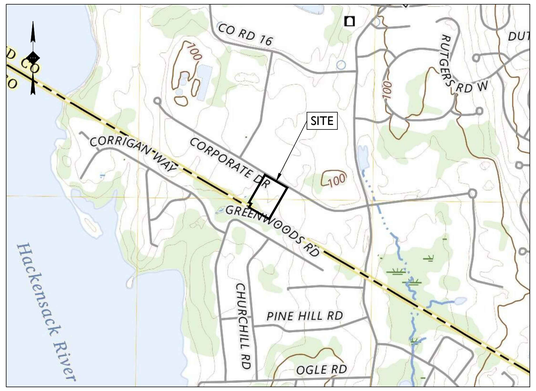
SITE PLANS

FOR

MATIV HOLDINGS, INC.

PROPOSED PARKING LOT IMPROVEMENTS

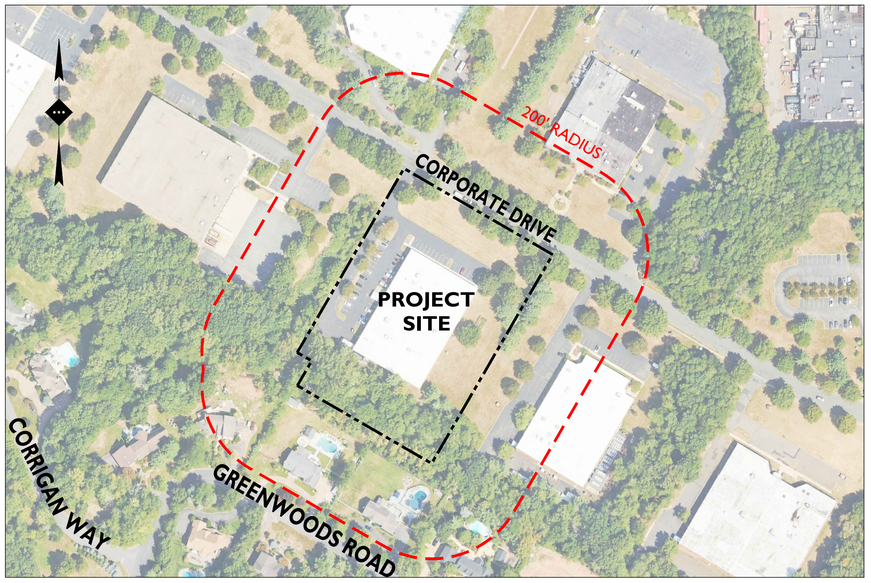
SECTION 73.19, BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



SOURCE: USGS 7.5 MINUTE QUADRANGLE MAP, NYACK, NY, DATED 2023

LOCATION MAP

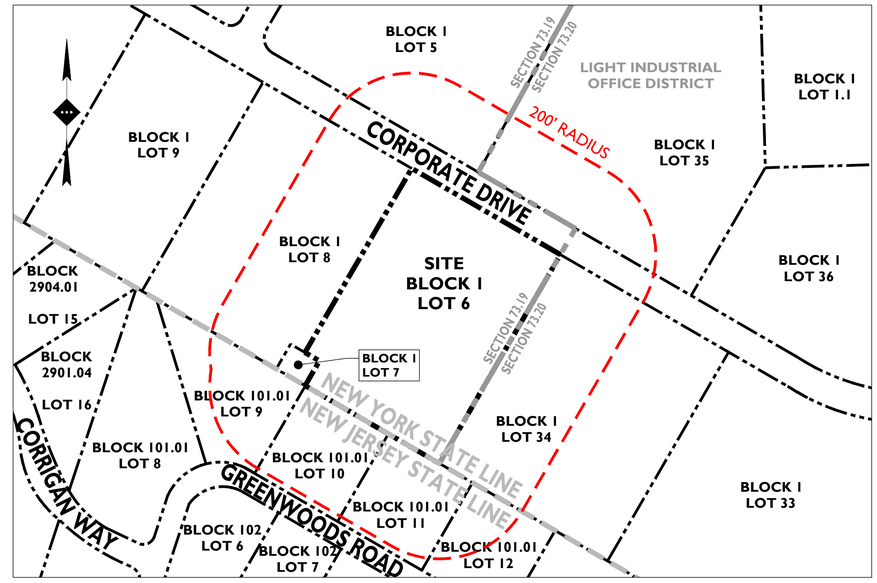
SCALE: 1" = 1000'±



SOURCE: GOOGLE EARTH SATELLITE IMAGERY, DATED 07/18/2022

AERIAL MAP

SCALE: 1" = 150'±



SOURCE: ROCKLAND COUNTY PARCEL VIEWER & NEW JERSEY OGIN VIEWER

TAX & ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:

STONEFIELD engineering & design

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Phone 718.606.8305

811 Know what's **below** **Call** before you dig.

APPLICANT

RICHARD MALLARD
MATIV HOLDINGS, INC.
25 CORPORATE DRIVE
ORANGEBURG, NY 10962
(845) 270-4672
RICHARD.MALLARD@MATIV.COM

OWNER

ORANGEBURG NY HOLDINGS LLC
141 AYERS CT. SUITE 1A
TEANECK, NJ 07666
201-308-6118
STEVEN@SOLOMONB.COM

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
   - SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, ISSUED 03/05/2024
   - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO SATELLITE IMAGERY, DATED 07/18/2022, RETRIEVED 03/29/2024
   - LOCATION MAP OBTAINED FROM USGS 7.5 MINUTE SERIES TOPO MAP, NYACK, NY, DATED 2023
   - TAX & ZONING MAPS OBTAINED FROM ROCKLAND COUNTY GIS TAX & PARCEL VIEWER AND NEW JERSEY ONLINE GEOGRAPHICAL INFORMATION NETWORK
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
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SOIL EROSION & SEDIMENT CONTROL PLAN	C-7
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LANDSCAPING DETAILS	C-9
STORM PROFILES	C-10 - C-11
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CONSTRUCTION DETAILS	C-13 - C-14

ISSUE	DATE	BY	DESCRIPTION
4	04/10/2025	JF	ISSUED FOR REVIEW
3	01/31/2025	AD	ISSUED FOR REVIEW
2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/11/2024	JF	ISSUED FOR REVIEW

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SECTION 73.19 BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CRASSIDIS · 099749 · LICENSED PROFESSIONAL ENGINEER
ZACHARY E. CRASSIDIS, P.E.
NEW YORK LICENSE # 099748
LICENSED PROFESSIONAL ENGINEER

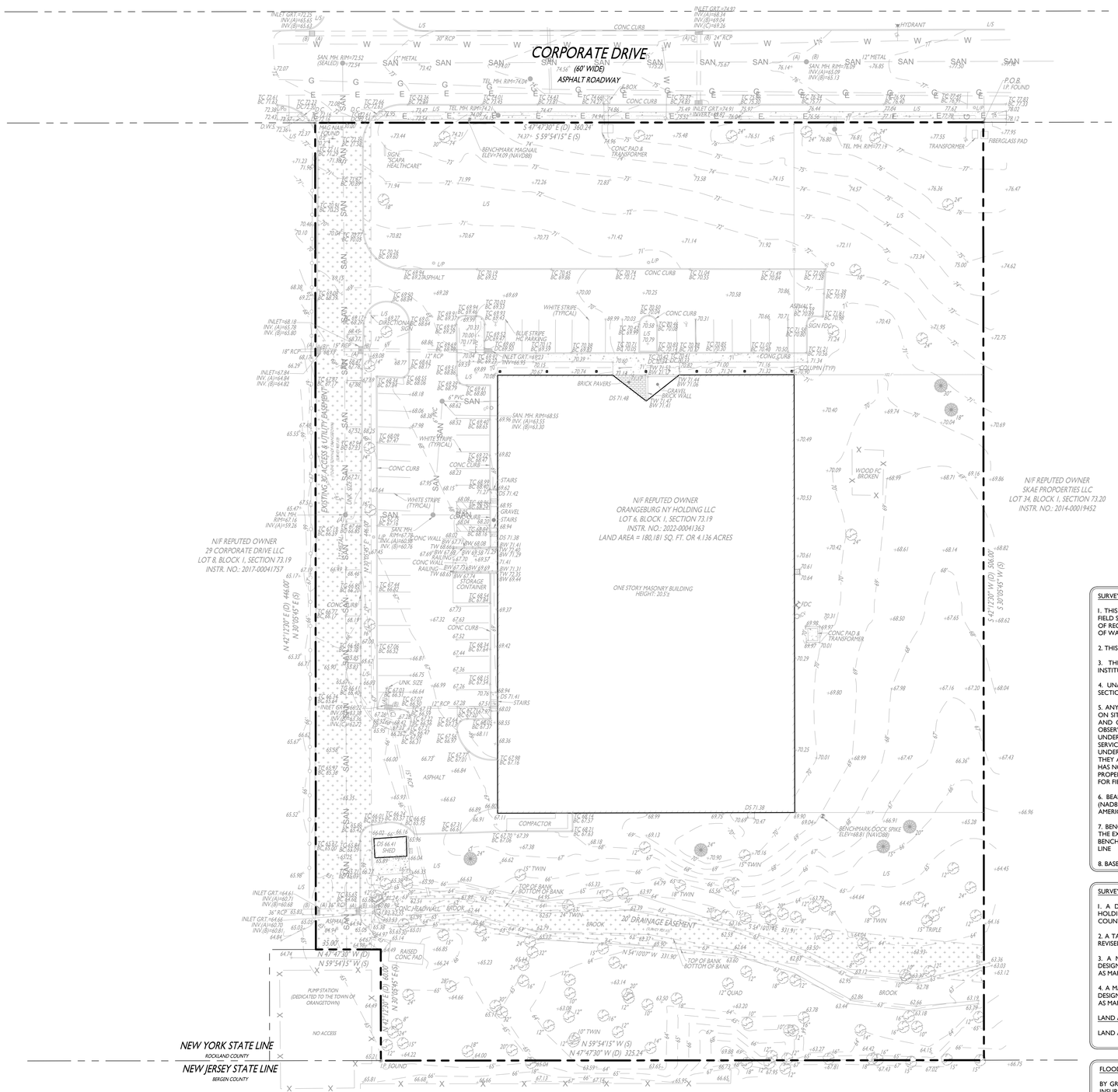
STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: NYC-230218

TITLE: COVER SHEET

DRAWING: C-1

Z:\LICNYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\COVER SHEET.DWG



SYMBOL	DESCRIPTION
	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE CURB
D.C.	DEPRESSED CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	IRON ROD HANDRAIL
	MAST ARM LIGHT POLE
	POLE
	LIGHT FIXTURE
	SIGNS
W V	WATER VALVE
G V	GAS VALVE
	INLET
	MAN HOLE
	BOLLARDS
	FIRE DEPARTMENT CONNECTION
E.P.	EDGE OF PAVEMENT
OH	OVERHEAD WIRE
G	UNDERGROUND GAS LINE
W	UNDERGROUND WATER LINE
E	UNDERGROUND ELEC LINE
100	MAJOR CONTOUR
101	MINOR CONTOUR
× 100.00	GRADE SPOT SHOT
× TC 100.50	TOP OF CURB SHOT
× BC 100.00	BOTTOM OF CURB SHOT
	HANDICAP PARKING
L/S	LANDSCAPING
G	GAS METER
A/C	AIR CONDITIONING UNIT
18"	PINE TREE - DIAMETER NOTED
C/O	CLEAN OUT
	IRON PIN
	BENCH MARK
D.W.S.	DETECTABLE WARNING STRIP

SURVEY NOTES

1. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2024, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.

2. THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.

3. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

4. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

5. ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES. STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

6. BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) EAST ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.

7. BENCHMARK = DOCK SPIKE = 68.81 (NAVD88). LOCATED NEAR THE SOUTH CORNER OF THE EXISTING BUILDING.
BENCHMARK = MAG NAIL = 74.09 (NAVD88). LOCATED ALONG THE NORTH EAST PROPERTY LINE

8. BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.

SURVEY REFERENCES

1. A DEED BETWEEN 25 CORPORATE DRIVE, LLC. (GRANTOR) AND ORANGEBURG NY HOLDINGS LLC. (GRANTEE), DATED NOVEMBER 28TH, 2022, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS INSTRUMENT #2022-00041363

2. A TAX MAP, SHEET 73.19, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE, NEW YORK, REVISED THROUGH MARCH 1, 2022.

3. A MAP ENTITLED "SUBDIVISION OF SECTION 1 OF ROCKLAND CORPORATE PARK", DESIGNED BY HENRY HOROWITZ, INC., FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5761, BOOK 103, PAGE 69, FILED ON JUNE 25, 1985.

4. A MAP ENTITLED "SUBDIVISION OF TAX LOT 26-345-18.6, ROCKLAND CORPORATE PARK", DESIGNED BY HENRY HOROWITZ, INC., FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #5832, BOOK 104, PAGE 64, FILED ON DECEMBER 17TH, 1985.

LAND AREA NOTES

LAND AREA OF LOT 6, BLOCK 1, SECTION 73.19 = 180,181 SQ. FT. OR 4.136 ACRES

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 360686, MAP NUMBER 36087C0186G WHICH BEARS AN EFFECTIVE DATE OF MARCH 3RD, 2014.

SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
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25 CORPORATE DRIVE
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ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHAVEZ · 099749 · LICENSED PROFESSIONAL ENGINEER
ZACHARY E. CHAVEZ, P.E.
NEW YORK LICENSE NO. 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

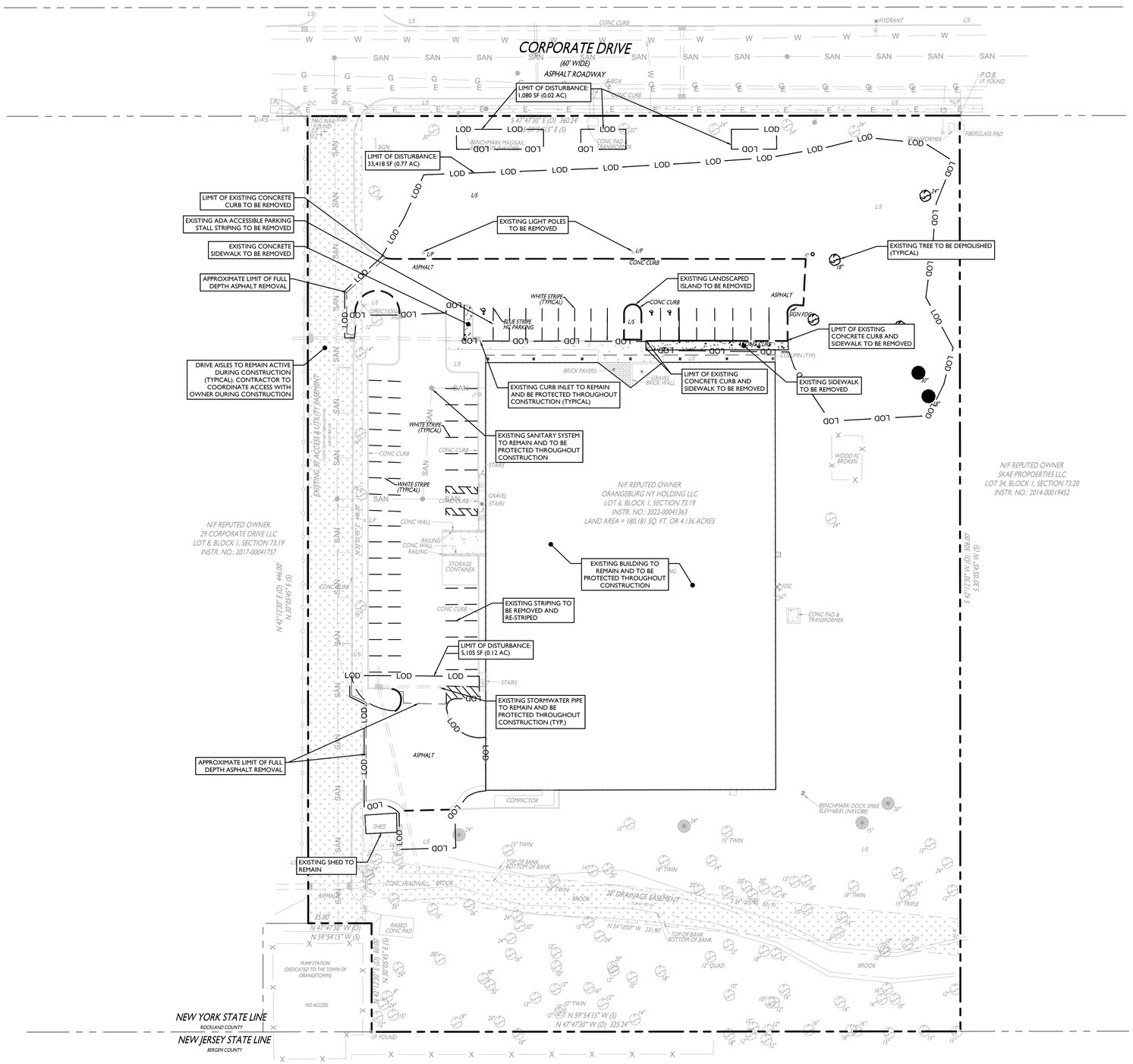
TITLE:

EXISTING CONDITIONS PLAN

DRAWING:

C-2

Z:\LOCAL\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\XXX-00-EXIST.DWG



SYMBOL	DESCRIPTION
— — — — —	FEATURE TO BE REMOVED / DEMOLISHED
LOD	LIMIT OF DISTURBANCE

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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

TOTAL AREA OF DISTURBANCE: 39,603 SF (0.91 ACRES)

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE #099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

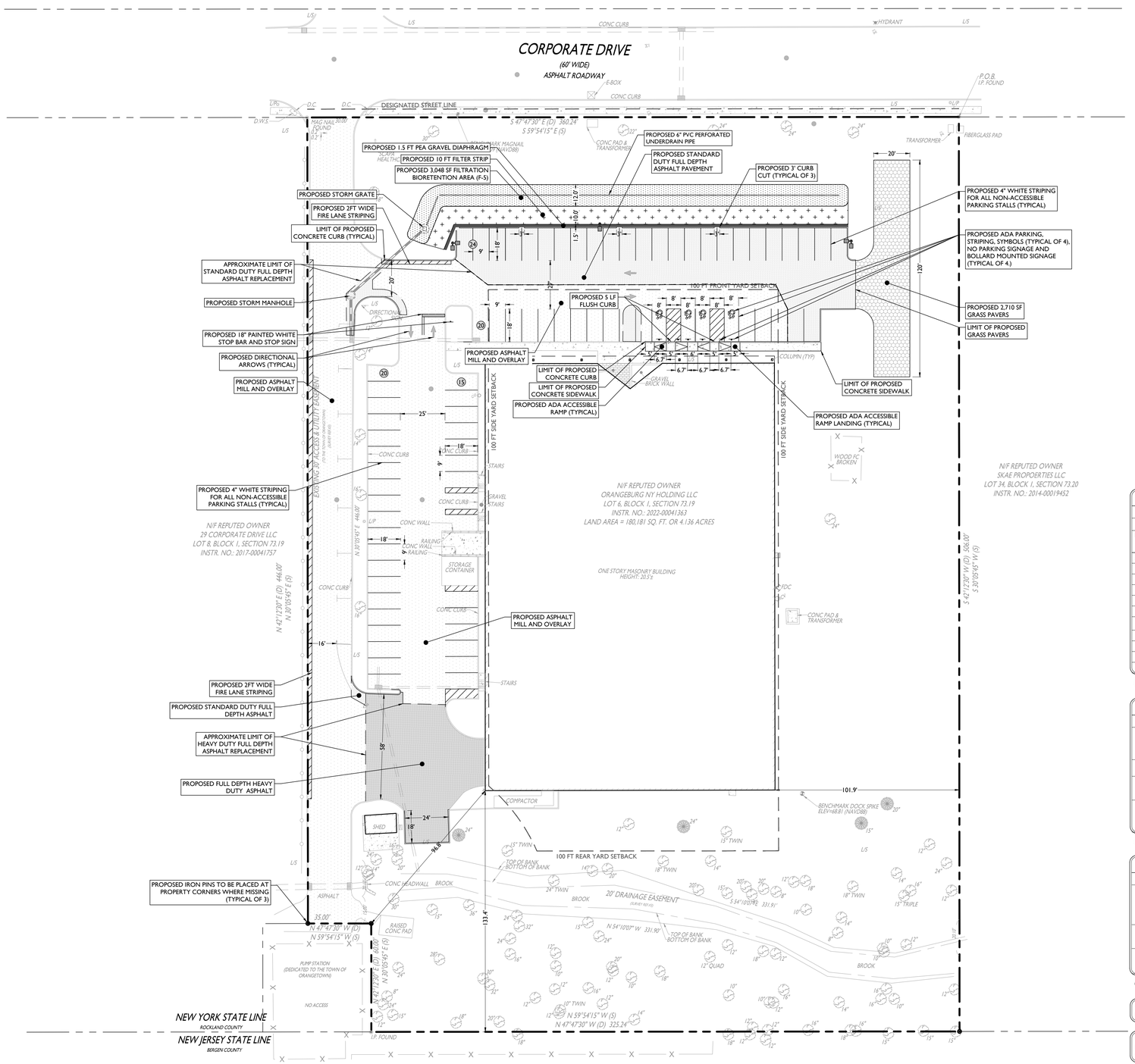
TITLE:

DEMOLITION PLAN

DRAWING:

C-3

Z:\LC\NYC\2023\NYC-230218 GREGORY BALIN, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\DOC-03-DEMO.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB
	PROPOSED DROP CURB
	PROPOSED FLUSH CURB
	PROPOSED MILL AND OVERLAY
	PROPOSED STANDARD DUTY FULL DEPTH ASPHALT
	PROPOSED HEAVY DUTY FULL DEPTH ASPHALT
	PROPOSED SAWCUT LINE
	PROPOSED SIGNS / BOLLARDS
	PROPOSED AREA LIGHT
	PROPOSED GRAVEL DIAPHRAGM
	PROPOSED GRASS FILTER STRIP
	PROPOSED FILTRATION BIORETENTION AREA (F-5)

LAND USE AND ZONING

BLOCK 1, LOT 6

LIGHT INDUSTRIAL OFFICE DISTRICT (LIO)

PROPOSED USE
RESEARCH & TESTING LAB — PERMITTED USE

ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2.00 AC	4.14 AC (180,181 SF)	NO CHANGE
MINIMUM LOT WIDTH	300 FT	360.2 FT	NO CHANGE
MINIMUM STREET FRONTAGE	150 FT	360.2 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	75%	42.9% (77,332 SF)	47.4% (85,470 SF)
MAXIMUM FLOOR AREA RATIO	0.40	0.21 (37,571 SF)	NO CHANGE
MAXIMUM BUILDING HEIGHT	$(\frac{60}{30})$ * 136' 10" = 34' 2"	<34' 2"	NO CHANGE
MINIMUM FRONT YARD SETBACK	100 FT	136.8 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (ONE)	100 FT	96.8 FT (EN)	NO CHANGE
MINIMUM SIDE YARD SETBACK (BOTH)	200 FT	198.7 FT (EN)	NO CHANGE
MINIMUM REAR YARD SETBACK	100 FT	133.4 FT	NO CHANGE

(EN) EXISTING NON-CONFORMITY

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 43 ATTACHMENT 8	REQUIRED PARKING FOR RESEARCH FACILITIES: 1 SPACE FOR EACH 2 EMPLOYEES OR 300 SQUARE FEET OF GROSS FLOOR AREA 37,571 SF / 300 SF = **126 REQUIRED SPACES**	79 SPACES (V)
§ 43.6.34	REQUIRED PARKING STALL SIZE: 9 FT X 18 FT	9 FT X 18 FT
§ 43.6.34	REQUIRED DRIVE AISLE SIZE: ANGLED PARKING: 20 FT 90 DEGREE PARKING: 22 FT	25 FT
§ 43.6.41(b)	REQUIRED LOADING BERTHS: FOR EACH 25,000 SF OF FLOOR AREA, ONE LOADING BERTH IS REQUIRED 37,731 SF / 25,000 SF = 2 REQUIRED BERTHS	2 BERTHS COMPLIES

(V) VARIANCE

SUPPLEMENTAL REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 43 ATTACHMENT 8	ALL AREAS NOT USED FOR BUILDING OR FOR ACCESSORY OFF-STREET PARKING SHALL BE SUITABLY LANDSCAPED AND MAINTAINED IN GOOD CONDITION. SCREENING SHALL BE PROVIDED IN THE MANNER REQUIRED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION, AND PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE PROPOSED SCREENING PLANS SHALL BE SUBMITTED TO AND APPROVED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION.	COMPLIES
§ 43 ATTACHMENT 8	ENTRANCES AND EXITS SHALL BE LOCATED ONLY ON A COMMERCIAL STREET, IMPROVED TO CONFORM WITH THE TOWN BOARD SPECIFICATIONS ORDINANCE, AND SHALL BE SO LOCATED AS TO DRAW A MINIMUM OF VEHICULAR TRAFFIC TO AND THROUGH RESIDENTIAL STREETS	COMPLIES
§ 43 ATTACHMENT 8	NO PARKING IS PERMITTED IN ANY REQUIRED YARD, UNLESS PERMITTED BY ANY BOARD OR TOWN AGENCY HAVING JURISDICTION. THIS PERMISSION MAY BE GIVEN AT THE TIME OF SITE REVIEW, OR AT THE TIME OF THE APPROVAL OF A COMMERCIAL SUBDIVISION OR CONDITIONAL USE APPROVAL.	DOES NOT COMPLY (V)

(V) VARIANCE

SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS

IMPERVIOUS COVERAGE IS INCREASING BY 8,138 SF

TOTAL AREA OF DISTURBANCE: 39,603 SF (0.91 ACRES)

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK BEING DONE ON OR NEAR THE ANY OF THE EXISTING OR PROPOSED SANITARY SEWER IMPROVEMENTS AND OR THE PROPOSED SANITARY BUILDING CONNECTION

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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LICENSED PROFESSIONAL ENGINEER

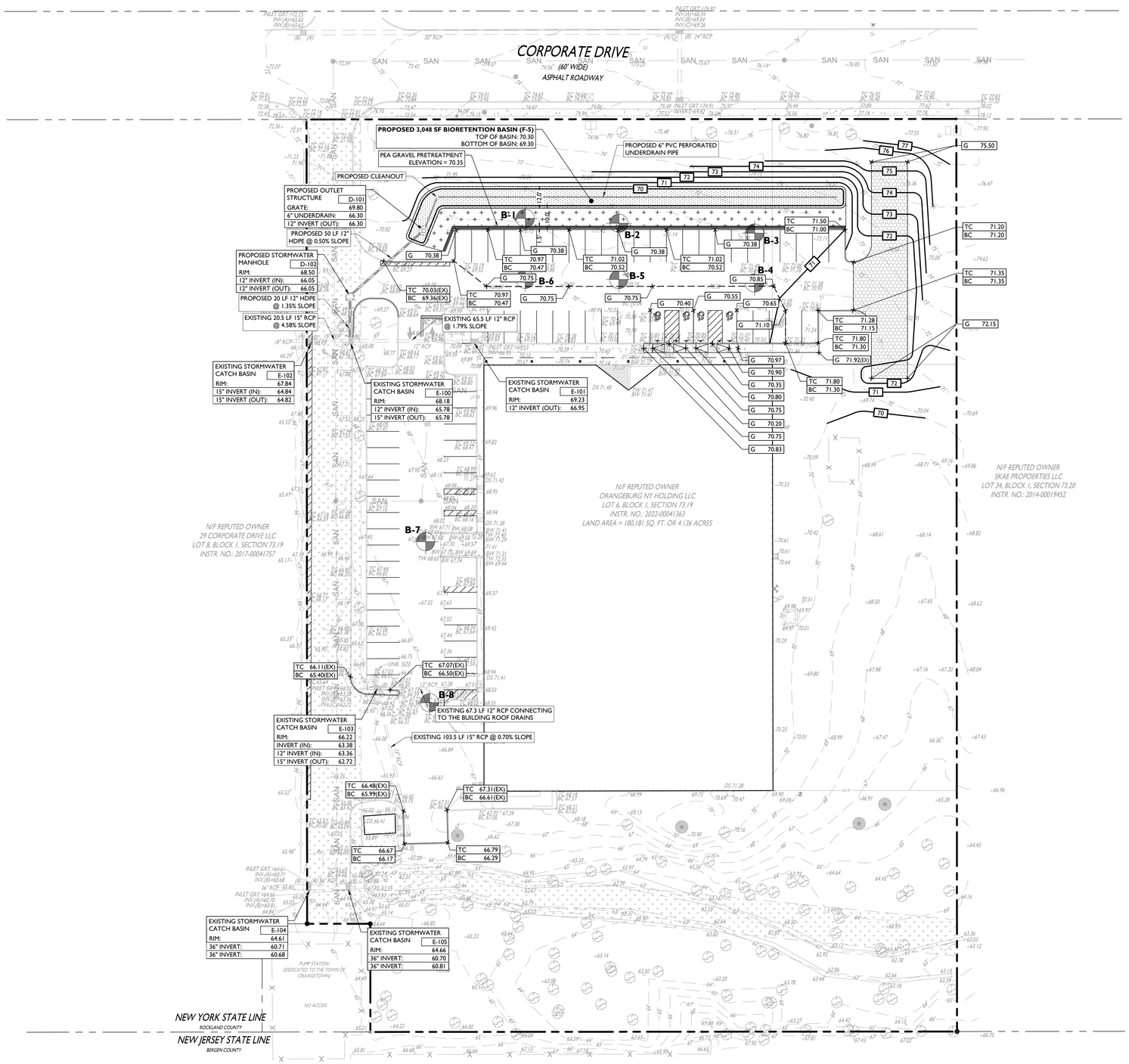
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

TITLE: SITE PLAN

DRAWING: C-4

Z:\LC\NYC\230218\NYC-230218 GREGORY PAULIN, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\SDP-04-SITE.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
G 100.00	PROPOSED GRADE SPOT SHOT
TC 100.50 / BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED GRAVEL DIAPHRAGM
	PROPOSED GRASS FILTER STRIP
	PROPOSED FILTRATION BIORETENTION AREA (F-5)
B-#	BORING LOCATION

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.

TOTAL AREA OF DISTURBANCE: 32,936 SF (0.76 ACRES)

LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	04/10/2025	JF	ISSUED FOR REVIEW
3	01/31/2025	AD	ISSUED FOR REVIEW
2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/11/2024	JF	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

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SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19 BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHAPIN · 099749 · LICENSED PROFESSIONAL ENGINEER
ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE #099748
LICENSED PROFESSIONAL ENGINEER

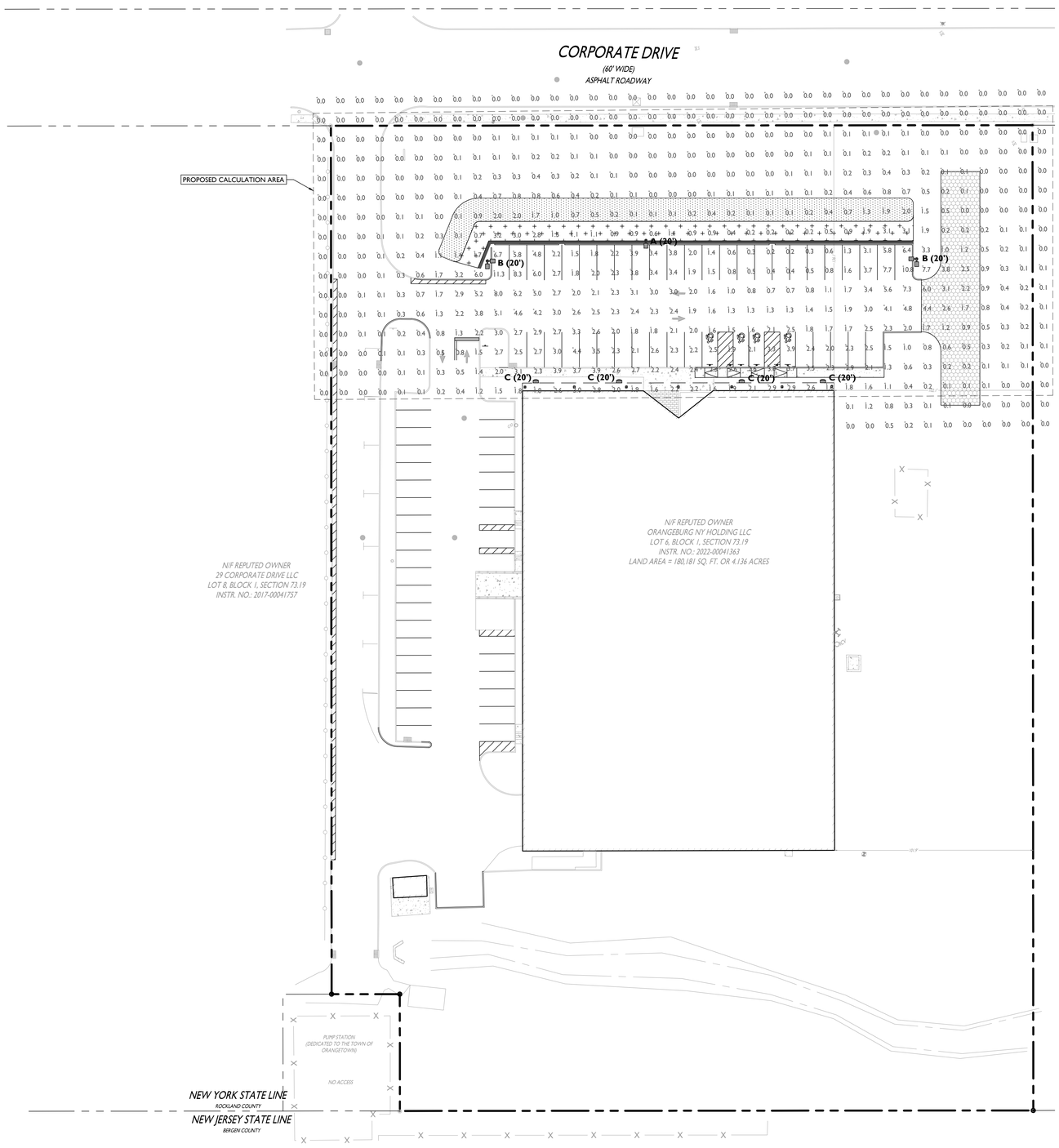
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

TITLE: GRADING & DRAINAGE PLAN

DRAWING: C-5

ZL:\CAD\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\XXX.DE-GRADING



SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

PROPOSED LUMINAIRE SCHEDULE

SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	EVOLVE LED AREA LIGHT (EACL)	ASYMMETRIC FORWARD THROW (TYPE IV)	0.9	GE CURRENT	EACL01_D4AF740_____-ELS-EAC-RBL-BLCK.IES
	B	2	EVOLVE LED AREA LIGHT (EACL)	ASYMMETRIC WIDE THROW (TYPE IV)	0.9	GE CURRENT	EACL01_D3AW740_____-ELS-EAC-ABL-BLCK.IES
	C	4	CREE EDGE WALL MOUNTED LIGHT	TYPE IV	0.9	CREE	SEC-EDG-4M-___-8-E-UL-350-40K-CONFIGURED.IES

GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
   - LIGHT EMITTING DIODES (LED): 0.90
   - HIGH PRESSURE SODIUM: 0.72
   - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
29 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHARLES · 099748 · LICENSED PROFESSIONAL ENGINEER
ZACHARY E. CHARLES, P.E.
NEW YORK LICENSE #099748
LICENSED PROFESSIONAL ENGINEER

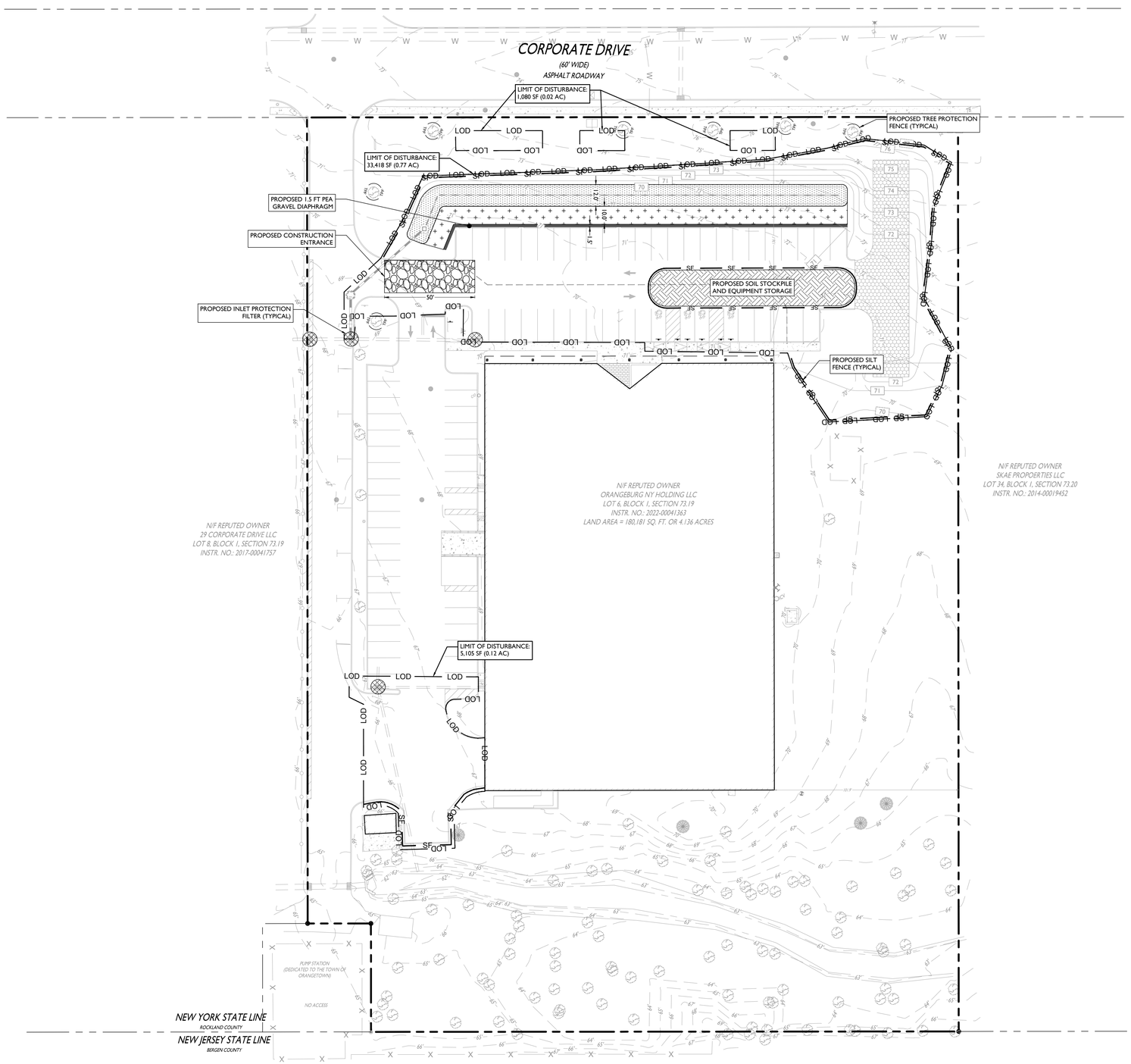
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

TITLE: LIGHTING PLAN

DRAWING: C-6

Z:\LC\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 29 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\C006-06-LIGHT.DWG



SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
LOD	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TPF	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER
	PROPOSED GRAVEL DIAPHRAGM
	PROPOSED GRASS FILTER STRIP
	PROPOSED FILTRATION BIORETENTION AREA (F-5)

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

TOTAL AREA OF DISTURBANCE: 39,603 SF (0.91 ACRES)

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHASSIN · 099748 · LICENSED PROFESSIONAL ENGINEER

ZACHARY E. CHASSIN, P.E.
NEW YORK LICENSE # 099748
LICENSED PROFESSIONAL ENGINEER

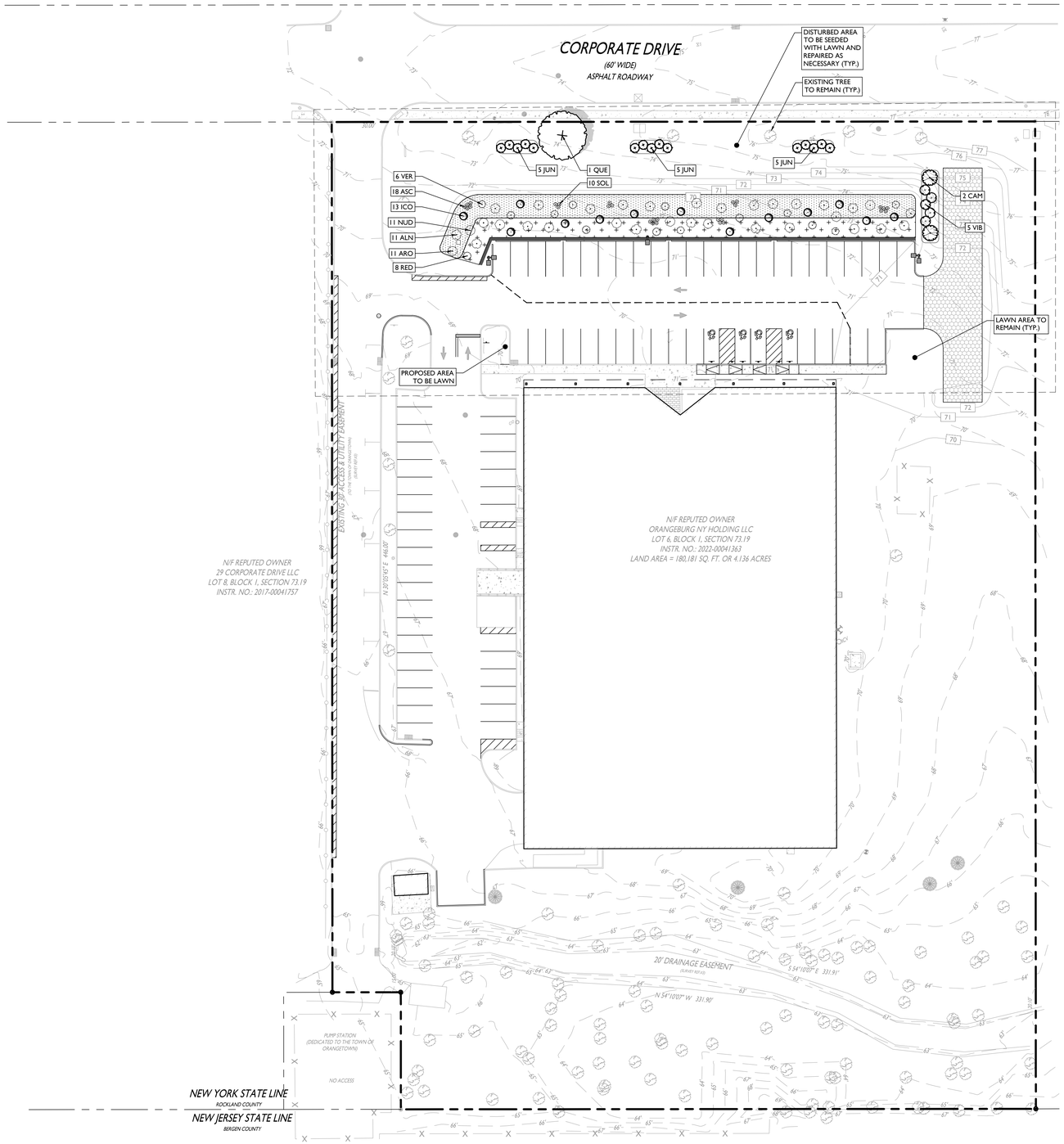
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:
C-7

Z:\LC\NYC\2023\NYC-230218 GREGORY PALIN, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\C100C-07 SESC.DWG



SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	PROPOSED GRAVEL DIAPHRAGM
	PROPOSED GRASS FILTER STRIP
	PROPOSED FILTRATION BIORETENTION AREA (F-5)

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	QUE	1	QUERCUS PALUSTRIS	PIN OAK	2.5" - 3" CAL	B&B
SHRUBS						
	ARO	11	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	18" - 24"	POT
	ALN	11	CLETHRA ALNIFOLIA	SUMMERSWEET	18" - 24"	POT
	CAM	2	CORNUS AMOMUM	SILKY DOGWOOD	18" - 24"	POT
	VER	6	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	18" - 24"	POT
	RED	8	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT
	VIB	5	VIBURNUM DENTATUM	VIBURNUM	18" - 24"	POT
	NUD	11	VIBURNUM NUDUM	POSSUMHAW	18" - 24"	POT
EVERGREEN SHRUBS						
	ICO	13	ILEX GLABRA `COMPACTA`	COMPACT INKBERRY	18" - 24"	POT
	JUN	15	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" - 24"	POT
PERENNIALS						
	ASC	18	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL.	POT
	SOL	10	SOLIDAGO CAESIA	WREATH GOLDENROD	1 GAL.	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

TOTAL AREA OF DISTURBANCE: 32,936 SF (0.76 ACRES)

811 Know what's **below** **Call** before you dig.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH .
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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MATIV HOLDINGS INC.

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HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHAPIN · 099748 · LICENSED PROFESSIONAL ENGINEER

ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE NO. 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: NYC-230218

TITLE:

LANDSCAPING PLAN

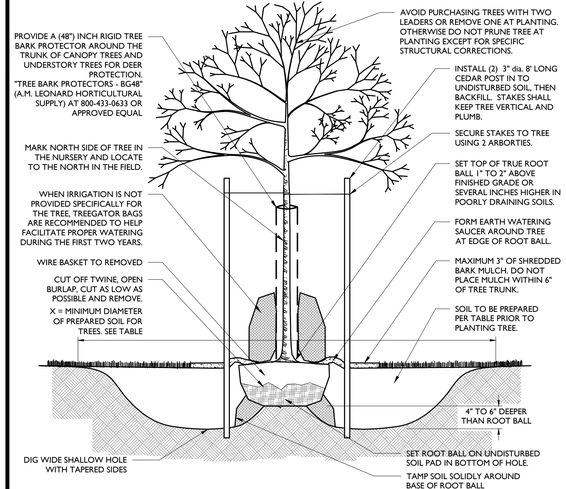
DRAWING:

C-8

Z:\ACTIVE\C\230218\NYC\230218.GREGORY PAULIN, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\C008-08-PB-LANDSCAPE.DWG

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



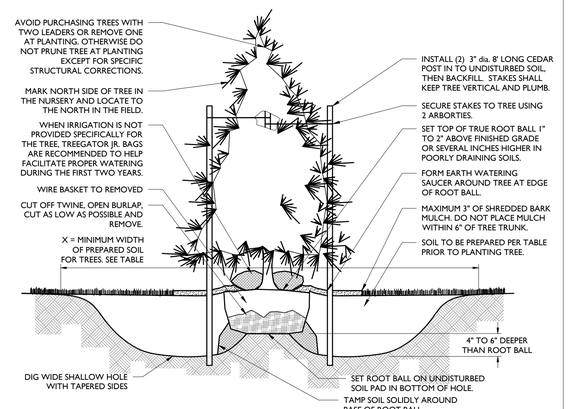
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

1

NOTES:

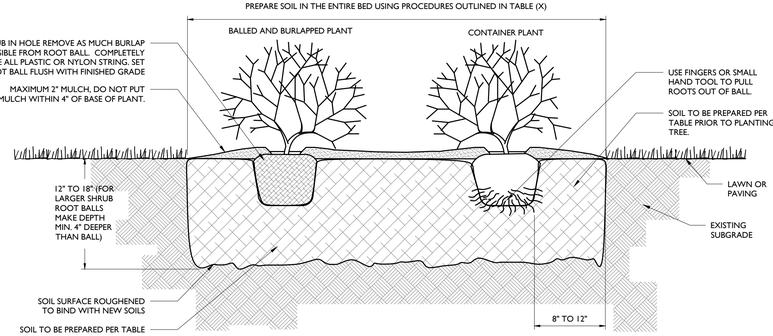
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

2



NOTES:

1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL

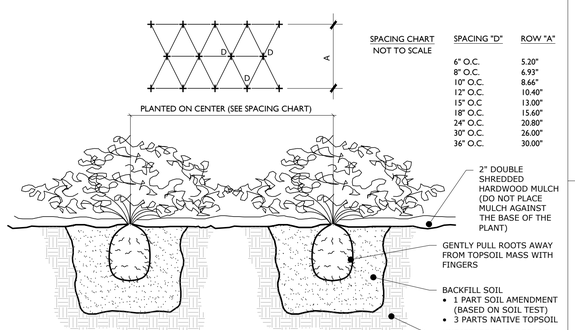
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

3

NOTES:

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILDS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



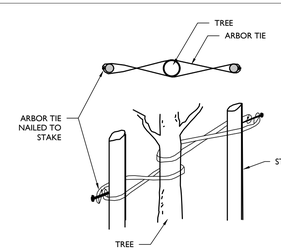
SPACING CHART
NOT TO SCALE

SPACING "D"	ROW "A"
6" O.C.	5.20"
8" O.C.	6.93"
10" O.C.	8.66"
12" O.C.	10.40"
15" O.C.	13.00"
18" O.C.	15.60"
24" O.C.	20.80"
30" O.C.	26.00"
36" O.C.	30.00"

GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

4



INSTALLATION GUIDELINES:

1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
3. FOLD ENDS OF ARBORTIE BACK. SECURE TO STAKES WITH 1" GALVANIZED ROOFING NAIL OR USE A KNOT.
4. CONSULT LANDSCAPE ARCHITECT FOR STAKING OF TREES LARGER THAN 6".
5. SOURCES INCLUDE:
   GEMPLERS 1-800-332-6744 or GEMPLERS.COM
   CSP OUTDOORS 1-800-592-6940 or CSPOUTDOORS.COM

ARBORTIE DETAIL

NOT TO SCALE

5

GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
   - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
   - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
   - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
- MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

IRRIGATION DURING ESTABLISHMENT

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4 >" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

TABLE NOTES:

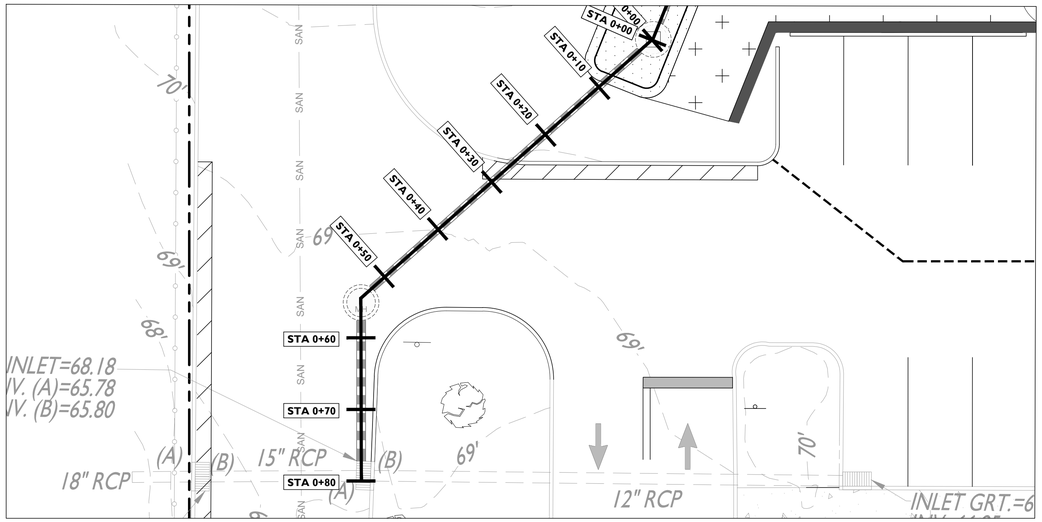
1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

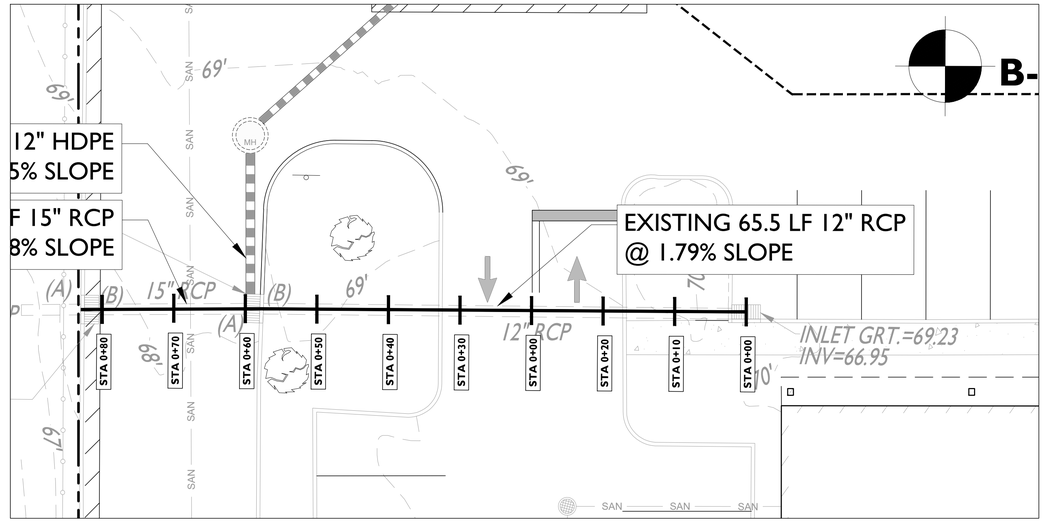
3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIMES AND COVERED WITH MOISTENED MULCH OR ALGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
    PLANTS



STORM STATIONING PLAN



EXISTING STORM STATIONING

GRAPHIC SCALE IN FEET
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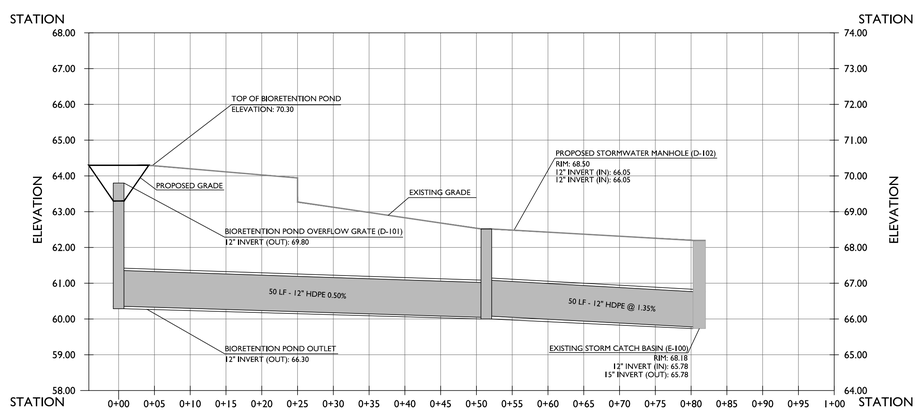

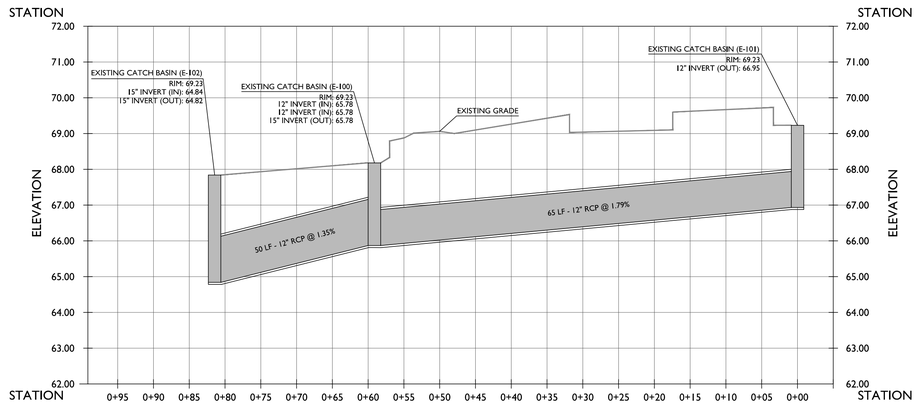

VERTICAL SCALE:

GRAPHIC SCALE IN FEET
1"=2'

HORIZONTAL SCALE:

GRAPHIC SCALE IN FEET
1" = 10'

ISSUE	DATE	BY	DESCRIPTION
3	04/07/2025	JF	ISSUED FOR REVIEW
2	01/31/2025	AD	ISSUED FOR REVIEW
1	12/02/2024	JZ	ISSUED FOR REVIEW

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SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.10 BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CRAVEN · 099748 · LICENSED PROFESSIONAL ENGINEER

ZACHARY E. CRAVEN, P.E.
NEW YORK 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: NYC-230218

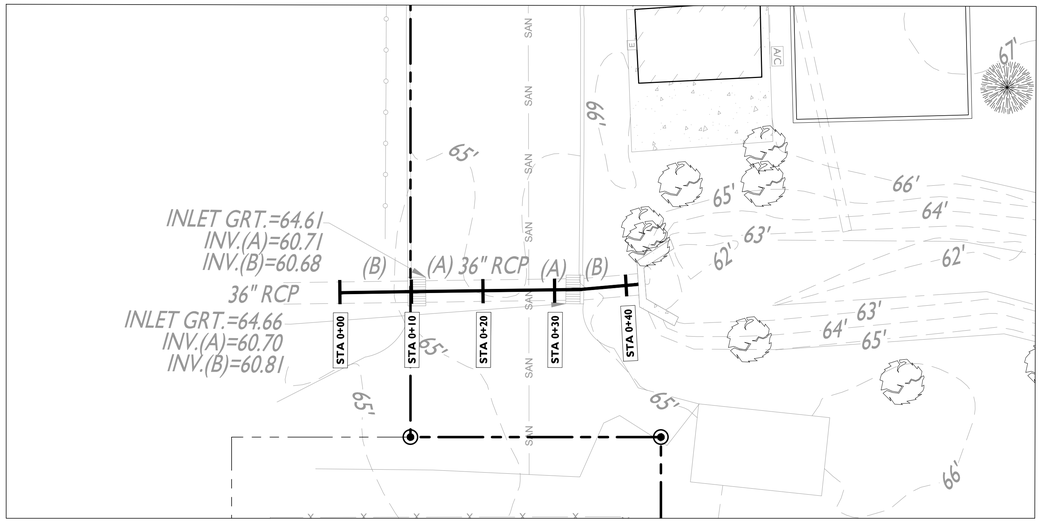
TITLE:

STORM PROFILE

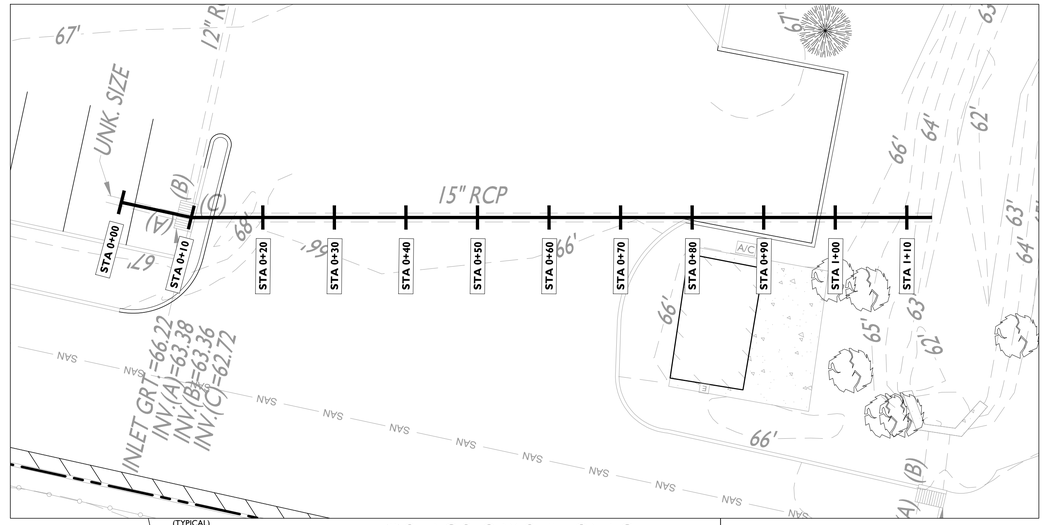
DRAWING:

C-10

Z:\LC\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\SHEETS\2024-11-15_PROP STORM.DWG



EXISTING STORM STATIONING

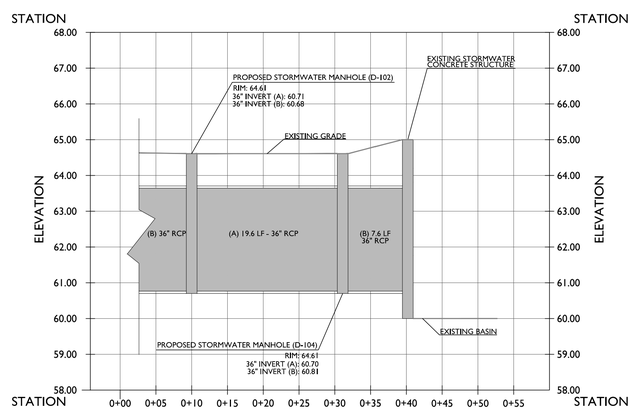


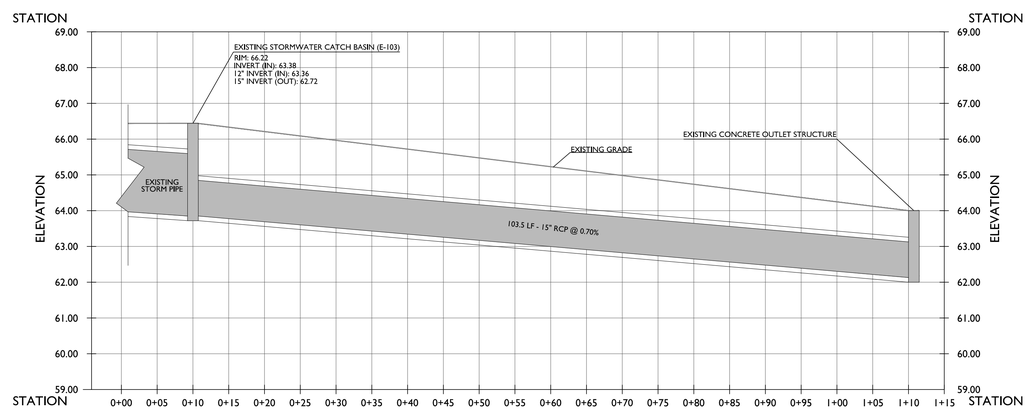
(TYPICAL)
40 MIL HDPE GEOMEMBRANE SURROUNDING SYSTEM (TYPICAL)

EXISTING STORM STATIONING

OBSERVED GROUNDWATER ACTUAL ESTIMATE EL.64.52

GRAPHIC SCALE IN FEET
1"=10'





VERTICAL SCALE:

GRAPHIC SCALE IN FEET
1"=2'

HORIZONTAL SCALE:

GRAPHIC SCALE IN FEET
1" = 10'

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STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: NYC-230218

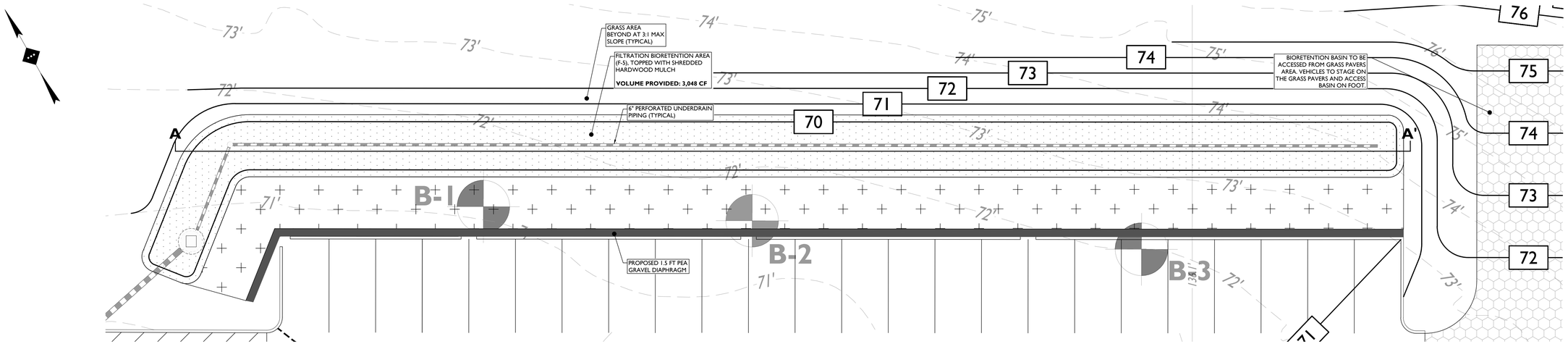
TITLE:

STORM PROFILE

DRAWING:

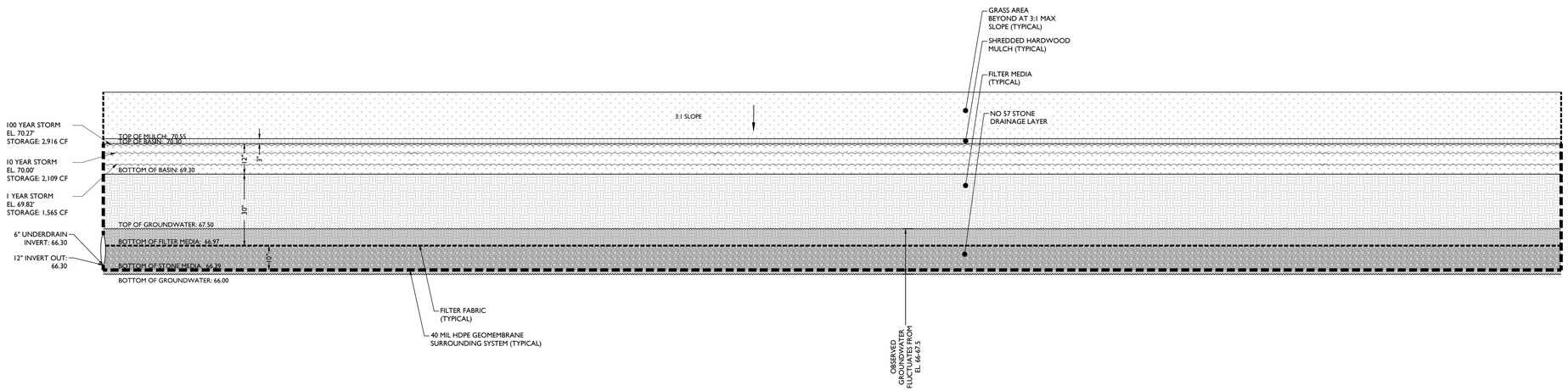
C-11

Z:\LC\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\SHEETS\2024-11-15_PROF STORM.DWG



BIORETENTION PLAN VIEW

10' 0' 10' 20'
GRAPHIC SCALE IN FEET
1"=10'



BIORETENTION SECTION VIEW

SYMBOL	DESCRIPTION
	PROPOSED 40 MIL HDPE GEOMEMBRANE
	PROPOSED FILTER FABRIC
	PROPOSED GRASS AREA
	PROPOSED MULCH AREA
	PROPOSED FILTER MEDIA
	PROPOSED NO 57 STONE
	OBSERVED GROUNDWATER

10' 0' 10' 20'
GRAPHIC SCALE IN FEET
1" = 10'

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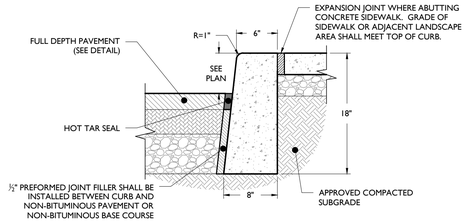
SCALE: 1" = 20' | PROJECT ID: NYC-230218

TITLE: STORM SECTION

DRAWING: C-12

Z:\LC\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\DWG\TS\2024-11-15_PROP STORM.DWG

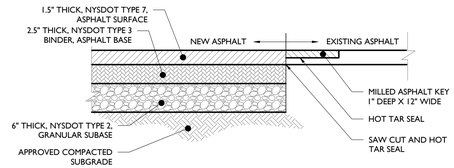


CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ½" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

1

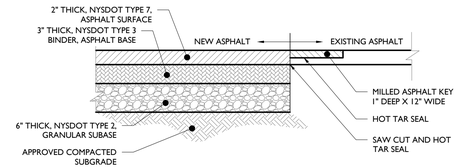


STANDARD DUTY FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

2



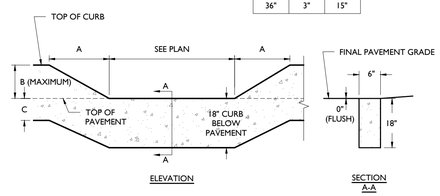
HEAVY DUTY FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

3

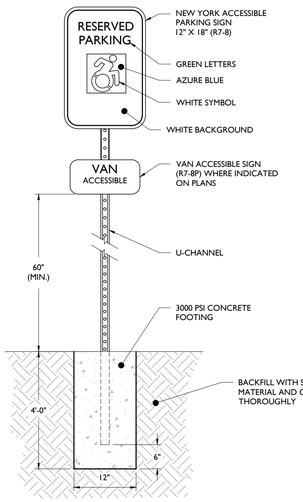
FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"



FLUSH CURB DETAIL

NOT TO SCALE

4



ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

5

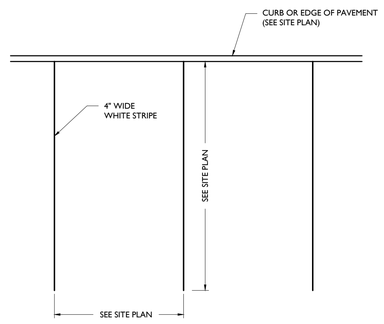
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	WHITE	RED	36"x36"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

NOT TO SCALE

6

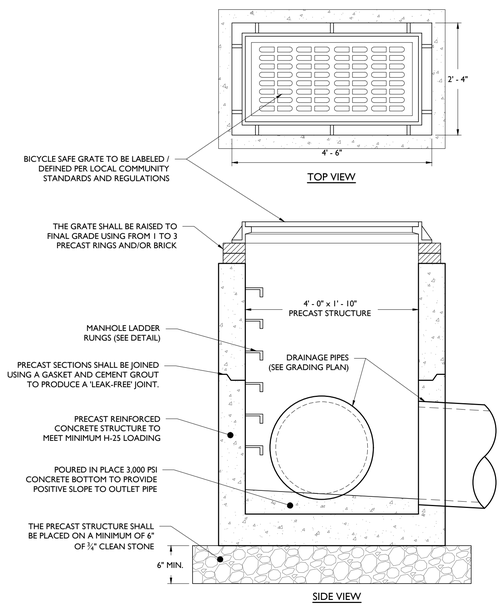


PARKING STALL MARKINGS

NOT TO SCALE

7

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



STORM INLET DETAIL (D-101)

NOT TO SCALE

8

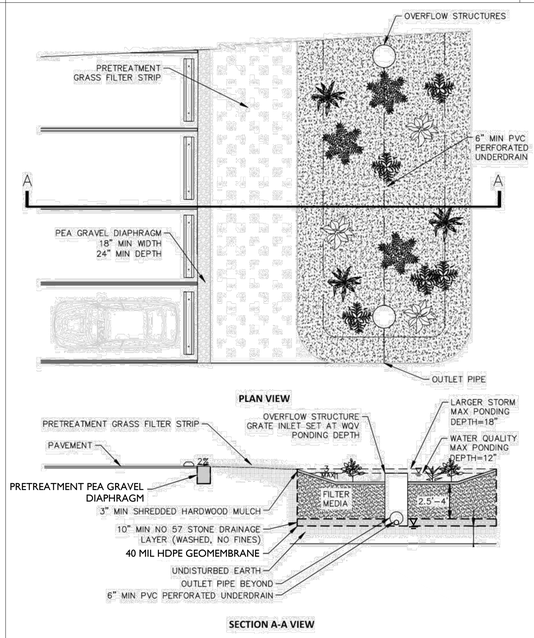
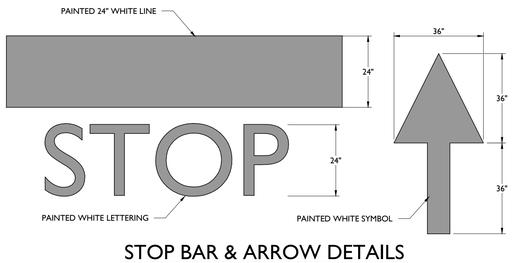


Figure 6.20 Filtration Bioretention (F-5)

FILTRATION BIORETENTION BASIN (F-5)

NOT TO SCALE

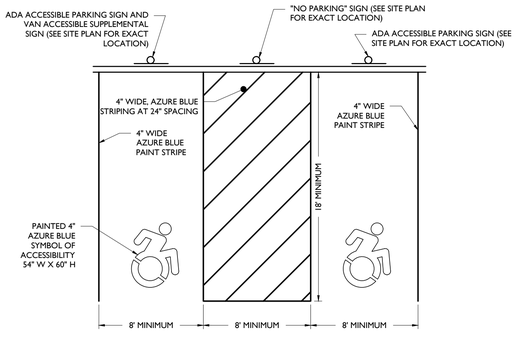
9



STOP BAR & ARROW DETAILS

NOT TO SCALE

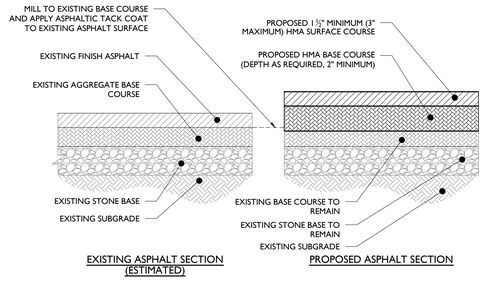
10



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

11

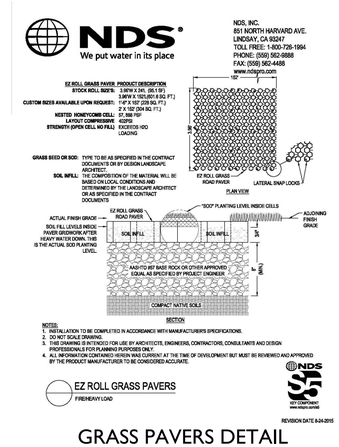


PAVEMENT MILLING & OVERLAY DETAIL WHEN GRADE CHANGE EXCEEDS 3" (FILL)

NOT TO SCALE

USE FOR GRADE CHANGE > 3" FILL.

12



GRASS PAVERS DETAIL

NOT TO SCALE

13

ISSUE	DATE	BY	DESCRIPTION
4	04/10/2025	JF	ISSUED FOR REVIEW
3	01/31/2025	AD	ISSUED FOR REVIEW
2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/11/2024	JF	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

STATE OF NEW YORK · ZACHARY E. CHAFFEE · 099748 · LICENSED PROFESSIONAL ENGINEER

ZACHARY E. CHAFFEE, P.E.
NEW YORK LICENSE # 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

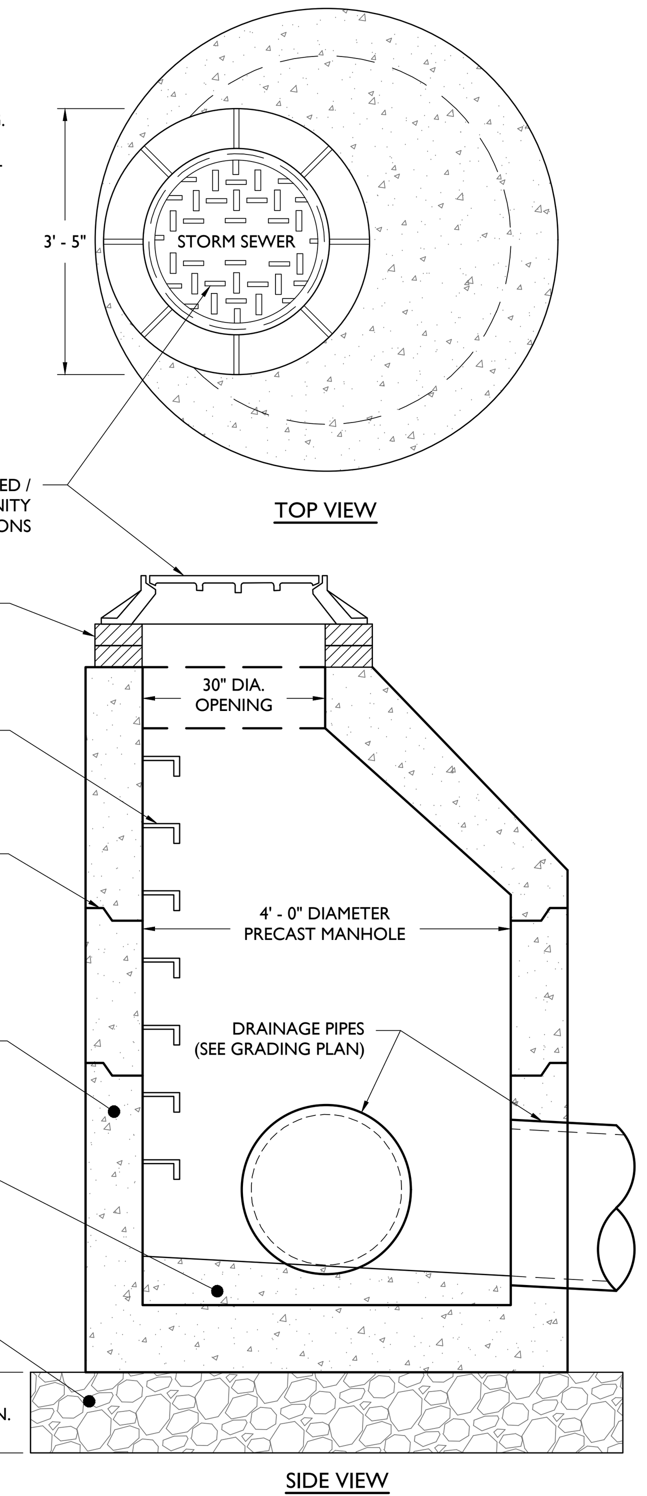
SCALE: AS SHOWN | PROJECT ID: NYC-230218

TITLE: CONSTRUCTION DETAILS

DRAWING: C-13

Z:\LCI\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\C00-01-11-DETL.DWG

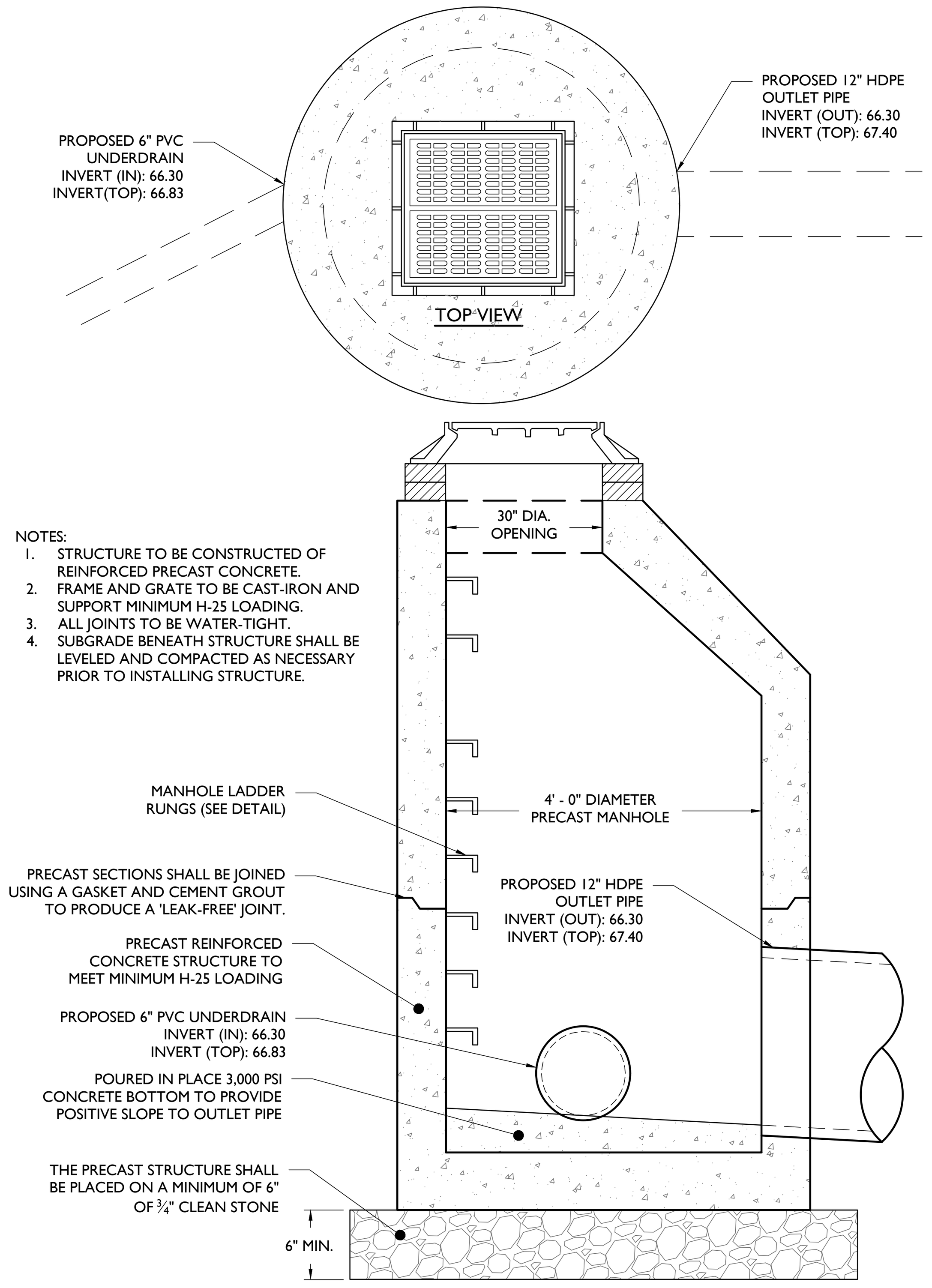
NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



STORM MANHOLE DETAIL (D-102)

NOT TO SCALE

1

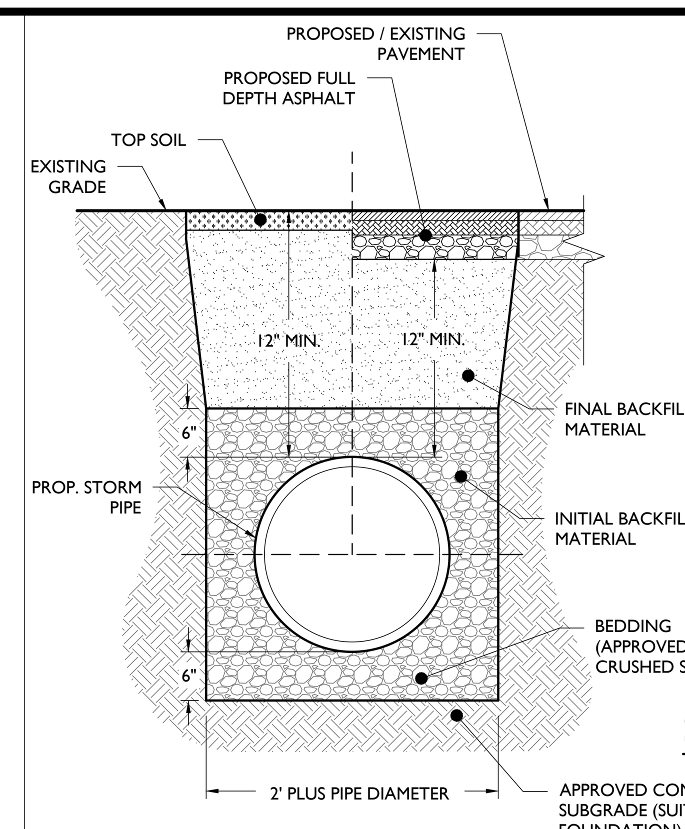


NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

PROPOSED OUTLET STRUCTURE (D-101) DETAIL

NOT TO SCALE

2

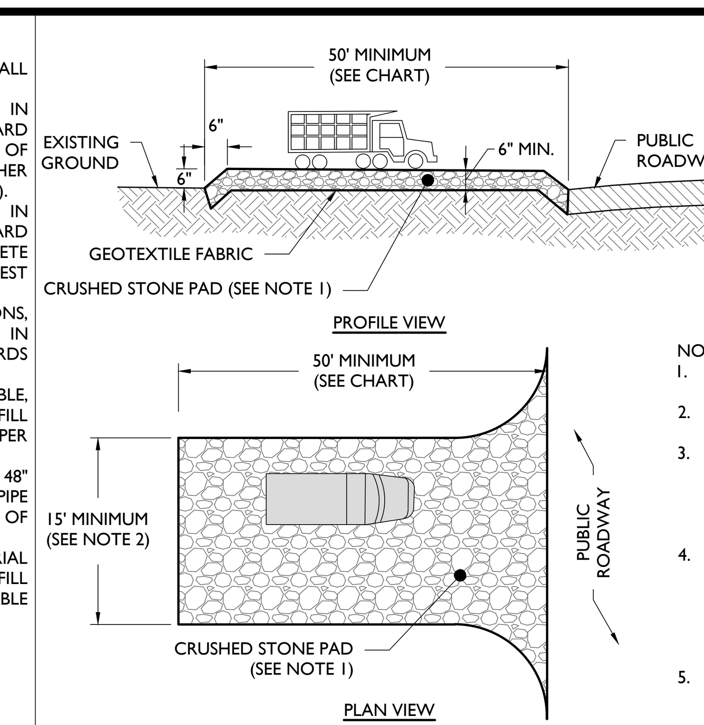


NOTES:
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

STORM TRENCH DETAIL

NOT TO SCALE

3



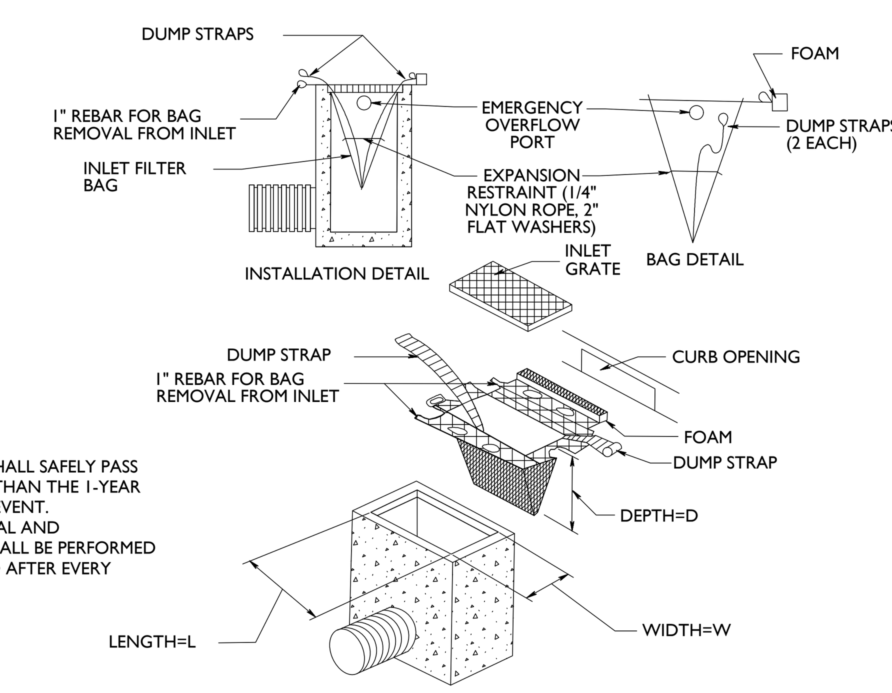
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

4

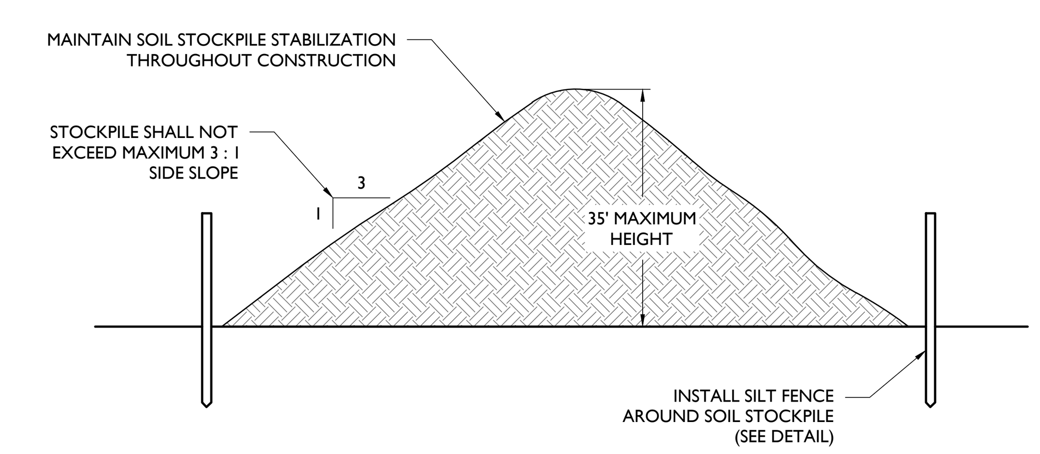


NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

NOT TO SCALE

5

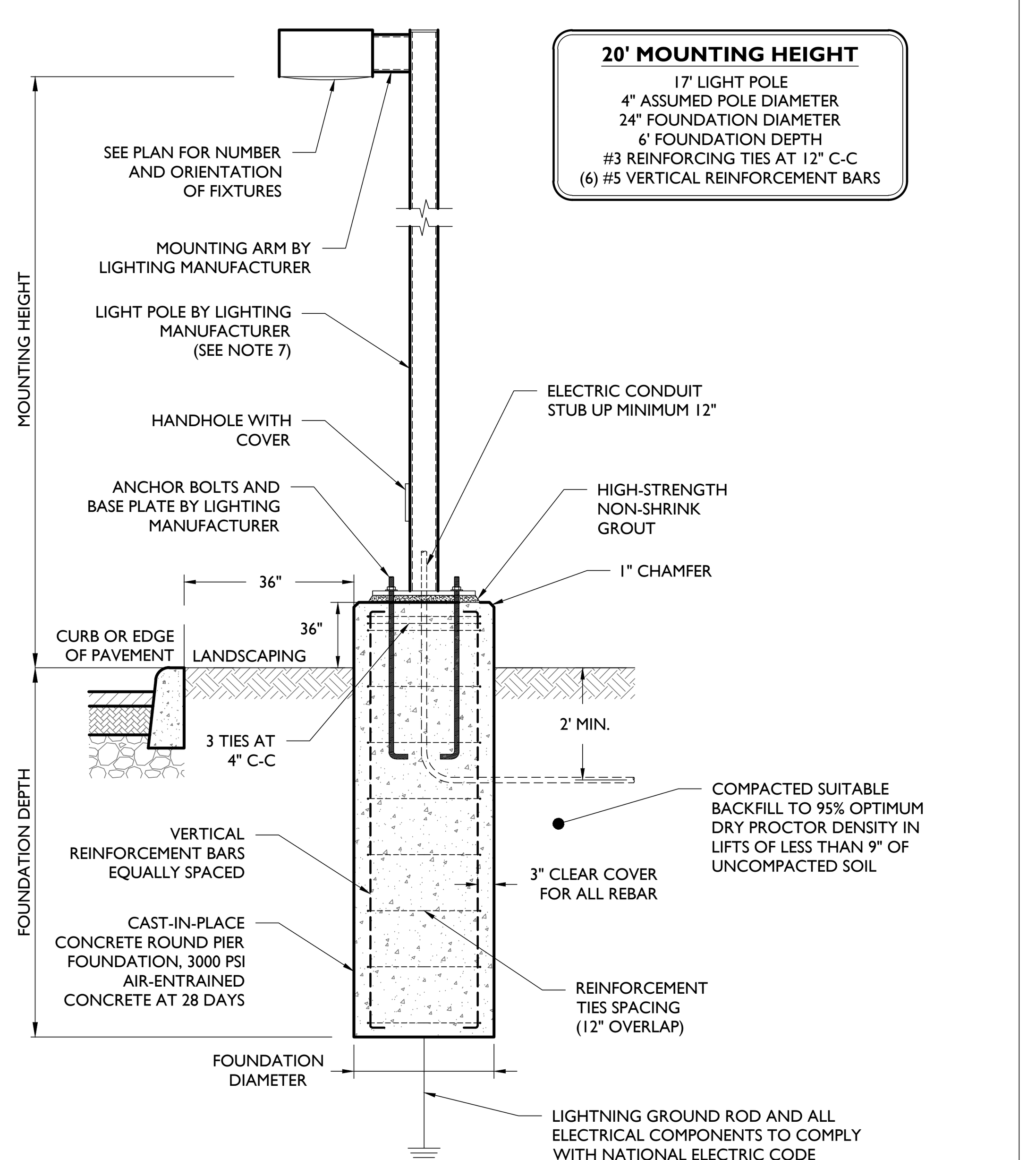


NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

6



20' MOUNTING HEIGHT
17' LIGHT POLE
4" ASSUMED POLE DIAMETER
24" FOUNDATION DIAMETER
6' FOUNDATION DEPTH
#3 REINFORCING TIES AT 12" C-C
(6) #5 VERTICAL REINFORCEMENT BARS

LIGHT POLE INSTALLATION DETAIL

NOT TO SCALE

NOTES:
1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

7

Evolve® LED Area Light
Compact Low Wattage (EACL)
Catalog Logic

Project Name
Date Type
Notes

EACL 01 7

PROD. ID	GEN	VOLTAGE	OPTIC CODE	DISTRIBUTION	CRI (min)	CCT	DIMMING[2]	CONTROLS	MOUNTING ARM	COLOR	OPTIONS
E = Evolve	01	0 = 120-277[1]	Ax=3000	AF = Asymmetric Forward	7 = 70	30 = 3000K[11]	N = Dimming thru PE receptacle[12]	1 = None	C1 = Integral Slip-fitter for 1.25"- 2" Pipe (1.66in. OD - 2.378 in. OD)[4]	GRAY = Gray	F = Fusing
AC = Compact Area Light		H = 347-480[1]	Bx=5000	AW = Asymmetric Wide		40 = 4000K	D = External Dimming 18/2-3ft cable[12]	A = ANSI 7-pin PE receptacle (no control)	D1 = Universal Mounting Arm, fitted for round or square pole mounting[5]	BLCK = Black	H = Motion Sensor (Sensor Switch)[8]
L = Low Voltage			Cx=7500	AN = Asymmetric Narrow/Auto		50 = 5000K	X = No PE receptacle, no external dimming leads[13]	D = ANSI 7-pin PE receptacle with shorting cap provided	K1 = Knuckle Slipfitter for 1.9 in - 2.3in. OD Tenon[5,6]	DKBZ = Dark Bronze	H1 = Motion Sensor w/LightGrid
		1 = 120	Dx=10000					E = ANSI C136.41 7-pin with Non-Dimming PE Control[3]	S1 = Knuckle Slipfitter for 2.3in. - 3.0in. OD Tenon[5,6]	WHTE = White	H2 = Motion Sensor (Daintree)[8]
		2 = 208	Dx=10000						V1 = Knuckle Wall Mount[5,6]		H4 = Motion Sensor (Wattstopper)
		3 = 240	Ex=12500								J = cUL/Canada
		4 = 277	Fx=15000								L = Tool-Less Entry
		5 = 480	Hx=20000								R= Enhanced Surge Protection (10kV/5kA)
		D = 347									U = DALI dimming[7]
											V0 = 3-Position Terminal Block
											V1 = Variable output via Field Adjustable Module
											Y = Coastal Finish[10]
											XXX = Special Options

1 Not Available with Fusing, Must Choose a Discrete Voltage with "F" Option Code
2 Note Standard Dimming is 0-10V
3 PE Control only available for 120-277V, 347V or 480V Discrete Voltage.
4 Supplied with 3ft leads
5 Supplied with 16/3 ft Cable
6 Restricted Aiming Angle of 0-45°
7 Compatible with LightGrid Wireless Control Nodes, Not Compatible with Motion Sensor Control
8 Not available in 347V, 480V or 347-480V
10 Recommended for installations within 750 feet from coast. Lead time varies, check with factory.
11 Select 3000K CCT for IDA approved fixtures.
12 Can only be ordered with Controls A, D or E
13 Can on be used with controls option 1

GE current
a Daintree company

AREA LIGHT DETAIL

8

THE EDGE® Series

LED Security Wall Pack Luminaire

Rev. Date: V8 09/03/2021

Product Description

THE EDGE® wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.
Applications: General area and security lighting

Performance Summary

Patented NanoOptic® Product Technology
Assembled in the U.S.A. of U.S. and imported parts
CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)
CCT: Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard
Limited Warranty†: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish/1 year on accessories
†See http://creelighting.com/warranty for warranty terms

LED Count (x10)	Dim. "A"	Weight
02	9.9" (251mm)	20 lbs. (9.1kg)
04	11.9" (303mm)	22 lbs. (10.0kg)
06	13.9" (353mm)	25 lbs. (11.3kg)
08	15.9" (404mm)	27 lbs. (12.2kg)
10	17.9" (455mm)	31 lbs. (14.1kg)
12	19.9" (505mm)	32 lbs. (14.5kg)

Accessories

Field-Installed		
Bird Spikes XA-BRDSPK	**Beauty Plate** WM-PLT12** - 12" (305mm) Square WM-PLT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs	**Hand-Held Remote** XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

**Must specify color

Ordering Information

Example: SEC-EDG-2M-WM-06-E-UL-SV-700

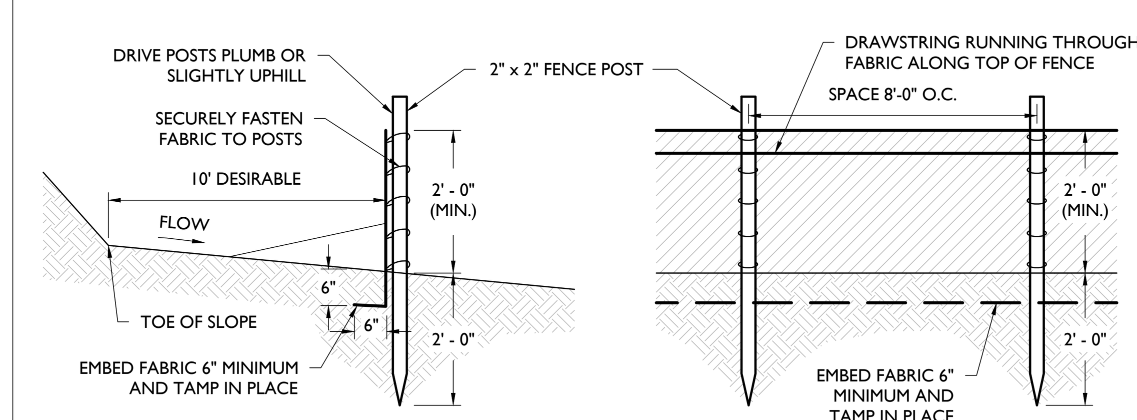
SEC-EDG		WM		E				
Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG	**2M** Type II Medium **2MB** Type II Medium w/BLS **2S** Type II Short **2SB** Type II Short w/BLS **3M** Type III Medium **3MB** Type III Medium w/BLS **4M** Type IV Medium **4MB** Type IV Medium w/BLS	**WM** Wall Mount	02 04 06 08 10 12	E	**UL** Universal 120-277V **UH** Universal 347-480V **34** 347V	**BK** Black **BZ** Bronze **SV** Silver **WH** White	**350** 350mA **525** 525mA -Available with 20-80 LEDs **700** 700mA -Available with 20-60 LEDs	**DIM 0-10V Dimming** - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML option **F Fuse** - Compatible only with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to PML spec sheet for availability with PML options - When code dictates fusing, use time delay fuse **P Photocell** - Must specify UL or 34 voltage **PML Programmable Multi-Level** - Refer to PML spec sheet for details - Intended for downlight applications with 0° tilt **30K 3000K Color Temperature** - Minimum 80 CRI - Color temperature per luminaire **40K 4000K Color Temperature** - Minimum 70 CRI - Color temperature per luminaire **50K 5000K Color Temperature** - Minimum 90 CRI - Color temperature per luminaire **TRL Amber Turtle Friendly LEDs** - Available only with 350mA - 600nm dominant wavelength - Additional shielding (by others) may be required for Florida Fish and Wildlife Conservation Commission compliance

US: creelighting.com (800) 236-6800
Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

WALL MOUNTED LIGHT DETAIL

9

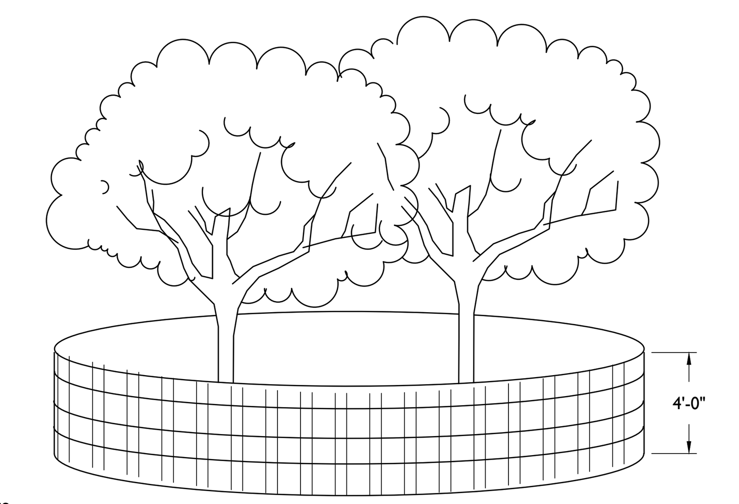


NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

10



NOTES:
1. SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
3. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

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ISSUE	DATE	BY	DESCRIPTION
4	04/10/2025	JF	ISSUED FOR REVIEW
3	01/31/2025	AD	ISSUED FOR REVIEW
2	12/02/2024	JZ	ISSUED FOR REVIEW
1	06/11/2024	JF	ISSUED FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

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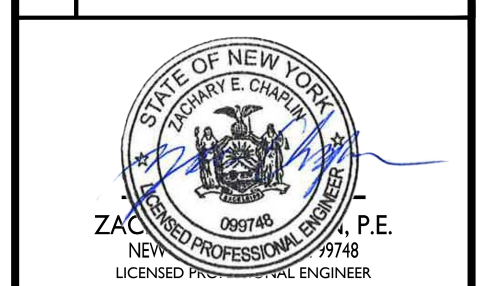
584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

SITE PLAN

MATIV HOLDINGS INC.

PROPOSED PARKING LOT IMPROVEMENTS

SECTION 73.19, BLOCK 1, LOT 6
25 CORPORATE DRIVE
HAMLET OF ORANGEBURG, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



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NEW [...]99748
LICENSED PR[...]AL ENGINEER

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engineering & design

SCALE: AS SHOWN | PROJECT ID: NYC-230218

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-14

Z:\LIC\NYC\2023\NYC-230218 GREGORY RALPH, ARCHITECT - 25 CORPORATE DRIVE, ORANGEBURG, NY\CADD\PLOT\XXX-10-11-DETL.DWG