

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)
Date: February 10, 2025

- | | |
|--|----------------------------------|
| TO: OBAPAE | ✓ NJ TRANSIT |
| ✓ NYS Dept of Environmental Conservation | ✓ Rockland County Drainage |
| New York State Dept. of Transportation | ✓ Rockland County Health |
| Palisades Interstate Park Commission | ✓ Rockland County Planning |
| NYS Thruway Authority | ✓ Rockland County Highway |
| ACOE | ✓ Rockland County Sewer Dstrt #1 |
| CSX | ✓ Orange and Rockland Utilities |
| ✓ Orangetown Highway | ✓ Veolia |

This matter is scheduled for: March 19, 2025

Review of Plans: McKeon Special Permit Renewal, 35 S. William Street & 42 Ridge Street, Pearl River, NY

Section: 68.20 Block: 1 Lot: 24 & 31; CS - zone

Chapter 43, CS District, table 3.11, Column 3, (Renewal of a Special Permit that was granted November 29, 1949 “Temporary permit for commercial automobile parking lot not to exceed two years from date hereof”) and continued in ZBA#73-122, ZBA#78-60 & ZBA#83-78, ZBA#18-57 & ZBA # 18-58.; to continue the use of the lots as commercial parking lots. The property is located at 35 S. William Street & 42 Ridge Street, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.20, Block 1, Lots 24 & 31; in the CS zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: March 19, 2025

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed, and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on Wednesday, March 19, 2025. Kindly, forward your completed review to this office **PRIOR TO: March 19, 2025.**

Reviewing Agency: _____

Name: _____ Date: _____

Signature: _____
Thank you, Katlyn Bettmann (EXT. 4316)

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 2/6/2025

Please check all that apply:

Commercial Residential

Planning Board Historical Board

Zoning Board of Appeals Architectural Board

Subdivision Consultation

Number of Lots Pre-Preliminary/Sketch

Site Plan Preliminary

Conditional Use Final

Special Permit Interpretation

Variance

Performance Standards Review

Use Variance

Other (specify): _____

PERMIT#: 6094-24

ASSIGNED _____

INSPECTOR: OLIVER *6 leyn*

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

McKeon

Project Name: ~~SPECIAL PERMIT - COMM. PARKING LOT~~

Street Address: 42 RIDGE } PEARL RIVE.
35 S. WILLIAM ST }

Tax Map Designation:

Section: 68.20 Block: 1 Lot(s): 31

Section: 68.20 Block: 1 Lot(s): 24

Directional Location:

On the WEST side of S. WILLIAM ST, approximately 200 feet of the intersection of FRANKLIN AVE, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel	<u>1/2 ACRE</u>	Zoning District	<u>CS</u>
School District	<u>P.R.</u>	Postal District	<u>PR</u>
Ambulance District	<u>P.R.</u>	Fire District	<u>PR</u>
Water District	<u>VEOLIA</u>	Sewer District	<u>ROCKLAND</u> <i>municipal</i>

Project Description: (If additional space required, please attach a narrative summary.)

RENEW Special permit

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2-1-2025 Applicant's Signature: *[Signature]*

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

RENEWAL OF 5YR SPECIAL PERMIT
FOR COMMERCIAL PARKING LOT

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

ZBA #18-57 - 18-58 ZBA - APPROVED
19 SEPT 2018

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 10.21.24 Section: 68.20 Block: 1 Lot: 31 & 24

Applicant: McKeon

Address: 42 Ridge St. Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, CS Use Table 3.11, Column 3, Zoning Board, 5 Year Renewal of Special Permit for Storage of Commercial Vehicles.

Comments:


5 Year Renewal of Special Permit for Commercial Parking Use

Original Special Permit approval as per ZBA 18-57 & 18-58

Dear McKeon:

Please be advised that the Building Permit Application # 6094-24, which you submitted on 10.17-24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

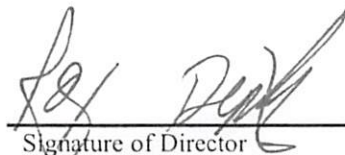
Sincerely,


10/21/24
Richard Oliver
Deputy Building Inspector

RECEIVED

FEB 06 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



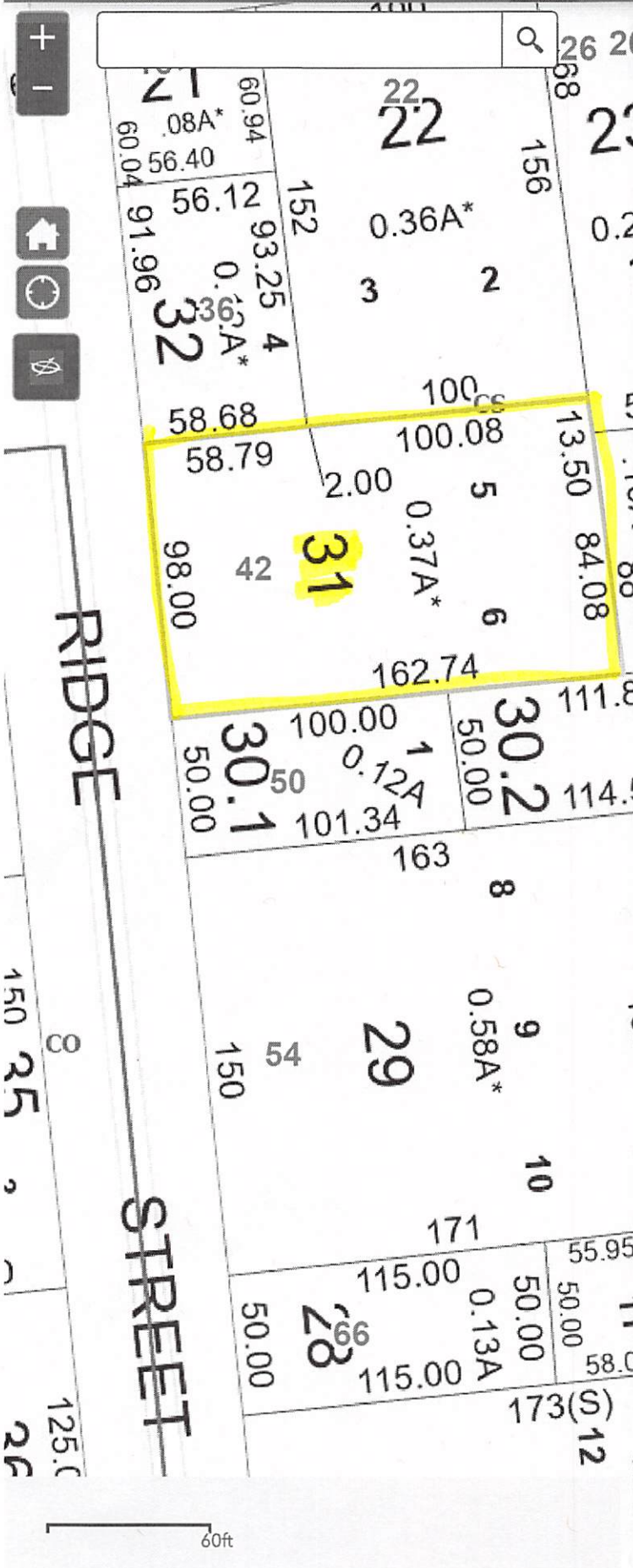
Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

10/21/24

Date
CC: Katlyn Bettmann
Elizabeth Decort

SWIS	PRINT KEY	NAME	ADDRESS
392489	68.20-1-21	Pilgrim Builidng Corp	16-18 Franklin Ave,Pearl River, NY 10965
392489	68.20-1-22	Robert D Jablonski Family Trst	147 Leber Rd,Blauvelt, NY 10913
392489	68.20-1-23	Robert D Jablonski Family Trst	147 Leber Rd,Blauvelt, NY 10913
392489	68.20-1-24	Andrew S Mc Keon	3 Terrence Ct,Pearl River, NY 10965
392489	68.20-1-25	Margaret Ann Robertson	12 High St,Pearl River, NY 10965
392489	68.20-1-29	Margaret Robertson	12 High St,Pearl River, NY 10965
392489	68.20-1-31	Andrew Mc Keon	3 Terrence Ct,Pearl River, NY 10965
392489	68.20-1-32	Boherbue LTD	38 S Main St,Pearl River, NY 10965
392489	68.20-1-33.1	The Bertussi Irrevocable Trust	64 Center St,Pearl River, NY 10965
392489	68.20-1-33.2	The Bertussi Irrevocable Trust	64 Center St,Pearl River, NY 10965
392489	68.20-1-34	Ablondi Real Estate Inc	42 Griffith Pl,Pearl River, NY 10965
392489	68.20-1-35	72-76 South Main Street LLC MEHL ELECTRIC CO INC	74 S Main St,Pearl River, NY 10965
392489	68.20-1-39	72-76 South Main Street LLC Mehl Electric Co Inc	74 S Main St,Pearl River, NY 10965
392489	68.20-1-40	The Bertussi Irrevocable Trust	64 Center St,Pearl River, NY 10965
392489	68.20-1-41	Ablondi Real Estate Inc	42 Griffith Pl,Pearl River, NY 10965
392489	68.20-1-42	Ride Holding Co LLC	160 Paris Ave Ste 1,Northvale, NJ 07647
392489	68.20-1-30.1	Kevin Murtagh	45 Rivervale Rd,Park Ridge, NJ 07656
392489	68.20-1-30.2	Edward O'Hara	39 S William St,Pearl River, NY 10965

SWIS	PRINT KEY	NAME	ADDRESS
392489	68.20-1-21	Pilgrim Builidng Corp	16-18 Franklin Ave,Pearl River, NY 10965
392489	68.20-1-22	Robert D Jablonski Family Trst	147 Leber Rd,Blauvelt, NY 10913
392489	68.20-1-23	Robert D Jablonski Family Trst	147 Leber Rd,Blauvelt, NY 10913
392489	68.20-1-24	Andrew S Mc Keon	3 Terrence Ct,Pearl River, NY 10965
392489	68.20-1-25	Margaret Ann Robertson	12 High St,Pearl River, NY 10965
392489	68.20-1-29	Margaret Robertson	12 High St,Pearl River, NY 10965
392489	68.20-1-31	Andrew Mc Keon	3 Terrence Ct,Pearl River, NY 10965
392489	68.20-1-32	Boherbue LTD	38 S Main St,Pearl River, NY 10965
392489	68.20-2-79	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	68.20-2-81	42 Franklin C & B LLC	42 Franklin Ave,Pearl River, NY 10965
392489	68.20-2-82	JLM Holdings Corp	36 Franklin Ave,Pearl River, NY 10965
392489	68.20-1-30.1	Kevin Murtagh	45 Rivervale Rd,Park Ridge, NJ 07656
392489	68.20-1-30.2	Edward O'Hara	39 S William St,Pearl River, NY 10965



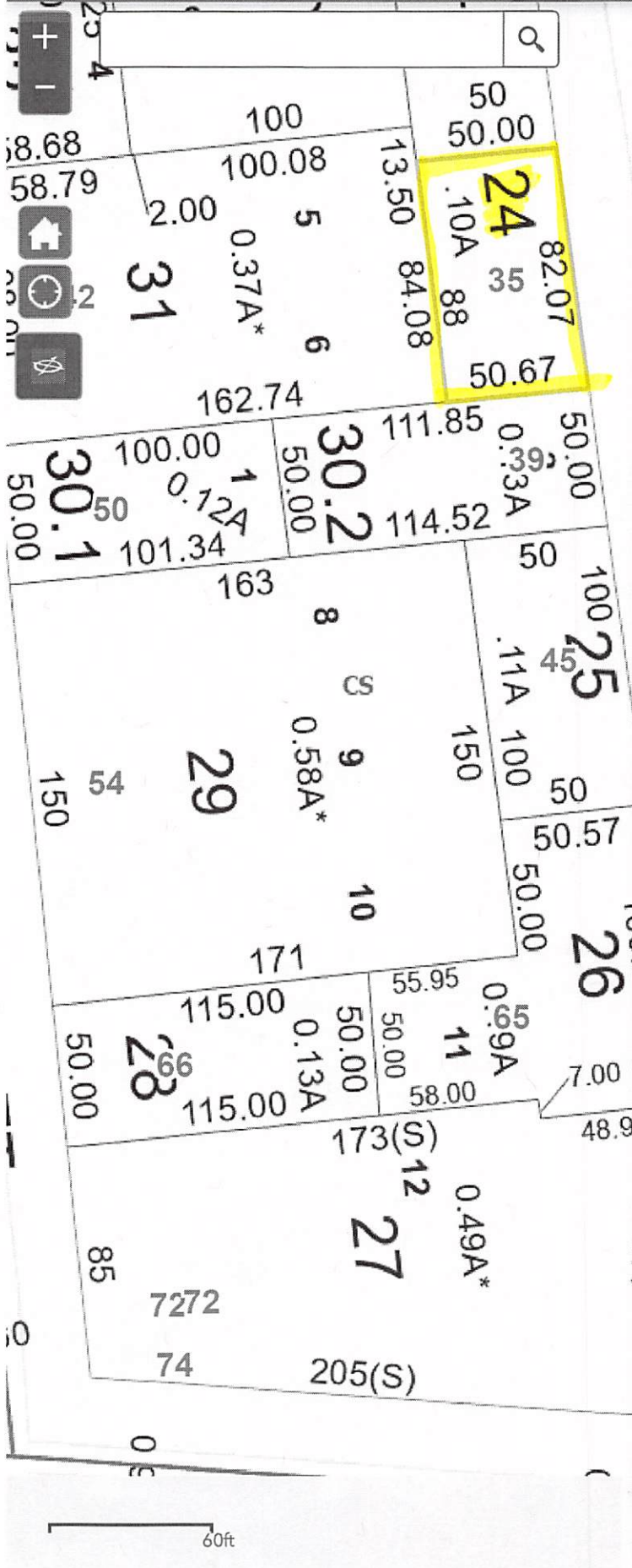
GML Sec. 239

Select By ID Buffer Results

[Export Search URL](#) [Zoom All](#) [Clear](#) [Report](#)

Features selected: 1 [Export All to CSV](#)

PARCEL DATE: June 2024
 PRINT_KEY: 68.20-1-31
 OLD ID: 40-4-92.12
 SWIS: 392489
 MUNICIPALITY: ORANGETOWN
 TOWN: ORANGETOWN
 VILLAGE: N/A
 ADDRESS: 42 RIDGE ST
 ADDRESS 2:
 ALTERNATE ADDRESS:
 CITY: PEARL RIVER
 STATE: NY
 ZIP: 10965
 OWNER: MC KEON ANDREW S & JEAN M
 ADDITIONAL OWNERS:
 DATE OF DEED: 06/01/1993
 BOOK-PAGE: 00612-01727
 INSTRUMENT: N/A
 DEED_ACRES:
 GIS CALCULATED ACRES: 0.36926645
 REQUIRES GML_REVIEW: YES
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 COUNTY PARK: NO
 ROW COUNTY HWY: YES
 ROW NYS HWY: NO
 COUNTY REGULATED STREAMS: NO
 LONG PATH HIKING TRAIL: NO
 NYS PARK: NO
 NYS FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY BOUNDARY: NO
 X LONGITUDE: -74.0206653
 Y LATITUDE: 41.05752862
 SUBDIVISION MAP: 943



GML Sec. 239

Select By ID Buffer Results

[Export Search URL](#) [Zoom All](#) [Clear](#) [Report](#)

Features selected: 1

[Export All to CSV](#)

PARCEL DATE: June 2024
 PRINT_KEY: 68.20-1-24
 OLD ID: 40-4-92.5
 SWIS: 392489
 MUNICIPALITY: ORANGETOWN
 TOWN: ORANGETOWN
 VILLAGE: N/A
 ADDRESS: 35 S WILLIAM ST
 ADDRESS 2:
 ALTERNATE ADDRESS:
 CITY: PEARL RIVER
 STATE: NY
 ZIP: 10965
 OWNER: MC KEON ANDREW S & JEAN M
 ADDITIONAL OWNERS:
 DATE OF DEED: 06/01/1993
 BOOK-PAGE: 00612-01727
 INSTRUMENT: N/A
 DEED_ACRES: 0.1
 GIS CALCULATED ACRES: 0.10245717
 REQUIRES GML_REVIEW: NO
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 COUNTY PARK: NO
 ROW COUNTY HWY: NO
 ROW NYS HWY: NO
 COUNTY REGULATED STREAMS: NO
 LONG PATH HIKING TRAIL: NO
 NYS PARK: NO
 NYS FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY BOUNDARY: NO
 X LONGITUDE: -74.02027704
 Y LATITUDE: 41.05753917
 SUBDIVISION MAP: 943

DECISION

SPECIAL PERMIT RENEWAL APPROVED FOR FIVE YEARS WITH SPECIFIC CONDITIONS

To: Andy McKeon
3 Terrence Court
Pearl River, New York 10965

ZBA #18-57 & 18-58
Date: September 19, 2018
Permit # N.A.

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#18-57 & ZBA # 18-58: Application of Andy McKeon for renewal of a Special Permit that was granted November 29, 1949 "Temporary permit for commercial automobile parking lot not to exceed two years from date hereof" and continued in ZBA#73-122, ZBA#78-60 & ZBA#83-78.; to continue the use of the lots as commercial parking lots. The property is located at 35 S. William Street & 42 Ridge Street, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.20, Block 1, Lots 24 & 31; in the CS zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, September 19, 2018 at which time the Board made the determination hereinafter set forth.

Andy McKeon appeared and testified.

The following documents were presented:

1. Survey dated February 10, 1987 revised March 4, 1987 by Robert Rahnefeld, P.L.S..
2. A letter dated April 7, 2017 from Michael Acheson, Assistant Building Inspector, Town of Orangetown.
3. Zoning Board of Appeals Decisions # 83-78, #78-60, and 73-122.
4. Certificate of Occupancy dated April 29, 1957 for a commercial parking lot.
5. A letter dated November 18, 1949 from Wilhelmina L. Johnson Deputy Zoning Inspector, Town of Orangetown to Mr. Spooner, owner of 42 Ridge Street at that time.
6. Minutes from the November 10, 1949 Zoning Board of Appeals Hearing.
7. A letter date October 29, 1949 from John Cucchiara to the Zoning board of Appeals.
8. A certificate of Occupancy dated January 16, 1950 for 42 Ridge Street, Pearl River for "Temporary use of premises described in application for a Commercial Automobile Parking Lot (Not a used-car lot or junk yard) -said use to be limited to a period of two years from date hereof also use of existing buildings for a public garage, provided no repair work is done out of doors Approved by Board of Appeals 11/10/49. Permit also granted or use of two directional "Parking" signs. (6" by 36" long.) dated January 16, 1950.
9. Survey dated October 12, 1949 by Edward Barbour.
10. A letter dated August 22, 2018 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
11. A letter dated July 30, 2018 from the Rockland County Highway Department signed by Dyan Rajasingham, Engineer III.
12. Sign off sheet that there are no comments from Liz Mello, Rockland County Health Department.

TOWN OF ORANGETOWN
2018 OCT 16 A 10: 29
TOWN CLERK'S OFFICE

On advice of Barbara Gionta, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination based on the facts as presented in the applications submissions and in the record, that the foregoing application (ZBA#18-57) seeks a special permit for a proposed commercial automobile parking lot, not to exceed two years from date hereof, in a zoned CS (Commercial Shopping) lot located at 35 S. William Street and since application ZBA#18-58 seeks a special permit for a proposed commercial automobile parking lot, not to exceed two years from date hereof, in a zoned CS (Commercial Shopping) lot located at 42 Ridge Street, Pearl River, NY, these application are a Type II application is exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (7); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Mr. Feroldi, aye; Ms. Castelli, aye; Mr. Quinn, aye; and Mr. Sullivan, aye. Ms. Salomon was absent.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

Andy McKeon testified that he and his wife purchased the property in 1993; that they have owned it for 25 years; that there is a multi-family unit on one parcel and for years they did not really use the lot for parking, other than for the tenants; that in 2010 people started approaching him to use the lot for over-night parking; that there is not enough parking in the down town area; that he has about 15 residents from South Main, Main Street, Franklin and South William Street that pay him a small fee to park in the lot; that it really is more a community service; that he also has three landscapers that park over night because they were getting violations for parking in their driveways; that he has a few seniors that live in the old movie house senior housing; a commercial coffee truck and a bread route truck that all belong to local residents; that there are two refrigerated trucks that he will ask to leave if they are a problem for the neighbors; that to the east is a town parking lot; that north and south to the lot are wooded areas; that west is the 6 family apartment building; that he will address the county and bring the parking lot to current standards but the only problem is there is a white oak tree that is about 170 years old with a hundred foot canopy and he thinks if he paves up to it the tree will die; that he doesn't want to kill the tree; and that he has had Paul Sokol's Tropicana trucks in the lot because Paul asked to keep the trucks there; that he did not realize that these refrigerated trucks were that noisy and he will ask Paul to find a new location but he would like to give him some time to find a new place to park; and that he will maintain the five foot wide strip of property between his parking lots and the Gilbride property.

Dan Sullivan stated that the lots have been used as commercial lots since 1949; and that the applicant can speak to the building department and the County Highway Department to see how to improve the lot and try to save the tree, if the Board votes to renew the Special Permit.

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Public Comment:

Brian Gilbride, 10 Maggiolo Drive, Pearl River, testified that he purchased the property south of this in early 2000 and did a subdivision; that no one parked there then; that he is trying to sell the property now and can't because of this large commercial parking lot ; that the property is not maintained; that it is not fair that after all these years he is getting a notice now from the Town; that he should have been made aware of this years ago; that the Town dropped the ball on this; and that he is very frustrated with the Town.

Pia Gilbride, 10 Maggiolo Drive, Pearl River, testified that in 1999 when she was strolling her two young children she noticed the property and spoke to an old man selling it; that she and her husband thought they were making a good investment for their children; that they had a buyer for the property that backed out because of the parking lot and how poorly it is maintained; that they have three children in College and this was supposed to be their nest egg and it is unfair that the McKeon lot limits us; and that allowing more commercial vehicles at the McKeon site makes it worse for us.

Rosanna Petruzzelli, 34 South William Street, testified that the property looks like a zombie property; that it is full of weeds; that there are refrigerated trucks that run all night long for fifteen minutes on and five minutes off; that it has landscape trucks filled with stuff; that maintenance of these vehicles takes place in the lot and it is an eyesore.

Noel Stapleton, 72 South William Street, testified that he doesn't understand how the politicians can be talking about making Pearl River beautiful and compatible with other Main Streets and not make the owner of these lots clean them up; that he takes take pride in his property and maintains it nicely but that this property is an ugly duckling and the Town should push for this to be cleaned up; it seems that the Town officials are all over the place; they talk about a bike lane for kids across from Franklin and then nothing; that the officials need to realize the things change and he passes by this eyesore daily.

Ms. Castelli asked the applicant if the landscape trucks load up in the parking lots and was told they do not.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

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After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the following Special Findings for the proposed Renewal of the Special Permit Use, as per Zoning Code Section 4.31, have been satisfactorily satisfied, for the following reasons:

1. The requested Renewal of the Special Permit for five years will be appropriately located with respect to transportation, water supply, waste disposal, fire and police protection and other public facilities. The applicant's parking lot shall comply with the current standards of a public parking lot and the area shall be maintained properly (Rockland County Highway Department letter dated July 30, 2018 signed by Dyan Rajasingham, Engineer III).
2. The granting of the Renewal of the Special Permit for five years will not cause undue traffic congestion or create a traffic hazard. The Renewal of the Special Permit is for over -night parking of automobiles and enclosed trailers which are unoccupied overnight. No idling of unattended vehicles will be permitted. No maintenance of vehicles shall take place on the site. No loading or unloading of vehicles on premises. No overnight engine start-up such as a refrigerated box truck.
3. The granting of the Renewal of the Special Permit for five years will not create, at any point of determination set forth in Zoning Code Sections 4.16, 4.17 and 4.18 any more dangerous and objectionable elements, referred to in Section 4.11 than is characteristic of the uses expressly permitted as of right in the same Zoning District. The applicant's parking lot shall comply with the current standards of a public parking lot and the area shall be maintained properly (Rockland County Highway Department letter dated July 30, 2018 signed by Dyan Rajasingham, Engineer III).
4. The requested Renewal of the Special Permit for five years will not adversely affect the character of or property values in the area. The property has been used as a commercial parking lot for the last fifty years and there is a need for parking in the area. . The Renewal of the Special Permit is for over -night parking of automobiles and enclosed trailers which are unoccupied overnight. No idling of unattended vehicles will be permitted. No maintenance of vehicles shall take place on the site. No loading or unloading of vehicles on premises. No overnight engine start-up such as a refrigerated box truck.
5. Will not otherwise impair the public health, safety, morals, convenience, comfort, prosperity and other aspects of the general welfare of the Town. The property has been used as a commercial parking lot for the last fifty years and there is a need for parking in the area. . The Renewal of the Special Permit is for over -night parking of automobiles and enclosed trailers which are unoccupied overnight. No idling of unattended vehicles will be permitted. No maintenance of vehicles shall take place on the site. No loading or unloading of vehicles on premises. No overnight engine start-up such as a refrigerated box truck.

TOWN OF ORANGETOWN
2018 OCT 16 A 10: 29
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6. The requested Renewal of the Special Permit for five years will comply with all other regulations applicable to such use. For all Special Permit Uses a proposed plan, showing the size and location of the lot, design and location of the proposed facilities (including access drives, screening and streets within 1,000 feet) and a detailed description thereof must be submitted in accordance with rules prescribed by the Board (if any).
7. Before any Renewal of the Special Permit is granted, the applicant must secure approval of the proposed structure by the Town Engineer or the consulting engineers for the Town of Orangetown, if same has been requested or is otherwise required.

DECISION: In view of the foregoing and the testimony and documents presented, the Board **RESOLVED** that the application for the requested continuance of the Special Permit for the commercial parking lot is **APPROVED** for **FIVE YEARS**; with the following **SPECIFIC CONDITIONS:** (1) The applicant's parking lot shall comply with the current standards of a public parking lot and the area shall be maintained properly (Rockland County Highway Department letter dated July 30, 2018 signed by Dyan Rajasingham, Engineer III); (2) **THE APPLICANT HAS 60 DAYS FROM THE DATE OF THE STAMPED DECISION TO HAVE REFRIGERATED TRUCKS REMOVED FROM SITE;** (3) The Renewal of the Special Permit is for over -night parking of automobiles and enclosed trailers which are unoccupied overnight; (4) No idling of unattended vehicles will be permitted; (5) No maintenance of vehicles shall take place on the site; (6) No loading or unloading of vehicles on premises; (7) No overnight engine start-up such as a refrigerated box truck. and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

TOWN OF ORANGETOWN
2018 OCT 19 A 10: 29
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(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

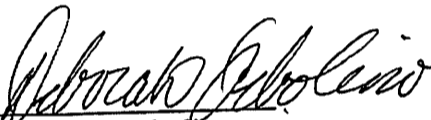
TOWN OF ORANGETOWN
2018 OCT 19 A 10:29
TOWN CLERK'S OFFICE

The foregoing resolution to approve the application for the requested continuance of the Special Permit for the commercial parking lot for Five (5) years is APPROVED; with the following Specific Conditions: (1) The applicant's parking lot shall comply with the current standards of a public parking lot and the area shall be maintained properly (Rockland County Highway Department letter dated July 30, 2018 signed by Dyan Rajasingham, Engineer III); (2) **THE APPLICANT HAS 60 DAYS FROM THE DATE OF THE STAMPED DECISION TO HAVE REFRIGERATED TRUCKS REMOVED FROM SITE;** (3) The Renewal of the Special Permit is for over -night parking of automobiles and enclosed trailers which are unoccupied overnight; (4) No idling of unattended vehicles will be permitted; (5) No maintenance of vehicles shall take place on the site; (6) No loading or unloading of vehicles on premises; (7) No overnight engine start-up such as a refrigerated box truck; was presented and moved by Mr. Sullivan, seconded by Mr. Quinn and carried as follows: Mr. Bosco, aye; Mr. Quinn, aye; Mr. Sullivan, aye; Mr. Feroldi, aye; and Ms. Castelli, aye. Ms. Salomon was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: September 19, 2018

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-N.A.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
2018 OCT 19 A 10:29
TOWN CLERK'S OFFICE



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

August 22, 2018

Orangetown Zoning Board of Appeals
21 Greenbush Road
Orangeburg, NY 10962



Tax Data: 68.20-1-31

68.20-1-24

Re: **GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M
Map Date: 3/4/1987

Date Review Received: 7/24/2018

Item: **McKEON SPECIAL PERMIT RENEWAL (O-2356)**

Renewal of a special permit that was granted on November 29, 1949, to allow the lot to be used as a commercial parking lot. The two parcels are located in the CS zoning district and are comprised of .47 acres.

East side of Ridge Street, west side of S. William Street, approximately 155 feet south of Franklin Avenue


Reason for Referral:

E. Central Avenue (CR 30)

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

- 1 The comment in the July 30, 2018 letter from the Rockland County Highway Department must be addressed.



 Douglas J. Schuetz
 Acting Commissioner of Planning

cc: Supervisor Chris Day, Orangetown
Rockland County Department of Highways
Rockland County Department of Health

Andy McKeon

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
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August 22, 2018

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 Douglas J. Schuetz
 Acting Commissioner of Planning

cc: Supervisor Chris Day, Orangetown
 Rockland County Department of Highways
 Rockland County Department of Health
 Andy McKeon

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Rockland County

Ed Day, Rockland County Executive

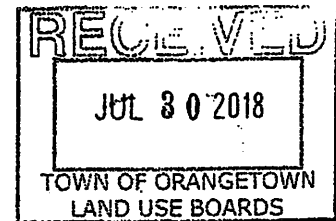
HIGHWAY DEPARTMENT

23 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5060 Fax: (845) 638-5037
Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways

July 30, 2018

The Planning Board
Town of Orangetown
20 South Greenbush Road
Orangeburg, NY 10962



RE: Site Plan Review for Special Permit for Parking
35 South William Street and 42 Ridge Street in Pearl River, NY
Tax Lots #68.20-1-24 and #68.20-1-31; CS Zoning District

To whom it may concern:

The Rockland County Highway Department (RCHD) was in receipt of the site plan prepared by Robert R. Rahnefeld, P.L.S, P.C., dated 03.04.1987 together with other documents related to the above application as part of the GML review process. The review has been complete now and we offer the following comment:

- 1) The parking lot shall comply with the current standards of a public parking lot and the area shall be maintained properly.

We appreciate you for the opportunity to review this site plan. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham
Engineer III

CC: Rockland County Planning Department
Robert E. Sorace, PLS

ZONING BOARD OF APPEALS

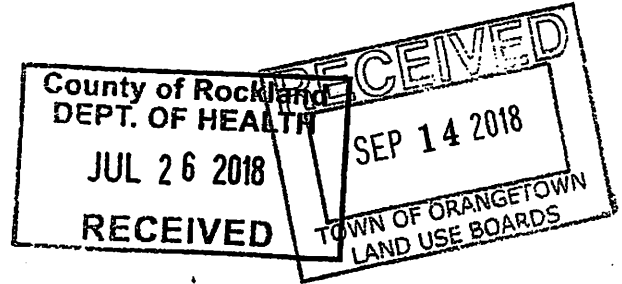
Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: July 23, 2018

TO: OBAPAE

- Environmental Management and Engineering
- Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway
- Fire Prevention (Performance Standards)

- ✓ Rockland County Drainage
- ✓ Rockland County Health
- ✓ Rockland County Planning
- ✓ Rockland County Highway



Review of Plans: McKeon Special Permit Renewal, 35 S. William Street & 42 Ridge Street, Pearl River, NY

Section 68.20 Block 1 Lots 24 & 31 CS zone

This matter is scheduled for:

Renewal of a Special Permit that was granted November 29, 1949 "Temporary permit for commercial automobile parking lot not to exceed two years from date hereof" and continued in ZBA#73-122, ZBA#78-60 & ZBA#83-78. To continue the use of the lots as a commercial parking lot.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: September 19, 2018

- () Comments attached
- (✓) No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on Wednesday, September 19, 2018. Kindly forward your completed review to this office by September 19, 2018.

Reviewing Agency RC Dept of Health

Name Liz Mello date: 9/14/18

Signature: [Handwritten Signature]

Thank you, Deborah Arbolino

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

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Reviewing Agency Rockland County Highway

Name Joe Arena date: 7/30/18

Signature: [Signature]

Thank you, Deborah Arbolino

735
7944

Rockland County

Ed Day, Rockland County Executive

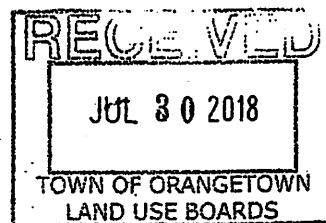
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Charles H. "Skip" Vezzetti
Superintendent of Highways

July 30, 2018

The Planning Board
Town of Orangetown
20 South Greenbush Road
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Robert E. Sorace, PLS

ZONING BOARD OF APPEALS

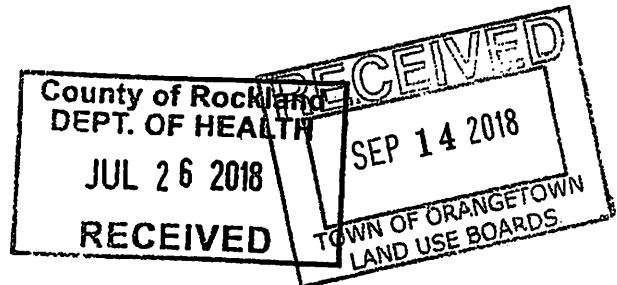
Town of Orangetown
20 Greenbush Road
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TO: OBAPAE

- Environmental Management and Engineering
- Rockland County Sewer District #1
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Review of Plans: McKeon Special Permit Renewal, 35 S. William Street & 42 Ridge Street, Pearl River, NY

Section 68.20 Block 1 Lots 24 & 31 CS zone

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Signature: [Handwritten Signature]

Thank you, Deborah Arbolino

ZONING BOARD OF APPEALS

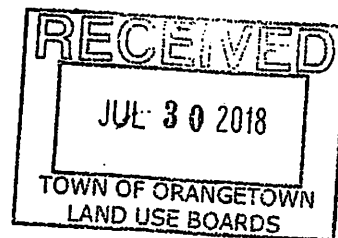
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Name Joe Arena date: 7/30/18

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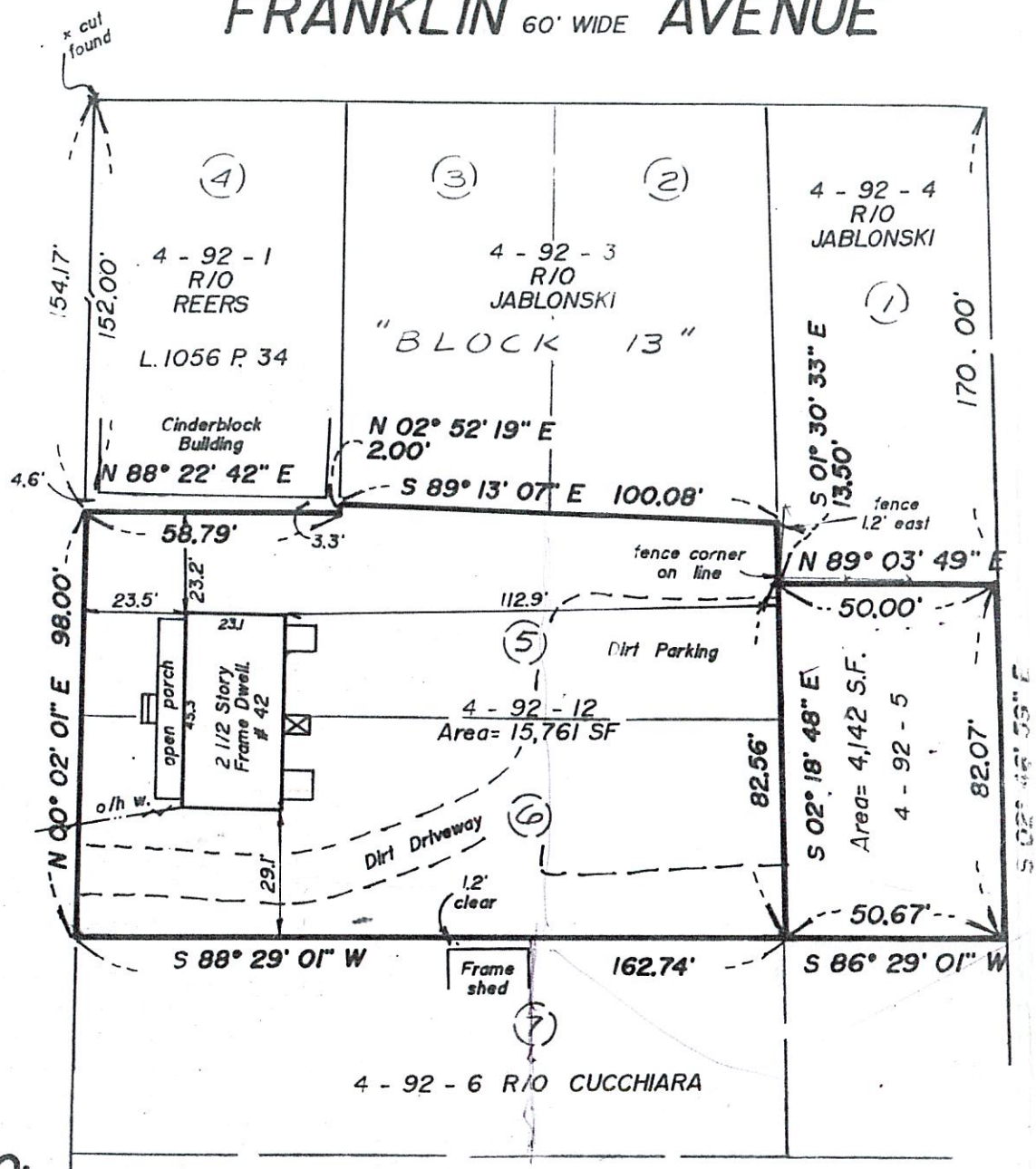
Thank you, Deborah Arbolino

SURVEY NO. 2030

RIDGE STREET 60' WIDE

FRANKLIN 60' WIDE AVENUE

SO. WILLIAM STREET



REFERENCE:

"Estate of Julius E. Braunsdorf"
filed in the Rockland County Clerk's Office March 26, 1894
Map No. 943 Book 34 Page 762

RECEIVED

FEB 06 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

Liber 161 Page 1737 Parcel I

BEING KNOWN AND DESIGNATED AS:

ORANGETOWN TAX MAP NO. 4 - 92 - 12 & 5
LOTS 6 & PART OF LOT 5 "ESTATE OF JULIUS E. BRAUNSDORF"

SURVEY MAP

FOR

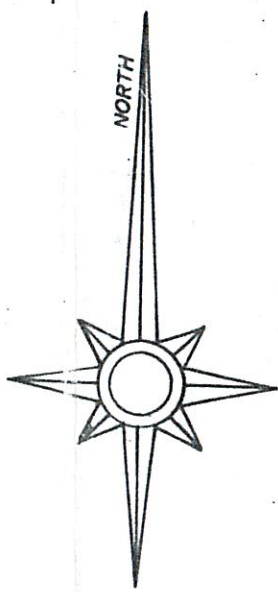
RALPH & ALETA FEVOLA

CERTIFIED TO:

RALPH A. FEVOLA
ALETA FEVOLA
PROVIDENT SAVINGS, A FEDERAL SAVINGS
AND LOAN ASSOCIATION
CHICAGO TITLE INSURANCE CO.

Date: 2.10.87

Robert R. Rahnefeld, PLS, N.Y. Lic. No. 49459



THIS SURVEY MAP IS A PUBLIC RECORD AND IS SUBJECT TO THE PUBLIC RECORDS LAW OF THE STATE OF NEW YORK. THIS SURVEY MAP IS NOT TO BE USED AS A BASIS FOR ANY OTHER SURVEY OR AS A BASIS FOR ANY OTHER LEGAL ACTION. THE SURVEYOR MAKES NO WARRANTY OR GUARANTEE OF CERTIFICATIONS AND NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

**PEARL RIVER
TOWN OF ORANGETOWN ROCKLAND CO.
NEW YORK**

SCALE: 1" = 40'

REVISED 3-4-87
FEBRUARY 10, 1987
6" Snow Covers ground

ROBERT R. RAHNEFELD, P. L. S., P. C.

Professional Land Surveyor & Planner

32 So. Middletown Road, Pearl River, New York, 10965

95-51

MAP NO 1170

DECISION

Z.B.A. 83-78

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: Cucchiara, Inc.

RE: Application by Cucchiara, Inc., owner, as successor to John Cucchiara, owner, deceased, for an extension of the Special Permit as required by the provisions of Section 3.11, Column 3 of the Zoning Code of the Town of Orangetown to continue the operation of a public parking lot which has been in continuous operation by Special Permit since 1949 and has been renewed every five years with the last renewal being on December 5, 1978 to November 20, 1983.
Premises involved is situated on the west side of William Street approximately 170 feet south of Franklin Avenue in the hamlet of Pearl River in a CS zoning district and shown on the Orangetown Tax Map as Section 4, Block 92, Lot 5 and 12.

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held on Wednesday evening, DECEMBER 7, 1983 and, as of that date, determination made as follows:

The applicant had presented:

1. A portion of the tax map as a vicinity map.
2. A plot plan of the 110' x 148' parking lot.

Mr. Dominick Cucchiara appeared and testified that this property has been used as a parking lot for many years without any complaints.

The officers of Cucchiara, Inc. are Dominick Cucchiara, President, Anna C. Lee, Vice President, and Grace Campbell, Secretary.

The Board members made a personal inspection of the premises on Sunday, December 4, 1984, and found them to be properly posted and as generally described on the application.

A satisfactory statement, in accordance with the provisions of Section 8C9 of the General Municipal Law of the State of New York was received.

FINDINGS OF FACT:

After hearing all of the testimony, the Board found, as a fact, that the applicant had complied with all the conditions of the Zoning Code to warrant another extension of the Special Permit previously granted.

DECISION:

In view of the foregoing and the testimony before this Board, the Board hereby extends the Special Permit so that the premises may be used as a public parking lot for an additional 5 year period to November 20, 1988 subject to the conditions that in the event any trailers or campers are parked on the premises, they may not be occupied as part of this Special Permit.

Approval of the Board is limited to specific approval of the Special Permit requested and granted.

Motion on the foregoing made by Mr. Crosbie, seconded by Mr. Hodge and unanimously carried as follows: James L. Crosbie, aye; Martin Hodge, aye; William H. Mowerson, aye; Alfred Visalli, aye; Louis E. Kayser, aye.

(DECISION - CUCCHIARA, INC. - SHEET #2)

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the Office of the Town Clerk.

Dated: December 7, 1983

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

BY: 

Robert L. Hunt, Clerk

DISTRIBUTION:

Town Clerk
Town Attorney
Deputy Town Attorney
Town Board
Supervisor
Director-OBZPAE
Property File-OBZPAE
Zoning Board of Appeals

DECISION ON APPLICATION FOR SPECIAL PERMIT

Z.B.A.-78.60

S.4-B.92-L.5 & 12

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: JOHN CUCCHIARA, OWNER

RE: Application by John Cucchiara, owner, for a Special Permit as required by the provisions of Section 3.11, Column 3 of the Zoning Code of the Town of Orangetown to continue the operation of a public parking lot which has been in continuous operation by Special Permit since 1949 and has been renewed every five years with the last renewal being on December 5, 1973.

Premises involved is situated on the west side of William Street, approximately 170 feet south of Franklin Avenue in the hamlet of Pearl River in a CS zoning district.
(ZB#2 - 12/6/78 meeting)

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held Wednesday evening, DECEMBER 6, 1978, and as of that date, determination made as follows:

FINDINGS OF FACT: Mr. John Cucchiara, Anna Lee, his daughter, and Mr. Dominick Cucchiara, his son, appeared. They presented a sketch of the property. The parking lot is 110' x 148'. The applicant testified that this property has been used as a public parking lot for many years. There were no other appearances. The Board members made a personal inspection of the premises on Sunday, December 3, 1978, and found them to be properly posted and as generally described on the application. The Board noted that this is vacant land and is presently being used as a parking lot and that it was kept in an orderly and neat condition. Evidence was introduced that in all the years that the lot has been in existence there has never been any complaints concerning it. A satisfactory statement, in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York, was received. After hearing all of the testimony, the Board found that the applicant had complied with all the conditions of the Zoning Code to warrant another extension of the Special Permit which was previously granted.

DECISION: In view of the foregoing and the testimony before this Board, the Board hereby extends the Special Permit so that the premises may be used as a public parking lot for an additional 5 year period to November 20, 1983 subject to the following condition that in the event any trailers or campers are parked on the premises they may not be occupied as part of this Special Permit approval.

Approval of the Board is limited to specific approval of the Special Permit requested and granted.

Motion on the foregoing made by Mr. Crosbie, seconded by Mr. Mowerson and unanimously carried by the Board members as follows: Louis E. Kayser, Aye; James L. Crosbie, Aye; John H. Olsen, Aye; William H. Mowerson, Aye; Bronius B. Markeliunas, Aye.

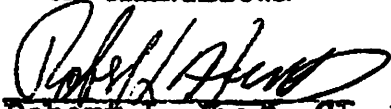
The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the Office of the Town Clerk.

Dated: December 14, 1978

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

DISTRIBUTION:

Town Clerk, Supervisor, John J. Fox, Esq., Morton Lieb, Esq.
Charles U. Zimmermann
Property File - OBZPAE
Assessor's Office
Members Zoning Board of Appeals
Members Town Board

BY: 
Robert L. Hunt, Clerk

DECISION ON APPLICATION FOR SPECIAL PERMIT

Z.B.A.-73-122

S.4-B.92-L.5&12

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: Mr. JOHN CUCCHIARA, Owner

RE: Application for renewal of Special Permit to continue operation of public parking lot located on the west side of South William Street in the Hamlet of Pearl River and in a CS zoning district.
(ZB#1-Meeting 12/5/73)

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held Wednesday evening, DECEMBER 5, 1973, and, as of that date, determination made as follows:

FINDINGS OF FACT: This is an appeal from a denial by the Inspector and an application by John Cucchiara, owner, for a special permit under the provisions of Section 3.11, Column 3 of the Zoning Code of the Town of Orangetown to continue the operation of a public parking lot which has been in continuous operation by special permit since 1949 and has been renewed every 5 years with the last renewal being on November 20, 1968. The premises involved is a vacant lot, sized 110 feet by 148 feet, situated in a CS zoning district on the west side of South William Street, approximately 170 feet south of Franklin Avenue in Pearl River. The Board members made a personal inspection of the premises on Sunday, December 2, 1973, and found them to be properly posted. The Board noted that this is vacant land and is presently being used as a parking lot and that it was kept in an orderly and neat condition. The applicant appeared and stated that he needed a special permit so that he could continue the use that had been in existence for many years. The applicant further stated that the property is used as a parking lot for the public. Evidence was introduced that in all the years that the lot has been in existence there has never been any complaints concerning it. The Board noted that the applicant had neglected to bring his affidavit of posting to the hearing and his certificate of disclosure as required pursuant to Section 809 of the General Municipal Law of the State of New York. After hearing all of the testimony, the Board found that the applicant had complied with all the conditions of the Zoning Code to warrant another extension of the special permit which was previously granted.

DECISION:

In view of the foregoing and the testimony before this Board, the Board hereby extends the Special Permit so that the premises may be used as a public parking lot for an additional 5 year period to November 20, 1978, subject to the following condition that in the event any trailers or campers are parked on the premises they may not be occupied as part of this Special Permit approval.

Approval of the Board is limited to specific approval of the Special Permit requested and granted.

Motion on the above made by Mr. Kelly, seconded by Mr. Crosbie and unanimously carried as follows:

Louis E. Kayser, Aye; James L. Crosbie, Aye; Kenneth A. Aakesson, Aye; A. Roger Kelly, Aye; James P. Calozzo, Aye.

Certificate No...5096.....

4-92-5

FORM No. 4
BUILDING INSPECTOR
Building Zone Ordinance
Town of Orangetown, Rockland County, New York

CERTIFICATE OF OCCUPANCY

Issued.. April 29..... 1957... To John Cucchiara..... of
42 Ridge Street, Pearl River, N.Y....., owner of premises situated on the WEST.....
side of William Street..... distant 170.0..... feet SOUTH.....
from the intersection of Franklin Avenue..... and William Street.....
in the hamlet of Pearl River, New York.....

THIS CERTIFIES that the Parking Lot.....
situated on the above mentioned premises conforms substantially to the approved plans as per application
permit No... 5096..... and the requirements of the Building Zone Ordinance of the Town of
Orangetown, and the State Building Construction Code, and PERMISSION is hereby granted for
its occupancy for the purposes specified below:

ZONE.. CC.....

PERMITTED USE.. Commercial Parking Lot.....

Date .. April 29..... 1957..

RECEIVED

FEB 07 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

Building Inspector
Building Zone Ordinance
Town of Orangetown
Rockland County
New York

(DECISION : JOHN CUCCHIARA : sheet #2)

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN -

By: R. W. Banford
R. W. Banford, Clerk

Distribution:

Town Clerk
Wm. Snair, Esq.
Geo. Bergherman, Esq.
Mr. J. J. Komar, Spvr.
R. J. DiFiore
Property File-OBZPAE
Members Zoning Bd.
Members Town Bd.
Chrmn. & Secy., Planning Bd.

Dated: December 7, 1973

42 Ridge Street,
Pearl River, N. Y.
October 20th, 1949.

Zoning Board of Appeals
of the Town of Orangetown,
c/o Zoning and Building Inspector,
10 North Broadway,
Nyack, N. Y.

Gentlemen:

Pursuant to the provisions of Article V, Section 2, paragraph (1) of the Zoning Ordinance of the Town of Orangetown, and in accordance with the provisions of Article X, Section 4, paragraph 14 of said Ordinance, I hereby make application for permission to use property owned by me on the west side of William Street, approximately 170 feet south of Franklin Avenue, Pearl River, N. Y., for a commercial automobile parking lot, and to use existing garage for the purpose of washing and repairing cars. This property is located in a C-2 District, and is bounded on the south by Voorhis ; on the east by William Street; on the north by Lynch, Retz & Palis ; and on the west by Ridge Street.

I would appreciate a public hearing as soon as possible.

Very truly yours,



JOHN CUCCHIARA

Certificate No. 1031...

FORM No. 4

BUILDING INSPECTOR

Building Zone Ordinance

Town of Orangetown, Rockland County, New York

CERTIFICATE OF OCCUPANCY

Issued... January 16th... 19 50 To... JOHN CUCCHIARA... of
..42 Ridge Street, Pearl River, N.Y., owner of premises situated on the west...
side of... William Street... distant... 170... feet... south...
from the intersection of... William Street... and... Franklin Ave.,...
Pearl River, N. Y.

THIS CERTIFIES that the NEW EXISTING, ALTERED BUILDING situated on the
above mentioned premises has been completed and conform (s) substantially to the approved plans
as per application permit No. 1031... and the requirements of the Building Zone Ordinance
of the Town of Orangetown, and PERMISSION is hereby granted for its occupancy for the purposes
specified below:

ZONE C-2

PERMITTED USE... Temporary use of premises described in application
for a Commercial Automobile Parking Lot, (NOT a used-
car lot or junk yard) - said use to be limited to a
period of two years from date hereof, also use of existing buildings
for a public garage, provided no repair work is done out of doors.
- APPROVED BY BOARD OF APPEALS 11/10/49.

Permit also granted for use of two directional "Parking" signs.
(8" high by 36" long).

Date... January 16th... 19 50.

Edward P. Owen

Building Inspector
Building Zone Ordinance
Town of Orangetown
Rockland County
New York

November 18, 1949.

Mr. John Spooner,
42 Ridge Street,
Pearl River, N. Y.

Dear Mr. Spooner:

I am enclosing copy of decision of the Board of Appeals regarding your parking lot and garage, also bill for printing charges in connection with your hearing, which you will note the applicant is required to pay.

You will note that your application was granted, subject to certain conditions, however:

1. That the temporary permit for a commercial parking lot is to be limited to a period of two years.

2. That the size of the parking lot is to be limited to your boundary lines on the north, south and east, and flush with the face of your garage on the west. You will remember that you inserted dotted lines on the copies of the survey the night of the hearing, showing where the west boundary of your parking lot would be located.

3. That no repair work is to be done out of doors.

It will now be necessary for you to obtain a permit and certificate of occupancy in order to use your premises for the purpose you desire. Since there will probably be quite a bit of activity on your property while you are putting it in shape for a parking lot, I would suggest that you obtain your permit as soon as possible. The certificate will not be issued until you are all ready to start business.

The permit will be issued to cover everything you plan to do - for example, preparation of the property for a parking lot, any renovations, changes or repairs you may make to the garage, signs to be erected, etc. Will it be possible for you to call at the office for the permit, then we can go over the various things you propose to do. I expect to be away for three days next week - Tuesday, Wednesday & Thursday - but I will be in Monday, Friday, and possibly some time Saturday morning.

In the meantime, I am enclosing two application forms, on which I would like to have you insert certain information. Under paragraph 4 (Size of building) - give the size of your garage building which you intend using for repairs, washing cars, etc., and under paragraph 5 (Size of plot) - give the actual size of the premises you intend using for the commercial parking lot.

The survey shows the front of your lot to be 85.19 ft; the rear would be 85.19 plus 12.02, or 97.21 ft. The survey does not show the depth of the property from Williams Street back to the garage, so it will be necessary for you to measure this. According to the scale given on the map, it appears to be about 98 ft.

Also, if you anticipate putting up a sign, it will be necessary for you to submit two sketches of the proposed sign with the applications. There are all kinds of restrictions applying to signs, and I shall be glad to go over these with you when you call at the office.

If you cannot get over during the week and can make it next Saturday morning, will you, or Mrs. Spooner, kindly phone me and I will arrange to be here.

Incidentally, the other maps were finally received. I will need two of them to accompany your application forms for a permit, so I am returning one copy to you. I might possibly be able to return another copy also, if you need it.

Very truly yours,

WILHELMINA L. JOHNSON
Deputy Zoning Inspector
Town of Orangetown.

wlj
Encl-4

P.S. - I also meant to mention, regarding paragraph 10 on the application - this information will refer to the location of the garage. If you intend to erect any other building it will also have to be listed.

MINUTES OF HEARING HELD BY THE
ZONING BOARD OF APPEALS OF THE
TOWN OF ORANGETOWN AT THE OFFICE
OF THE ZONING BUILDING INSPECTOR,
10 NORTH BROADWAY, NYACK, N. Y.,
ON THURSDAY EVENING, NOVEMBER 10,
1949, at 8:15 P. M.

To consider the application of JOHN CUCCHIARA, pursuant to the provisions of ARTICLE X, Section 4(a), Subdivision 14 of the Zoning Ordinance of the Town of Orangetown, for a temporary permit to use the premises of the applicant as a commercial automobile parking lot; and to permit the use of an existing building for a public garage, in accordance with the provisions of ARTICLE X, Section 4(a), Subdivision 13, of said ordinance. Property involved is situated in the hamlet of Pearl River, New York, and is bounded on the south by Voorhis, on the east by William Street, on the north by Lynch, Retz and Pulis, and on the west by Ridge Street. The premises are located in a C-2 district.

PRESENT:

Walter E. Bradley, Chairman
George W. Dautel,
Joel W. Swindells,

ZONING BOARD OF APPEALS,
TOWN OF ORANGETOWN

ABSENT:

Cleveland B. Holt,
Walter F. Wright.

APPEARANCES:

John Cucchiara, applicant.

Same has been filed under
date of 12/5/49 in the
Town Clerk's Office,
Town of Orangetown,
76 No. Broadway, Nyack, N. Y.

A. E. BUSH,
Stenographer
Nyack, N. Y.

MR. BRADLEY: This is an application by John Cucchiara for a temporary permit to use his premises as a commercial automobile parking lot and to permit the use of an existing building for a public garage. The premises involved are situate in the hamlet of Pearl River, New York, and are bounded on the south by Vochia, on the east by William Street, on the north by Lynch, Hetz and Pulis, and on the west by Ridge Street. The premises are alleged to be located in a C-2 District. The application was duly advertised in the Journal News, at Nyack, New York, on November 4th, 1949. Now Mr. Cucchiara have you anything to say in support of your application?

MR. CUCCHIARA: I don't know what to say. How can I get the place there so that I can make a living. I am getting old and I have a little ground there that I would like to use.

MR. DAUTEL: For a commercial lot?

MR. BRADLEY: Do you own the lot?

MR. CUCCHIARA: Yes.

MR. DAUTEL: How much in area?

MR. CUCCHIARA: Two hundred twelve feet and I would use only half of that.

MR. DAUTEL: And how deep?

MR. CUCCHIARA: One hundred feet.

MR. DAUTEL: You have about a half acre.

MR. SWINDELLS: He is only using a fifty by eighty-five foot plot for parking.

MR. CUCCHIARA: I own the whole thing.

MR. SWINDELLS: Here is a brick dwelling here (indicating on map).

MR. BRADLEY: Which one of these two is to be the entrance and which is to be an exit?

MR. CUCCHIARA: Enter on William Street. One on each end of the property.

MR. BRADLEY: Which one?

MR. CUCCHIARA: The north side is the entrance and the south the out.

MR. BRADLEY: What is on this property south of you. Who owns that property?

MR. CUCCHIARA: There is a private garage right there about fifteen or twenty feet away.

MR. BRADLEY: Who owns this property between Ridge and William Streets (indicating).

MR. SWINDELLS: There is a house there that goes through the whole block.

MR. BRADLEY: It says here that it is owned by Vocaris?

MR. CUCCHIARA: That is the original plan. This is what I brought here now. Maybe you can - -

MR. SWINDELLS: Didn't they convert that one - - - -

MR. CUCCHIARA: No, there is a vacant lot.

MR. BRADLEY: Is Voerhis in a C-2 District?

MR. SWINDELLS: It is right about on the dividing line.

MR. BRADLEY: Are you sure Mr. Cucchiara that that is in a C-2 District?

MR. CUCCHIARA: The surveyor says so.

MR. BRADLEY: It doesn't look like it.

MR. DAUTEL: Where is Central Avenue located here?

MR. CUCCHIARA: About four hundred feet.

MR. DAUTEL: About a block away?

MR. SWINDELLS: (after looking at the large zoning map on the wall) He is in a C-2 District.

MR. BRADLEY: By checking on the large map Mr. Cucchiara's property is found to be in a C-2 District. Article X, Section 4(a) is the one he is relying on in his application. He is basing his application for the use of the building as a public garage on Article X, Section 4(a), Subdivision 13. Is there any one here to speak in favor of Mr. Cucchiara's application other than himself - - - - - There is no one. Is there anyone here that is opposed to the granting of this application - - - - there is no one

opposed. Do you gentlemen think of anything else?

MR. SWINDELLS: His plan shows a small parking lot - is that all you intend to use?

MR. CUCCHIARA: I want to use up to the garage there.

MR. BRADLEY: It doesn't indicate that on the map. Your map shows only the fifty foot area.

MR. CUCCHIARA: I want to go as far as the garage.

MR. BRADLEY: Why didn't you indicate that on the map. Mr. Cucchiara will you indicate on this map by pencil line how far you want to go?

MR. CUCCHIARA: Yes (draws pencil line on map).

MR. BRADLEY: Mr. Cucchiara has indicated by a line across the front of the frame garage on one side of his lot to the other as the west boundary of his parking lot. Mr. Cucchiara for how long a period did you like to have the permit?

MR. CUCCHIARA: The two years is sufficient and after things go well I will have to get it renewed.

MR. BRADLEY: We can only make it for two years and you will have to get it renewed at the end of two years on another application.

MR. CUCCHIARA: All right.

MR. SWINDELLS: Does he know what the definition of a parking lot is?

MR. BRADLEY: Do you know what a parking lot means? A parking lot is a vacant or undeveloped lot used for the parking of motor vehicles by the hour, week or day for gain.

MR. CUCCHIARA: I understand.

MR. DANIEL: Not for the sale.

MR. SWINDELLS: He may run into the proposition of putting up a sign.

MR. CUCCHIARA: Can I put one up?

MR. BRADLEY: Have you a lawyer?

MR. CUCCHIARA: I haven't right now.

MR. BRADLEY: You better get one from Pearl River to steer you right on these things. The sign has to be put up right. You would have to get a permit to put the sign up. You should consult someone who is familiar with the zoning ordinance regulations so you won't get into trouble.

MR. SWINDELLS: Are you going to surface the ground?

MR. CUCCHIARA: I am going to get some dust to make it permanent.

MR. BRADLEY: Mrs. Johnson will advise you by mail within a day or so of our decision. There is nothing further is there?

MR. SWINDELLS: Ho.

MR. BRADLEY: That closes the hearing.

Walter F. Wright
Acting Secretary

In the Matter of the Application

- of -

JOHN CUCCHIARA, pursuant to the provisions of Article X, Section 4(a), subdivision 14 of the Zoning Ordinance of the Town of Orangetown, for a temporary permit to use the premises of the applicant as a commercial automobile parking lot; and to permit the use of an existing building for a public garage, in accordance with the provisions of Article X, Section 4(a), subdivision 13 of said Ordinance. Property involved is situated in the hamlet of Pearl River, New York, and is bounded on the south by Voorhis, on the east by William Street, on the north by Lynch, Retz and Pulis, and on the west by Ridge Street. The premises are located in a C-2 District.

AT A MEETING OF THE ZONING BOARD OF APPEALS OF THE TOWN OF ORANGETOWN, HELD AT THE OFFICE OF THE ZONING BUILDING INSPECTOR, 10 NORTH BROADWAY, NYACK, N. Y., ON THURSDAY EVENING, NOVEMBER 10, 1949, AT 8:15 P.M.

PRESENT:

**Walter E. Bradley, Chairman
George W. Dautel
Joel W. Swindells,**

**ZONING BOARD OF APPEALS
Town of Orangetown.**

ABSENT:

**Cleveland B. Holt,
Walter P. Wright.**

APPEARANCES:

John Cucchiara, Applicant.

**A. E. Bush,
Stenographer
Nyack, N.Y.**

The Board, after careful consideration of the application, voted unanimously in favor of the following decision:

- - D E C I S I O N - -

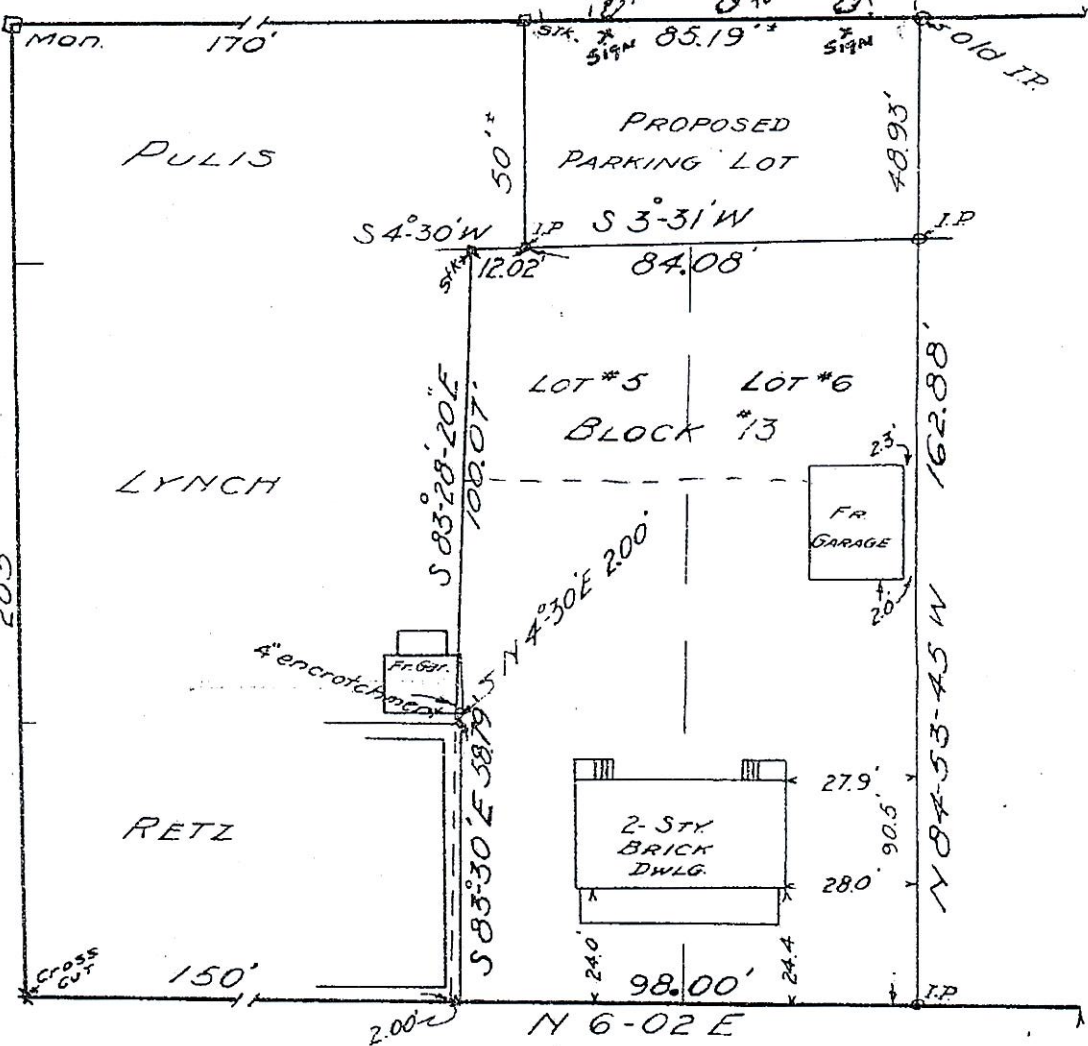
The application of JOHN CUCCHIARA, pursuant to the provisions of Article X, Section 4(a), Subdivisions 14 and 15 of the Zoning Ordinance, for a temporary permit to use the premises of the applicant for a commercial automobile parking lot, and to permit the use of an existing building on said premises for a public garage, IS HEREBY GRANTED; subject, however to the following provisions: (1) Temporary permit for a commercial automobile parking lot to be limited to a period of two years from date said permit is issued; (2) Size of the parking lot to be limited to the property boundary lines on the south, east and north, and by the dotted line flush with the face of the garage on the west, as indicated on map accompanying this application, which map was made by Edward Barbour, L. S., and dated October 12, 1949; (3) Permission granted for use of existing building as a public garage, provided no repair work is performed out of doors.


Acting-Secretary
ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN.



WILLIAMS ST. 60'

60'



FRANKLIN AVE. 60'

RETZ

LYNCH

PULIS

RIDGE ST. 60'

60'

MAP OF PROPERTY OF
 JOHN & MARY CUCCHIARA

PEARL RIVER,
 N. Y.

C 2 ZONE

Scale 1" = 40 ft.
 Oct. 12, 1949

Edward Barbour
 Licd. Land Surveyor
 Nanuet, N.Y.