

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: February 12, 2025

TO: OBAPAE

NYS Dept of Environmental Conservation
New York State Dept. of Transportation
Palisades Interstate Park Commission
NYS Thruway Authority
ACOE
CSX
Orangetown Highway

Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
Rockland County Sewer Dstrt #1
Orange and Rockland Utilities
Veolia

This matter is scheduled for: March 19, 2025

Review of Plans: Flynn, 48 Pearce Parkway, Pearl River, NY

Section: 69.09 Block:5 Lot:9 R-40 zone

Chapter 43, R-15 District, Section 3.12, Group M, Column 4 (Max FAR: 20% permitted, with 21.18% proposed), from Column 8(Front yard: 30' required, with 27.5' proposed), and from Section 5.227 (Accessory structure set back: 5' required, with 2' proposed) for an addition, deck, renovations, and existing shed at a single-family residence. The premises are located at 48 Pierce Parkway, Pearl River, New York and identified on the Orangetown Tax Map as Section 69.09, Block 5, Lot 9 in the R-15 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: **KBettmann@orangetown.com**

Zoning Board Meeting Date: March 19, 2025

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, March 19, 2025.** Kindly forward your completed review to this office **BEFORE March 19, 2025**

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 2/12/2025

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-6618-25
 ASSIGNED
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Flynn

Project Name: Addition & Alterations for McGinnis Residence-

Street Address: 48 Pearce Parkway Pearl River NY 10965

Tax Map Designation:

Section: 69.09 Block: 5 Lot(s): 9
 Section: _____ Block: _____ Lot(s): _____

Directional Location Description: (If additional space required, please attach a narrative summary.)

Existing Residence converted from 1 story to 1 1/2 story with new second floor
 On the Right side of Pearce Parkway, approximately
0 feet of the intersection of Patton Place, in the
 Town of Orangetown in the hamlet/village of Pearl River.

Acreage of Parcel <u>.29 acres</u>	Zoning District <u>R-15</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Orangetown</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Existing residence to have additions and alterations as per the attached documents. In summary a new
 Master Suite, New Family Room and front entry additions along with interior adjustments.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 2-6-25 Applicant's Signature: [Signature]

RECEIVED

FEB 12 2025

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

RECEIVED

FEB 12 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

RECEIVED

FEB 12 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

Fax: (845) 359-8526

Jane Slavin, R.A.
Director

(845)359-8410

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 2.3.25 Section: 69.09 Block: 5 Lot: 9

Applicant: Flynn

Address: 48 Pearce Parkway, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12 R-15, Col 4 FAR 20% w/ 21.18% proposed, Col 8 Front Yd 30' w/ 27.5' proposed.

Chapter 43, Section 5.227 Accessory structures set back required 5' w/ 2' proposed

3 variances required

Comments:

Addition, deck, interior and exterior renovations, existing shed

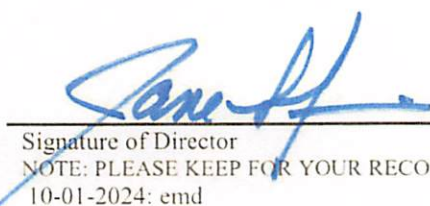
Dear Flynn:

Please be advised that the Building Permit Application # 6618-25, which you submitted on 1.30.25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector

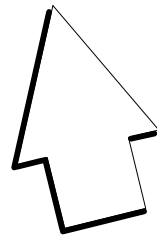
2/3/25


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

2/4/25

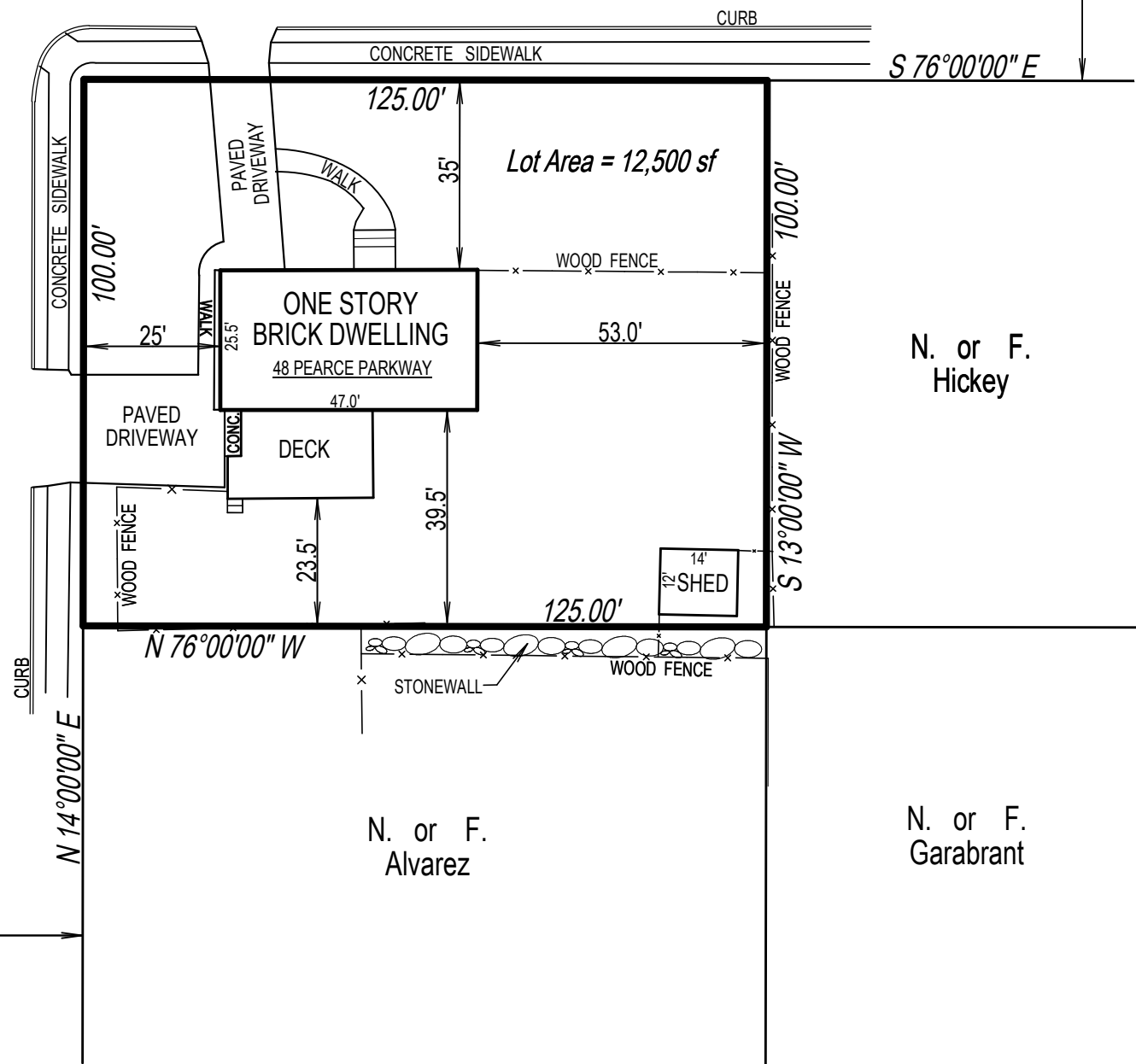
Date
CC: Katlyn Bettmann
Elizabeth Decort

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.09-2-29	Joseph Ayres	16 Arlene Ct,Pearl River, NY 10965
392489	69.09-2-30	Robert Battaglia	30 Arlene Ct,Pearl River, NY 10965
392489	69.09-2-31	Anthony & Theresa Florentino	36 Arlene Ct,Pearl River, NY 10965
392489	69.09-2-32	Michael D Ward	42 Arlene Ct,Pearl River, NY 10965
392489	69.09-2-33	Anthony Barrett	50 Arlene Ct,Pearl River, NY 10965
392489	69.09-2-44	Marie L Manning	92 Sickletown Rd,W Nyack, NY 10994
		Sarah McTasney	
392489	69.09-2-45	Kenneth R Kinsley	67 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-2-46	Albino J Lucente	61 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-2-47	Nicholas Meredith	55 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-2-48	Walette Mary Filippone	47 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-2-49	Mark Durney	2 Marion Pl,Pearl River, NY 10965
392489	69.09-2-50	John A Wojtunik	21 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-2	Mark T Durney	2 Marion Pl,Pearl River, NY 10965
392489	69.09-5-3	Christopher Brundage	14 Marion St,Pearl River, NY 10965
392489	69.09-5-4	Geraldine Sumprer	22 Marion Pl,Pearl River, NY 10965
392489	69.09-5-6	Monica Duffy	27 Patton Pl,Pearl River, NY 10965
392489	69.09-5-7	Gloria Albert	17 Patton Pl,Pearl River, NY 10965
392489	69.09-5-8	Charles Mc Grath	32 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-9	Kenneth Flynn	48 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-10	Anthony M Perimutter	14 Patton Pl,Pearl River, NY 10965
392489	69.09-5-11	Matthew M Mc Sweeney	20 Patton Pl,Pearl River, NY 10965
392489	69.09-5-12	Elizabeth R Lacovara	26 Patton Pl,Pearl River, NY 10965
392489	69.09-5-13	Joseph Garabrant	14 Douglas Ct,Pearl River, NY 10965
392489	69.09-5-14	Timothy Hickey	58 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-15	Justin Carney	68 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-16	Andrew Cole-Hatchard	78 Pearce Pkwy,Pearl River, NY 10965
392489	69.09-5-45	Peter Marzec Jr	18 Douglas Ct,Pearl River, NY 10965
392489	69.09-5-46	Daniel J Brannigan	26 Douglas Ct,Pearl River, NY 10965



PEARCE PARKWAY

PATTON PLACE



Land Survey
 For
"Flynn & O'Gorman"
 Pearl River
 Town of Orangetown Rockland County, NY
 Scale: 1" = 30' Area = 0.29 Ac.
 August 27, 2024

Tax Lot Desig.: Section 69.09 Block 5 Lot 9

Certified to:
 * Kenneth Flynn
 * Kelly O'Gorman

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

N. or F.
Alvarez

N. or F.
Hickey

N. or F.
Garabrant

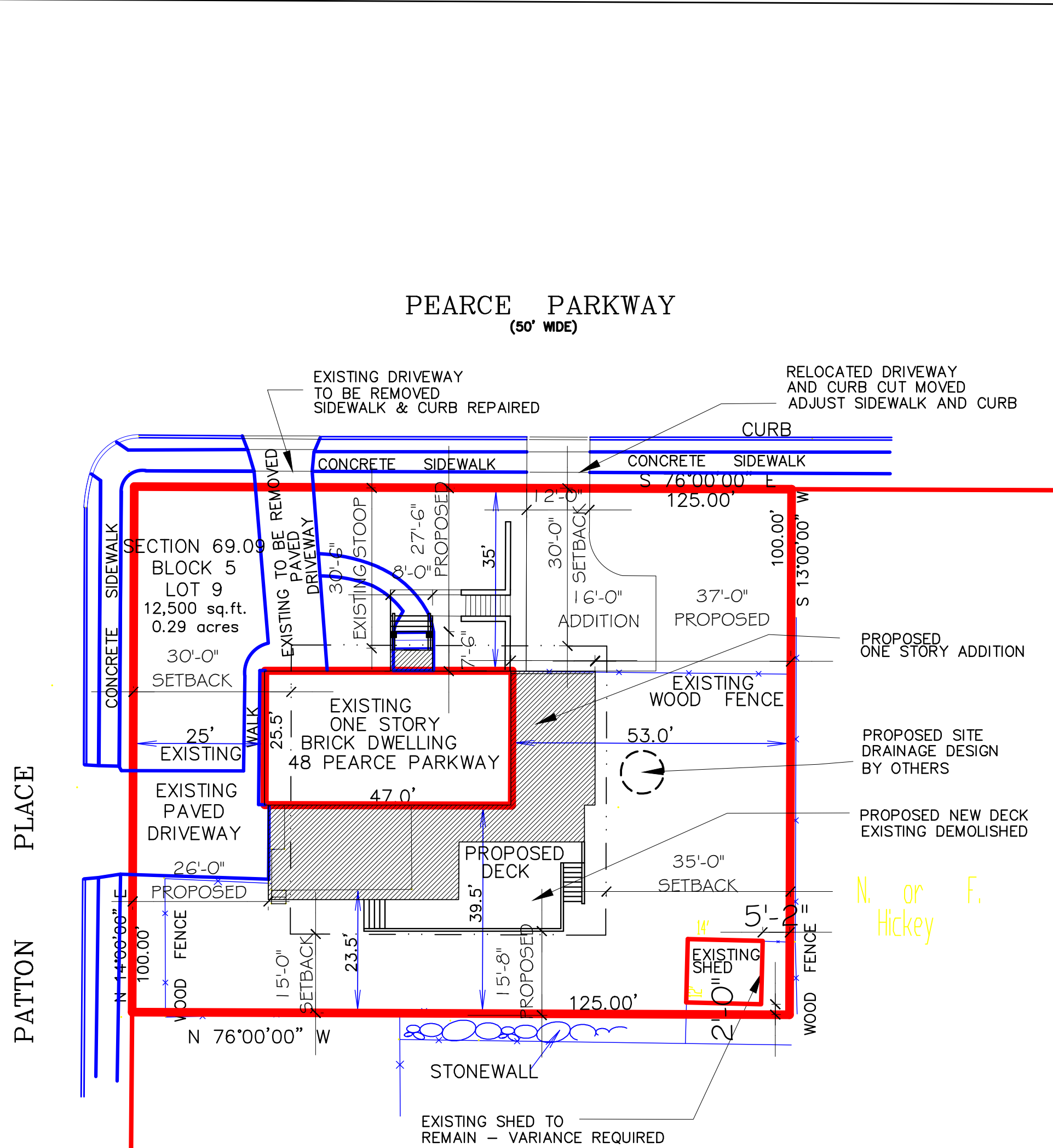
RO 8520

Robert E. Sorace
 Lic. 49162
 Robert E. Sorace, PLS
 P.O. Box 605
 New City, NY 10956
 845-638-1498

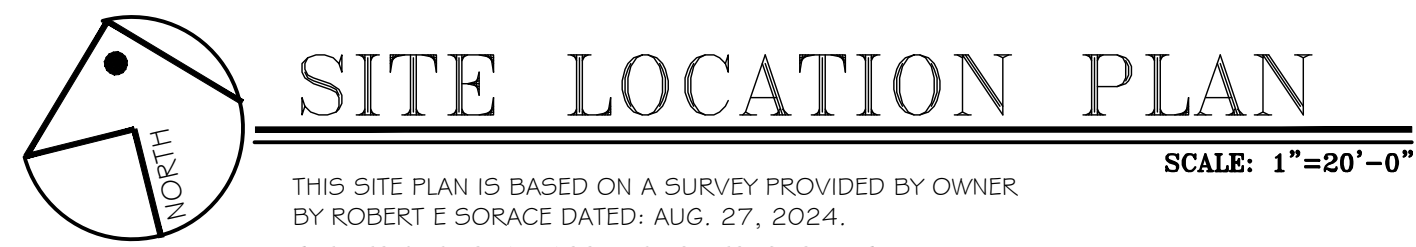
LIST OF DRAWINGS

- ARCHITECTURAL DRAWINGS
SHEET DESCRIPTION
- A-0 GENERAL NOTES, SITE LOCATION PLAN, BULK TABLE AND ELEVATIONS
 - A-1 PROPOSED DECK AND FOUNDATION PLAN
 - A-2 PROPOSED FIRST FLOOR PLAN
 - A-3 PROPOSED ELEVATIONS
 - A-4 PROPOSED ELEVATIONS

SITE PLAN

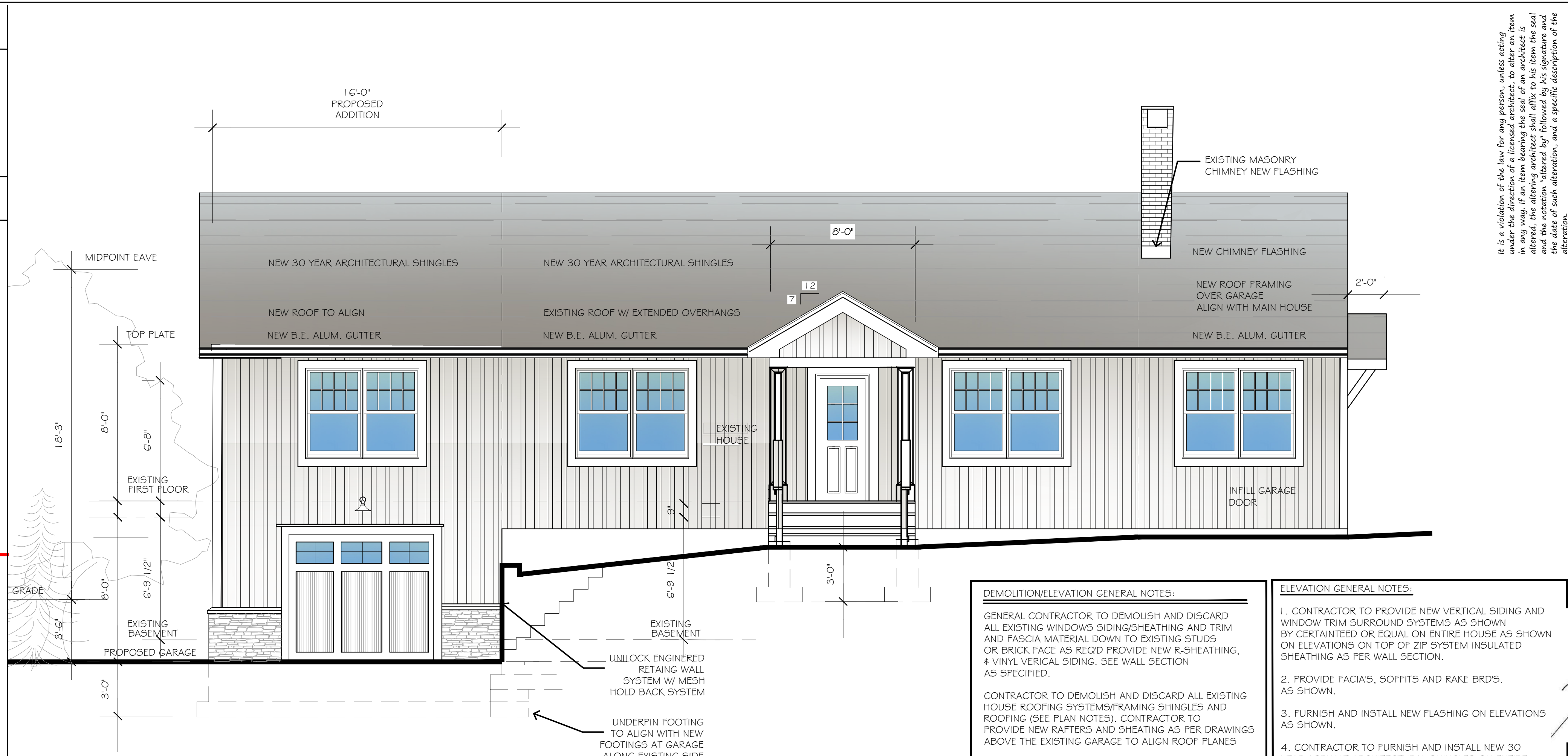


SECTION 69.09 - BLOCK 5
LOT 9
#48 PEARCE PARKWAY - PEARL RIVER
TOWN OF ORANGETOWN - ROCKLAND COUNTY - NEW YORK



THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY OWNER BY ROBERT E SORACE DATED: AUG. 27, 2024.
THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.

NOTE:
PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
NOT FOR CONSTRUCTION



1 PROPOSED FRONT (NORTH) FACING ELEVATION
SCALE: 1/4" = 1'-0"

- DEMOLITION/ELEVATION GENERAL NOTES:**
- GENERAL CONTRACTOR TO DEMOLISH AND DISCARD ALL EXISTING WINDOWS SIDINGSHEATHING AND TRIM AND FASCIA MATERIAL DOWN TO EXISTING STUDS OR BRICK FACE AS REQD PROVIDE NEW R-SHEATHING, # VINYL VERTICAL SIDING. SEE WALL SECTION AS SPECIFIED.
 - CONTRACTOR TO DEMOLISH AND DISCARD ALL EXISTING HOUSE ROOFING SYSTEMS/FRAMING SHINGLES AND ROOFING (SEE PLAN NOTES). CONTRACTOR TO PROVIDE NEW RAFTERS AND SHEATHING AS PER DRAWINGS ABOVE THE EXISTING GARAGE TO ALIGN ROOF PLANES
 - INSTALL NEW ROOFING SYSTEM INCLUDING DRIP EDGE, SHINGLES, #15 FELT PAPER, FLASHING, AND MEMBRANE ICE AND WATER SHIELD ON ALL EAVES AND VALLEYS AS PER. MANF. RECOMMENDATIONS AND NEW RIDGE VENTS.
 - CONTRACTOR TO REMOVE ALL ELECTRICAL AND MECHANICAL DEVICES AND DUCT WORK IN THE ENTIRE HOUSE AS REQUIRED. NEW SYSTEMS AND CIRCUITS AND HVAC AS REQD. FOR NEW DESIGN.
 - CONTRACTOR TO DEMOLISH ALL EXISTING WINDOWS AS REQUIRED AND DISCARD AS PER OWNERS DIRECTIONS AND COORDINATE WITH NEW ROUGH OPENINGS AND SIZES AS PER CONSTRUCTION DOCUMENTS. PROVIDE NEW HEADERS AND ALL FRAMING REQUIRED.
- ELEVATION GENERAL NOTES:**
1. CONTRACTOR TO PROVIDE NEW VERTICAL SIDING AND WINDOW TRIM SURROUND SYSTEMS AS SHOWN BY CERTAINTED OR EQUAL ON ENTIRE HOUSE AS SHOWN ON ELEVATIONS ON TOP OF ZIP SYSTEM INSULATED SHEATHING AS PER WALL SECTION.
 2. PROVIDE FACIAS, SOFFITS AND RAKE BRDS. AS SHOWN.
 3. FURNISH AND INSTALL NEW FLASHING ON ELEVATIONS AS SHOWN.
 4. CONTRACTOR TO FURNISH AND INSTALL NEW 30 YEAR ASPHALT ARCHITECTURAL SHINGLES ON ENTIRE HOUSE ROOF UNLESS OTHERWISE NOTED. CONTRACTOR TO INSTALL ICE & WATER SHIELD AND NEW ROOFING FELT AND FLASHING AND DRIP EDGES AS REQUIRED.
 5. CONTRACTOR TO INSTALL CULTURED STONE AS SHOWN AND APPROVED BY OWNER.
 6. PROVIDE ALL NEW GUTTERS AND LEADERS CONNECTED TO DRYWELL AS DESIGNED BY OTHERS.

BULK TABLE

SITE DATA
ZONING BULK TABLE
EXISTING NON-CONFORMING - CHAPTER 43 (5.21) - CORNER LOT
48 PEARCE PARKWAY - PEARL RIVER NY 10965
TAX MAP - SECTION 69.09, BLOCK 5, LOT 9 - (.29 acres) R-15 ZONE

REQUIRED	EXISTING	PROPOSED
LOT REQUIRED 15,000 S.F.	NON CONFORMING LOT AREA= 12,500 +/- SQ. FT.	NO CHANGE - (ENC)
FAR - .20 (20 %)	FAR - 1,193 / 12,500 = .1088 (10.88 %)	PROPOSED FAR - 2,648 / 12,500 = .2118 (21.18 %) (VARIANCE 1.18 % REQUIRED)
FRONT YARD SET BACK: 30'-0" (Corner Lot)	FRONT SETBACK - 30.00' Pearce / 25.00' Patton (ENC)	PROPOSED 27.5' (To Pearce) - Variance 2.5' Required (To Patton 26'-0" - ENC) - Variance 3.92' Required
SIDE YARD SET BACK: 15'-0" (5.21 (c))	23.5'	15.67' PROPOSED
COMBINED SIDE YARD SETBACK - 30'-0" (5.21 (c)) (Corner Lot)	N/A	N/A
REAR YARD SET BACK: 35'-0"	53.0'	37.0' PROPOSED
LOT WIDTH: 100'-0"	125'-0"	NO CHANGE
STREET FRONTAGE: 75'-0"	225.00'	NO CHANGE
HEIGHT MAX. 20'-0" (5.21 (e))	EXISTING	NO CHANGE
		VARIANCE FOR EXISTING SHED SIDE YARD - 3'-0"

EXISTING F.A.R. DATA

EXISTING FIRST AND GARAGE (*)	1,193 S.F.
EXISTING SHED	168 S.F.
EXISTING TOTAL S.F.	1,361 S.F.
1,193 / 12,500 = .1088 (10.88 %)	

(*) NOTE: NOT INCLUDING EXISTING BASEMENT

PROPOSED F.A.R. DATA

EXISTING FIRST AND GARAGE (*)	1,193 S.F.
EXISTING SHED	168 S.F.
FIRST FLOOR ADDITION	1,227 S.F.
PROPOSED FRONT VESTIBULE & ROOF	60 S.F.
PROPOSED TOTAL S.F.	2,648 S.F.
PROPOSED FAR - 2,648 / 12,500 = .2118 (21.18 %)	

(*) NOTE: NOT INCLUDING EXISTING BASEMENT

EXTERIOR FINISH LEGEND:

EXTERIOR TRIM & SIDING COLORS COLOR INDEX AS NOTED TYPICAL. ALL COLORS BASED ON SHERWIN WILLIAMS OR EQUAL. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. ALL SURFACES TO BE PRIMED & PAINTED AS INDICATED.	
MAIN BUILDING ELEMENTS	
1. [Color Box]	TRIM & FASCIAS & COLUMNS - SHALL BE CEMENT BOARD - ARCTIC WHITE OR ALTERNATE AZEK PAINTED - EXTRA WHITE.
2. [Color Box]	SIDING BOARD AND BATTEN - SHALL BE VINYL
3. [Color Box]	CULTURED STONE OWENS CORNING - COUNTRY LEDGESTONE - BUCKS COUNTY CSV-366183
4. [Color Box]	WINDOWS & SLIDING DOORS ANDERSEN 500 OR EQUAL DOUBLE HUNG FRAME WINDOWS W/ DIVIDED LIGHTS COLOR- EXTERIOR - EBONY COLOR - INTERIOR - EBONY
5. [Color Box]	ROOFING GAF - TIMBERLINE HDZ- CHARCOAL

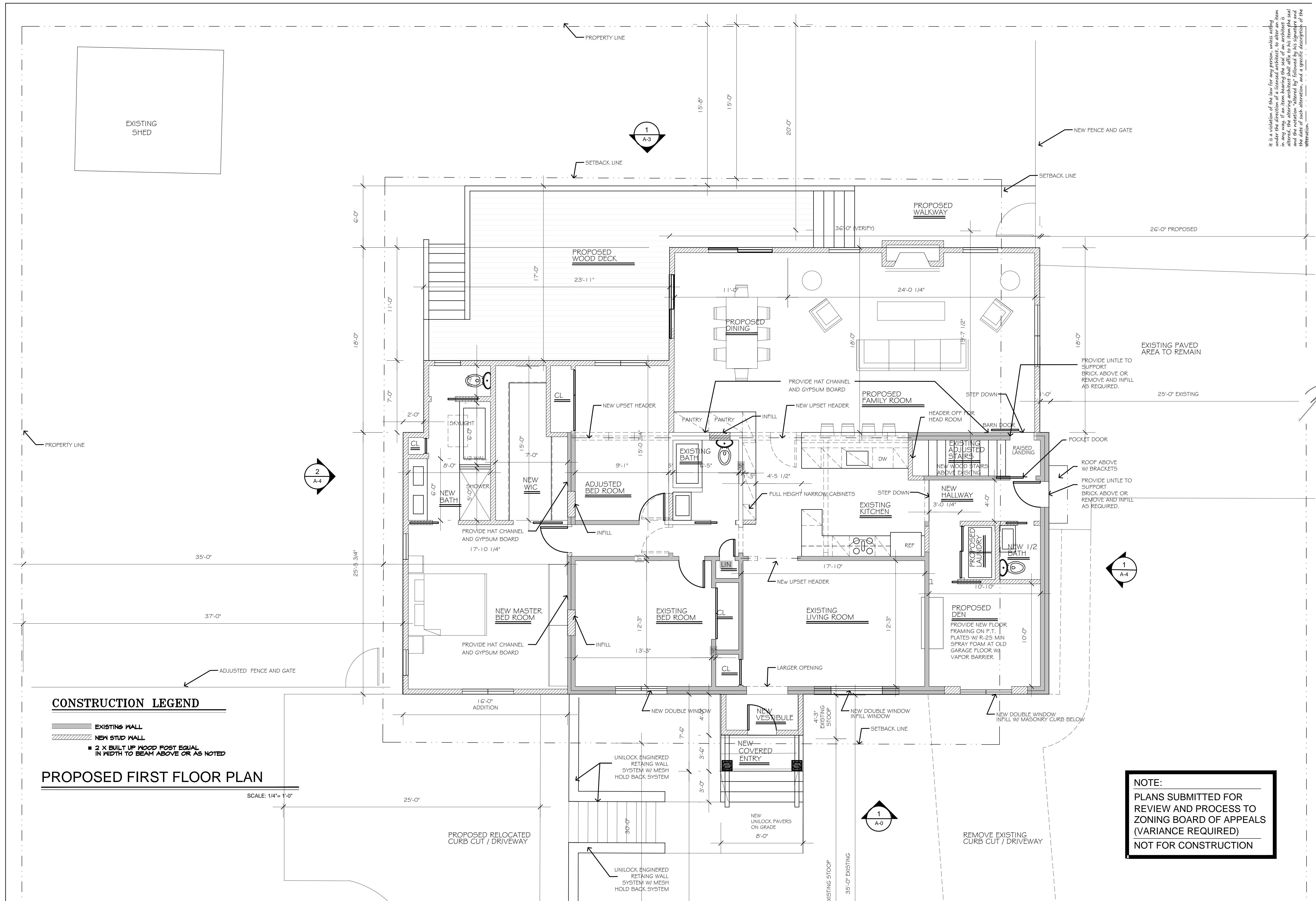
Karl E. Ackermann, AIA Architect PLLC
Architect
159 East Central Avenue
Pearl River, New York 10965
(845) 732-3762 karack@verizon.net
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect
NYS LIC. 027393 - Registered through Date April 30, 2026
NJ LIC. 21A0168200 - Registered through Date July 31, 2025
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Proposed Addition / Alterations For
Flynn Residence
48 Pearce Parkway, Pearl River NY 10965
Tax Map - 69.09-5-9

Issue Date: 9/19/24

Revisions	
1	Permit Set 1/24/25
2	
3	
4	

Sheet No.
A-0



CONSTRUCTION LEGEND

- EXISTING WALL
- ▨ NEW STUD WALL
- 2 X BUILT UP WOOD POST EQUAL IN WIDTH TO BEAM ABOVE OR AS NOTED

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
 PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
 NOT FOR CONSTRUCTION

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and his profession altered by followed by his signature and the date of such alteration. A signature stamping of the alteration.

Proposed Addition / Alterations For Flynn Residence
 48 Pearce Parkway, Pearl River NY 10965
 Tax Map - 69.09-6-9

Sheet No. A-1

159 East Central Avenue
 Pearl River, New York 10965
 (845) 732-3762 karack@verizon.net
 Residential & Commercial Architecture and Green Design
 New York & New Jersey Licensed Architect

Karl E. Ackermann, AIA Architect PLLC
 Architect

NYS LIC. 027393 - Registered through Date April 30, 2026
 NJ LIC. 27A0168200 - Registered through Date July 31, 2025
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Issue Date: 9/19/24	
Revisions	
1	Permit Set 1/24/25
2	
3	
4	

GENERAL NOTE: (SEE SPECIFICATIONS)

1. All work and materials shall conform to all local, county and New York State 2020 Residential Code and NYS Stretch Code.

2. Contractor to consider all dimensions approximate pending field verification, prior to construction, consult architect as required.

3. Contractor to furnish and provide all labor materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner, job shall be ready for occupancy in a good workmanship manner with all work done as shown or reasonable intended on documents. It shall include but not limited to:

- | | |
|-----------------------------|----------------------------|
| A. Building permit | J. Gutters and leaders |
| B. Certificate of Insurance | K. Insulation |
| C. Demolition as required | L. Gypsum board and taping |
| D. Excavation | M. Painting and Finishing |
| E. Masonry | N. Trim work |
| F. Carpentry | O. Heating |
| G. Roofing and Flashing | P. Electrical |
| H. Siding | Q. Plumbing |
| I. Caulking/Sealant | |

4. Contractor shall furnish and install interior paint and exterior paint as specified.

5. All framing lumber to be #2 Douglas Fir or better. All new work and materials unless otherwise specified shall match existing construction.

6. All materials shall be installed in strict accordance with manufacturers specifications.

7. All windows are to be "ANDERSEN Windows" as shown on the drawings. Pricing to include grilles and screens. Contractor to also include interior extension jambs for 4/6" stud walls additional extensions required shall be field installed and casing to match existing house trim. Contractor to also include hand lift hardware. Contractor to consult owner for window finish.

8. Heating contractor shall provide a complete system that meets energy star requirements and NYS State Codes.

9. Electrical contractor shall provide a complete system as per plans that meets energy star requirements and NYS State Codes. See spec. and electrical allowance plans.

10. Plumbing contractor shall provide a complete system and connect to existing system.

11. See specifications for additional notes 4 information

12. Energy Code Compliance shall be by REScheck submission.

NYS ENERGY CODE AND STRETCH ADOPTED CODE COMPLIANCE - SEE RES CHECK FOR COMPLIANCE REPORT CLIMATE ZONE 5 - PRESCRIPTIVE REQUIREMENTS

ENVELOPE COMPONENT	R VALUE REQUIRED	R VALUE PROVIDED
EXTERIOR WALL	R-21 or R-20 + R-5ci or R-13 + R-10ci	R-21 Batt and R5ci
ROOF/CEILING	R-40	R-40
FLOOR	R-30	R-30
FOUNDATION WALL	R-10/19	N/A
SLAB ROCK INSULATION	R-10/27 above	R-10
CRAWLSPACE	R-15/19	15"
GLAZING	U-.27 Energy Star Compliant	U-.27 Energy Star Compliant
SKYLIGHTS	U-.50	N/A
EXTERIOR DOORS	U-.27 Energy Star Compliant	U-.27 Energy Star Compliant
FINISTRATION	U-.27	U-.27

HVAC EQUIPMENT: Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J, or other approved heating and cooling calculation methodologies. New heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

MECHANICAL VENTILATION: The building shall be provided with ventilation as per N1103.6 that complies with the requirements of Section M1506, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. Fans used to provide whole-house mechanical ventilation shall meet the efficiency requirements of Table N1103.6.1.1.

I hereby state to the best of my professional knowledge and abilities that the proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the Current New York State Energy Conservation Construction Code and adopted stretch code. The signature and seal on such documents attests to the above statement.

KARL ACKERMANN, AIA

TABLE R01.1 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)

USE	LIVE LOAD
Uninhabitable areas without storage ^a	10
Uninhabitable areas with limited storage ^a	20
Inhabitable areas and areas covered with fixed stairs (balconies, decks) and decks ^b	40
Fire escapes	40
Garages and basements ^c	200 ^d
Garage-to-88 components ^e	50 ^f
Passenger vehicle garages ^g	100 ^f
Rooms other than sleeping rooms	40
Sleeping rooms	30
Stairs	100 ^f

^a For 1' unobstructed clear height - 200/100 lbs. For 8' or more clear height - 100/50 lbs. For 10' or more clear height - 50/25 lbs. For 12' or more clear height - 25/12.5 lbs. For 14' or more clear height - 12.5/6.25 lbs. For 16' or more clear height - 6.25/3.125 lbs. For 18' or more clear height - 3.125/1.5625 lbs. For 20' or more clear height - 1.5625/0.78125 lbs. For 22' or more clear height - 0.78125/0.390625 lbs. For 24' or more clear height - 0.390625/0.1953125 lbs. For 26' or more clear height - 0.1953125/0.09765625 lbs. For 28' or more clear height - 0.09765625/0.048828125 lbs. For 30' or more clear height - 0.048828125/0.0244140625 lbs. For 32' or more clear height - 0.0244140625/0.01220703125 lbs. For 34' or more clear height - 0.01220703125/0.006103515625 lbs. For 36' or more clear height - 0.006103515625/0.0030517578125 lbs. For 38' or more clear height - 0.0030517578125/0.00152587890625 lbs. For 40' or more clear height - 0.00152587890625/0.000762939453125 lbs. For 42' or more clear height - 0.000762939453125/0.0003814697265625 lbs. For 44' or more clear height - 0.0003814697265625/0.00019073486328125 lbs. For 46' or more clear height - 0.00019073486328125/0.000095367431640625 lbs. For 48' or more clear height - 0.000095367431640625/0.0000476837158203125 lbs. For 50' or more clear height - 0.0000476837158203125/0.00002384185791015625 lbs. For 52' or more clear height - 0.00002384185791015625/0.000011920928955078125 lbs. For 54' or more clear height - 0.000011920928955078125/0.0000059604644775390625 lbs. For 56' or more clear height - 0.0000059604644775390625/0.00000298023223876953125 lbs. For 58' or more clear height - 0.00000298023223876953125/0.000001490116119384765625 lbs. For 60' or more clear height - 0.000001490116119384765625/0.0000007450580596923828125 lbs. For 62' or more clear height - 0.0000007450580596923828125/0.00000037252902984619140625 lbs. For 64' or more clear height - 0.00000037252902984619140625/0.000000186264514923095703125 lbs. For 66' or more clear height - 0.000000186264514923095703125/0.0000000931322574615478515625 lbs. For 68' or more clear height - 0.0000000931322574615478515625/0.0000000465661287307739278125 lbs. For 70' or more clear height - 0.0000000465661287307739278125/0.00000002328306436538696390625 lbs. For 72' or more clear height - 0.00000002328306436538696390625/0.000000011641532182693481953125 lbs. For 74' or more clear height - 0.000000011641532182693481953125/0.0000000058207660913467409765625 lbs. For 76' or more clear height - 0.0000000058207660913467409765625/0.00000000291038304567337048828125 lbs. For 78' or more clear height - 0.00000000291038304567337048828125/0.000000001455191522836685244140625 lbs. For 80' or more clear height - 0.000000001455191522836685244140625/0.0000000007275957614183426220703125 lbs. For 82' or more clear height - 0.0000000007275957614183426220703125/0.00000000036379788070917131103515625 lbs. For 84' or more clear height - 0.00000000036379788070917131103515625/0.000000000181898940354585655517578125 lbs. For 86' or more clear height - 0.000000000181898940354585655517578125/0.0000000000909494701772928277890625 lbs. For 88' or more clear height - 0.0000000000909494701772928277890625/0.00000000004547473508864638894253125 lbs. For 90' or more clear height - 0.00000000004547473508864638894253125/0.000000000022737367544323194471265625 lbs. For 92' or more clear height - 0.000000000022737367544323194471265625/0.00000000001136868377216159723578125 lbs. For 94' or more clear height - 0.00000000001136868377216159723578125/0.0000000000056843418860807986178890625 lbs. For 96' or more clear height - 0.0000000000056843418860807986178890625/0.00000000000284217094304039930894253125 lbs. For 98' or more clear height - 0.00000000000284217094304039930894253125/0.000000000001421085471520199654471265625 lbs. For 100' or more clear height - 0.000000000001421085471520199654471265625/0.0000000000007105427357600972723578125 lbs.

TABLE M1.1(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

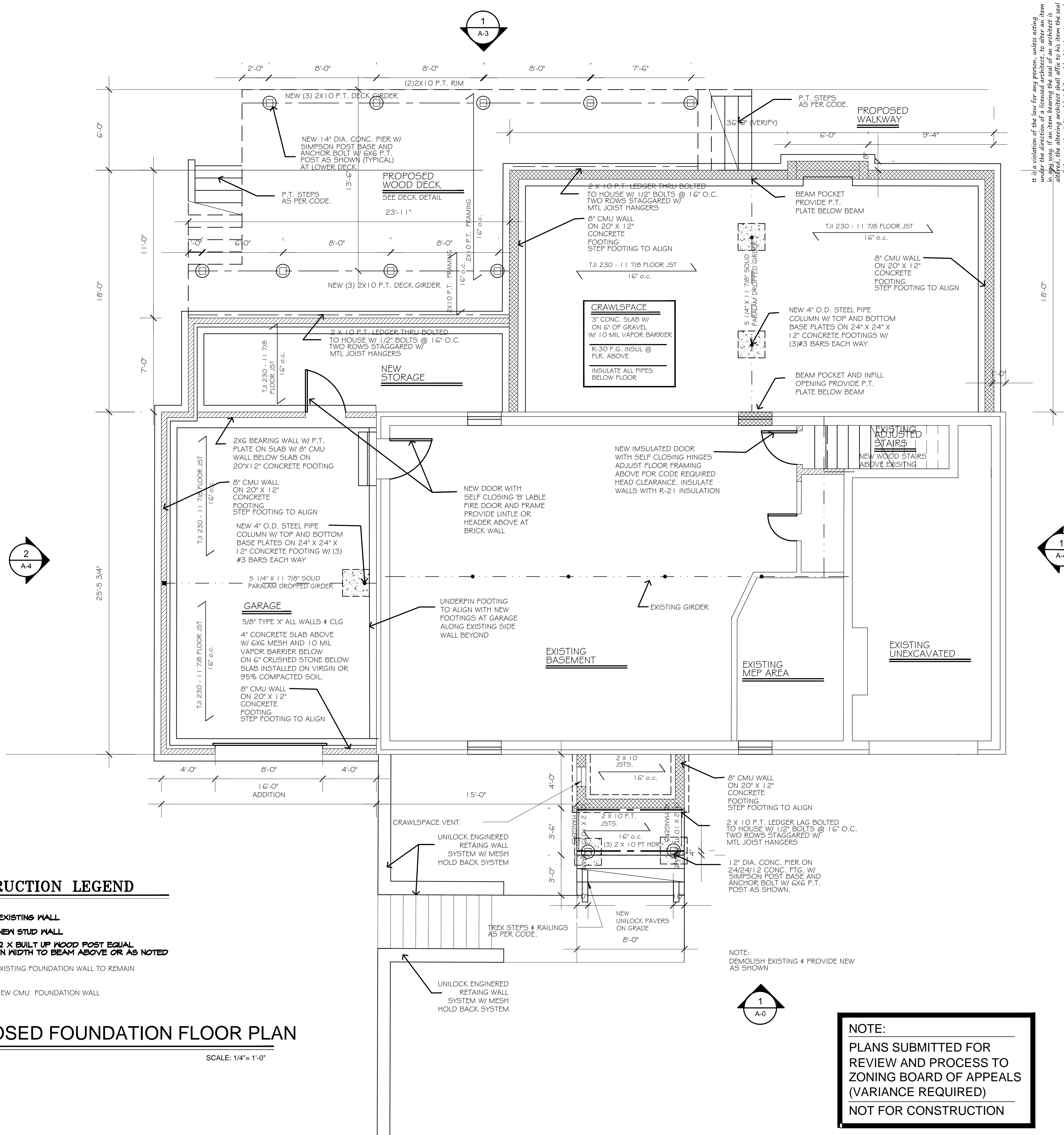
CLIMATE ZONE	WIND SPEED CATEGORY	WIND SPEED (mph)	WIND DIRECTION	WIND RARENESS	WIND DAMAGE POTENTIAL	WIND DAMAGE RISK	WIND DAMAGE RISK	WIND DAMAGE RISK	WIND DAMAGE RISK	WIND DAMAGE RISK	
30	115	YES	YES	NO	B	Severe	36	15	YES	YES	53

CONSTRUCTION LEGEND

- EXISTING WALL
- NEW STUD WALL
- 2 X 2 BUILT UP HOOD POST EQUAL IN WIDTH TO BEAM ABOVE OR AS NOTED
- EXISTING FOUNDATION WALL TO REMAIN
- NEW CMU FOUNDATION WALL

PROPOSED FOUNDATION FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTE:
PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

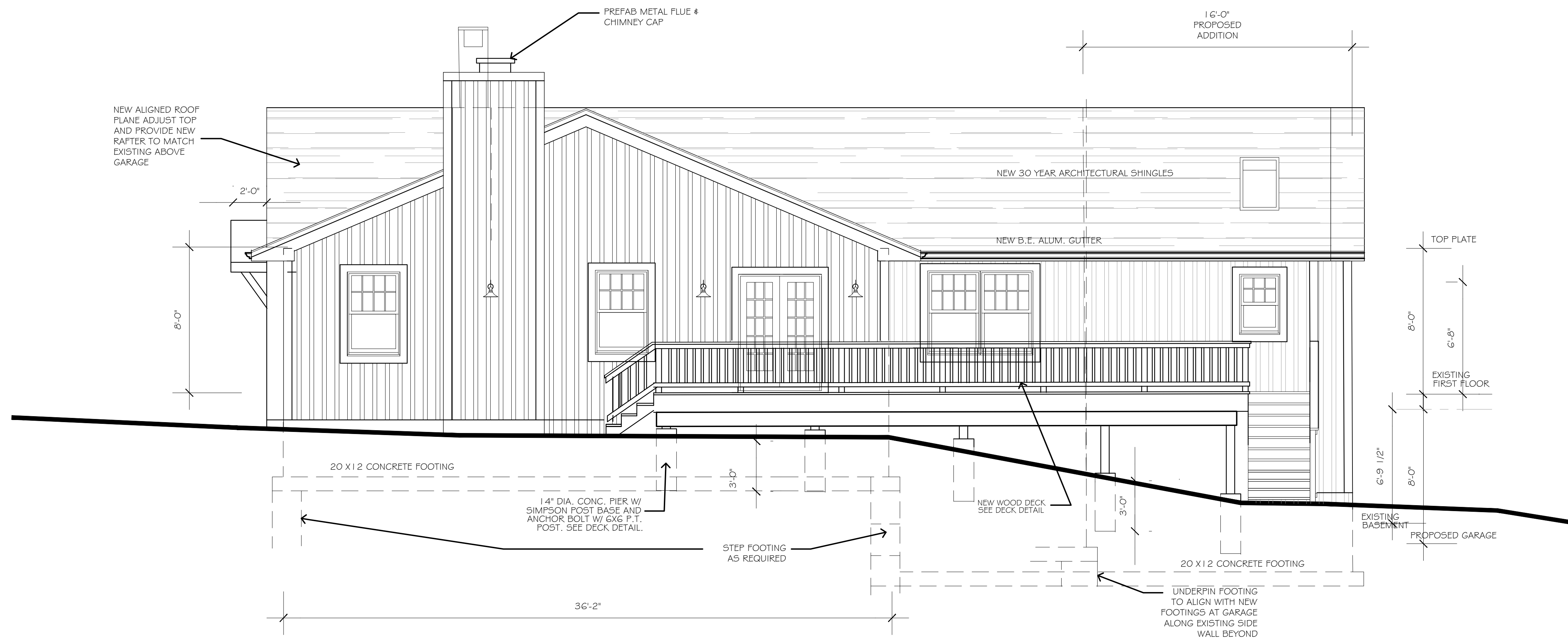
Proposed Addition / Alterations For Flynn Residence
48 Pearce Parkway, Pearl River NY 10965
Tax Map - 69.09-6-9

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NJ LIC. 21A01684200 - Registered through Date July 31, 2025 © Copyright 2025

Issue Date: 9/19/24
Revisions:
1 Permit Set 1/24/25
2
3
4

Sheet No. A-2



1 PROPOSED SIDE (SOUTH) FACING ELEVATION
SCALE: 1/4" = 1'-0"

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and profession altered by followed by his signature and the date of such alteration, and a specific description of the alteration.

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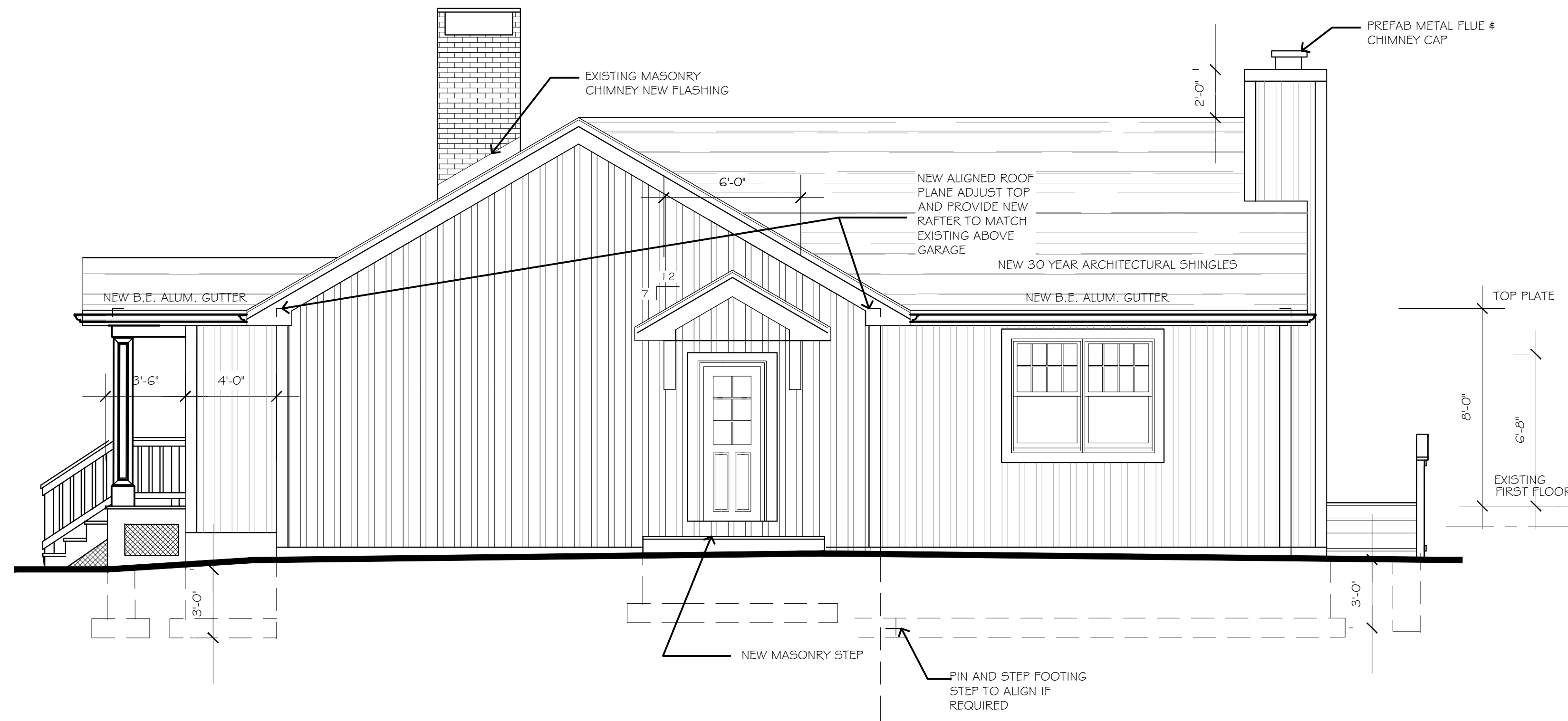


Proposed Addition / Alterations For
Flynn Residence
48 Pearce Parkway, Pearl River NY 10965
Tax Map - 69.09-6-9

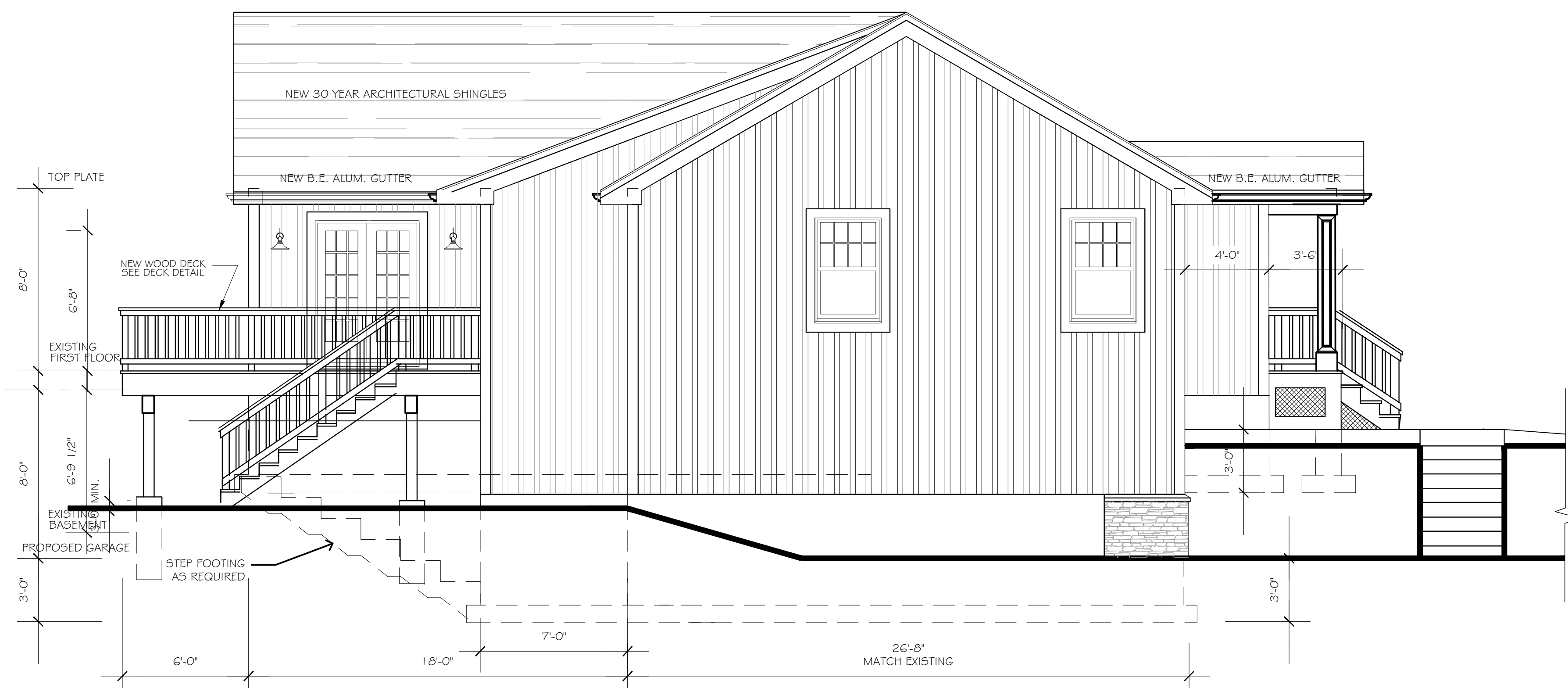
Issue Date:	9/19/24
Revisions	
1	Permit Set 1/24/25
2	
3	
4	

NOTE:
PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
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NOT FOR CONSTRUCTION

Sheet No.
A-3



1 PROPOSED SIDE (WEST) FACING ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR (EAST) FACING ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
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Proposed Addition / Alterations For
Flynn Residence
48 Pearce Parkway, Pearl River NY 10965
Tax Map - 68.09-6-9

Issue Date:	Revisions
9/19/24	
1	Permit Set 1/24/25
2	
3	
4	

Sheet No.
A-4