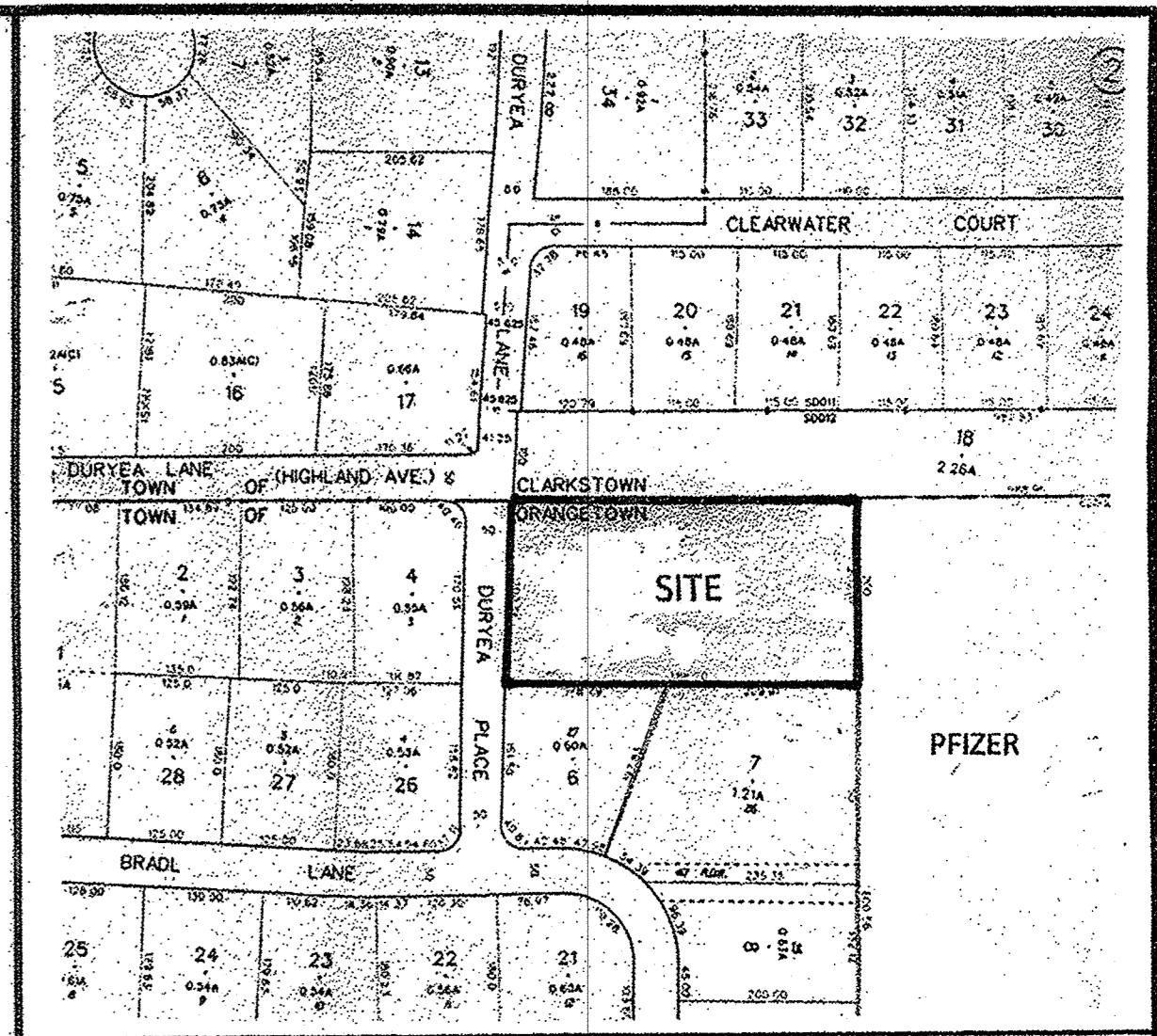
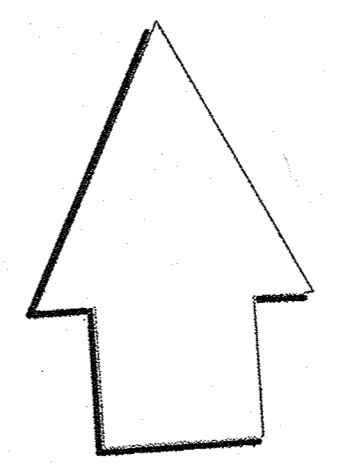
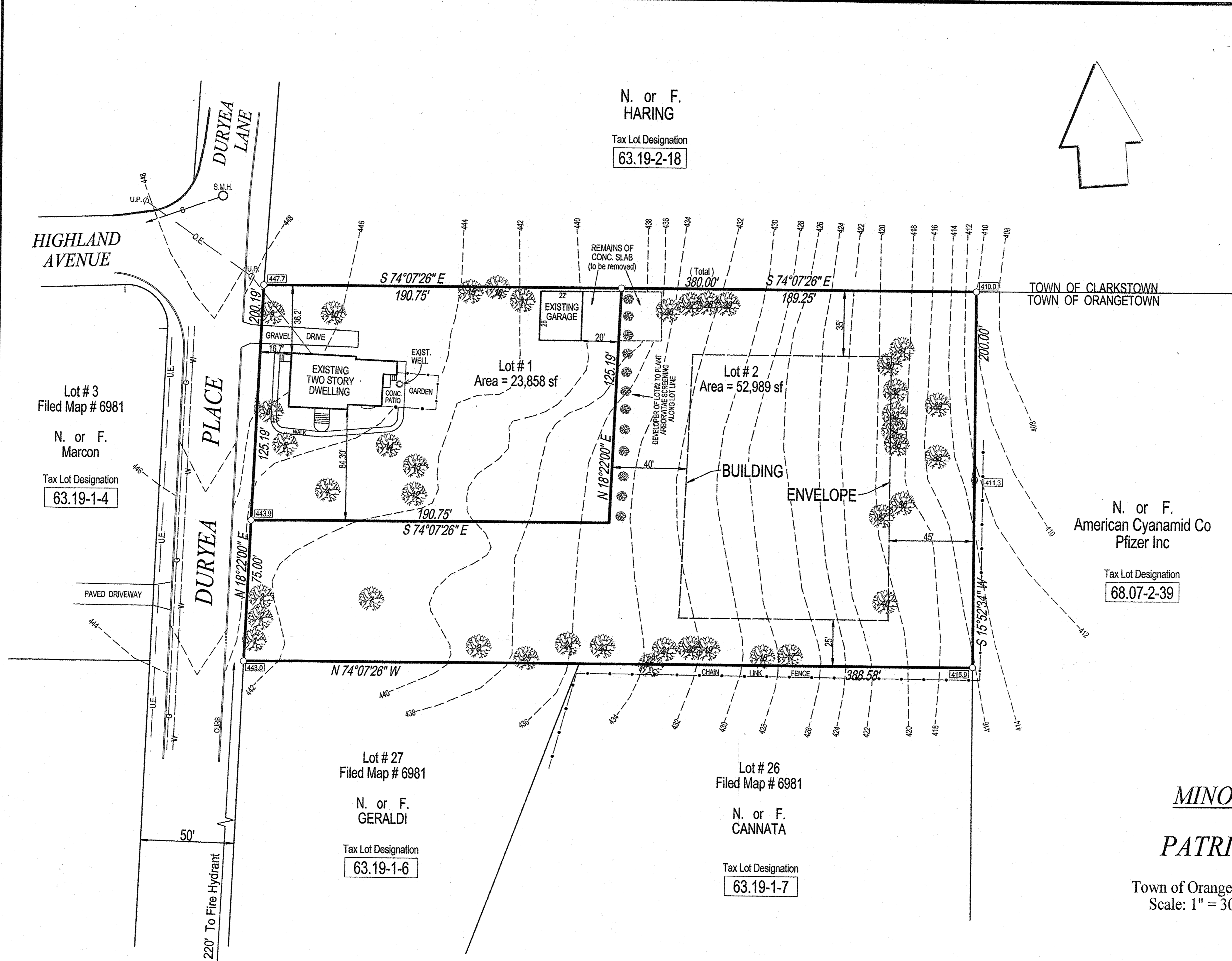


NOTES:

- Total Numbers of Lots = (Two)
- Iron pins to be installed at all locations with symbol: -O-
- Section 63.19-1-5 denotes Tax Lot Designation
- Topography- U.S.G.S. DATUM, contour intervals 2 feet
- Lot drainage shown shall constitute easements running with the land and not be disturbed
- All utilities, including electric and telephone, shall be installed underground.
- No building permit will be issued until sewage disposal arrangements have been approved by the Rockland County Health Department and/or the Town of Orangetown.
- This Plat does not conflict with the County Official Map & has been approved in the manner specified by Section 293N, of the General Municipal Law of the State of New York.
- Any existing utilities (poles, fire hydrants, etc.) affected by the construction of this subdivision will be relocated at the developers expense prior to the issuance of any Certificate of Occupancy.
- No Building Permit will be issued for any lot until results of test pits have been submitted to the Building Department.
- Water supply: Public- Suez Water of New York
- Soil Erosion and Sediment control plans and details shall be submitted to the Town of Orangetown Engineering Department of Environmental Management and Engineering for review and approval. The Soil Erosion and sediment control plan shall meet the NYS guidelines for Urban Erosion and Sediment Control. (Prior to issuance of Building permit For Lot #2).
- Lot # 2 is not approved as a Building Lot and if the applicant or future applicant wishes to obtain a building permit Lot # 2, then the applicant or future applicant will be required to appear before the Orangetown Land Use Boards for Site Plan Review and any other agencies or boards required for review and approval prior to granting an approval for development of that lot.
- Should the existing structure on Lot # 1 be demolished and a new structure be built, then the applicant or future applicant shall appear before the Orangetown Land Boards for Site Plan review and any other agencies or boards required for review and approval prior to grading any building permits for undertaking such work.
- The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:
 - No construction equipment shall be parked under the tree canopy.
 - There is no excavation or stockpiling of earth underneath the trees
 - Trees designated to be preserved shall be marked conspicuously on all sides at a height of 5 to 10 feet.
 - The tree protection zone for trees designated to be preserved will be established by one of the following methods:
 - One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:
 - Light impacts only - Installation of 3/4 inch of plywood or boards, or equal over the area to be protected. The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be walled and/or preserved in a raised bed, with tree well radius of three (3) feet larger than the tree line.
- At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a meeting.

TREE LIST:

1- 18" WHITE PINE	17- 28" WHITE PINE	33- 20" SPRUCE
2- 20" SPRUCE	18- 22" WHITE PINE	34- 20" SPRUCE
3- 22" SPRUCE	19- 28" WHITE PINE	35- 16" SPRUCE
4- 30" MAPLE	20- 28" WHITE PINE	36- 14" SPRUCE
5- 18" MAPLE	21- 20" WHITE PINE	37- 28" WHITE PINE
6- 20" SPRUCE	22- 22" WHITE PINE	38- 28" MAPLE
7- 24" SPRUCE	23- 28" WHITE PINE	39- 28" MAPLE
8- 28" SPRUCE	24- 30" WHITE PINE	40- 24" WHITE PINE
9- 14" SPRUCE	25- 20" WHITE PINE	
10- 22" HICKORY	26- 24" SPRUCE	
11- 14" SPRUCE	27- 20" SPRUCE	
12- 24" SPRUCE	28- 20" SPRUCE	
13- 18" PINE	29- 30" SPRUCE	
14- 28" MAPLE	30- 20" SPRUCE	
15- 28" WHITE PINE	31- 18" SPRUCE	
16- 20" WHITE PINE	32- 16" SPRUCE	



Vicinity Map - Scale: 1" = 200'
Tax Lot Designation - Section 63.19 Block 1 Lot 5

Zone R-22 Bulk Reg. (Single Family) Group 1

Item	Required	Prop. Lot # 1	Prop. Lot # 2
Lot Area	22,500 sf	23,858 sf	52,989 sf
Lot Width	125 ft.	125.19 ft.	200 ft.
Front Yard	40 ft.	** 16.7 ft.	40 ft.
Side Yard	25 ft.	36.2 ft.	25 ft.
Total Side Yard	60 ft.	120.5 ft.	60 ft.
Rear Yard	45 ft.	117.3 ft.	45 ft.
Street Frontage	75 ft.	125.19 ft.	75.0 ft.
Max.F.A.R.	0.20	0.11	0.20
Max Height	9" Per Ft. f/y	**14" Per Ft. f/y	9" Per Ft. f/y

** Denotes Pre-Existing Non-Conforming Condition

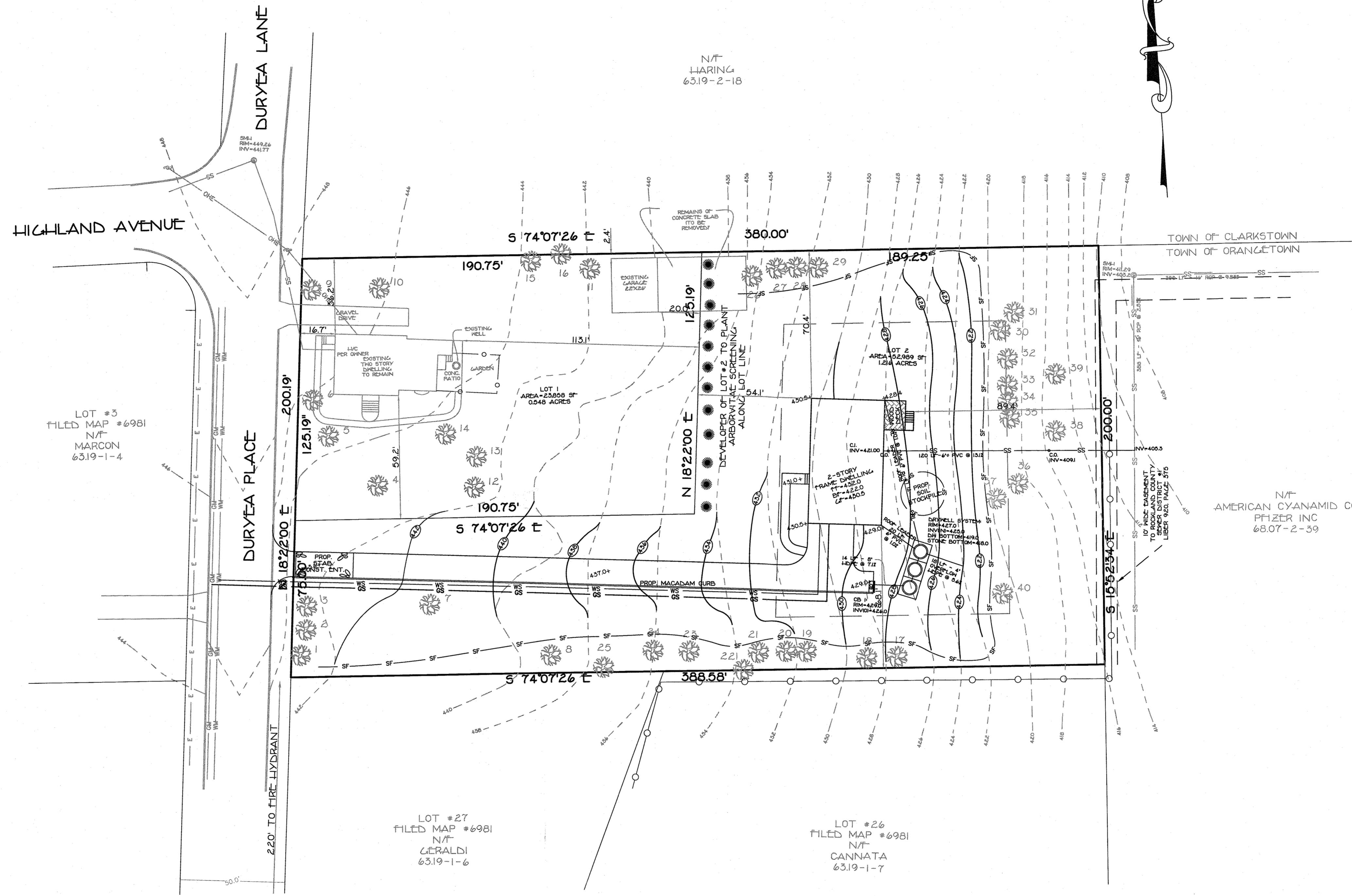
MINOR SUBDIVISION
For
PATRICIA S. LANDER
Nanuet
Town of Orangetown
Scale: 1" = 30'

Rockland County, N.Y.
Area = 1.76 Ac.

October 4, 2019
April 2, 2020 Revised

RO 9718

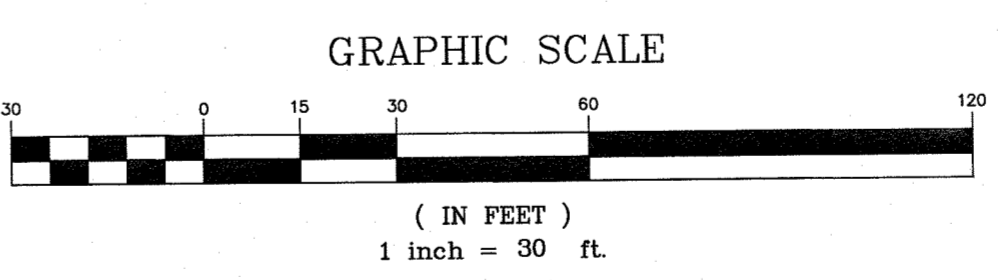
Districts School : Nanuet Union Free Fire : Pearl River District # 4 Sewer : Orangetown Sewer District Light : Town of Orangetown Water : Suez Water - New York Zone : R-22	Drainage Agency Approval for Filing COUNTY OF ROCKLAND DRAINAGE AGENCY	Owner and Applicant Patricia S. Lander 1 Duryea Place Nanuet, NY 10954	"I hereby certify that this Subdivision Plat was prepared by me and was made from an actual Survey completed by me on October 4, 2019. Robert E. Sorace, PLS 135 South Main Street New City, NY 10956 845-638-1498 Lic. 49162
	Chairman _____	Signature _____	
	Date _____	Date _____	



- TREE LIST:**
- 18' WHITE PINE
 - 20' SPRUCE
 - 22' SPRUCE
 - 50' MAPLE
 - 18' MAPLE
 - 20' SPRUCE
 - 24' SPRUCE
 - 28' SPRUCE
 - 14' SPRUCE
 - 22' HICKORY
 - 14' SPRUCE
 - 24' SPRUCE
 - 18' PINE
 - 28' MAPLE
 - 26' MAPLE
 - 20' WHITE PINE
 - 28' WHITE PINE
 - 22' WHITE PINE
 - 20' WHITE PINE
 - 28' WHITE PINE
 - 30' WHITE PINE
 - 20' WHITE PINE
 - 24' SPRUCE
 - 27' SPRUCE
 - 28' SPRUCE
 - 29' SPRUCE
 - 30' SPRUCE
 - 16' SPRUCE
 - 32' SPRUCE
 - 33' SPRUCE
 - 34' SPRUCE
 - 35' SPRUCE
 - 36' SPRUCE
 - 37' WHITE PINE
 - 38' MAPLE
 - 39' MAPLE
 - 40' WHITE PINE

DATE	REVISIONS

DESIGNED	EM	CHECKED	PG
DRAWN	EM	APPROVED	PG



BULK REGULATIONS - ZONE R-22 GROUP: I

	LOT AREA (SF)	STREET FRONTAGE (FT)	LOT WIDTH (FT)	FRONT YARD (FT)	SIDE YARD (FT)	BOTH SIDE YARDS (FT)	REAR YARD (FT)	ACC. STRUCT. SIDE YARD (FT)	MAX BLDG HT	MAX F.A.R.
REQUIRED	22,500	75	125	40	25	60	45	5	9'/FT 1/y	0.20
PROVIDED LOT 1	23,858	125.19	125.19	16.7 **	36.2	95.4	113.1	2.4 **	14'/FT **	0.11
PROVIDED LOT 2	52,989	75	200	54.1	68.1	138.5	89.4	NA	9'/FT	0.12

** PRE-EXISTING CONDITION

IMPERVIOUS SURFACE CALCULATIONS

LOT 1	EXISTING: 3,663 SF	LOT 2	EXISTING: 559 SF
CONCRETE FOUNDATION: 535 SF		CONCRETE FOUNDATION: 559 SF	
GARAGE: 572 SF			
DRIVEWAY: 462 SF	PROPOSED: 6,267 SF	DRIVEWAY: 3,770 SF	
WALKWAY: 372 SF		WALKWAY: 221 SF	
LANDING/STEPS: 94 SF		HOUSE: 2,100 SF	
HOUSE: 1,628 SF		DECK & STAIRS: 176 SF	
PROPOSED: 3,128 SF	NET INCREASE = -535 SF	NET INCREASE = 5,708 SF	
3,128 SF/23,858 SF = 13.1% DEVELOPMENT COVERAGE		6,267 SF/52,989 SF = 11.8% DEVELOPMENT COVERAGE	

OVERALL NET INCREASE:
 LOT 1 INCREASE + LOT 2 INCREASE =
 -535 + 5,708 = 5,173 SF

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

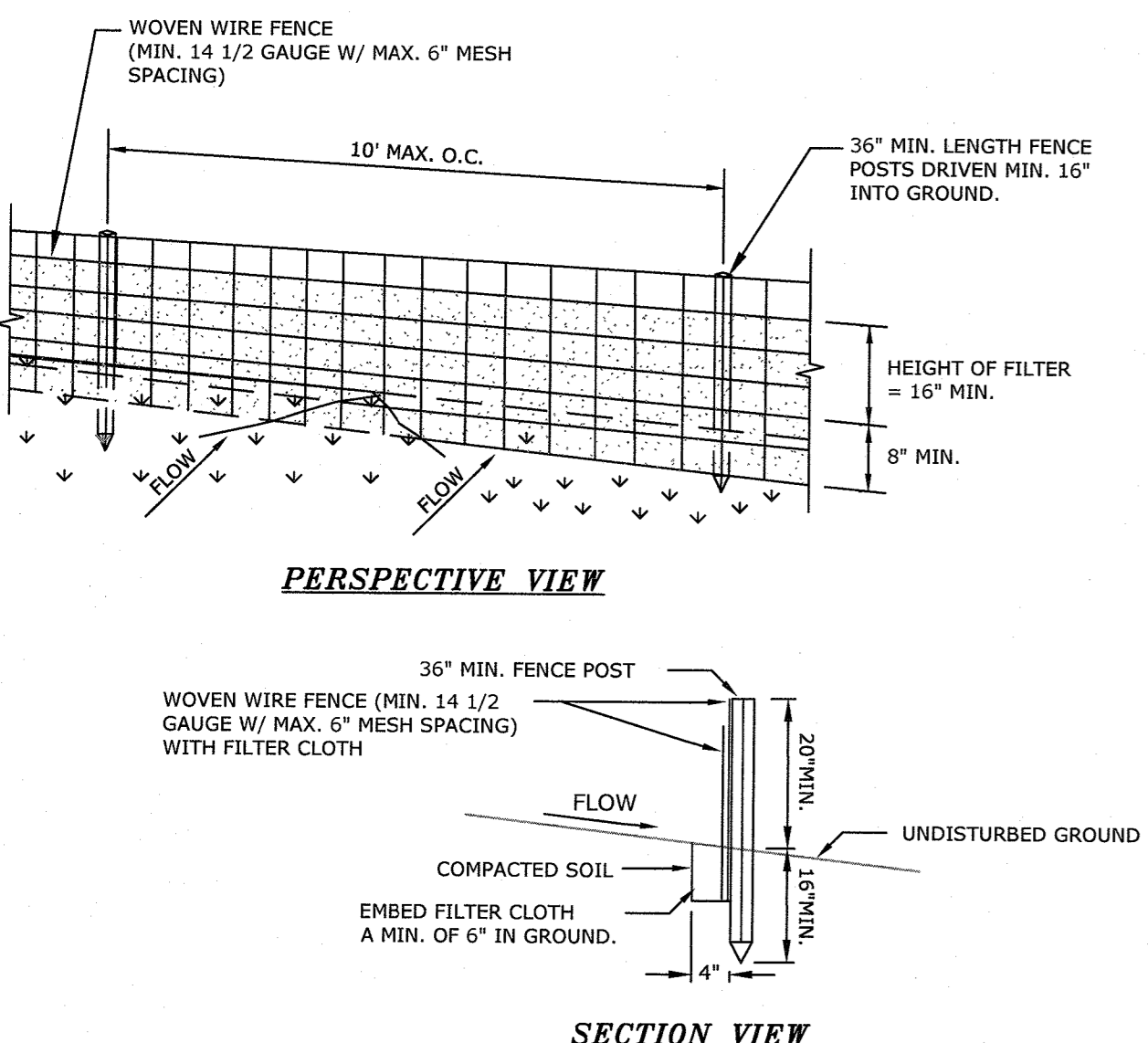
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNAUTHORIZED VIOLATION OF FEDERAL COPYRIGHT LAWS.

PAUL GDANSKI P.E., PLLC

GRADING, DRAINAGE & UTILITIES
 MINOR SUBDIVISION
 FOR
PATRICIA S. LANDER
 HAMLET OF NANUET
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
 25 RIVERSIDE DRIVE
 SUFFERN, N.Y. 10901
 TEL: (917) 418-0999
 EMAIL: PGSKI@EARTHLINK.NET

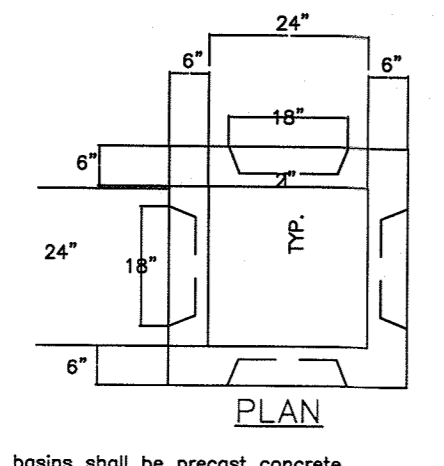
FILED	LANDER
DATE	APR 2, 2020
SCALE	1" = 30'
DWG #	2 OF 3



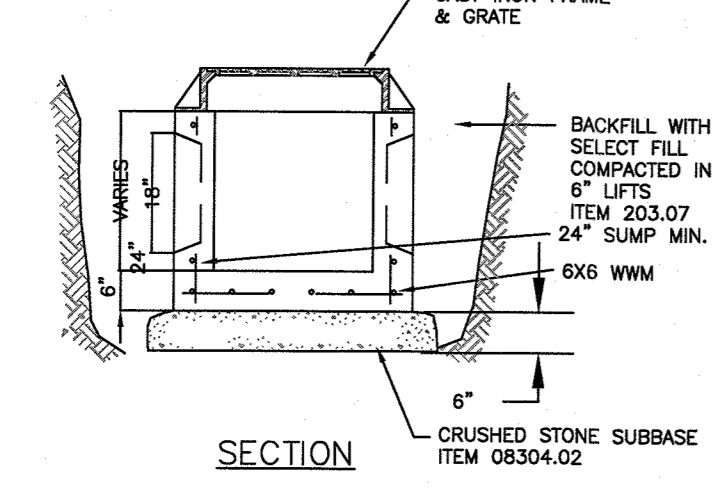
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE
NOT TO SCALE

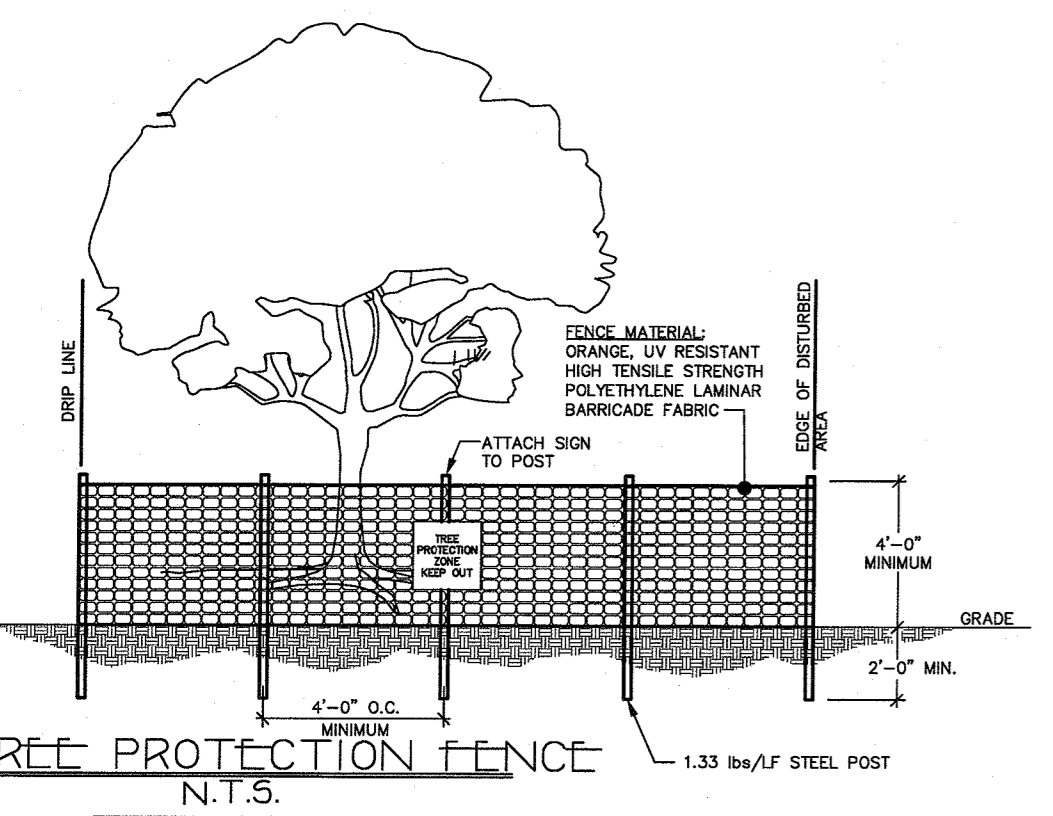


catch basins shall be precast concrete.
catch basins having a depth greater than 48\"/>

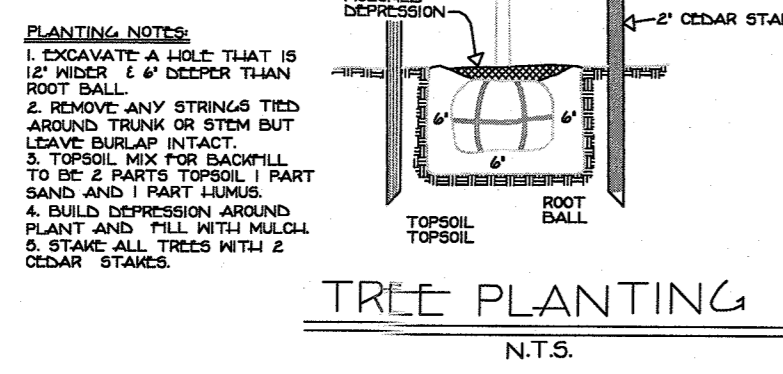


CATCH BASIN
SCALE: N.T.S.

STOCK PILE CONTROL DETAIL
SCALE N.T.S.

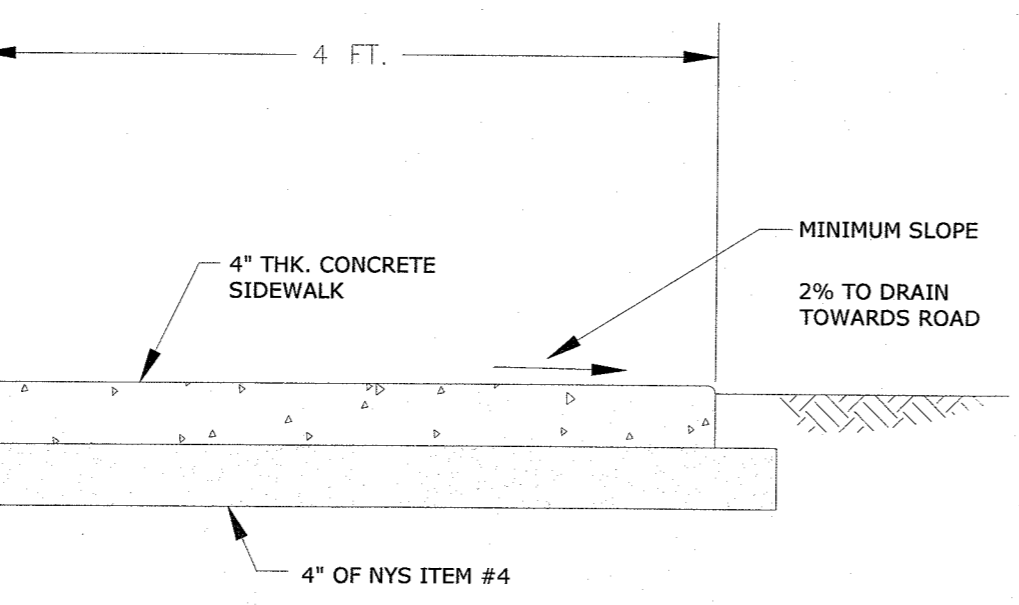


- NOTES:**
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
 - THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT."
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

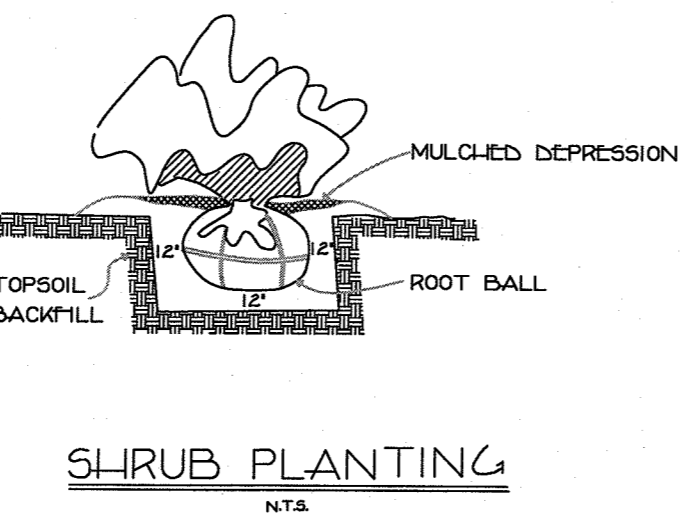


TREE PLANTING
N.T.S.

STANDARD SIDEWALK DETAIL
NOT TO SCALE



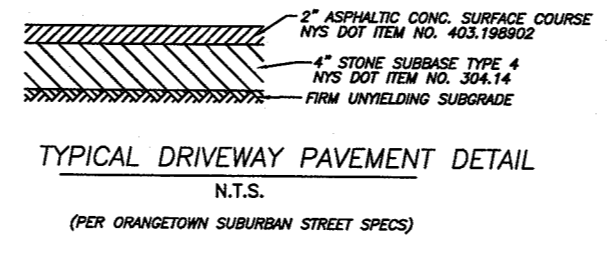
- NOTES:**
- EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 - CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS
 - EDGES SHALL HAVE 1/2" RADIUS.
 - USE 3500 PSI CONCRETE.
 - BROOM FINISH TOP SURFACE.
 - CONCRETE TO BE FIBER REINFORCED.



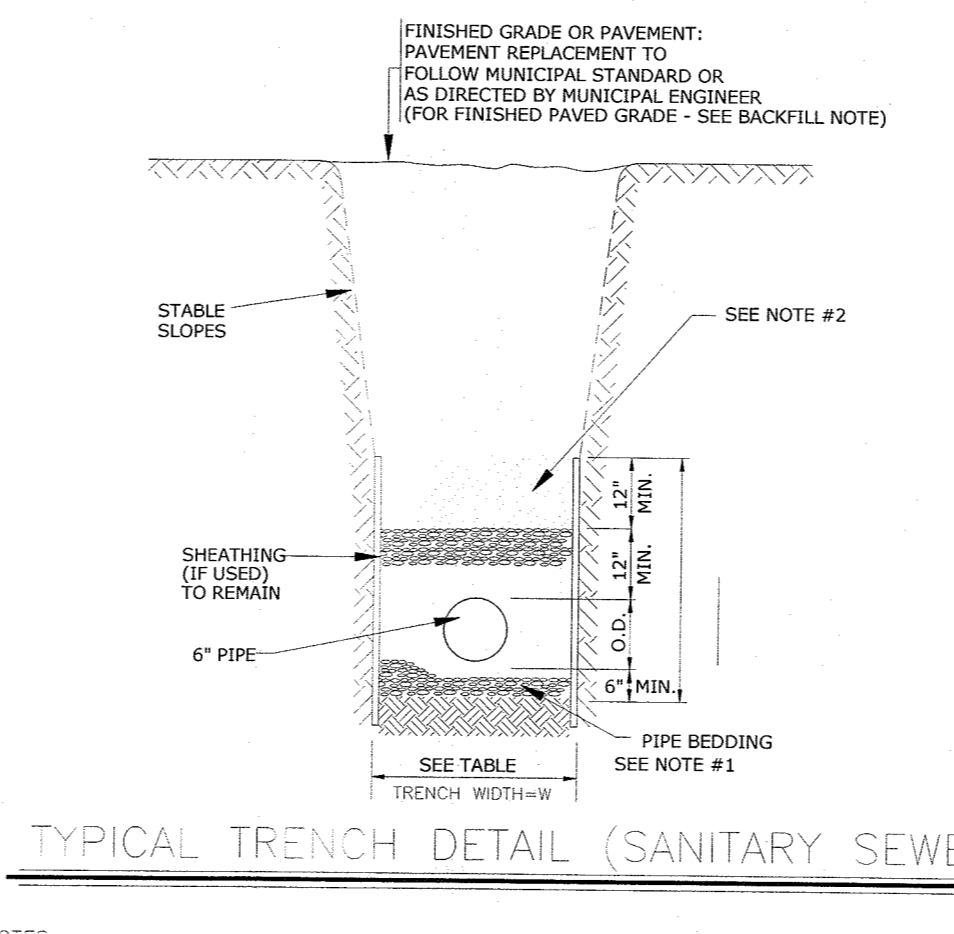
SHRUB PLANTING
N.T.S.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

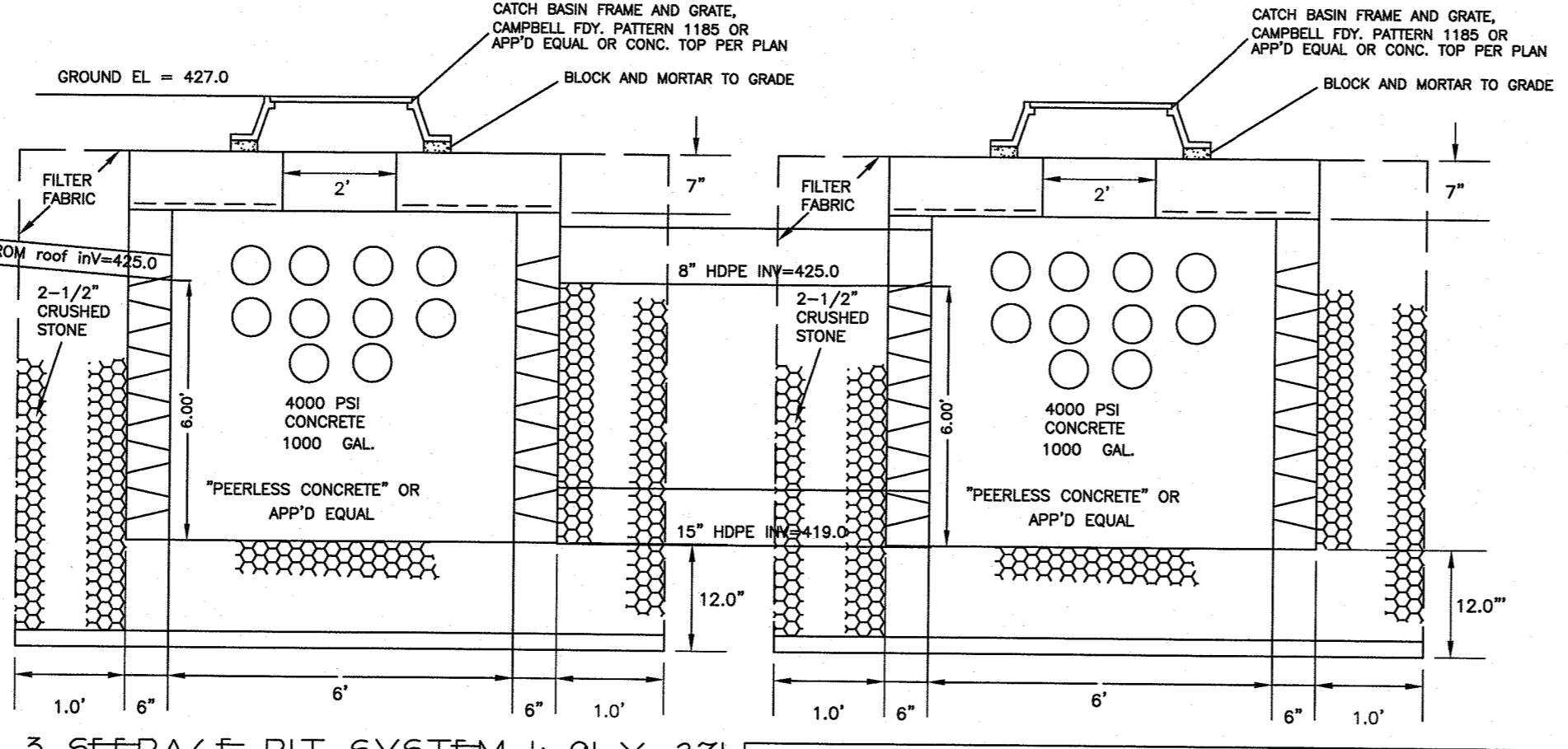


TYPICAL DRIVEWAY PAVING DETAIL
N.T.S.
(PER ORANGETOWN SUBURBAN STREET SPECS)

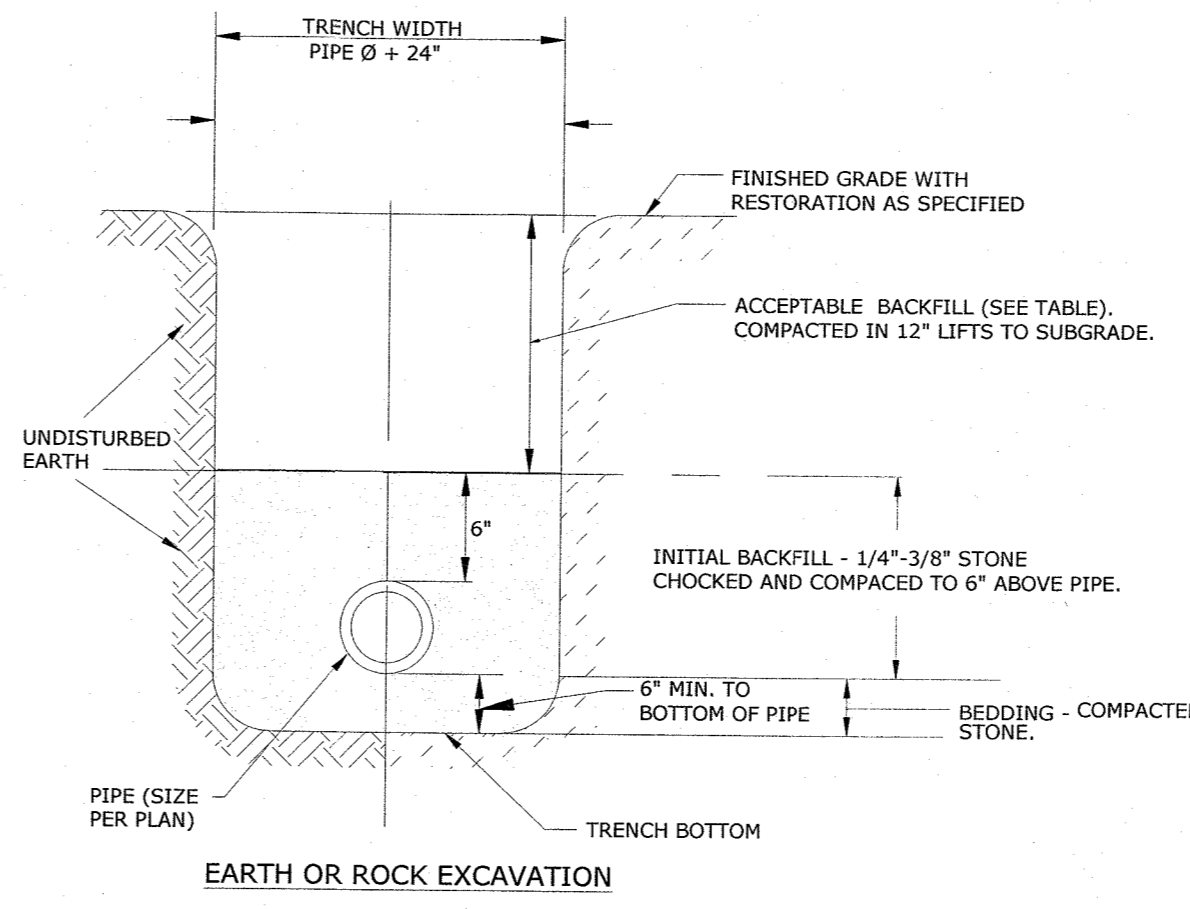


TYPICAL TRENCH DETAIL (SANITARY SEWER)
N.T.S.

- NOTES:**
- PIPE BEDDING SHALL BE A CLASS I ASTM D3221 EMBEDMENT MATERIAL THAT SHALL BE EITHER CRUSHED STONE OR WASHED GRAVEL PASSING A 3/4" SIEVE AND RETAINED ON A 3/8" SIEVE. THE EMBEDMENT MATERIAL SHALL BE HAND TAMPED AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OF THE EMBEDMENT MATERIAL AS DETERMINED BY THE STANDARD PROCTOR TEST IN ACCORDANCE WITH AASHTO DESIGNATION T-99.
 - BACKFILL FROM 12 IN. TO 24 IN. ABOVE THE PIPE EMBEDMENT MATERIAL SHALL BE FINE EARTH FREE FROM CLINDERS AND SHALL BE MECHANICALLY COMPACTED. REMAINING BACKFILL SHALL BE FINE EARTH FREE FROM CLINDERS, ROCKS, AND CLINDERS AND SHALL BE MECHANICALLY COMPACTED TO A POINT 12" MINIMUM ABOVE THE TOP OF PIPE.
 - PLACE EMBEDMENT MATERIAL BY HAND AND HAND COMPACT UNDER AND AROUND SIDES OF PIPE. PLACE EMBEDMENT MATERIAL IN 6" LAYERS ABOVE TOP OF PIPE, AND HAND COMPACT TO A POINT 12" MINIMUM ABOVE THE TOP OF PIPE.
 - THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND N.Y.S. DEPARTMENT OF LABOR FOR OSHA REQUIREMENTS AND 1926.651 - TRENCHING AND SHIELDING, STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES.
 - ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MANHOLE TO MANHOLE.
 - FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL AS DETERMINED BY THE PROJECT SITE ENGINEER IN 12 INCH (MAX.) LAYERS COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY OF THE FILL SOIL AS DETERMINED BY THE STANDARD PROCTOR TEST (AASHTO DESIGNATION T-99) TO 2 FEET (MIN.) ABOVE THE TOP OF PIPE AT A MINIMUM WIDTH OF 0.0 + 4.
 - WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL (AS APPROVED).



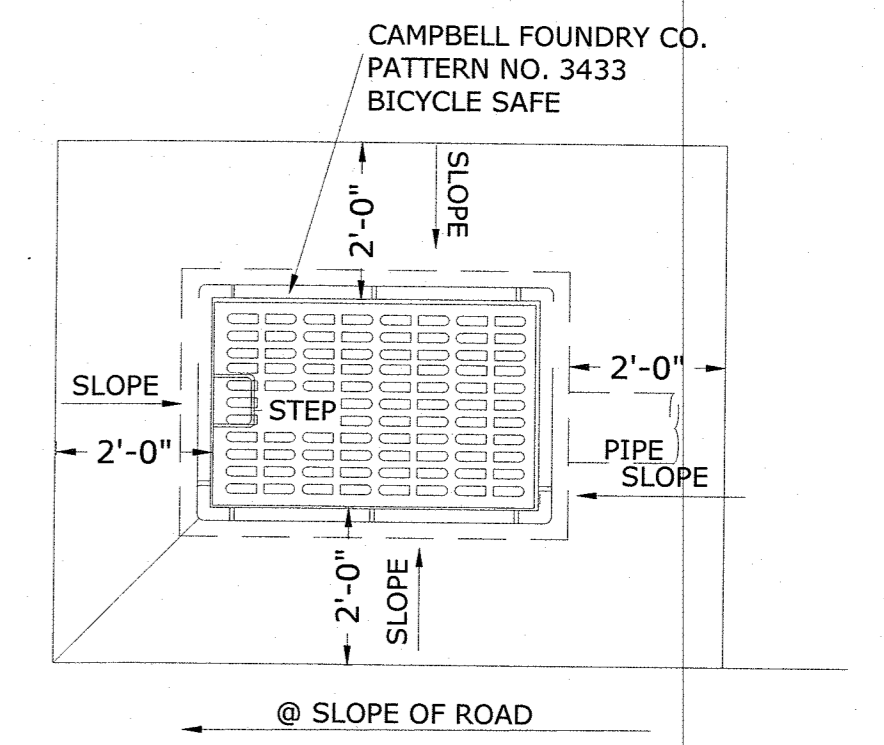
- NOTES:**
- SET PIT IN 9'x27' OVERALL EXCAVATION, BACKFILL WITH ALL CLEAN SOIL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
- SEEPAGE PIT MAINTENANCE NOTES:**
- SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 - SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT OR AFTER ANY SIGNIFICANT STORM.
 - IF EVIDENCE PERSISTS THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



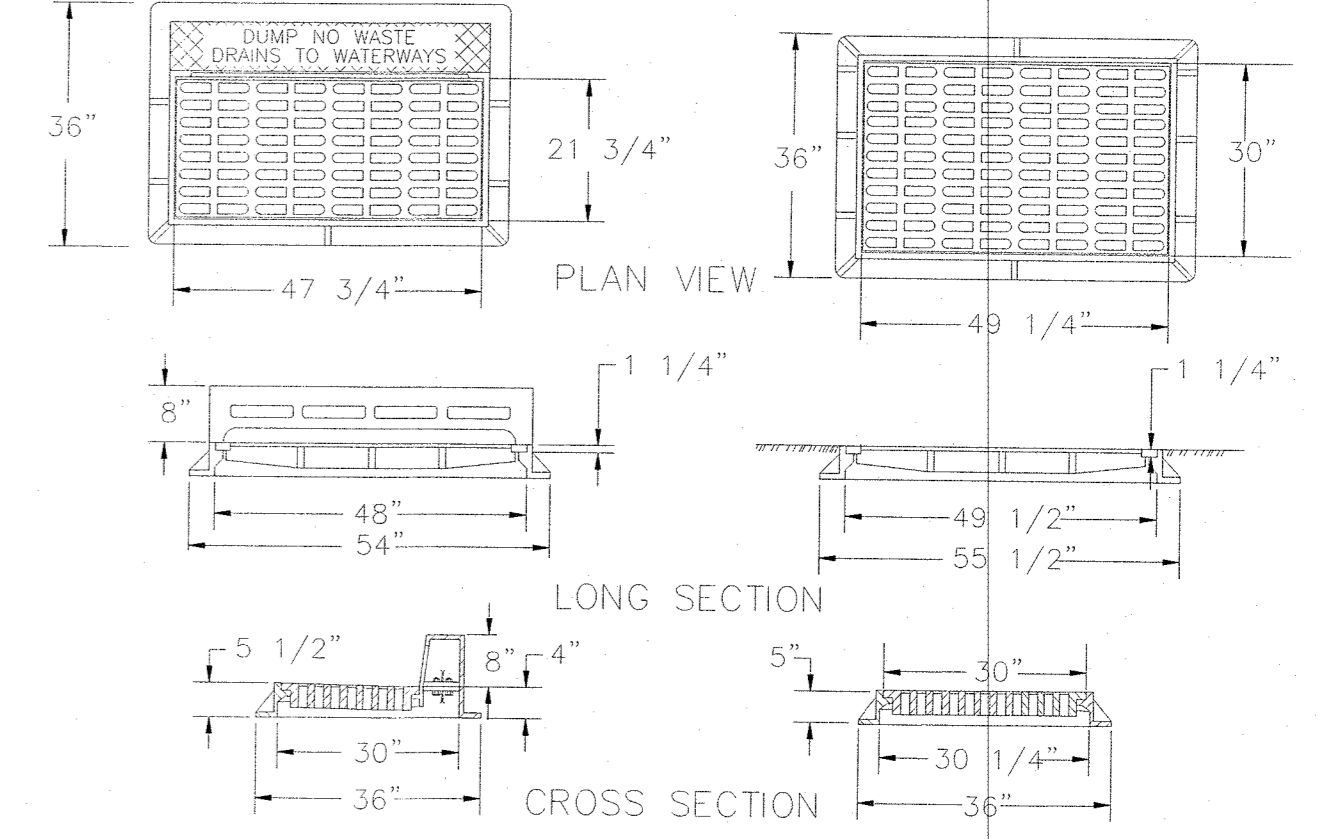
STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE

DESCRIPTION	SOIL CLASSIFICATION			MINIMUM STANDARD PROCTOR DENSITY %
	ASTM D2321	ASTM D2487	AASHTO M43	
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	AND GRAVEL SAND (<10% FINES)	90%

NOTES: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.
BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION.
IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM 304.05) TO SUBGRADE.



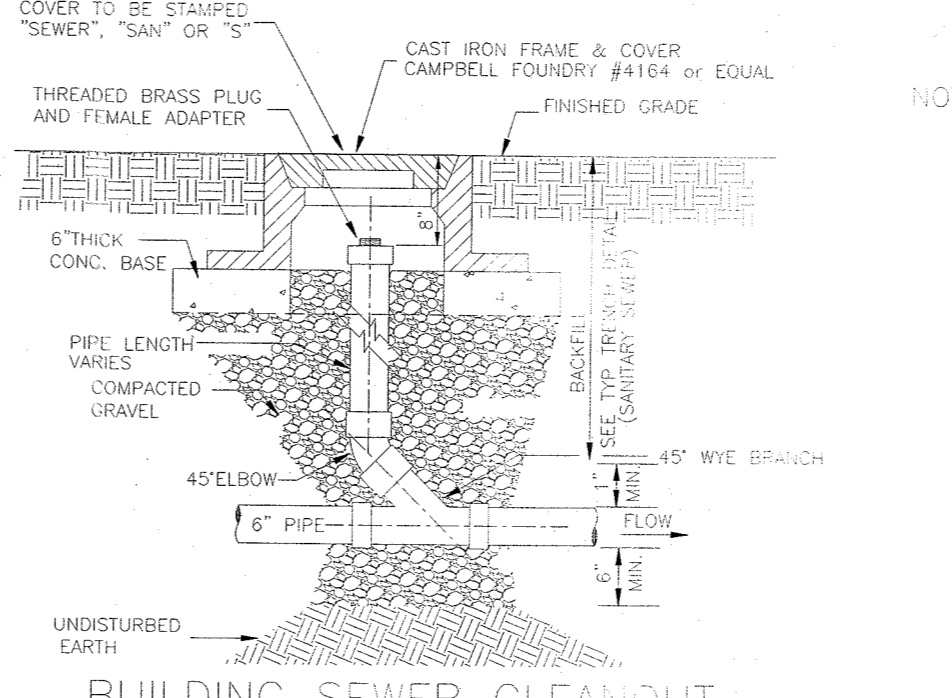
PLAN VIEW CB (FLAT GRATE)
NOT TO SCALE



(FOR USE WITH CURB INLETS)
CAMPBELL FOUNDRY CO. PATTERN NO. 2541 BICYCLE SAFE GRATE

(FOR USE WITH FLAT INLETS)
CAMPBELL FOUNDRY CO. PATTERN NO. 3433 BICYCLE SAFE GRATE

CATCH BASIN FRAMES



BUILDING SEWER CLEANOUT
N.T.S.

- NOTES:**
- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING SEWER SEWER CONNECTION. THE CLEANOUT SHALL BE INSTALLED ALONG THE BUILDING SEWER EVERY 100 FT. (MAX.) FOR THE PURPOSE OF CLEANOUT LOCATIONS DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE
 - CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 - BACKFILL AROUND CATCH BASIN SHALL BE SUITABLE MATERIAL (SEE UTILITY TRENCH DETAIL), FREE OF ANY STONES LARGER THAN 4" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS WITH JUMPING JACK COMPACTOR, ACHIEVING 95% MODIFIED PROCTOR COMPACTION.
 - PIPES TO BE CUT FLUSH WITH INSIDE WALLS OF CATCH BASIN. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 - STEPS ARE TO BE CAMPBELL FOUNDRY CO. PATTERN NO. 2593 2254, OR APPROVED EQUAL.
 - 8" CURB BACK PIECE TO BE AS MANUFACTURED BY CAMPBELL FOUNDRIES.

TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

DATE	REVISIONS		
DESIGNED	EM	CHECKED	PG
DRAWN	EM	APPROVED	PG

DETAILS
MINOR SUBDIVISION
FOR
PATRICIA S. LANDER
HAMLET OF NANUET
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
25 RIVERSIDE DRIVE
SUFFERN, N.Y. 10901
TEL: (917) 418-0999
EMAIL: PGSKI@ARTLINK.NET

LANDER
DATE: APR 2, 2020
SCALE: 1" = 30'
DWG # SCALE: 3 OF 3

