

RECEIVED

JAN 31 2025

TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

NEW JERSEY OFFICE  
ONE GATEWAY CENTER, SUITE 2600  
NEWARK, NEW JERSEY 07102  
(973) 824-9772  
FAX (973) 824-9774

LAW OFFICES OF

**SNYDER & SNYDER, LLP**

94 WHITE PLAINS ROAD

TARRYTOWN, NEW YORK 10591

(914) 333-0700

FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS

NEW YORK OFFICE  
445 PARK AVENUE, 9TH FLOOR  
NEW YORK, NEW YORK 10022  
(212) 749-1448  
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LESLIE J. SNYDER  
ROBERT D. GAUDIOSO (NY/NJ)  
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DAVID L. SNYDER  
(1956-2012)

e-mail to [Dkenny@Snyderlaw.net](mailto:Dkenny@Snyderlaw.net)

January 31, 2025

REPLY TO:

Tarrytown Office

Chairman Thomas Warren and  
Members of the Planning Board  
Town of Orangetown  
26 W. Orangeburg Road  
Orangeburg, NY 10962

Re: Homeland Towers, LLC & Verizon Wireless  
Wireless Communications Facility  
61 Route 9W Palisades, NY 10964

Chairman Thomas Warren and  
Members of the Planning Board:

We represent Homeland Towers, LLC, ("Homeland Towers") and Verizon Wireless (collectively, "Applicants") in connection with a proposal to construct a replacement wireless communications facility, including a 120-foot monopole with a fenced equipment compound at the base thereof ("Facility"), at the above referenced property ("Property"). The Property is owned by Columbia University.

There is an existing 75-foot monopole ("Existing Facility") on the Property that supports emergency communication services equipment for Columbia University and Rockland County. Rockland County needs an increased centerline height for its emergency communications network and is proposed to be located at the top of the Facility as shown on the plans submitted herewith. The Facility is also needed to address significant gaps in service in Verizon Wireless's network in the areas surrounding the Property. Verizon will be located below Rockland County as shown on the plans submitted herewith. The Existing Facility will be removed once the Facility is constructed and fully operational.

We respectfully request to meet with the Planning Board, and its professional consultants and Town Staff (as determined necessary by the Planning Board), at a Pre-Application Consultation meeting to discuss the proposed Facility and the Town's application review process. Particularly, we would like to discuss conducting a balloon test during the leaf off season to prepare the photo simulations and visual analysis report as required by §8.15(M)(1) of the Town Zoning Code.

In furtherance of the foregoing, enclosed please find a check in the amount of \$200.00 representing the Consultation Fee together with 16 copies of the following materials:

- 1) Planning Board Application Form;
- 2) Letter from Columbia University;
- 3) Viewshed Maps; and
- 4) Zoning Drawings for the Facility.

If you have any questions or require additional documentation, please do not hesitate to contact me. Thank you in advance for your consideration.

Very truly yours,



David J. Kenny

Enclosures

cc: Zoning Director, Jane Slavin, R.A  
Applicants

Z:\SSDATA\WPDATA\SS3\RDG\Homelandtowers\Orangetown\Ny452\Initial BP Filing 1.29.25 (NY452).rtf

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

**LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
--	--

**PERMIT#:** \_\_\_\_\_  
**ASSIGNED** \_\_\_\_\_  
**INSPECTOR:** \_\_\_\_\_

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** Wireless Facility Replacement Project at Columbia University

**Street Address:** 61 Route 9W, Palisades, NY 10964

**Tax Map Designation:** Section: 80.10 Block: 1 Lot(s): 1  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**

On the Eastern side of Route 9w, approximately 1,000 feet north of the intersection of 9w and PIP, in the Town of ORANGETOWN in the hamlet/village of Palisades.

<b>Acreage of Parcel</b> <u>126 +/-</u> <b>School District</b> _____ <b>Ambulance District</b> _____ <b>Water District</b> _____	<b>Zoning District</b> <u>R-80</u> <b>Postal District</b> _____ <b>Fire District</b> _____ <b>Sewer District</b> _____
---	---

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
Replace existing wireless telecommunications tower with new 120' monopole facility  
to support equipment for Rockland County, Verizon and Columbia University with  
collocation space for potential future carriers

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

# APPLICATION REVIEW FORM

**Applicant:** Homeland Towers, LLC and Verizon Wireless Phone # (203) 297-6345

Address: 9 Harmony Street, 2nd Floor, Danbury, CT 06810  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** The Trustees of Columbia University in the City of New York Phone # (845) 365-8843

Address: PO Box 1000 Palisades, NY 10964  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** On Air Engineering, LLC Phone # (201) 456-4624

Address: 88 Foundry Pond Road, Cold Spring, NY 10516  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** Snyder & Snyder, LLP Phone # (914) 333-0700

Address: 94 White Plains Road Tarrytown, NY 10591  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** David Kenny of Snyder & Snyder, LLP Phone # (914) 333-0700

Address: 94 White Plains Road, Tarrytown, NY 10591 Dkenny@snyderlaw.net  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
*(Check all that apply)*

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> State or County Road<br><input type="checkbox"/> Long Path<br><input checked="" type="checkbox"/> Municipal Boundary | <input checked="" type="checkbox"/> State or County Park<br><input type="checkbox"/> County Stream<br><input type="checkbox"/> County Facility |
|--|--|

List name(s) of facility checked above:  
Palisades Interstate Parkway and Park, and New Jersey Border

**Referral Agencies:**

- |   |  |
|---|--|
| <input type="checkbox"/> RC Highway Department<br><input type="checkbox"/> RC Drainage Agency<br><input type="checkbox"/> NYS Dept. of Transportation<br><input type="checkbox"/> NYS Thruway Authority<br><input type="checkbox"/> Adjacent Municipality<br><input type="checkbox"/> Other | <input type="checkbox"/> RC Division of Environmental Resources<br><input type="checkbox"/> RC Dept. of Health<br><input type="checkbox"/> NYS Dept. of Environmental Conservation<br><input checked="" type="checkbox"/> Palisades Interstate Park Commission |
|---|--|

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage     N/A
- 2) Total square footage     N/A
- 3) Number of dwelling units     none proposed

If **special permit**, list special permit use and what the property will be used for.

Wireless telecommunications facility - along with other educational uses in existence  
that are not impacted by this application

### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area     No    

Are there **streams** on the site? If yes, please provide the names.     Not in project area    

Are there **wetlands** on the site? If yes, please provide the names and type:  
    Not in project area    

### Project History:

Has this project ever been reviewed before?     No    

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_

**APPLICATION REVIEW FORM**

**Applicant's Signature and Certification**

State of ~~New~~ York ) Connecticut  
County of ~~Rockland~~ ) SS.: Fairfield  
Town/Village of Danbury )

I, Manuel J. Vicente hereby depose and say that all the above statements contained in the papers submitted herewith are true.

Signature: 

Rebecca Hall Notary CT  
Commission Exp. 8-31-2028

Mailing Address: 9 Harmony St.  
Danbury CT 06810

SWORN to before this

30<sup>th</sup> day of January, 2025



Notary Public

**Owner/Applicant's Consent Form to Visit Property**

I, \_\_\_\_\_, owner/applicant of the property described in the application submitted to the town/village board, planning board, zoning board of appeals and/or supporting staff, do hereby give permission to members of said boards and/or supporting staff to visit the property in question at a reasonable time during the day.

\_\_\_\_\_  
Owner/Applicant Signature

SWORN to before this

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

 COLUMBIA CLIMATE SCHOOL  
LAMONT-DOHERTY EARTH OBSERVATORY

November 11, 2024

Honorable Chairman Thomas Warren and  
Members of the Planning Board  
Town of Orangetown  
20 Greenbush Road  
Orangeburg, NY 10962

Re: Application by Homeland Towers, LLC & Verizon Wireless (“Applicants”) to locate a  
Wireless Telecommunications Facility (“Facility”) at 61 Route 9W Palisades, NY 12524  
(Columbia University – Lamont Doherty Earth Observatory Campus)

Dear Hon. Chairman Warren and Members of the Planning Board:

Columbia University, as the owner of the property, is in full support of the above referenced Applicants’ proposal to construct a 120-foot-tall Facility at the Lamont Campus. The Facility is needed to replace an existing wireless telecommunications tower on the property and to support equipment for Verizon Wireless and potential future co-locators. Currently Rockland County and the University have equipment on the existing facility, and the University will relocate its equipment onto the new Facility once constructed. We also understand that the Applicants are working with the County to relocate its equipment onto the new Facility as well.

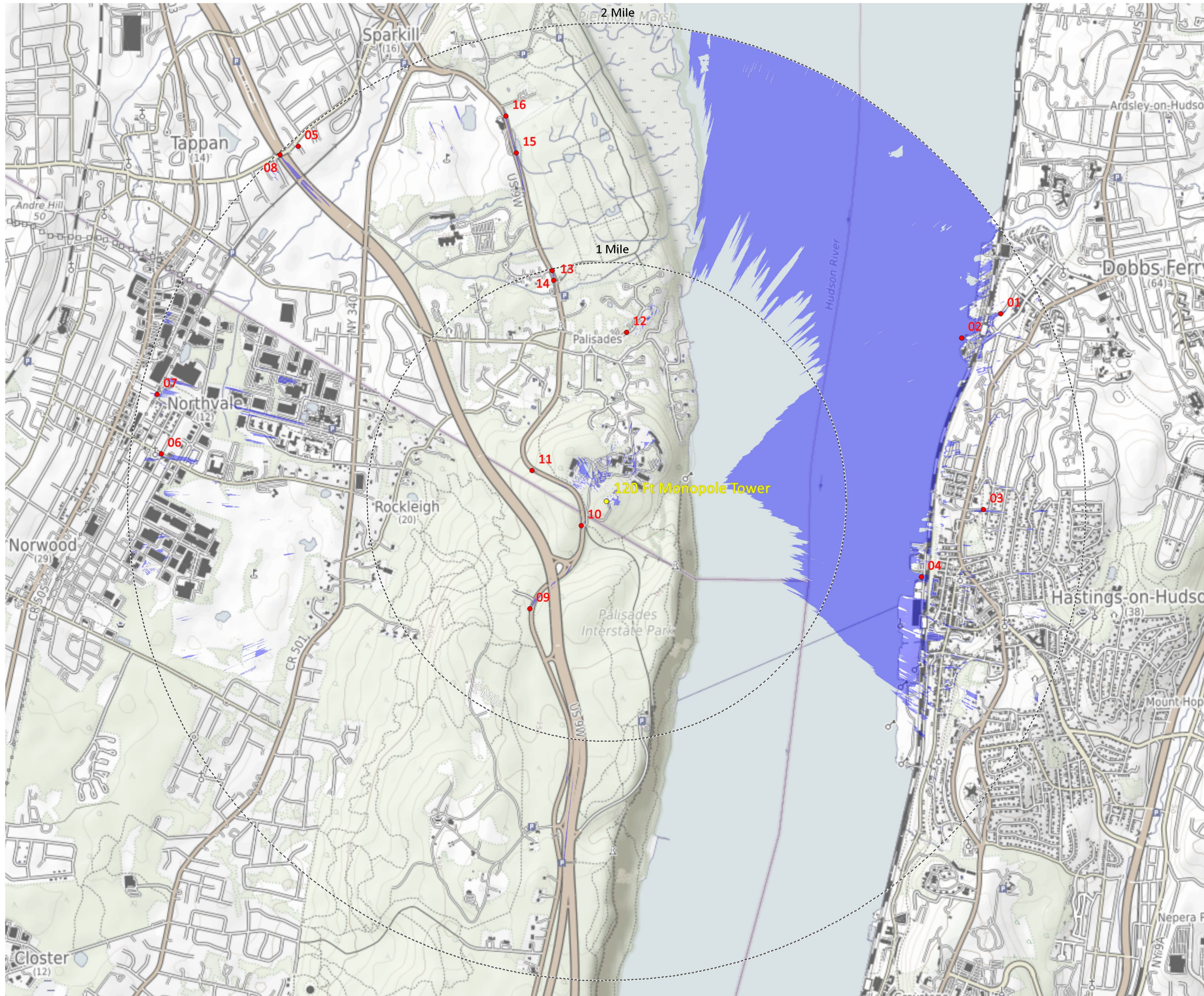
Once the new Facility is constructed, all equipment installed, and is fully operational, the existing wireless telecommunications tower will be removed.

Please let me know if you have any questions or concerns regarding this project.

Sincerely,



Dean Pearce, PE  
Executive Director of Capital Planning & Facilities Strategy  
Lamont-Doherty Earth Observatory



# PALISADES 2 (NY-452)

Columbia University  
 61 RT 9W  
 Palisades, NY 10964

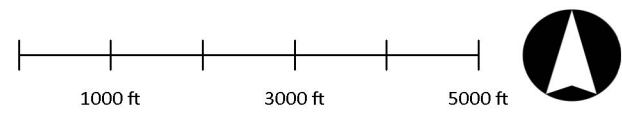
Figure A1  
**Viewshed Map**  
 2 Mile Radius

### Legend

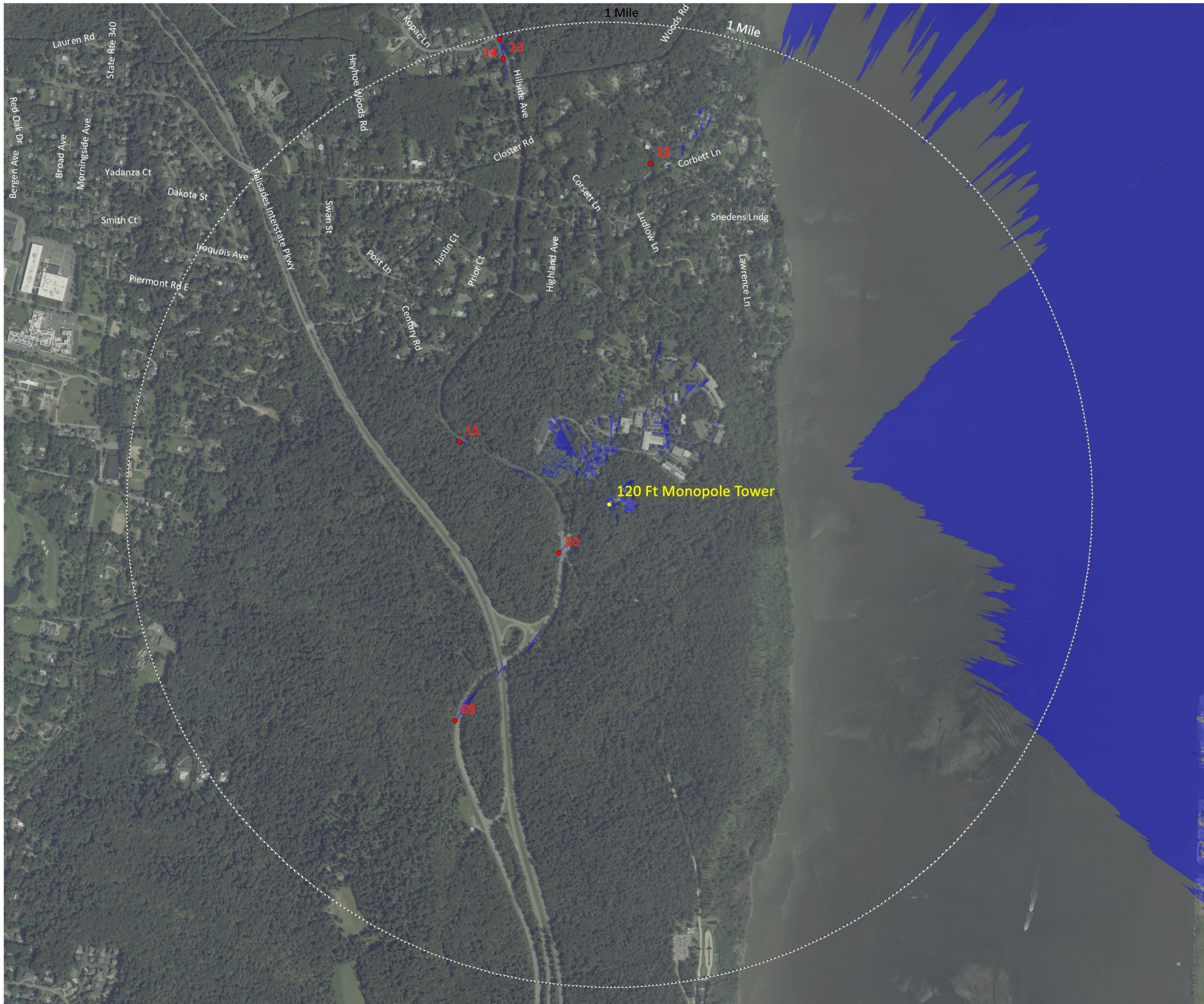
- Area Of Likely Visibility
- Distance Rings
- Photo Points (pre-selected)
- 120 Ft Monopole Tower

Note: Viewshed mapping provides a general understanding of where the proposed project is theoretically visible based on regional topographic, forest and building cover data sources.

This viewshed area includes the screening effect of intervening vegetation and buildings. The location and height of vegetated areas and buildings is based on current LIDAR data acquired from the NYS GIS Clearinghouse.







# PALISADES 2 (NY-452)

Columbia University  
 61 RT 9W  
 Palisades, NY 10964

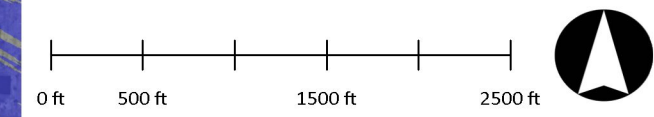
Figure A1  
**Viewshed Map**  
 1 Mile Radius

### Legend

- Area Of Likely Visibility
- Distance Rings
- Photo Points (pre-selected)
- 120 Ft Monopole Tower

Note: Viewshed mapping provides a general understanding of where the proposed project is theoretically visible based on regional topographic, forest and building cover data sources.

This viewshed area includes the screening effect of intervening vegetation and buildings. The location and height of vegetated areas and buildings is based on current LIDAR data acquired from the NYS GIS Clearinghouse.

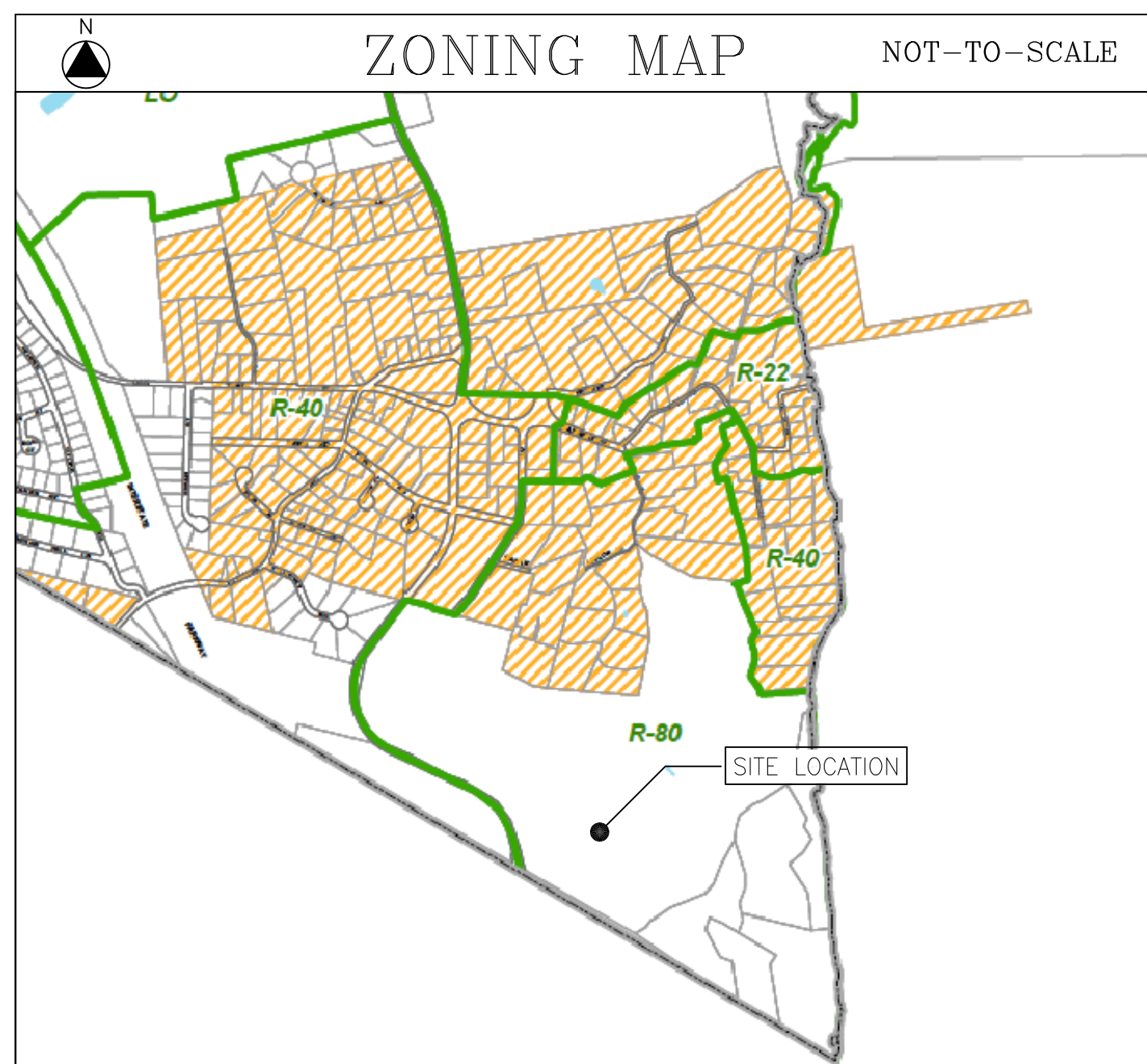
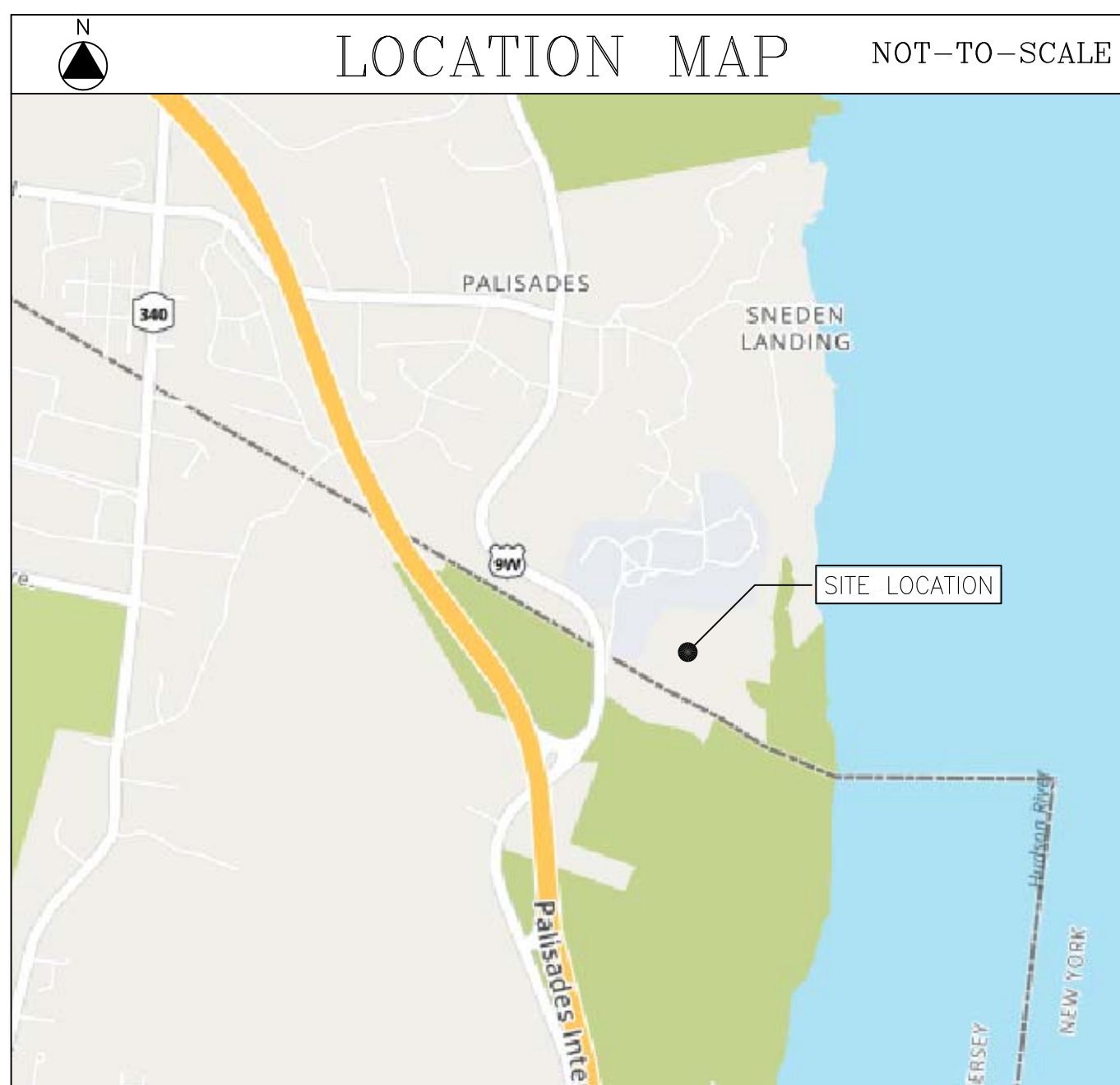




HOMELAND TOWERS SITE ID:  
NY452 - PALISADES 2

COLUMBIA UNIVERSITY  
61 RT. 9W  
PALISADES, NY 10964  
TOWN OF ORANGETOWN

PROJECT DESCRIPTION	
-	EXISTING 75 FT. MONOPOLE/TOWER TO BE REPLACED WITH A NEW 120 FT. MONOPOLE/TOWER (APPROX. 55 FT. AWAY)
-	EXISTING FENCED TOWER COMPOUND TO BE EXPANDED TO A LARGER FENCED, GRAVEL SURFACE COMPOUND FOR CARRIER EQUIPMENT
-	EXISTING SITE ACCESS AND PARKING TO BE USED
-	INSTALLATION OF VERIZON OUTDOOR EQUIPMENT CABINETS AND A GAS FUELED STANDBY EMERGENCY GENERATOR ON A CONCRETE PAD WITH ANTENNAS/APERTUNANCES AT 97 FT. ON THE STRUCTURE
-	ELECTRICAL/TELEPHONE SERVICES TO BE EXTENDED FROM EXISTING UTILITY DEMARCATION POINTS ON-SITE TO EXPANDED COMPOUND AREA

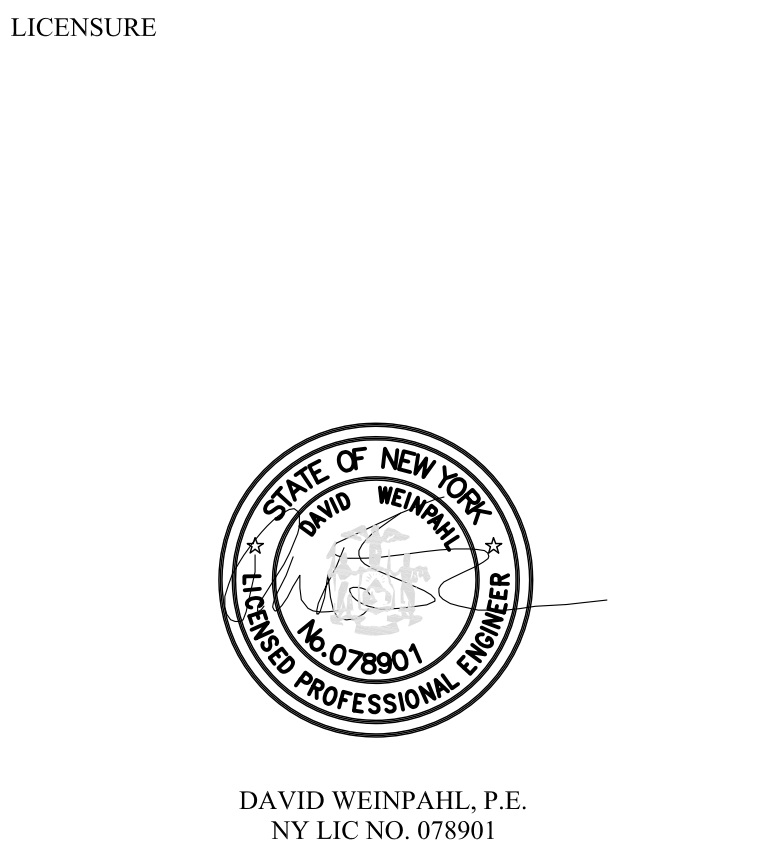


PROJECT SUMMARY	
SITE ID:	NY452 PALISADES 2
SITE ADDRESS:	COLUMBIA UNIVERSITY 61 RT. 9W PALISADES, NY 10964
PROPERTY OWNER:	COLUMBIA UNIVERSITY INC NY LAMONT GEOLOGICAL OBSERVATORY P.O. BOX 1000 PALISADES, NY 10964
PARCEL ID:	80.10-1-2
ZONING:	R-80
TOWER COORDINATES:	41.00203159 -73.90974041
GROUND ELEVATION:	429.6 FT. AMSL
APPLICANT:	HOMELAND TOWERS 9 HARMONY ST.; 2ND FL. DANBURY, CT 06810

DRAWING SCHEDULE	
SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
R-1	500 FT. RADIUS MAP
C-1	SITE LAYOUT
C-2	ENLARGED SITE PLAN
C-3	CIVIL NOTES & DETAILS
C-4	FENCE & MISC. DETAILS
A-1	COMPOUND PLAN & ELEVATION
VZ-1	VERIZON EQUIPMENT PLAN & DETAILS
VZ-2	ANTENNA PLAN & VERIZON EQUIP. SPECS



**On Air Engineering, LLC**  
88 Foundry Pond Road  
Cold Spring, NY 10516  
onair@optonline.net  
201-456-4624



NO.	DATE	SUBMISSIONS
0	12.19.24	REVIEW SET
1	12.30.24	REVISED PER ATTORNEY COMMENTS

DRAWN BY:	CHECKED BY:
MF	DW

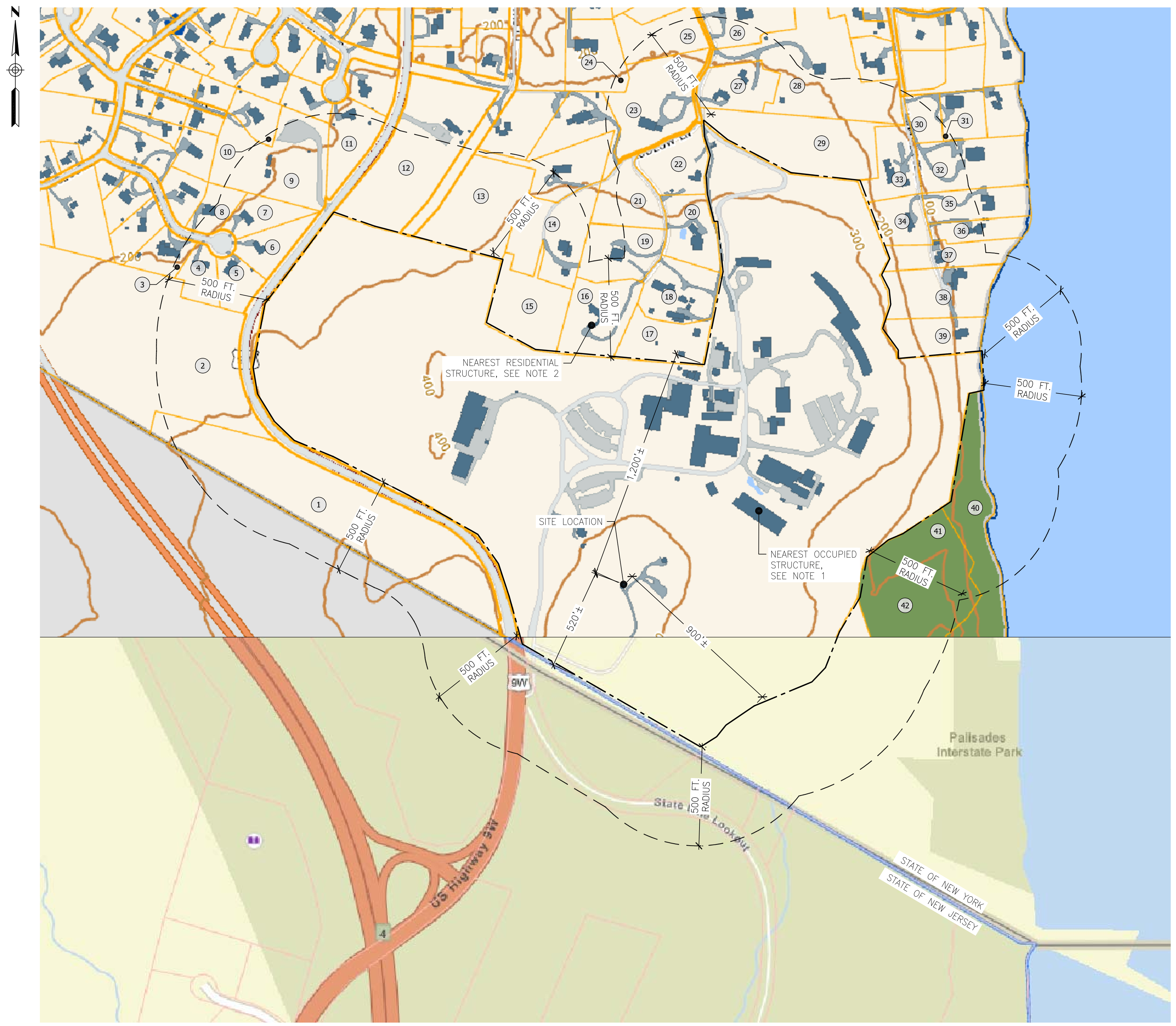
HOMELAND TOWERS SITE ID:  
**NY452  
PALISADES 2**

VERIZON SITE NAME:  
**PALISADES 2**

PROJECT ADDRESS:  
**COLUMBIA UNIVERSITY  
61 RT. 9W  
PALISADES, NY 10964**

DRAWING TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**



NOTES:  
 1. NEAREST OCCUPIED STRUCTURE TO PROPOSED TOWER 715 FT.± (GARY C. COMER GEOCHEMISTRY BUILDING; LUDLOW LANE)  
 2. NEAREST RESIDENTIAL STRUCTURE TO PROPOSED TOWER 1,315 FT.± (80 LUDLOW LANE)

**1**  
**R-1** 500 FT. RADIUS MAP  
 Scale: 1" = 300'



**On Air Engineering, LLC**  
 88 Foundry Pond Road  
 Cold Spring, NY 10516  
 onair@optonline.net  
 201-456-4624

LICENSURE



DAVID WEINPAHL, P.E.  
 NY LIC NO. 078901

NO.	DATE	SUBMISSIONS
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MF	DW

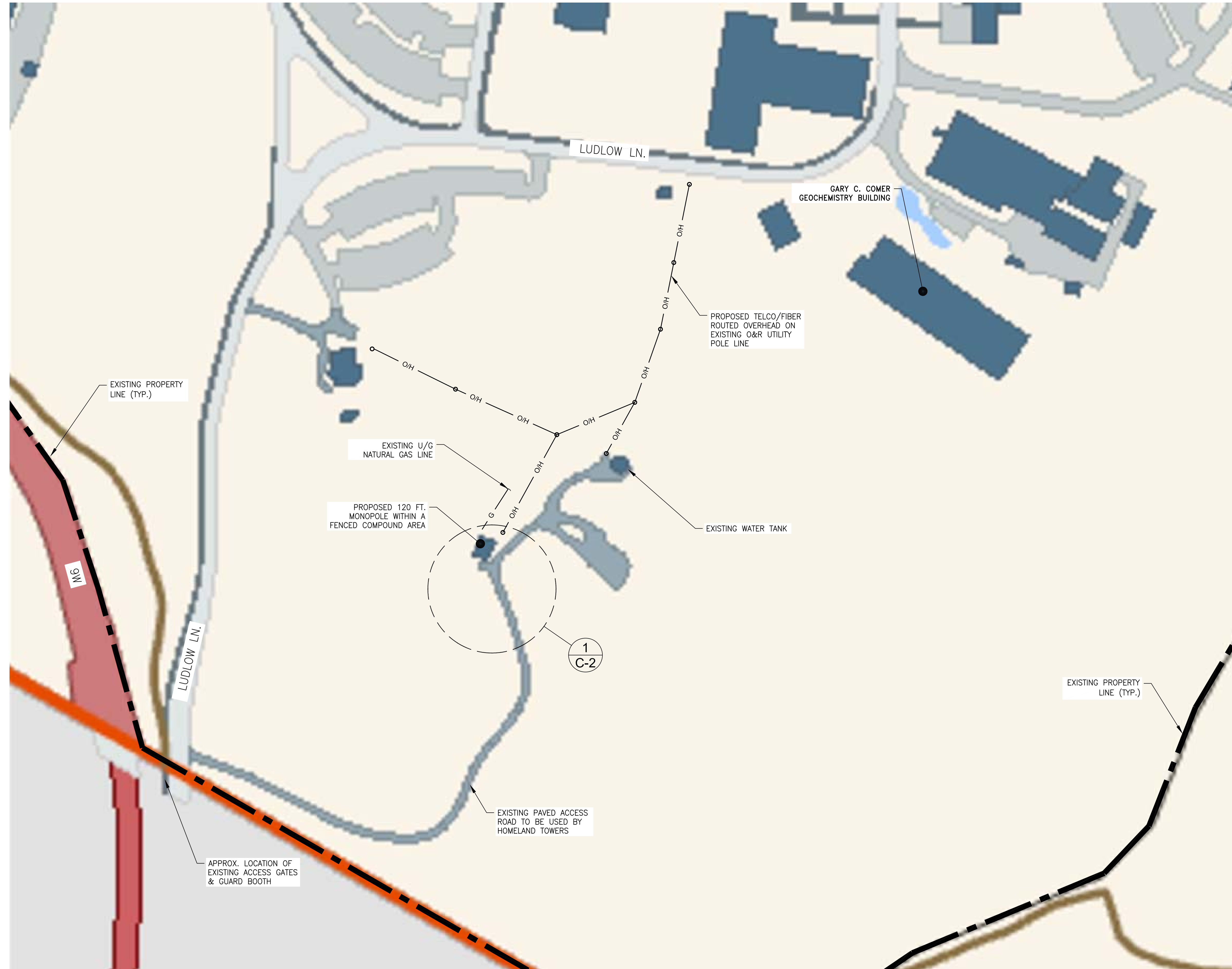
HOMELAND TOWERS SITE ID:  
 NY452  
 PALISADES 2

VERIZON SITE NAME:  
 PALISADES 2

PROJECT ADDRESS:  
 COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964

DRAWING TITLE:  
 500 FT. RADIUS MAP

SHEET NUMBER:  
**R-1**



1 SITE LAYOUT  
C-1 SCALE 1" = 75'



NEW YORK SMSA LIMITED PARTNERSHIP  
d/b/a VERIZON WIRELESS  
4 CENTEROCK ROAD  
WEST NYACK, NY 10994



88 Foundry Pond Road  
Cold Spring, NY 10516  
onair@optonline.net  
201-456-4624

LICENSURE



DAVID WEINPAHL, P.E.  
NY LIC NO. 078901

NO.	DATE	SUBMISSIONS
0	12.19.24	REVIEW SET
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DRAWN BY: MF	CHECKED BY: DW
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HOMELAND TOWERS SITE ID:  
NY452  
PALISADES 2

VERIZON SITE NAME:  
PALISADES 2

PROJECT ADDRESS:  
COLUMBIA UNIVERSITY  
61 RT. 9W  
PALISADES, NY 10964

DRAWING TITLE:  
SITE LAYOUT

SHEET NUMBER:  
C-1

**SCHEDULE OF BULK REQUIREMENTS**

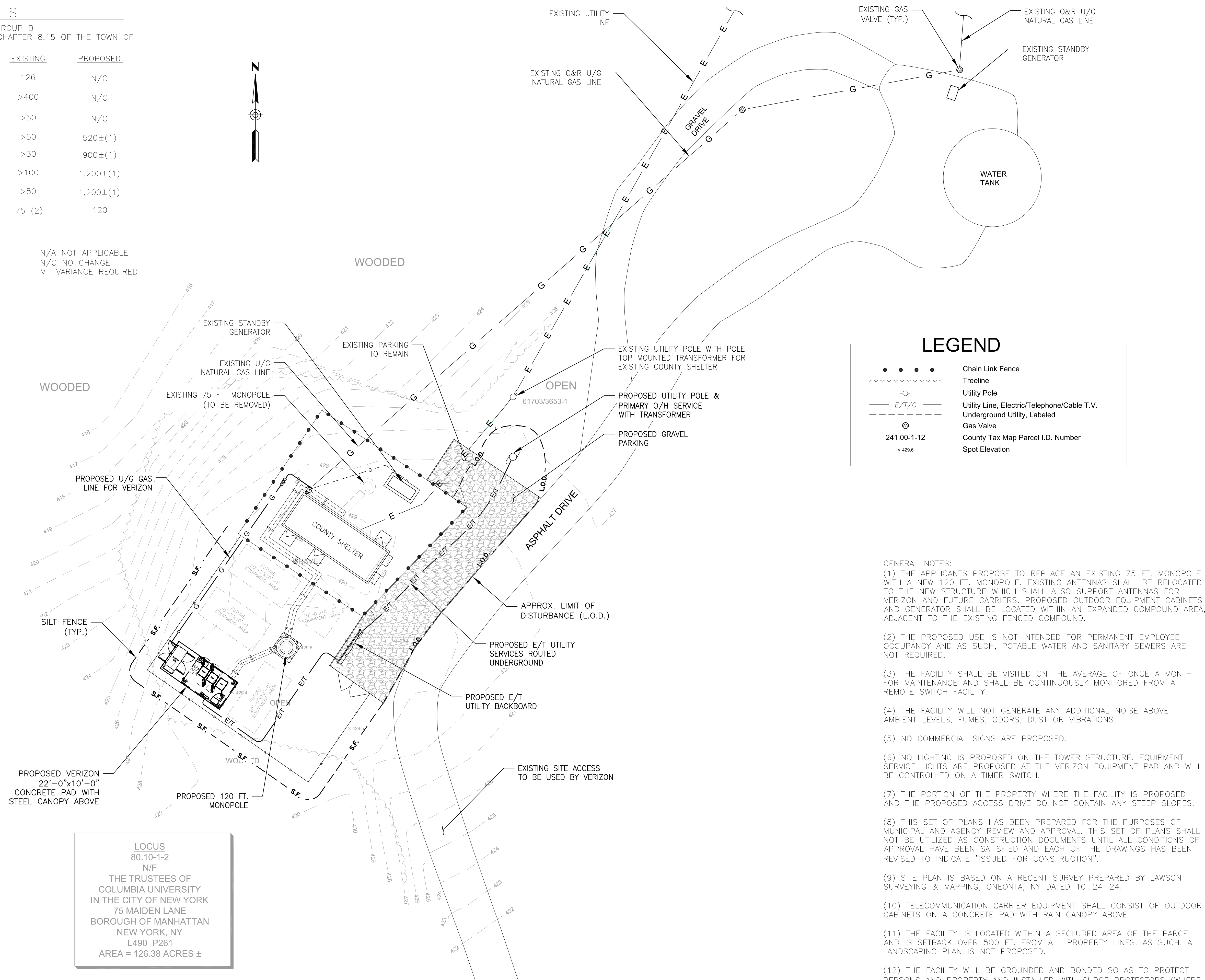
UNDERLYING PROPERTY ZONING CLASSIFICATION: R-80 GROUP B  
 WIRELESS COMMUNICATION FACILITIES ARE SUBJECT TO CHAPTER 8.15 OF THE TOWN OF  
 ORANGETOWN TOWN CODE

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA: (ACRES)	5	126	N/C
MIN. LOT WIDTH: (FT.)	400	>400	N/C
MIN. STREET FRONTAGE (FT.)	50	>50	N/C
MIN. FRONT YARD: (FT)	50	>50	520±(1)
MIN. SIDE YARD: (FT)	30	>30	900±(1)
MIN. TOTAL SIDE YARD (FT)	100	>100	1,200±(1)
MIN. REAR YARD: (FT)	50	>50	1,200±(1)
MAXIMUM TOWER HEIGHT (FT)	SEE NOTE 3	75 (2)	120

**NOTES:**

- (1) DISTANCE TO PROPERTY LINE
- (2) HEIGHT OF EXISTING TOWER (TO BE REMOVED)
- (3) REFER TO SEC. 8.15(L)(5) - THE PLANNING BOARD SHALL BE PERMITTED TO INCREASE THE HEIGHT OF ANY TOWER BEYOND ANY LIMITATIONS SET FORTH HEREIN IN ORDER TO ACCOMMODATE ADD'L USERS. IN REVIEWING A REQUEST FOR GREATER HEIGHT, THE PLANNING BOARD SHALL BALANCE THE EFFECT OF A GREATER HEIGHT AGAINST THE PROVISION OF ONE OR MORE ADDITIONAL TOWERS, CO-LOCATING OR OTHER ALTERNATIVES.
- (4) THE FACILITY IS MORE THAN 2x THE HEIGHT OF THE FACILITY FROM THE NEAREST RESIDENTIAL BLDG.
- (5) A VARIANCE MAY BE REQUIRED AS FACILITY IS LOCATED BETWEEN THE PRINCIPAL STRUCTURES ON THE PROPERTY AND THE STREET. SEE SEC. 8.15(L)(1)

N/A NOT APPLICABLE  
 N/C NO CHANGE  
 V VARIANCE REQUIRED



**LEGEND**

- Chain Link Fence
- Treeline
- Utility Pole
- Utility Line, Electric/Telephone/Cable T.V.
- Underground Utility, Labeled
- Gas Valve
- County Tax Map Parcel I.D. Number
- Spot Elevation

- GENERAL NOTES:**
- (1) THE APPLICANTS PROPOSE TO REPLACE AN EXISTING 75 FT. MONOPOLE WITH A NEW 120 FT. MONOPOLE. EXISTING ANTENNAS SHALL BE RELOCATED TO THE NEW STRUCTURE WHICH SHALL ALSO SUPPORT ANTENNAS FOR VERIZON AND FUTURE CARRIERS. PROPOSED OUTDOOR EQUIPMENT CABINETS AND GENERATOR SHALL BE LOCATED WITHIN AN EXPANDED COMPOUND AREA, ADJACENT TO THE EXISTING FENCED COMPOUND.
  - (2) THE PROPOSED USE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND AS SUCH, POTABLE WATER AND SANITARY SEWERS ARE NOT REQUIRED.
  - (3) THE FACILITY SHALL BE VISITED ON THE AVERAGE OF ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE SWITCH FACILITY.
  - (4) THE FACILITY WILL NOT GENERATE ANY ADDITIONAL NOISE ABOVE AMBIENT LEVELS, FUMES, ODORS, DUST OR VIBRATIONS.
  - (5) NO COMMERCIAL SIGNS ARE PROPOSED.
  - (6) NO LIGHTING IS PROPOSED ON THE TOWER STRUCTURE. EQUIPMENT SERVICE LIGHTS ARE PROPOSED AT THE VERIZON EQUIPMENT PAD AND WILL BE CONTROLLED ON A TIMER SWITCH.
  - (7) THE PORTION OF THE PROPERTY WHERE THE FACILITY IS PROPOSED AND THE PROPOSED ACCESS DRIVE DO NOT CONTAIN ANY STEEP SLOPES.
  - (8) THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH OF THE DRAWINGS HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
  - (9) SITE PLAN IS BASED ON A RECENT SURVEY PREPARED BY LAWSON SURVEYING & MAPPING, ONEONTA, NY DATED 10-24-24.
  - (10) TELECOMMUNICATION CARRIER EQUIPMENT SHALL CONSIST OF OUTDOOR CABINETS ON A CONCRETE PAD WITH RAIN CANOPY ABOVE.
  - (11) THE FACILITY IS LOCATED WITHIN A SECLUDED AREA OF THE PARCEL AND IS SETBACK OVER 500 FT. FROM ALL PROPERTY LINES. AS SUCH, A LANDSCAPING PLAN IS NOT PROPOSED.
  - (12) THE FACILITY WILL BE GROUNDED AND BONDED SO AS TO PROTECT PERSONS AND PROPERTY AND INSTALLED WITH SURGE PROTECTORS (WHERE APPLICABLE FOR CARRIER EQUIPMENT).
  - (13) THERE ARE NO OTHER COMMUNICATION TOWERS WITHIN 500 FT. OF THE PROPOSED FACILITY.

LOCUS  
 80.10-1-2  
 N/F  
 THE TRUSTEES OF  
 COLUMBIA UNIVERSITY  
 IN THE CITY OF NEW YORK  
 75 MAIDEN LANE  
 BOROUGH OF MANHATTAN  
 NEW YORK, NY  
 L490 P261  
 AREA = 126.38 ACRES ±

**1**  
**C-2** ENLARGED SITE PLAN  
 SCALE 1" = 15'



**On Air Engineering, LLC**  
 88 Foundry Pond Road  
 Cold Spring, NY 10516  
 onair@optonline.net  
 201-456-4624



DAVID WEINPAHL, P.E.  
 NY LIC NO. 078901

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HOMELAND TOWERS SITE ID:  
**NY452  
 PALISADES 2**

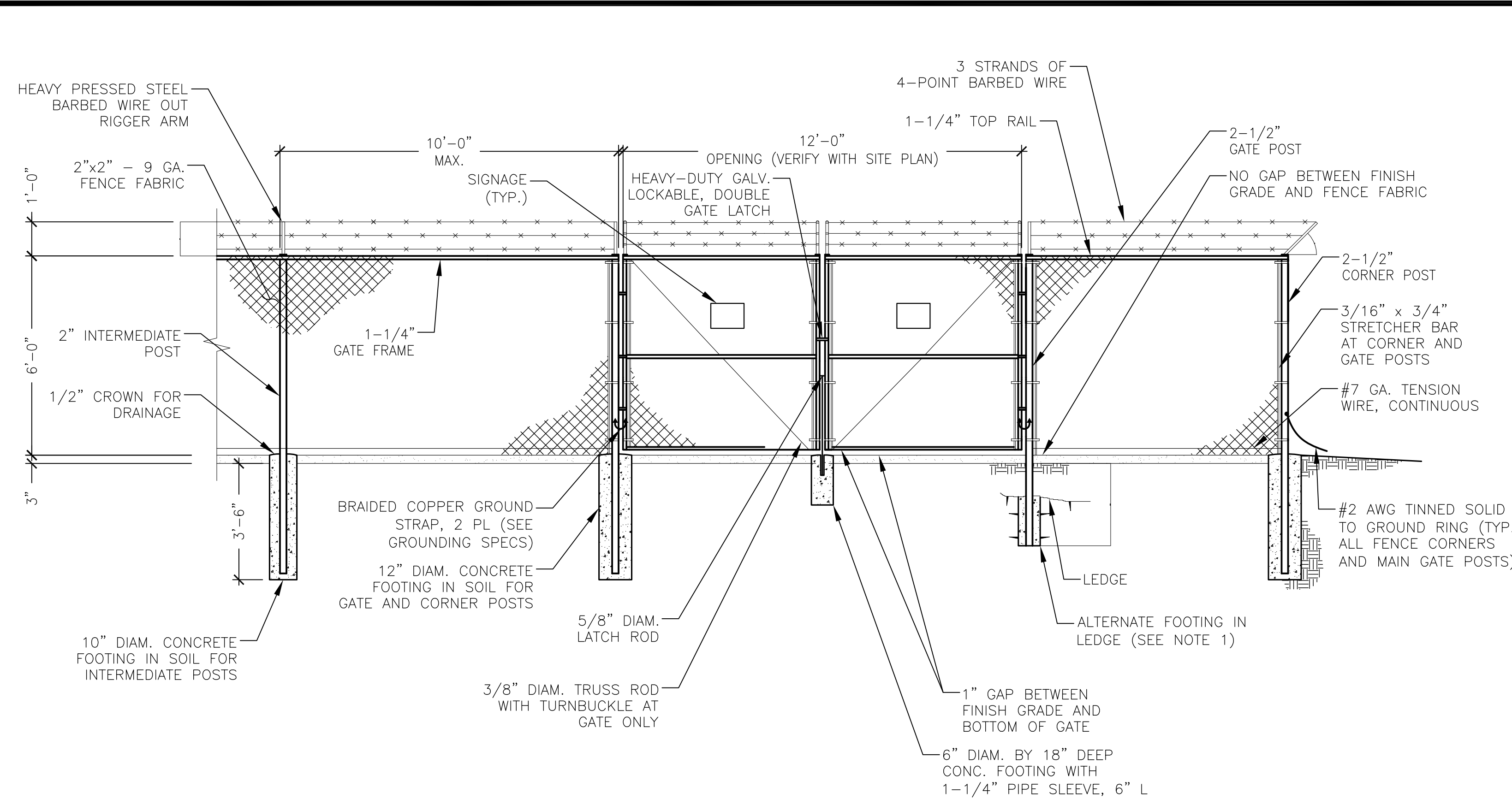
VERIZON SITE NAME:  
**PALISADES 2**

PROJECT ADDRESS:  
**COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964**

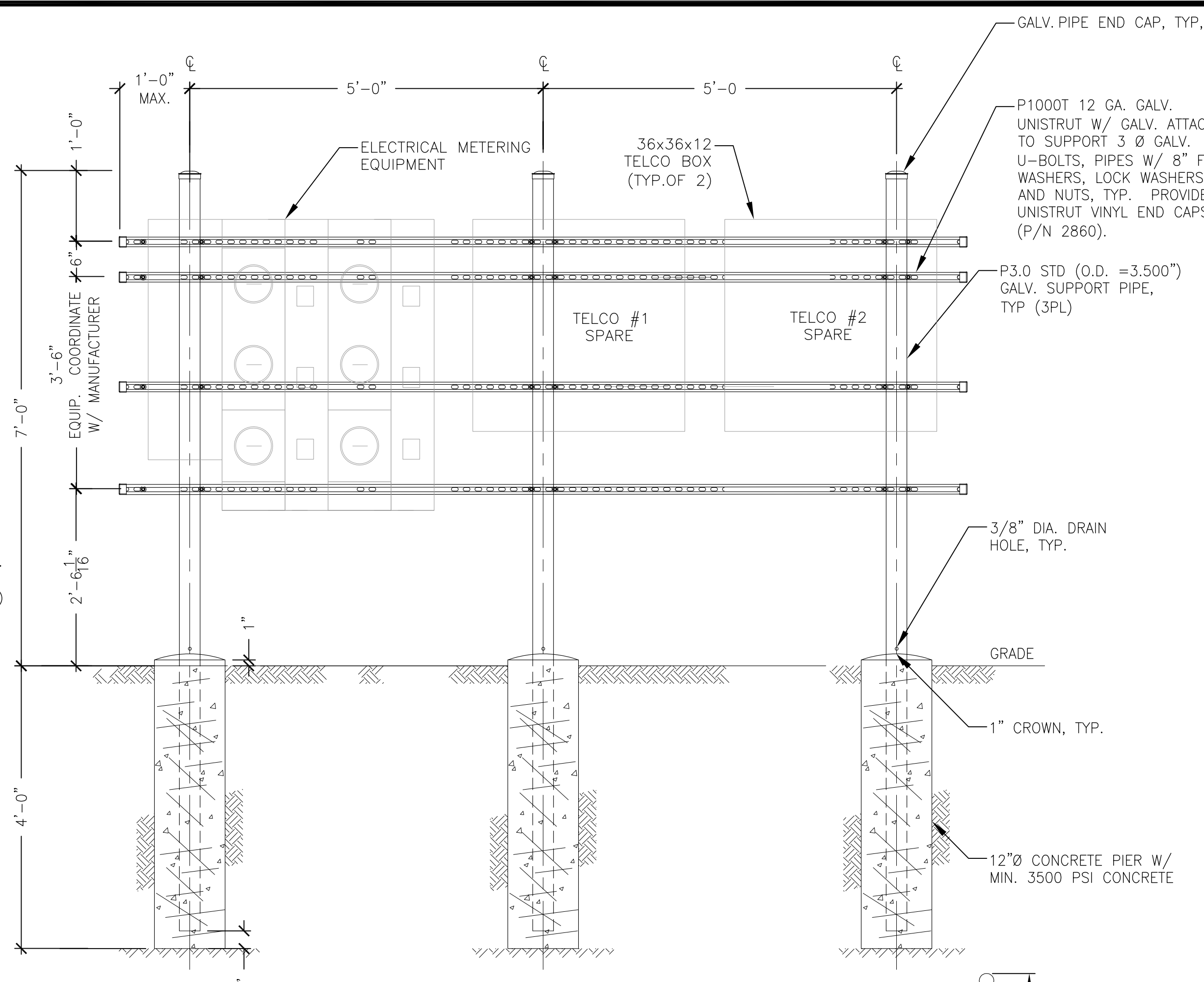
DRAWING TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**C-2**

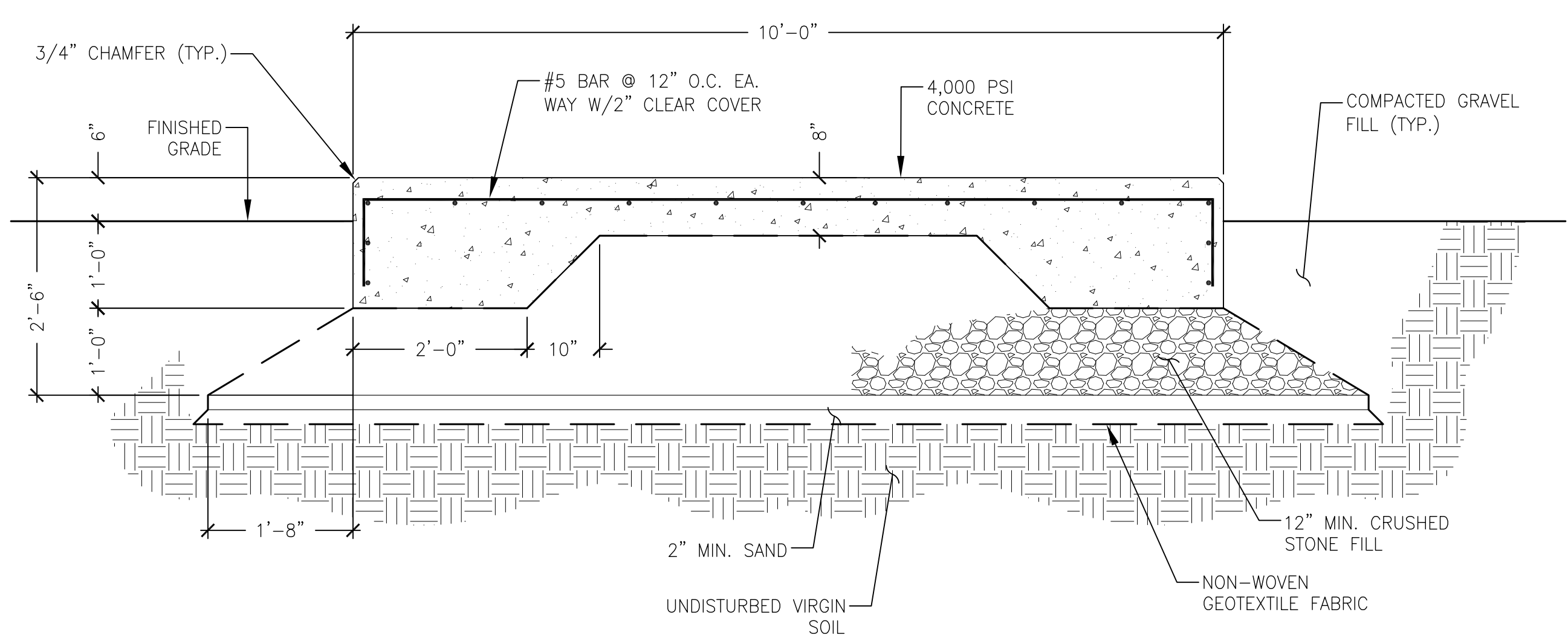




**1** CHAIN LINK FENCE AND ACCESS GATE DETAIL  
 C-4 Scale: N.T.S.

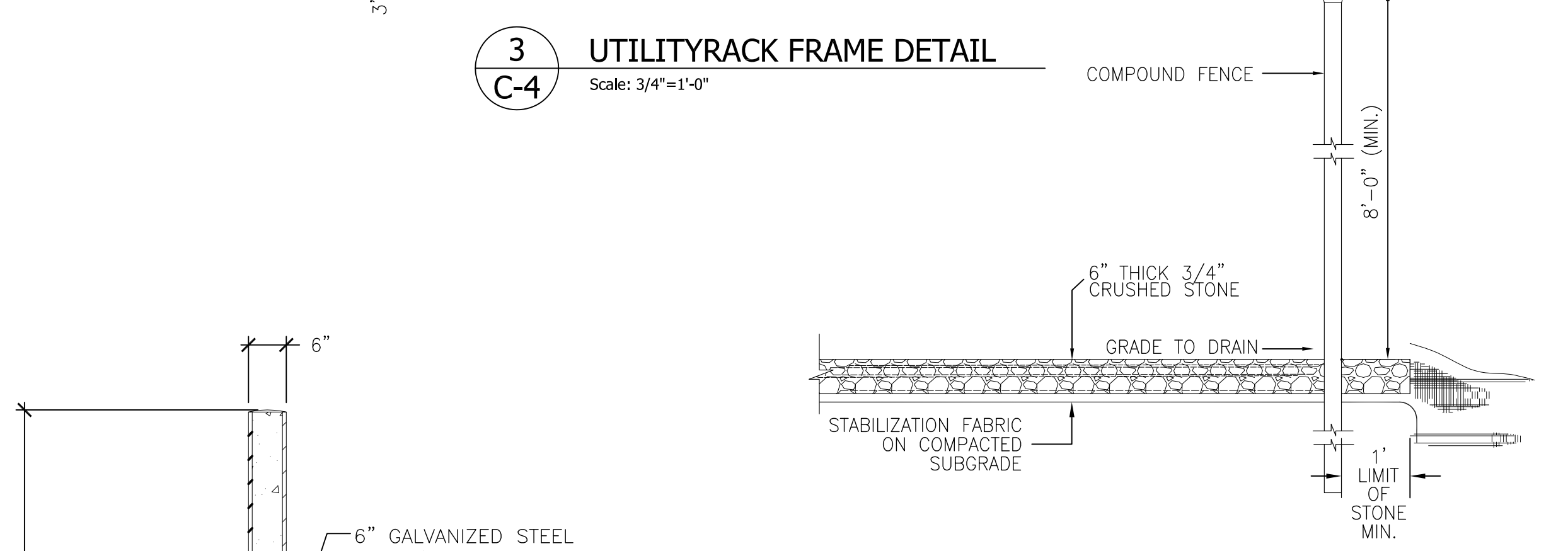


**3** UTILITYRACK FRAME DETAIL  
 C-4 Scale: 3/4"=1'-0"

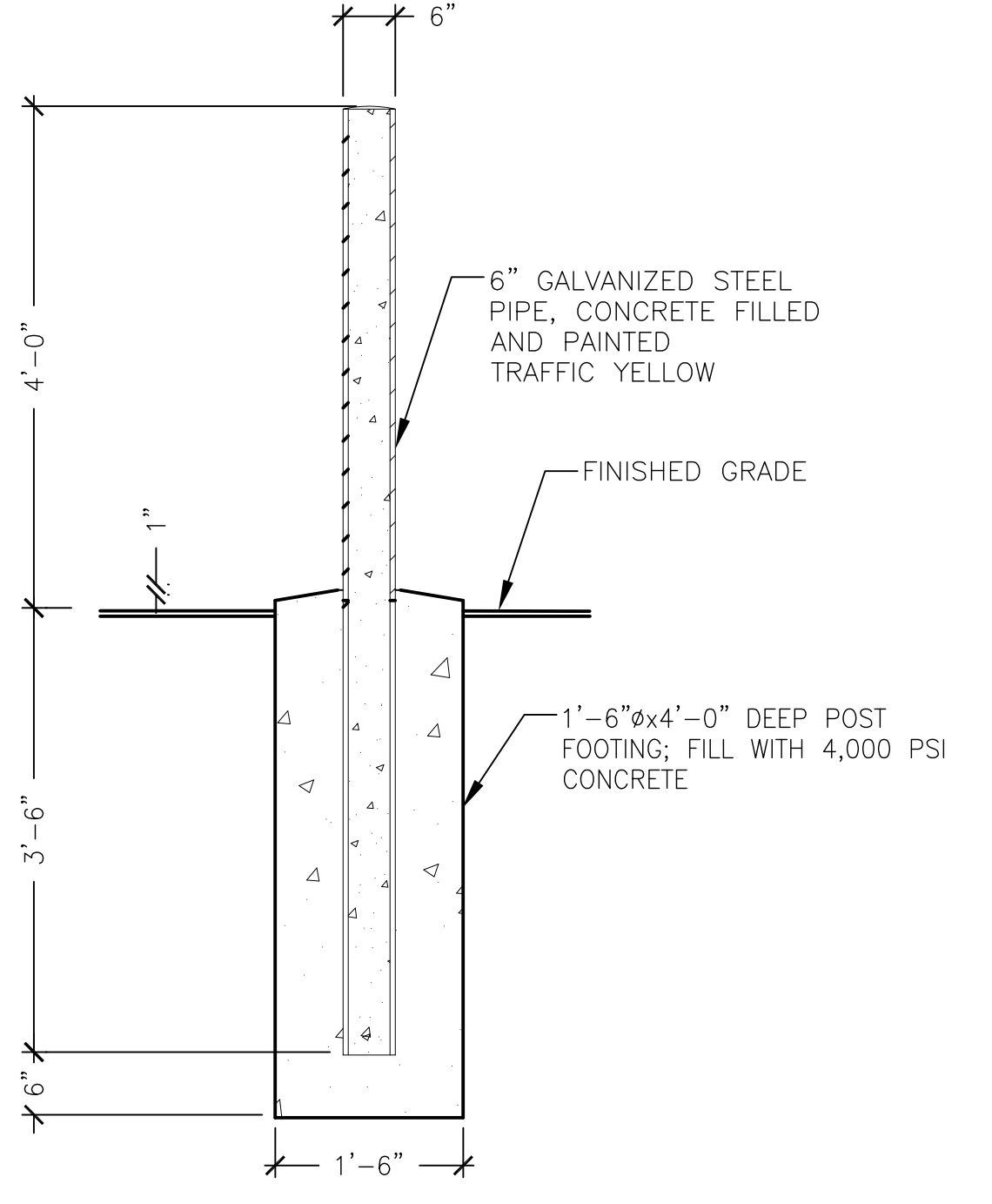


**2** CONCRETE PAD SECTION  
 C-4 Scale: 3/4" = 1'-0"

NOTE: MINIMUM SAFE ALLOWABLE BEARING CAPACITY ON VIRGIN SOIL OR ENGINEER CONTROLLED COMPACTED FILL TO BE 3000 PSF.



**4** COMPOUND DETAIL  
 C-4 Scale: N.T.S.



**5** PIPE BOLLARD DETAIL  
 C-4 Scale: N.T.S.



**6** OWNER SIGNAGE  
 C-4 Scale: N.T.S.



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 Cold Spring, NY 10516  
 onair@optonline.net  
 201-456-4624

LICENSURE

DAVID WEINHAHL, P.E.  
 NY LIC NO. 078901

NO.	DATE	SUBMISSIONS
0	12.19.24	REVIEW SET
1	12.30.24	REVISED PER ATTORNEY COMMENTS

DRAWN BY: MF  
 CHECKED BY: DW

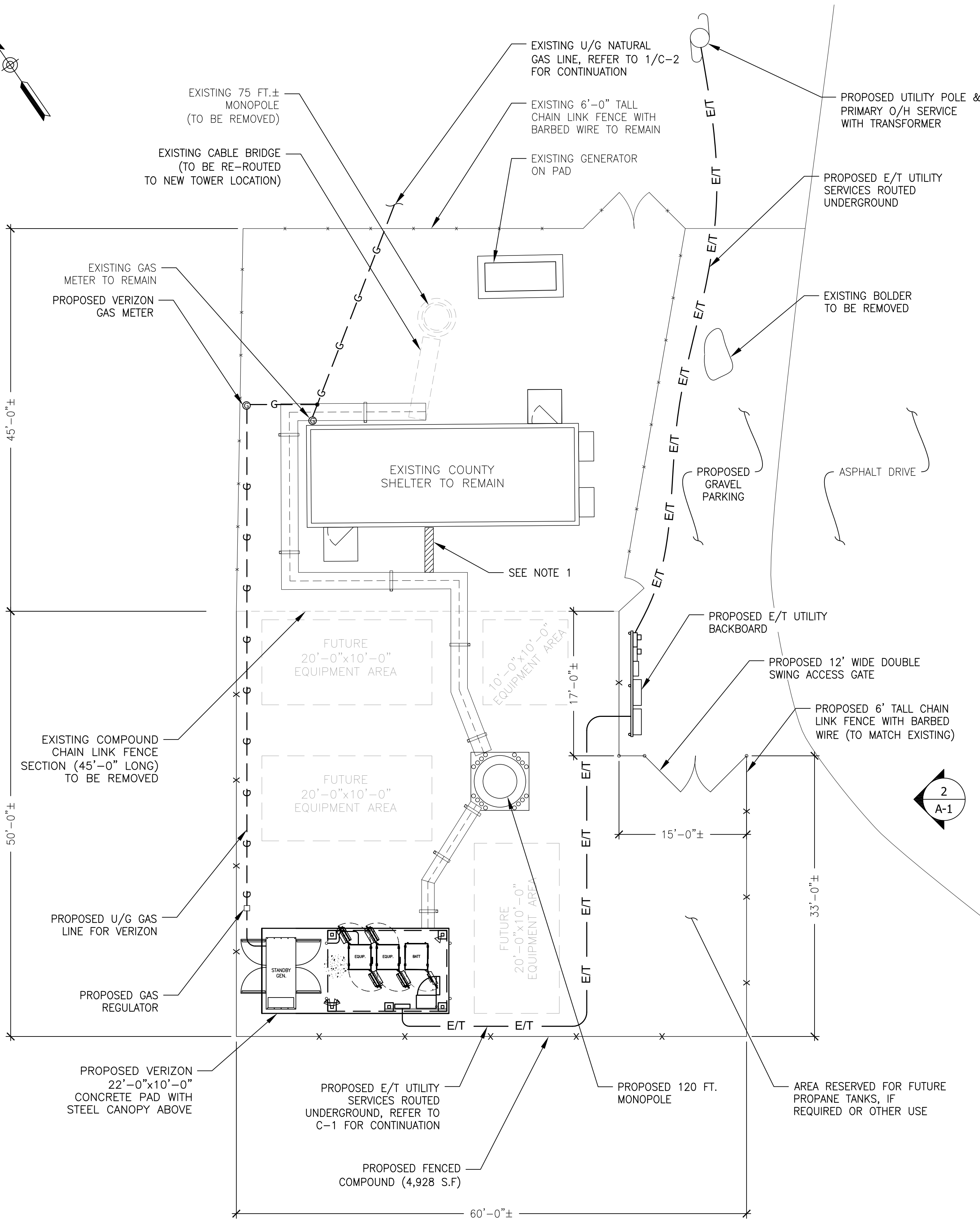
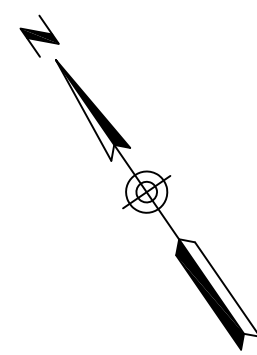
HOMELAND TOWERS SITE ID:  
 NY452  
 PALISADES 2

VERIZON SITE NAME:  
 PALISADES 2

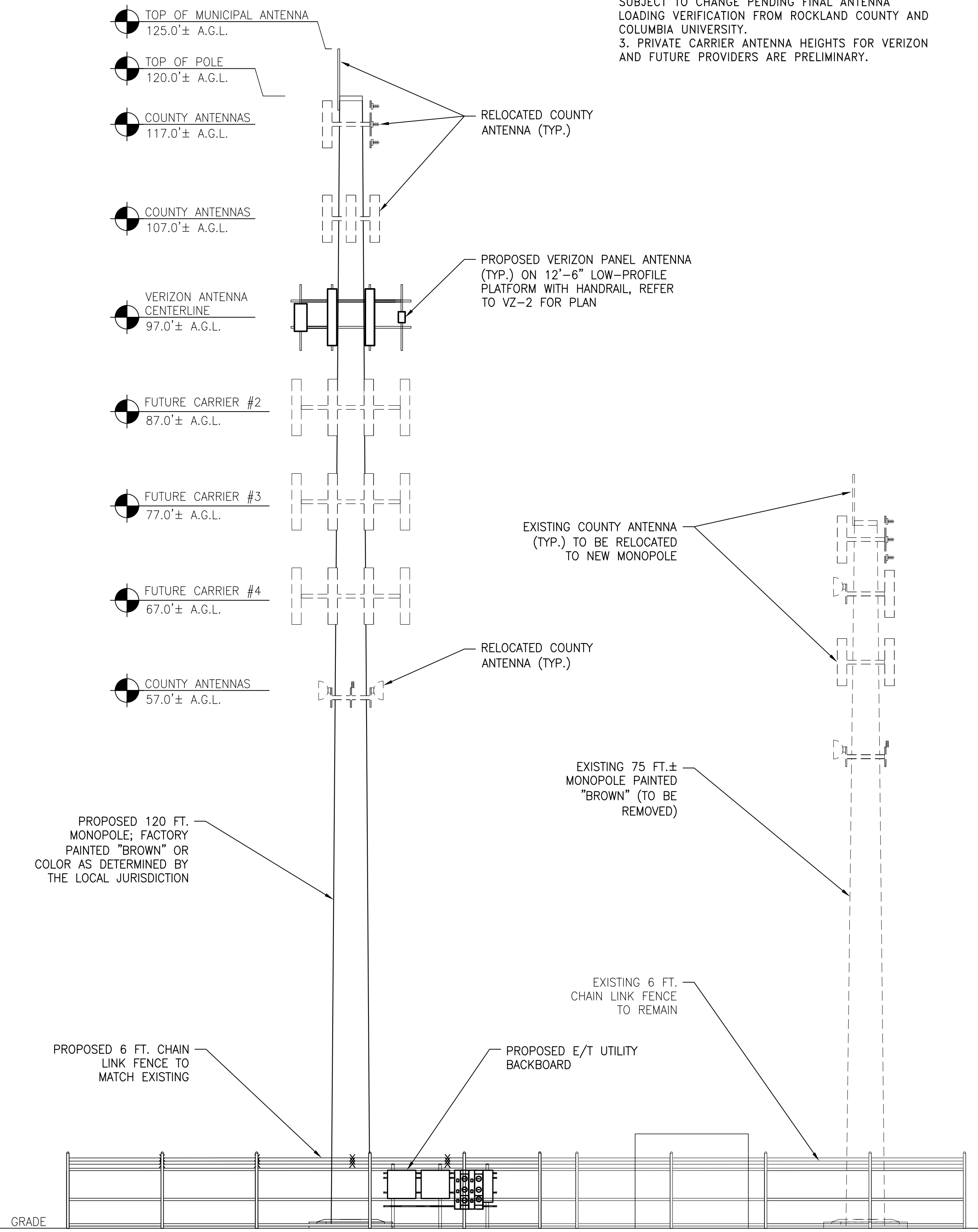
PROJECT ADDRESS:  
 COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964

DRAWING TITLE:  
 FENCE & MISC. DETAILS

SHEET NUMBER:  
**C-4**



**1**  
**A-1**  
COMPOUND PLAN  
Scale: 1/8" = 1'-0"



**2**  
**A-1**  
ELEVATION  
Scale: 1" = 10'

**NOTES:**  
 1. PLANS INDICATE THAT ALL EXISTING ANTENNAS WILL BE RELOCATED TO THE NEW TOWER STRUCTURE. THIS HAS NOT BEEN CONFIRMED BY THE COUNTY'S RF CONSULTANT OR THE OWNER.  
 2. ANTENNA HEIGHTS, QUANTITY, LAYOUT, ETC. ARE SUBJECT TO CHANGE PENDING FINAL ANTENNA LOADING VERIFICATION FROM ROCKLAND COUNTY AND COLUMBIA UNIVERSITY.  
 3. PRIVATE CARRIER ANTENNA HEIGHTS FOR VERIZON AND FUTURE PROVIDERS ARE PRELIMINARY.



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DRAWN BY: <b>MF</b>	CHECKED BY: <b>DW</b>
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HOMELAND TOWERS SITE ID:  
**NY452  
 PALISADES 2**

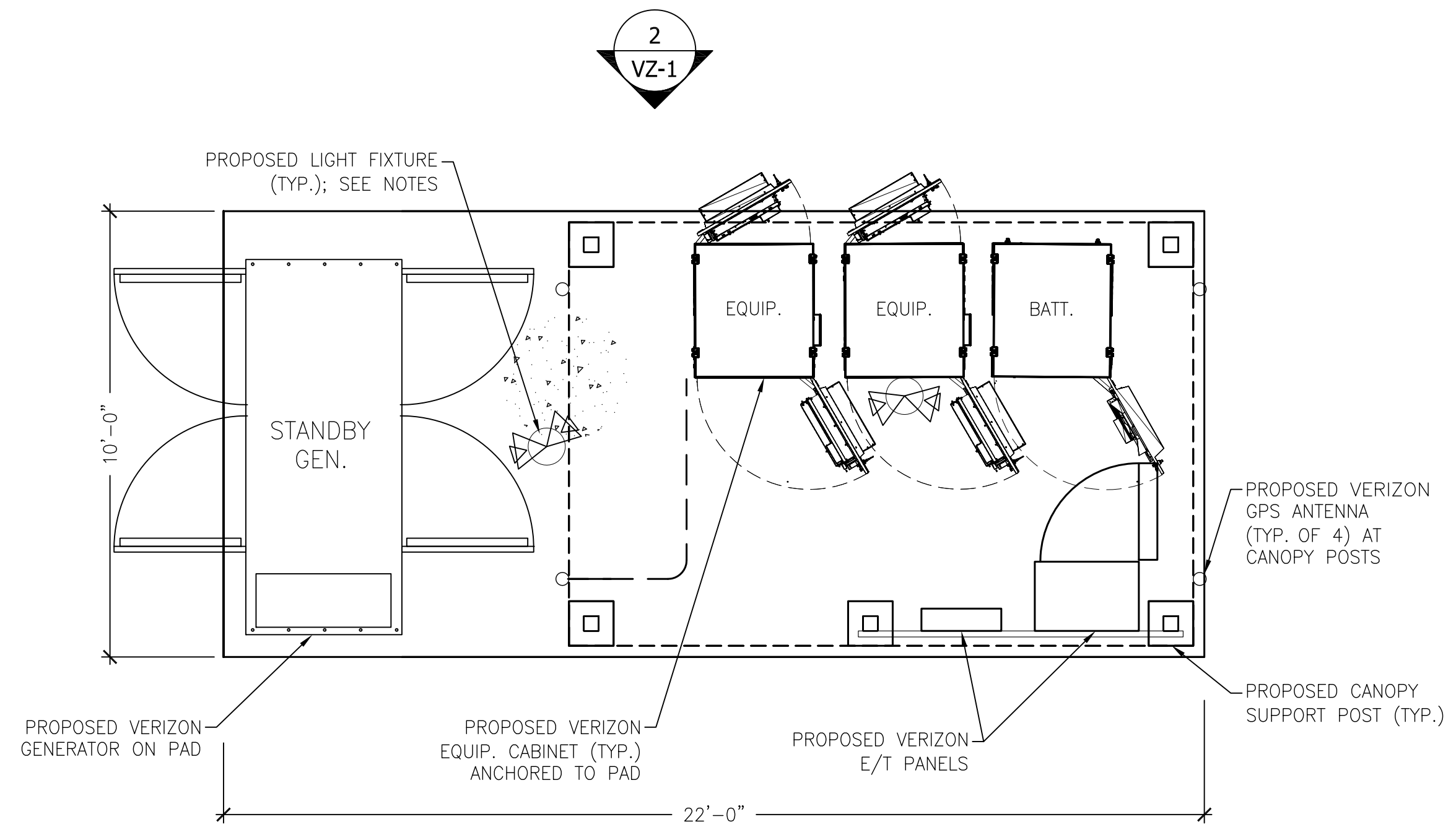
VERIZON SITE NAME:  
**PALISADES 2**

PROJECT ADDRESS:  
**COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964**

DRAWING TITLE:  
**COMPOUND PLAN &  
 ELEVATION**

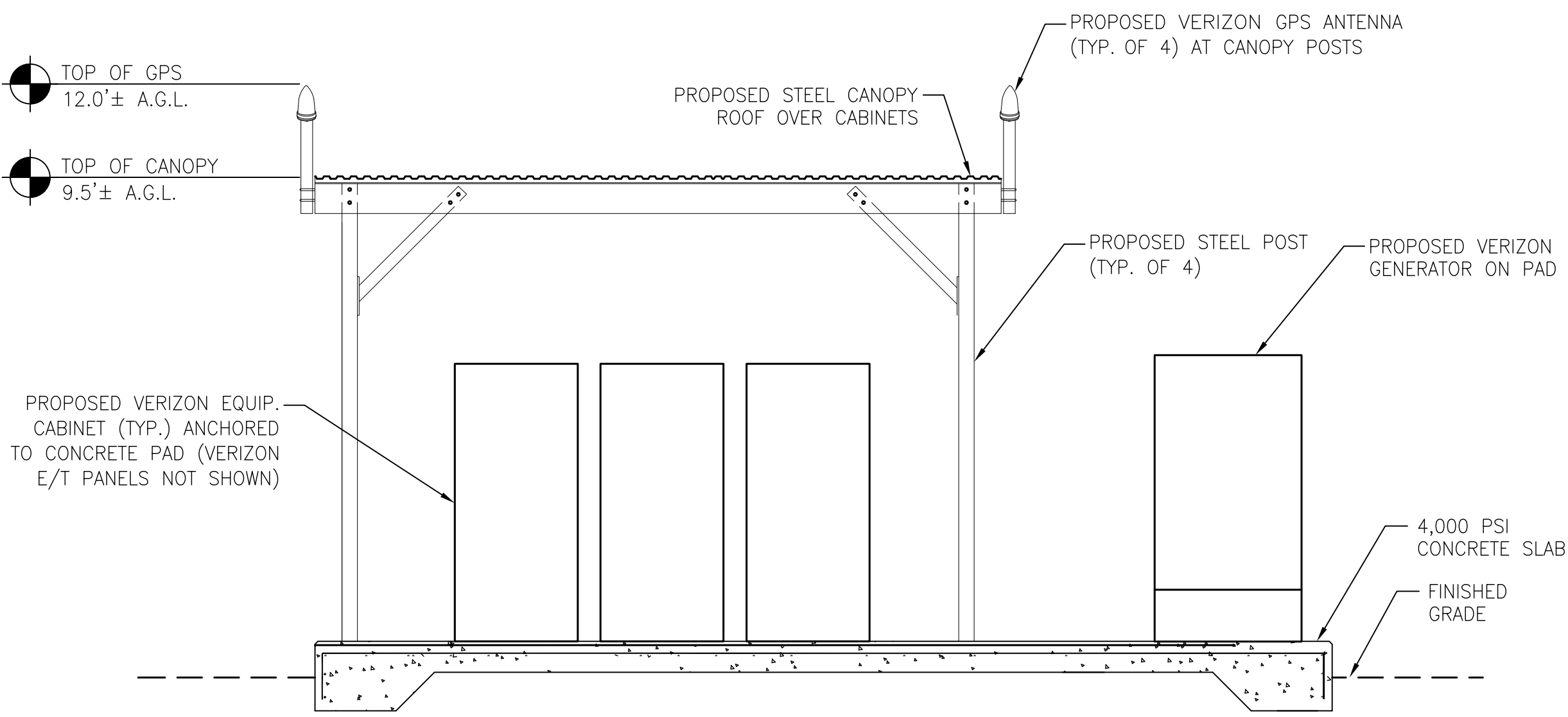
SHEET NUMBER:  
**A-1**



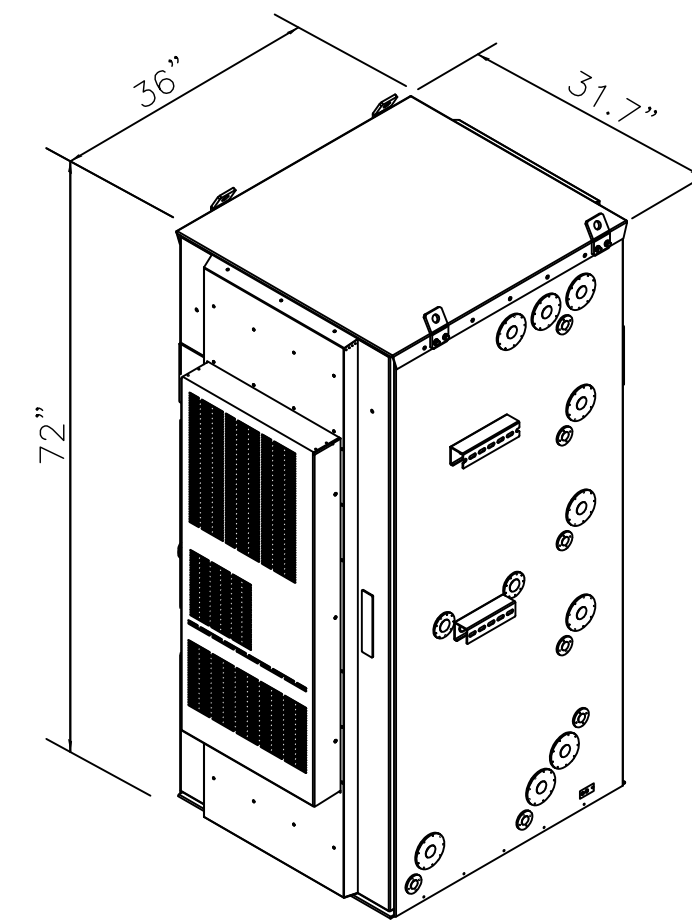


**1**  
VZ-1  
**EQUIPMENT PLAN**  
Scale: 3/8" = 1'-0"

**CANOPY LIGHTING NOTES**  
 1. FIXTURE TO BE MOUNTED TO UNDERSIDE OF C-CHANNEL.  
 2. FIXTURE SHALL BE FULLY SHIELDED AND DARK SKY COMPLIANT. WAC LIGHTING MODEL# WP-LED430-30-ABK OR EQUAL.  
 3. CONTROL ON 4-HOUR MANUAL TIMER SWITCH BY LEVITON OR EQUAL. LOCATE SWITCH ADJACENT TO PANELBOARD.

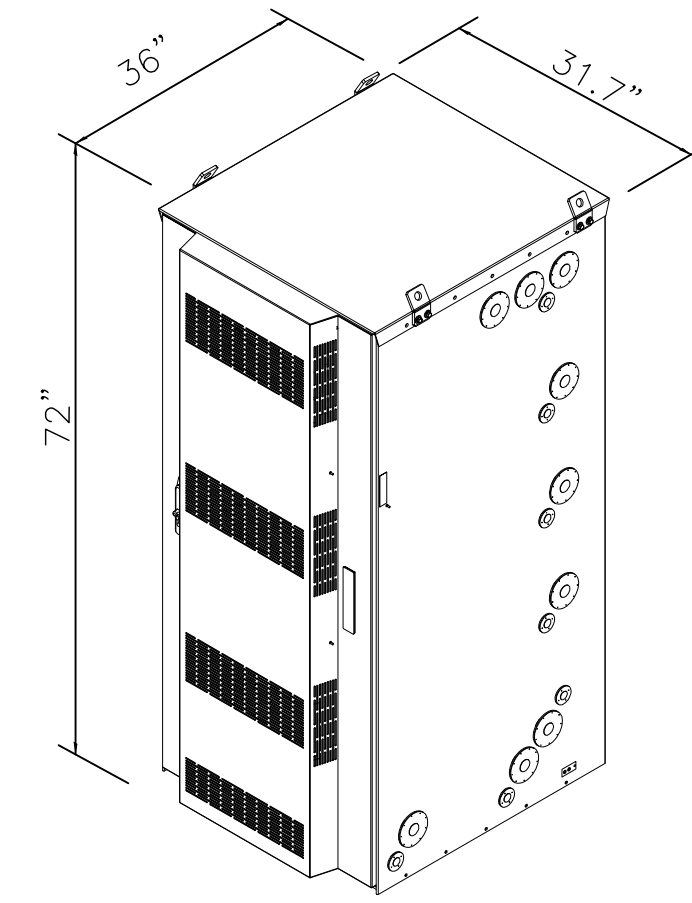


**2**  
VZ-1  
**EQUIPMENT ELEVATION**  
Scale: 3/8" = 1'-0"



DELTA BATTERY CABINET			
HEIGHT	WIDTH	DEPTH	WEIGHT
72"	31.7"	36"	2,500 LBS

**3**  
VZ-1  
**BATTERY CABINET**  
Scale: N.T.S.



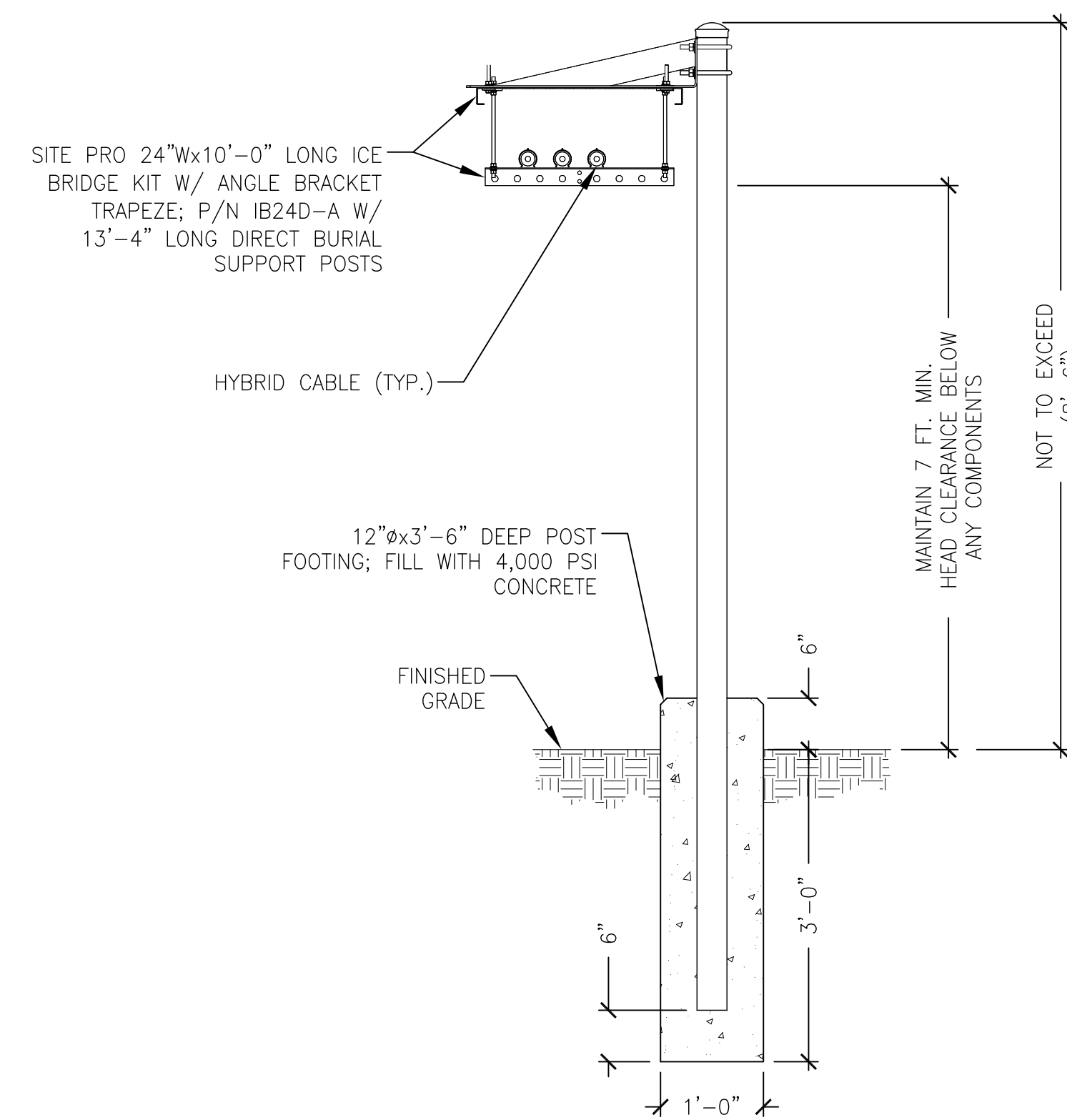
DELTA EQUIPMENT CABINET			
HEIGHT	WIDTH	DEPTH	WEIGHT
72"	31.7"	36"	800 LBS

**4**  
VZ-1  
**EQUIPMENT CABINET**  
Scale: N.T.S.



GENERAC GENERATOR SPECIFICATIONS				
MODEL #	LENGTH	WIDTH	HEIGHT	WEIGHT
SG050NA	94.8"	38.0"	57.5"	2,341 LBS

**5**  
VZ-1  
**50kW GENERAC GAS GENERATOR**  
Scale: N.T.S.



**6**  
VZ-1  
**CABLE BRIDGE DETAIL**  
Scale: N.T.S.



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MF	DW

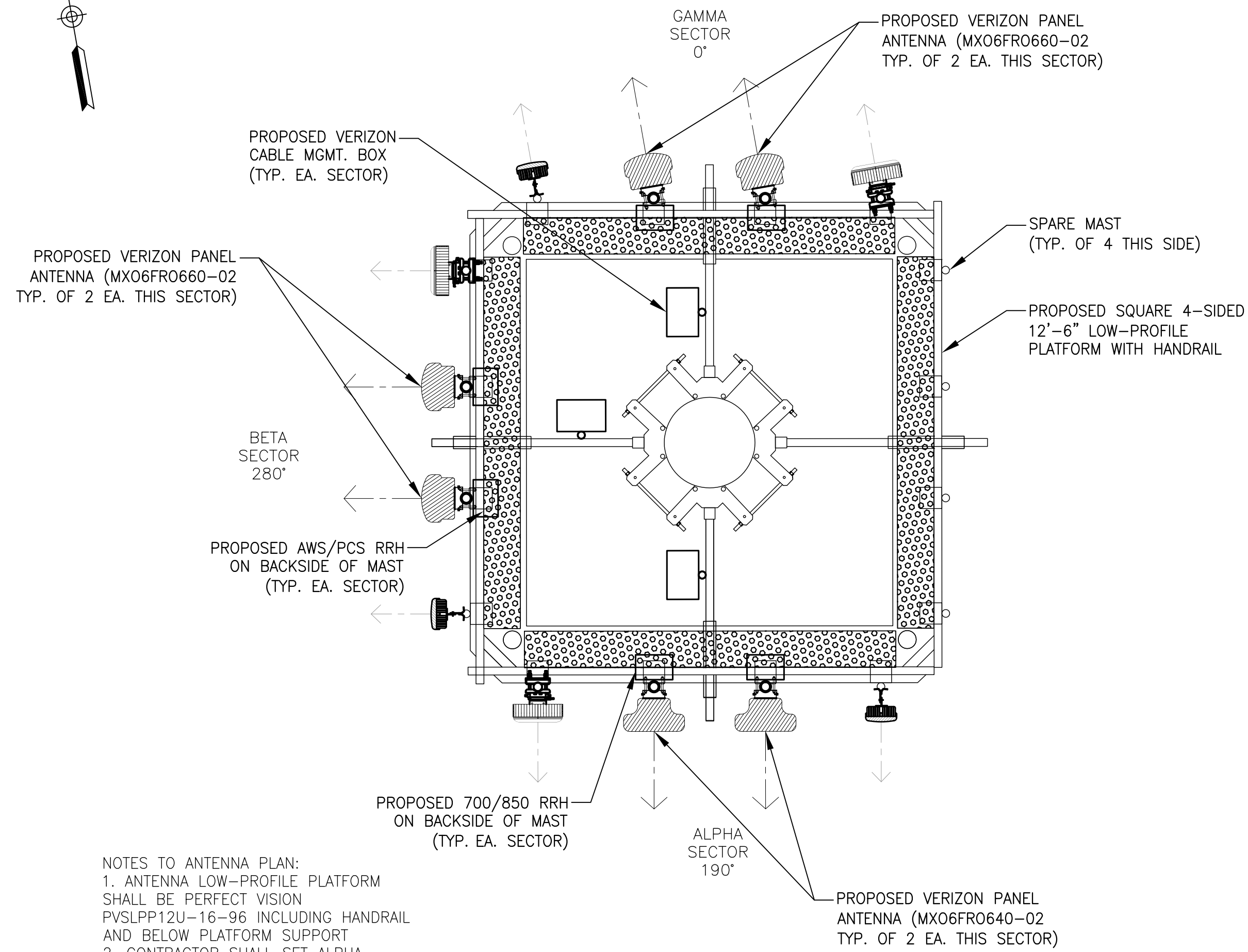
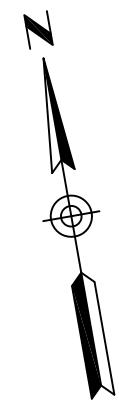
HOMELAND TOWERS SITE ID:  
**NY452  
 PALISADES 2**

VERIZON SITE NAME:  
**PALISADES 2**

PROJECT ADDRESS:  
**COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964**

DRAWING TITLE:  
**VERIZON EQUIPMENT  
 PLAN & DETAILS**

SHEET NUMBER:  
**VZ-1**



NOTES TO ANTENNA PLAN:  
 1. ANTENNA LOW-PROFILE PLATFORM SHALL BE PERFECT VISION PVS1PP12U-16-96 INCLUDING HANDRAIL AND BELOW PLATFORM SUPPORT  
 2. CONTRACTOR SHALL SET ALPHA PLATFORM FACE AT 190° AZIMUTH.  
 3. LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING VERIZON RFDS.

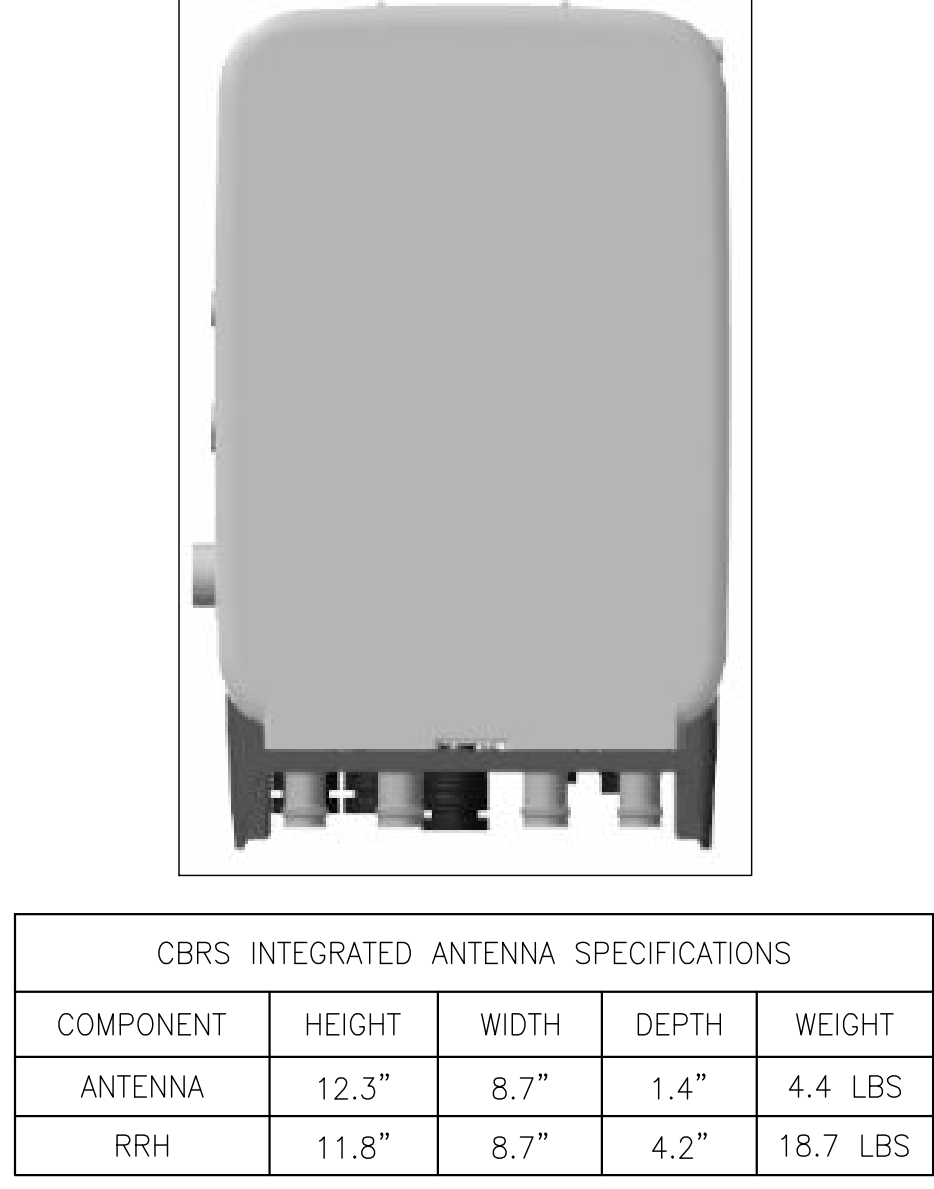
**1** ANTENNA PLAN @ 97 FT. A.G.L.  
 Scale: 3/8"=1'-0"



**2** 'MX06' ANTENNA SPEC.  
 Scale: N.T.S.

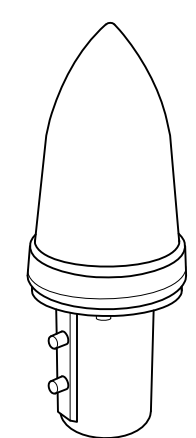


**3** MT6413 ANTENNA SPEC.  
 Scale: N.T.S.



**4** CBRS ANTENNA SPEC.  
 Scale: N.T.S.

NOTES TO VERIZON EQUIPMENT DETAILS/SPECIFICATIONS:  
 1. ANTENNAS AND EQUIPMENT ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT TIME OF CONSTRUCTION.



**5** GPS ANTENNA DETAIL  
 Scale: N.T.S.

\*ALL MOUNTING OPTIONS FIT PIPES OF 1"-1.45" MAX. DIA.



**6** RRH DETAIL - AWS/PCS  
 Scale: N.T.S.



**7** RRH DETAIL - 700/850  
 Scale: N.T.S.



MODEL #	HEIGHT	WIDTH	DEPTH	WEIGHT	COLOR
RVZDC-6627-PF-48	29.5"	16.5"	12.6"	32 LBS	LIGHT GREY

**8** CABLE DIST. BOX DETAIL  
 Scale: N.T.S.



NOTE:  
 1. "YELLOW" CAUTION SIGN SHALL BE LOCATED AT COMPOUND ENTRY LOCATION AND VERIZON EQUIPMENT.  
 2. SIGN MEASURES 12"Hx8"W

**9** CAUTION SIGN  
 Scale: N.T.S.



NOTE:  
 1. "GREEN" INFORMATION SIGN SHALL BE LOCATED AT COMPOUND ENTRY LOCATION AND VERIZON EQUIPMENT.  
 2. SIGN MEASURES 12"Wx8"H

**10** VERIZON INFORMATION SIGN  
 Scale: N.T.S.



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MF	DW

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 PALISADES 2

VERIZON SITE NAME:  
 PALISADES 2

PROJECT ADDRESS:  
 COLUMBIA UNIVERSITY  
 61 RT. 9W  
 PALISADES, NY 10964

DRAWING TITLE:  
 ANTENNA PLAN &  
 VERIZON EQUIP. SPECS

SHEET NUMBER:  
 VZ-2