



RGAA

160 OLD ORANGEBURG ROAD, ORANGEBURG, NEW YORK 10962

GEORGE HODOSH ASSOCIATES-ARCHITECTS, P.C.

120 NORTH MAIN STREET - SUITE 501, NEW CITY, NEW YORK 10956

PHONE: (845) 638-9336 FAX: (845) 638-9380

2024-09-17
LAST REVISED: 2025-01-29

DRAWING LIST

- COVER SHEET
- A1 FOUNDATION PLAN
- A2 FIRST FLOOR PLAN
- A3 ELEVATIONS
- E1 FIRST FLOOR ELECTRICAL PLAN
- GN GENERAL NOTES

24053, RGAA

SCOPE OF WORK:

- LEGALIZATION OF SEASONAL CONCESSION STAND BUILDING CONSTRUCTED WITHOUT PERMIT

APPLICABLE CODES:

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
- NYStretch Energy Code-2023
- 2017 NATIONAL ELECTRIC CODE

TOWN OF ORANGETOWN
ZONE: RPC-R SECTION: 73.12 BLOCK: 1 LOT: 1

RECEIVED

FEB 21 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

THE DRAWINGS WERE PRODUCED IN COLOR. ANY REPRODUCTIONS MUST BE MADE IN COLOR TO PRESERVE THE INTEGRITY OF THE ORIGINAL DRAWINGS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES RESULTING FROM FAILURE TO DO SO.

REVISIONS

DATE	DESCRIPTION	BY
2024-09-17	EXISTING CONDITIONS	SAB
2025-01-29	LEGALIZATION SET 1	SAB

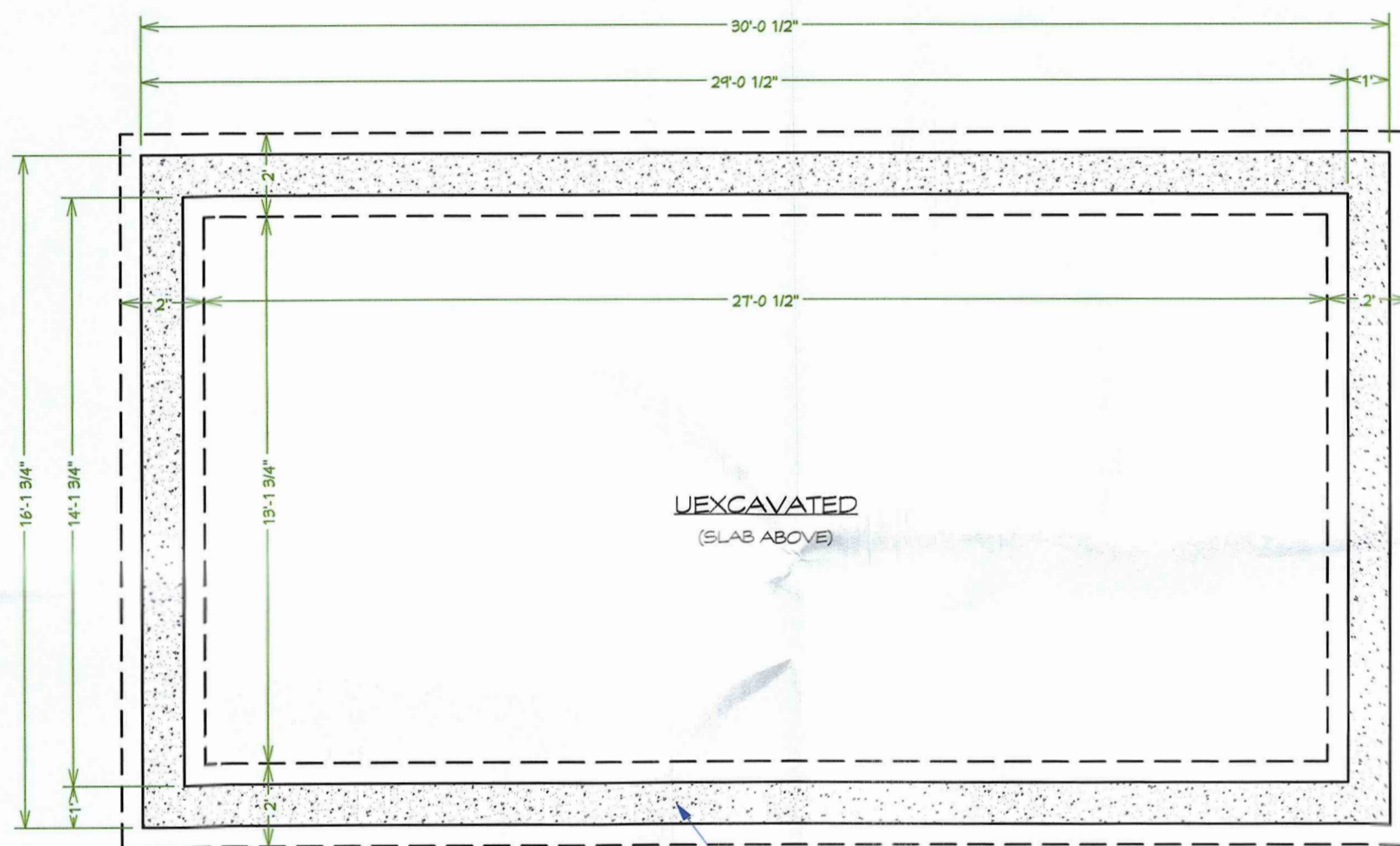
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



12" CONCRETE BLOCK WALLS REINFORCED HORIZONTALLY WITH STANDARD WEIGHT, HOT-DIP GALVANIZED 120 TRUSS MESH BY HOHMANN & BARNARD EVERY SECOND COURSE AND VERTICALLY WITH (4) #5 REBARS EVERY FOUR (4) FEET BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS AND UNDER ALL BEARING POINTS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 5/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED AT 4'-0" O.C. AND AT CORNERS. BLOCK WALLS SHALL RECEIVE CEMENT PARGING AT EXTERIOR. (TYP.)

2'-0" X 1'-0" DEEP CONTINUOUS CONCRETE FOOTING REINFORCED WITH (4) #5 REBARS 3" FROM BOTTOM SET 3'-6" BELOW GRADE MIN. (TYP.)

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FOUNDATION PLAN

SCALE:	1/4" = 1'-0"
DATE:	2024-09-17
JOB #:	24053
DRAWN BY:	SAB
CHECKED BY:	JBH



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CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED		EXISTING WINDOW TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL		PROPOSED WINDOW		PROPOSED DOOR
	PROPOSED NEW POURED CONCRETE WALL				
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION				
	PROPOSED FRAMED CONSTRUCTION				

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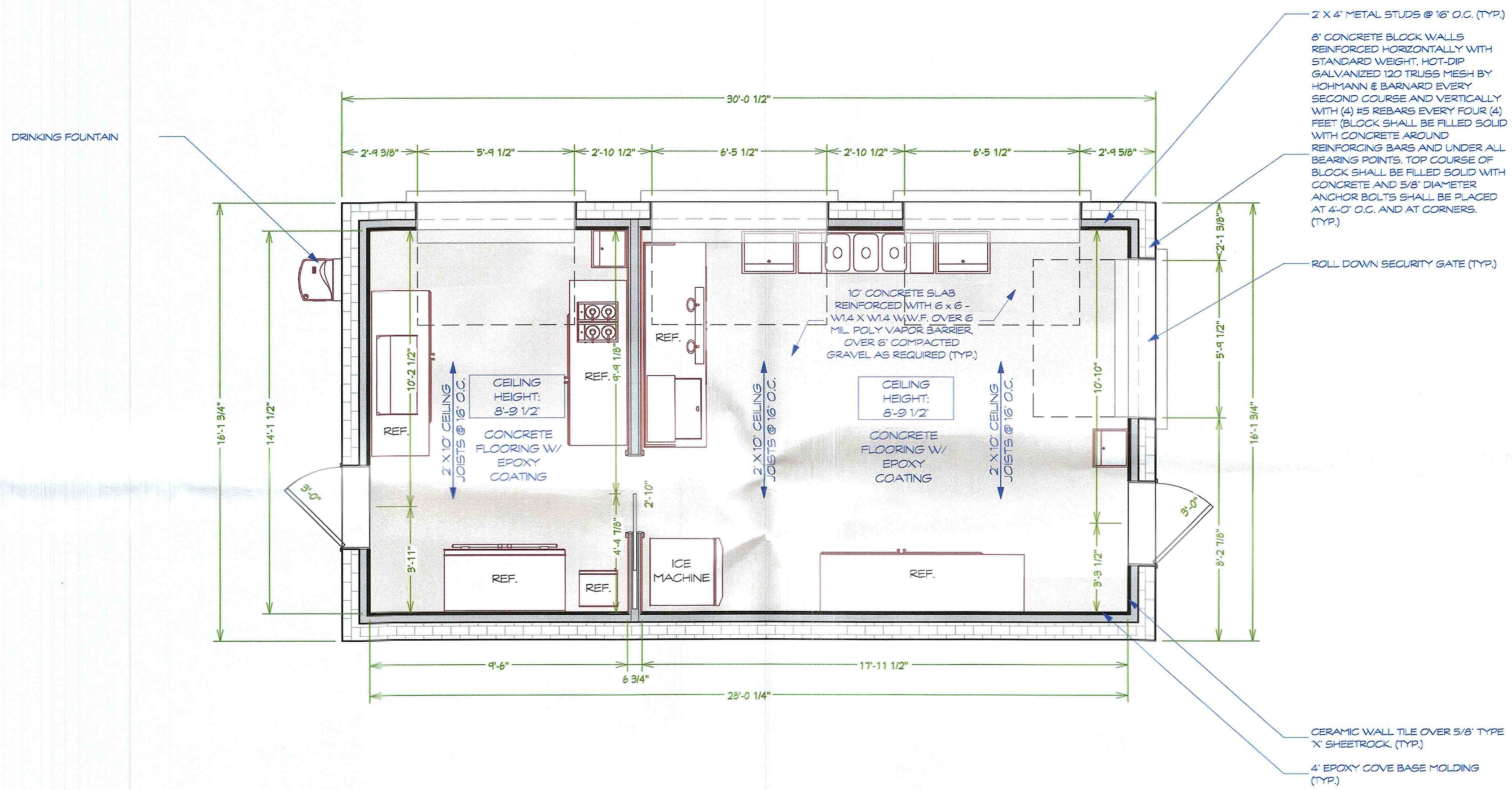


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A1

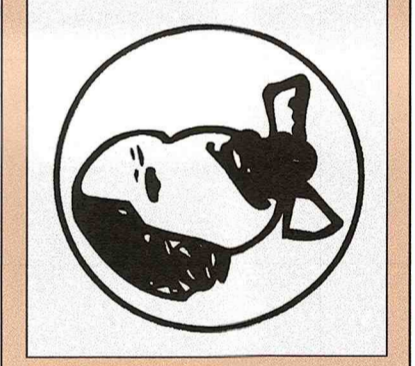
FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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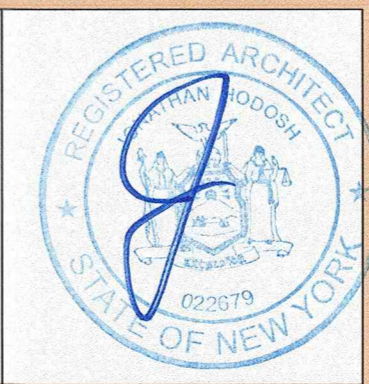
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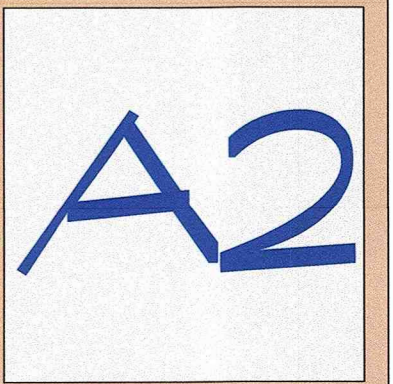
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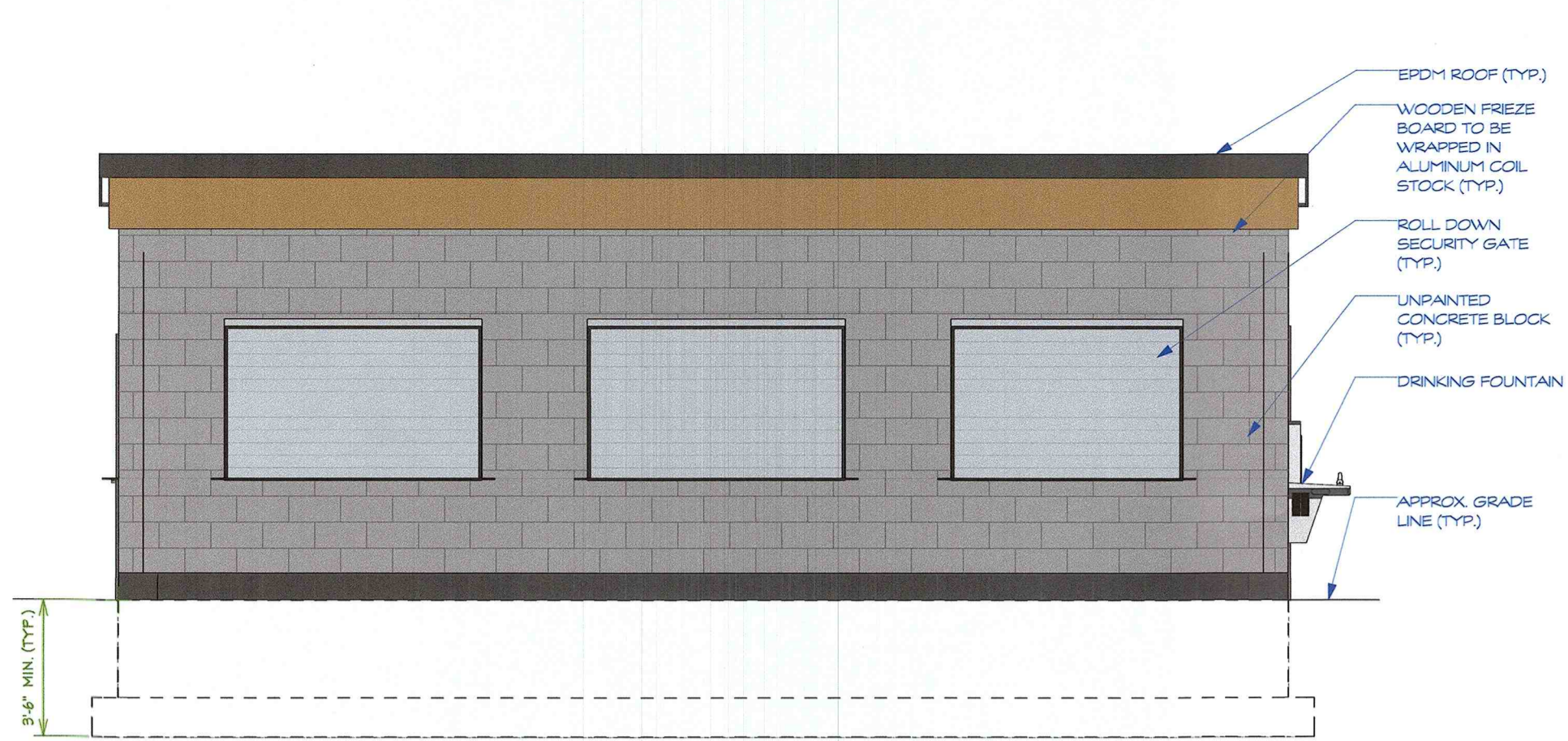
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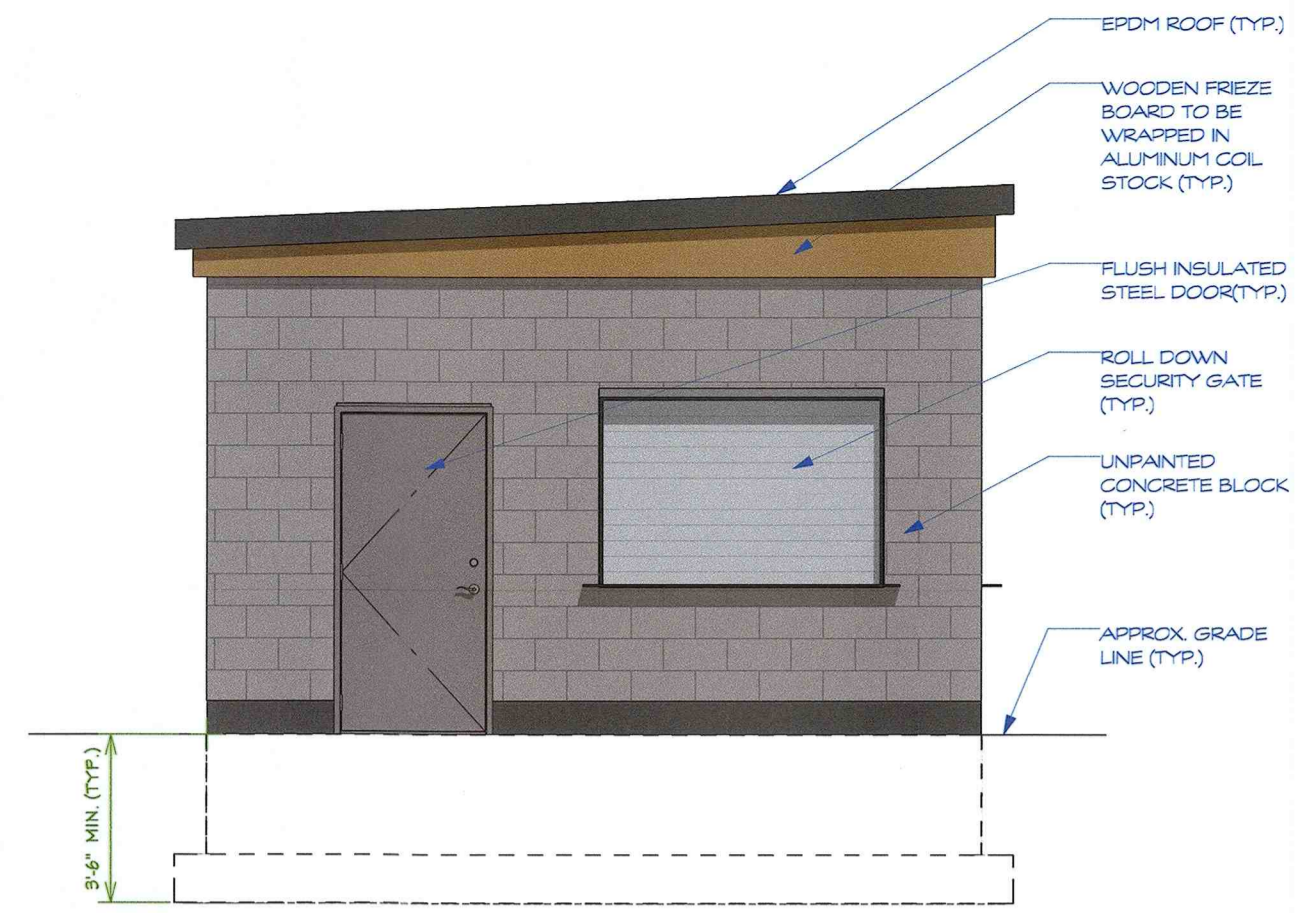
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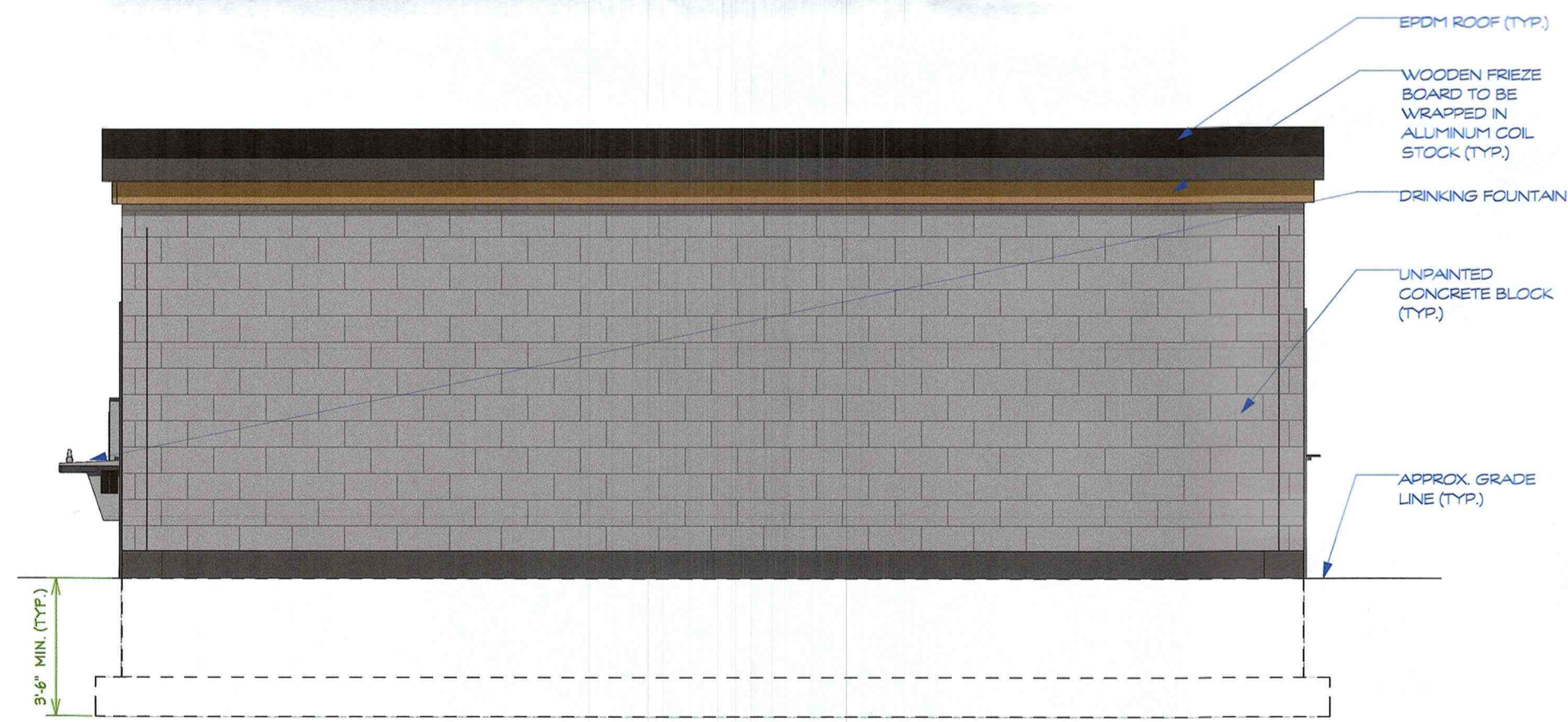
FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



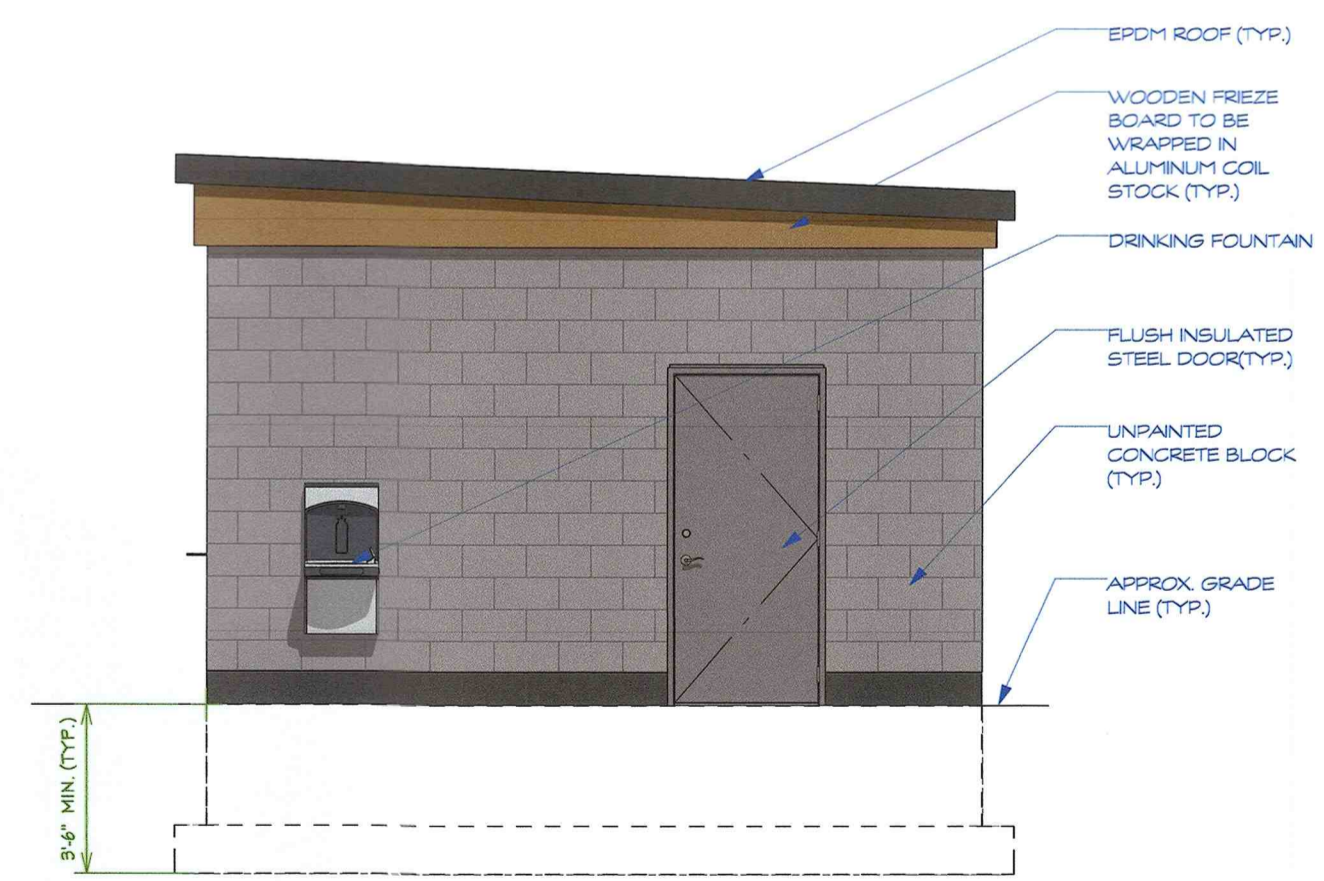
RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"



REAR ELEVATION

SCALE: 1/4" = 1' - 0"



LEFT ELEVATION

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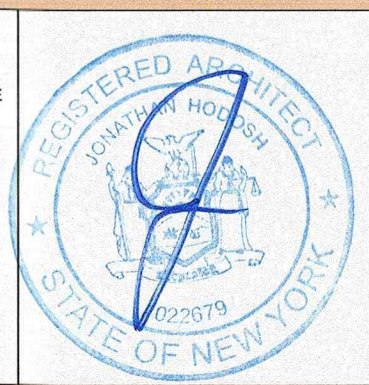
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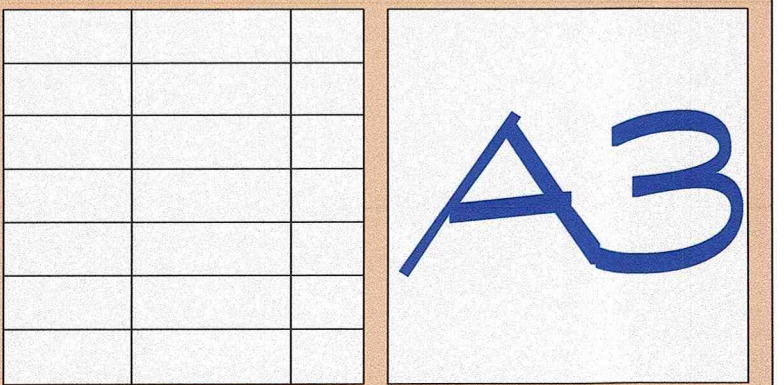
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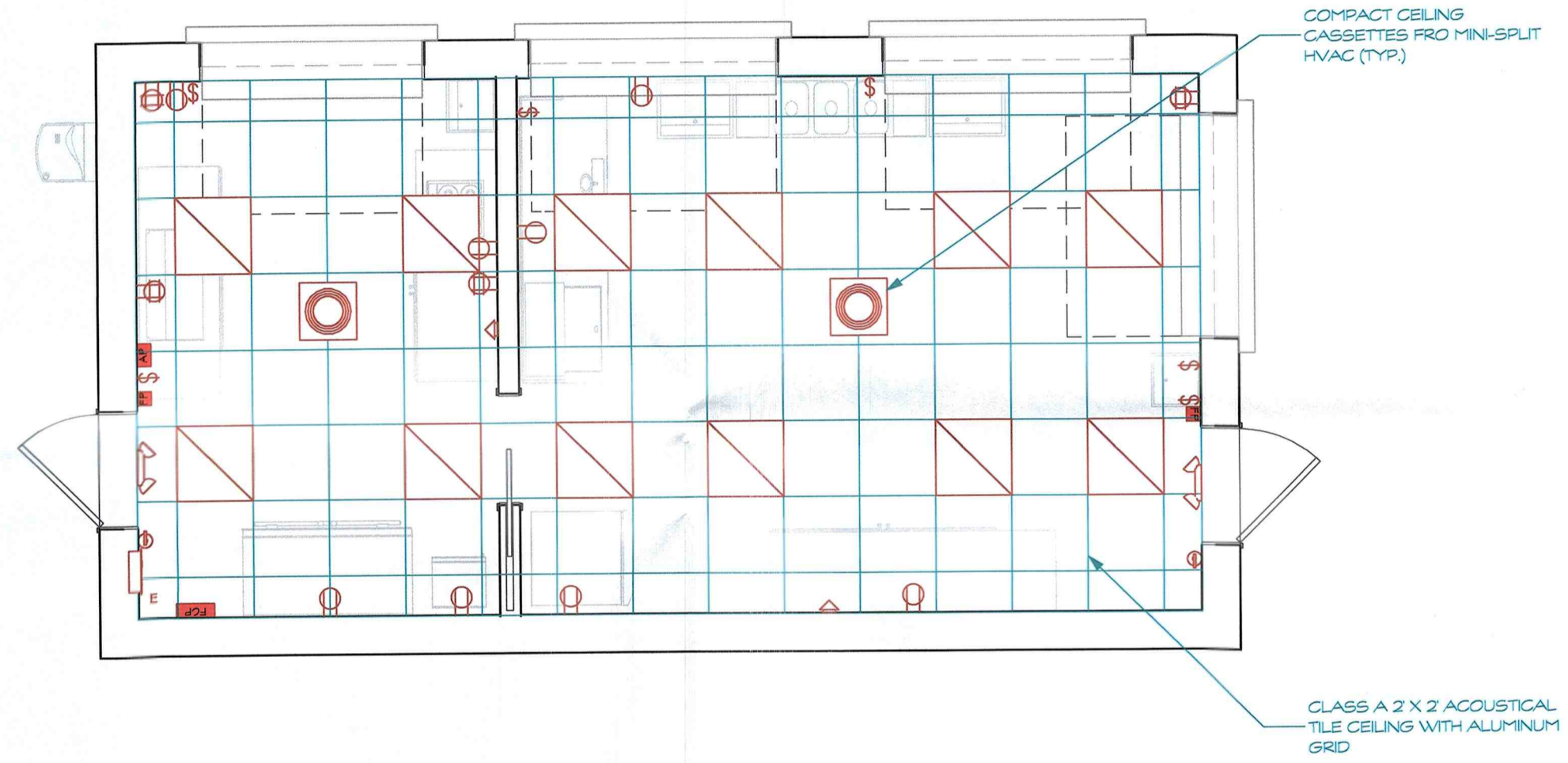


FIRE SAFETY LEGEND

-  Horn Strobe *
-  Pull Station *
-  Annunciator Panel *
-  Fire Alarm Control Panel *

-  Exit Sign w/ Emergency Light
-  Fire Extinguisher

* TO BE TIED INTO EXISTING FIRE ALARM SYSTEM. FINAL LOCATIONS TO BE CONFIRMED BY FIRE INSPECTOR



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1' - 0"

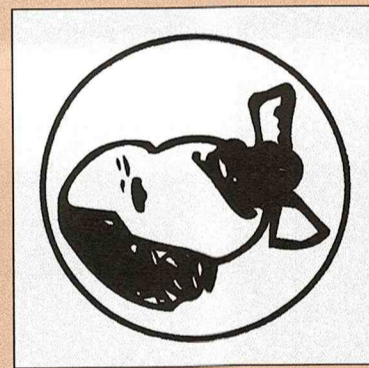
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


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ELECTRICAL & LIGHTING LEGEND

-  DUPLEX RECEPTACLE
-  DUPLEX RECEPTACLE 4'2" ABOVE FINISHED FLOOR
-  DUPLEX RECEPTACLE - EXTERIOR, GFCI
-  DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT
-  DUPLEX RECEPTACLE - USB CHARGER
-  DUPLEX RECEPTACLE - CEILING MOUNTED
-  DUPLEX RECEPTACLE - FLOOR MOUNTED
-  SEPARATE CIRCUIT FOR APPLIANCE
-  SMOKE DETECTOR WITH TEST BUTTON - SHALL BE HARD WIRED AND INTERCONNECTED

-  CARBON-MONOXIDE DETECTOR - SHALL BE HARD WIRED AND INTERCONNECTED
-  CABLE JACK - FINAL LOCATION BY OWNER
-  TELEPHONE JACK - FINAL LOCATION BY OWNER
-  WALL SWITCH
-  3-WAY WALL SWITCH
-  4-WAY WALL SWITCH
-  DIMMER WALL SWITCH
-  TIMER WALL SWITCH
-  WEATHER PROOF WALL SWITCH
-  BATH FAN - 100 CFM - VENT TO EXTERIOR
-  BATH FAN W/ LIGHT - 100 CFM - VENT TO EXTERIOR

-  CEILING FAN
-  LED CEILING SURFACE MOUNTED LIGHT FIXTURE
-  RECESSED LED FIXTURE
-  WALL SCONCE
-  DOOR BELL CHIME BY OWNER
-  DOOR BELL BY OWNER
-  WIRELESS KEYPAD FOR GARAGE DOOR OPENER
-  WIRELESS SWITCH FOR GARAGE DOOR OVER-HEAD GARAGE DOOR OPENER
-  ELECTRICAL PANEL
-  EXISTING ELECTRICAL FIXTURE TO REMAIN

 2 X 2 DROP IN LED LIGHT FIXTURES

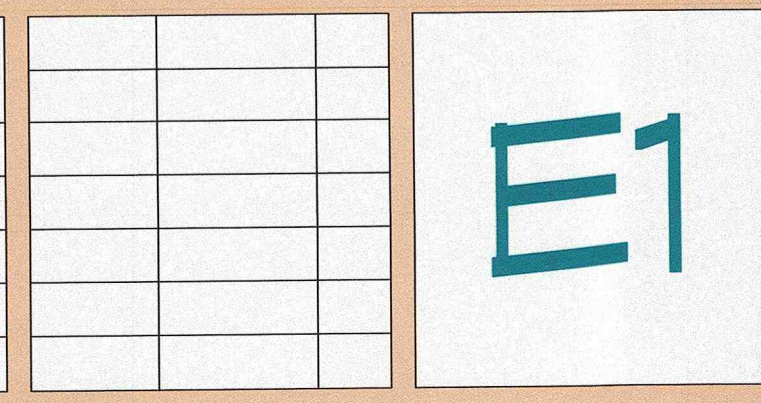
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GENERAL NOTES

- G1. These plans and specifications are the property of George Hodosh Associates and shall not be reproduced or modified in any way without the written consent of George Hodosh Associates. These plans shall not be considered complete and valid construction documents unless they bear the signature and seal of Jonathan B. Hodosh.
- G2. All work shall conform completely to all applicable state and local codes and in compliance with material and equipment manufacturer's instructions and specifications as they apply.
- G3. These plans are for legalization purposes only. All work indicated as "proposed" or "new" represents work previously completed without permits - unless otherwise noted.
- G4. It shall be the responsibility of the general contractor to ensure that all plans on site and those provided to all subcontractors and tradesmen are the most up to date plans available. All previously issued and superseded plans shall be removed from site and subcontractors and tradesmen notified when revised plans are issued.
- G5. All construction and materials shall be new - unless otherwise noted.
- G6. All materials shall be furnished and installed by Contractor - unless otherwise noted.
- G7. There shall be absolutely no substitutions for any structural members or material without the written approval of the architect.
- G8. All work shall comply completely with all applicable state and local codes.
- G9. Contractor shall familiarize himself with existing conditions. All dimensions and conditions shall be field verified. Architect shall be informed of any discrepancies. Match all existing materials, dimensions, and conditions as they apply.
- G10. Contractor shall provide specifications, shop drawings, etc., for all materials ordered - including but not limited to millwork, skylights, windows, French doors, etc. prior to ordering. Architect shall not be liable for any issues arising from Contractor's failure to do so.
- G11. All areas of structure affected, directly or indirectly, under the scope of work outlined in these plans shall be properly braced, shored, or otherwise supported as required so as to ensure continuous, uninterrupted structural integrity in those areas. At no time shall any portion of this structure be left unsupported for any reason. Temporary railings, decking, etc., shall be employed to remove any hazards resulting from open stairwells, balconies, or other potentially hazardous conditions.
- G12. Contractor shall maintain site in a clean and workmanlike condition.
- G13. Proper protection from the elements shall be provided as appropriate and required to prevent any damage to existing structure and/or new construction. At no time shall any portion of the structure be exposed to the elements if it can be avoided.
- G14. Placement of dumpster and building materials shall be approved by Owner prior to placement.
- G15. Contractor shall provide a portable toilet for use of workers. Placement of portable toilet shall be approved by Owner prior to placement.
- G16. Contractor shall coordinate with Owner and Architect in establishing a work schedule and phasing plan that is practical and reasonable for all parties. Such schedule shall be subject to Owner's approval prior to implementation.

SITE

S11. Finish grade shall pitch away from the building so that all surface water flows away from it. Excess fill shall be distributed on site and graded. Contractor shall consult Architect and Owner to determine actual location and grading. If other water remediation measures are required by Municipality, Contractor shall conform to all such requirements, and to approved site plan.

FOUNDATION/ MASONRY

- F1. Footings under foundation walls and exterior deck footings shall extend a minimum of 3'-6" below finished grade. All footings shall rest on undisturbed soil of suitable bearing material at whatever depth found. Foundation walls shall be concrete block and shall be filled solid with concrete around reinforcing bars and under all bearing points. Top course of block shall be filled solid with concrete and 5/8" diameter anchor bolts shall be placed @ 4'-0" o.c. and at corners. Block walls shall receive cement parging at the exterior). Foundation damp-proofing shall be applied as required (see building section).
- F3. Concrete: transit mix or machine mix on the job shall be stone concrete developing a strength of at least 3500 psi in 28 days (foundation walls and footings) and at least 3500 psi in 28 days (slab).
- F4. Concrete slabs shall be 10" thick (unless otherwise noted) and reinforced with 6 x 6 - W1.4 x W1.4 W.W.F. over 6 mil poly vapor barrier over 6" compacted gravel (minimum).
- F5. Footing drains shall be provided where required and appropriate. They shall be laid in approved manner and protected at top with building paper.

STRUCTURAL

- S1. All structural lumber shall have the following minimal stress: fb 1500 psi and E 1,700,000 psi and shall be #1 grade Douglas Fir or approved equal.
- S2. Headers over all doors, windows, and other openings under 6'-0" shall be (2) 2" x 10"s (at 4" exterior walls and interior partitions) - unless otherwise noted. Headers over openings 6'-0" and larger shall be (2) 2" x 12"s with (1) 1/2" x 11 1/4" plywood flitch plate (at 4" exterior walls and interior partitions) - unless otherwise noted.
- S3. Roof sheathing shall be 5/8" exterior grade plywood - unless otherwise noted.
- S4. Exterior walls shall be 2" x 4" 22-gauge lightweight steel framing (unless otherwise noted). Interior partitions shall be 2" x 4" 22-gauge lightweight steel framing (unless otherwise noted). Studs shall be placed at 16" on center (unless otherwise noted) and receive blocking at mid-height as required. All partitions shall receive blocking at mid-height.
- S5. All sill plates in contact with concrete or masonry walls, slabs, etc., shall be pressure treated lumber (unless otherwise noted). Sill seal shall be Owens Corning Sill Sealer (or approved equal). Termite shield shall be installed where required by site conditions and building code.
- S6. All exterior openings shall be properly flashed.
- S7. Drip cap shall be installed over all exterior doors and windows.
- S8. Provide weatherstrip saddle on all exterior doors.

INSULATION

- I1. All 2" x 4" exterior wall framing (inside block walls) shall receive R-21 closed cell spray foam insulation; all roofs shall receive R-49 open cell spray foam insulation. All work shall meet all code requirements.

PLUMBING

- P1. All plumbing work shall be in accordance with local health department requirements and all state and local codes and shall be subject to the approval of the plumbing inspector. Plumbing work shall be provided by Contractor. All equipment shall be installed in compliance with manufacturer's instructions and specifications and shall meet all code requirements.
- P2. All pipes in unheated areas shall be properly insulated.
- P3. Contractor shall provide an electric wall-mounted on-demand water heater (30 amp, 208 volt, single phase)

ELECTRICAL

- E1. All electrical work shall conform completely to the requirements of the N.E.C. and local utility company, and all state and local codes. Ground fault interrupts, duplex receptacles, etc., shall be installed as required according to kitchen layout and code requirements (see electrical plans). Light switches and receptacles shall be standard style (Leviton or approved equal) - color shall be determined by Owner. Final locations and numbers of fixtures, switches, and outlets shall be approved by Owner prior to installation. Electrical work shall be provided by Contractor. Contractor and/or electrician shall be responsible for verifying that the electrical layouts as proposed shall meet all applicable codes prior to placing of final bids and commencing of work.
- E2. Decorative surface mounted lighting shall be provided by Owner and installed by Contractor. All other fixtures shall be provided by Contractor.
- E3. Electrical meter is located in the adjacent building. Sub-panel shall be 125 Amp 3 phase - or as required.
- E4. Approved carbon monoxide detectors (hard-wired with battery backup) shall be installed per code.
- E5. Approved hard wired, interconnected smoke detectors with battery backup shall be installed per code (see electrical plans).

HEATING / VENTILATING / AIR CONDITIONING

- H1. All heating and air conditioning work shall conform completely to the requirements of the local and state building codes. The heating and air conditioning system(s) shall meet all requirements of the New York State Energy Conservation Code as they apply. All equipment shall be installed in compliance with manufacturer's instructions and specifications and shall meet all code requirements.
- H2. The HVAC system shall consist of an electric mini-split system with two 12,000 BTU Compact Ceiling Cassettes. The HVAC system shall be sized to accommodate building size and configuration and shall be zoned appropriately as per Owner's instructions. Equipment shall be high efficiency units manufactured by Fujitsu or approved equal.

EXTERIOR FINISHES

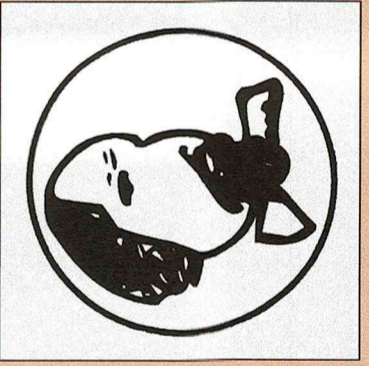
- EF1. Exterior shall be exposed concrete block.
- EF2. Roofing material shall be EPDM and shall be installed per manufacturer's instructions and specification using manufacturer approved materials and methods. Flashing shall be provided as required.
- EF3. Fascia, rake, and trim boards shall be scarfed at a 45-degree angle. All fascia, rake and trim boards shall be common pine and shall be nailed using galvanized nails only and wrapped in coil.
- EF4. Exterior doors shall be 3'-0" x 6'-8" flush insulated steel entry doors. Exterior hardware shall be ADA compliant (Schlage or approved equal).

INTERIOR FINISHES

- IF1. All interior doors shall be solid core birch veneer doors - 6'-8" high unless otherwise noted. All pocket doors shall be equipped with heavy-duty track and rollers (Johnson or approved equal).
- IF2. Door lock hardware (excluding sliding doors) shall be Schlage - or approved equal.
- IF3. Interior finish (walls) shall be 5/8" type "x" fire rated sheetrock. Sheetrock shall be screwed (not nailed). Apply 3 coats of spackle, sanding between coats. Final coat shall be fine sanded in preparation for primer - unless otherwise noted. Two coats of finish paint shall be applied over one coat of primer (unless more primer is required due to surface conditions). Paint shall be Benjamin Moore or approved equal (color shall be determined by Owner). Interior finishes shall be washable and shall meet all requirements of the Rockland County Health Dept and all applicable codes.
- IF4. Ceiling shall be a suspended Class A 2' x 2' acoustical tile ceiling with aluminum grid.
- IF5. All floor areas indicated on plans shall receive an epoxy coating with a 4" sanitary cove base.

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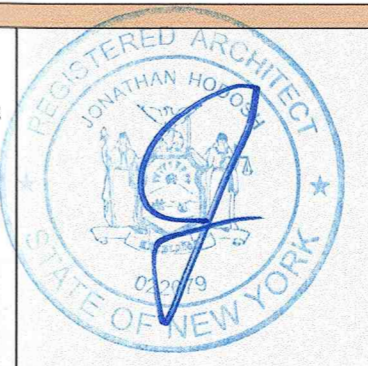


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	EXISTING CONSTRUCTION TO REMAIN		EXISTING WINDOW TO REMAIN		EXISTING DOOR TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL		PROPOSED WINDOW		PROPOSED DOOR
	PROPOSED NEW POURED CONCRETE WALL				
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION				
	PROPOSED FRAMED CONSTRUCTION				

THESE PLANS ARE NOT TO BE CONSIDERED VALID AND COMPLETE CONSTRUCTION DOCUMENTS UNLESS AND UNTIL THEY BEAR THE ARCHITECTURAL SEAL & SIGNATURE OF JONATHAN B. HODOSH.



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS

DATE	EXISTING CONDITIONS	SAB
2024-09-17	EXISTING CONDITIONS	SAB
2025-01-29	LEGALIZATION SET 1	SAB

RECEIVED

FEB 21 2025

TOWN OF ORANGETOWN
 LAND USE BOARDS



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