

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

WIRE REINFORCED SILT FENCE

NOTES

- OWNER & APPLICANT: LALE REALTY LLC
- TAX LOT NUMBER: 64.17-1-78
- ADJ. LAND ADJACENT: 100' WIDE STREET NEW CITY, NEW YORK 10956
- LOT AREA: 33,931 SF
- OWNER: DISTRICT CO. COMMERCIAL OFFICE
- LOT DRAINAGE SHALL CONSTITUTE ESSENTIAL AND TELEPHONE SHALL BE INSTALLED UNDERGROUND.
- ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE, SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SEWER ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF PUBLIC WORKS.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE AND ARCHITECTURAL PLANS HAVE BEEN APPROVED BY ACBOR, AND THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED IN PROS TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- ANY PROPOSED RETAINING WALLS GREATER THAN 4 FEET MUST BE DESIGNED, SIGNED, AND PLANS SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL UPON COMPLETION OF THE WORK, SIGNED AND SEALED "AS-BUILT" OF THE WALLS SHALL BE SUBMITTED TO BOTH DEPARTMENTS, CERTIFYING THAT THE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN PLANS.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE BEGINNING OF THE NEXT IMMEDIATELY GROWING SEASON, SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE CONTRACTOR'S RISK, IF ANY IS PROPOSED, SHALL BE APPROVED BY THE ORANGETOWN PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL MANAGEMENT AND ENGINEERING, THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN TO SUCH AREAS TO SECURE ADEQUATE PERMANENT AND SATISFACTORY CONSTRUCTION. THE DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INVESTIGATE THE CONDITION OR CONDITIONS, AND SHALL THEREOF, OR THE APPLICANT'S OWN SPECIFICATIONS FOR THE CORRECTION OF THE CONDITIONS, IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE PLAN OR ANY CHANGE THAT INVOLVES A NEWLY REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN 30 DAYS OF THE COMPLETION OF CONSTRUCTION.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL, DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPT. SPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING AND TO PROVIDE THE NECESSARY INFORMATION AND TO SIGN OF CONSENT TO THE PROCEEDINGS TO SECTION 21-22 OF THE PROTECTION OF ENVIRONMENTAL QUALITY AND TO SIGN OF CONSENT TO THE PROCEEDINGS TO SECTION 21-22 OF THE PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADII FROM TRUNK PER INCH DBH
 - DRP LINE OF THE TREE CANOPY
 - ONE (1) FOOT RADII FROM TRUNK PER INCH DBH
- THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE THROUGHOUT CONSTRUCTION. THE BARRIER SHALL BE WELDED AND/OR PRESERVED IN A RASPED BED, WITH THE TREE WELL RADII OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- ALL TREES WITH A DBH OF 4\"/>

BULK TABLE - ZONE CO. COMMERCIAL - OFFICE - USE GROUP NM (BANK)

MAX. FLOOR AREA RATIO	MIN. LOT AREA	MIN. LOT WIDTH	MIN. STREET FRONTAGE	MIN. FRONT YARD SIDE YARD REAR YARD	MIN. TOTAL FRONT YARD	MIN. BLDG HEIGHT
REQUIRED ☆ 0.20	30,000 SF	150'	50'	30'	35'	6' PER FOOT FROM 35.4' x 6'1/2" - 17.7' FT MAX
PROVIDED	0.05	32,813 SF	126'	127.6'	35.5'	48.7' 97.9' 160' ± (12.6' ± (<6'/FT))

☆ MAXIMUM LAND COVERAGE SHALL NOT EXCEED 75%, INCLUDING BUILDINGS, PARKING, ROAD AND ROAD WIDENING. THE OPEN AREA SHALL BE A MINIMUM OF 25%.
 REQUIRED BUFFERS: 15' AT REAR PROPERTY LINE.
 PRE-EXISTING NON CONFORMING CONDITION

PARKING REQUIREMENTS

ONE SPACE PER 200 SF OF FLOOR AREA
 EXISTING BLDG=1480 SF / 200 = 8 SPACES
 PROVIDED = 15 SPACES
 TOTAL AREA OF DISTURBANCE
 23,500 SF ±

APPROVED FOR FILING

DATE	REVISIONS
06/05/20	PB REVS
11/20/19	BULK TABLE
11/19/19	CANOPY AWINING
11/17/19	18" CURB

OWNER

CHAMPENSON PLANNING BOARD	DATE
JAY A. GREENWELL, PLS	11/17/19
JAY A. GREENWELL, PLS	11/17/19

DATE

DATE	REVISIONS
06/05/20	PB REVS
11/20/19	BULK TABLE
11/19/19	CANOPY AWINING
11/17/19	18" CURB

SITE PLAN FOR

LALE REALTY LLC

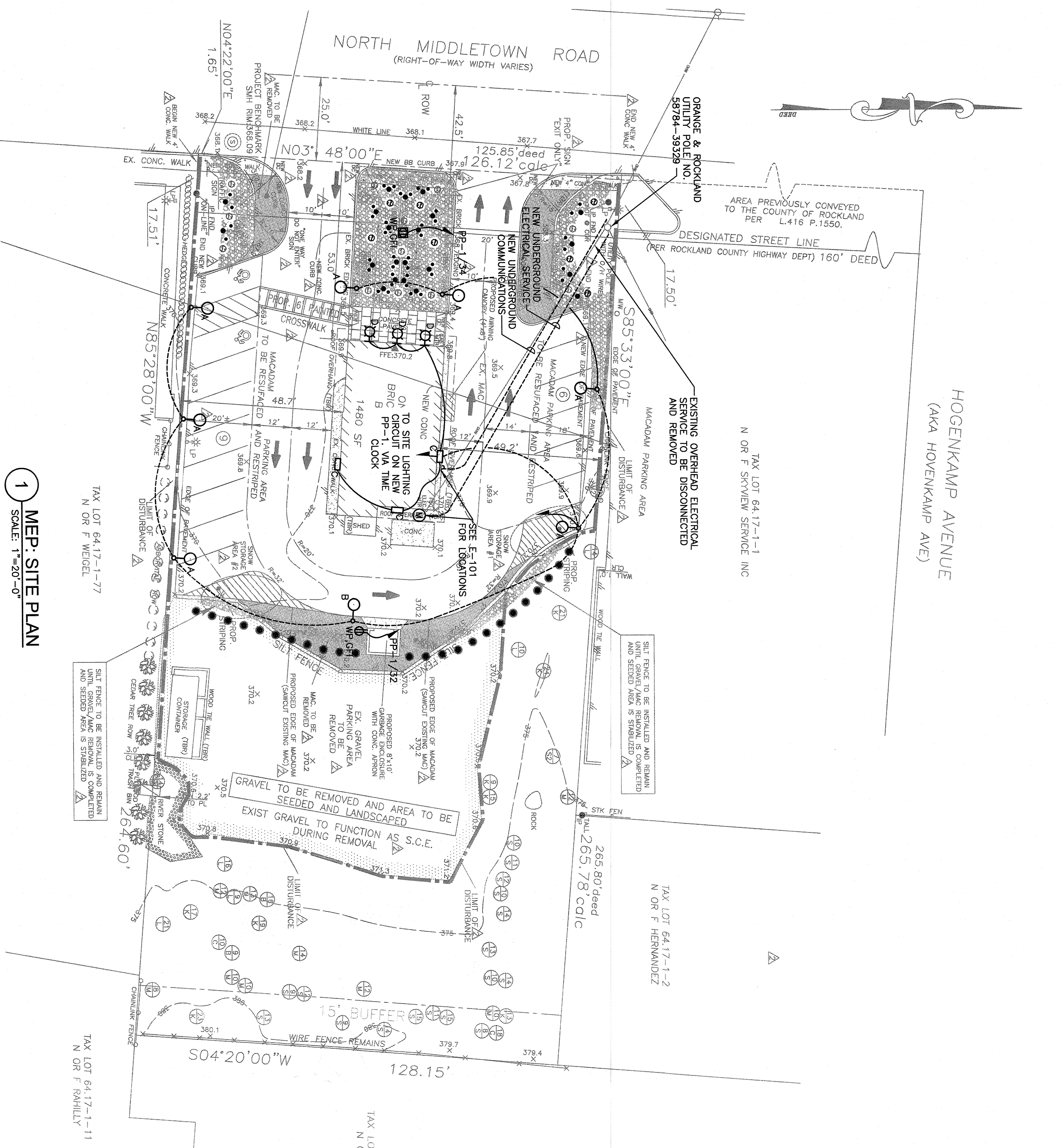
TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
 85 LAFALETTE AVENUE, SUFFERN, NEW YORK, 10901
 PHONE 845-357-0830 FAX 845-357-0756

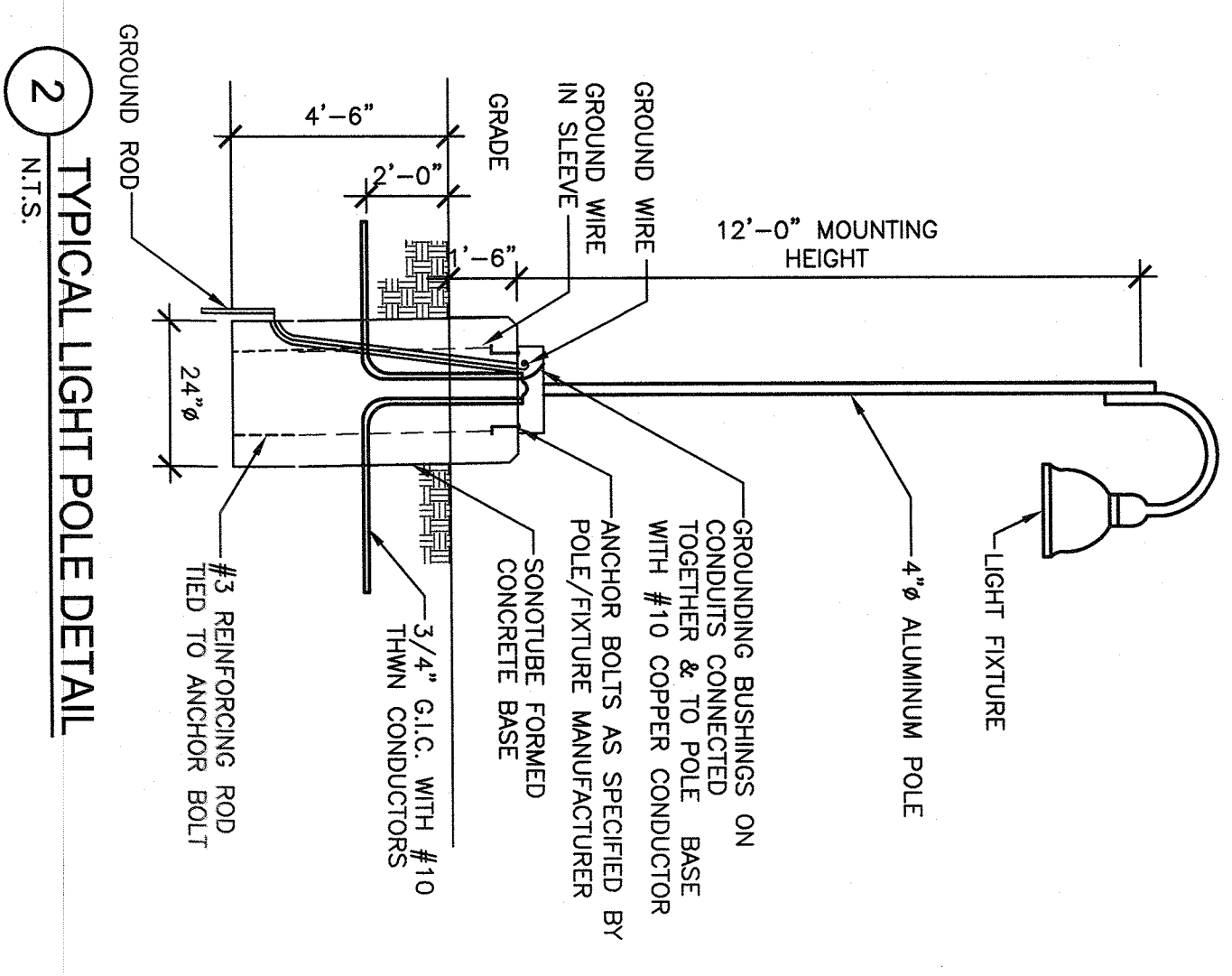
DATE 11/13/19
 JOB NO. 21933SITE
 SCALE 1"=20'

DATE 11/13/19
 JOB NO. 21933
 SHEET 1

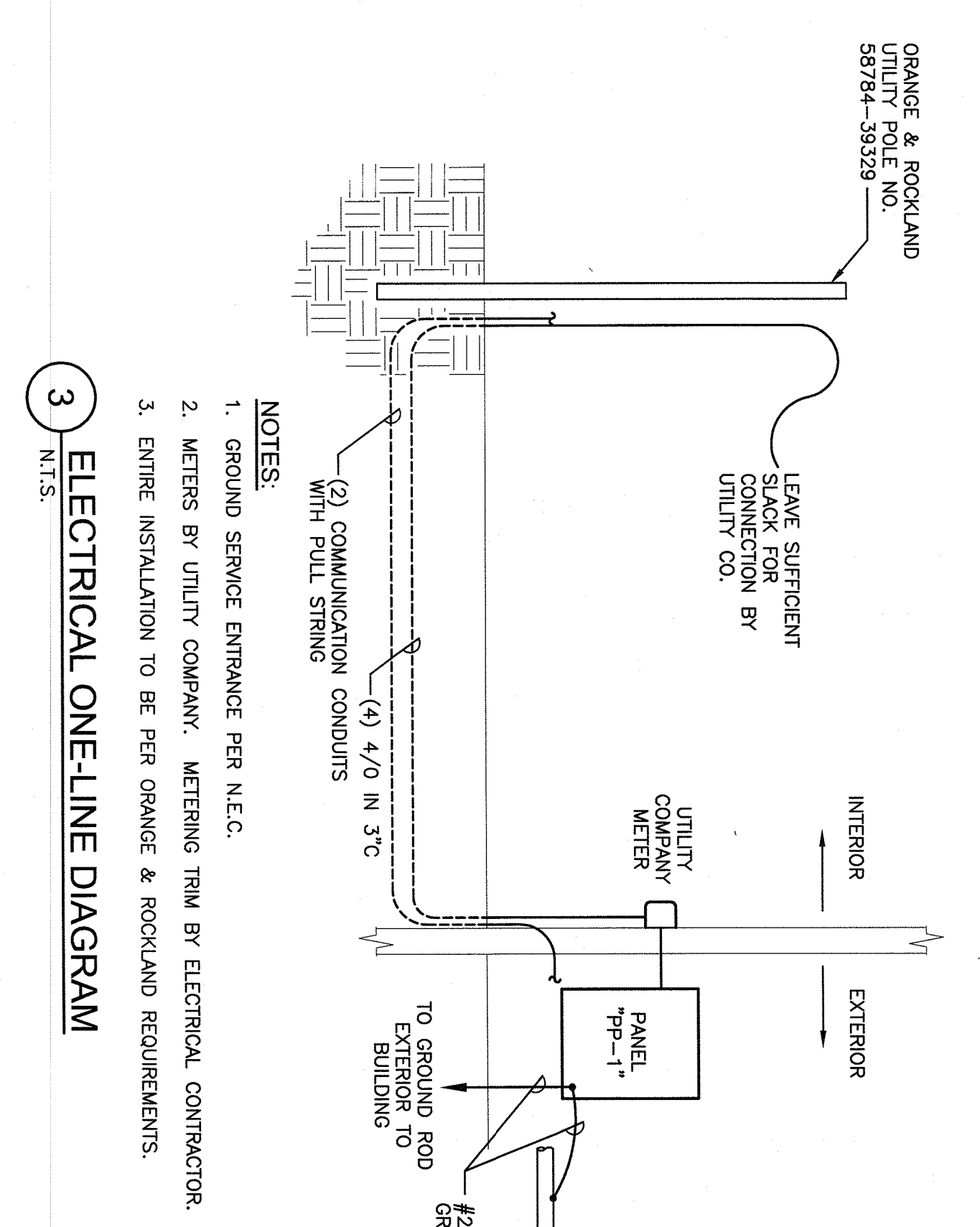


1 MEP SITE PLAN
 SCALE: 1"=20'-0"

LEGEND AND SCHEDULE OF LIGHTING EQUIPMENT			
SYMBOL	MANUFACTURER	CATALOG #	DESCRIPTION
	EFM	EFM-ED2-LED-E1-135-HSS-8030	EPIC LED LUMINAIRE WITH 0-10V DIMMING AND MOTION SENSING OVERRIDE. LUMINAIRE SHALL HAVE TYPE 3 DISTRIBUTION, BLACK PAINT FINISH, 3000K COLOR TEMPERATURE AND 120V-277V UNIVERSAL INPUT. LUMINAIRE SHALL BE MOUNTED ON 4" ROUND POLE WITH BRUSH SINGLE POLE MOUNT ARM 12 FEET ABOVE FINISH GRADE.
	EFM	EFM-ED2-14-8030	SAME AS ABOVE EXCEPT LUMINAIRE SHALL HAVE TYPE 3 DISTRIBUTION.
	PERFORMANCE IN LIGHTING	SHIELD-1 TYPE III	ALUMINUM DIE-CAST WALL PACK WITH 0-10V DIMMING, TYPE 3 LIGHT DISTRIBUTION, 135 WATTS AND 120-277V UNIVERSAL INPUT. WALL PACK SHALL BE MOUNTED 12 FEET ABOVE FINISHED GRADE.
	QNL126 VST11B	STRAIGHT SHADE LED GOOSENECK WITH 24" GOOSE ARM STYLE 1, 120-277V UNIVERSAL VOLTAGE, MOUNT AT 12FT ABOVE FINISHED.	LED

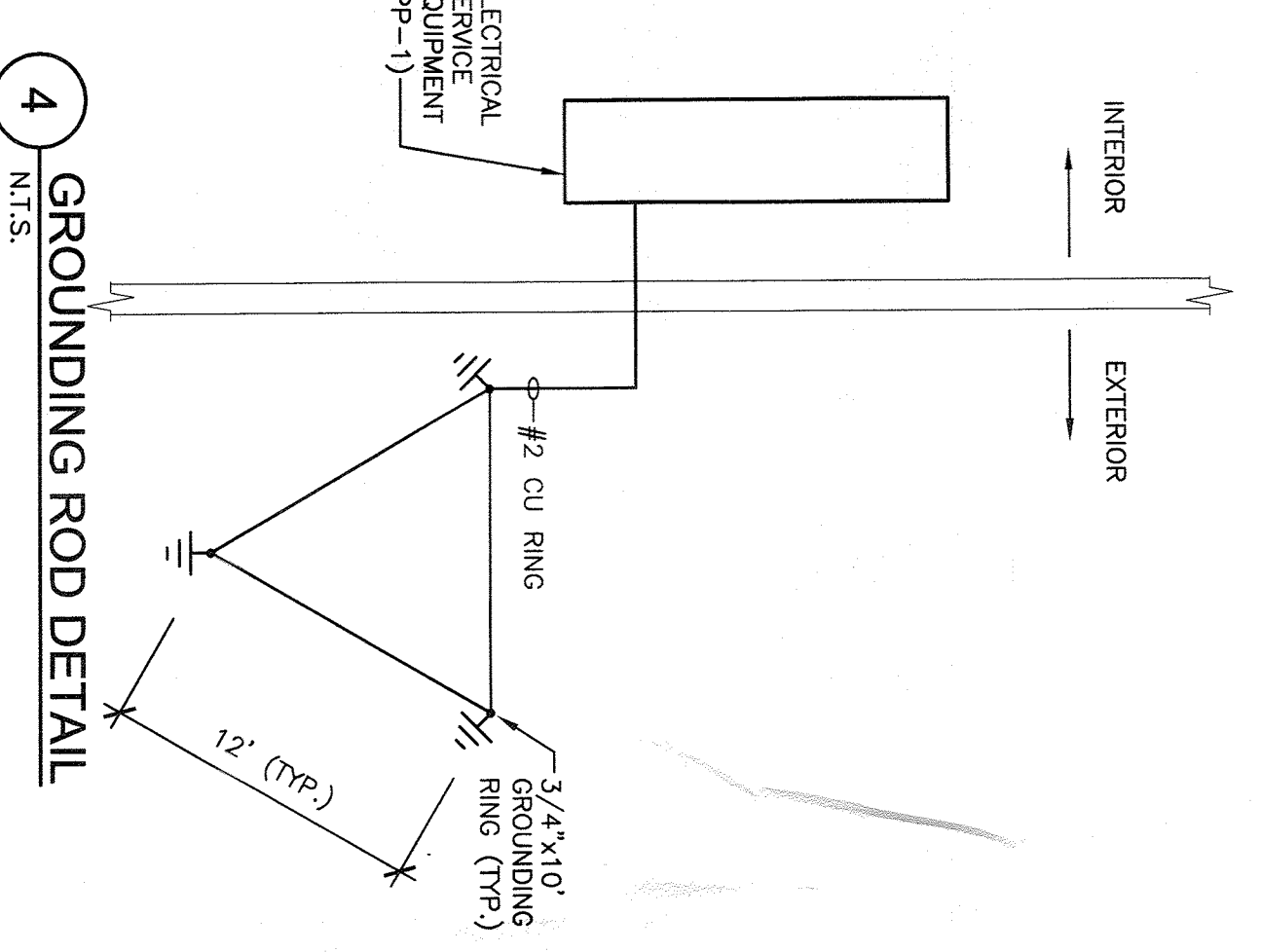


2 TYPICAL LIGHT POLE DETAIL
 N.T.S.



3 ELECTRICAL ONE-LINE DIAGRAM
 N.T.S.

- NOTES:
- GROUND SERVICE ENTRANCE PER N.E.C.
 - METERS BY UTILITY COMPANY. METERING TRIM BY ELECTRICAL CONTRACTOR.
 - ENTIRE INSTALLATION TO BE PER ORANGE & ROCKLAND REQUIREMENTS.



4 GROUNDING ROD DETAIL
 N.T.S.

GROUNDING SCHEDULE	
SIZE OF ELECTRICAL SYSTEM (KVA)	MINIMAL ALLOWABLE RESISTANCE
POWER SYSTEM WITH CAPACITY OF 500 KVA & LESS	10 OHMS
POWER SYSTEM WITH CAPACITY OF 500 KVA TO 1000 KVA	5 OHMS

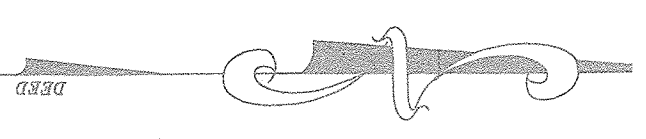
- GROUNDING NOTES
- GROUND FOOTING REBAR WITH A MINIMUM OF #4 CU TO THE GROUNDING SYSTEM AS PER NEC 250.52 (A)(3).
 - GROUND BUILDING STEEL TO THE GROUNDING SYSTEM AS PER NEC 250.52 (A)(2).
 - GROUNDING SYSTEM TO BE CONNECTED TO STREET SIDE OF THE WATER MAIN AS PER NEC 250.52 (A)(1). PROVIDE BONDING JUMPER FOR WATER METER.

REV #	DATE	REMARKS	ISSUE #	DATE	FOR PERMIT	ISSUED FOR:

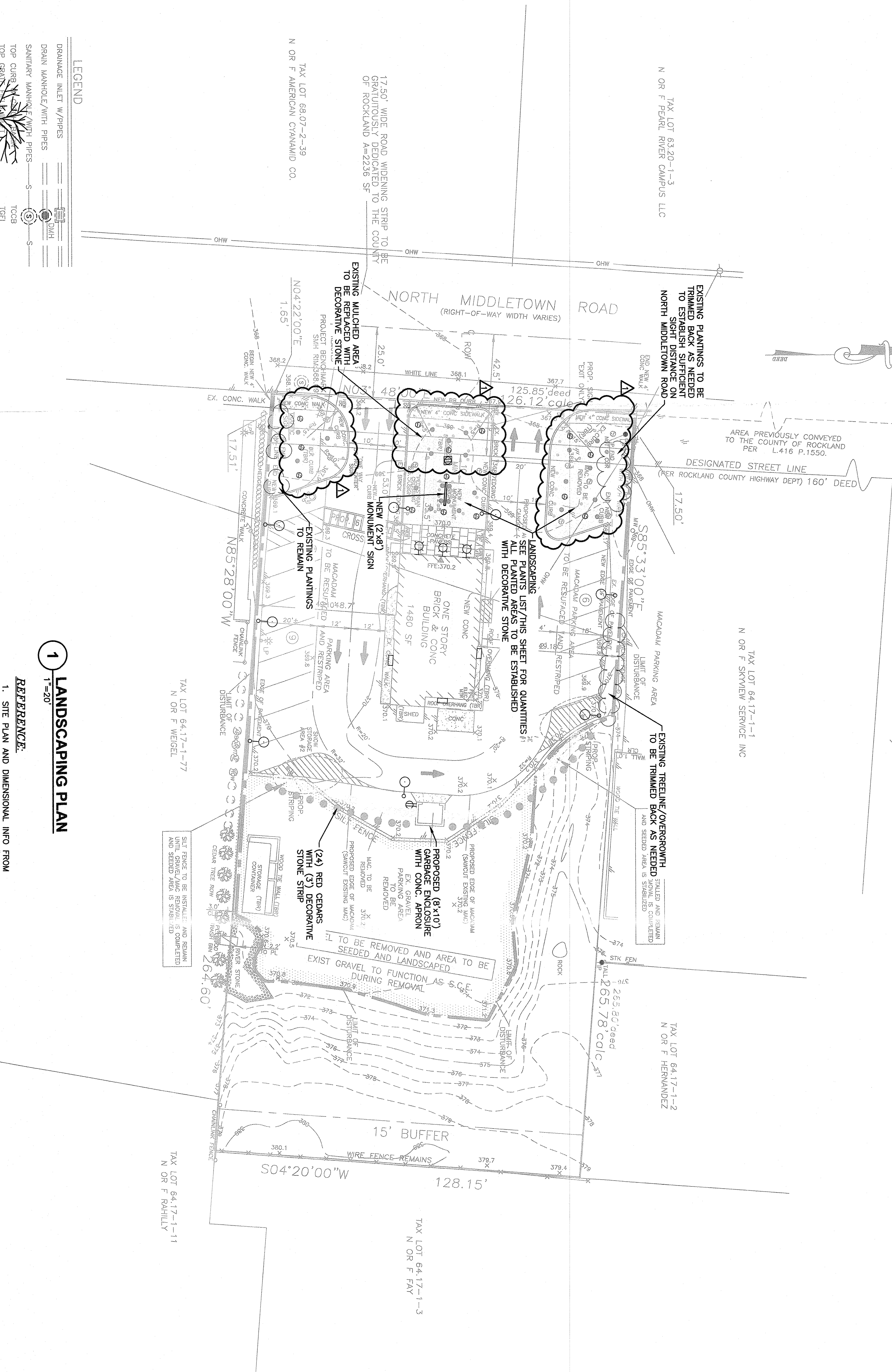
FELLENZER ENGINEERING LLP
 www.felip.com

22 Malberry St., Suite 2A
 Middletown, NY 10940
 845-343-1481 | 845-343-4888
 ERIC D. FELLENER, P.E.
 PROJECT TITLE: ORANGE BANK & TRUST NANUET BRANCH
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954

DRAWING TITLE: MEP: SITE PLAN
 DESIGNED BY: EDR
 DRAWN BY: BJP
 CHECKED BY: AS SHOWN
 DATE: 6/18/20
 PROJECT #:
 SHEET #:
 OF 13



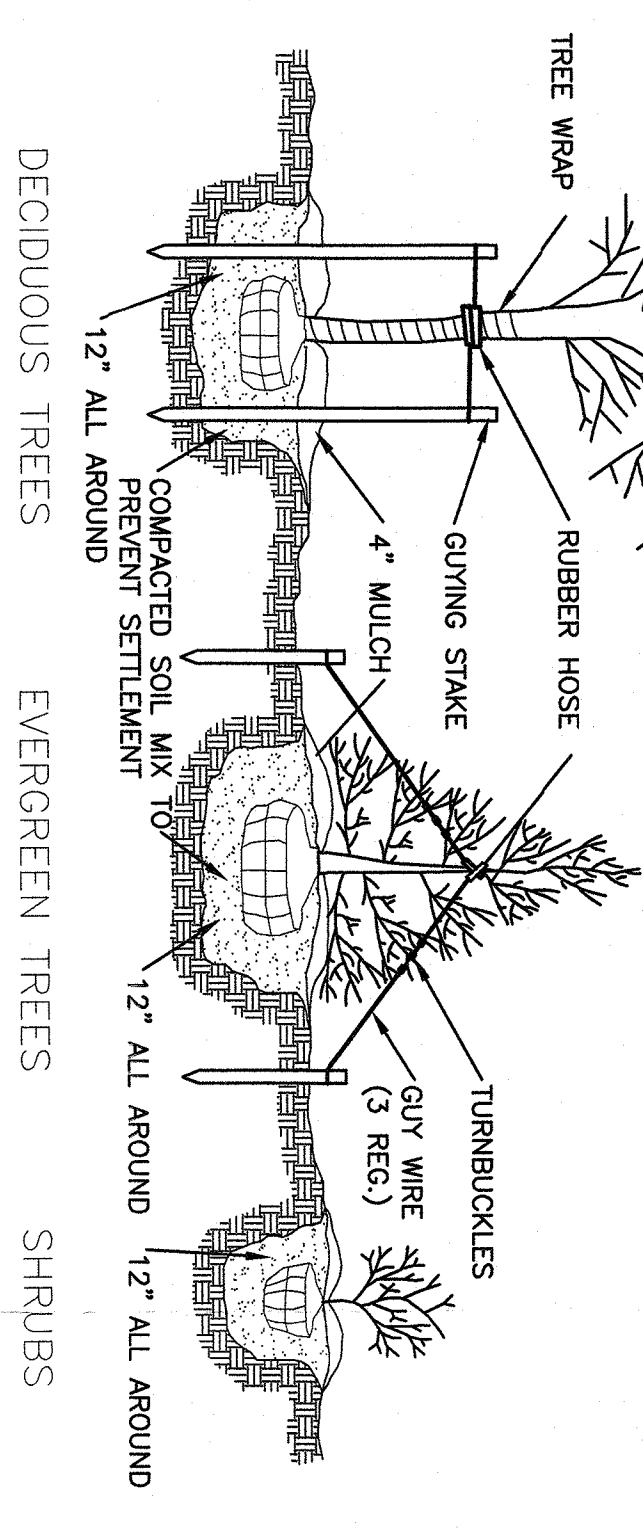
HOGENKAMP AVENUE
 (AKA HOVENKAMP AVE)



1 LANDSCAPING PLAN
 1"=20'

REFERENCE:
 1. SITE PLAN AND DIMENSIONAL INFO FROM "SITE PLAN FOR LAKE REALTY LLC" DATED NOVEMBER 13, 2019
 REVISION 2 DATED JUNE 3, 2020
 85 JAVENET AVENUE
 SUFFERN, NY 10901

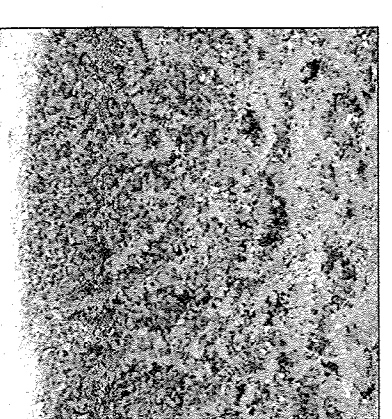
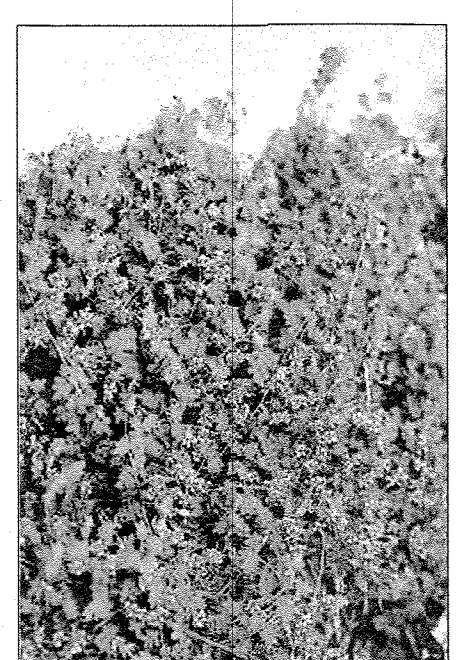
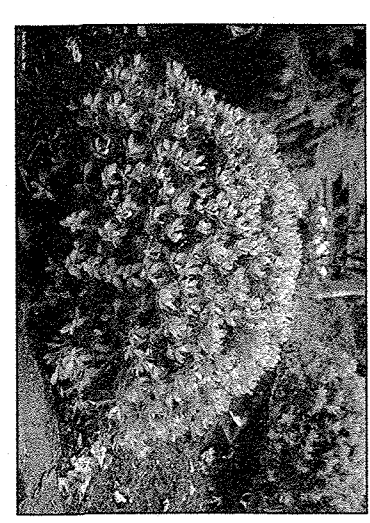
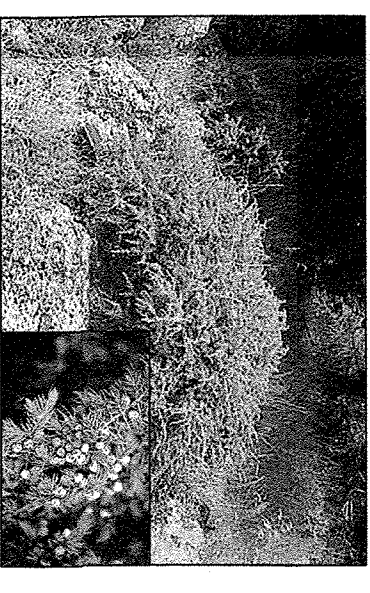
2 PLANTING AND GUYING DETAIL
 N.T.S.



PLANTS LIST

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE
EVERGREEN TREES	24	24	Juniperus virginiana	Red Cedar	4' - 5' hgt
EVERGREEN SHRUBS	12	12	Ilex glabra "Shamrock"	hix berry	36"-48" Spread
DECIDUOUS SHRUBS	7	7	Juniperus communis var. depressa	Old Field Juniper	24"-36" Spread
DECIDUOUS SHRUBS	21	21	Cotoneaster adpressus "Little gem"	Little gem Cotoneaster	24"-36" Spread
SHRUBS	40	40	Indigofera pseudotinctoria	Rose Carpet	24"-36" Spread

NOTE: APPROXIMATELY 2,650 SQ. FT. OF DECORATIVE STONE SHOWN ON PLAN. COORDINATE WITH OWNER/ARCHITECT FOR SPECIFIC QUANTITIES, LOCATIONS, AND AESTHETIC.



Town Of Orangeburg
 MEMOR. 081
 SEP 17 2020
 ARCHITECT/ENGINEER/PLANNING
 ATTORNEY/RECORDING

REV #	DATE	PLANNING BOARD REVISIONS	ISSUE #	DATE	ISSUED FOR:
1	7/2/20				

REMARKS: _____

REFERENCE SCALE: 1/2" = 1', 1/4" = 1', 1/8" = 1'

FELLENZER
 ENGINEERING LLP

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

22 Mulberry St., Suite 2A,
 Middletown, NY 10940
 1-845-343-1481 | 845-343-4888

181 Church St., Suite 100,
 Poughkeepsie, NY 12501
 1-845-454-9704 | 845-454-9735

ERIC D. FELLENZER, P.E.
 PROJECT TITLE: ORANGE BANK & TRUST
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954

ISSUED BY: ECR
 DATE: 01/07/2020

DESIGNED BY: ECR
 CHECKED BY: SRB
 SCALE: AS SHOWN

ISSUED BY: ECR
 DATE: 01/07/2020

PROJECT TITLE: LANDSCAPING PLAN

ORANGE BANK & TRUST
 NANUET BRANCH
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954

ISSUED BY: ECR
 DATE: 01/07/2020

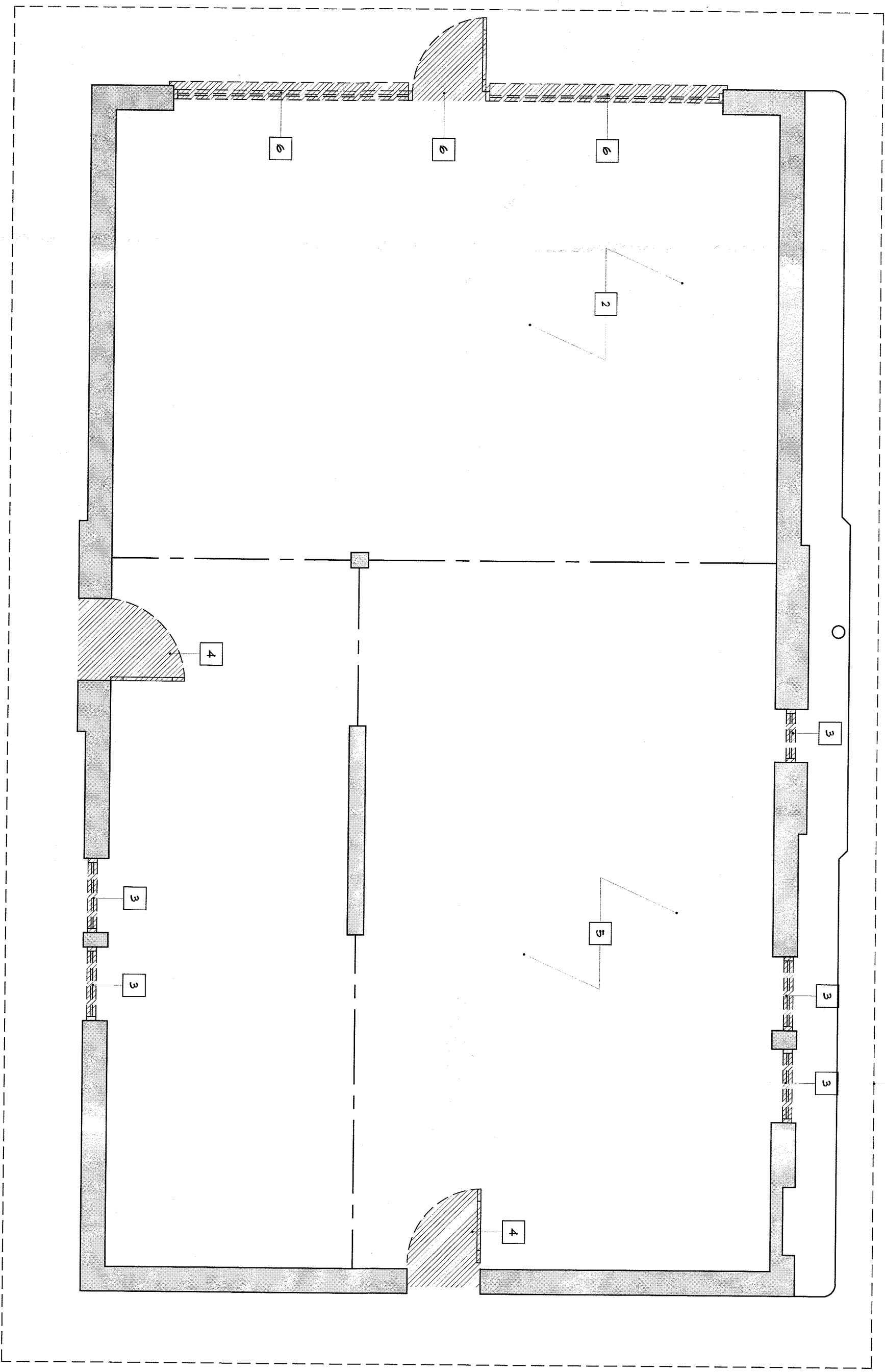
PROJECT TITLE: LANDSCAPING PLAN

ORANGE BANK & TRUST
 NANUET BRANCH
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954

ISSUED BY: ECR
 DATE: 01/07/2020

PROJECT TITLE: LANDSCAPING PLAN

ORANGE BANK & TRUST
 NANUET BRANCH
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954



1 Existing / Demolition Plan
 A1.01 Scale: 1/4" = 1'-0"

Indication Legend

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

General Demolition Notes

PROVIDE INTERIOR AND EXTERIOR FLOORING OR SURFACING TO REMAIN. PROVIDE INTERIOR OR EXTERIOR COLLAPSE OF AREAS TO BE BENT OR DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.

GRADE OPERATION AND NOTIFY NEIGHBORS OF ANY VIBRATION OR SHAKING. TAKE PRECAUTIONS TO PREVENT STRUCTURE APPEARING TO BE DAMAGED. TAKE PRECAUTIONS TO PREVENT STRUCTURE APPEARING TO BE DAMAGED. TAKE PRECAUTIONS TO PREVENT STRUCTURE APPEARING TO BE DAMAGED.

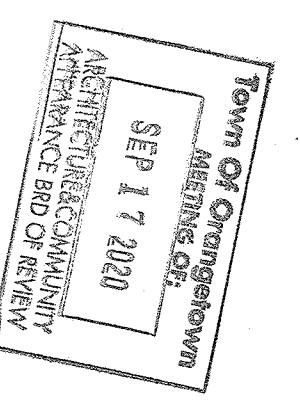
DEMOLITION DRAININGS DO NOT INCLUDE MECHANICAL/ELECTRICAL DEMOLITION OF GENERAL CONSTRUCTION ITEMS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING ELEMENTS TO BE DEMOLISHED. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING ADJACENT AREAS AS MAY BE REQUIRED. CONTRACTOR SHALL PROVIDE A COMPLETE INSTALLATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEBRIS CAUSED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEBRIS CAUSED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEBRIS CAUSED BY DEMOLITION.

Keyed Demolition Notes

- # DEMOLITION NOTE SYMBOL
1. CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITION COMPLETELY INCLUDING ALL OUTLETS IN ACCORDANCE WITH NEC REQUIREMENTS. CONTRACTOR TO PROVIDE STRUCTURAL BRACING AND CONTACT ARCHITECT AS NEEDED.
 2. CONTRACTOR TO REMOVE EXISTING FLOORING AND PREP FOR NEW FLOOR INSTALLATION TO LEVEL FLOOR AS NEEDED.
 3. CONTRACTOR TO REMOVE EXISTING EXTERIOR WINDOW FRAME AND HARDWARE COMPLETELY. PREP TO INSTALL FOR LIKE CONSTRUCTION.
 4. CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR FRAME AND HARDWARE COMPLETELY. PREP TO INSTALL FOR LIKE CONSTRUCTION.
 5. CONTRACTOR TO REMOVE ALL EXISTING CEILING TILE AND GRID ABOVE FOR ENTIRE AREA OF WORK.
 6. CONTRACTOR TO REMOVE EXISTING STONE FRONT GLAZING AND FRAME NEW WINDOW INSTALLATION OF NEW WINDOW.
 7. CONTRACTOR TO REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AND ROOFING MATERIALS.
 8. CONTRACTOR TO REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AND ROOFING MATERIALS.
 9. CONTRACTOR TO REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AND ROOFING MATERIALS.
 10. CONTRACTOR TO REMOVE EXISTING STUCCO SIDING.
 11. CONTRACTOR TO CUT EXISTING WALL CONSTRUCTION TO REMOVE EXISTING NEW WINDOW INSTALLATION REFER TO AS 21.
 12. CONTRACTOR TO REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW INSTALLATION OF NEW WINDOW UNIT.



Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
 Prior dated documents voided by this issue

FOR BIDDING

Revisions:	Date	Description	Drawn	Check
△	01/07/2020	Bldg. Dep Comments	BGD	TJD
△	06/15/2020	Addendum #1	BGD	TJD
△				
△				
△				
△				

Drawings on this page:
 Existing / Demolition Floor Plan

Nanuet Branch
 Orange Bank & Trust Company
 374 S. Middletown Road
 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

5157 AVENUE
 NORTH STREET
 MIDDLETOWN
 10940
 ARCHITECTS
 PHONE 845.434.1310
 FAX 845.434.0253

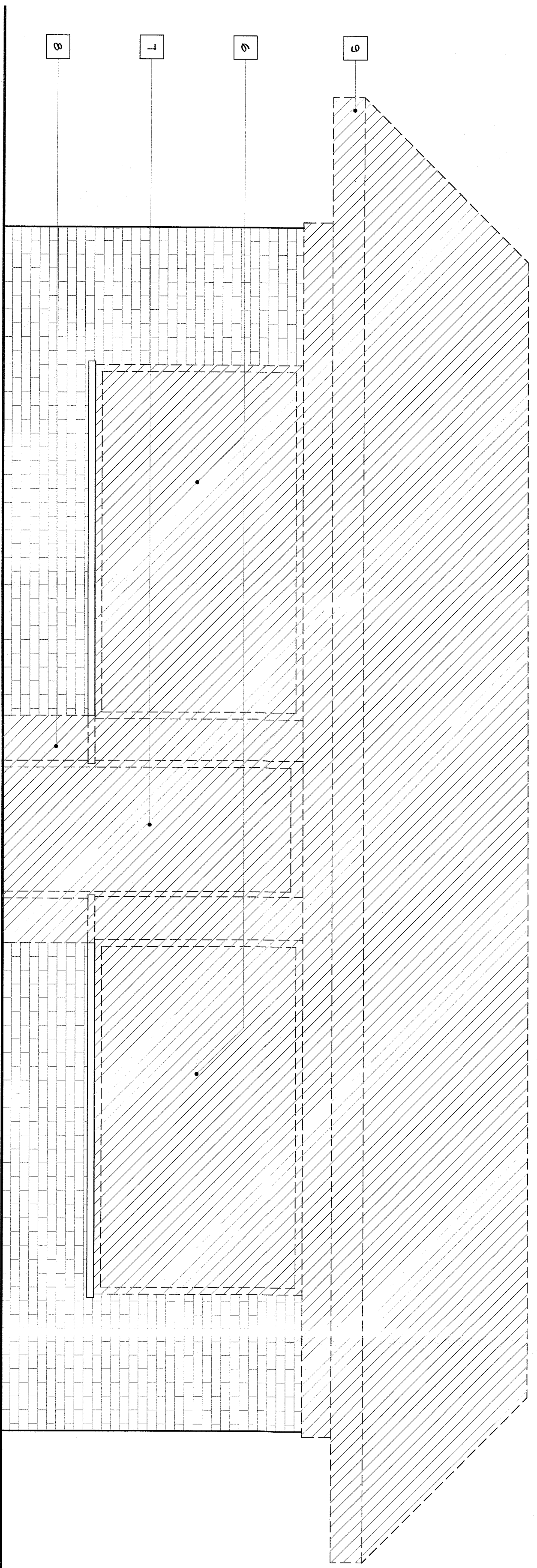
Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b

DEGRAW & DEHAAN
 ARCHITECTS

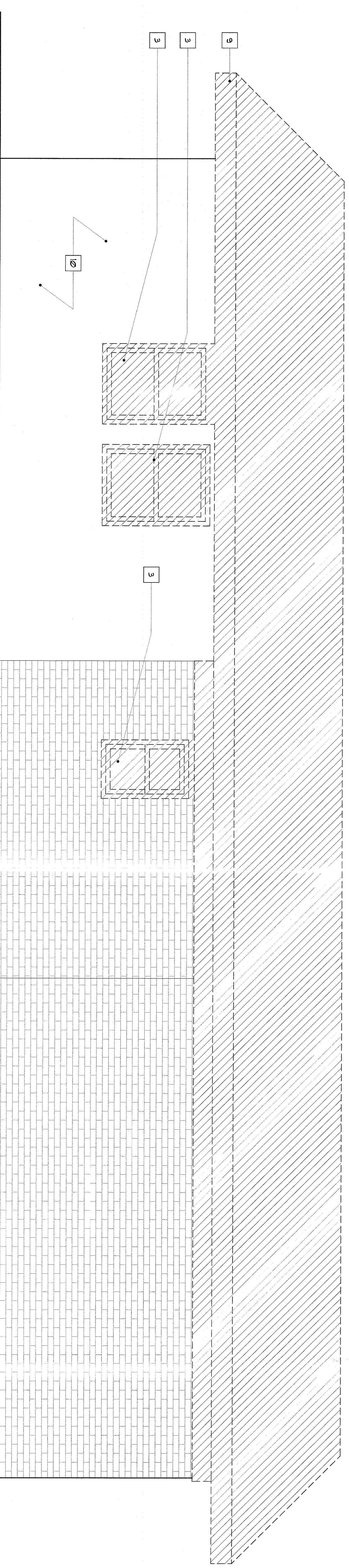
Project
Nanuet Branch
 374 S. Middletown Rd
 Existing / Demolition Floor Plan

Seal: REGISTERED ARCHITECT THOMAS J. DEHAAN STATE OF NEW YORK 019887-1

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: AD1.01



1 Existing / Demolition Front Elevation
Scale: 1/2" = 1'-0"



2 Existing / Demolition Side Elevation
Scale: 1/2" = 1'-0"

Indication Legend	
	EXISTING TO BE REMOVED

General Demolition Notes

REMOVE INTERIOR AND EXTERIOR FINISHES, BRACING OR SUPPORT TO REMAIN. PROVIDE PROTECTIVE SHEETING OR BRACING TO REMAIN. REMOVE ALL EXISTING ADJACENT DEBRIS AFTER DEMOLITION TO PROVIDE A COMPLETE INSTALLATION.

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Keyed Demolition Notes	
#	DEMOLITION NOTE SYMBOL

1. CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITION COMPLETELY INCLUDING ELECTRICAL OUTLETS, ACCORDANCE WITH NEC REQUIREMENTS. CONTRACTOR TO REMOVE EXISTING INTERIOR ARCHITECT BRACE AS NEEDED.
2. CONTRACTOR TO REMOVE EXISTING FLOORING AND PREP FOR NEW FLOOR INSTALL FOR ENTIRE AREA OF FLOOR AS NEEDED.
3. CONTRACTOR TO REMOVE EXISTING EXTERIOR WINDOW FRAME AND HADJWARE COMPLETELY. FREE TO HILL FOR LIKE CONSTRUCTION.
4. CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR FRAME, AND HADJWARE COMPLETELY. FREE TO HILL FOR LIKE CONSTRUCTION.
5. CONTRACTOR TO REMOVE ALL EXISTING CEILING TILE AND GRID ABOVE FOR ENTIRE AREA OF WORK.
6. CONTRACTOR TO REMOVE EXISTING STORE FRONT GLAZING AND FRAME AND PREP FOR INSTALLATION OF NEW STOREFRONT.
7. CONTRACTOR TO REMOVE EXISTING HARDWARE PREP FOR INSTALLATION OF NEW ENTRANCE.
8. CONTRACTOR TO GRIND EXISTING EXTERIOR WALL CONSTRUCTION INCLUDING THE EXISTING WATER TABLE.
9. CONTRACTOR TO REMOVE EXISTING ROOF STRUCTURE AND SHEATHING TO REMAIN.
10. CONTRACTOR TO REMOVE EXISTING STUCCO SIDING.

Consultants:
BID DRAWINGS REVISIONS DATE: August 7, 2020 Prior dated documents voided by this issue
FOR BIDDING

Revisions:	Date	Description	Drawn	Check
△	01/07/2020	Bldg. Dep Comments	BGD	TJD
△	06/15/2020	Addendum #1	BGD	TJD
△				
△				
△				
△				

Drawings on this page:
Existing / Demolition Front Elevation
Existing / Demolition Side Elevation

Nanuet Branch
Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

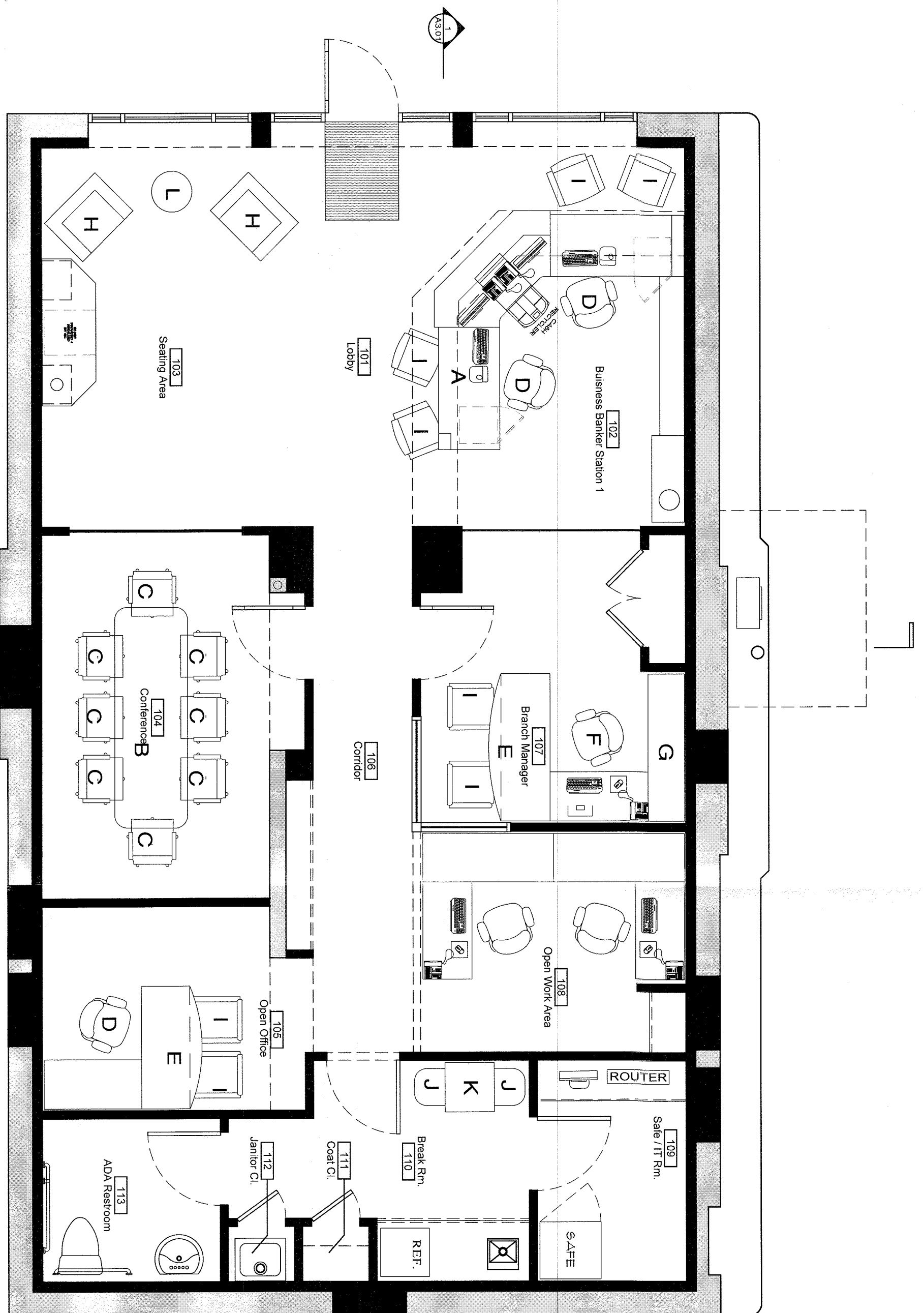
DEGRAW DEHAAN ARCHITECTS
FIFTY-FIVE
SUITE 101
NEW YORK, NY 10948
PHONE: 845.434.1410
WWW.DDARCHITECTS.COM

Nanuet Branch
374 S. Middletown Rd
Existing / Demolition Front Elevation
Existing / Demolition Side Elevation

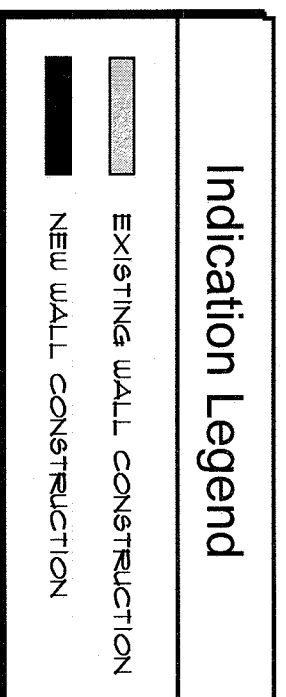
Seal: REGISTERED ARCHITECT STATE OF NEW YORK 019882-A

Date: 01/18/2020
Drawn By: BGD
Checked By: TJD
Drawing No: AD2.01

Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b



1
A1.01
New Architectural Plan
Scale: 1/4" = 1'-0"



Type	Quantity	Description	Manufacturer	Style	Finish/Color	Size	Remarks
A	1	RECEPTION DESK	IOF	N/A	NATURAL MAPLE LAMINATE VENEER	CUSTOM	REMOVE CONNECTION TO EXISTING WALL
B	1	CONFERENCE TABLE	IOF	N/A	6454UCCO POLISHED CHERRY BASE	36" W X 96" L	EQUIP FOR POWER/ DATA
C	8	CONFERENCE SEATING	WOODSTOCK MARKETING	MID-BACK JON-LIN	BLACK / POLISHED CHERRY BASE	--	
D	4	TASK SEATING	SIKONT	TORSA	FOOT FABRIC / CHALK VANTL WHITE FRAME	--	
E	3	CABEGOODS	IOF	N/A	WOOD GRAIN LAMINATE MUL-1	61" W X 66" H	REMOVE PRICING FOR IOF AS ALTERNATE PRODUCT
F	1	MANAGER EXECUTIVE CHAIR	WOODSTOCK MARKETING	HENRIK-HIGH	TAN LEATHER / POLISHED	--	
G	3	OPERENZA	IOF	N/A	WOOD GRAIN LAMINATE MUL-1	61" W X 66" H	REMOVE PRICING FOR IOF AS ALTERNATE PRODUCT
H	3	LOUNGE SEATING	MODIARY	CHARLES GRANDE ARTCHAIR	TAN LEATHER	38" W X 26.5" D X 27" H	
I	10	GUEST SEATING	WOODSTOCK MARKETING	ARLO	BLACK LEATHER / POLISHED	--	
J	2	BAR STOOLS	--	--	--	--	
K	1	BREAK ROOM BREAK TABLE	SURFACE WORKS MARKETING	LEGACY HOSPITALITY TABLE	6454UCCO POLISHED CHERRY BASE	21" W X 21" D	
L	2	END TABLE	WOODSTOCK MARKETING	MARSEN	WHITE CARRERA MARBLE TOP / POLISHED 88 BASE	30" ROUND X 24" HT	

Consultants:

BID DRAWINGS REVISIONS
DATE: August 7, 2020
Prior dated documents voided by this issue

FOR BIDDING

Revisions:	Date	Description	Drawn	Check
△	01/07/2020	Bldg. Dep Comments	BGD	TJD
△	06/15/2020	Addendum #1	BGD	TJD
△				
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△				
△				

Drawings on this page:

Nanuet Branch

Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

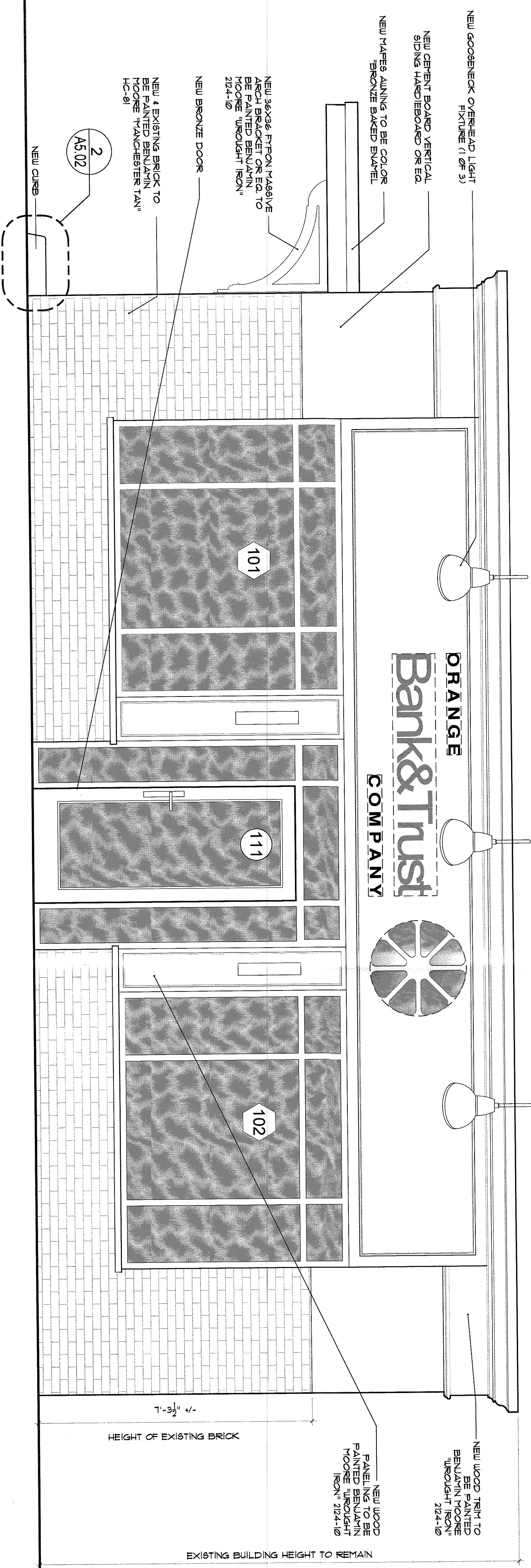
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DEGRAW & DEHAAN
ARCHITECTS
FIFTYFIVE NORTH STREET
MIDDLETOWN
10940 NY
PHONE 845.434.4510
FAX 845.434.4511

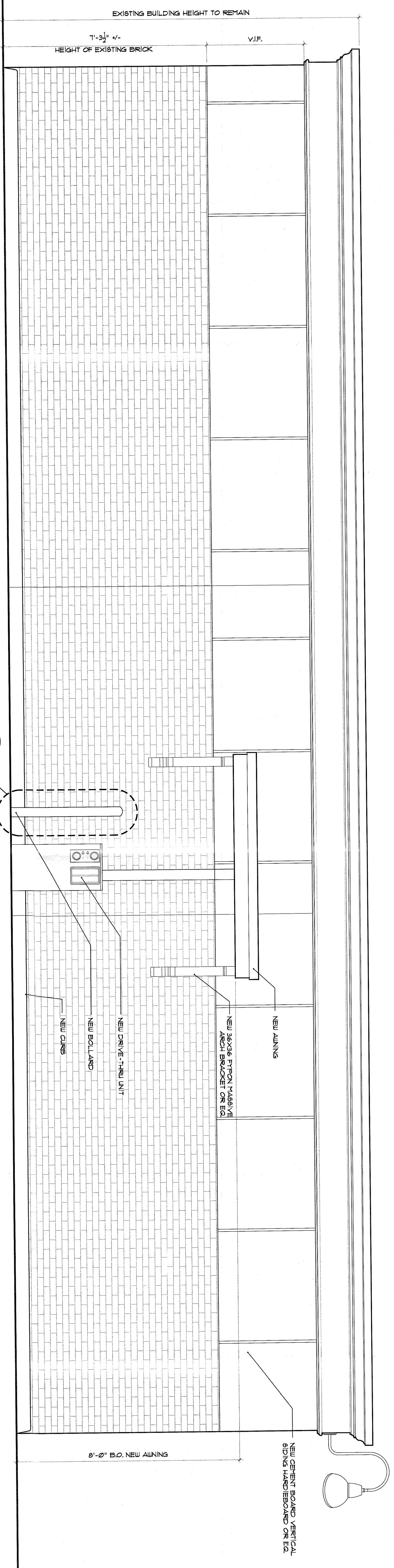
Project

Nanuet Branch
374 S. Middletown Rd
New Architectural Plan
New Furniture Schedule

SEAL OF THE STATE OF NEW YORK
REGISTERED ARCHITECT
TJD
DATE: 01/18/2020
DRAWN BY: BGD
CHECKED BY: TJD
DRAWING NO: A1.01



1 New Front Elevation
Scale: 1/2" = 1'-0"



2 New Left Side Elevation
Scale: 1/2" = 1'-0"

Consultants:

BID DRAWINGS REVISIONS
DATE: August 7, 2020
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△	06/15/2020	Addendum #1	BGD	TJD
△				
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Drawings on this page:
New Front Elevation
New Side Elevation

Nanuet Branch

Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

DEGRAW & DEHMAN
ARCHITECTS

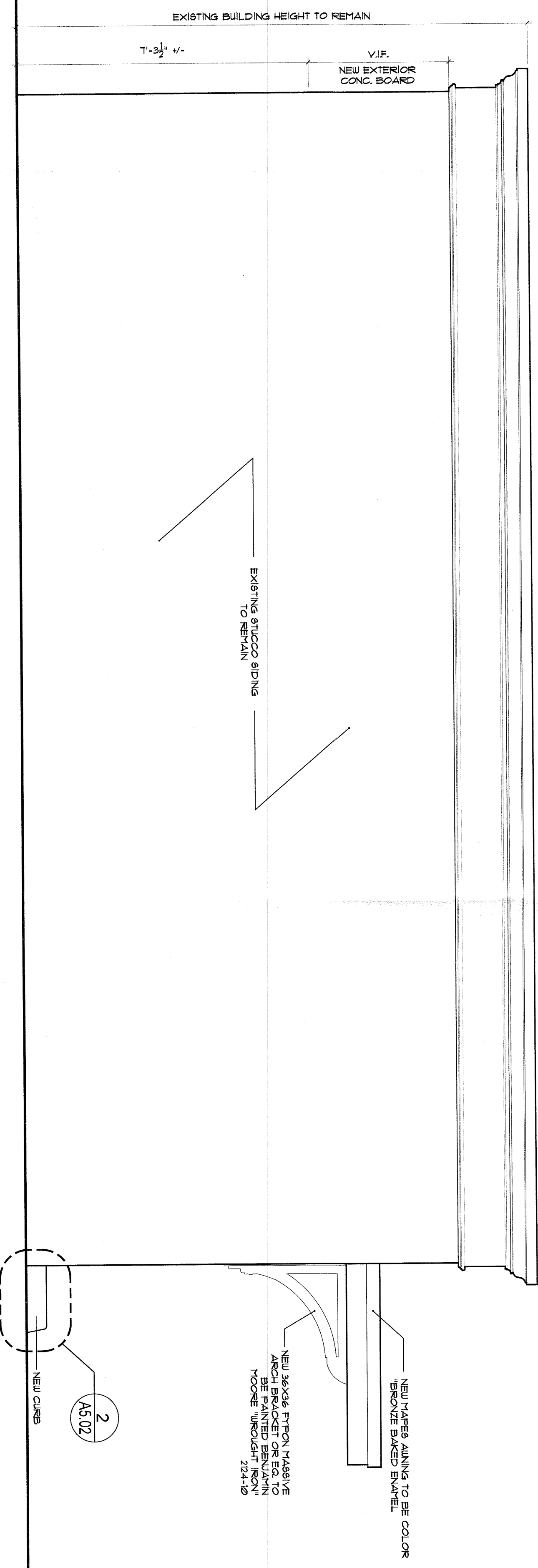
FIRST STREET
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PHONE 845-351-4110
FAX 845-351-4113

Project
Nanuet Branch
374 S. Middletown Rd
New Front Elevation
New Left Side Elevation

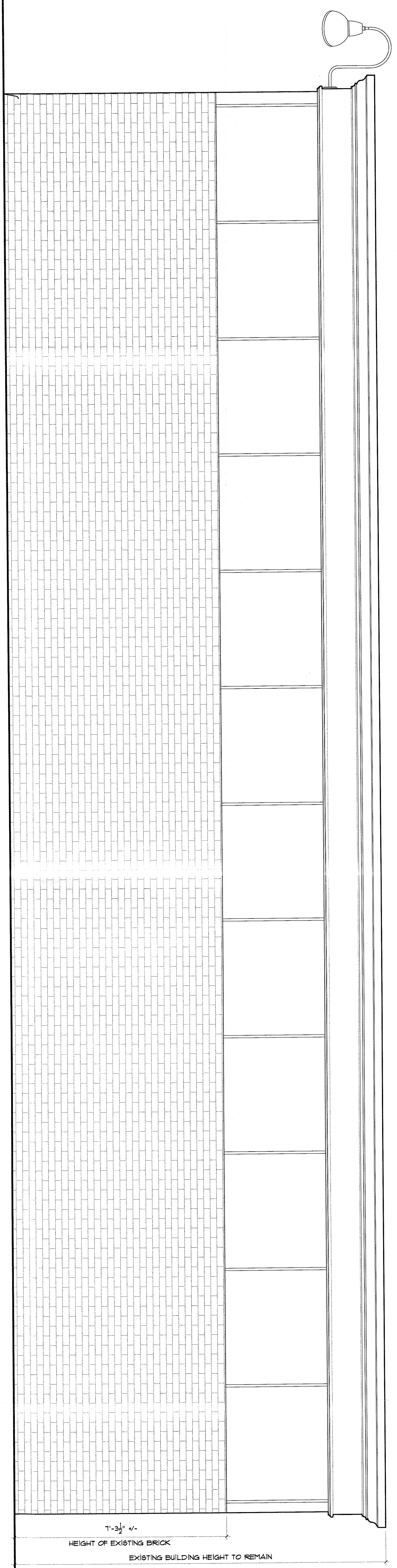
Seal

Date: 01/16/2020
Drawn By: BGD
Checked By: TJD
Drawing No: **A2.01**

Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b



1
A2.02
 New Rear Elevation
 Scale: 1/2" = 1'-0"



2
A2.02
 New Right Side Elevation
 Scale: 1/2" = 1'-0"

NEW BRASS FINISH TO BE COLOR BRONZE BAKED BRASS
 NEW 3/8x3/8 BRONZ MASSIVE ARCH BRACKET OR EQ TO BE PAINTED BRONZE FINISH (SPECS 2134-10)

NEW CURB
2
A2.02

Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
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FOR BIDDING

Revisions:

Date	Description	Drawn	Check
01/07/2020	Bldg. Dep Comments	BGD	TJD
06/15/2020	Addendum #1	BGD	TJD

Drawings on this page:
 New Front Elevation
 New Side Elevation

Nanuet Branch
 Orange Bank & Trust Company
 374 S. Middletown Road
 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

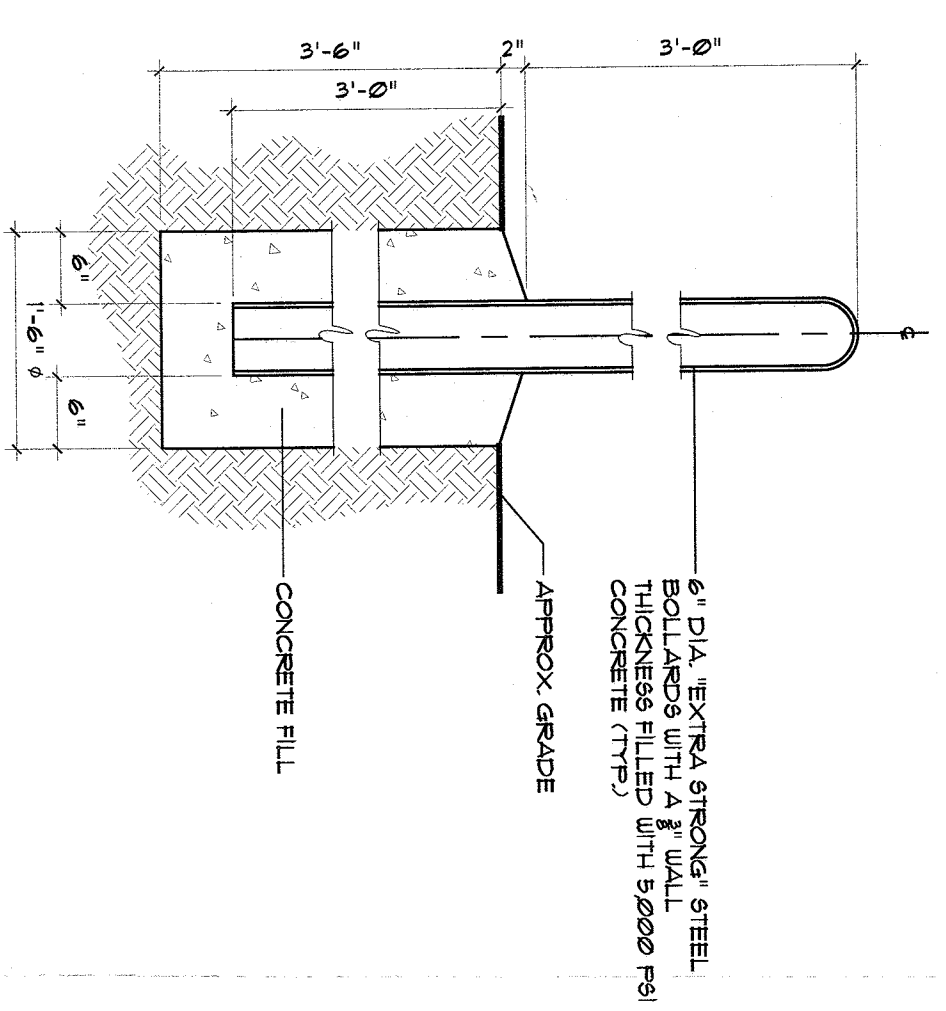
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 NEW YORK
 10948
 PHONE: 455-2445/4519
 FAX: 455-2446

Project:
Nanuet Branch
 374 S. Middletown Rd
 New Rear Elevation
 New Right Side Elevation

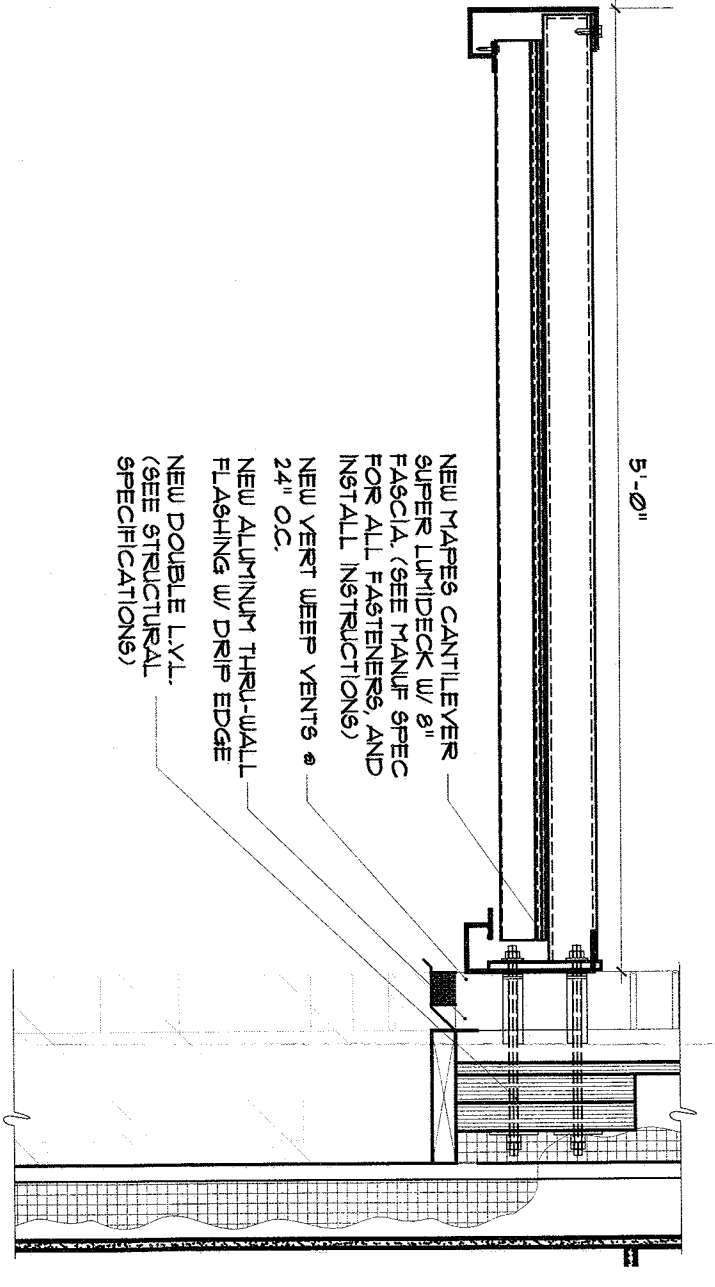
Seal: REGISTERED ARCHITECT STATE OF NEW YORK 0123882-TJD

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: **A2.02**

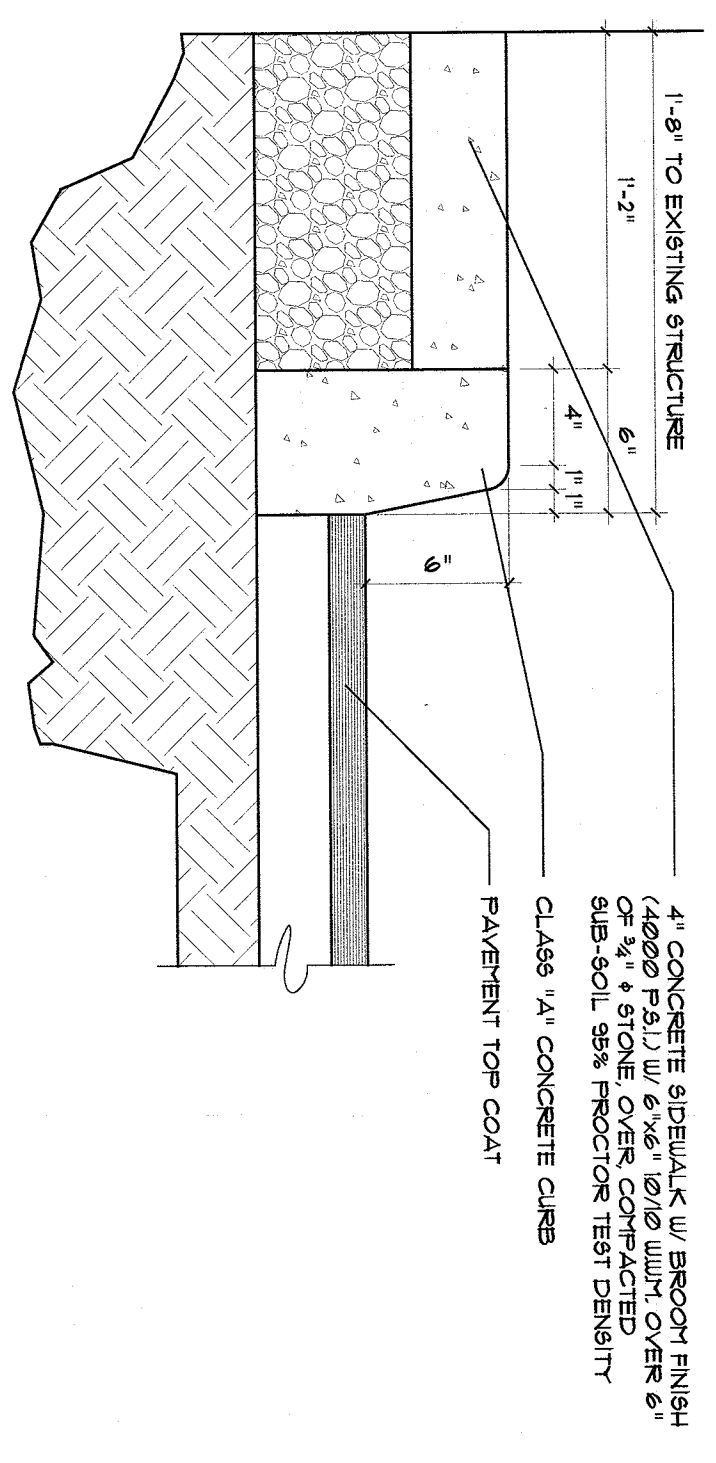
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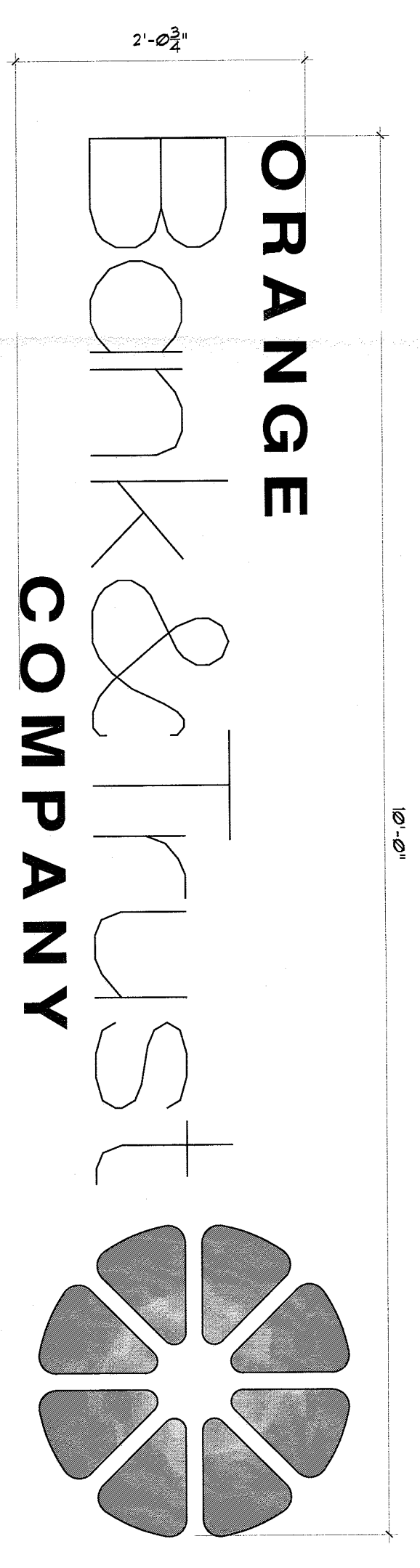
1 New Typical Bollard Detail
 A5.02 Scale: 1" = 1'-0"



2 Cantilevered Awning Section Detail
 A5.02 Scale: 1" = 1'-0"

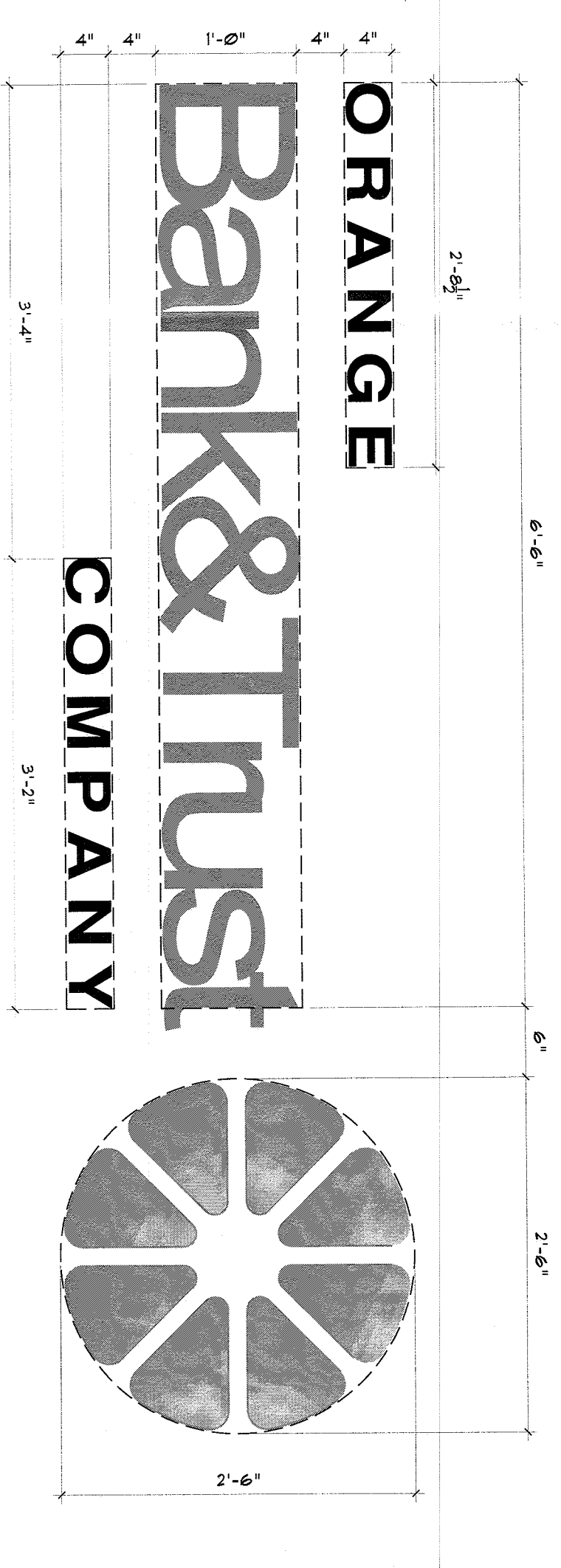


3 New Exterior Curb Detail
 A5.02 Scale: 1-1/2" = 1'-0"



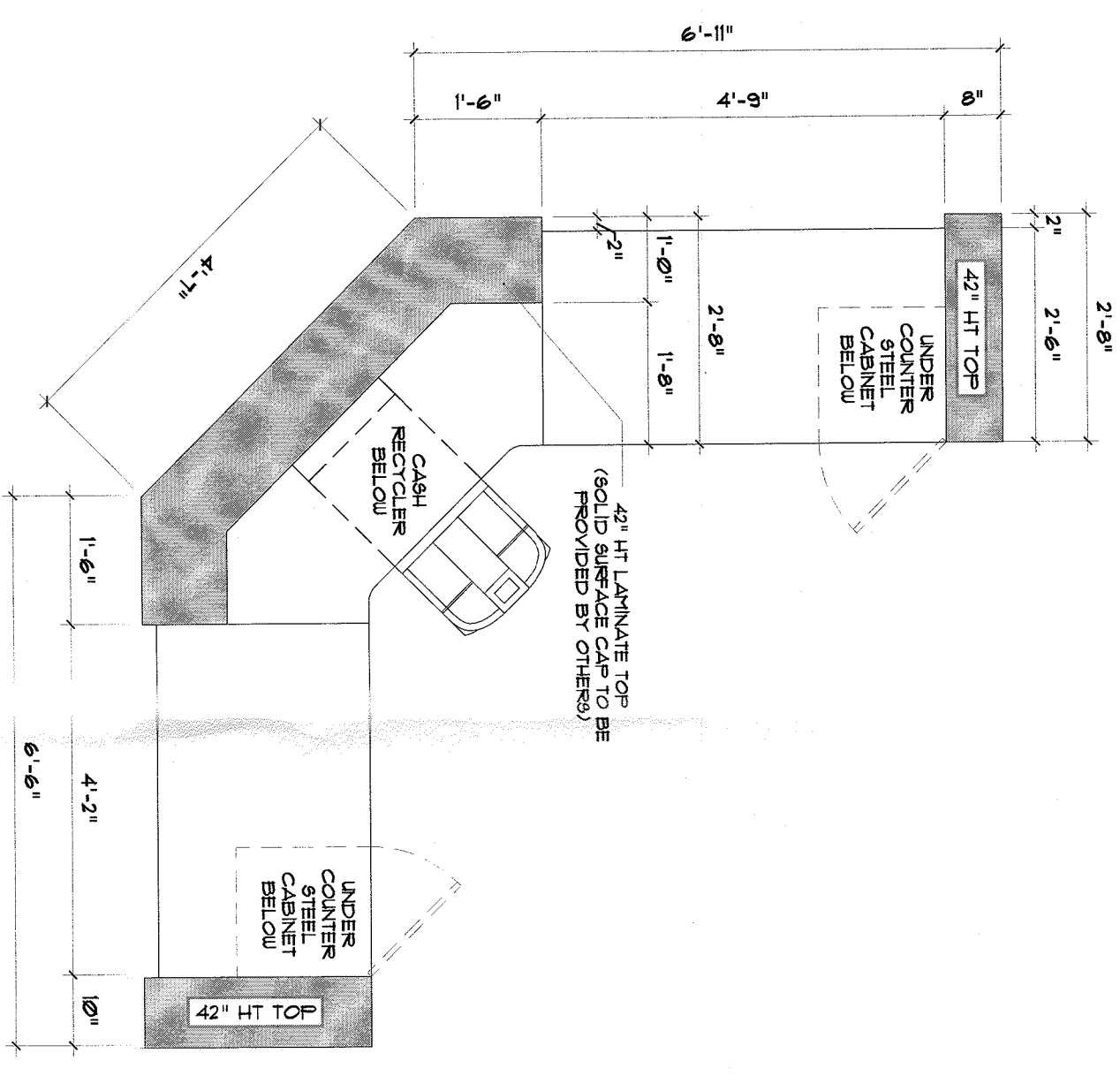
- NOTES:
- LETTERS SHALL BE 1" ALUM. CHANNEL LETTERS W/ 1" STANDOFF. "HAVEN PRO" FONT.
 - SIGNAGE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND PROVIDE SIGNAGE SHOP DRAWINGS FOR ARCHITECT REVIEW & APPROVAL PRIOR TO FABRICATION.

4 New Interior Signage Detail
 A5.02 Scale: 1/2" = 1'-0"

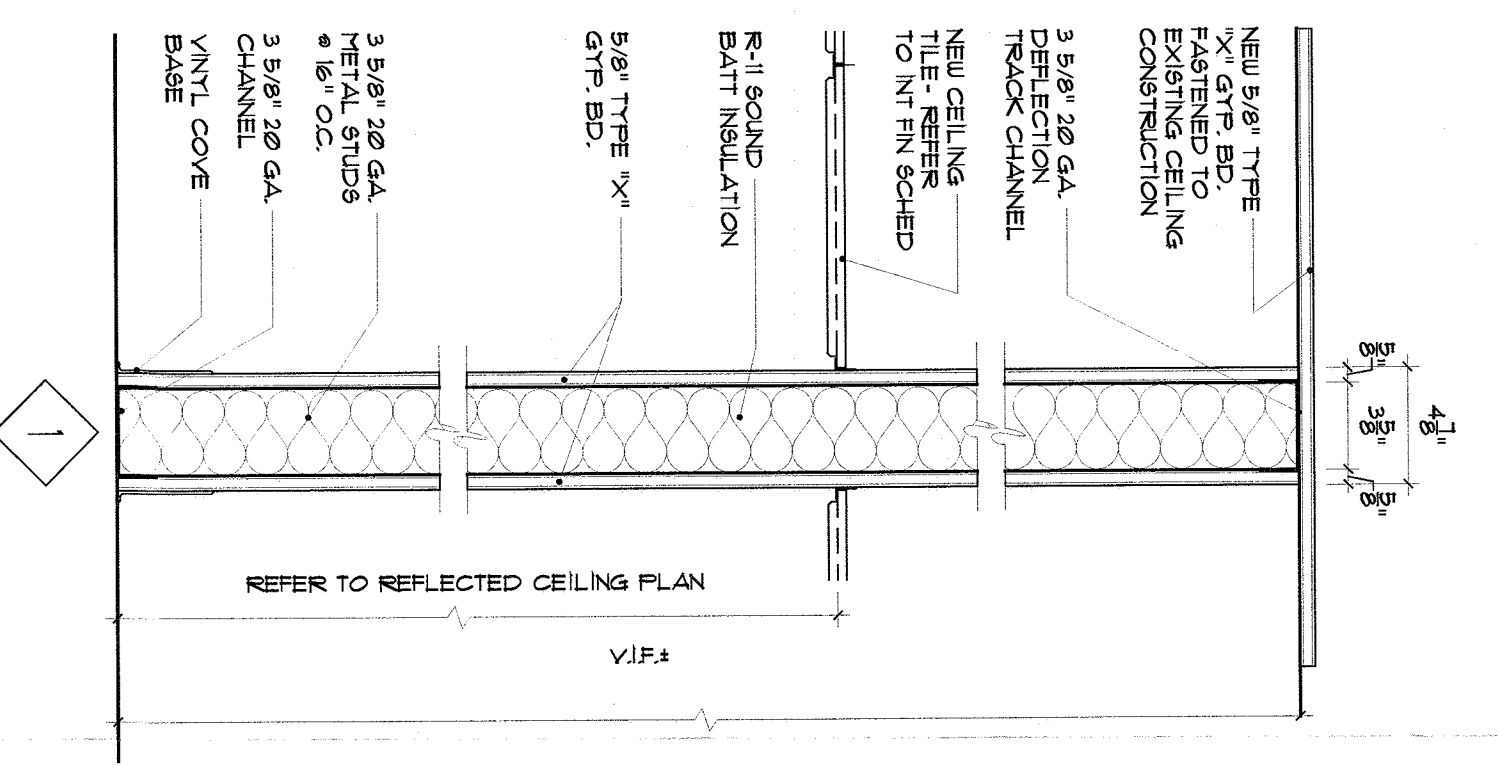


- NOTES:
- INCLUDE SIGN FABRICATION, INSTALLATION AND LOW VOLTAGE ELECTRICAL WIRING IN GENERAL WORK BASE BID.
 - LINE VOLTAGE ELECTRICAL SUPPLY BY ELECTRICAL CONTRACTOR.
 - EACH LETTER SHALL CONTAIN CONCEALED LED BULBS W/ INDIVIDUAL WIRED CONNECTIONS CONCEALED WITHIN LETTER STANDOFF BRACKETS.
 - GC SHALL FIELD VERIFY CONDITIONS AND PROVIDE SIGNAGE SHOP DRAWINGS AND FINISH SAMPLES FOR ARCHITECT REVIEW & APPROVAL PRIOR TO FABRICATION.
 - SIGNAGE LIGHTING SHALL BE CONTROLLED BY PHOTOCELL, IN KIND W/ OTHER EXTERIOR LIGHT FIXTURES.
 - GC SHALL BE RESPONSIBLE FOR PROCURING SIGNAGE PERMIT FROM THE CITY OF MIDDLETOWN. PERMIT FEE SHALL BE INCLUDED IN GC BASE BID.

5 New Exterior Signage Detail
 A5.02 Scale: 1" = 1'-0"



6 New Reception Desk Enlarged Plan
 A5.02 Scale: 1/2" = 1'-0"



7 Typical Wall Type Detail
 A5.02 Scale: 1-1/2" = 1'-0"

Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
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FOR BIDDING

Revisions:

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08/15/2020	Addendum #1	BGD	TJD

Nanuet Branch

Orange Bank & Trust Company
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 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

Drawings on this page:
 New Architectural Details
 New Signage Details

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DEGRAW DEHANN ARCHITECTS

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Project
 Nanuet Branch
 374 S. Middletown Rd
 New Architectural Details
 New Signage Details

Seal of the State of New York
 REGISTERED ARCHITECT
 A5.02

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: A5.02