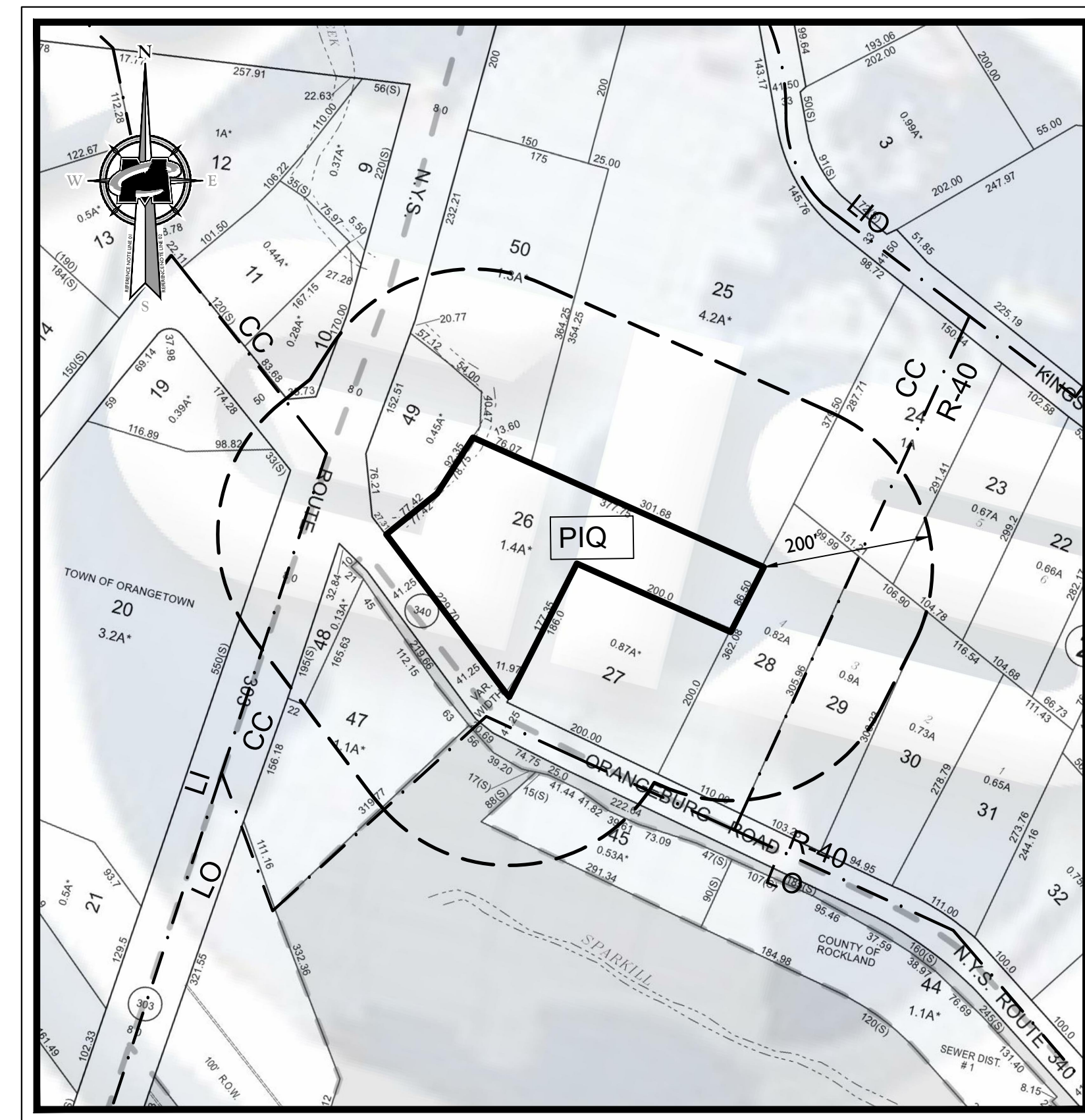
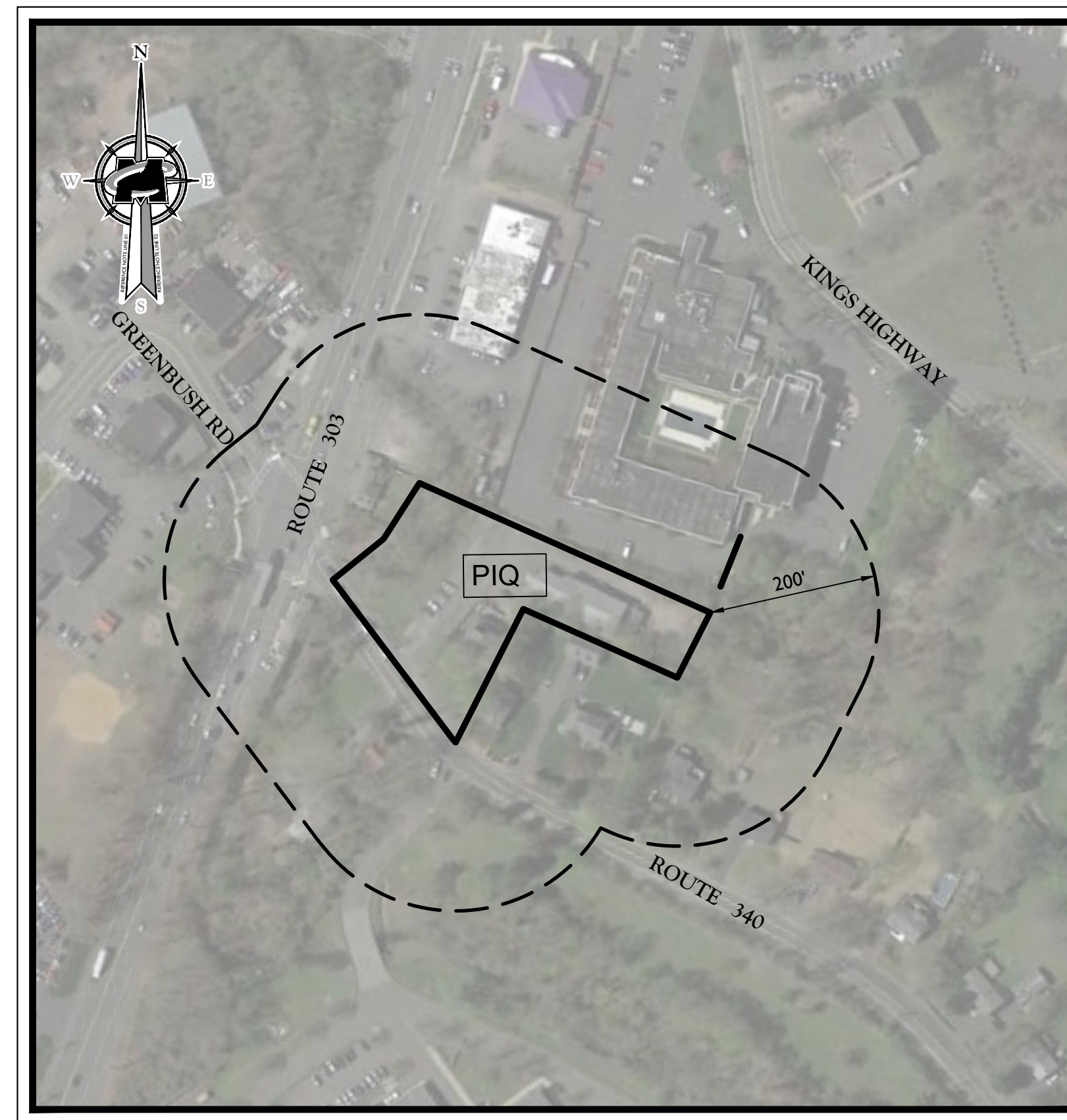
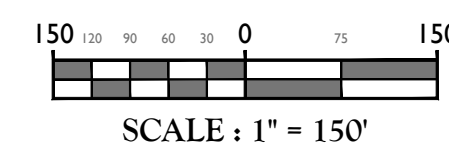


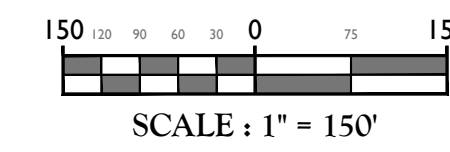
**FINAL SITE PLAN**  
**FOR**  
**RRIS CORPORATION**  
**RETAIL/SERVICE WITH ACCESSORY STORAGE**  
**SECTION 74.11, BLOCK 2, LOT 26**  
**TOWN OF ORANGETOWN**  
**ROCKLAND COUNTY, NEW YORK**



**KEY & ZONING MAP**



**AERIAL MAP**



INDEX OF SHEETS		
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4	LAYOUT PLAN**	2/28/24
5	GRADING, DRAINAGE & UTILITY PLAN	2/28/24
6	PROPOSED STORM PROFILES	2/28/24
7	PROPOSED SANITARY PROFILES	2/28/24
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10	SOIL EROSION & SEDIMENT CONTROL PLAN	2/28/24
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1 OF 1	FIRE TRUCK MOVEMENT EXHIBIT	2/28/24

\* = PLANS INCLUDED IN ACABOR SUBMISSION  
 \*\* = PLANS INCLUDED IN ZBA SUBMISSION

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REV	DATE	DRAWN BY	DESCRIPTION
1	8/9/17	RH	REVISED FOR ACABOR/ZBA SUBMISSIONS
2	11/3/17	RH	REVISED FOR RESOLUTION COMPLIANCE
3	2/22/18	DIG	REVISED FOR RESOLUTION COMPLIANCE
4	2/10/18	DIG	REVISED FOR RCDA COMMENTS
5	1/4/19	DIG	REVISED FOR RCDA COMMENTS
6	2/28/24	NJ	REVISED PER PLANNING BOARD COMMENTS

**Jesse Barrett Cokeley**  
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 N.Y. C.O.A. #: 0077609

**FINAL SITE PLAN**  
**FOR**  
**RRIS CORPORATION**  
  
**SECTION 74.11**  
**BLOCK 2**  
**LOT 26**  
**TOWN OF ORANGETOWN**  
**ROCKLAND COUNTY**  
**NEW YORK**

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SCALE: AS SHOWN	DATE: 2/20/24	DRAWN BY: NJ	CHECKED BY: JBC
PROJECT NUMBER: 15002742A	DRAWING NAME: C-COVER		

SHEET TITLE: **COVER SHEET**

SHEET NUMBER: **1 of 13**

PREPARED BY:

**COLLIERS ENGINEERING & DESIGN, CT, P.C.**  
**300 TICE BOULEVARD, SUITE 101**  
**WOODCLIFF LAKE, NJ 07677**

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER - RRIS CORPORATION (1007 ROUTE 9W SOUTH, NYACK, NY 10960) DATE \_\_\_\_\_

APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE REGULAR MEETING OF \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

## GENERAL NOTES

- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP.", DATED 11/19/15, LAST REVISED 12/11/15, PREPARED BY JAY A. GREENWELL, P.L.S. LIC. NO. 49676 OF NEW YORK.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP.", DATED 11/19/15, LAST REVISED 12/11/15, PREPARED BY JAY A. GREENWELL, P.L.S. LIC. NO. 49676 OF NEW YORK.  
BENCHMARK REFERENCE: RCFP MONH 225, ELEVATION: 74.18 FEET.  
DATUM: NAD 83  
FOR THE 100-YEAR FLOOD ELEVATION, THE ROCKLAND COUNTY DATUM CONVERSION FACTOR FOR THE SPARKILL CREEK FROM NGVD 29 TO NAVD 83 IS -0.97.
- FLOODWAY AND FLOOD HAZARD LINED SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP." AS PREPARED BY JAY A. GREENWELL, DATED 11/19/15, LAST REVISED 12/11/15.
- OWNER/APPLICANT: RRIS CORPORATION  
1007 ROUTE 9W SOUTH  
NATACK, NY 10960
- ZONE DATA: CC - RETAIL COMMERCE (RETAIL/SERVICE IS PERMITTED USE BY SPECIAL PERMIT FROM ZBA)
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:  
A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002, AS SUPPLEMENTED.  
B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.  
C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.  
D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON ROUTE 340, OWNED AND OPERATED BY SUEZ WATER. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE SHALL BE CEMENT LINER DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SANITARY MANHOLE ON SITE, OWNED AND OPERATED BY THE ORANGETOWN SEWER DISTRICT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL ACCORDING TO MUNICIPAL AND ROCKLAND COUNTY HEALTH DEPARTMENT REGULATIONS. PIPE MATERIALS SHALL BE NOTED EXCEPT WHERE SHALLOW DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- SANITARY SEWERS SHALL BE SEPARATE FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE. SEWER IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP JOINTS, FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY REINFORCATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), HANGCOUR DURK-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPE), OR POLYPROPYLENE PIPE (PP), EXCEPT WHERE SHALLOW DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR THE BUILDING SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC IN NATURE, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNLESS THEY HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL, WHICH HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION", THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS. TEST FITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING UTILITIES, MATERIALS, DEPTHS, TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID COLLISIONS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY UNUSUAL CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD BE REPAIRS, DEBRIS, OR INFESTATION.
- THIS PLAN IS NOT DETECTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY SENSITIVE CONDITIONS. MASS CONSULTING HAS CONDUCTED AN EXPLORATORY OR TESTING SERVICES INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SEWER ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT OR THE TOWN OF ORANGETOWN.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE AND ARCHITECTURAL PLANS HAVE BEEN APPROVED BY ACABOR, AND SITE AND DRAINAGE PLANS BY THE ORANGETOWN PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION OF ANY REQUIRED PUBLIC IMPROVEMENTS OR PRIVATE SANITARY OR STORM SEWER IMPROVEMENTS, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. THE APPLICANT OR APPLICANTS ENGINEER SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT OR DESIGN MODIFICATION TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT, AND SATISFACTORY CONSTRUCTION. THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INVESTIGATE THE CONDITIONS, AND SHALL EITHER APPROVE THE APPLICANTS OR APPLICANTS ENGINEERS' RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MORE THOROUGH INVESTIGATION. IN THE EVENT OF THE APPLICANTS OR APPLICANTS ENGINEERS' DISAGREEMENT WITH THE DECISION OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN OR ANY CHANGE THAT AFFECTS A WEED AND RESOLVE THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. FEDERAL, WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN 30 DAYS OF THE COMPLETION OF CONSTRUCTION.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES OR VEGETATION, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING, & PLANNING ADMINISTRATION AND ENFORCEMENT, IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND USE AND ZONING REGULATIONS, ORDER OF THE TOWN OF ORANGETOWN, SHALL BE STRICTLY ENFORCED AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:  
a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.  
b. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.  
c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.  
d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:  
i. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.  
ii. DRIP LINE OF THE TREE CANOPY  
THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SLOW FENCE OR EQUAL TO BE PLACED AND MAINTAINED BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED TO REDUCE THE TREE PROTECTION ZONE OF A SELECTED TREE, THAT METHOD WILL BE UTILIZED. ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:  
a. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.  
b. LIGHT IMPACTS ONLY - INSTALLATION OF 3 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.  
THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED ANIOR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL, AS REQUIRED BY THE PLANNING BOARD, PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK. THE TOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AT LEAST 48 HOURS INADVANCE FOR AN INSPECTION.
- EROSION CONTROL MEASURES SHALL BE DESIGNED UPON PRELIMINARY APPROVAL OF PROPOSED STORMWATER DESIGN, EROSION AND SEDIMENT CONTROL DESIGN SHALL BE IN CONFORMANCE WITH NYSDEC AND ORANGETOWN REGULATIONS.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- AN ELEVATION CERTIFICATE SHALL BE PROVIDED FOR THE AS-BUILT CONSTRUCTION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED FROM THE LOCAL FLOODPLAIN ADMINISTRATOR.
- A ROCKLAND COUNTY DRAINAGE AGENCY STREAM CONTROL ACT PERMIT IS REQUIRED FOR THIS SITE PLAN.
- IF ANY FOUNDATION WORK OR OTHER TYPE OF MAJOR EXCAVATION WORK IS TO BE DONE WITHIN CLOSE PROXIMITY TO THE RCSD NO. 1 SANITARY EASEMENT BOUNDARY, THE DISTRICT MUST BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE. SHORING OR OTHER TYPES OF PRECAUTIONS MAY BE NEEDED TO PROTECT THE SEWER MAIN AND THESE SHALL BE AT THE EXPENSE OF THE PROPERTY OWNER.
- THE RCSD NO. 1 MUST BE NOTIFIED WHEN THE LAND WITHIN ITS EASEMENTS IS TO BE MODIFIED. THIS INCLUDES BUT IS NOT LIMITED TO REGRADING, RAISING OR LOWERING OF MANHOLE FRAMES, OR WORKING IN CLOSE PROXIMITY TO SEWERS AND MANHOLES WITHIN THE EASEMENTS.
- PRIOR AT LEAST 14 DAYS TO THE PLACING OF ANY ROAD SUBBASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE CONFORMANCE OF THE DRAWINGS TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.

## DEMOLITION NOTES

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:  
A. BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOT 26, BLOCK 2, SECTION 74.11 (TOWN OF ORANGETOWN), PREPARED BY JAY A. GREENWELL, DATED 11/19/15, LAST REVISED 12/11/15.
  - CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.) AS AMENDED.
  - THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
  - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
  - PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:  
A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.  
B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.  
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.  
D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.  
E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.  
F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.  
G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.  
H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.  
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.  
THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.  
THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.  
THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
  - CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
  - THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE A DETAILED PROGRAM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
  - CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMANLIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ## SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, INLET FILTERS AND HAYBALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS AND DETAILS. STAGING AND STORAGE AREA SHALL BE SET UP IN THE LOCATIONS DESIGNATED ON THE PLANS.
  - DEMOLISH EXISTING SITE IMPROVEMENTS (BUILDINGS, SIDEWALKS, PAVEMENT, CURBING, ETC.) AS SHOWN ON THE DEMOLITION PLAN. ALL MATERIAL TO BE CRUSHED AND STOCKPILED ON SITE.
  - ROUGH GRADE THE SITE BASED ON THE GRADING PLAN TO THE APPROPRIATE BUILDING PAD ELEVATIONS. EXCAVATE FOR AND CONSTRUCT THE DRAINAGE IMPROVEMENTS PROGRESSING UPSTREAM. PROVIDE INLET PROTECTION ON EXISTING AND PROPOSED DRAINAGE STRUCTURES.
  - CONSTRUCT BUILDING FOUNDATIONS, INSTALL PROPOSED UTILITIES, CURBING AND THEN PAVE (BASE COURSE) PARKING AREA AND DRIVE AISLES.
  - STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS CONVEYING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
  - MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
  - FINALIZE CONSTRUCTION OF SITE IMPROVEMENTS INCLUDING THE BUILDINGS, SIDEWALKS, LANDSCAPE AREAS, SIGNAGE, LIGHTING AND ANY OTHER OUTSTANDING ITEMS.
  - AFTER COMPLETION OF CONSTRUCTION, FINISH GRADE TO FINAL ELEVATIONS AND APPLY SEED OR SOD ON ALL LAWN AREAS.
  - AFTER STABILIZATION HAS BEEN ESTABLISHED CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.
  - MAINTAIN ALL LAWN AND LANDSCAPED AREAS TO ENSURE A VIABLE STABILIZED VEGETATIVE COVER.
  - ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LAIDEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
  - THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

## SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
  - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
  - PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK "WITH THE SEED."
  - ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
  - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
  - IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SLUDGES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL, HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
  - AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
  - UNLITREDED DETERIATING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DETERIATING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DETERIATING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
  - SHOULD THE CONTROL, OR DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
  - ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
  - STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
  - ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.
  - PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
  - DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
- ### MAINTENANCE PLAN DURING CONSTRUCTION
- INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-20.00. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN THE STABILITY OF THE CONTROL. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- ## ADA NOTES TO CONTRACTOR
- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/GRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDED, BUT ARE NOT LIMITED TO THE FOLLOWING:  
A. PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION  
B. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.33% FOR A MAXIMUM OF SIX (6) FEET. CURB RAMPS MUST NOT RISE MORE THAN 6" WITHOUT A HANDICAP RAMP.  
C. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) CROSS SLOPE.  
D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERRANGS CANNOT REDUCE THE MINIMUM WIDTH). THE SLOPE MUST NOT BE GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.33%), FOR A MAXIMUM DISTANCE OF 30 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.  
E. DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THE SLOPE MUST BE NO LESS THAN 42 INCHES (3 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).  
IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.  
A. AT ALL CROSSWALKS, GC IS TO MAINTAIN A MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE. NOTIFY ENGINEER OF ANY DISCREPANCIES IN FIELD.  
B. CONTRACTOR MUST ENSURE A MAXIMUM OF 1/4" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" EXISTS. CONTRACTOR MUST ENSURE THAT THE TOP OF 1/4" CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.  
C. OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG ACCESSIBLE PATH MUST NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2".
  - LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER. SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.  
THE CONTRACTOR TO INSTALL ALL STORMSANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.  
THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE TO COORDINATE THE INSPECTION OF THE CONNECTIONS TO THE EXISTING SANITARY LATERALS AND ALL CONSTRUCTION IN THE EXISTING SANITARY SEWER EASEMENT. PLEASE NOTE THE PROPOSED MANHOLE LOCATIONS TO THE EXISTING SANITARY SEWER LOCATED OUTSIDE OF THE SANITARY SEWER EASEMENT.  
APPROXIMATE LOCATION OF THE EXISTING SANITARY-BUILDING CONNECTIONS IS BASED ON THE FOLLOWING REFERENCES:  
• "AS-BUILT" DRAWINGS PROVIDED BY THE TOWN OF ORANGETOWN AND DATED NOVEMBER, 1988  
• SEWER MAPPING AND PROFILE PROVIDED BY THE TOWN OF ORANGETOWN
  - ALL SANITARY SEWERS TO UNDERGO TESTING AS REQUIRED BY ROCKLAND COUNTY DEPARTMENT OF HEALTH (RCDOH). ALL RESULTS SHALL BE SUBMITTED TO RCDOH ALONG WITH AS-BUILT DRAWINGS FOR REVIEW AND APPROVAL. TESTS MUST CONSIST OF THE FOLLOWING:  
5.1. ALL FLEXIBLE SANITARY PIPES (PVC, FRP, ETC.) SHOULD UNDERGO ALIGNMENT AND DEFLECTION TESTING AFTER INSTALLATION ACCORDING TO "TEN STATES STANDARDS".  
5.2. ALL SANITARY SEWER PIPES, MANHOLES, AND CLEANOUTS NEED TO BE TESTED FOR LEAKAGE IN ACCORDANCE WITH APPENDIX "C" SEWER AND MANHOLE LEAKAGE TESTS" OF THE NYS DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS DATED 3/5/2014 BY NYS D.E.C.
  - AS-BUILT DRAWINGS, TEST RESULTS AND ENGINEER'S CERTIFICATION ARE TO BE SUBMITTED TO THE TOWN OF ORANGETOWN AND THE ROCKLAND COUNTY HEALTH DEPARTMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

## GENERAL SEEDING NOTES

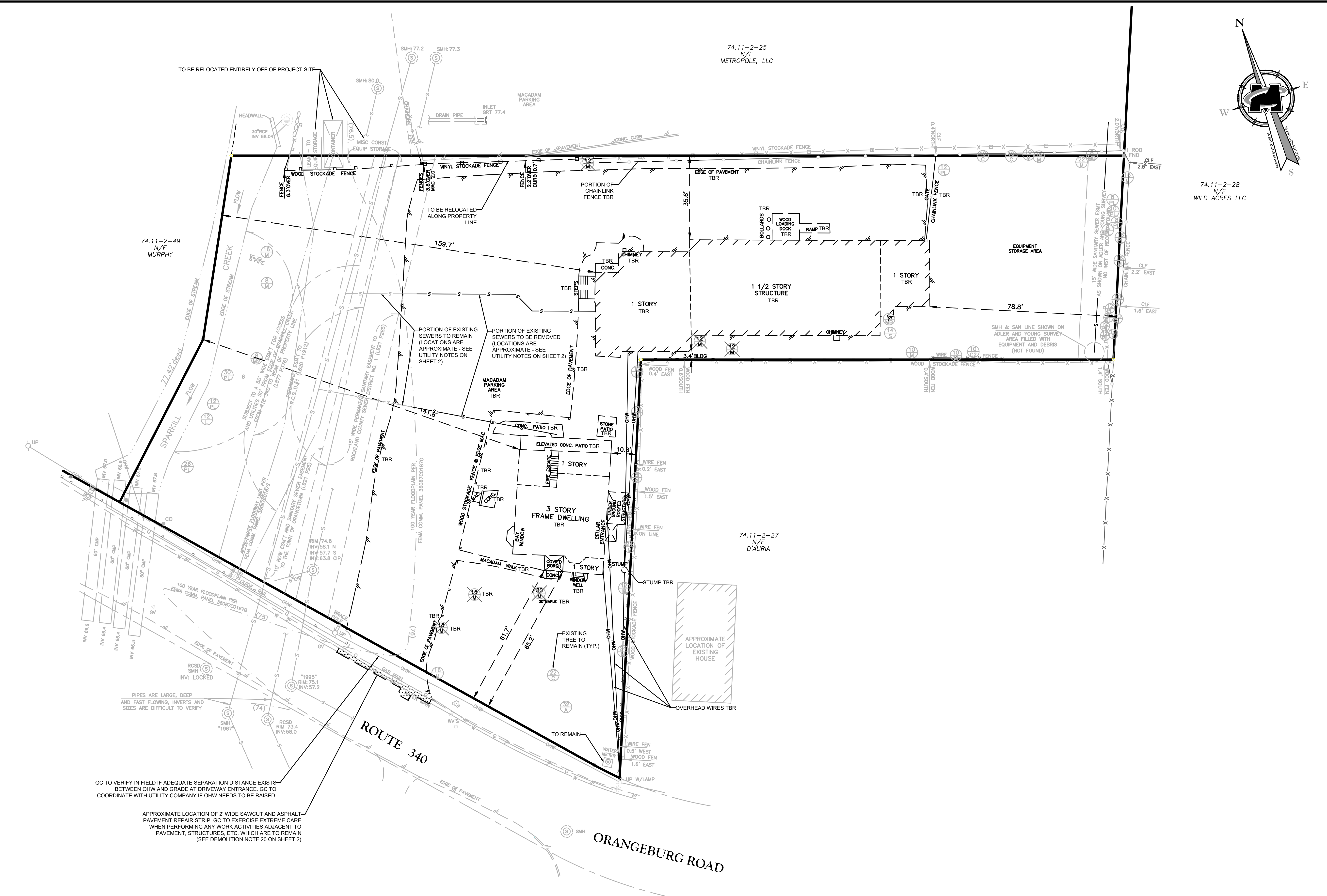
- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING DOTS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHOULD BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUIV. - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31; AND AUGUST 16 AND OCTOBER 15.  
MIX #15 - HARD RESCUE 120 LBS/ACRE  
PERENNIAL RYE GRASS 30 LBS/ACRE  
KENTUCKY BLUE GRASS (BLEND) 40 LBS/ACRE  
OR  
MIX #16 - TALL FESCUE 160 LBS/ACRE  
PERENNIAL RYE GRASS (BLEND) 20 LBS/ACRE  
KENTUCKY BLUE GRASS (BLEND) 20 LBS/ACRE
- DETENTION BASIN TO BE SEEDDED WITH ERNST SEED MIX 127 OR APPROVED EQUIVALENT.
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 30# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 7.
- MULCH TO CONSIST OF SMALL GRASS STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIFE AND FERTILIZER UNTIL SOIL IS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTROL. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED, ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

## ADDITIONAL CONSTRUCTION NOTES

- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH FRIDAY. SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

## GENERAL PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF ORANGETOWN. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL ROOT BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 8'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 10'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE JUTE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING THE PLANT PIT.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING FITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING FITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING FITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
- OPTIMUM PLANTING TIME:  
DECIDUOUS - APRIL 1 TO JUNE 1 & OCTOBER 15 TO DECEMBER 15.  
CONIFEROUS - APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO NOVEMBER 1.
- NEVLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALL



74.11-2-49  
N/F  
MURPHY

74.11-2-25  
N/F  
METROPOLE, LLC

74.11-2-28  
N/F  
WILD ACRES LLC

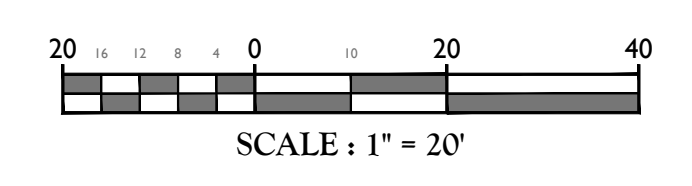
74.11-2-27  
N/F  
D'AURIA

GC TO VERIFY IN FIELD IF ADEQUATE SEPARATION DISTANCE EXISTS BETWEEN OHW AND GRADE AT DRIVEWAY ENTRANCE. GC TO COORDINATE WITH UTILITY COMPANY IF OHW NEEDS TO BE RAISED.

APPROXIMATE LOCATION OF 2' WIDE SAWCUT AND ASPHALT PAVEMENT REPAIR STRIP. GC TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN (SEE DEMOLITION NOTE 20 ON SHEET 2)

TREE LEGEND	
(12)	— SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
(K2)	— LETTER INDICATES TREE TYPE (SEE BELOW)
	— SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
A	= ASH
C	= CHERRY
E	= ELM
K	= OAK
M	= MAPLE
MB	= MULBERRY
P	= PINE
S	= SLMAC

LEGEND	
---	= ITEMS TO BE REMOVED
---	= ITEMS TO REMAIN
T.B.R.	= TO BE REMOVED
(30)	= TREE TO BE REMOVED
(24)	= TREE TO REMAIN



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REV	DATE	DRAWN BY	DESCRIPTION
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6	2/28/24	NJ	REVISED PER PLANNING BOARD COMMENTS

SEAL OF NEW YORK  
Jesse Barrett Cokeley  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-01  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A. #: 0077609

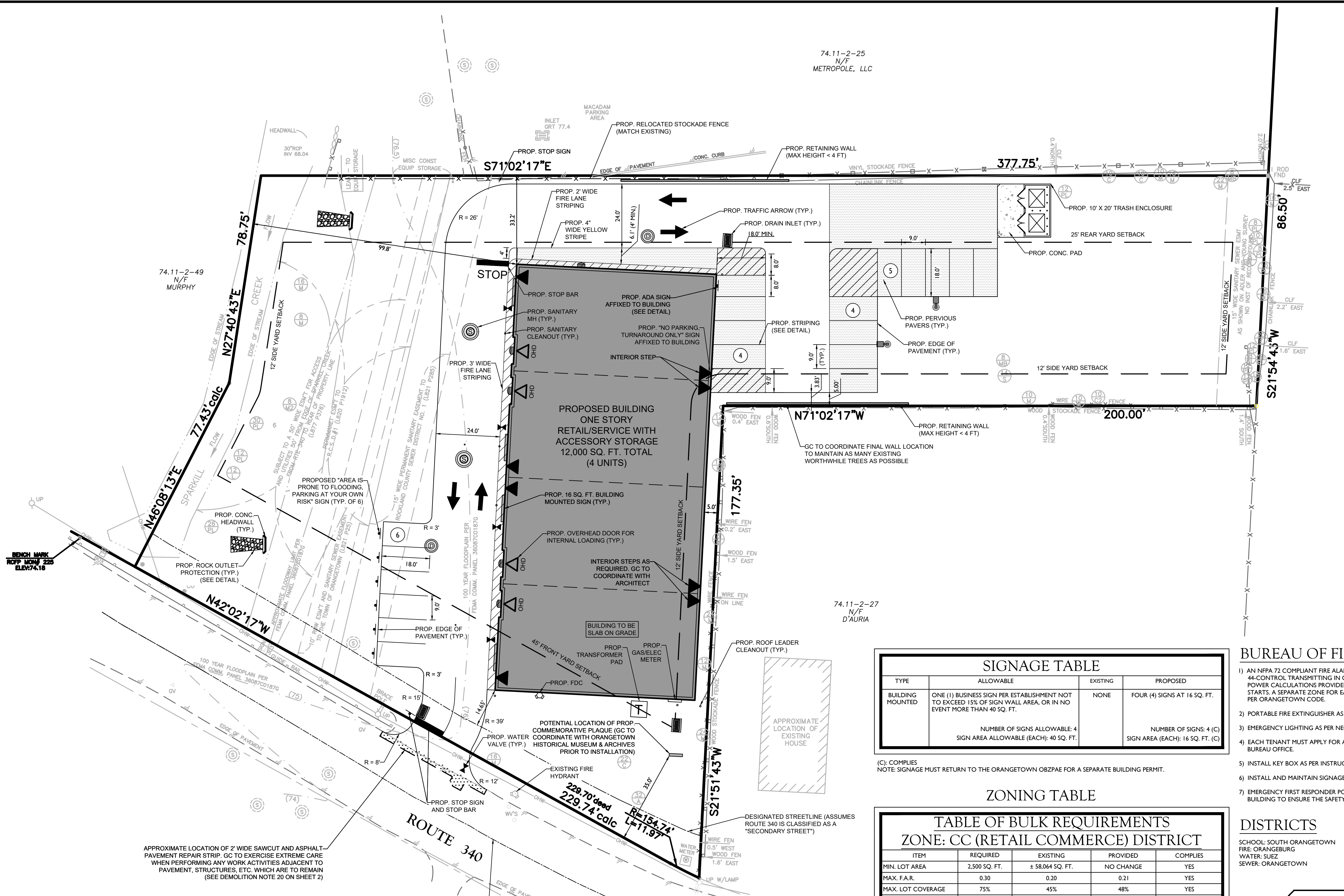
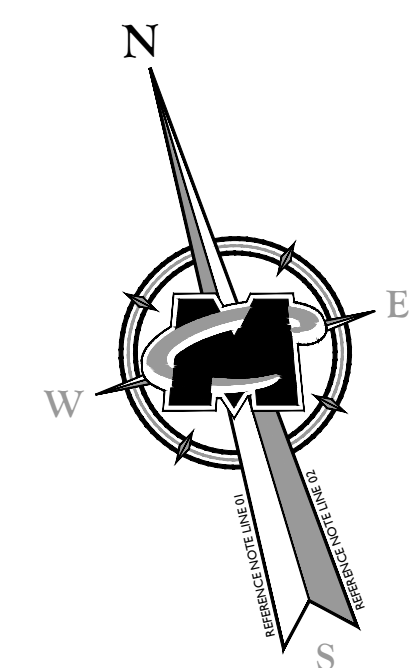
FINAL SITE PLAN  
FOR  
RRIS CORPORATION  
SECTION 74.11  
BLOCK 2  
LOT 26  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers**  
Engineering & Design  
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300 Tice Boulevard  
Suite 101  
Woodcliff Lake, NJ 07677  
Phone: 845.352.0411  
COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTANTS

SCALE: AS SHOWN DATE: 2/20/24 DRAWN BY: NJ CHECKED BY: JBC  
PROJECT NUMBER: 15002742A DRAWING NAME: C-DEMO

SHEET TITLE: DEMOLITION PLAN  
SHEET NUMBER: 3 of 13

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



TYPE	ALLOWABLE	EXISTING	PROPOSED
BUILDING MOUNTED	ONE (1) BUSINESS SIGN PER ESTABLISHMENT NOT TO EXCEED 15% OF SIGN WALL AREA, OR IN NO EVENT MORE THAN 40 SQ. FT.	NONE	FOUR (4) SIGNS AT 16 SQ. FT.
	NUMBER OF SIGNS ALLOWABLE: 4 SIGN AREA ALLOWABLE (EACH): 40 SQ. FT.		NUMBER OF SIGNS: 4 (C) SIGN AREA (EACH): 16 SQ. FT. (C)

(C): COMPLIES  
NOTE: SIGNAGE MUST RETURN TO THE ORANGETOWN OBP2PA FOR A SEPARATE BUILDING PERMIT.

ITEM	REQUIRED	EXISTING	PROVIDED	COMPLIES
MIN. LOT AREA	2,500 SQ. FT.	± 58,064 SQ. FT.	NO CHANGE	YES
MAX. F.A.R.	0.30	0.20	0.21	YES
MAX. LOT COVERAGE	75%	45%	48%	YES
MIN. LOT WIDTH	25'	213.7'	230.4'	YES
MIN. STREET FRONTAGE	25'	241.71'	NO CHANGE	YES
REQUIRED FRONT YARD	0' OR 45'	61.7'	14.65'	NO (V)
REQUIRED SIDE YARD	0' OR 12'	3.4'	5.0'	NO (V)
TOTAL SIDE YARD	0' OR 25'	82.2'	104.8'	YES
REQUIRED REAR YARD	25'	35.6'	33.2'	YES
MAX. BUILDING HEIGHT	16' PER FOOT OF DISTANCE FROM LOT LINE FOR BUILDING GREATER THAN 22'	3 STORIES	22'	YES

(V) = VARIANCE GRANTED AT THE 10/4/17 ZBA MEETING (ZBA #17-73)

**PARKING AND LOADING**

**PARKING:**  
REQUIRED: RETAIL SALES AND SERVICE: 1 SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA / 3,000 SQ. FT. GROSS FLOOR AREA / 200 SQ. FT. = 15 SPACES  
STORAGE AREA: 1 SPACE PER EMPLOYEE; 1 EMPLOYEE PER UNIT OF STORAGE AREA / 4 UNITS = 4 EMPLOYEES = 4 SPACES  
TOTAL REQUIRED: 15 + 4 = 19 SPACES  
TOTAL PROVIDED: 19 SPACES (INCLUDING 1 HANDICAP SPACE)

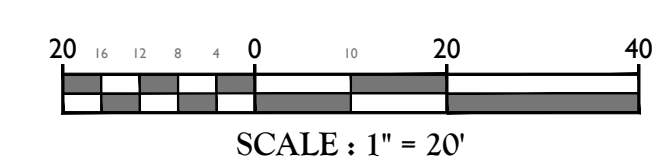
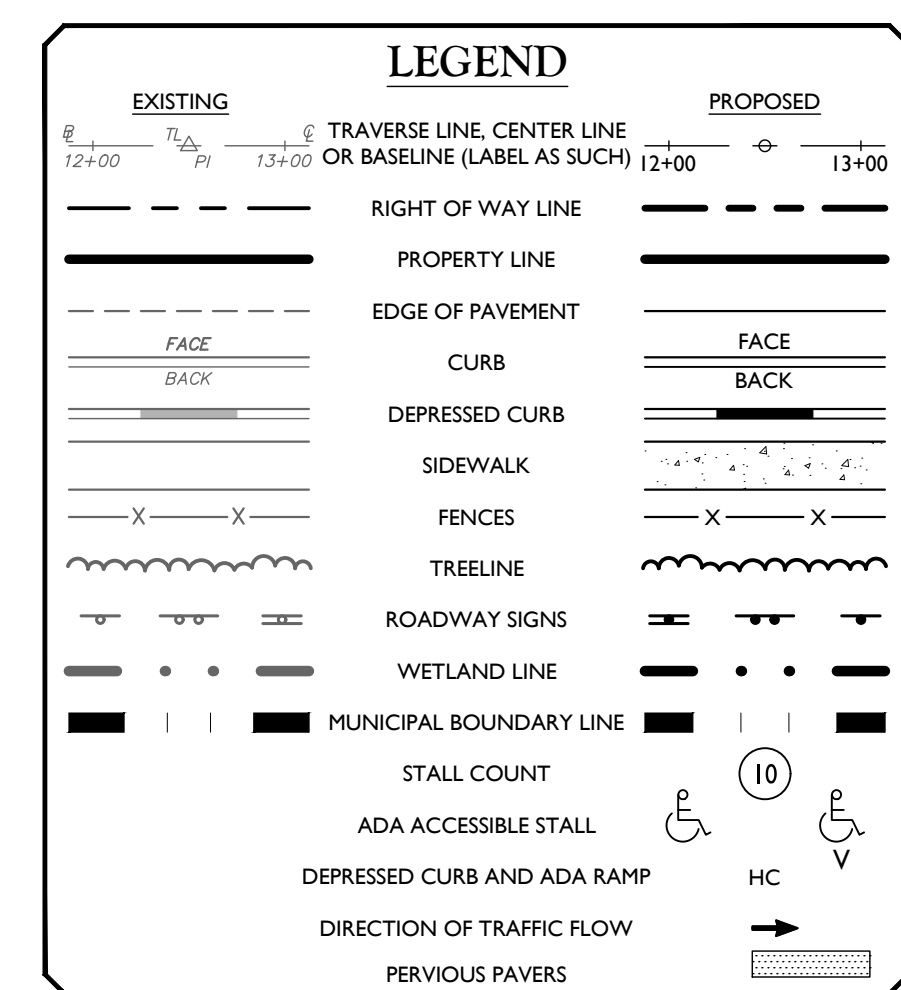
**LOADING:**  
EACH UNIT IS EQUIPPED WITH ONE (1) OVERHEAD DOOR TO ALLOW FOR INTERNAL LOADING ACCESS.

**BUREAU OF FIRE PREVENTION NOTES**

- 1) AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 44-CONTROL TRANSMITTING IN CONTACT ID FORMAT, WITH PLANS AND CUT SHEETS AND POWER CALCULATIONS PROVIDED TO THE BUREAU OFFICE FOR APPROVAL BEFORE WORK STARTS. A SEPARATE ZONE FOR EACH LEASABLE SPACE, WITH AMBER AND RED STROBES AS PER ORANGETOWN CODE.
- 2) PORTABLE FIRE EXTINGUISHER AS PER NFPA 10.
- 3) EMERGENCY LIGHTING AS PER NEC.
- 4) EACH TENANT MUST APPLY FOR AND MAINTAIN A CERTIFICATE OF COMPLIANCE WITH THE BUREAU OFFICE.
- 5) INSTALL KEY BOX AS PER INSTRUCTIONS.
- 6) INSTALL AND MAINTAIN SIGNAGE FOR FIRE ZONE/ FIRE LANE NO PARKING.
- 7) EMERGENCY FIRST RESPONDER PORTABLE RADIOS NEED TO WORK THROUGHOUT THE BUILDING TO ENSURE THE SAFETY OF THE POLICE, FIREFIGHTERS, AND EMS PERSONNEL.

**DISTRICTS**

SCHOOL: SOUTH ORANGETOWN  
FIRE: ORANGETOWN  
WATER: SUEZ  
SEWER: ORANGETOWN



THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L & M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

SEE SHEET 2 FOR GENERAL NOTES

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NEW YORK

**Colliers**  
Engineering & Design  
300 Tice Boulevard  
Suite 101  
Woodcliff Lake, NJ 07677  
Phone: 845.352.0411

SCALE: AS SHOWN  
DATE: 2/20/24  
PROJECT NUMBER: 15002742A  
DRAWING NAME: C-LAY1

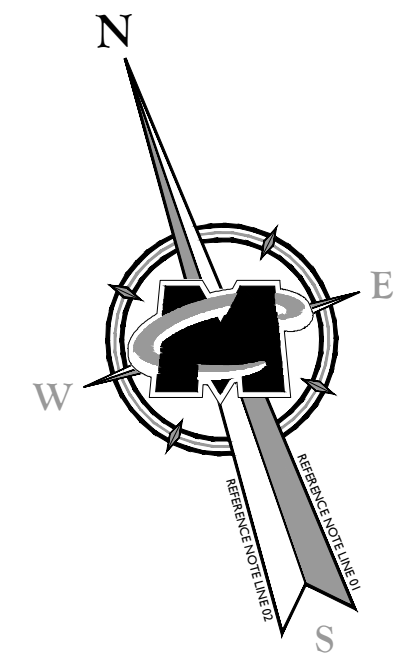
LAYOUT PLAN

4 of 13

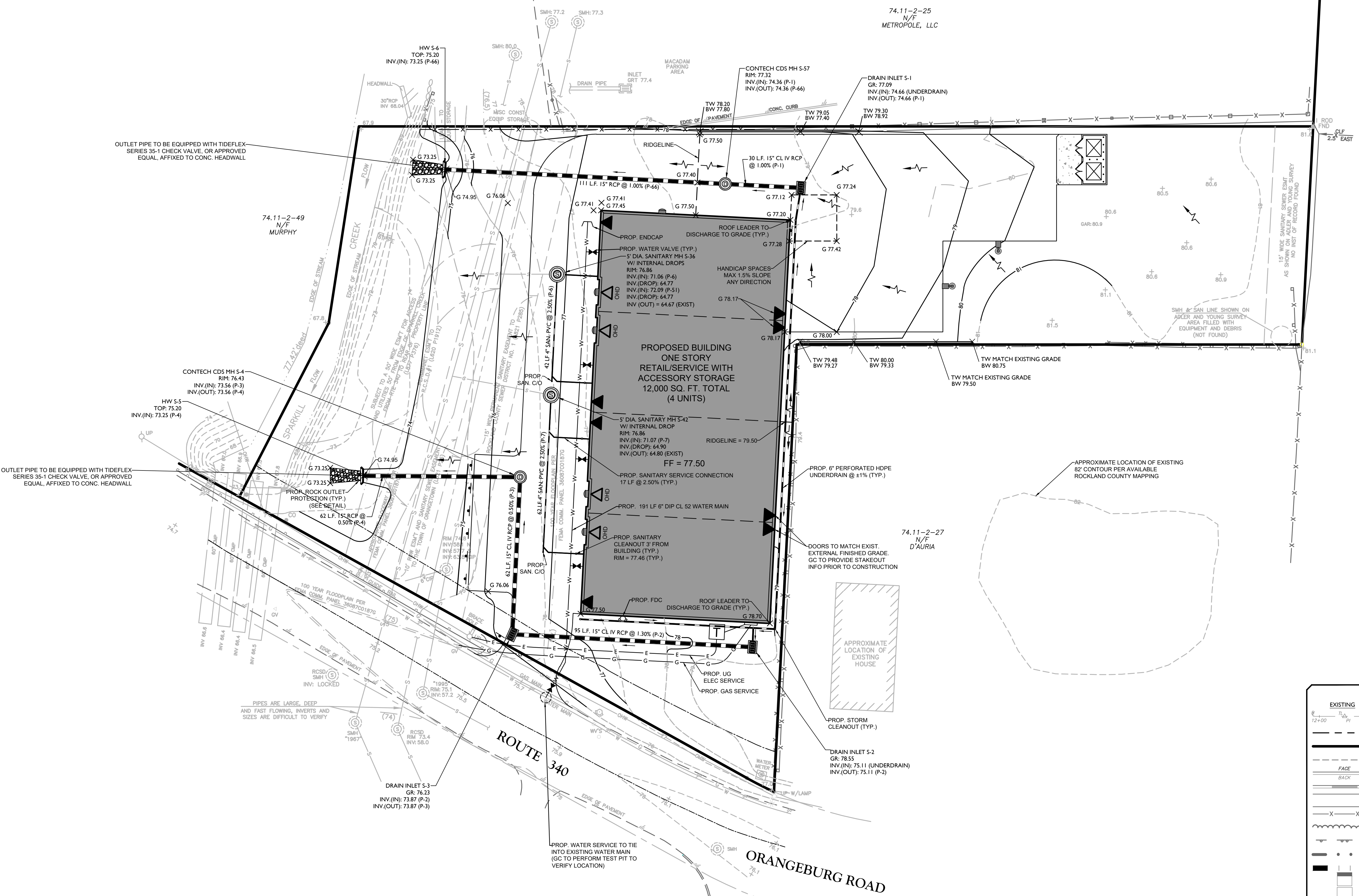


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74.11-2-28  
N/F  
WILD ACRES LLC



OUTLET PIPE TO BE EQUIPPED WITH TIDEFLEX-SERIES 35-1 CHECK VALVE, OR APPROVED EQUAL, AFFIXED TO CONC. HEADWALL

74.11-2-49  
N/F  
MURPHY

CONTECH CDS MH S-4  
RIM: 76.43  
INV.(IN): 73.56 (P-3)  
INV.(OUT): 73.56 (P-4)

HW S-5  
TOP: 75.20  
INV.(IN): 73.25 (P-4)

OUTLET PIPE TO BE EQUIPPED WITH TIDEFLEX-SERIES 35-1 CHECK VALVE, OR APPROVED EQUAL, AFFIXED TO CONC. HEADWALL

PROPOSED BUILDING  
ONE STORY  
RETAIL/SERVICE WITH  
ACCESSORY STORAGE  
12,000 SQ. FT. TOTAL  
(4 UNITS)  
FF = 77.50

74.11-2-27  
N/F  
D'AURIA

INVERTS OF EXISTING 4" CAST IRON SANITARY LATERALS SHOWN AT PROPOSED MANHOLES ARE APPROXIMATE BASED ON AVAILABLE MAPPING AND SURVEYED INFORMATION. GC SHALL FIELD VERIFY VIA TEST PITS THE INVERTS OF THESE LATERALS AT LOCATIONS OF PROPOSED MANHOLES PRIOR TO CONSTRUCTION AND SHALL INFORM ENGINEER OF ANY DISCREPANCIES.

CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, DIVISION OF SEWERS.

NO GRADING IS TO TAKE PLACE WITHIN FIVE FEET OF ANY PROPERTY LINE EXCEPT AS SHOWN HEREON

SEE UTILITY NOTES ON SHEET 2 FOR IMPORTANT INFORMATION REGARDING THE PARTIAL REMOVAL OF THE EXISTING SANITARY-BUILDING CONNECTIONS

EXISTING SANITARY SEWER CONNECTION NOTES:

- THIS IS A ONE-TIME, SPECIAL CASE, SITE SPECIFIC APPROVAL.
- THE APPLICANT SHALL TELEVIEW THE EXISTING SERVICE CONNECTIONS PRIOR TO ANY OTHER WORK OR CONSTRUCTION HAPPENING ON THE SITE TO ENSURE THAT THE CONNECTIONS ARE IN A SERVICEABLE CONDITION TO ACCEPT THE PROPOSED FLOW.
- THE APPLICANT/APPLICANT'S ENGINEER SHALL ARRANGE FOR AND ENSURE THAT THE TOWN'S SEWER INSPECTOR SHALL WITNESS THE TELEVIEWING OF THE SERVICE CONNECTIONS.
- THE OWNER OF THE PROPERTY IS SOLELY RESPONSIBLE FOR THE CARE AND ALL FUTURE MAINTENANCE IF THESE SERVICES CONCEPTIONS (FROM ORIGINATION TO THE TOWN'S MAIN TRUCK LINE).

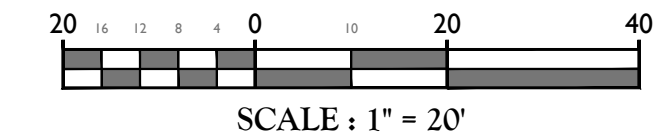
EARTHWORK ANALYSIS WITHIN FLOODPLAIN

CUT = 111.50 CY  
FILL = 109.50 CY  
NET = 2.00 CY CUT  
THEREFORE, NO LOSS OF FLOOD STORAGE IS PROPOSED AS PART OF THESE IMPROVEMENTS

	IMPERVIOUS COVERAGE (%)	1-YEAR RUNOFF	10-YEAR RUNOFF	25-YEAR RUNOFF	50-YEAR RUNOFF	100-YEAR RUNOFF
EXISTING	45	1.86 CFS	4.19 CFS	5.52 CFS	6.75 CFS	8.21 CFS
PROPOSED	44	1.76 CFS	4.06 CFS	5.39 CFS	6.62 CFS	8.07 CFS

**LEGEND**

EXISTING	PROPOSED
12+00	13+00
TRAVELER LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
RIGHT OF WAY LINE	PROPERTY LINE
EDGE OF PAVEMENT	FACE
CURB	BACK
DEPRESSED CURB	SIDEWALK
FENCES	TREELINE
ROADWAY SIGNS	WETLAND LINE
MUNICIPAL BOUNDARY LINE	'B' INLET
'E' INLET	STORM MANHOLE
SANITARY MANHOLE	FLARED END SECTION
HEADWALL	CONTOURS
SPOT ELEVATION	DIRECTION OF OVERLAND FLOW
TOP OF CURB ELEVATION	TOP OF DEPRESSED CURB ELEVATION
BOTTOM OF CURB ELEVATION	



FINAL SITE PLAN

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SCALE: AS SHOWN  
DATE: 2/20/24  
DRAWN BY: NJ  
CHECKED BY: JBC  
PROJECT NUMBER: 15002742A  
DRAWING NAME: C-GRAD

GRADING, DRAINAGE & UTILITY PLAN



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6	2/28/24	NJ	REVISED PER PLANNING BOARD COMMENTS



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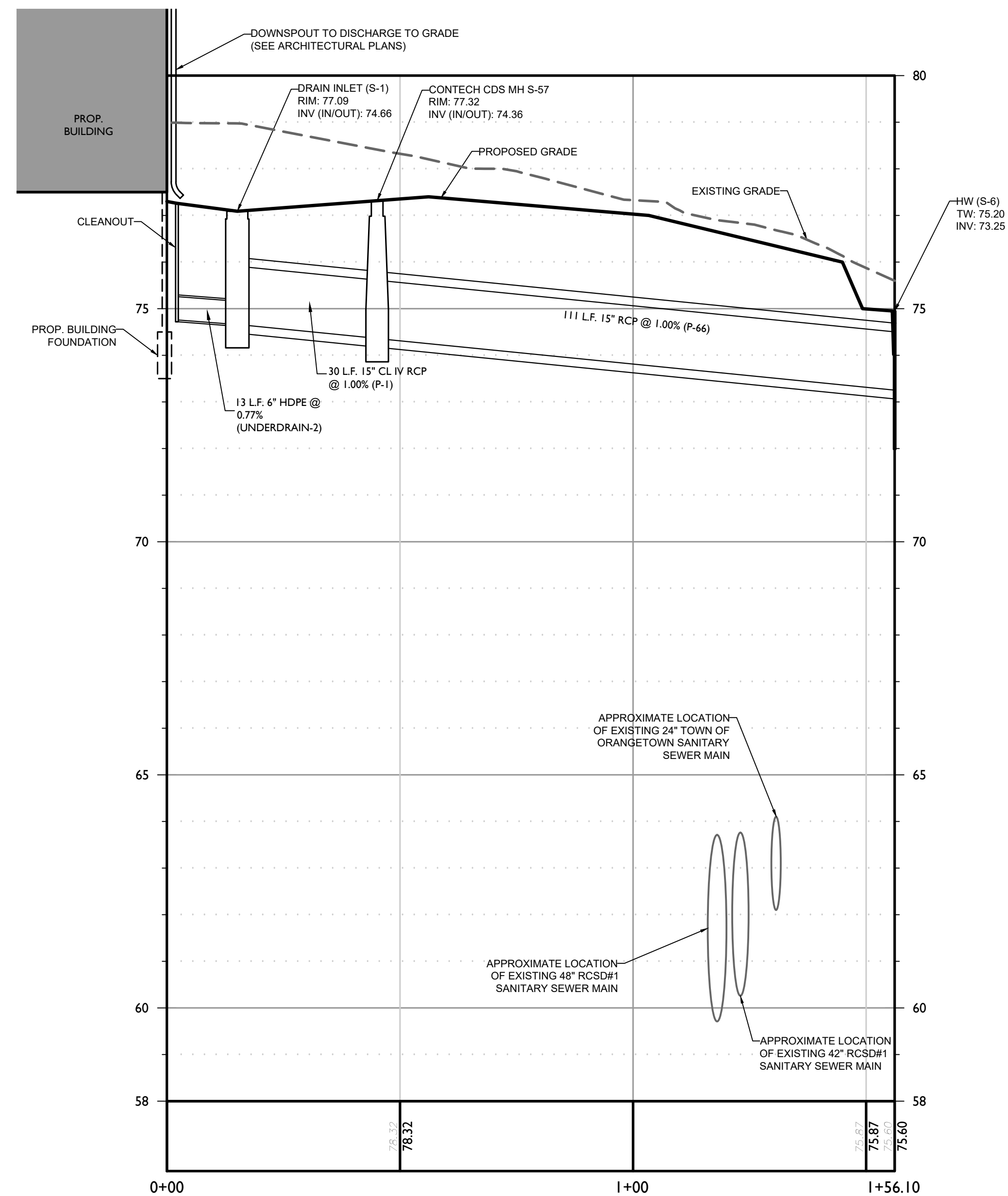
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SHEET TITLE:  
**PROPOSED STORM PROFILES**

SHEET NUMBER:  
**6 of 13**



**PROPOSED STORM SEWER PROFILE (NORTHERN ROOF LEADER TO OUTFALL)**

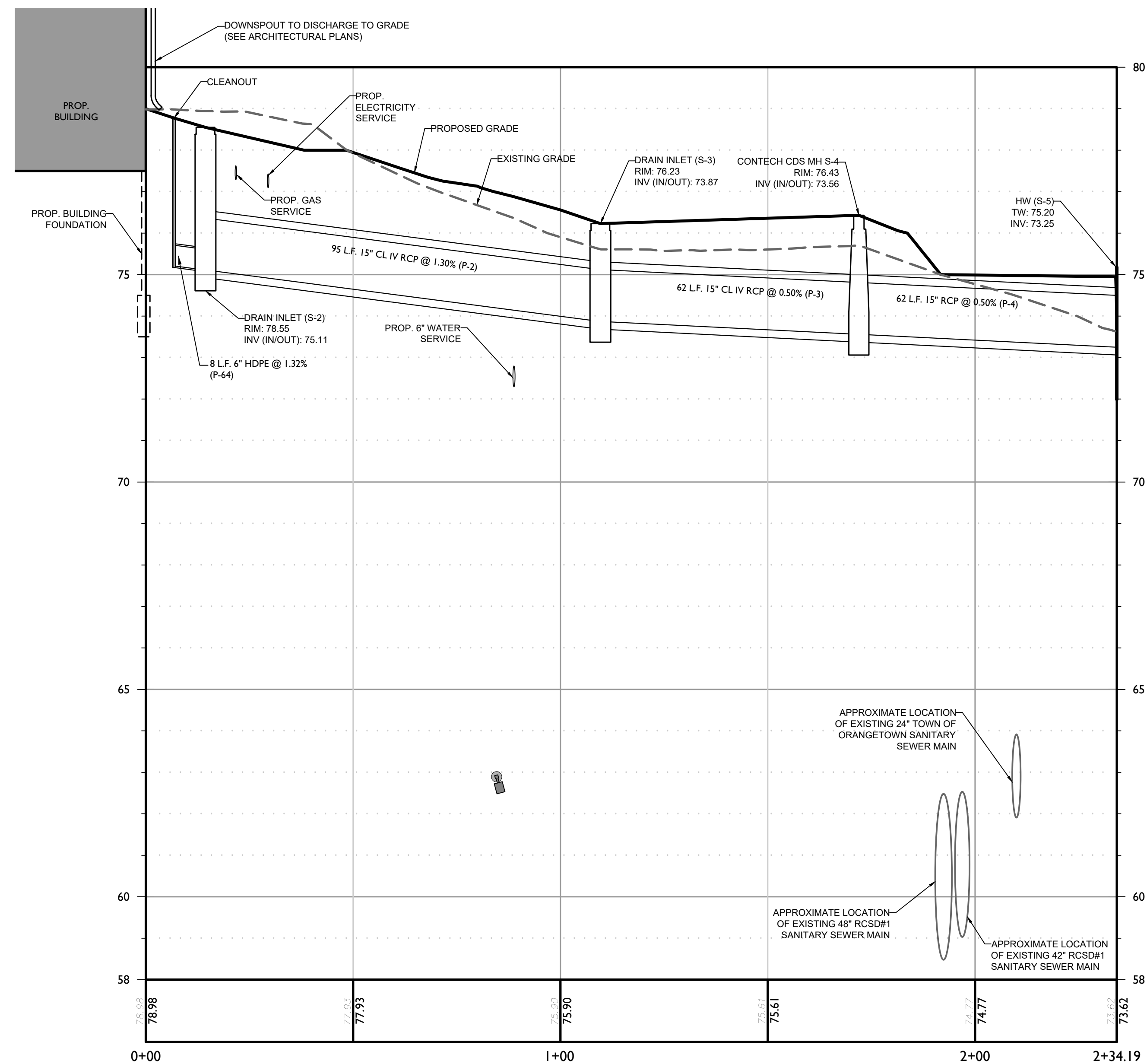
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VERTICAL : 1" = 2'



SCALE : 1" = 2'  
VERTICAL

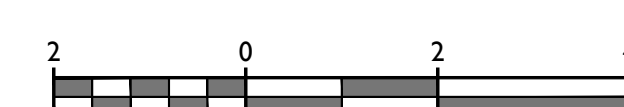


SCALE : 1" = 20'  
HORIZONTAL



**PROPOSED STORM SEWER PROFILE (SOUTHERN ROOF LEADER TO OUTFALL)**

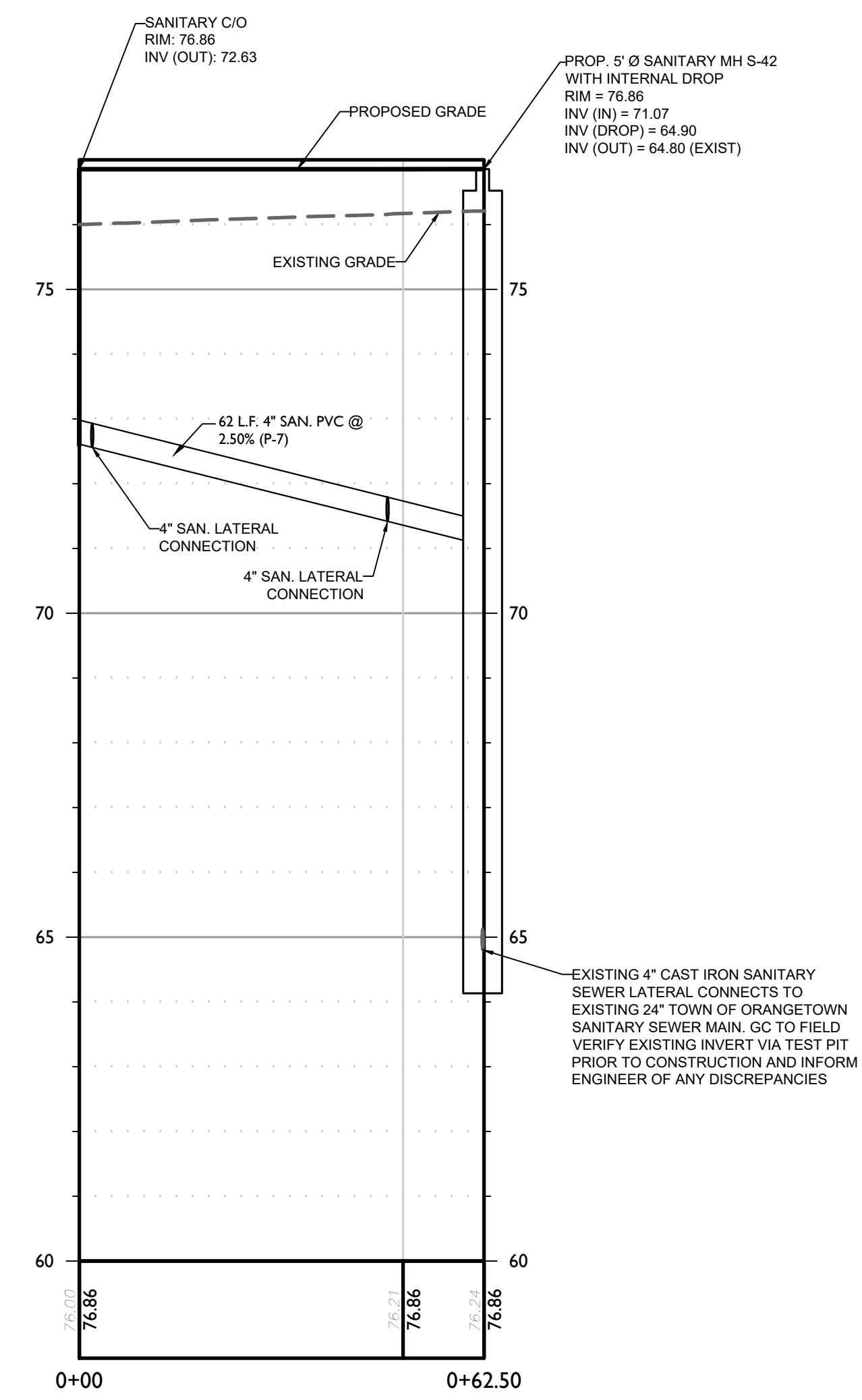
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VERTICAL : 1" = 2'



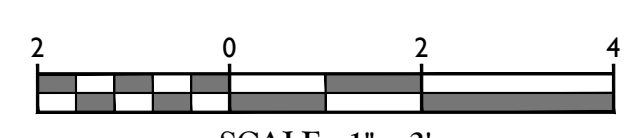
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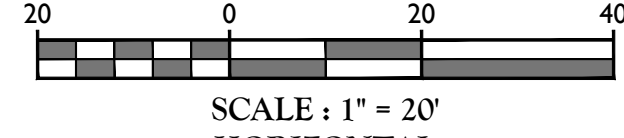
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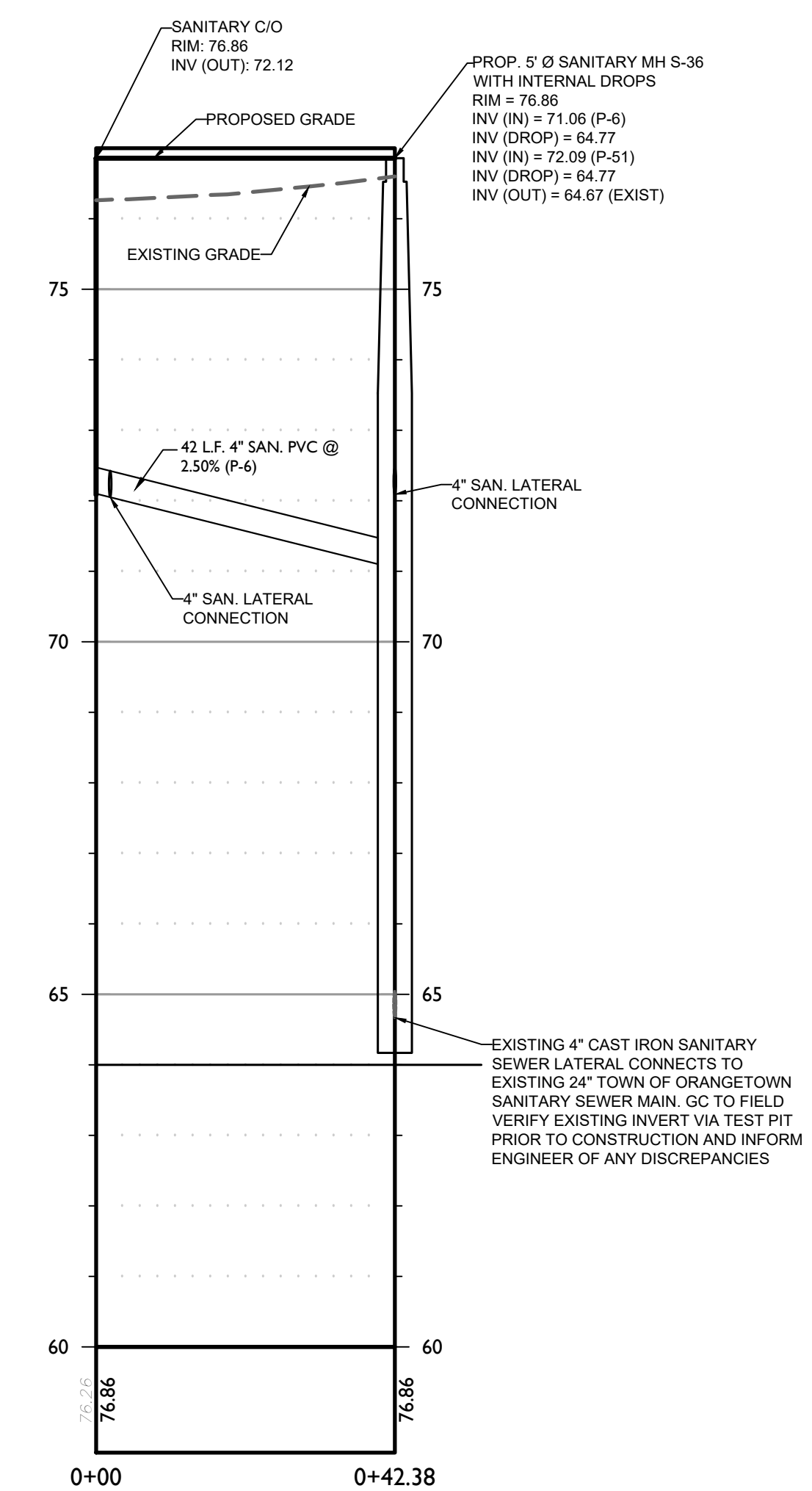
**PROPOSED SOUTHERN SANITARY SEWER PROFILE**  
 HORIZONTAL : 1" = 20'  
 VERTICAL : 1" = 2'



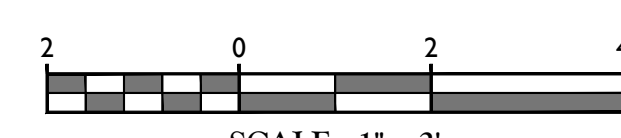
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 VERTICAL



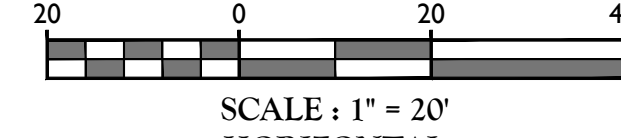
SCALE : 1" = 20'  
 HORIZONTAL



**PROPOSED NORTHERN SANITARY SEWER PROFILE**  
 HORIZONTAL : 1" = 20'  
 VERTICAL : 1" = 2'



SCALE : 1" = 2'  
 VERTICAL



SCALE : 1" = 20'  
 HORIZONTAL

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4	5/10/18	DIG	REVISED FOR RCDA COMMENTS
5	1/4/19	DIG	REVISED FOR DEIR COMMENTS
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15002742A	C-GRAD		

SHEET TITLE:  
**PROPOSED SANITARY PROFILES**

SHEET NUMBER:  
 7 of 13

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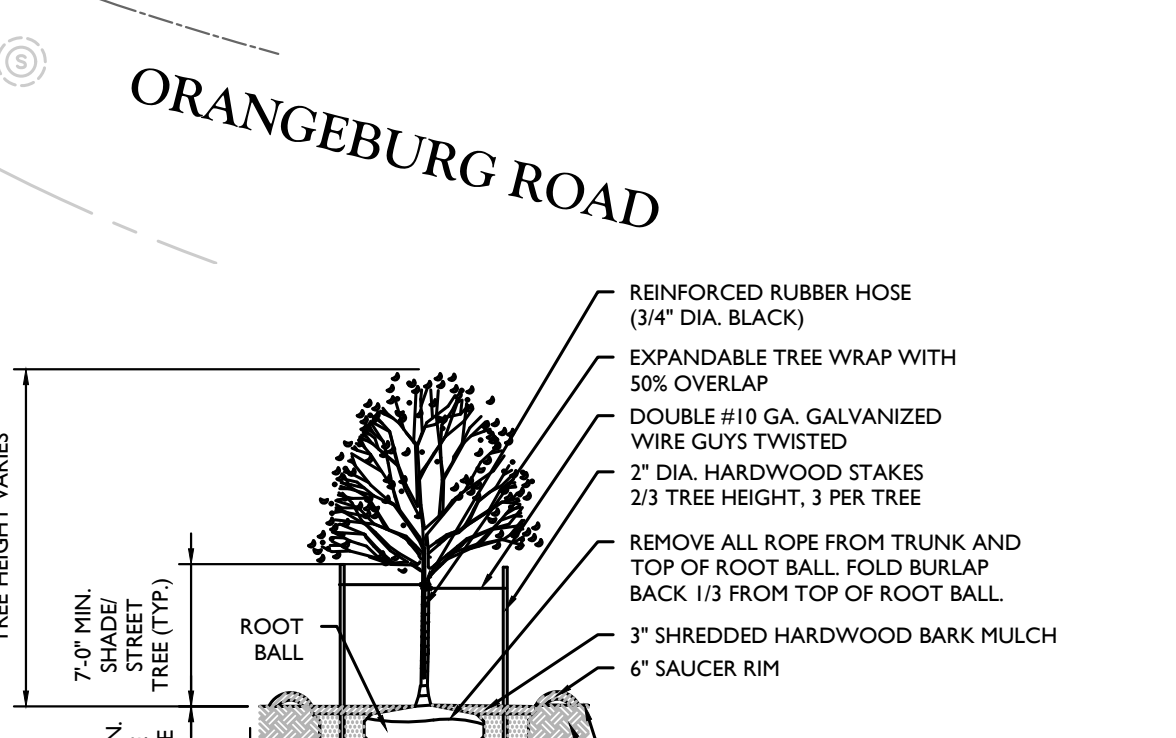
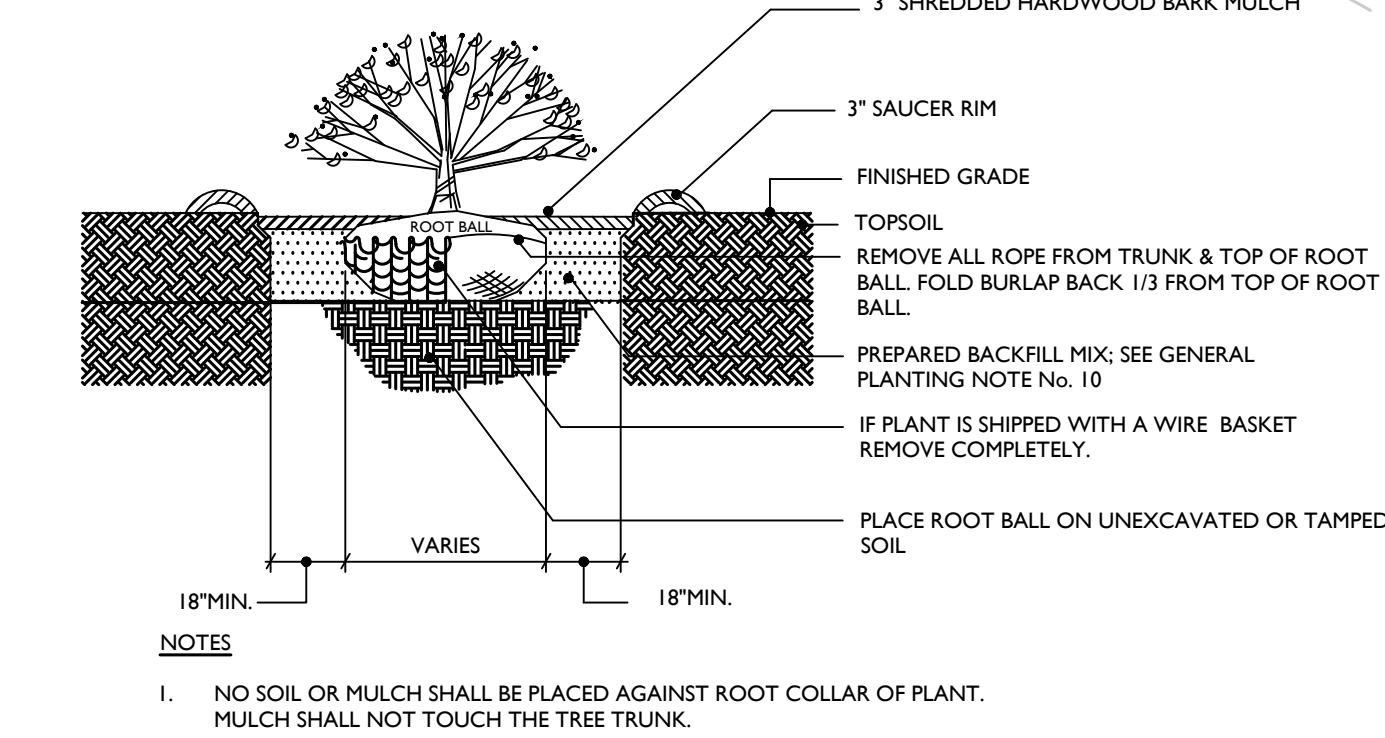
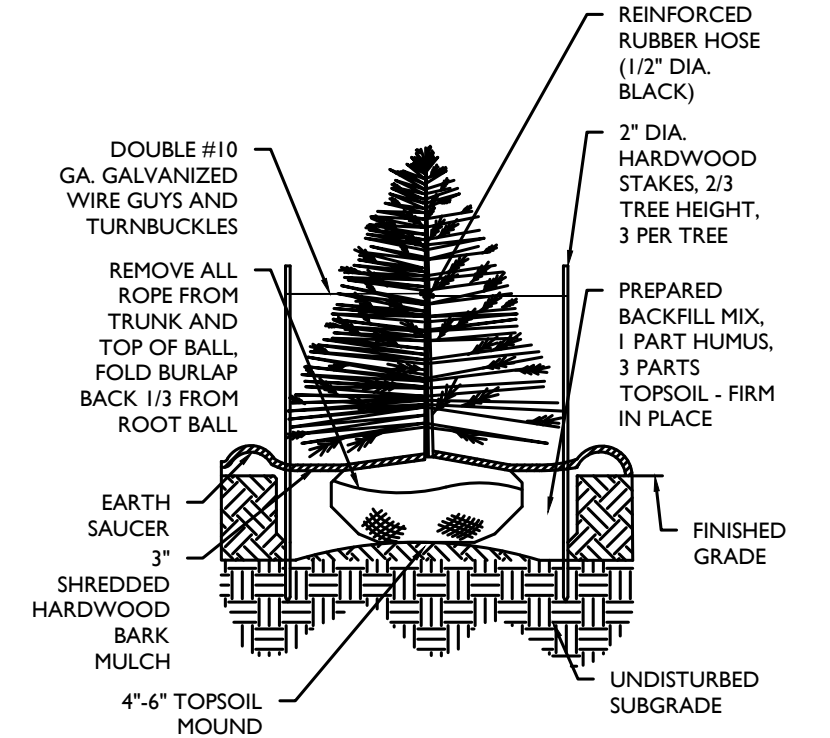
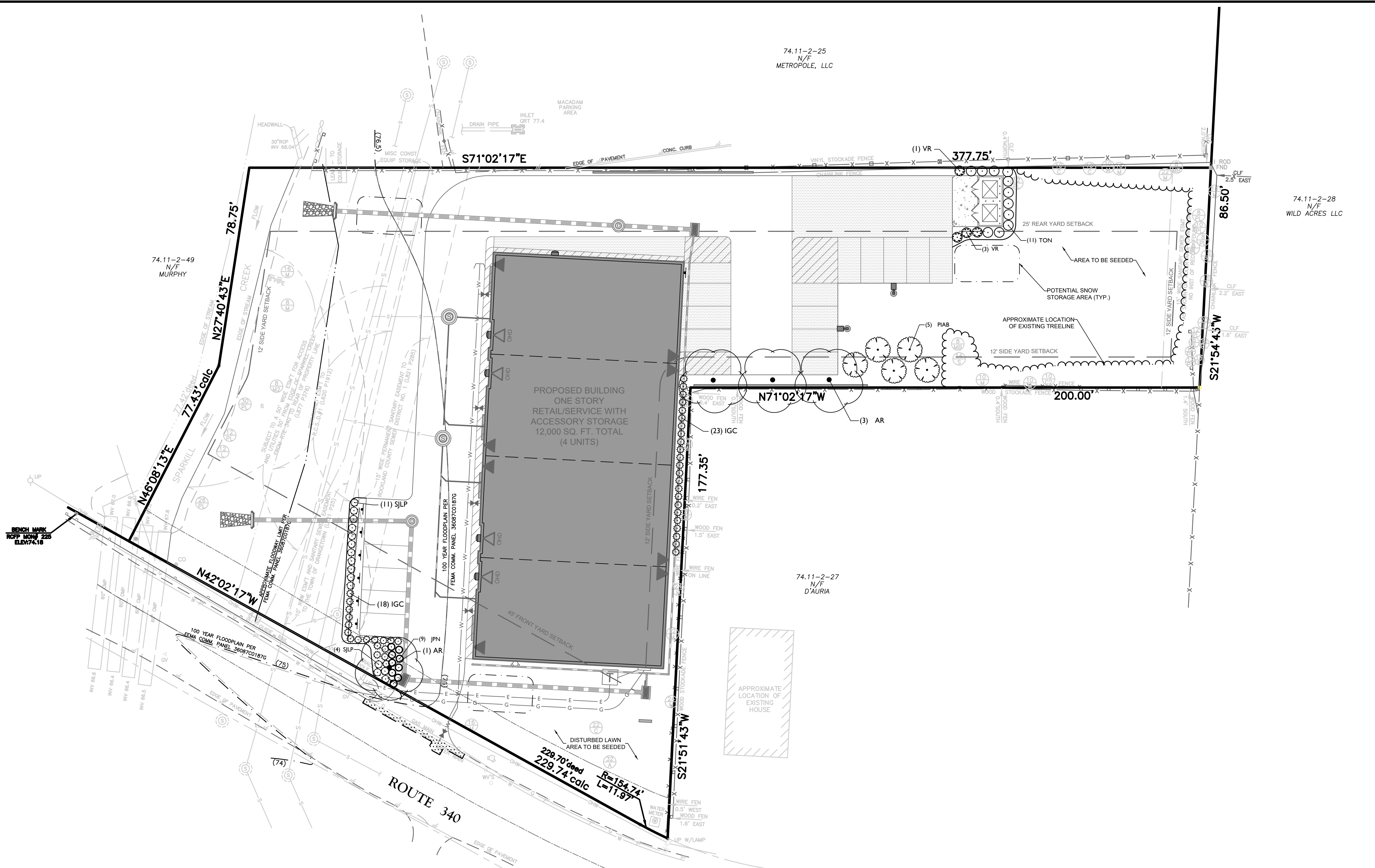
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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	2/20/24	NJ	JBC
PROJECT NUMBER:	DRAWING NAME:		
15002742A	C-LAND		

**LANDSCAPE PLAN & DETAILS**

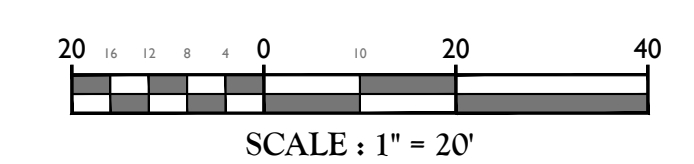


**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HEIGHT
AR	4	Acer rubrum	Red Maple	B & B	2 1/2" Cal.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HEIGHT
PIAB	5	Picea Abies	Norway Spruce	B & B		6-7'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	
IGC	41	Ilex Glabra 'Compacta'	Dwarf Inkberry Holly	#5 CAN	24-30"	
JPN	9	Juniperus Procumbens 'Nana'	Japanese Garden Juniper	#2 CAN	12-15" spread	
SJP	15	Spiraea Japonica 'Little Princess'	Little Princess Spirea	#3 CAN	15-18"	
TON	11	Thuja Occidentalis 'Nigra'	Dark American Arborvitae	B & B	5-6'	
VR	4	Viburnum X Rhytidophyllum	Leatherleaf Viburnum	B & B	36" min.	

SEE PROJECT NOTES FOR LANDSCAPE NOTES.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.



**EVERGREEN TREE PLANTING DETAIL**

**SHRUB PLANTING DETAIL**

**SHADE TREE PLANTING DETAIL**



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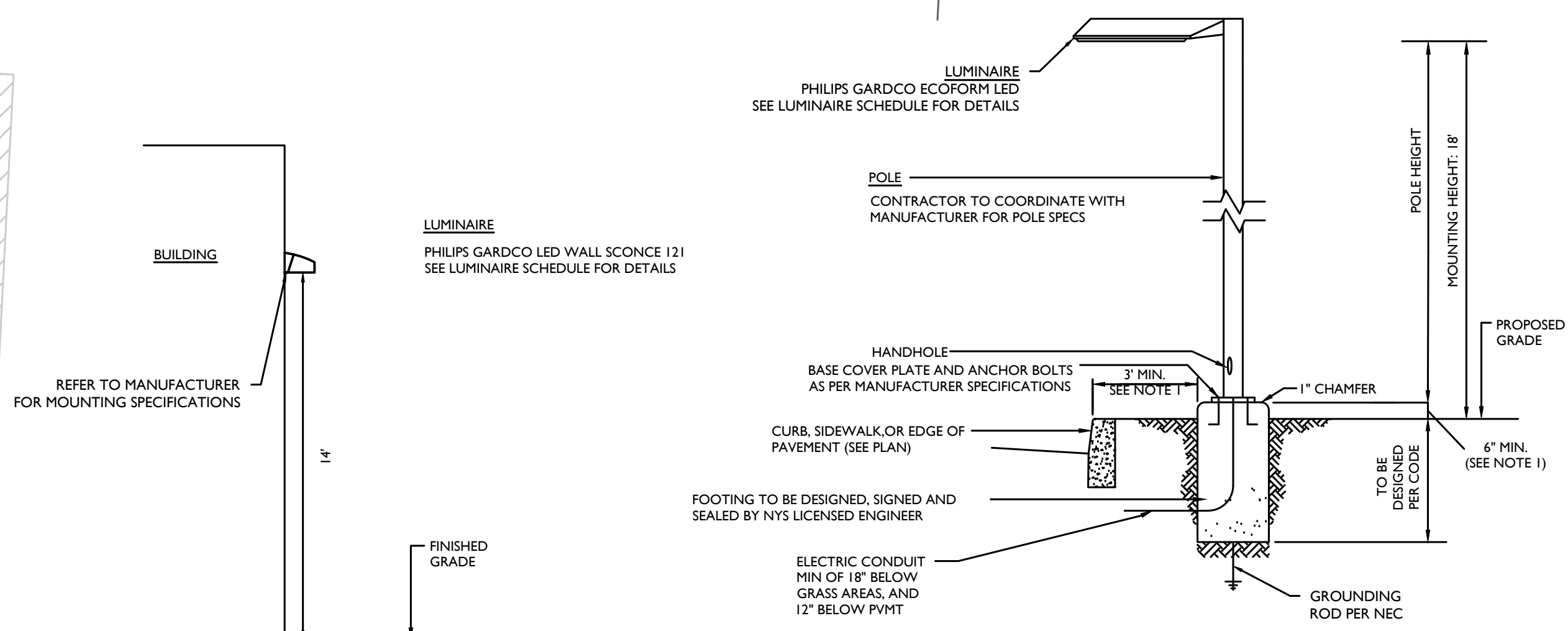
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 Suite 101  
 Woodcliff Lake, NJ 07677  
 Phone: 845.352.0411  
 COLLIER ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	2/20/24	Djg	JBC
PROJECT NUMBER:	DRAWING NAME:		
15002742A	C-LIGHT		

SHEET TITLE:  
**LIGHTING PLAN**  
 SHEET NUMBER:  
**9 of 13**



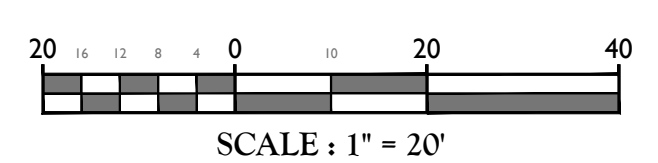
- NOTES:**
- POLES LOCATED CLOSER THAN 3' TO CURB FACE ARE TO HAVE 36" CONCRETE BASE.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
  - FOOTING TO BE DESIGNED, SIGNED, AND SEALED BY A NYS LICENSED ENGINEER.

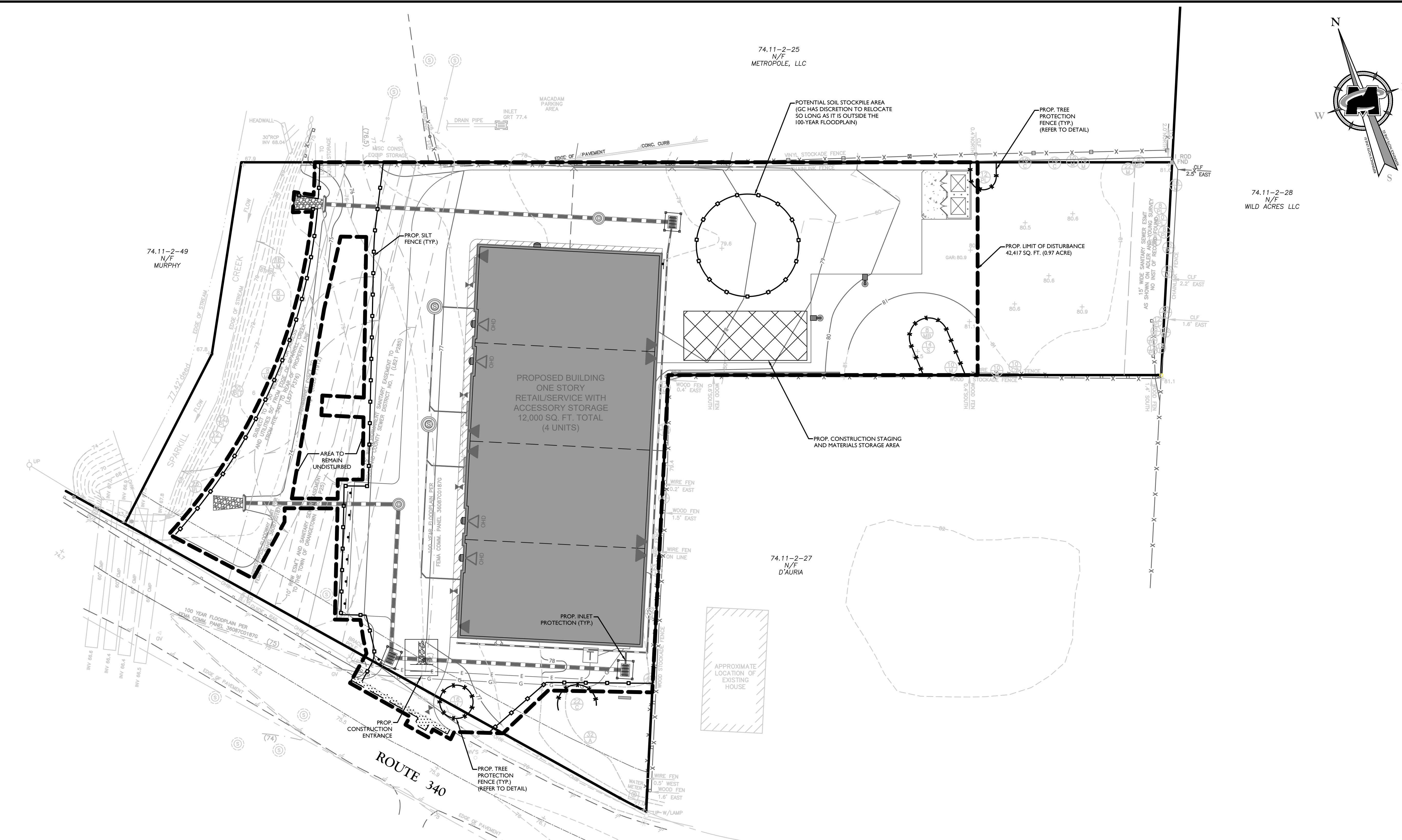
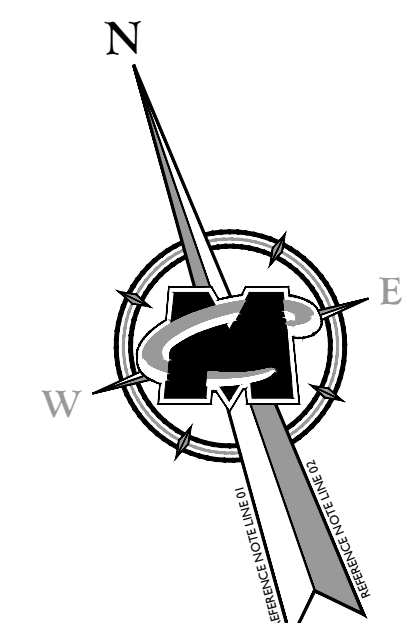
KEY	QTY.	DESCRIPTION*	ARRANGEMENT	MTG. HT.	LUMENS	LLF	IES FILE NAME	CATALOG #*
A	2	PHILIPS GARDCO ECOFORM LED GEN-2 - TYPE 4	SINGLE	18"	16,795	.9	ECF-5-48L-900-NW-G3-4	ECF-5-48L-900-NW-G3-4-UNV-BK
B	4	PHILIPS GARDCO LED WALL SCNCE 121 - TYPE 4	WALL MOUNTED	14"	5,491	.9	121-32L-530-NW-G3-4	121-32L-530-NW-G3-4-UNV-BK
C	1	PHILIPS GARDCO LED WALL SCNCE 121 - TYPE 3	WALL MOUNTED	14"	5,477	.9	121-32L-530-NW-G3-3	121-32L-530-NW-G3-3-UNV-BK

\* OR APPROVED EQUAL  
 NOTE: EMERGENCY EGRESS LIGHTS NOT MODELED. HOWEVER, 1 LIGHT OVER EACH REAR DOOR (4 TOTAL) PER ARCHITECTURAL PLANS DATED AUGUST 22, 2017, PREPARED BY KIER B. LEVESQUE, R.A.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY.

SEE PROJECT NOTES FOR LIGHTING NOTES





74.11-2-49  
N/F  
MURPHY

74.11-2-25  
N/F  
METROPOLE, LLC

74.11-2-28  
N/F  
WILD ACRES LLC

74.11-2-27  
N/F  
D'AURIA

REV.	DATE	DRAWN BY	DESCRIPTION
1	8/9/17	RH	REVISED FOR ACAD/PER/TRA SUBMISSIONS
2	11/3/17	RH	REVISED FOR RESOLUTION COMPLIANCE
3	2/22/18	DIG	REVISED FOR RESOLUTION COMPLIANCE
4	2/10/18	DIG	REVISED FOR RCDA COMMENTS
5	1/4/19	DIG	REVISED FOR RCDA COMMENTS
6	2/28/24	NJ	REVISED PER PLANNING BOARD COMMENTS



Jesse Barrett Cokeley  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A.#: 0077609

FINAL SITE PLAN  
FOR  
RRIS CORPORATION

SECTION 74.11  
BLOCK 2  
LOT 26  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

Colliers Engineering & Design  
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AS SHOWN	2/20/24	NJ	JBC
PROJECT NUMBER:	DRAWING NAME:		
15002742A	C-SESC		

SOIL EROSION & SEDIMENT CONTROL PLAN

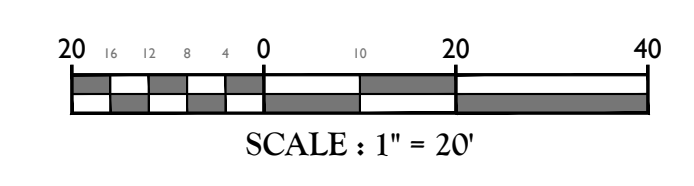
THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY.

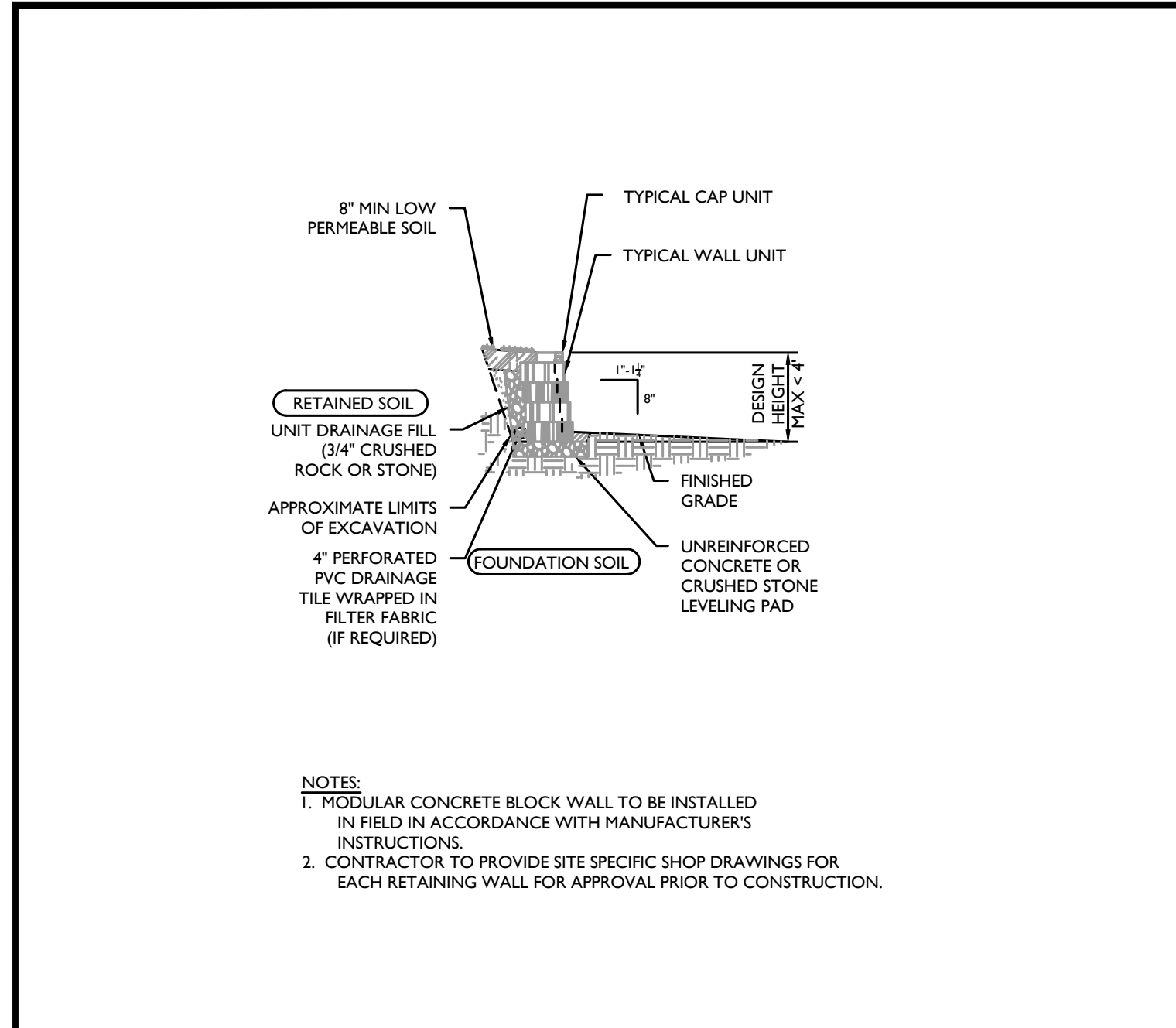
SEE SHEET 2 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES.

SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS.

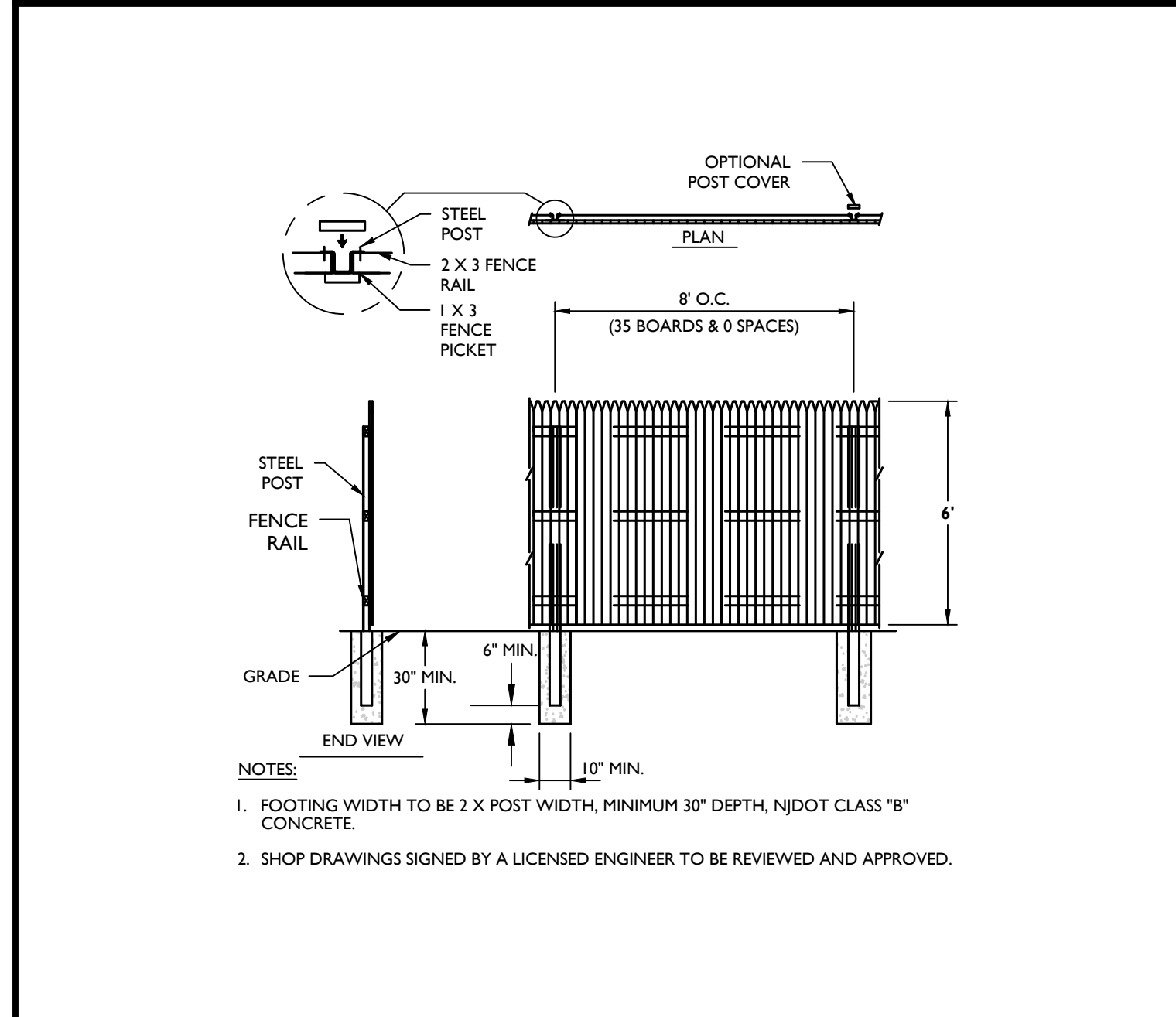
**LEGEND**

- = SILT FENCE
- = TREE PROTECTION FENCE
- = INLET PROTECTION
- = CONSTRUCTION ENTRANCE
- = STAGING AREA
- = LIMIT OF DISTURBANCE

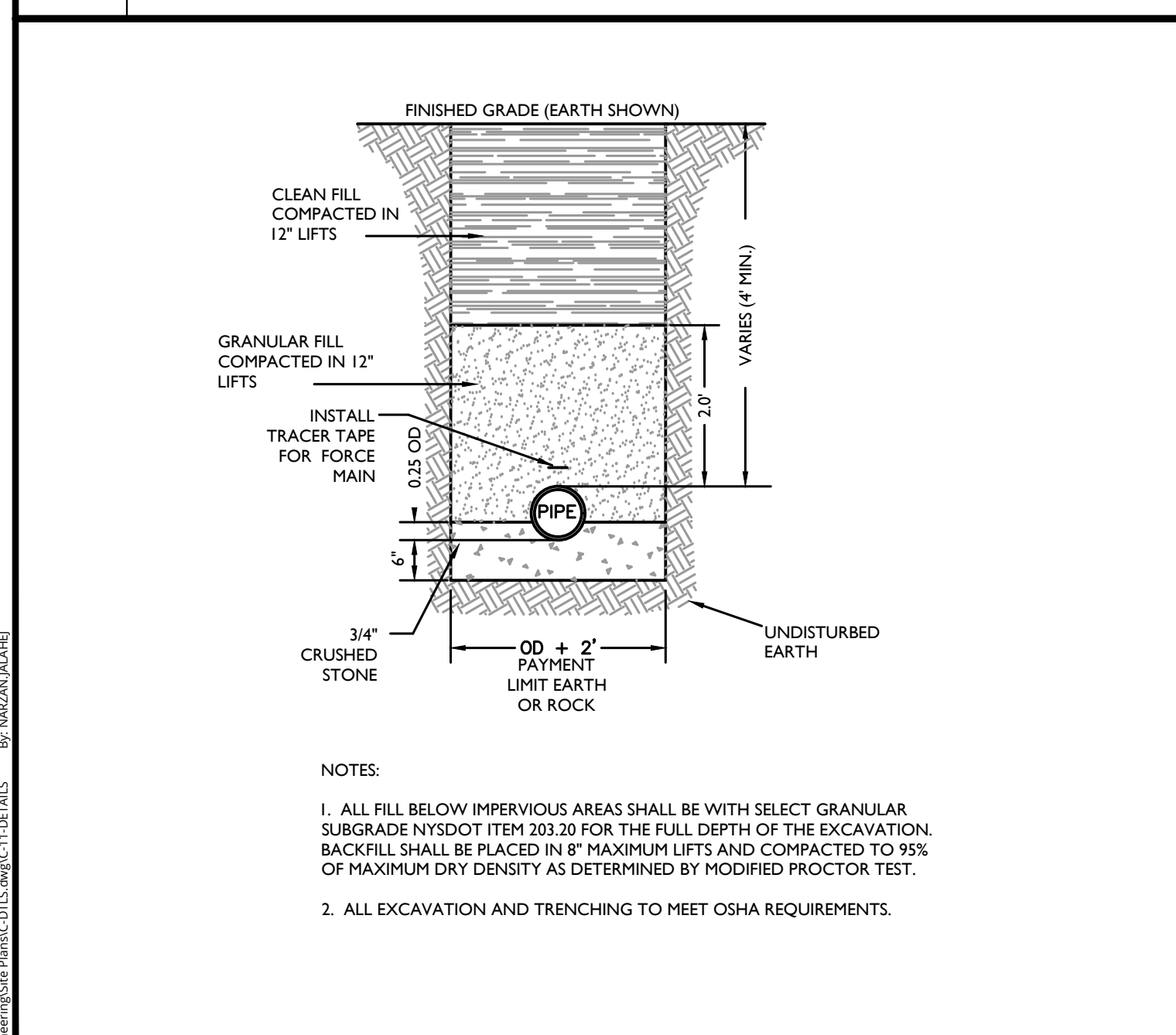




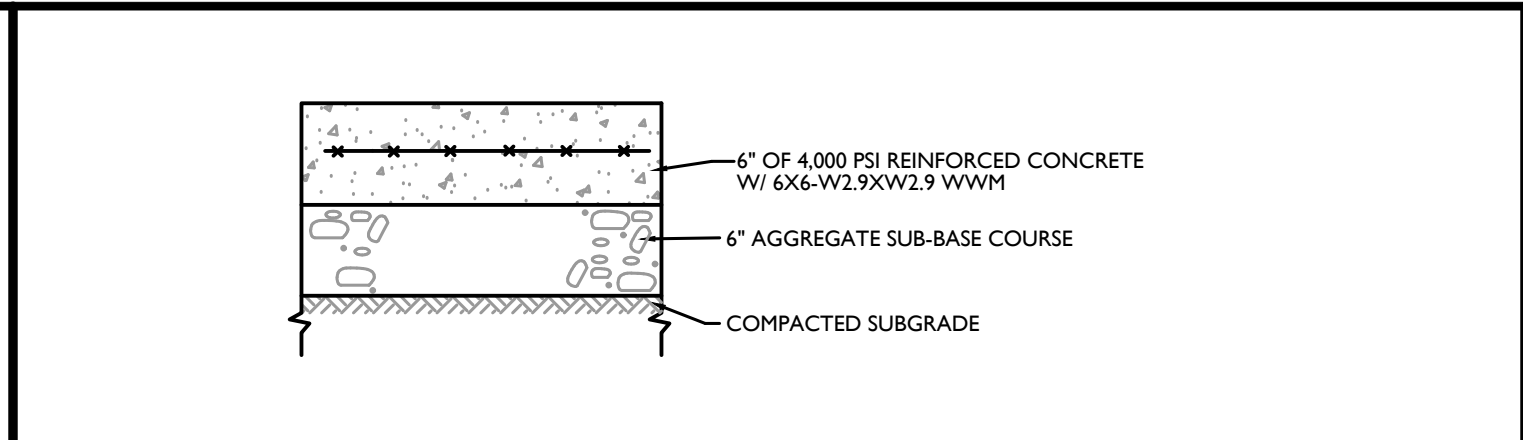
**1 MODULAR BLOCK RETAINING WALL**  
 (MAXIMUM DESIGN HEIGHT < 4 FT)  
 N.T.S.



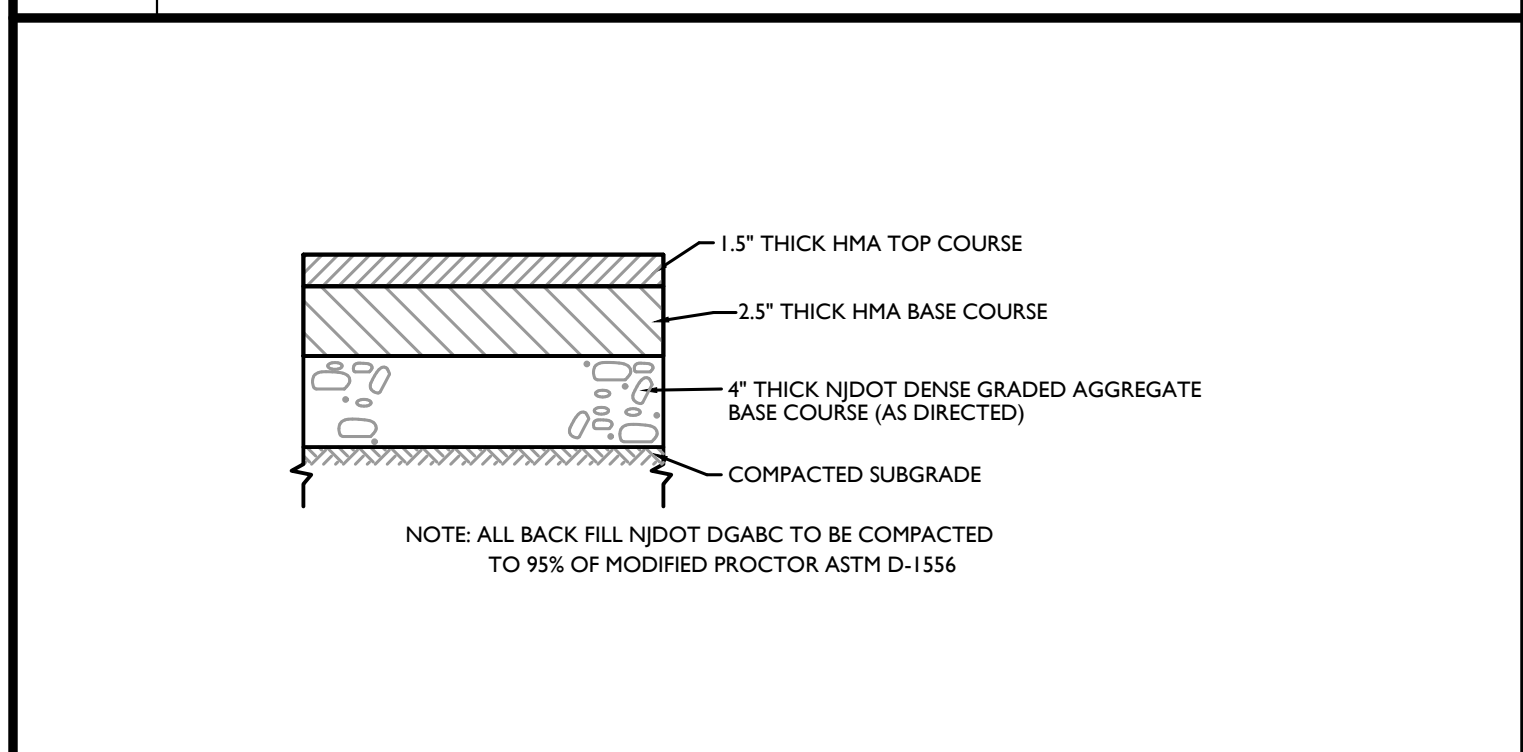
**7 STOCKADE PICKET WOOD FENCE DETAIL**  
 N.T.S.



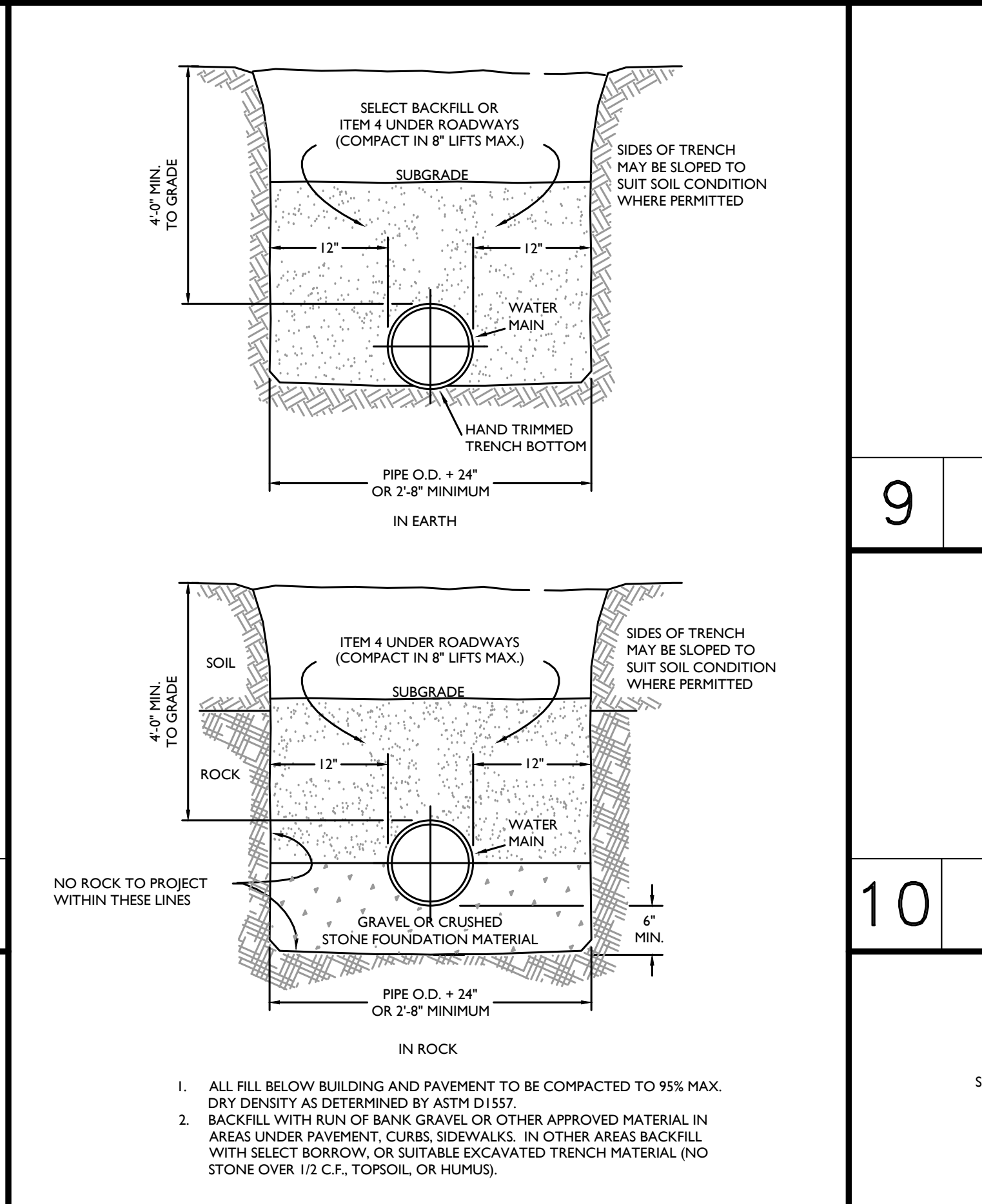
**12 SANITARY SEWER TRENCH AND PIPE BEDDING DETAIL**  
 N.T.S.



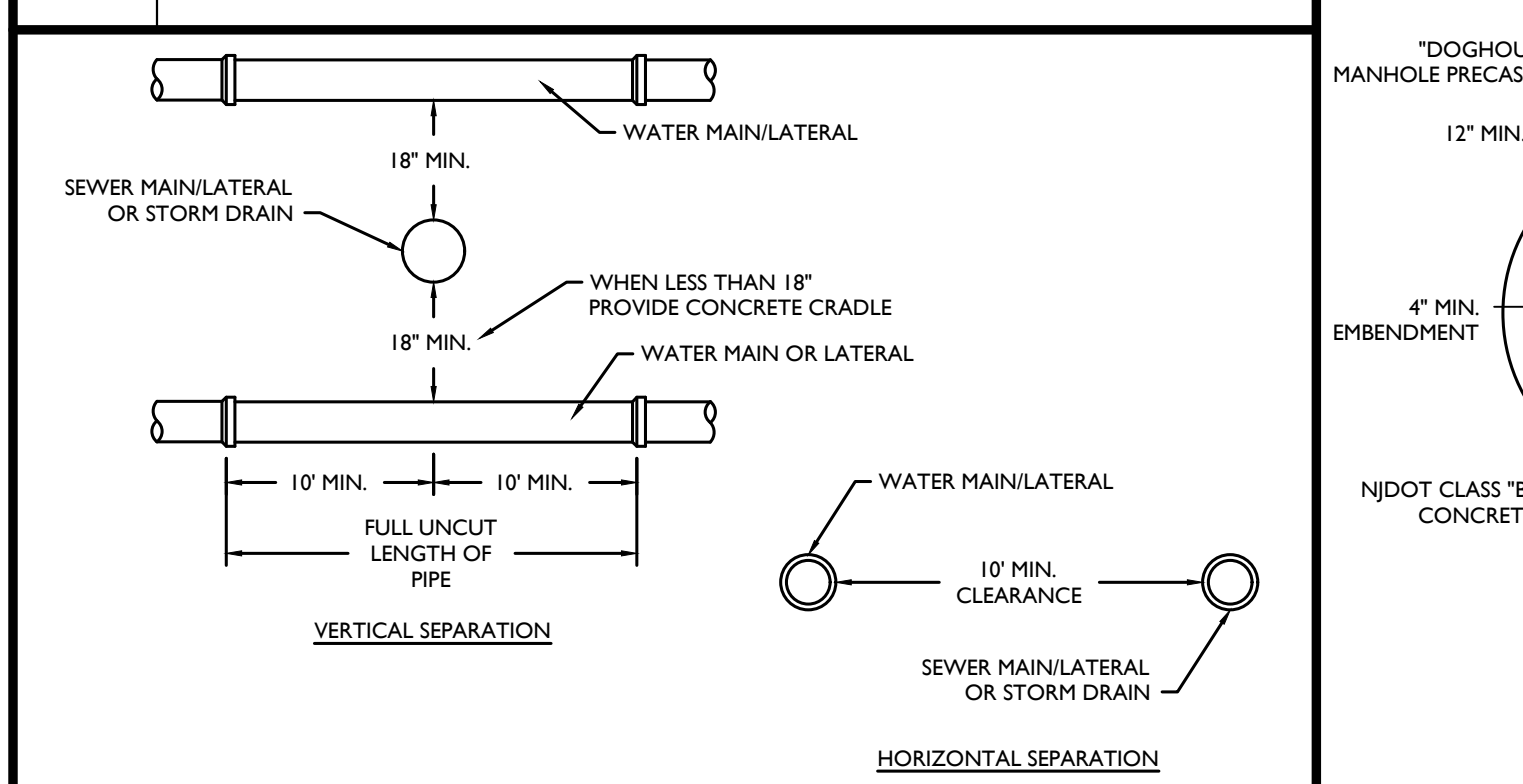
**2 CONCRETE PAVEMENT/PAD DETAIL**  
 N.T.S.



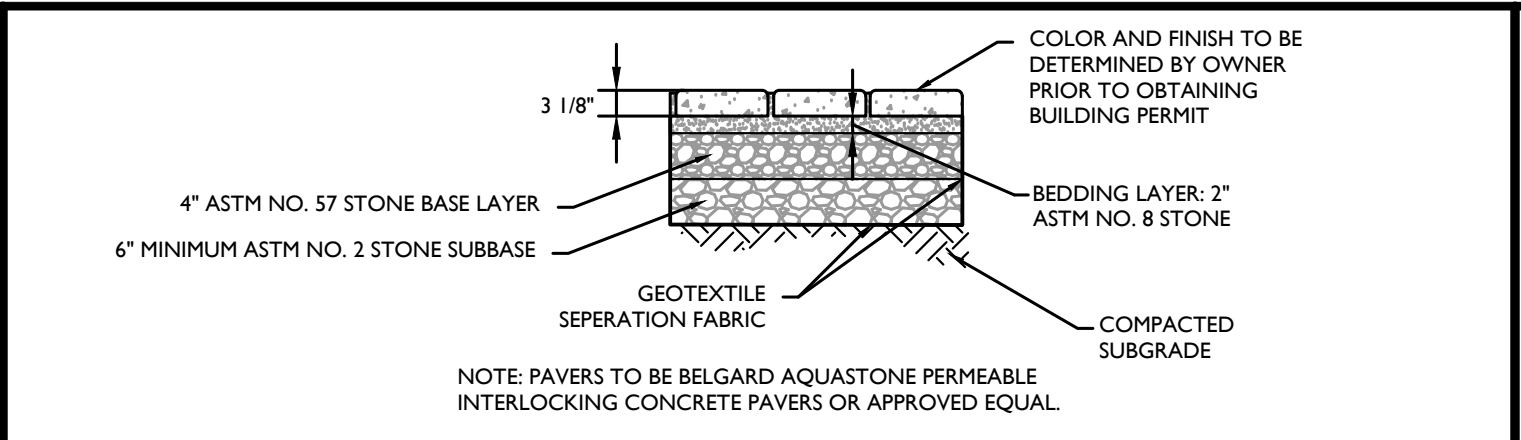
**3 ASPHALT PAVEMENT DETAIL (STANDARD DUTY)**  
 N.T.S.



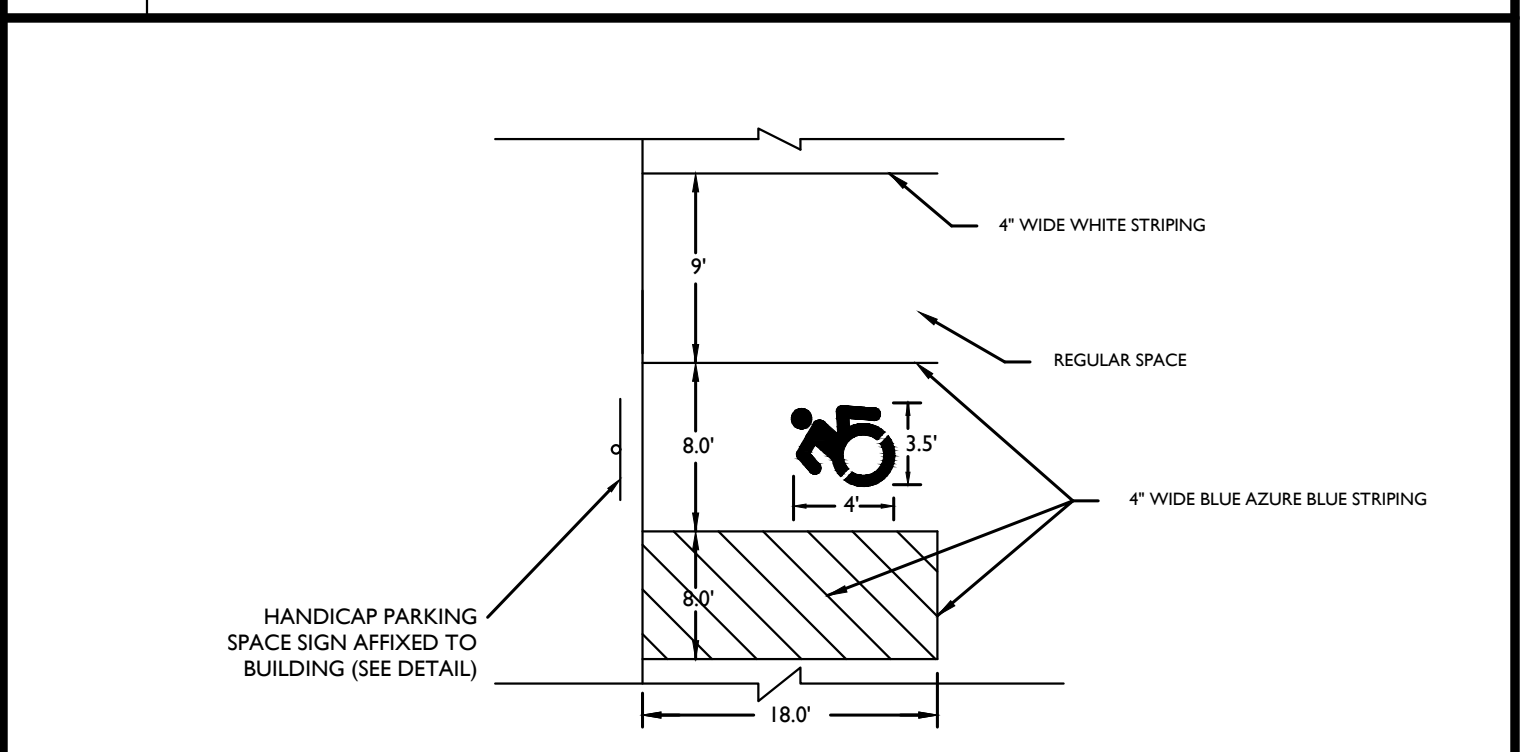
**8 WATER MAIN TRENCH AND PIPE BEDDING DETAIL**  
 N.T.S.



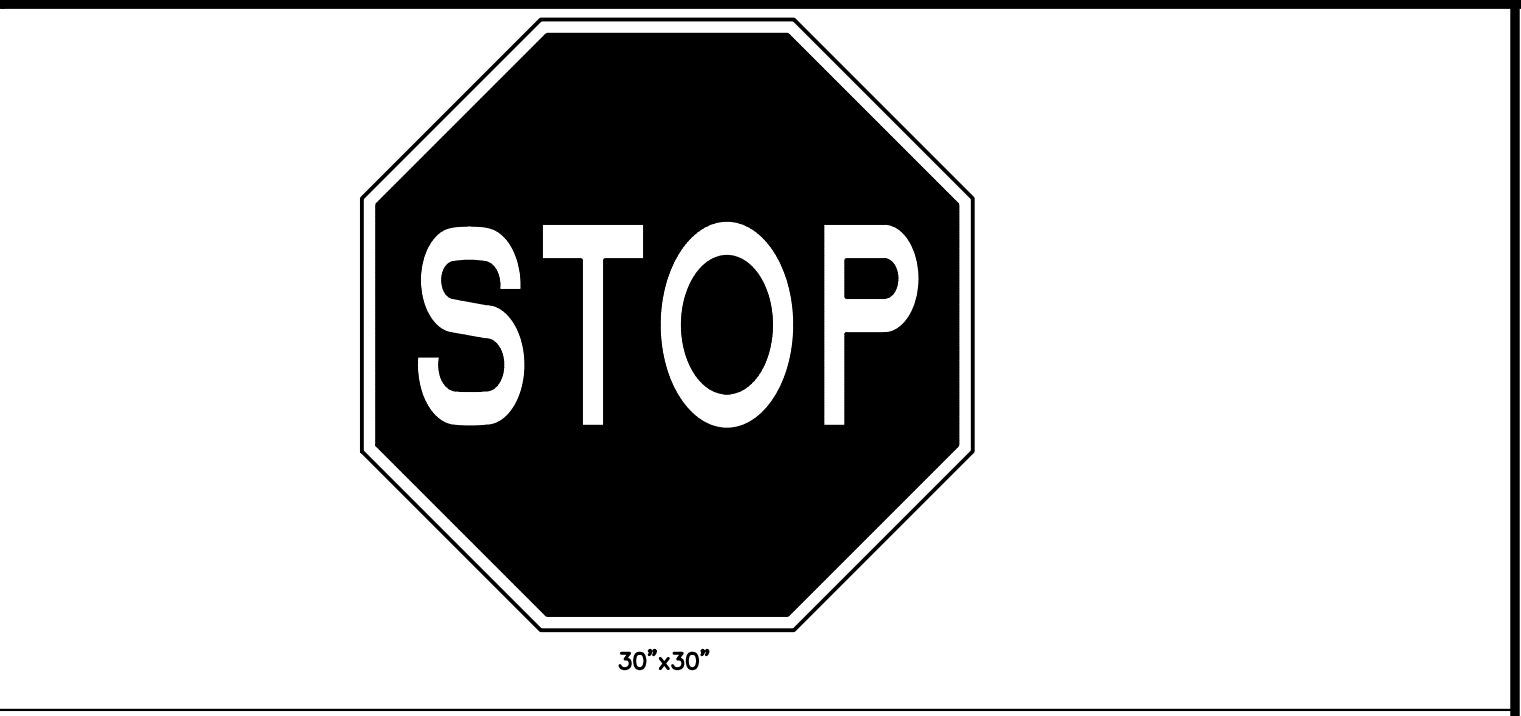
**13 WATER & SEWER CROSSING**  
 N.T.S.



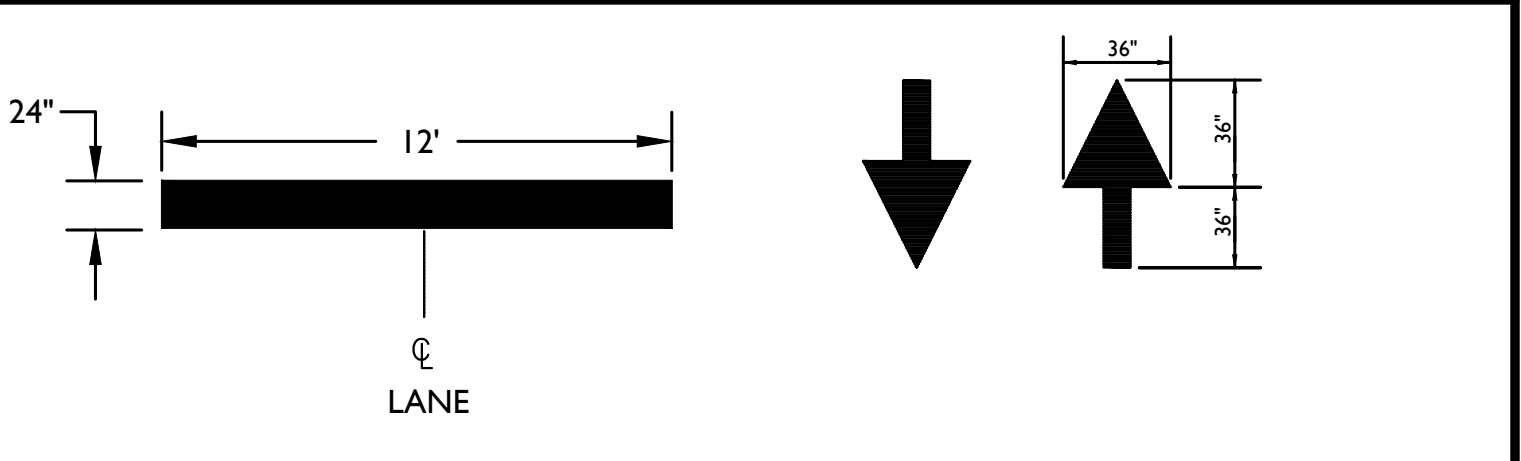
**4 PERMEABLE CONCRETE PAVER DETAIL**  
 N.T.S.



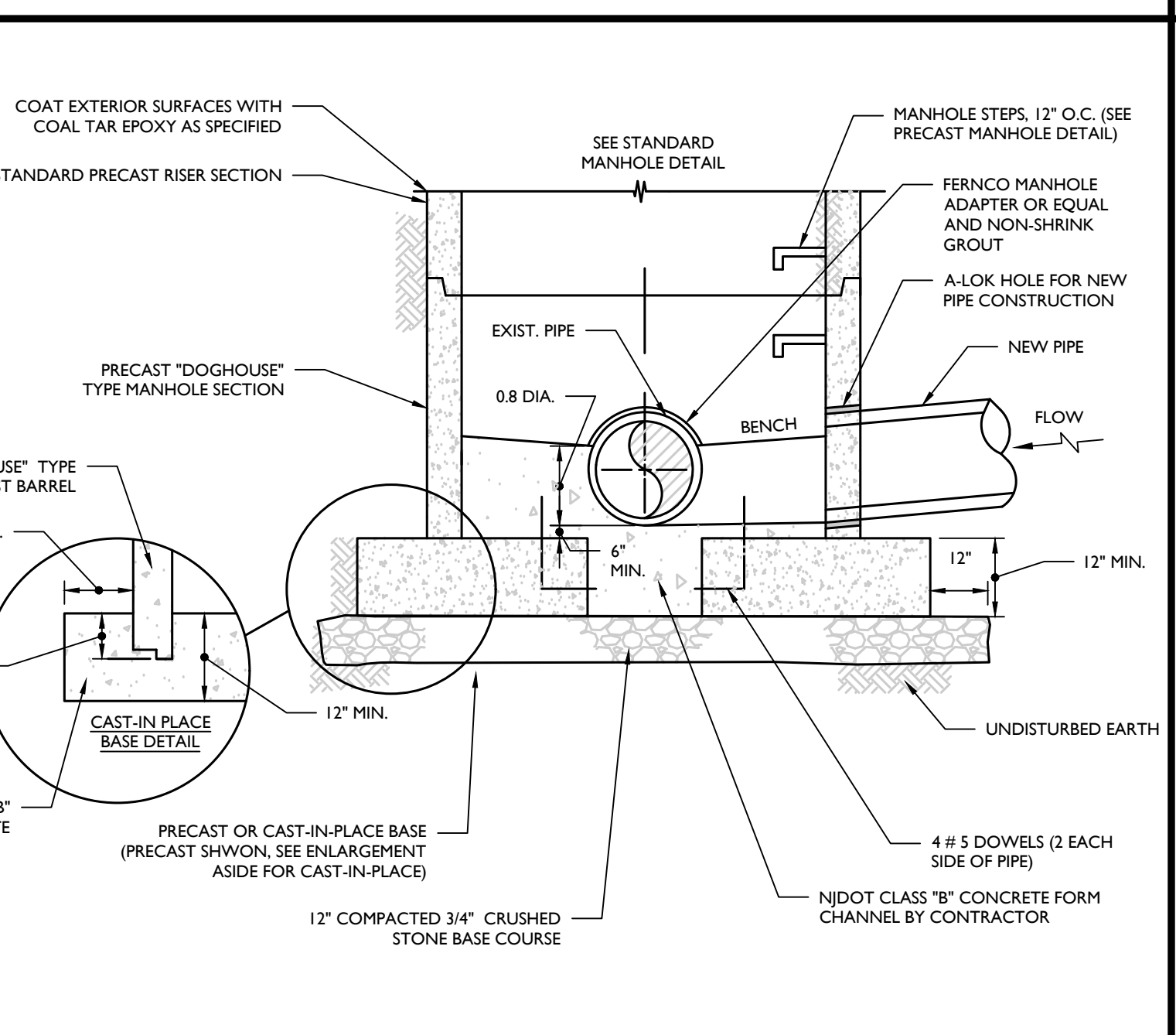
**5 PARKING STRIPING DETAIL**  
 N.T.S.



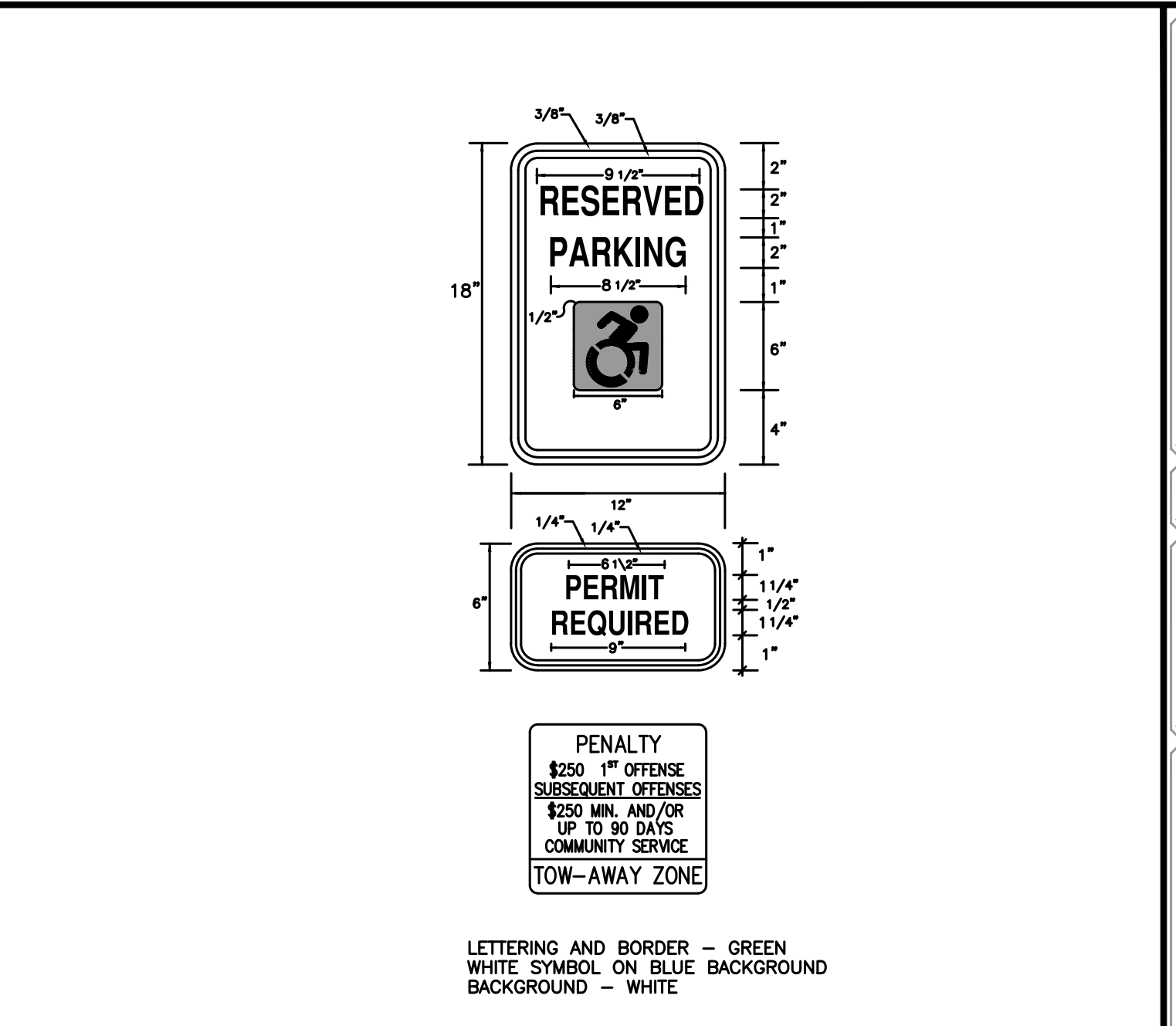
**9 STOP SIGN (R1-1)**  
 N.T.S.



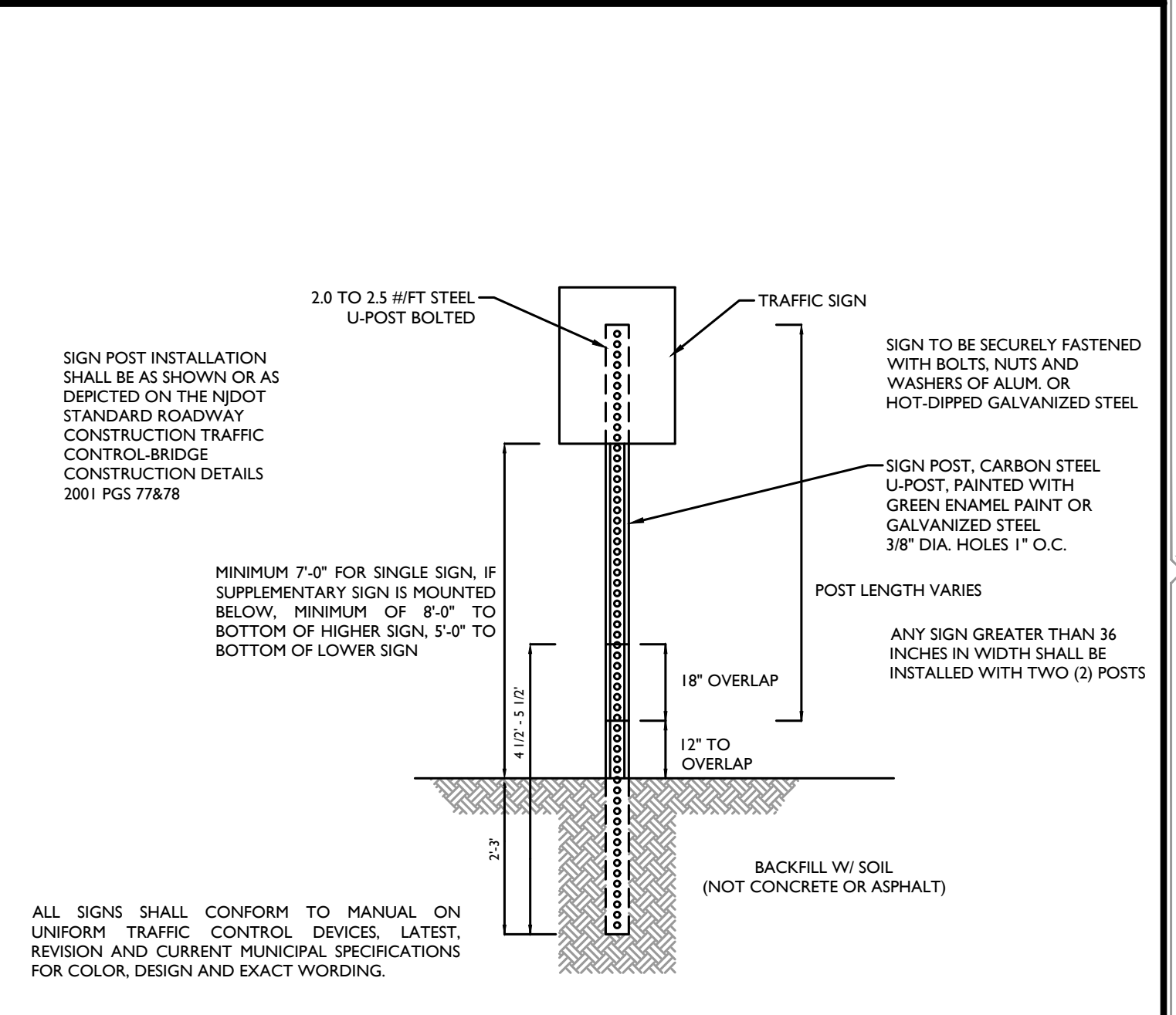
**10 PAINTED STOP BAR AND ARROWS**  
 N.T.S.



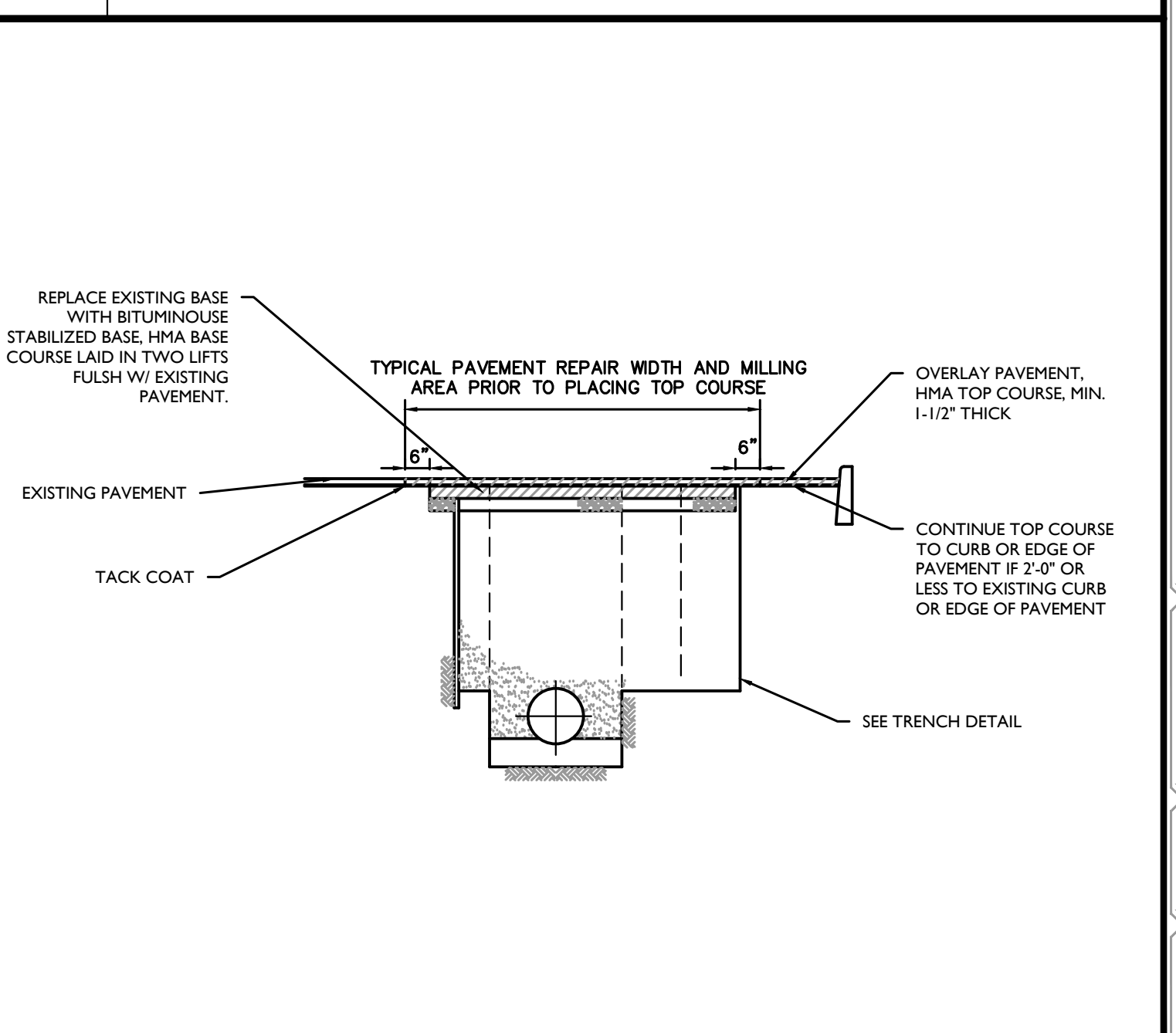
**14 DOGHOUSE MANHOLE DETAIL**  
 N.T.S.



**6 HANDICAP PARKING SPACE SIGN DETAIL**  
 N.T.S.



**11 BREAKAWAY SIGN POST DETAIL**  
 N.T.S.



**15 PAVEMENT KEY DETAIL**  
 N.T.S.

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 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	8/9/17	REVISED FOR ACQUISITION SUBMISSIONS	RH	
2	11/3/17	REVISED FOR RESOLUTION COMPLIANCE	RH	
3	8/22/18	REVISED FOR RESOLUTION COMPLIANCE	DIG	
4	8/10/18	REVISED FOR RCDM COMMENTS	DIG	
5	1/4/19	REVISED FOR DRM COMMENTS	DIG	
6	2/28/24	REVISED PER PLANNING BOARD COMMENTS	NJ	

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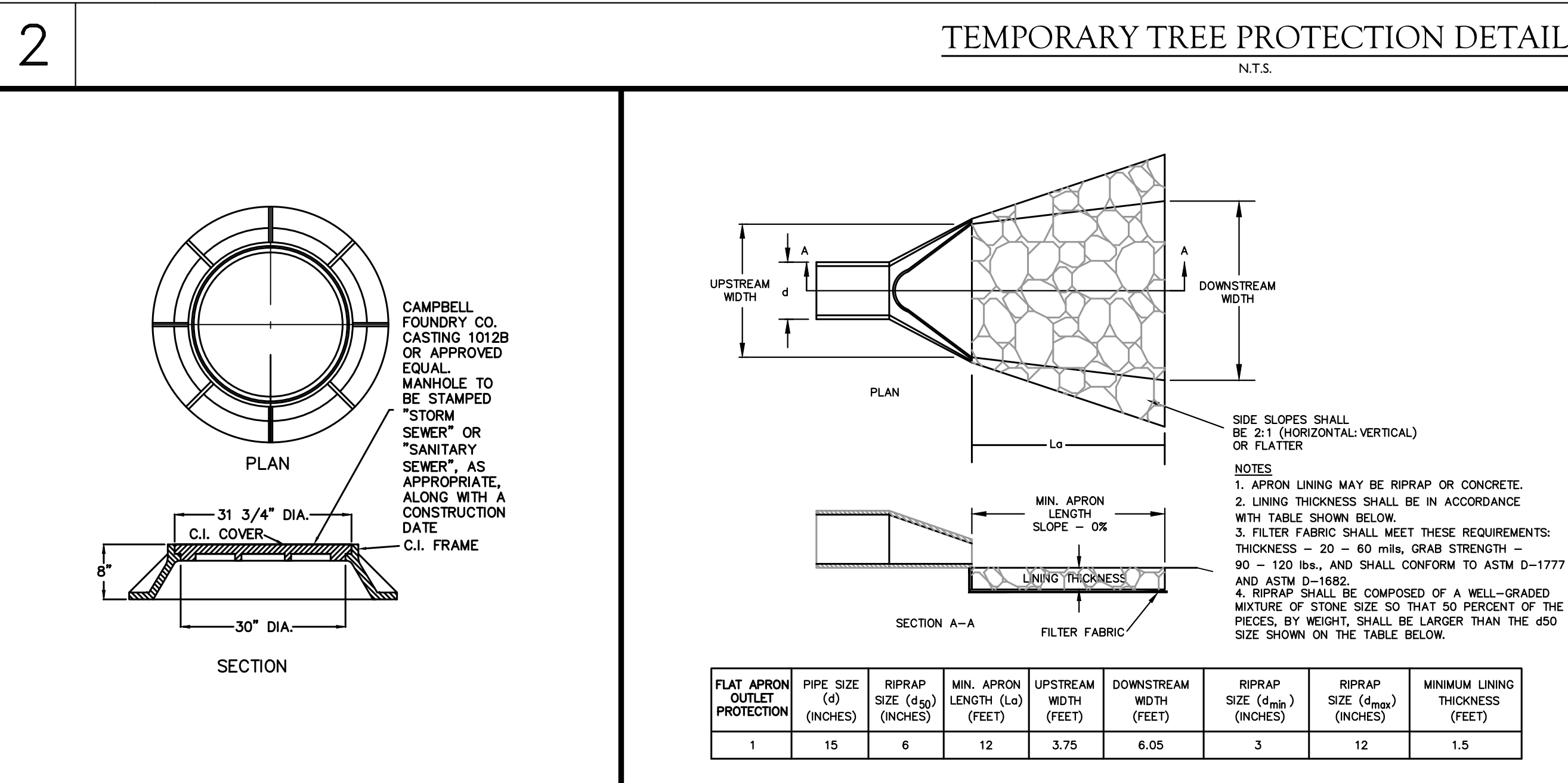
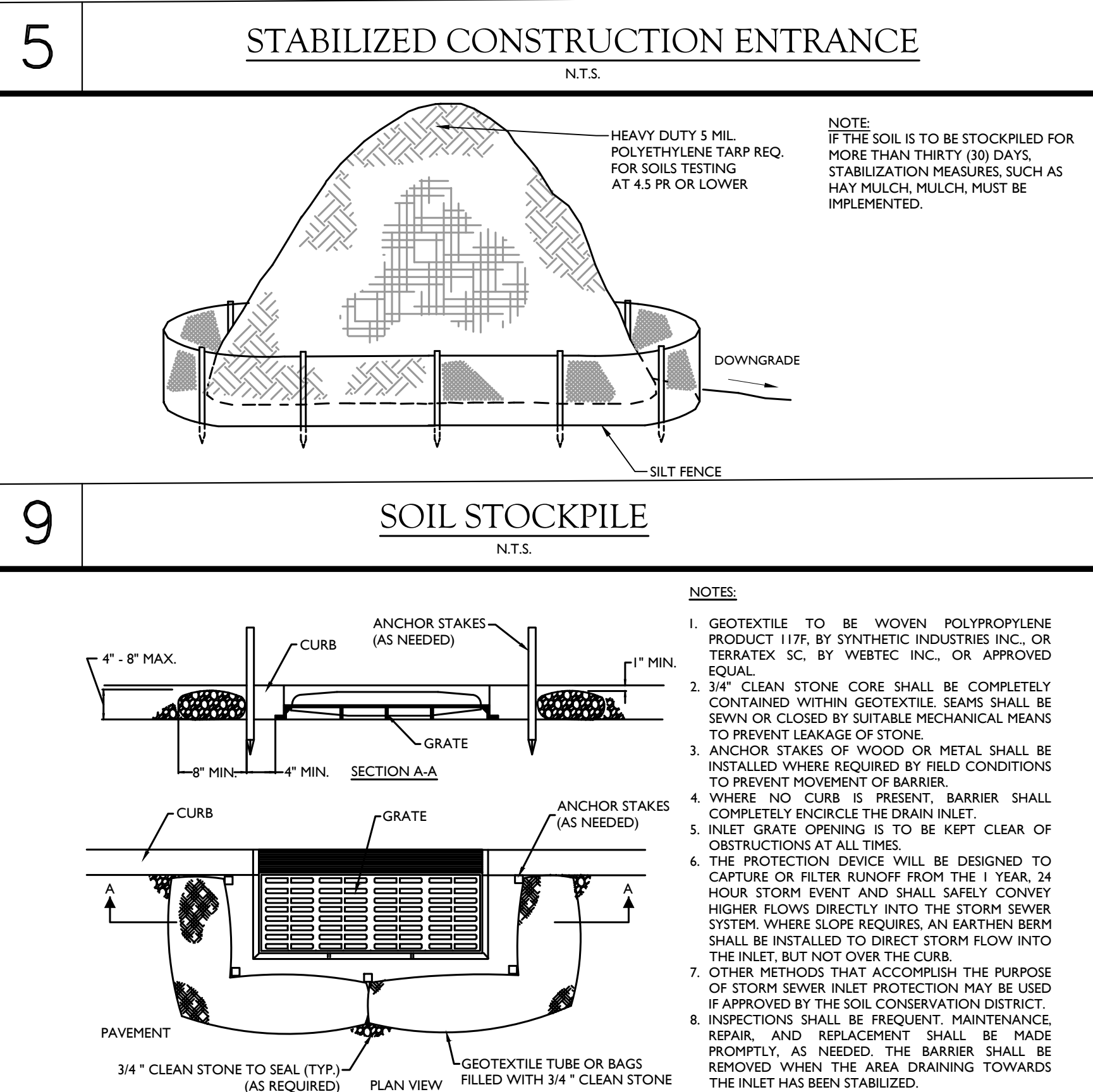
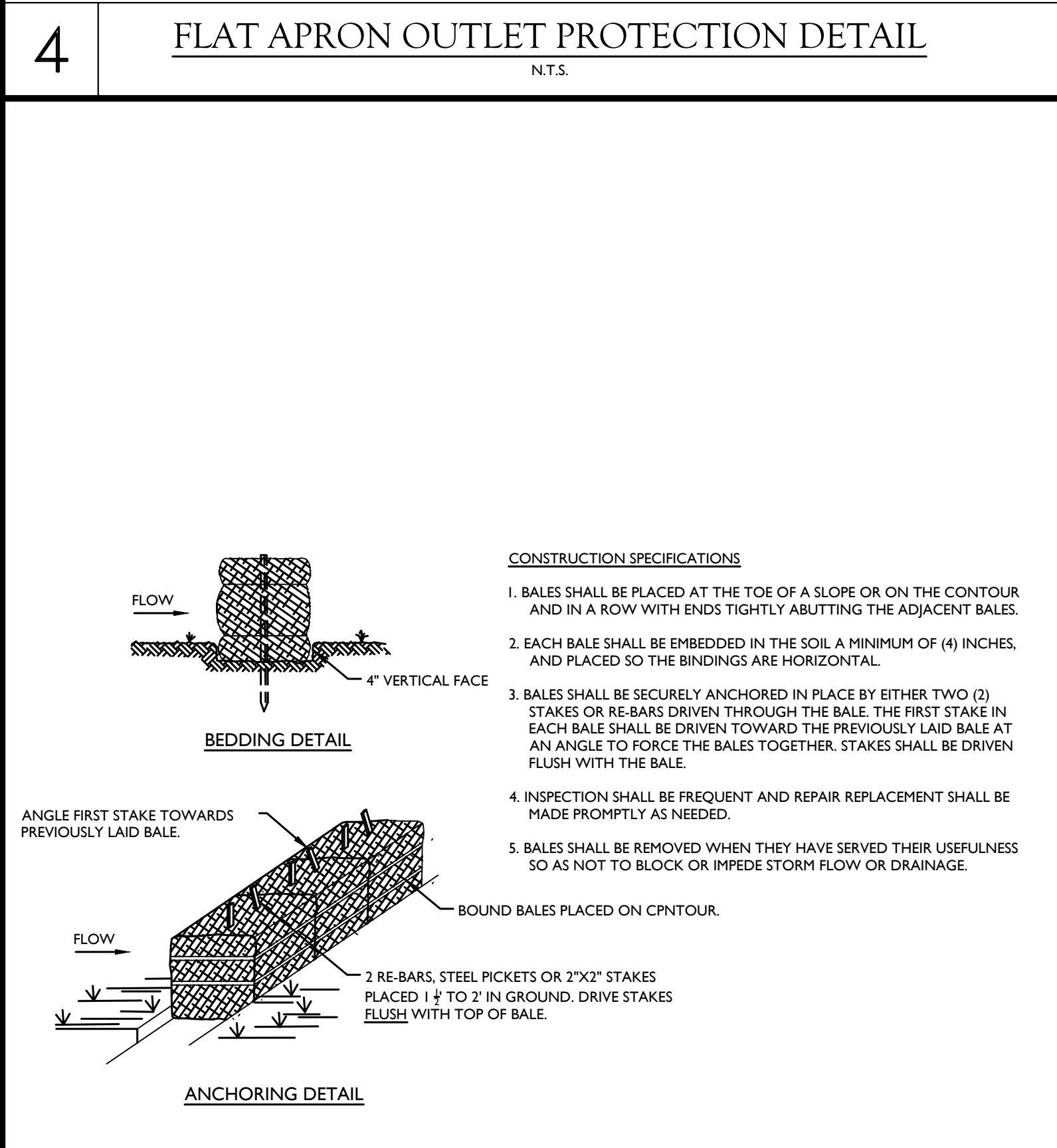
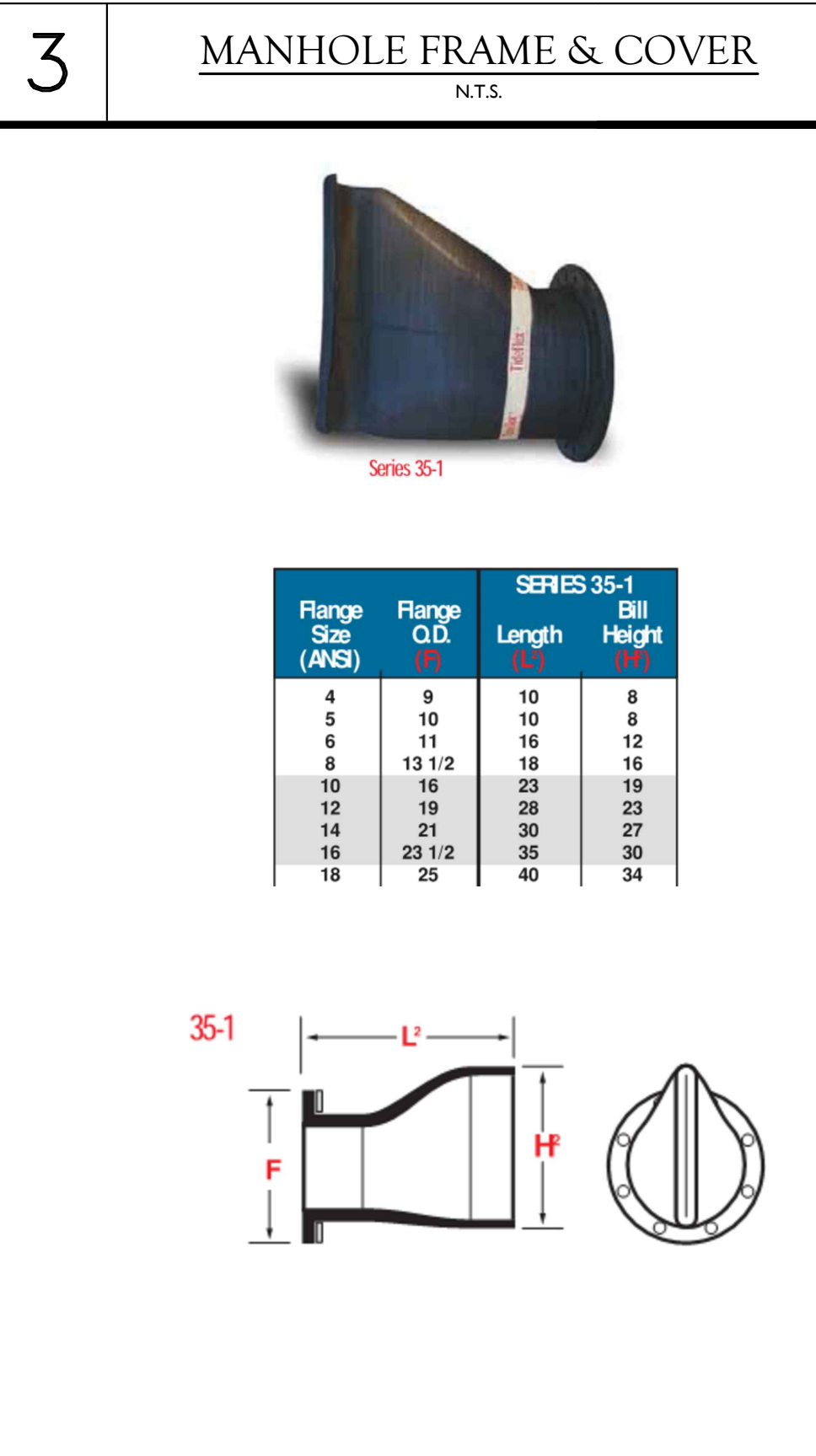
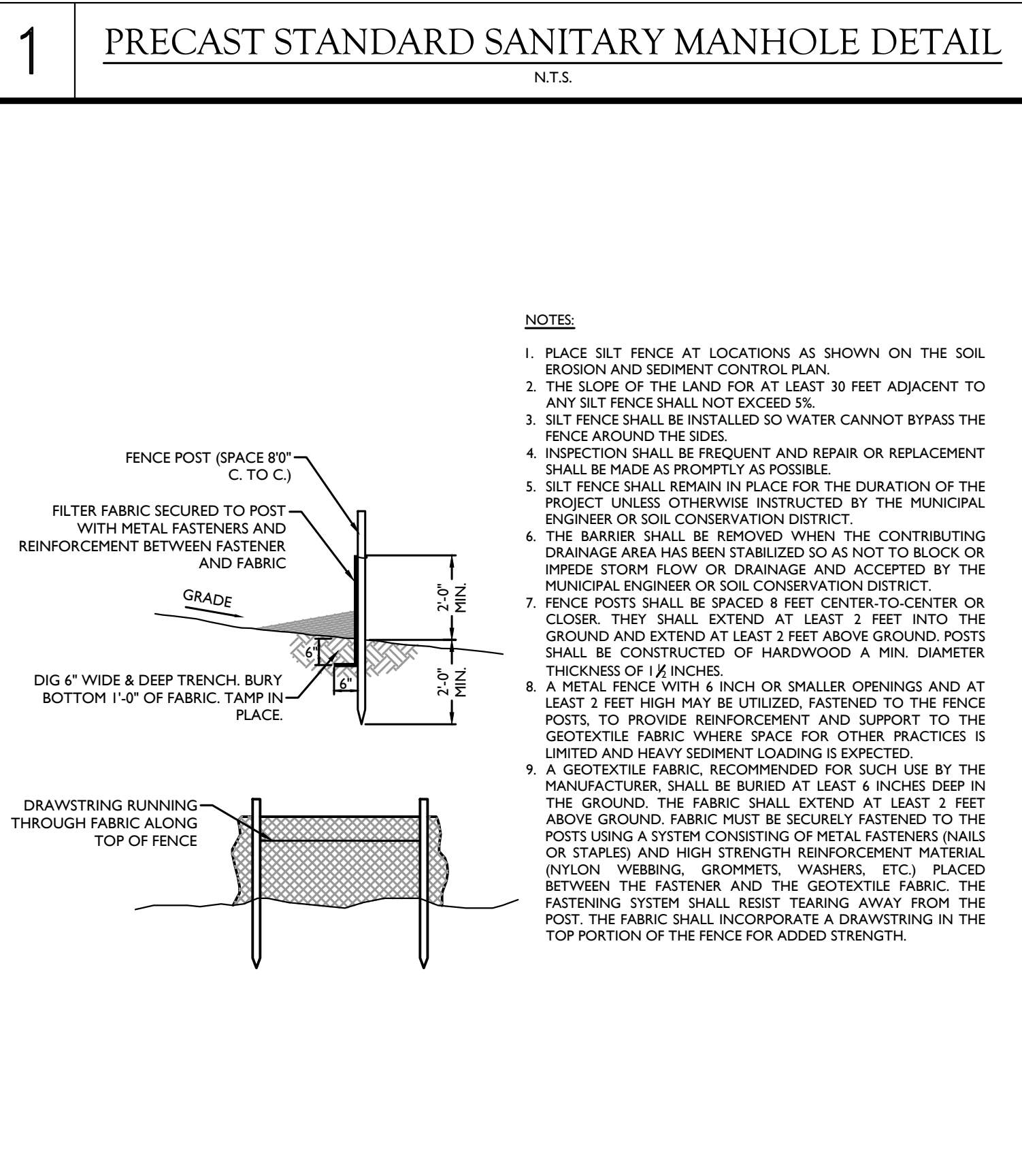
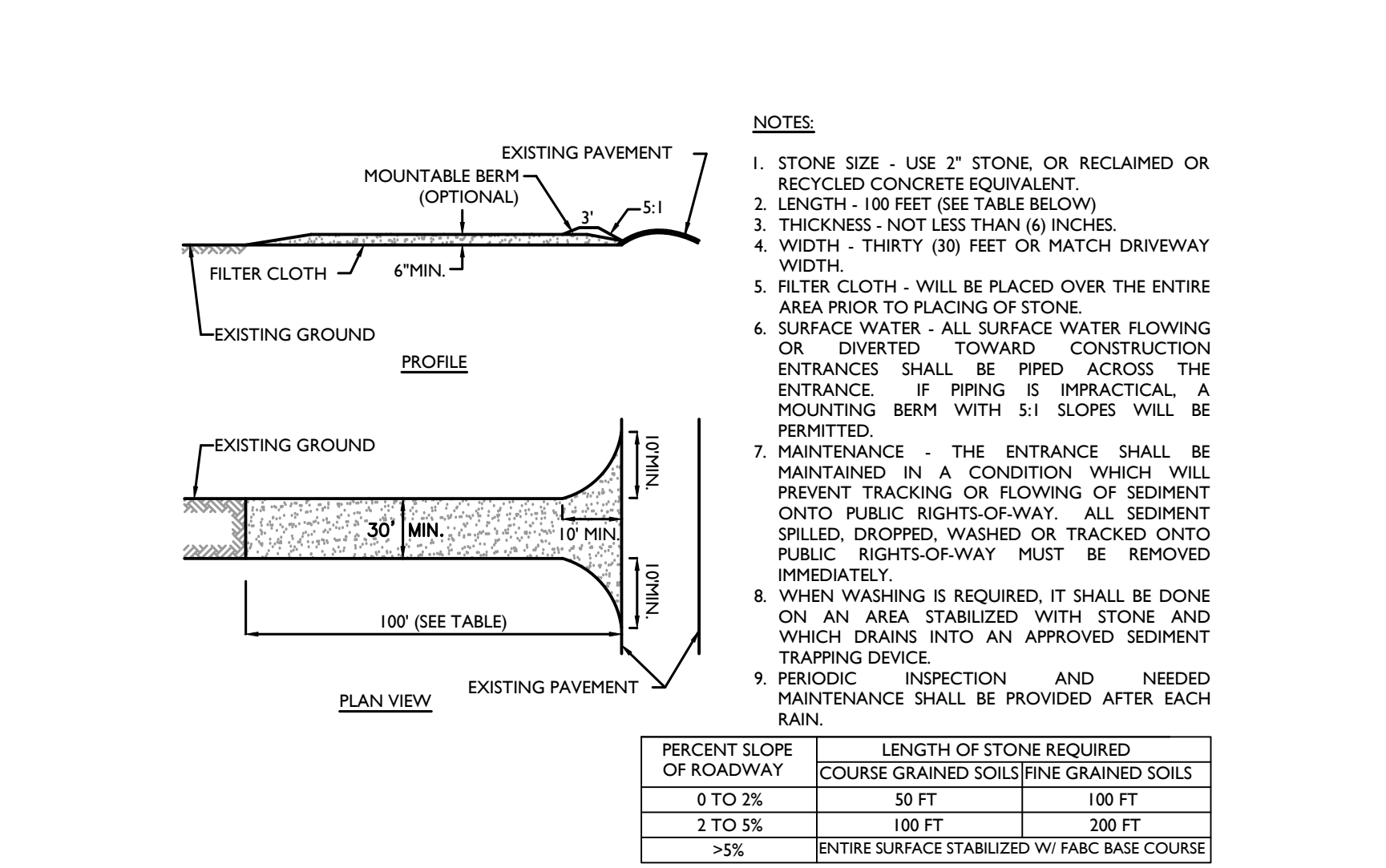
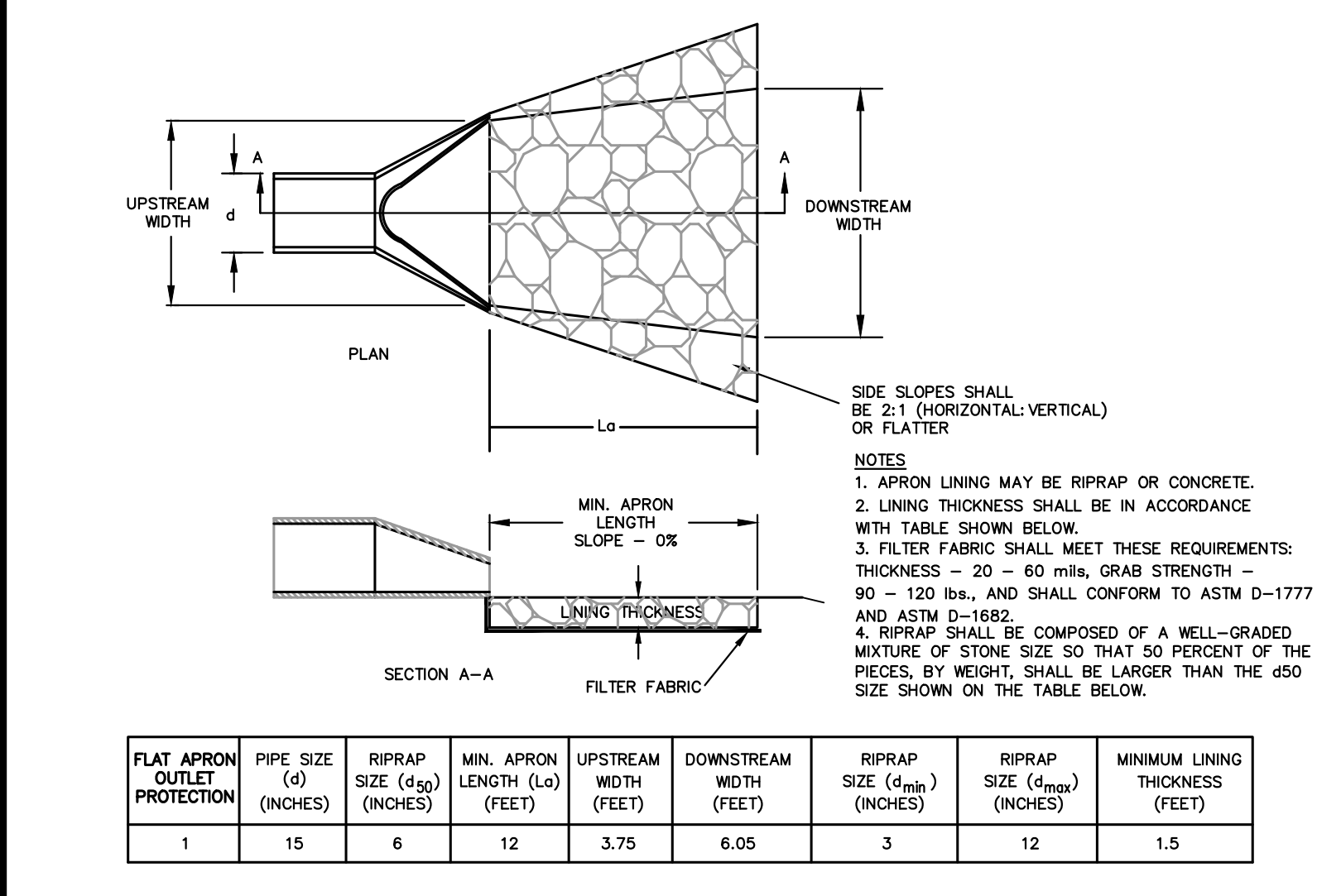
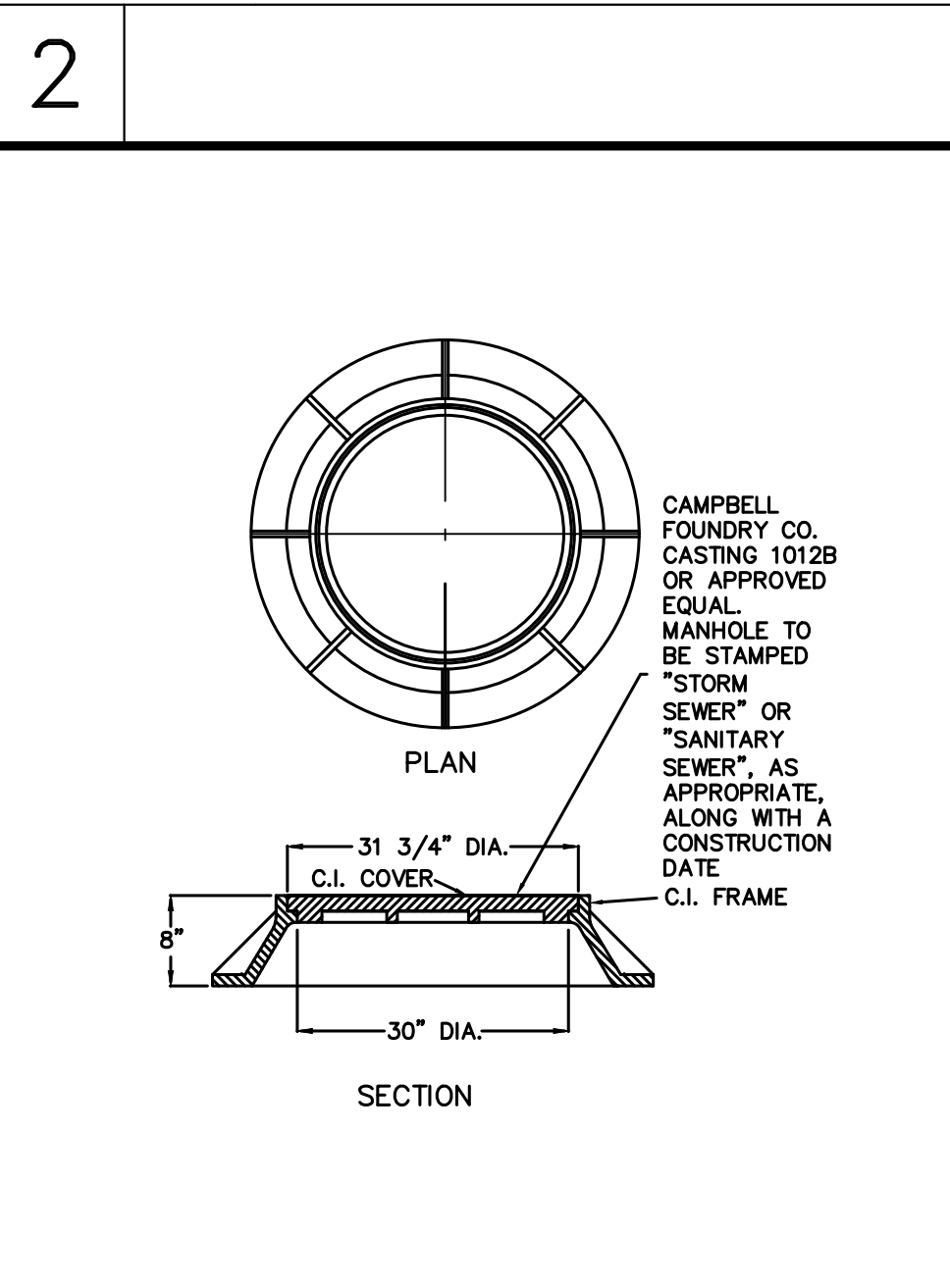
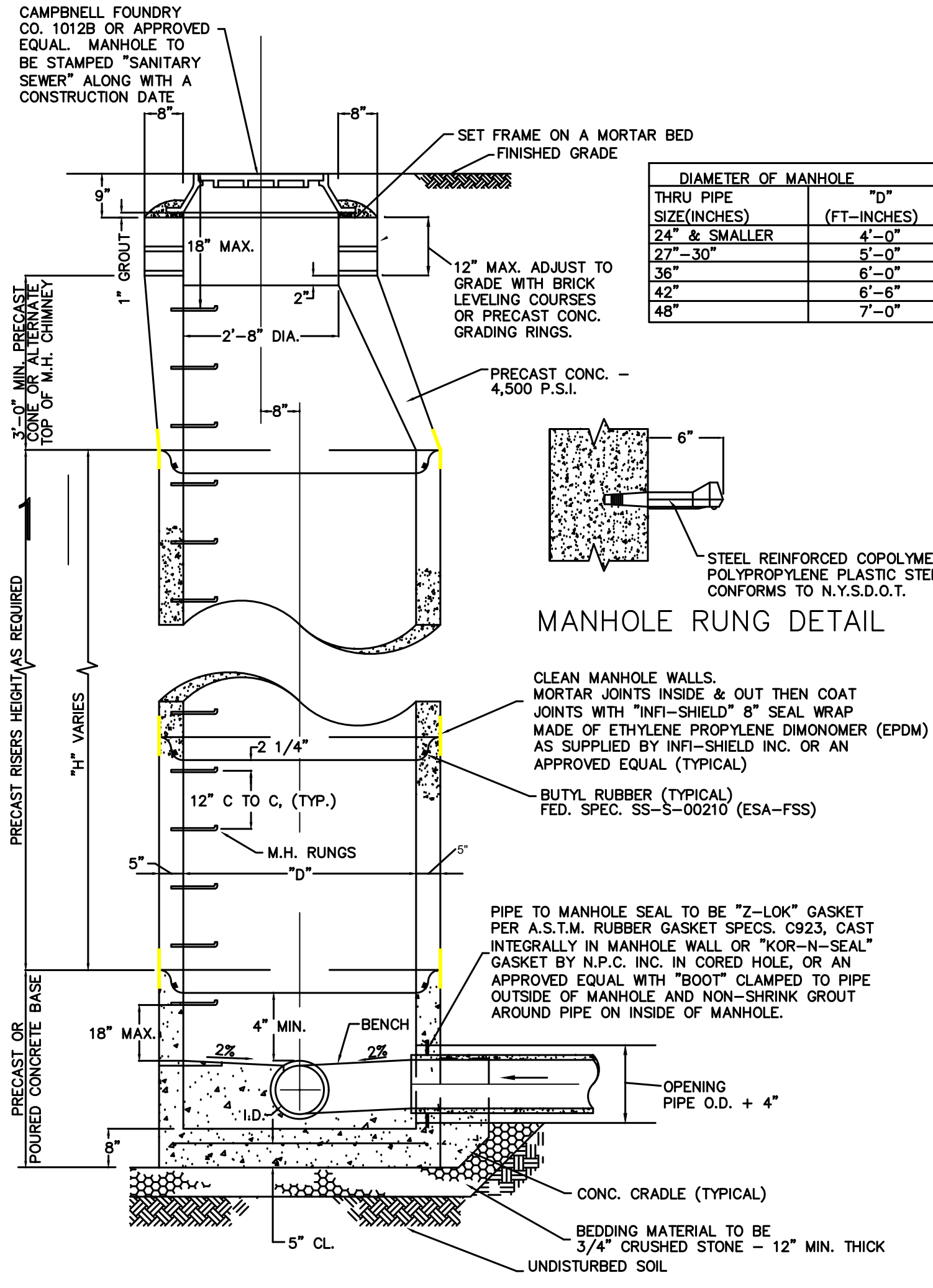
**FINAL SITE PLAN**  
 FOR  
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 SECTION 74.11  
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SCALE: AS SHOWN DATE: 2/20/24 DRAWN BY: JBC CHECKED BY: JBC  
 PROJECT NUMBER: 15002742A DRAWING NAME: C-DTL5  
 SHEET TITLE: CONSTRUCTION DETAILS  
 SHEET NUMBER: 11 of 13

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





6 **SILT FENCE** N.T.S.

7 **TIDEFLEX FLANGED FLAT BOTTOM CHECK VALVE** N.T.S.

8 **HAY BALE** N.T.S.

10 **INLET FILTER** N.T.S.

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**Jesse Barrett Cokerley**

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N.Y. C.O.A.#: 0017609

**FINAL SITE PLAN FOR RRIS CORPORATION**

SECTION 74.11  
BLOCK 2  
LOT 26

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers Engineering & Design**

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Woodcliff Lake, NJ 07677  
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PROJECT NUMBER: 15002742A DRAWING NAME: C-DTL5

**CONSTRUCTION DETAILS**

SHEET NUMBER: 13 of 13

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