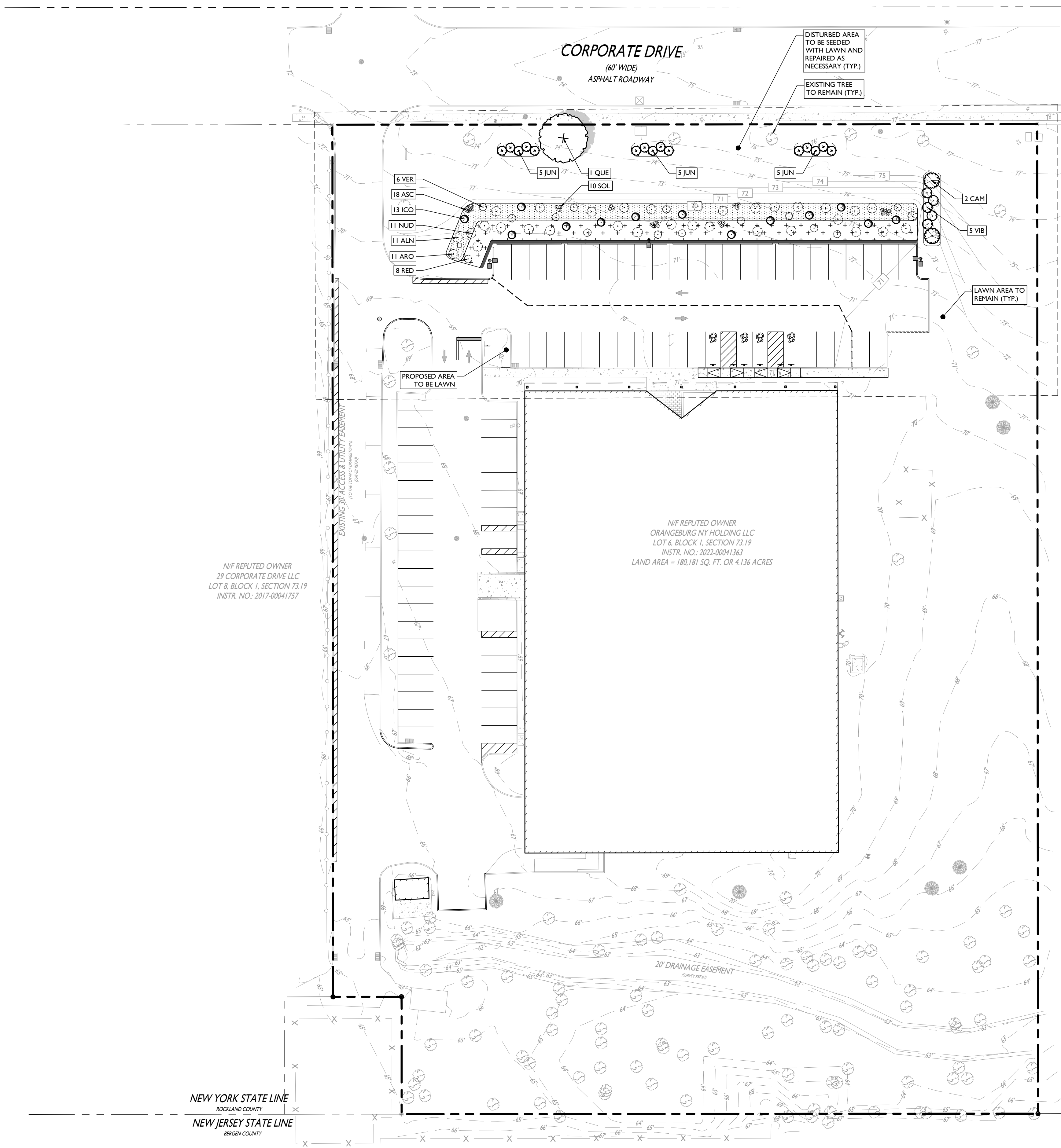
SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:
C-7

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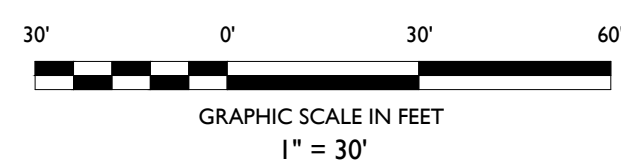
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Know what's below
Call before you dig.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	QUE	1	QUERCUS PALUSTRIS	PIN OAK	2.5" - 3" CAL	B&B
SHRUBS						
	ARO	11	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18" - 24"	POT
	ALN	11	CLETHRA ALNIFOLIA	SUMMERSWEET	18" - 24"	POT
	CAM	2	CORNUS AMOMUM	SILKY DOGWOOD	18" - 24"	POT
	VER	6	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	18" - 24"	POT
	RED	8	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT
	VIB	5	VIBURNUM DENTATUM	VIBURNUM	18" - 24"	POT
	NUD	11	VIBURNUM NUDDUM	POSSUMHAW	18" - 24"	POT
EVERGREEN SHRUBS						
	ICO	13	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT
	JUN	15	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" - 24"	POT
PERENNIALS						
	ASC	18	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL.	POT
	SOL	10	SOLIDAGO CAESIA	WREATH GOLDENROD	1 GAL.	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

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2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/11/2024	JF	ISSUED FOR REVIEW

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SITE PLAN

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ROCKLAND COUNTY, NEW YORK

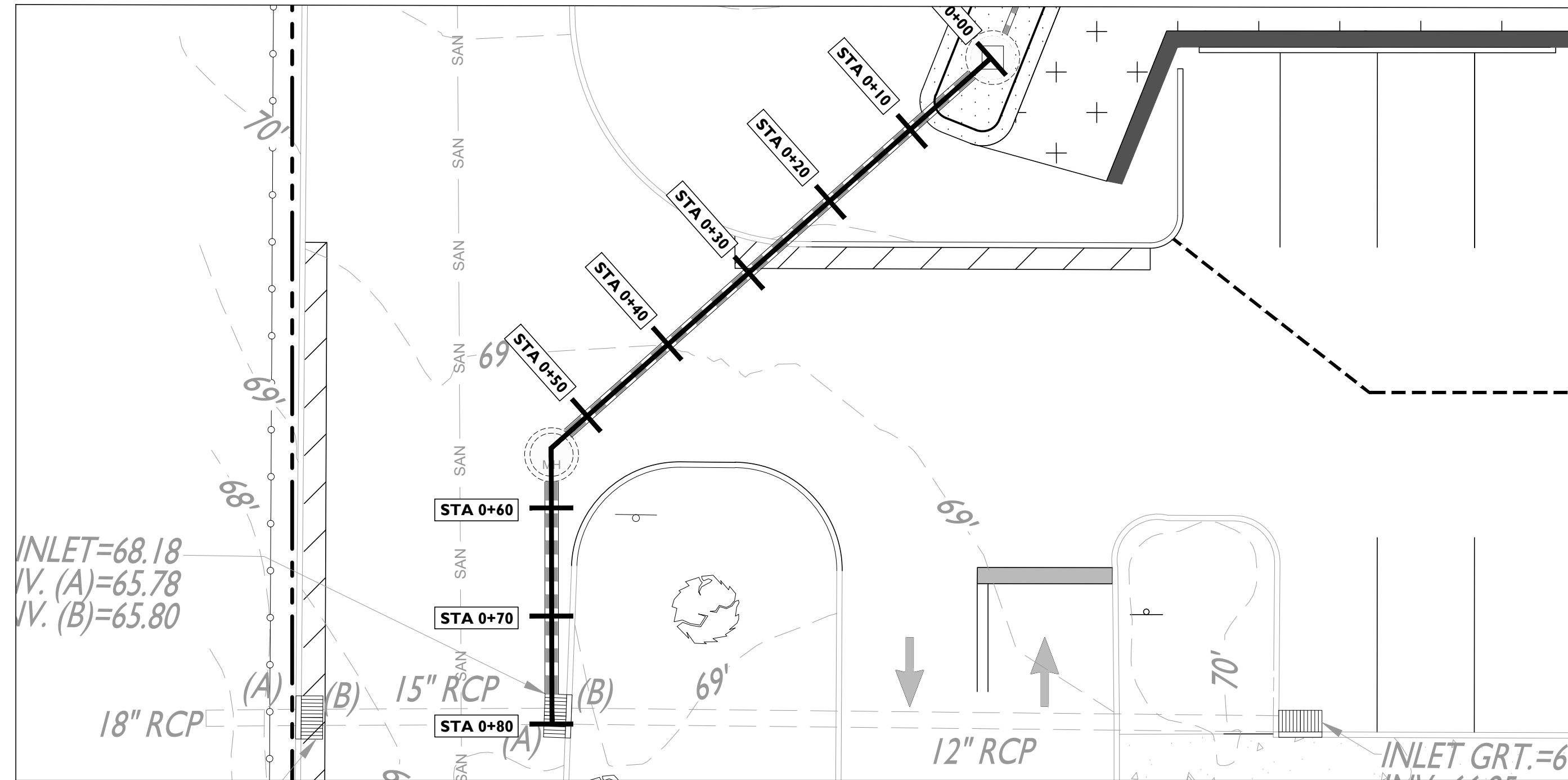
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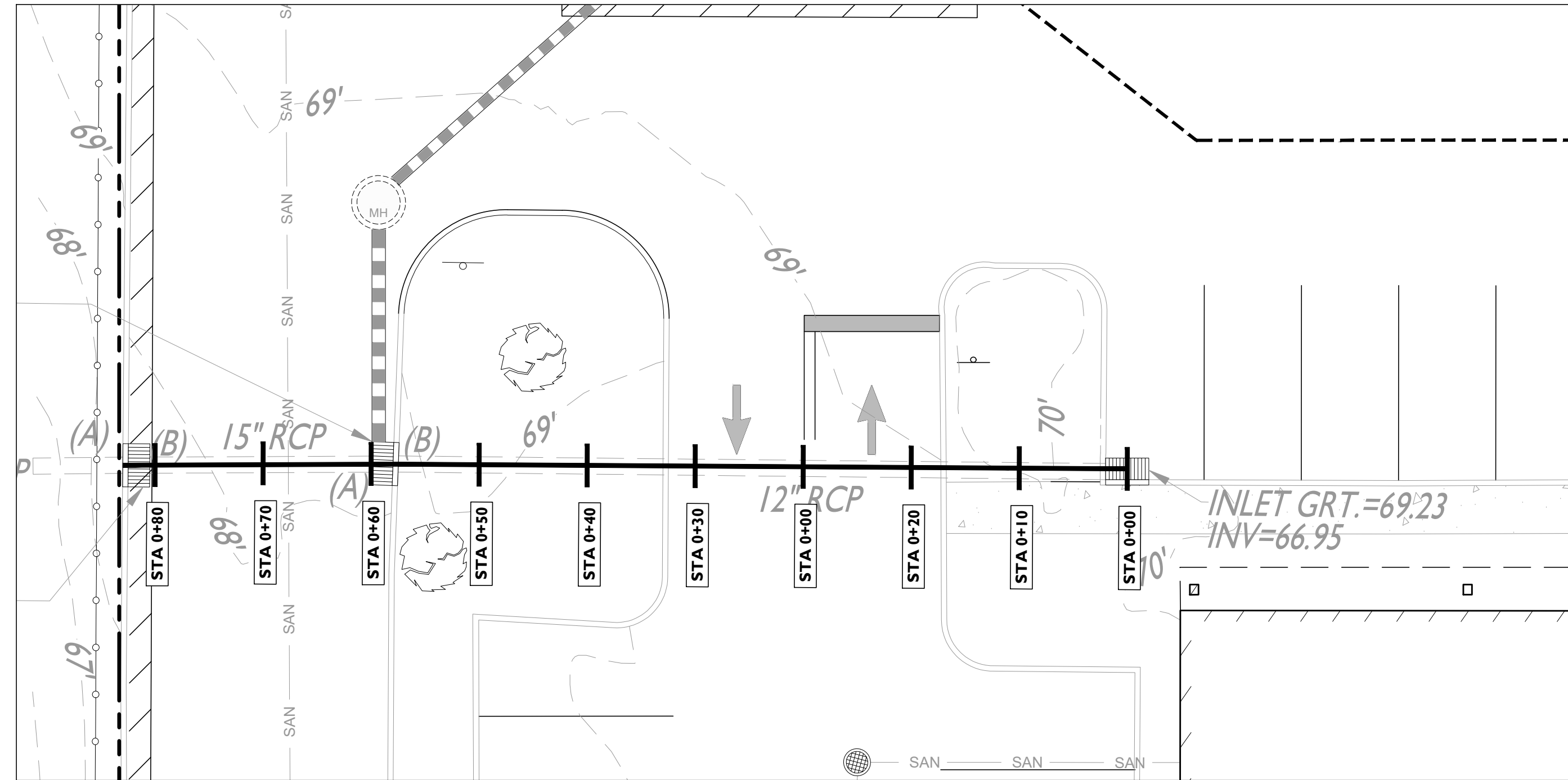
SCALE: 1" = 30' PROJECT ID: NYC-230218

TITLE:
LANDSCAPING PLAN

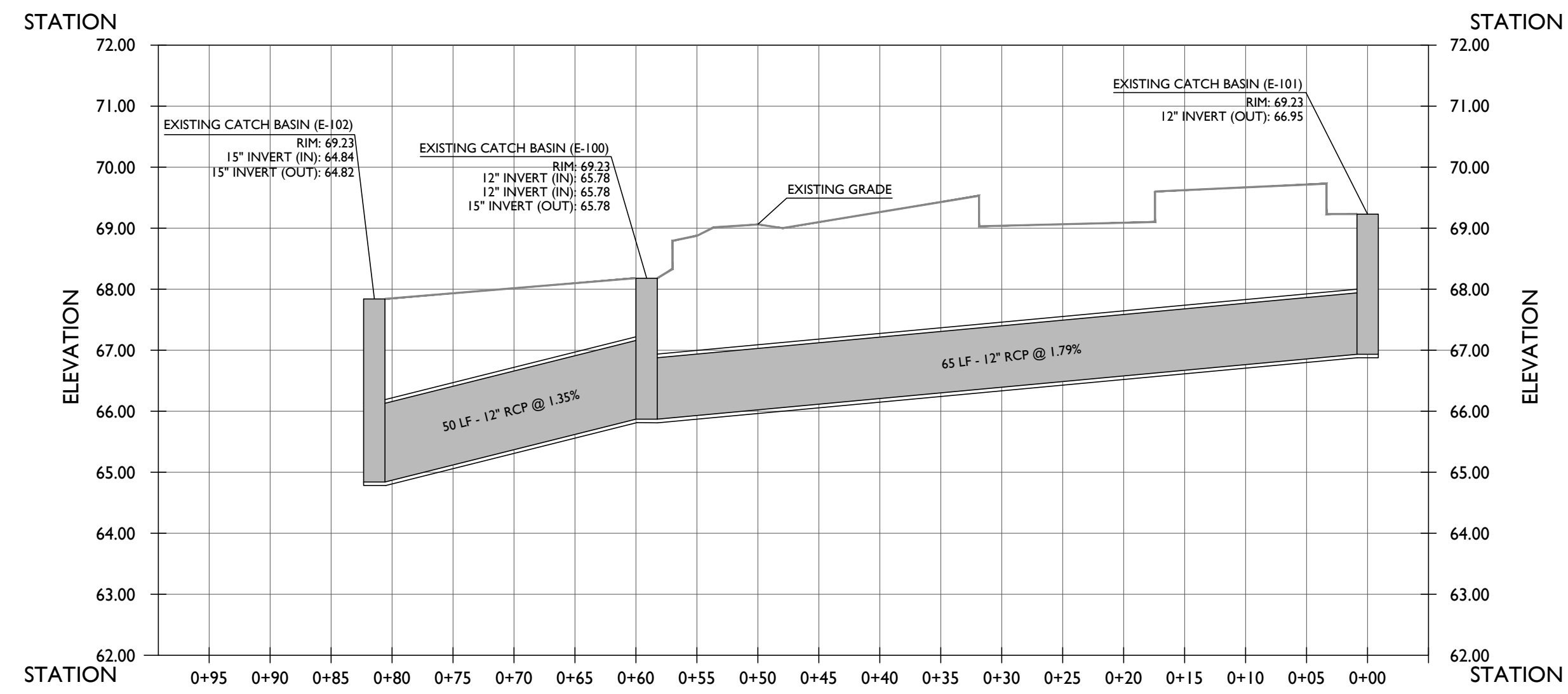
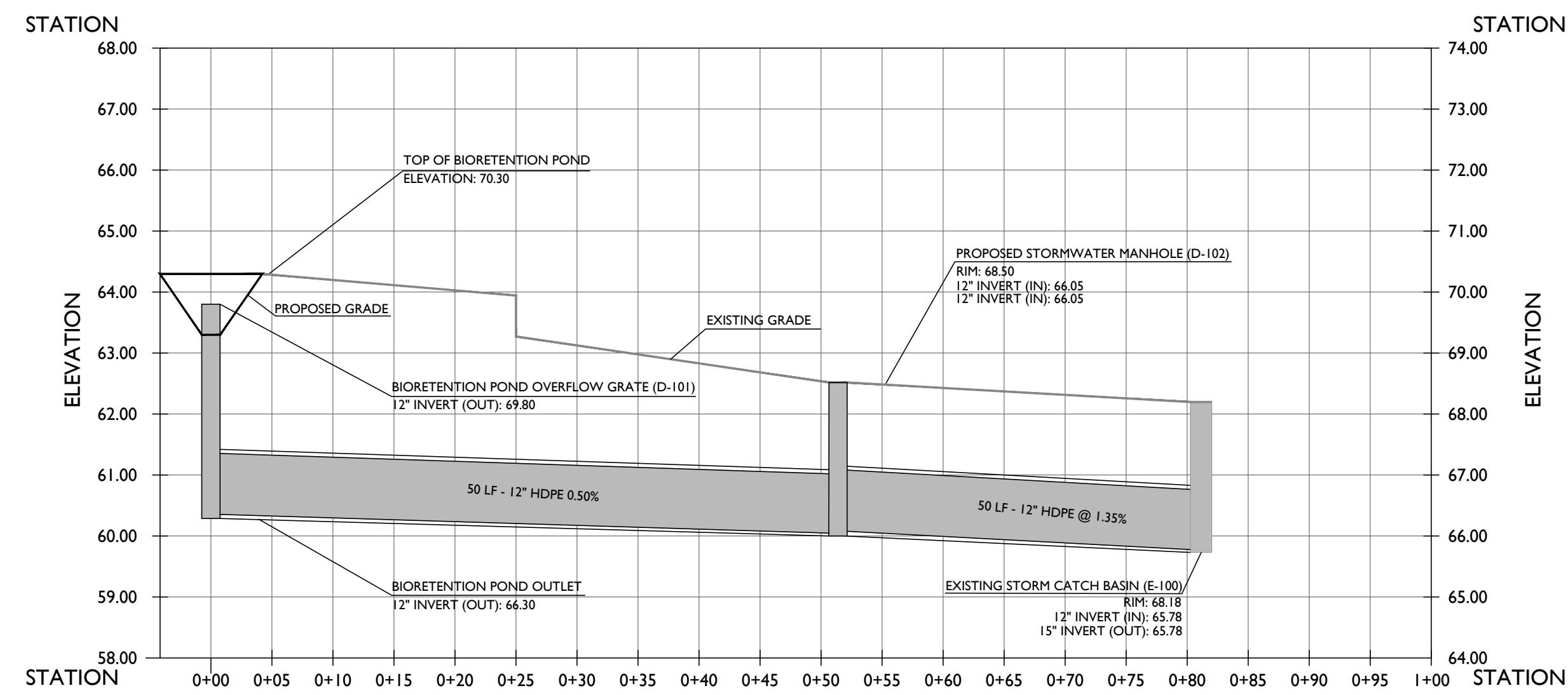
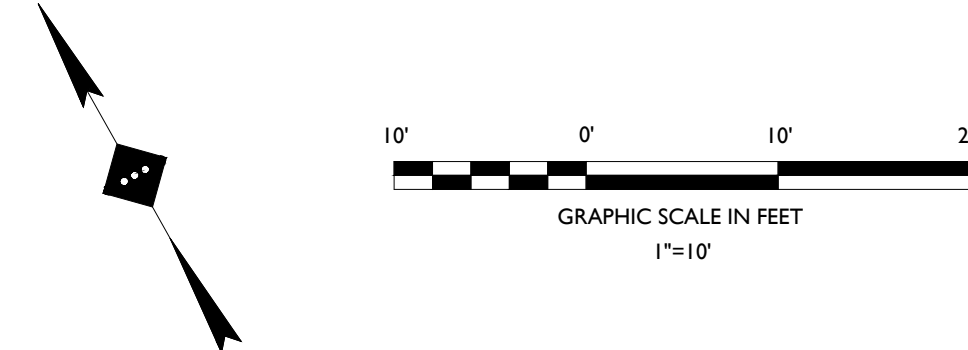
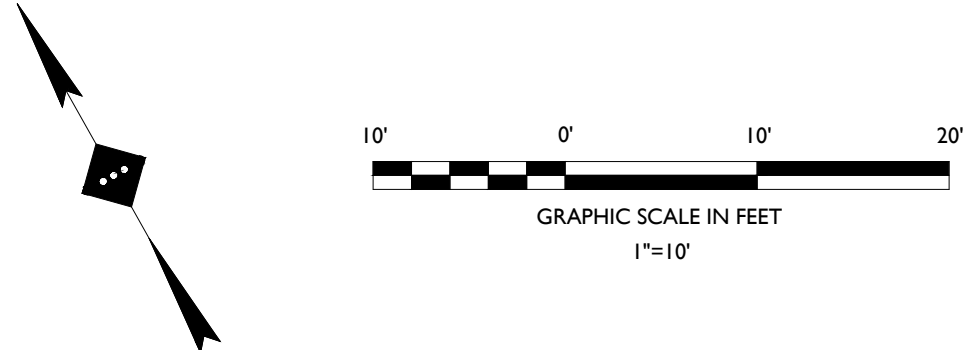
DRAWING:
C-8



STORM STATIONING PLAN



EXISTING STORM STATIONING



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1	12/02/2024	JZ	ISSUED FOR REVIEW

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 HAMLET OF ORANGETOWN, NEW YORK
 ROCKLAND COUNTY, NEW YORK

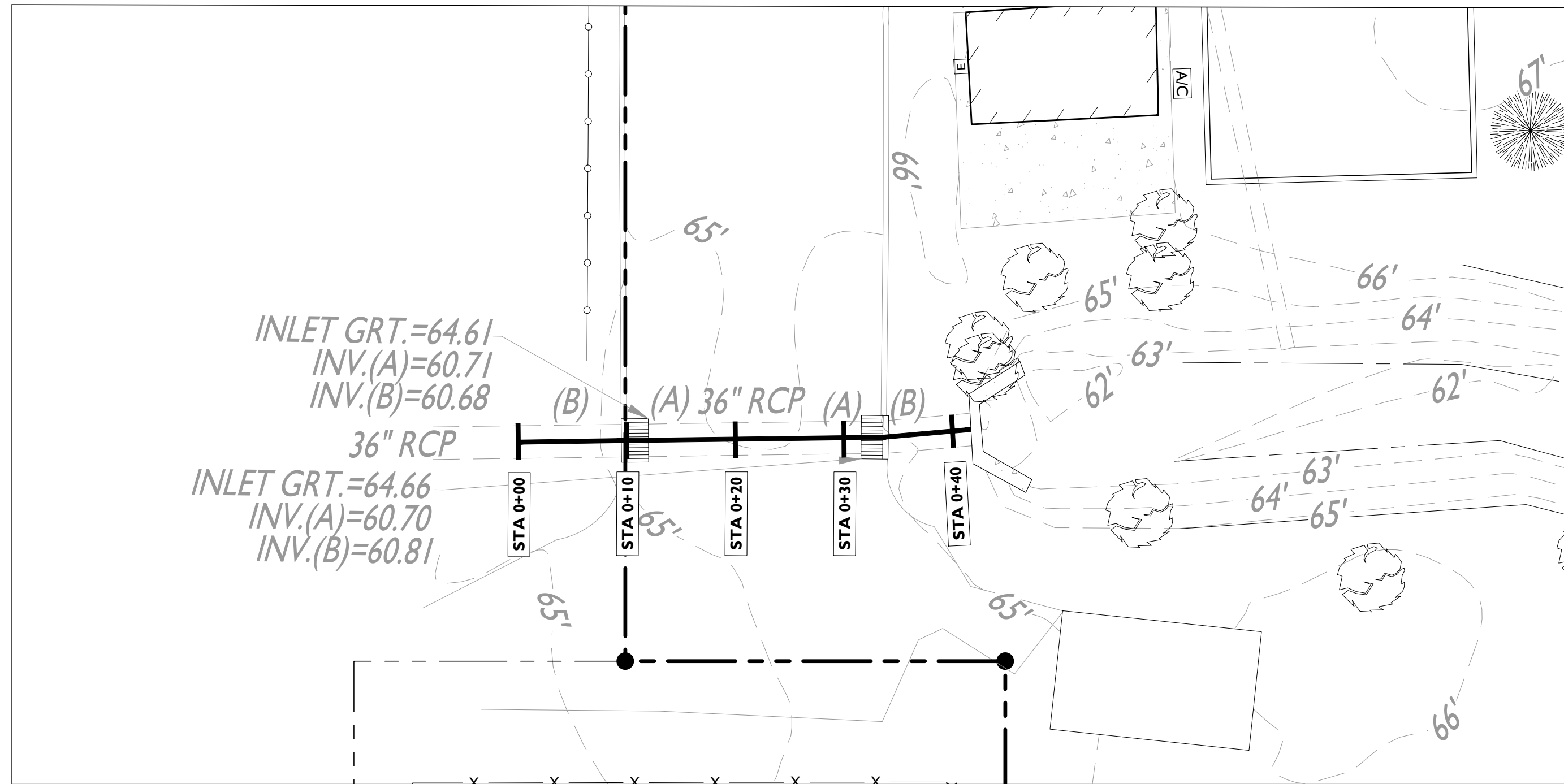
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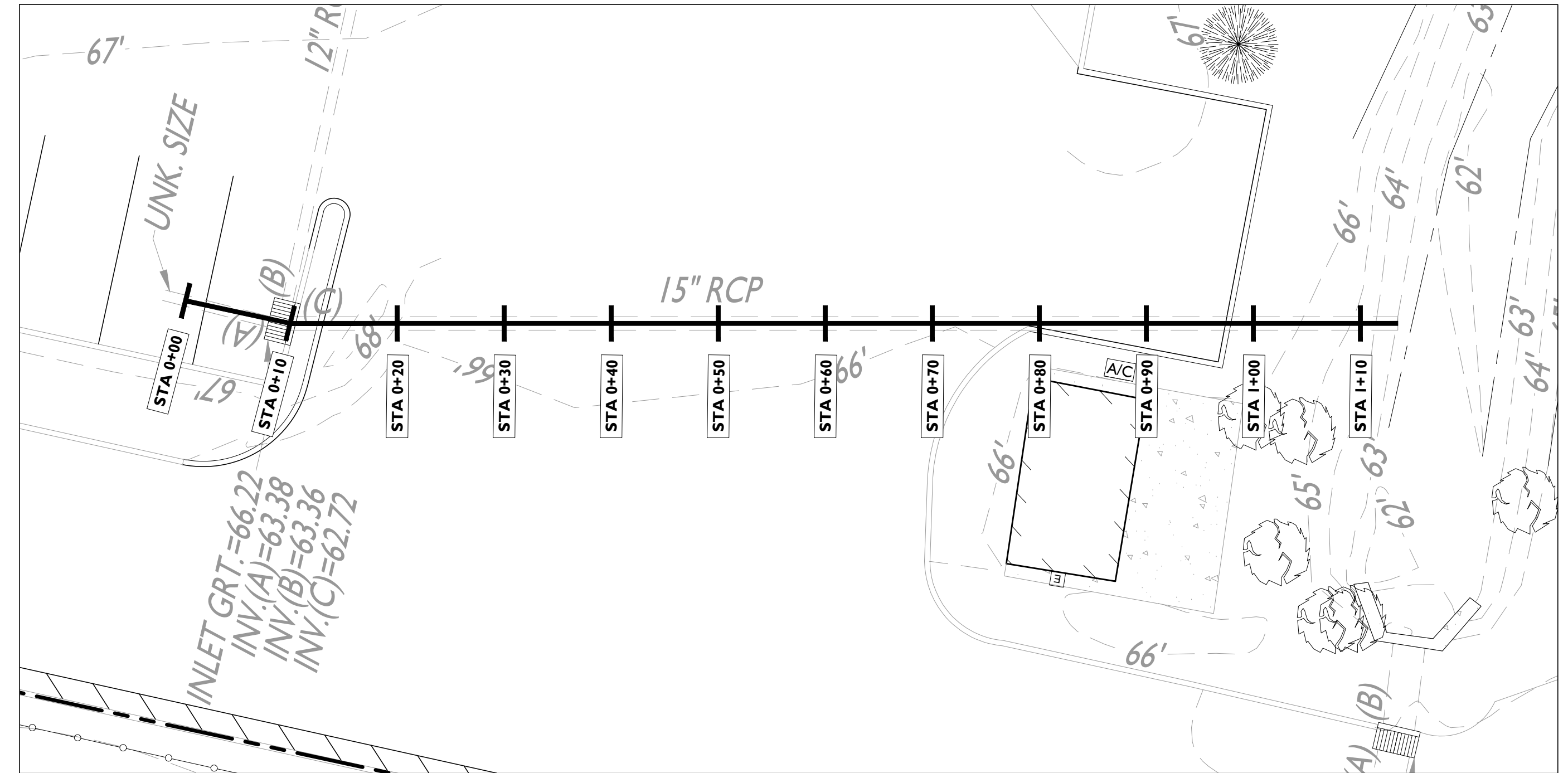
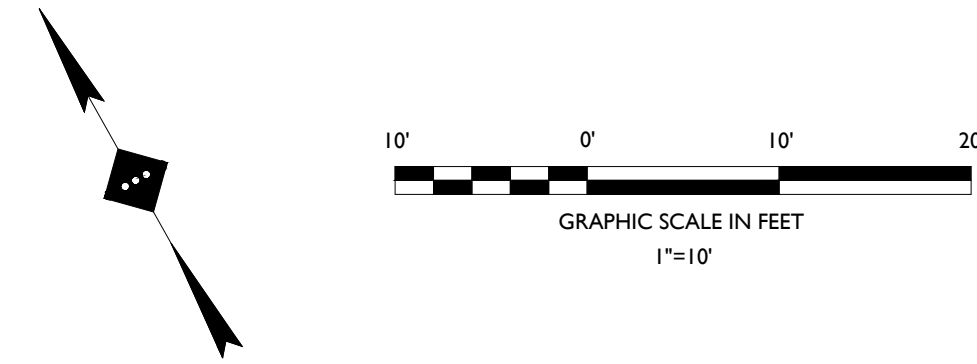
SCALE: 1" = 20' PROJECT ID: NYC-230218

TITLE: **STORM PROFILE**

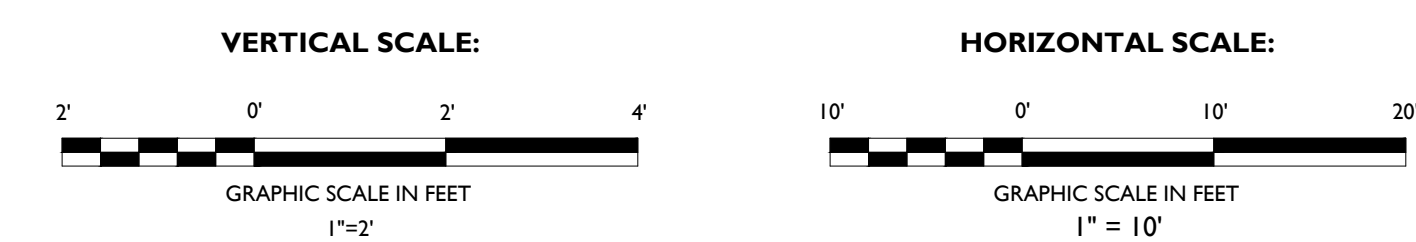
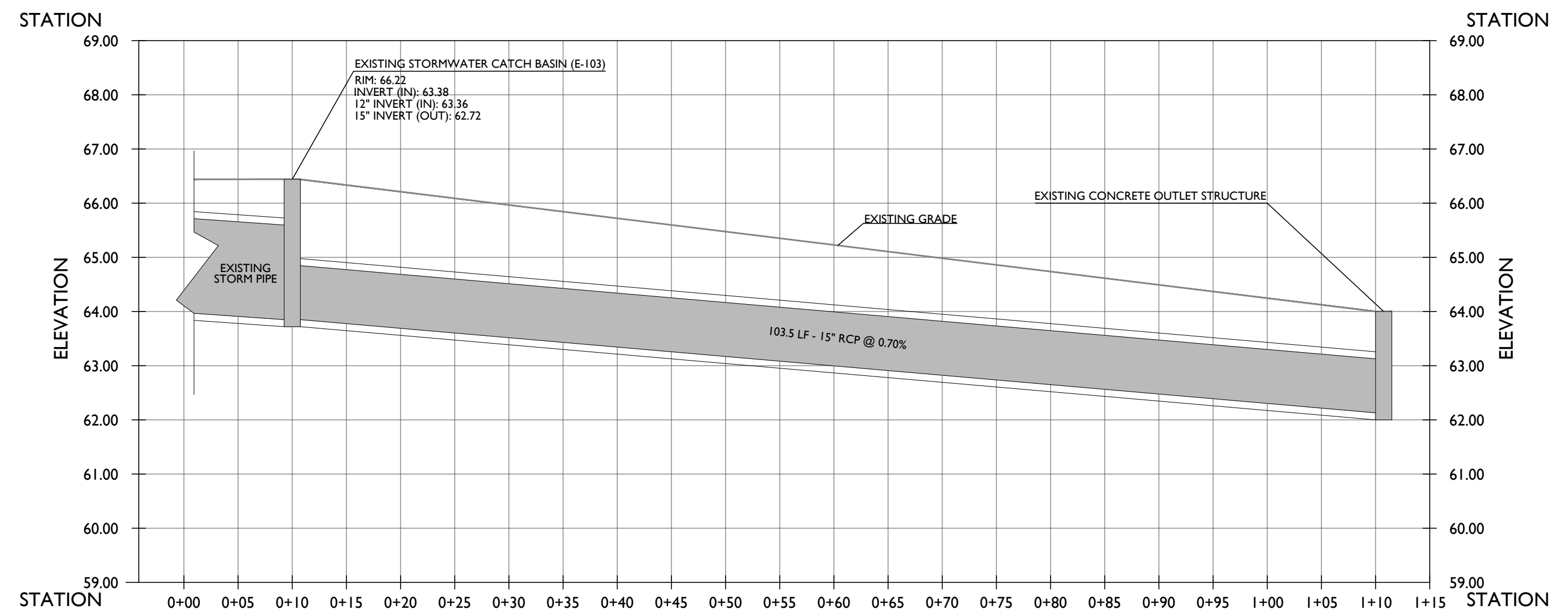
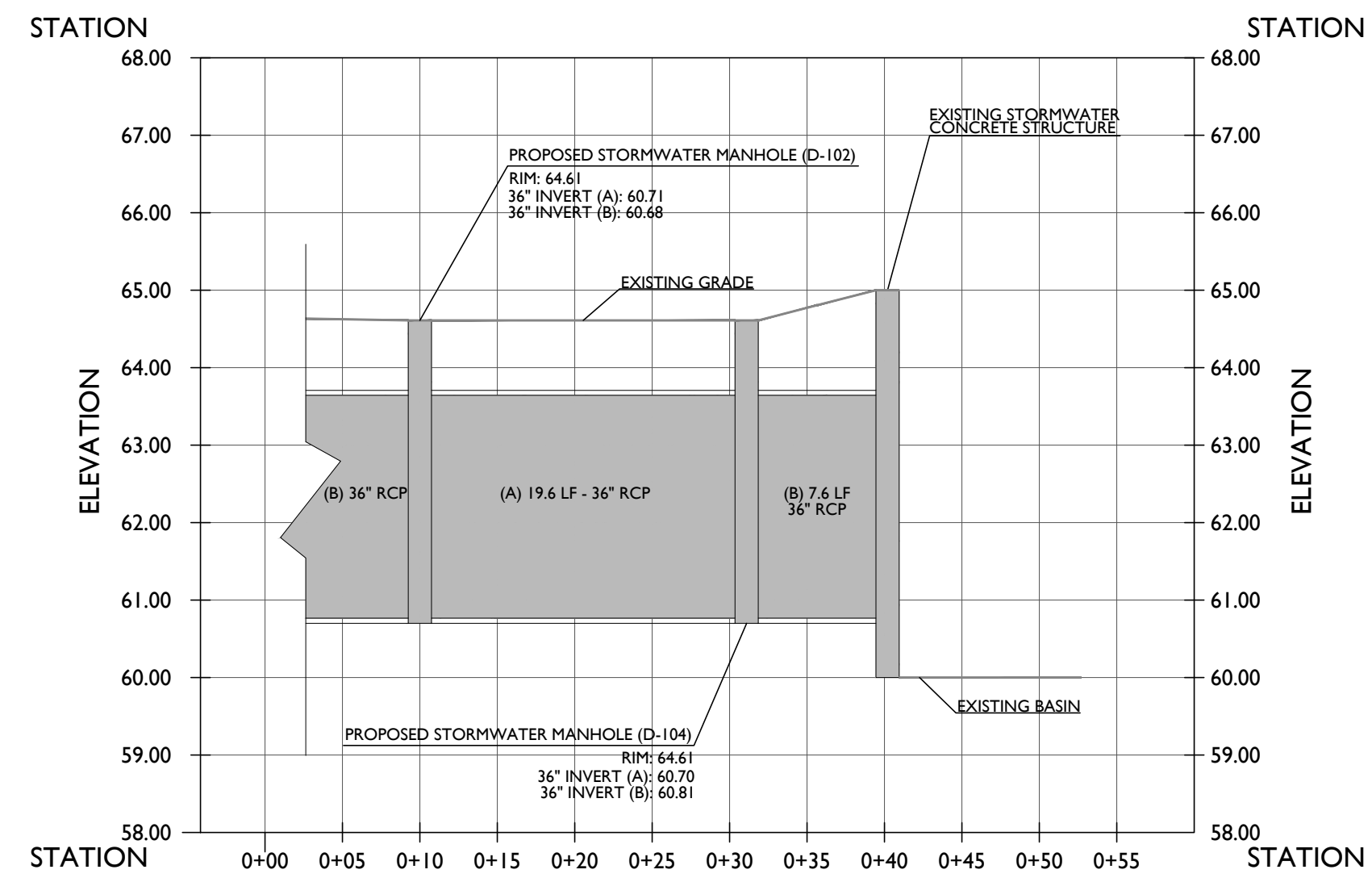
DRAWING: **C-10**



EXISTING STORM STATIONING



EXISTING STORM STATIONING



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ROCKLAND COUNTY, NEW YORK

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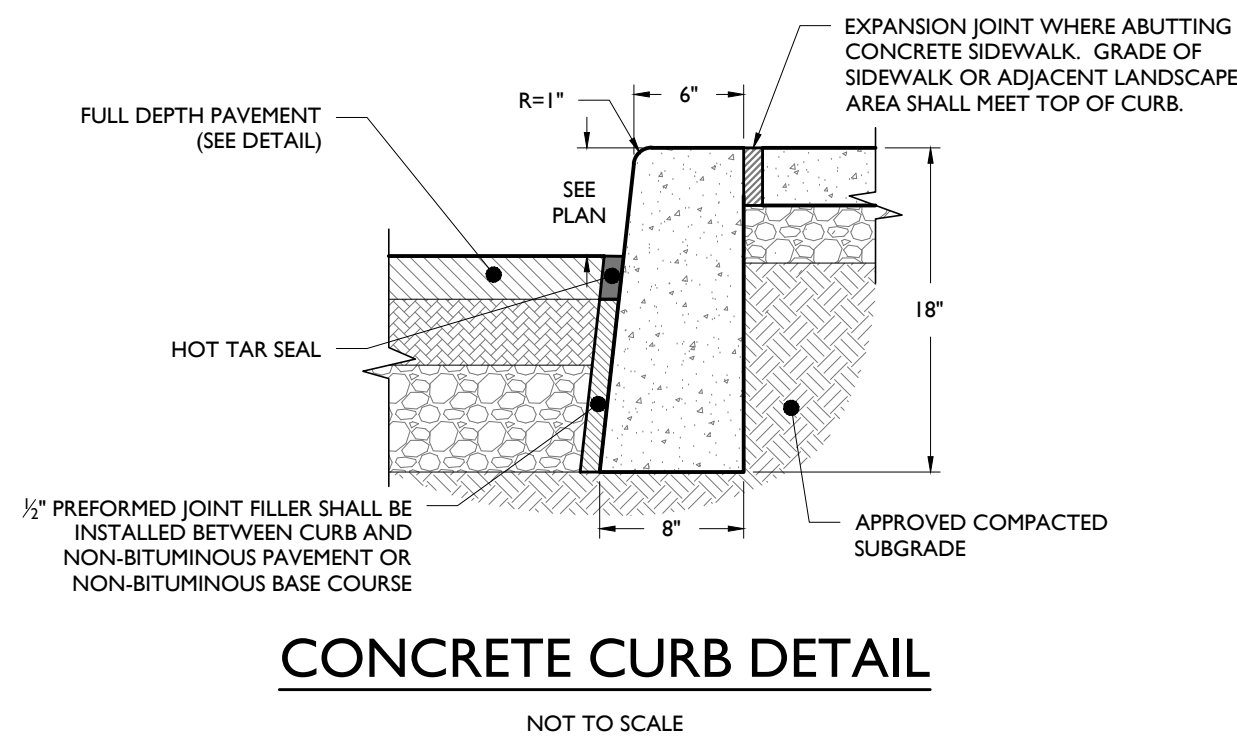
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SCALE: 1"=20' PROJECT ID: NYC-230218

TITLE: **STORM PROFILE**

DRAWING: **C-11**

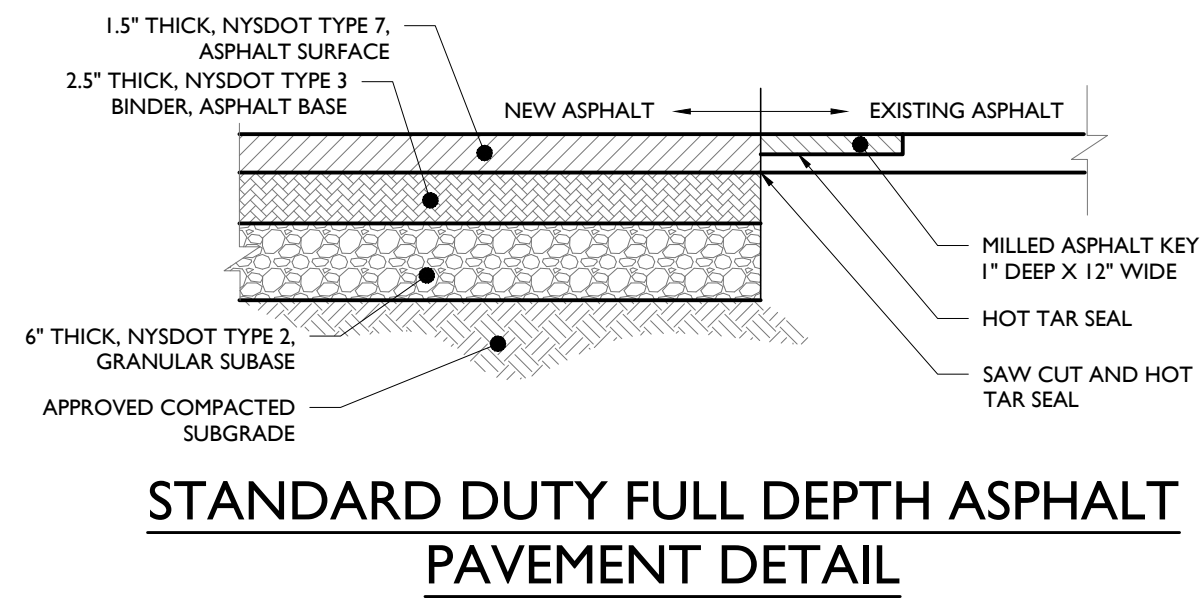
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CONCRETE CURB DETAIL

NOT TO SCALE

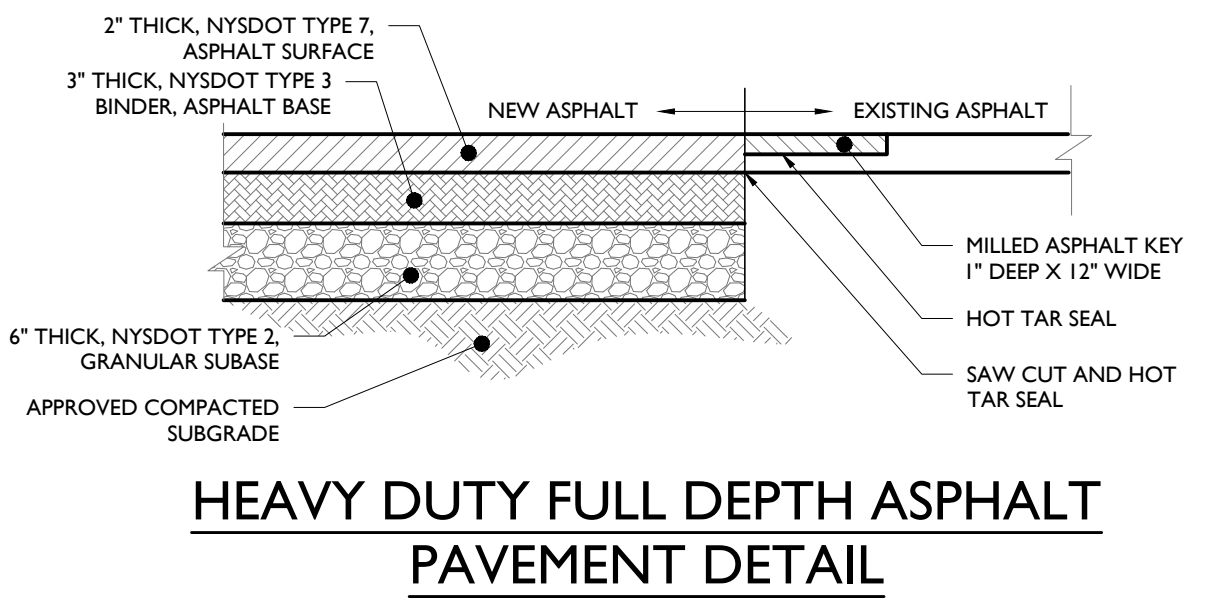
- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



STANDARD DUTY FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

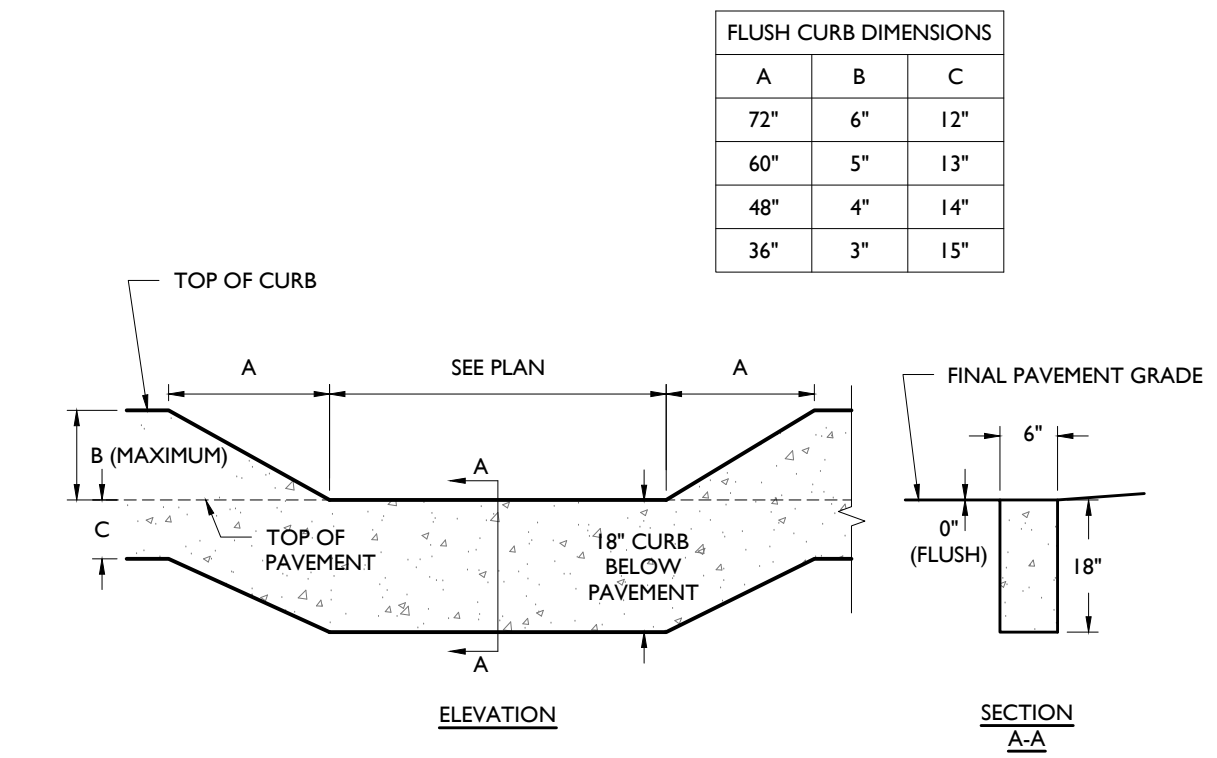
- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



HEAVY DUTY FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

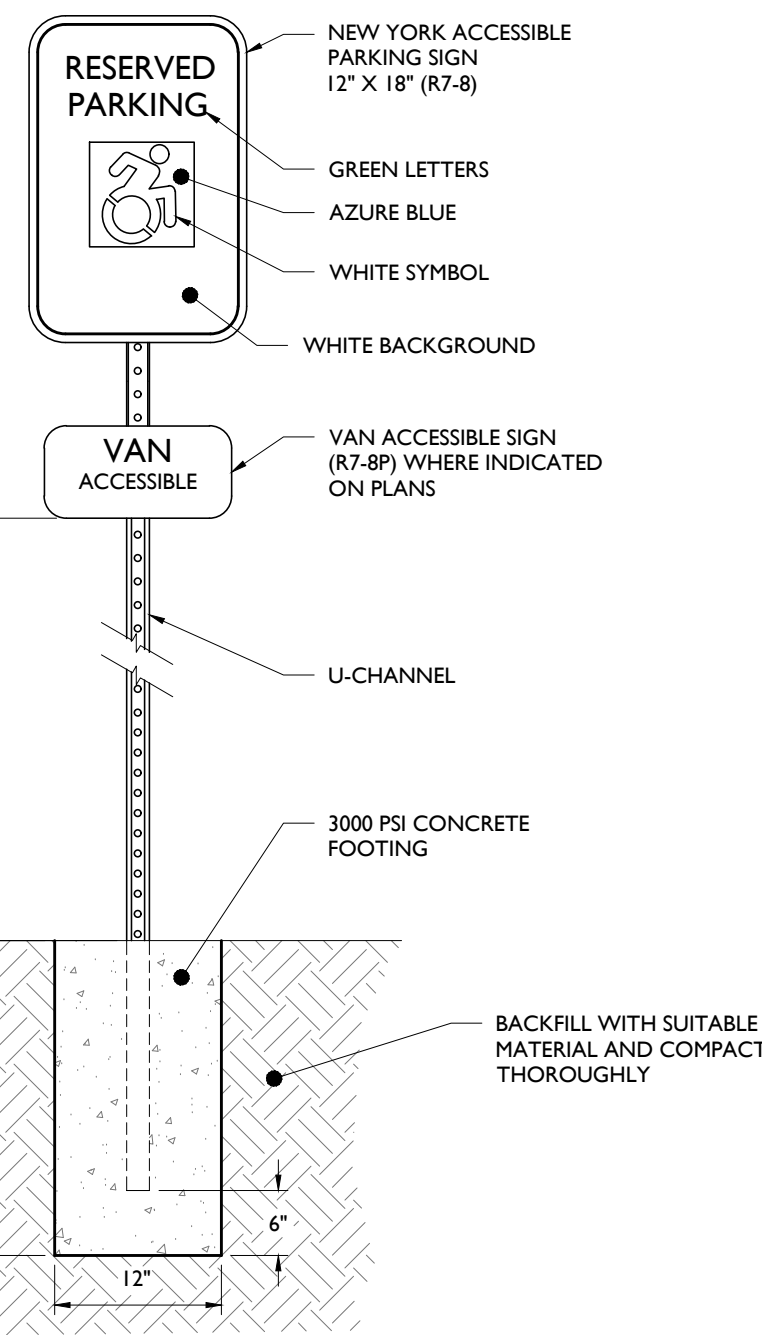
- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



FLUSH CURB DETAIL

NOT TO SCALE

FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"



ACCESSIBLE PARKING SIGN DETAIL

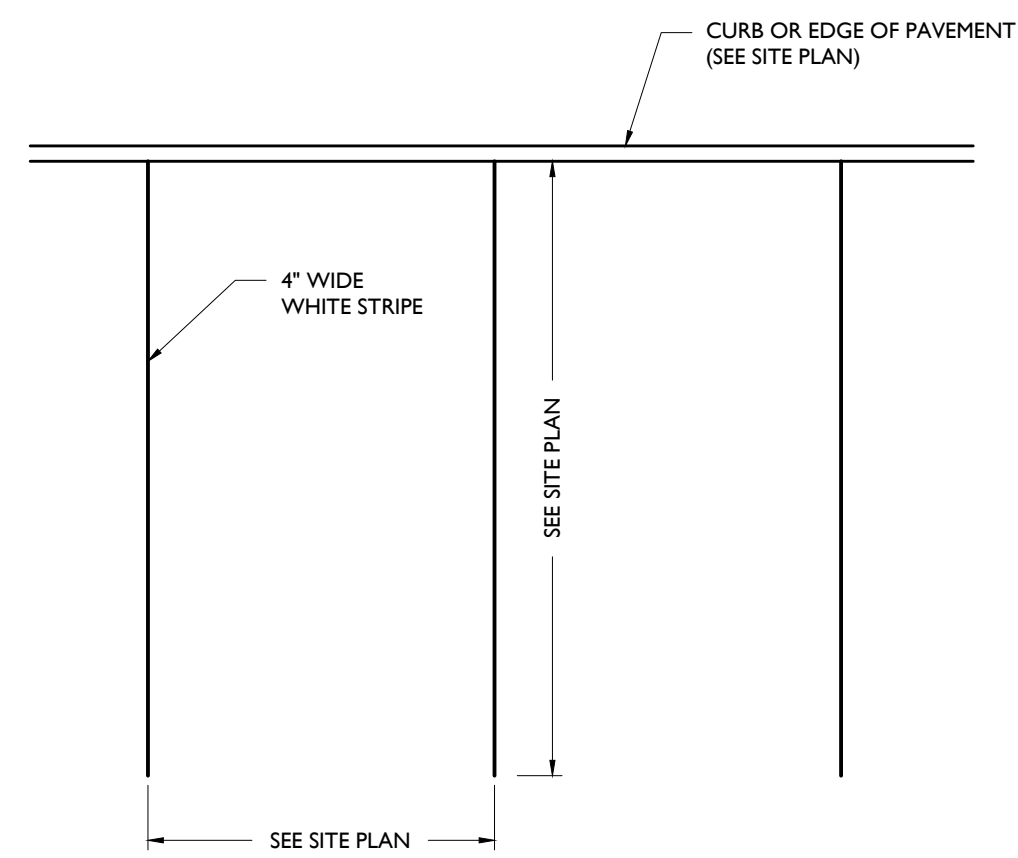
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND

SIGN DATA TABLE

NOT TO SCALE

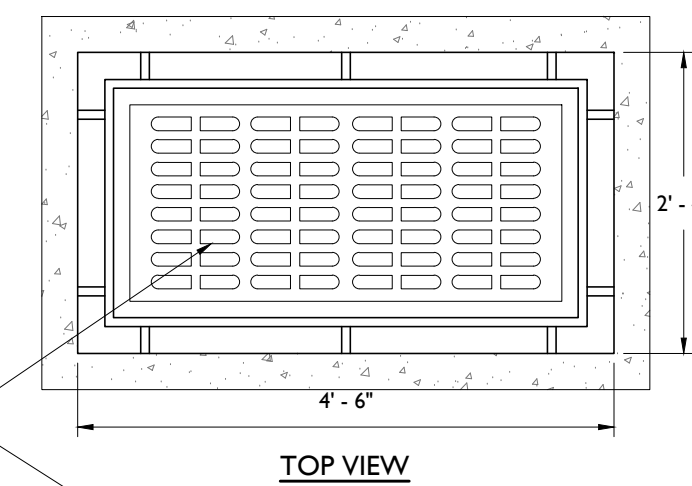
- NOTE:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 - ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



PARKING STALL MARKINGS

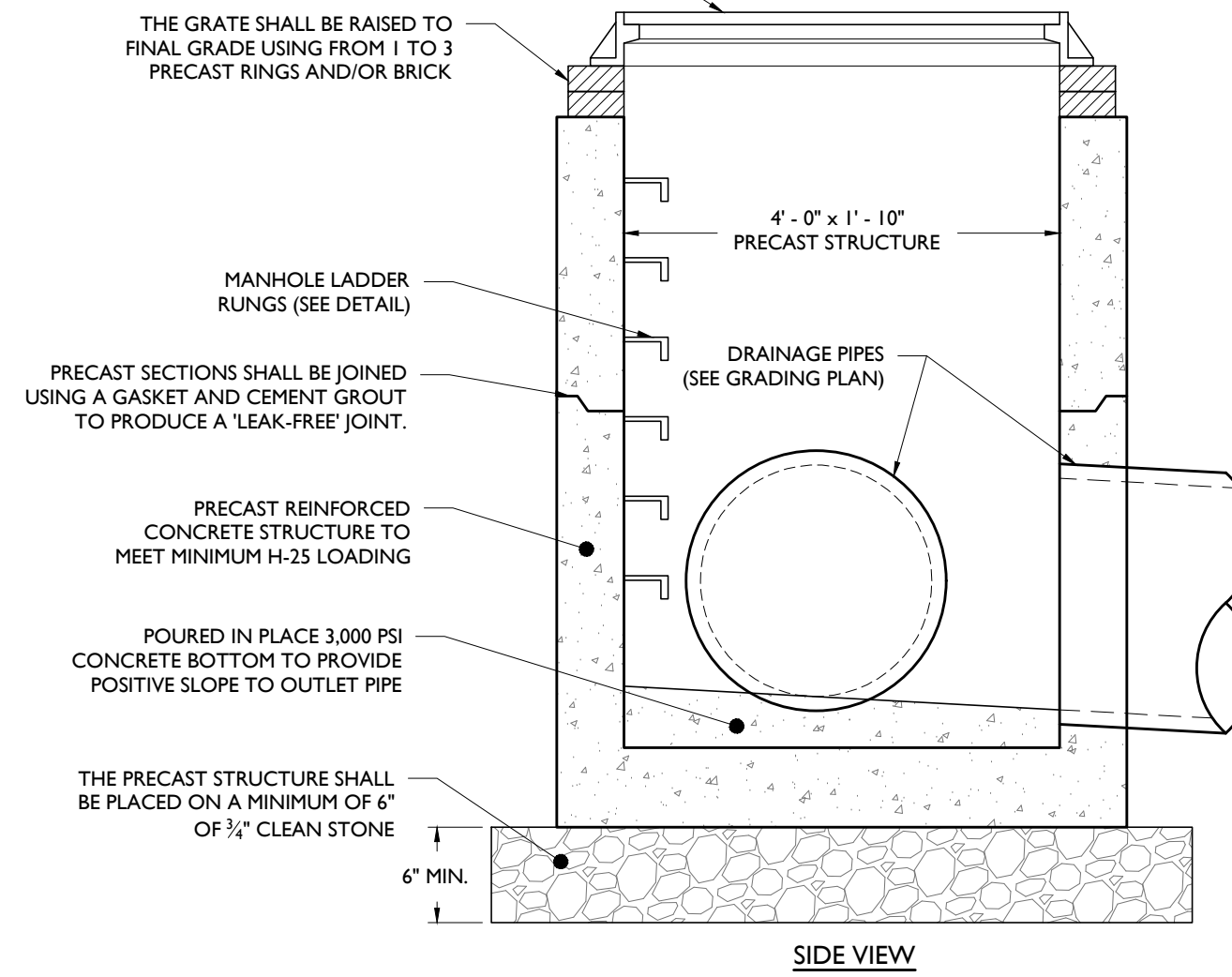
NOT TO SCALE

- NOTES:
- STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 - FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 - ALL JOINTS TO BE WATER-TIGHT.
 - SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TOP VIEW

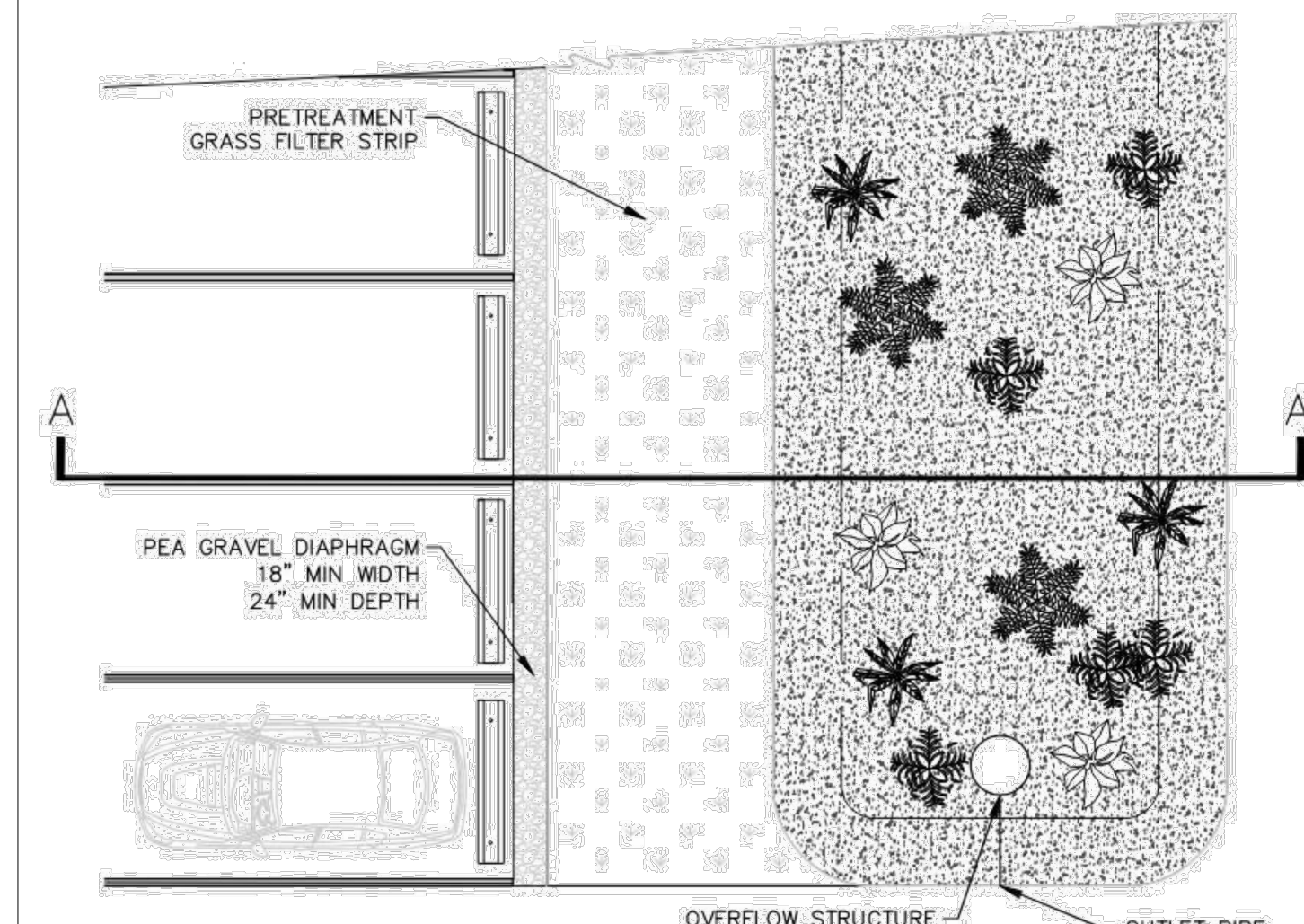
BICYCLE SAFE GRATE TO BE LABELED / DEFINED PER LOCAL COMMUNITY STANDARDS AND REGULATIONS



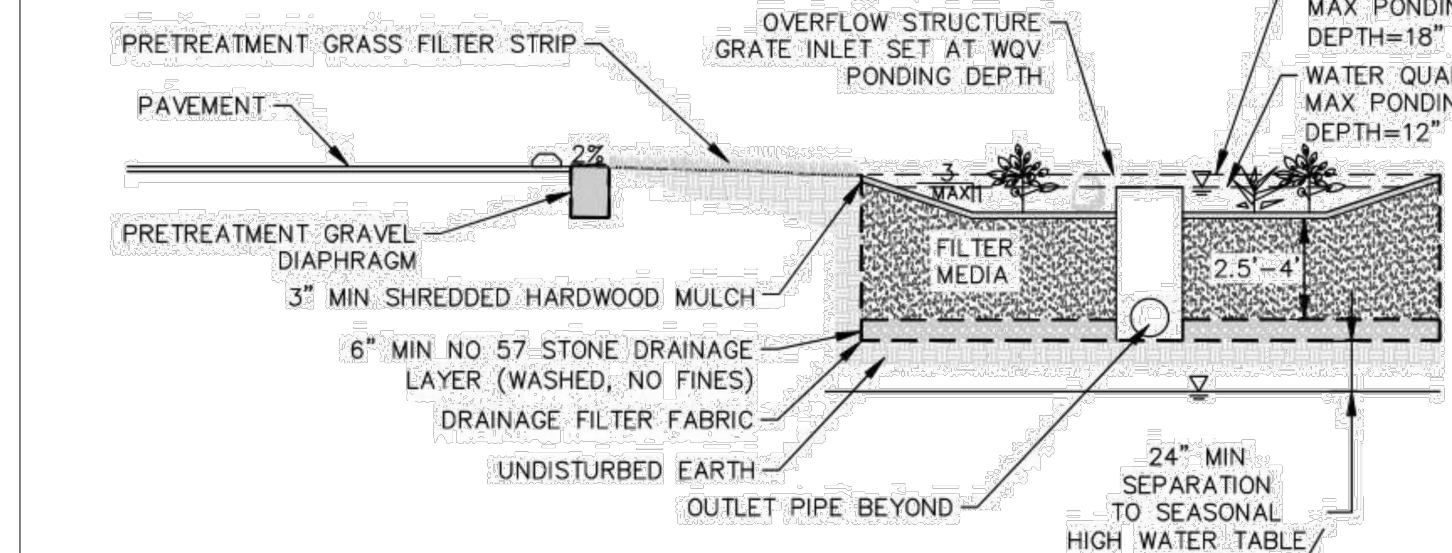
SIDE VIEW

STORM INLET DETAIL (D-101)

NOT TO SCALE



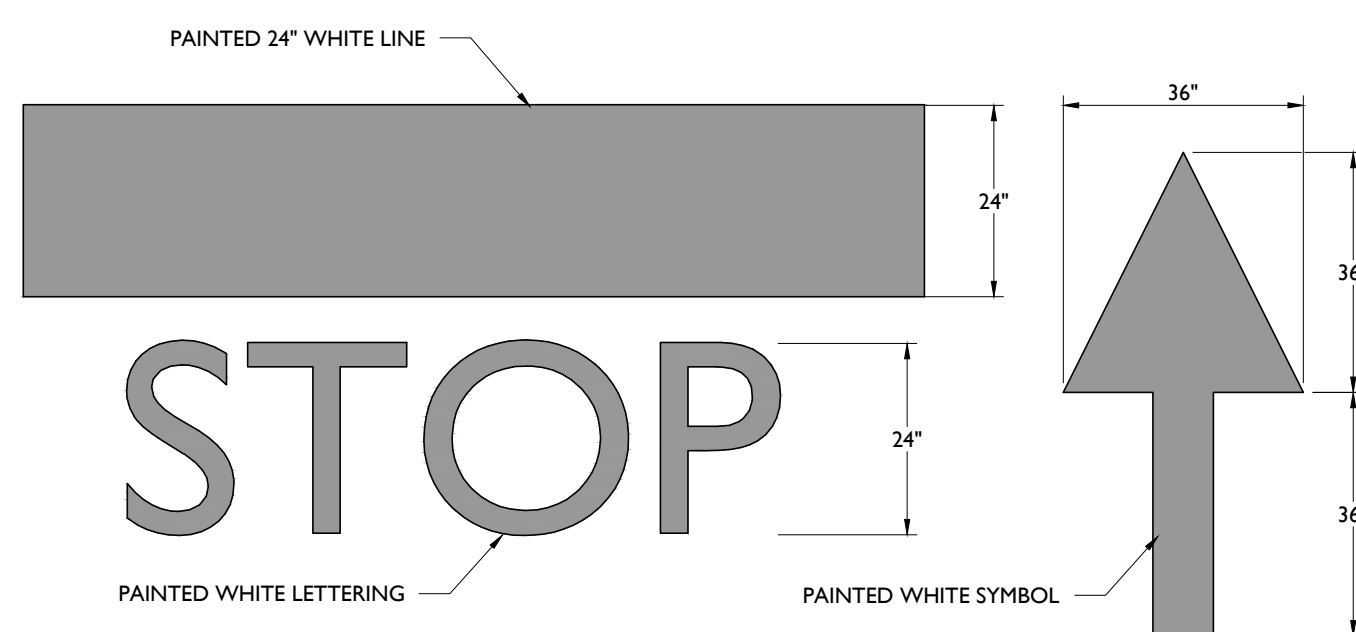
PLAN VIEW



SECTION A-A VIEW

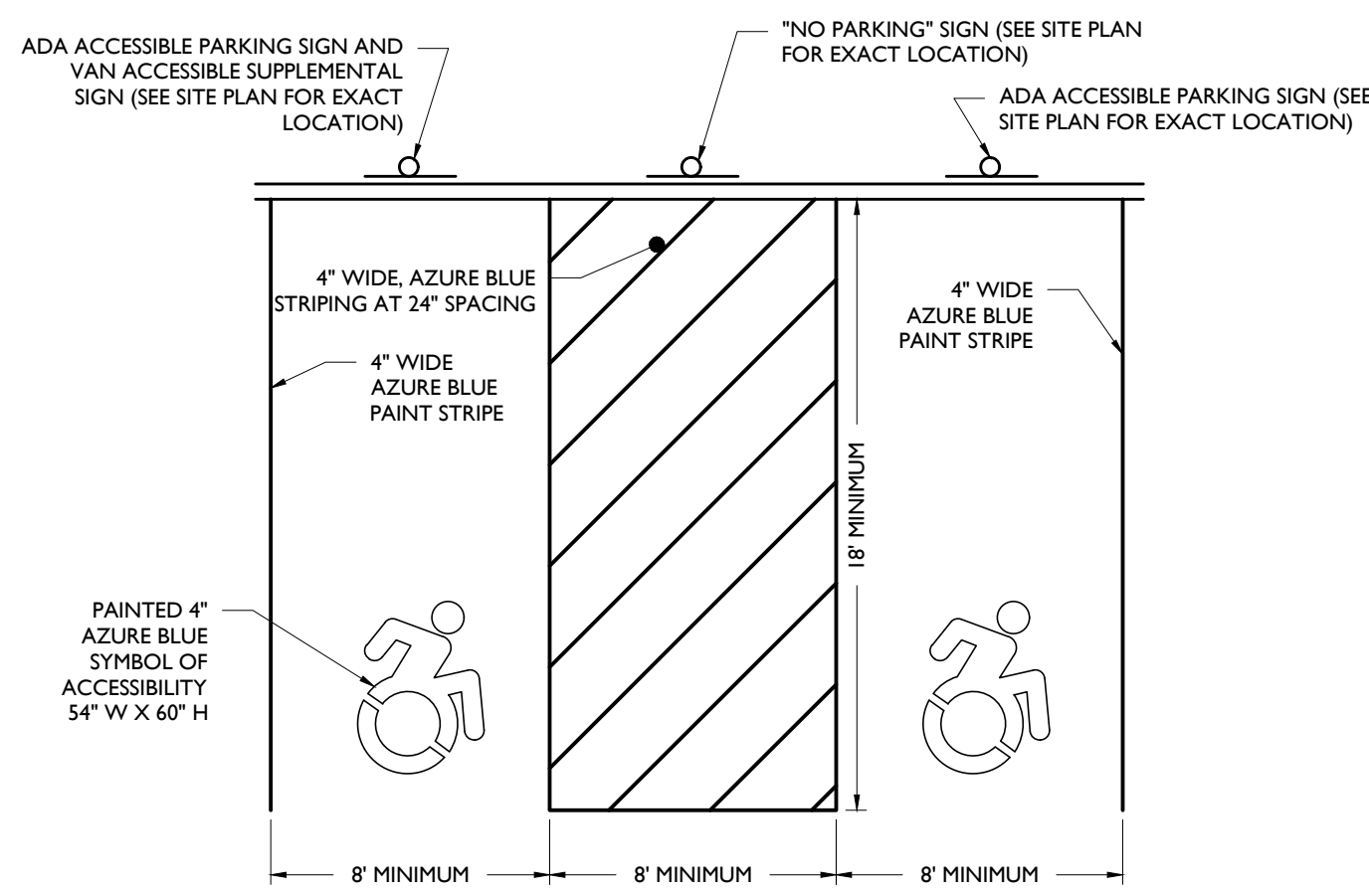
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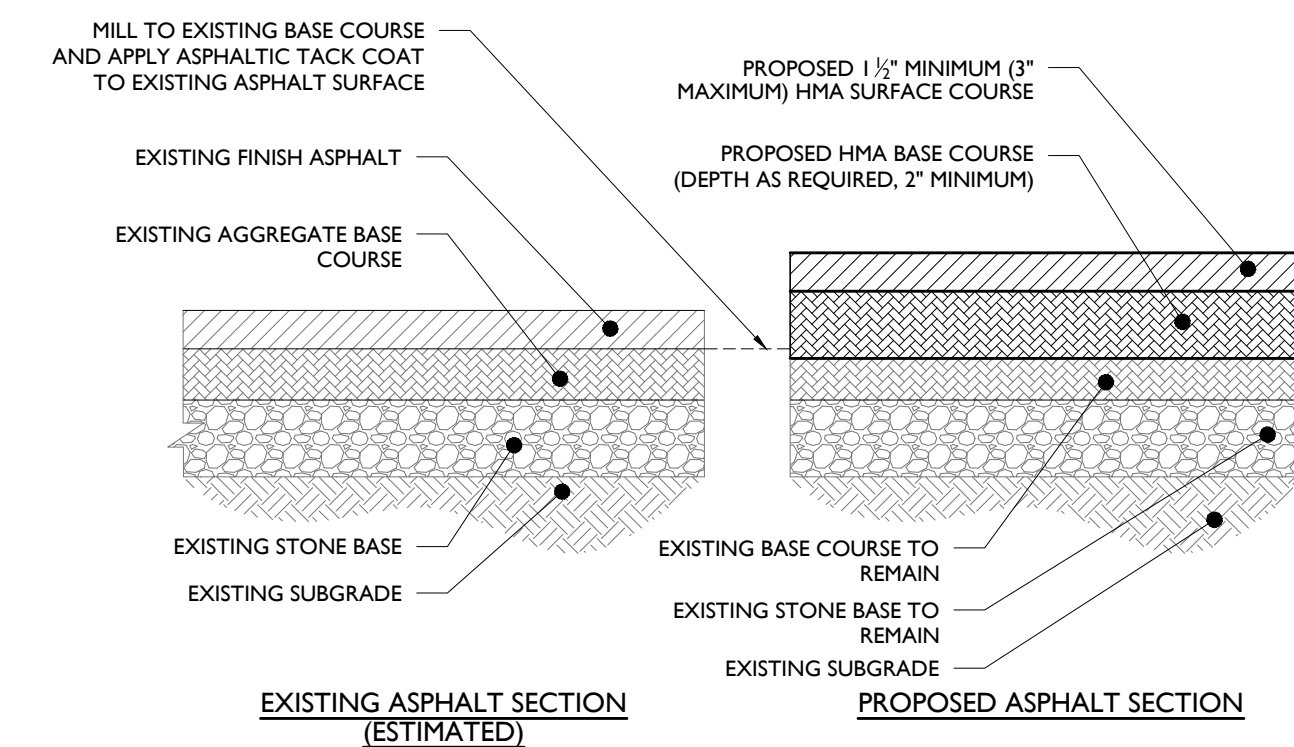
STOP BAR & ARROW DETAILS

NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE



PAVEMENT MILLING & OVERLAY DETAIL WHEN GRADE CHANGE EXCEEDS 3" (FILL)

NOT TO SCALE

USE FOR GRADE CHANGE > 3" FILL.

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NEW YORK LICENSE NO. 99748
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STONEFIELD
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SCALE: AS SHOWN PROJECT ID: NYC-230218

TITLE:
CONSTRUCTION DETAILS

DRAWING:

C-12

