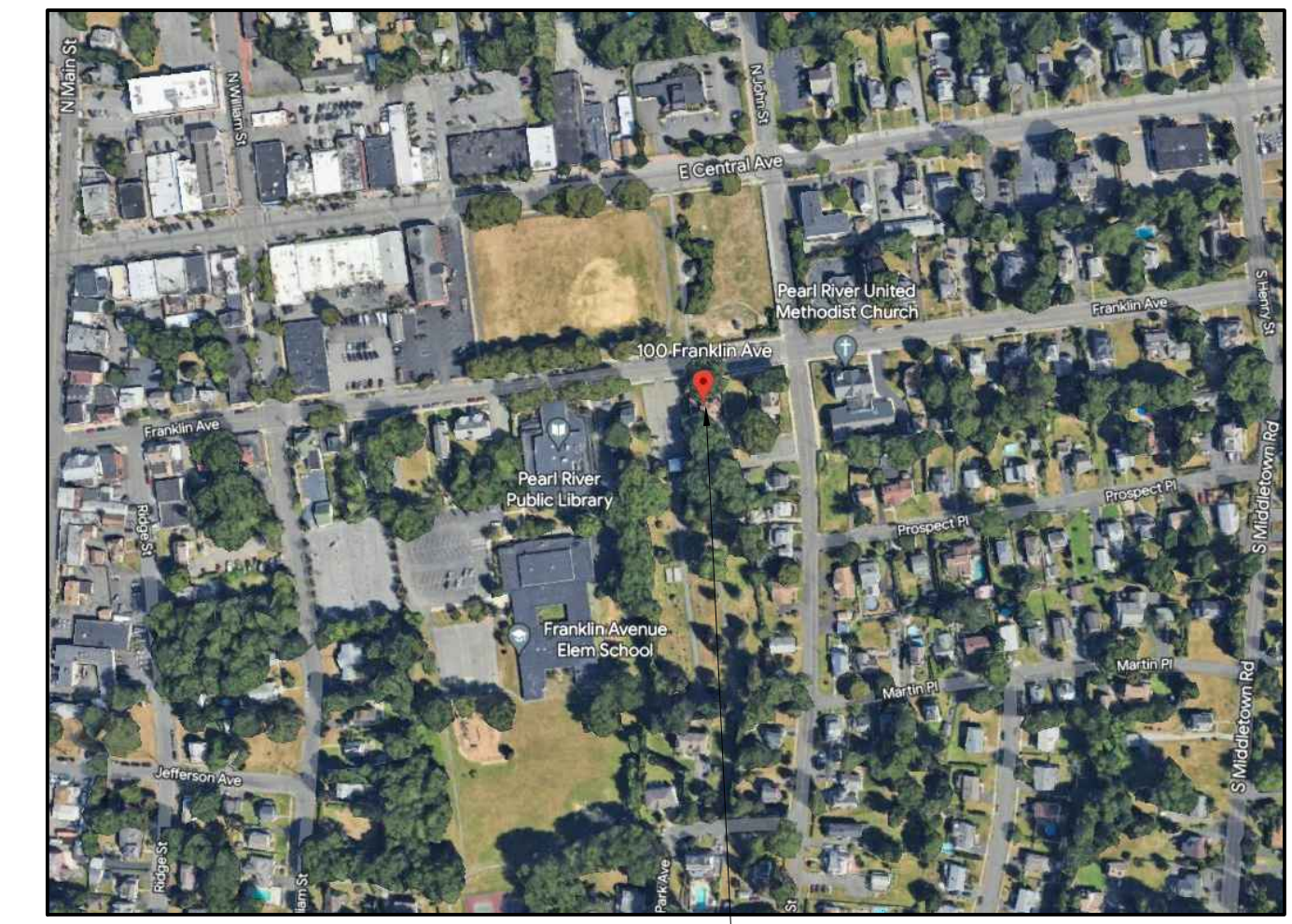


JOHN STREET 60' Wide

68.20 - 2 - 69 RO 33 JOHN STREET LLC

Block '6'



VICINITY MAP
SCALE: N.T.S.

WYMAN FISHER FUNERAL HOME
100 FRANKLIN AVENUE,
PEARL RIVER, NY

IMPERVIOUS CALCULATION	
ADDING IMPERVIOUS ADDITION	216 S.F.
REMOVING IMPERVIOUS PAVEMENT	252 S.F.
NET	-36 S.F.

BULK REQUIREMENTS FOR THE TOWN OF ORANGETOWN, RESIDENTIAL DISTRICT CS			
	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	1.00	.353	.403
MINIMUM LOT AREA	2,500 SF	24,675 SF	NO CHANGE
MINIMUM LOT WIDTH	25	150	NO CHANGE
STREET FRONTAGE	25	150	NO CHANGE
REQUIRED FRONT	NONE OR 45	35.1	* NO CHANGE
REQUIRED SIDE YARD	0/12	6.2	* NO CHANGE
TOTAL SIDE YARD	0/25	42.5'	26.5'
REQUIRED REAR	25	.5	* NO CHANGE
MAIN BUILDING HEIGHT	18.8	23.8	26.2

USE	EXISTING	PROPOSED
FUNERAL HOME	6,658 SF	6,658 SF
RESIDENTIAL	2,213 SF	3,496 SF

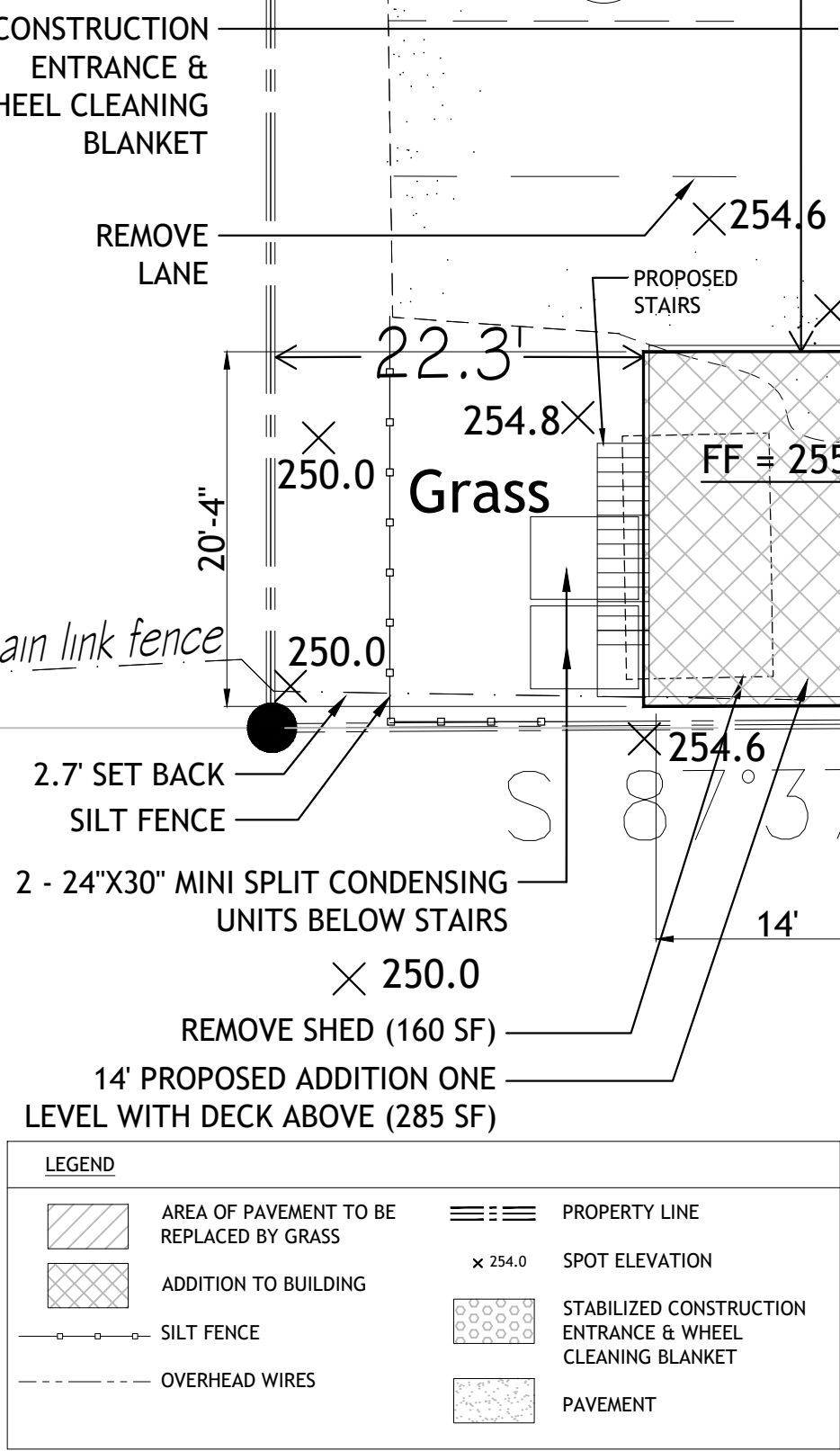
PARKING CALCULATION	
UNDERTAKERS	1 PARKING SPACE FOR EACH 2 EMPLOYEE, PLUS 5 SPACE PER CHAPEL
3 EMPLOYEES	= 2 SPACES
2 CHAPELS	= 10 SPACES
RESIDENCES	1 PARKING SPACE FOR 1/2 DWELLING
1 DWELLING	= 2 SPACES
TOTAL REQUIRED	= 14 SPACES
TOTAL PROVIDED	= 26 SPACES

DO NOT SCALE PRINTS

SITE PLAN & DETAILS

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
(845) 268-6663

NYS LIC #070546
PLANS DRAWN ONLY BY SEAL



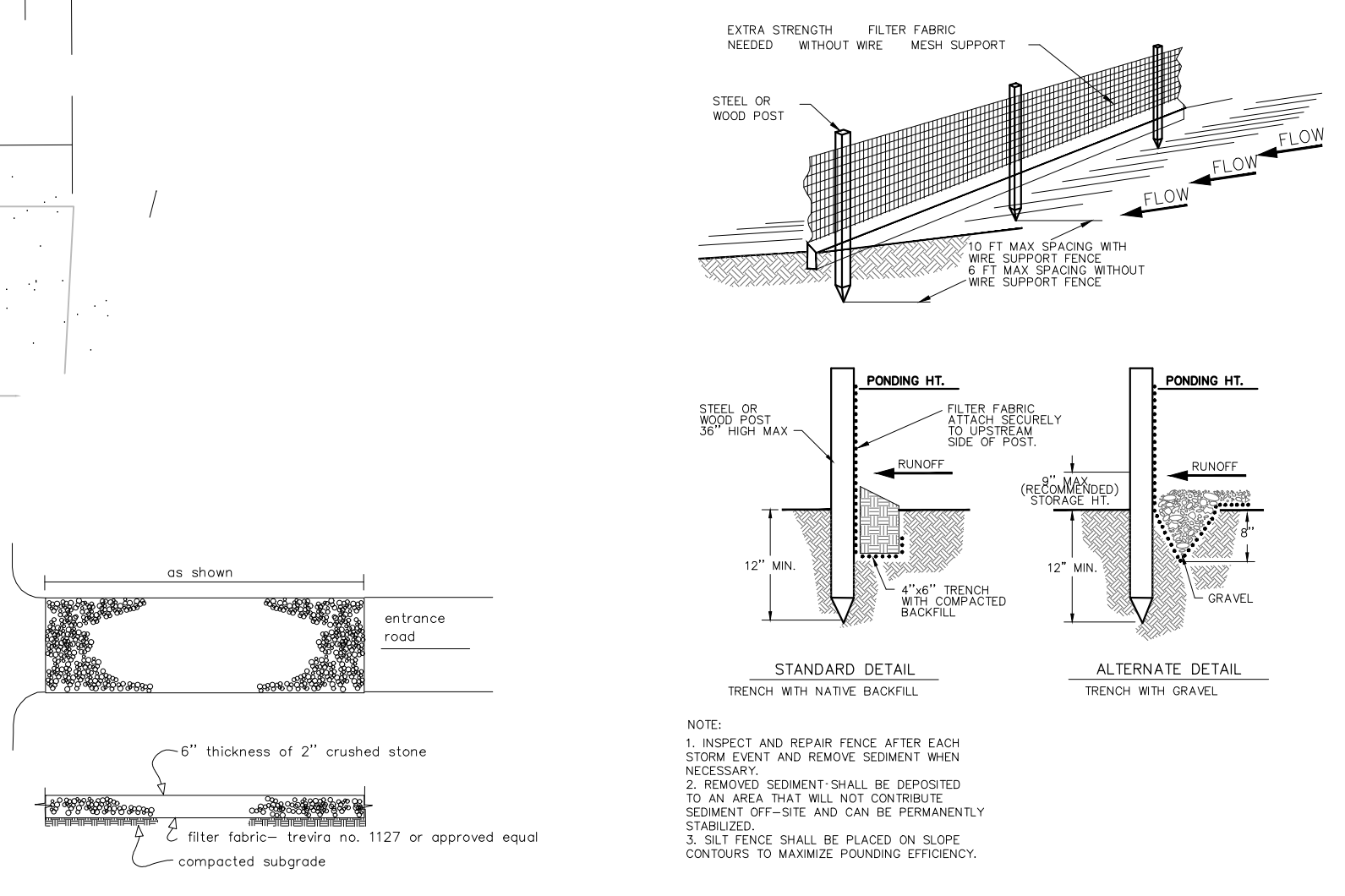
SITE PLAN
SCALE: 1"=10'-0"

SITE PLAN DATA FROM SURVEY BY ROBERT RANNEFELD P.L.S.,
N.Y. LIC. NO. 49459, P.O. BOX 881, PEARL RIVER, NY,
DATED APRIL 10, 2015

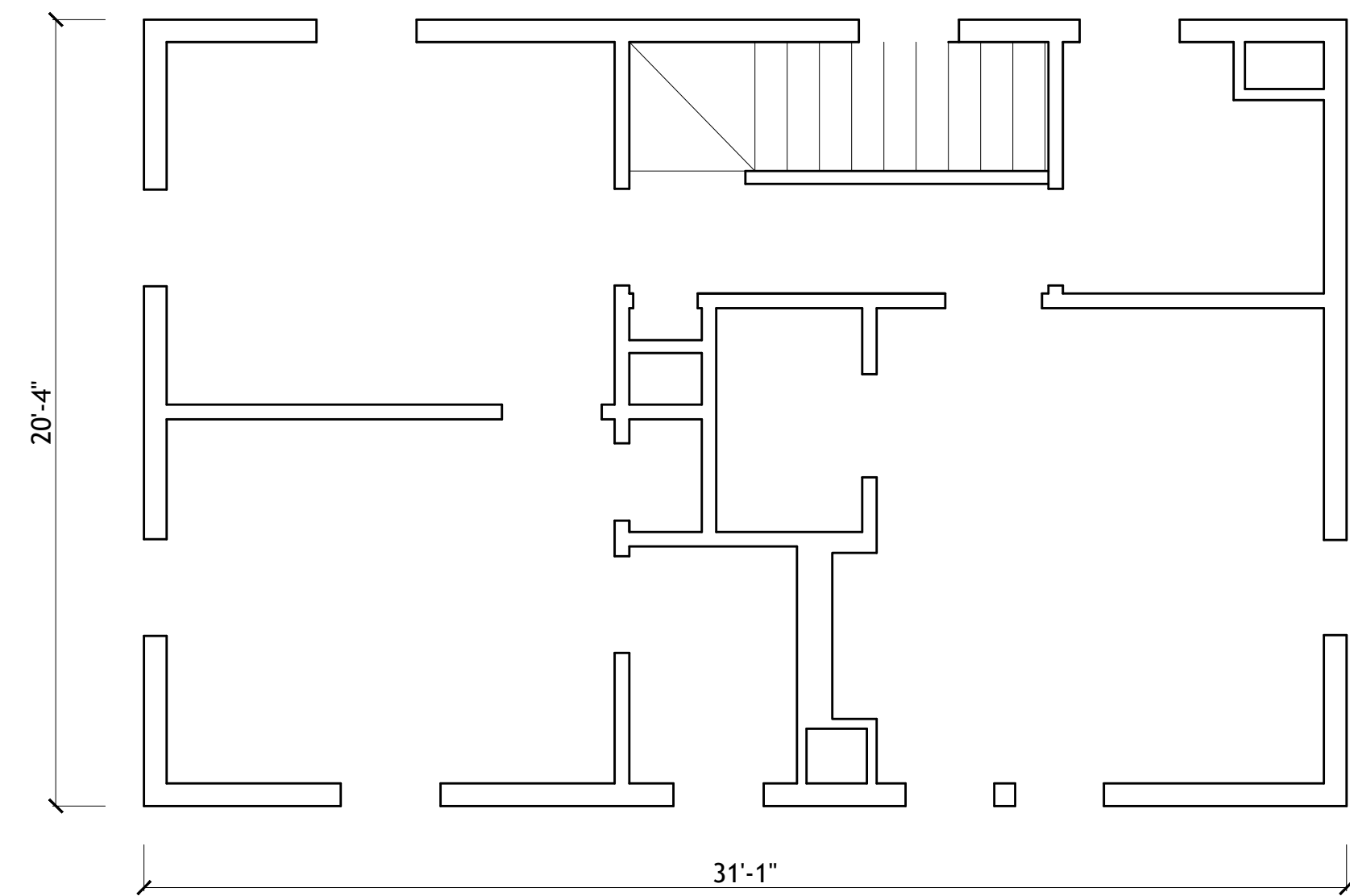
TOTAL AREA OF DISTURBANCE : 912 SF

STABILIZED CONSTRUCTION
ENTRANCE & WHEEL BLANKET
SCALE: N.T.S.

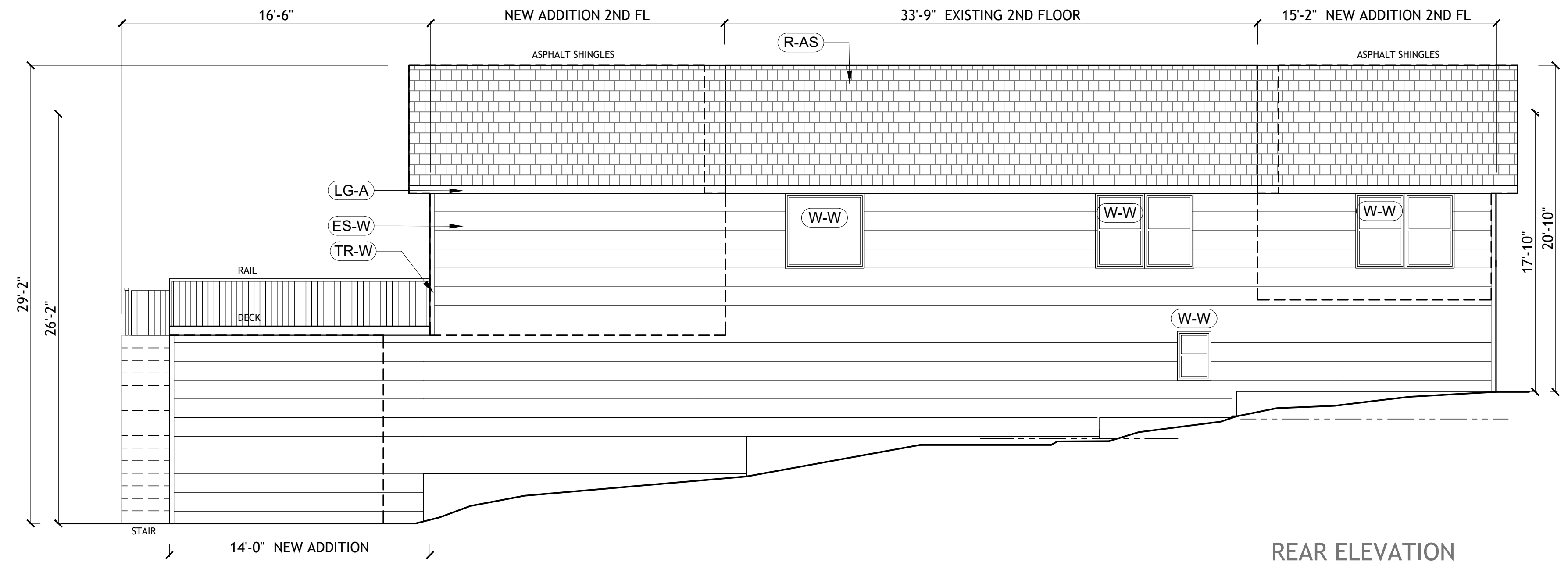
SILT FENCE
SCALE: N.T.S.



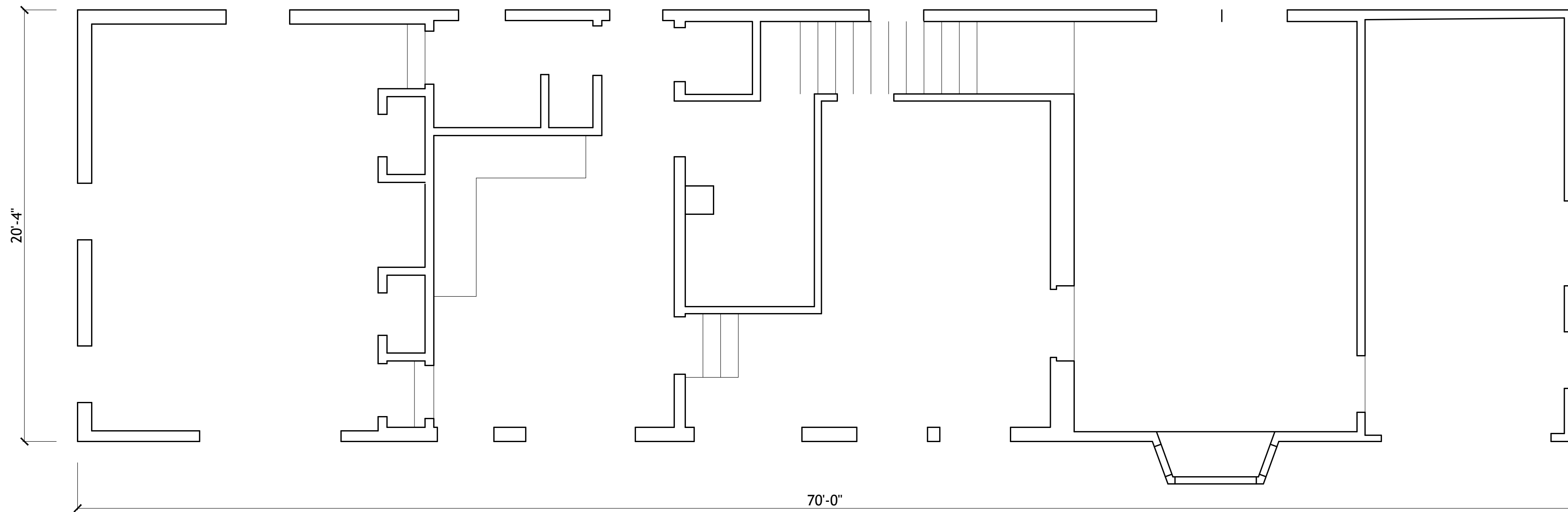
NOTE:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTAMINATE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE PONDLING EFFICIENCY.



EXISTING SECOND FLOOR PLAN
SCALE: $\frac{1}{8}''=1'-0''$



REAR ELEVATION
SCALE: $\frac{1}{8}''=1'-0''$

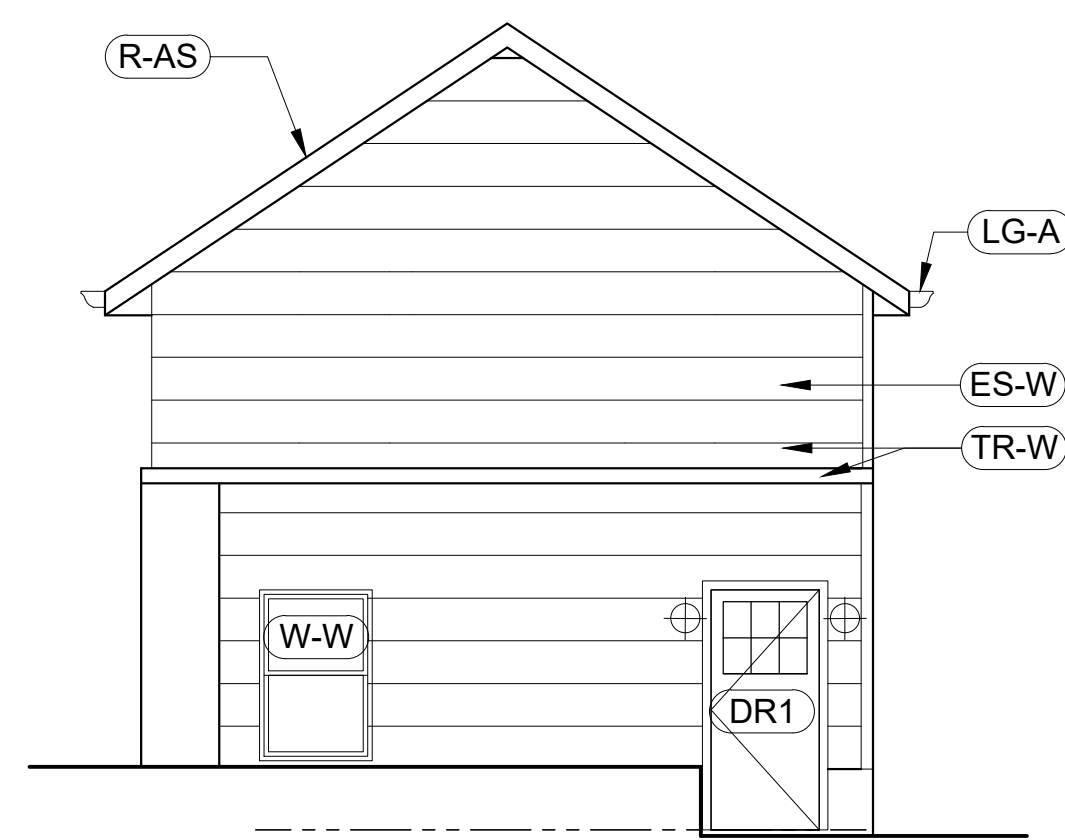


EXISTING FIRST FLOOR PLAN
SCALE: $\frac{1}{8}''=1'-0''$

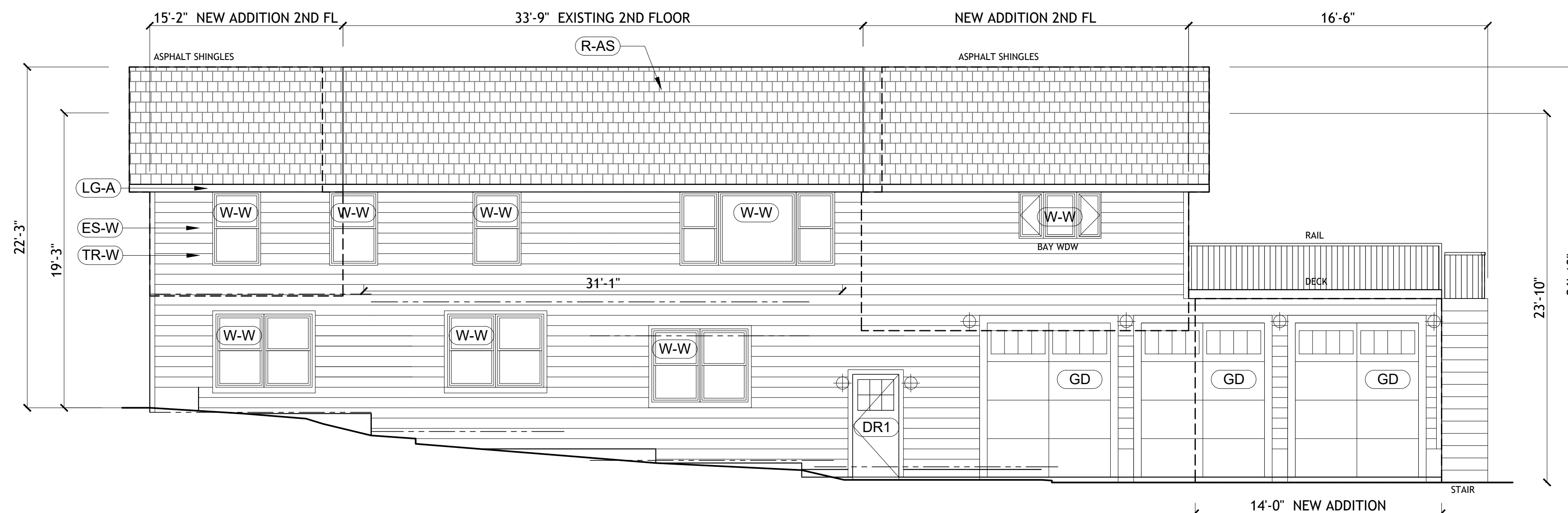
MATERIAL SCHEDULE			
ITEM	MATERIAL	COLOR	MANUFACTURER
(ES-W)	EXTERIOR SIDING	WOOD CLAD BOARD HAWTHORNE YELLOW HC-4	LOUISIANA PACIFIC BENJAMIN MOORE
(TR-W)	TRIM	WOOD WHITE DOVE OC-17	BENJAMIN MOORE
(R-AS)	ROOFING	ASPHALT SHINGLES SHAKEWOOD	GAF
(W-W)	WINDOWS	WOOD TW WHITE	ANDERSEN
(GD)	GARAGE DOORS	STEEL - 13 LAYER INSULATED WHITE	HOLMES-ARTISTRY STEEL-ART1LU LONG REC. GRILL
(DR1)	DOORS FRONT & LEFT	WOOD WHITE	SIMPSON-NANTUCKET SAPELE MAHOOGANY (6) TOP LIGHTS
(DR2)	DECK DOOR	WOOD WHITE	SIMPSON-NANTUCKET SAPELE MAHOOGANY (6) 3/4 LITE
(LG-A)	LEADERS & GUTTERS	ALUMINUM 6" WHITE	

SIDING TO MATCH FUNERAL HOME
HAWTHORNE HC-4 BY BENJAMIN MOORE

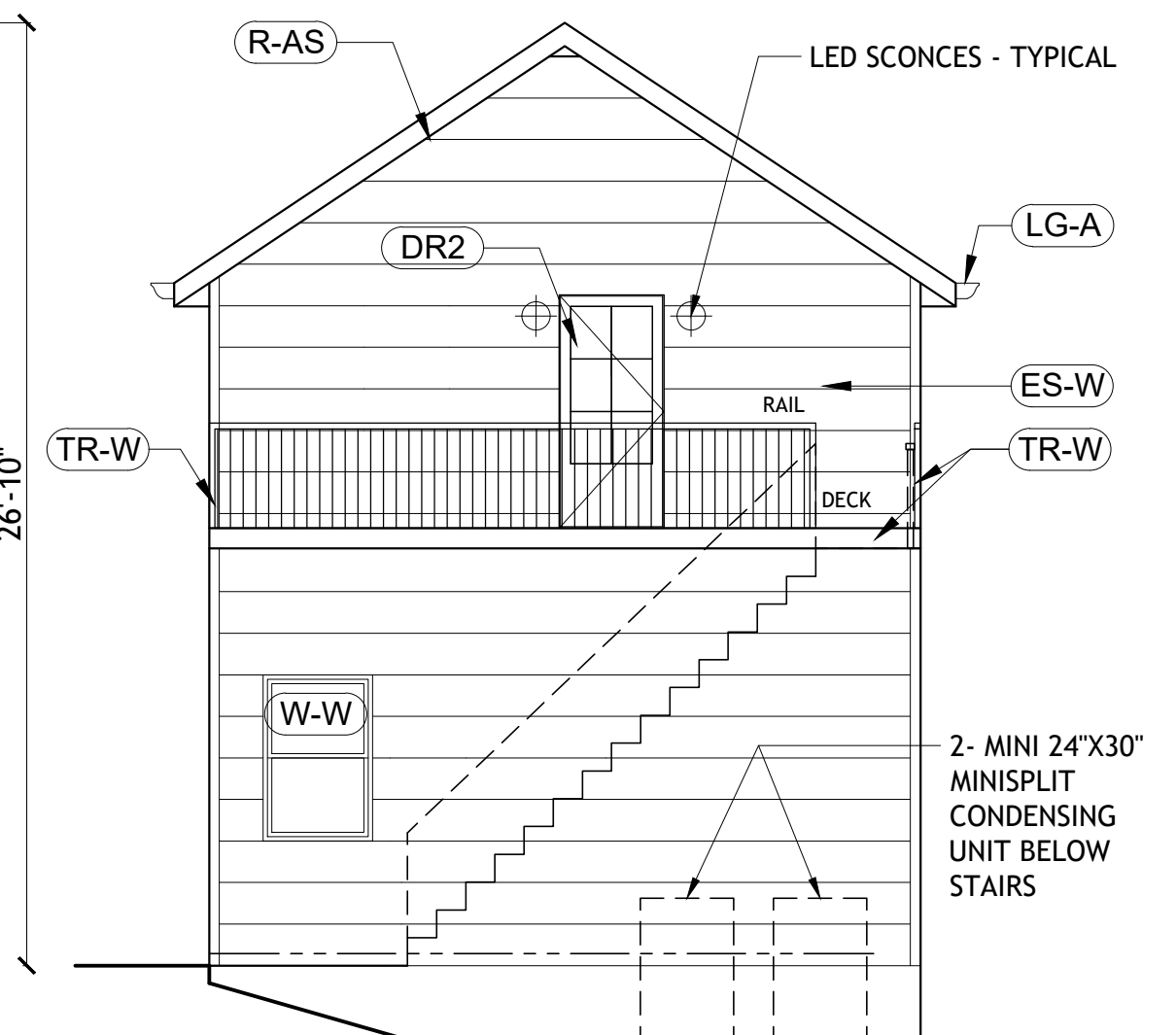
RECESSED LED LIGHTS AT UNDERSIDE
OF OVERHANG 8" O.C.



LEFT SIDE ELEVATION
SCALE: $\frac{1}{8}''=1'-0''$



FRONT ELEVATION
SCALE: $\frac{1}{8}''=1'-0''$



RIGHT SIDE ELEVATION
SCALE: $\frac{1}{8}''=1'-0''$

DATE:	17 FEB 2025
	22 FEB 2025

DATE:	28 APRIL 2022
	15 MAY 2023
	29 MAY 2023
	05 OCT 2023
	22 APR 2024
	12 FEB 2025

SCALE:	AS NOTED
SHEET:	A-1

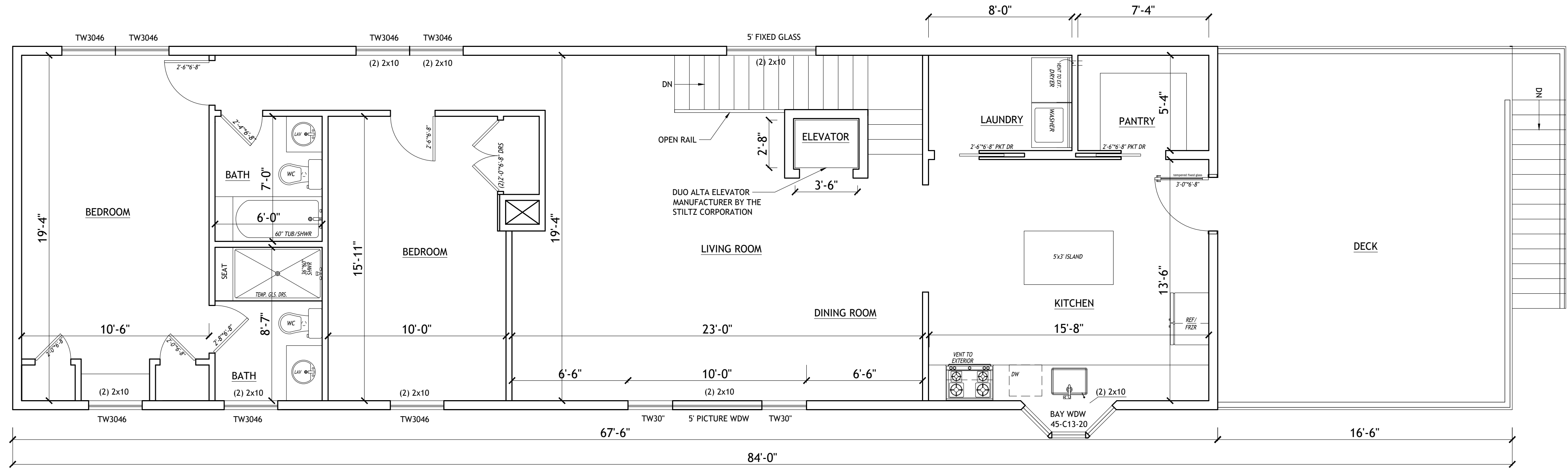
WYMAN FISHER FUNERAL HOME
100 FRANKLIN AVENUE
PEARL RIVER, NEW YORK

AS-BUILT PLANS
PROPOSED ELEVATIONS

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
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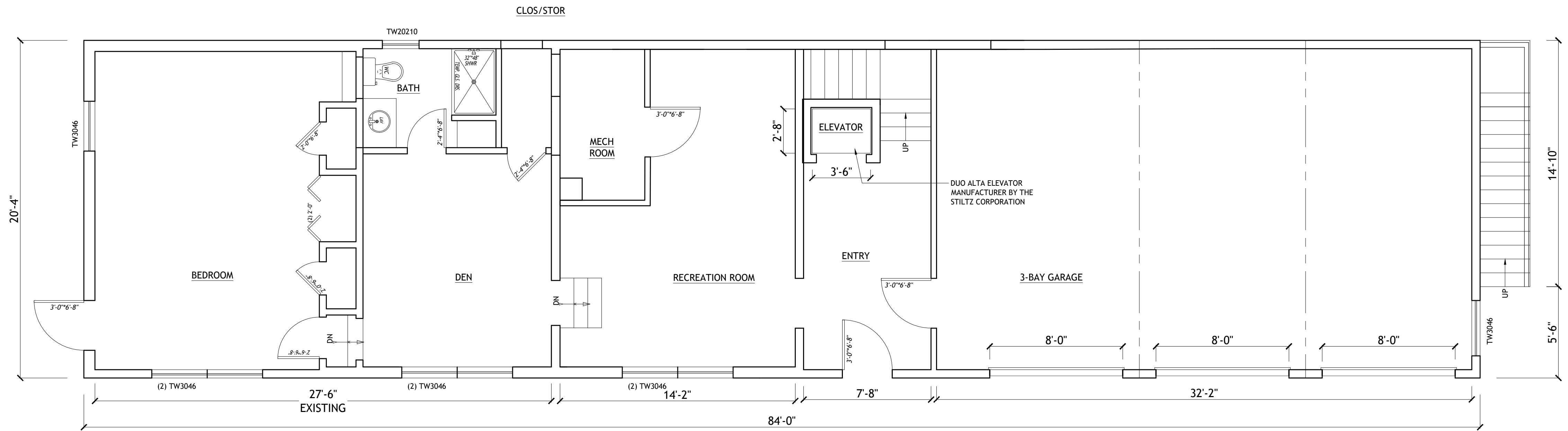
NYS LIC #070545
PLANS VALID ONLY IF SEALED

DO NOT SCALE PRINTS



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

SQUARE FOOTAGE		
EXISTING	1ST FLOOR	1,423.33 SF
	2ND FLOOR	632.00 SF
TOTAL EXISTING		2,055.33 SF
NEW	1ST FLOOR	1,707.72 SF
	2ND FLOOR	1,372.28 SF
TOTAL NEW		3,080.00 SF
TOTAL ADDED		1,024.67 SF
% INCREASE TO RESIDENCE		49.85%



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS:

25 AUG 2023	
05 OCT 2023	
22 APR 2024	
03 OCT 2024	
31 JAN 2025	
12 FEB 2025	

REVISIONS:

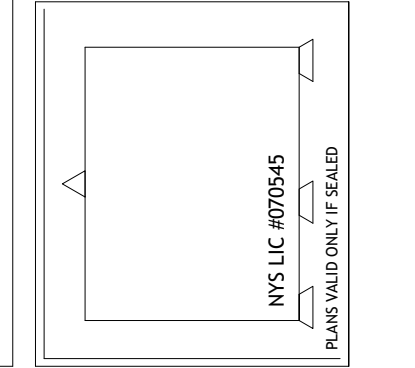
25 AUG 2023	
05 OCT 2023	
22 APR 2024	
03 OCT 2024	
31 JAN 2025	
12 FEB 2025	

DATE: 15 MAY 2022
SCALE: AS NOTED
SHEET: A-2

WYMAN FISHER FUNERAL HOME
100 FRANKLIN AVENUE
PEARL RIVER, NEW YORK

PRELIMINARY FLOOR PLANS

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
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DO NOT SCALE PRINTS