

EXISTING CONDITIONS NOTES

- 1. EXISTING CONDITIONS ARE TAKEN FROM A SURVEY PREPARED BY JAY A. GREENWELL, PLS., LLC, LAST UPDATED AUGUST 2019.
2. THE 100 YEAR FLOOD PLAN SHOWN HEREON IS AS DEPICTED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ROCKLAND COUNTY, NY (PANELS 186 AND 178 OF 207 (MAP NUMBERS 36067C01866 AND 36067C01786 RESPECTIVELY)). THESE MAPS HAVE BEEN ISSUED AS 'PRELIMINARY 3/21/2011' AND HAVE NOT YET BEEN OFFICIALLY ADOPTED BY FEMA.
3. FEDERAL WETLANDS AREAS SHOWN AS DELINEATED BY ECOLOGICAL SOLUTIONS, ON MAY 5, 2011. PRELIMINARY MAPPING HAS NOT BEEN OFFICIALLY ACCEPTED. IT IS MORE ACCURATE WITH RESPECT TO THE STREAM CHANNEL, CURRENT FLOW AND MORE CURRENT TOPOGRAPHIC DATA.
4. WETLANDS SHOWN HEREON ARE SUBJECT TO VERIFICATION BY THE U. S. ARMY CORP OF ENGINEERS AND OR OTHER GOVERNMENT AGENCIES, IF APPLICABLE.
5. UNDER AUTHORITY OF CHAPTER 486 OF THE LAWS OF 1976, THE ROCKLAND COUNTY DRAINAGE AGENCY HAS JURISDICTION OVER ACTIVITIES WITHIN CHANNEL LINES OF THE NAURASHAUN DR WITHIN 100 FEET THEREFROM. NOTE THAT NOTWITHSTANDING THAT LIMITED REGULATED AREA THE AGENCY HAS BEEN REGULATING ACTIVITIES ON AND SITE CONTAINING A REGULATED STREAM.
6. PHYSICAL IMPROVEMENTS SHOWN HEREON HAVE BEEN LOCATED BY AERIAL PHOTOGRAMMETRY WITH FIELD AUGMENTATION WHERE SPOT LINES OCCURRED. OBSERVED DETAILS AND FEATURES NOT VISIBLE MAY OR MAY NOT BE SHOWN.
7. DATUM: NAVD 83
8. UNDERGROUND UTILITY LOCATIONS ARE DETERMINED BY OBSERVING PHYSICAL FEATURES AND/OR VERBAL INFORMATION PROVIDED BY AFFEY COOPERSTWIK, EXEC. DIR. ON 8/19/14. LOCATIONS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON FOR DESIGN OR CONSTRUCTION PURPOSES.

REFERENCES

- SUBJECT TO EASEMENTS OF RECORD AS WOULD BE CARRIED BY AN UP-SLOPE TO DATE TITLE REPORT, INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
1. PERMANENT DRAINAGE EASEMENT TO THE COUNTY OF ROCKLAND IN L 1046 PAGE 247 (MAINTAINING AND REPAIRING DRAIN AND CHANNEL IMPROVEMENTS, ETC.).
2. PERPETUAL RIGHTS OF INGRESS AND EGRESS OVER A 50' STRIP EXTENDING EASTERLY TO SICKLETOWN ROAD (INCLUDING TALL CONDUITS OF PUBLIC UTILITIES) IN L 724 P 542, AND RIGHTS GRANTED ADJOINING OWNERS IN L 598 P 231, AS NOTED IN L 724 P 542, THE PREMISES MAY BE SUBJECT TO COVENANTS AND RESTRICTIONS IN L137 P 587 AND L 469 P 387.
3. ANY EASEMENTS GRANTED TO LOUIS GERMAIN AND WIFE (OR HEIRS AND/OR ASSIGNS) DESCRIBED IN DEED FROM TERNEY IN L 671 P 278.
4. ANY EASEMENTS RESERVED BY PRYNTON K. BISHOP (OR HEIRS AND/OR ASSIGNS) DESCRIBED IN DEED FROM FRETTI IN L 622 P 1.
5. DRAINAGE EASEMENT TO THE TOWN OF ORANGETOWN IN L 649 P 204.
6. SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN IN L 649 P 210.
7. SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN IN L 756 P 239.
8. PERMANENT EASEMENTS FOR MORRIS C. VAN HOUTEN AND EVA F. VAN HOUTEN (OR HEIRS AND/OR ASSIGNEES) AS DESCRIBED IN L 1040 P1042, INCLUDING INGRESS AND EGRESS AND UTILITIES AS NOTED.
9. EASEMENT TO DR. WILLIAM L. WASH FOR MAINTENANCE OF A WATER PIPE AND ELECTRIC POWER LINE FROM THE NAURASHAUN BROOK, 10' IN WIDTH IN L 699 P 475.
10. 100' BUFFER IN FAVOR OF MANHATTAN WOODS CORPORATION ALONG THE NORTHERLY PROPERTY LINE AS SHOWN HEREON, PERMITTING USAGE OF THE BUFFER AREA FOR GOLF EVENTS AND RESTRICTIVE USE BY SURVIVED SITE AS DESCRIBED IN L 472 P 2734.
11. 6' WIDE PEDESTRIAN EASEMENT TO NAURASHAUN PRESBYTERIAN CHURCH AS DESCRIBED IN L 773 P 1181.
12. UTILITY EASEMENTS IN FAVOR OF ORANGE AND ROCKLAND UTILITIES TO PROVIDE ELECTRIC AND GAS SERVICE TO SURVEYED SITE AS DESCRIBED IN L 157 P 2924 AND L 1073 P 154.

DOCUMENTS OF RECORD INDICATE THAT THE PROPERTY MAY BE SUBJECT TO RIGHTS OF OTHERS AS NOTED ABOVE TO USE PORTIONS OF THE PREMISES FOR ACCESS, UTILITIES, WATER, DRAINAGE, ETC. THE PREPARATION OF A COMPREHENSIVE TITLE REPORT IS ADVISED TO REVIEW AND ASSESS ANY AND ALL ENCUMBRANCES ON THE PROPERTY, AND TO DETERMINE WHAT EASEMENTS ARE STILL IN EFFECT AND WHICH MAY HAVE BEEN ELIMINATED.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL COMPLY WITH DIG SAFE NEW YORK PRIOR TO INITIATING ANY DEMOLITION WORK ONSITE.
2. CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES PRIOR TO INITIATING ANY DEMOLITION WORK ONSITE.
3. STOCKPILING OF EXCAVATED OR DEMOLITION MATERIAL IS NOT PERMITTED ONSITE WITHOUT APPROVAL FROM THE OWNER.
4. ALL UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH UTILITY PROVIDER'S REQUIREMENTS.
5. ALL DEMOLITION MATERIAL MUST BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NOTES

PRE-CONSTRUCTION ACTIVITIES

- 1. THE CONTRACTOR IS REQUIRED TO REVIEW THIS DOCUMENT WITH ALL EMPLOYEES AND SUBCONTRACTORS IN ORDER TO GAIN UNDERSTANDING OF THE RELATIONSHIP BETWEEN THE STORMWATER ANALYSIS AND THE MANAGEMENT PRACTICES AND SEDIMENT CONTROL MEASURES OUTLINED BY THIS REGULATED PROJECT PLANS.
2. A SITE INVESTIGATION IS TO BE PERFORMED SO THAT ALL NATURAL RESOURCES ARE IDENTIFIED AND THEN MARKED SO THAT THEY ARE PROTECTED DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES BUT IS NOT LIMITED TO TREES, VEGETATION, AND WETLANDS. ANY DISCREPANCIES THAT MAY EXIST BETWEEN THE SITE AND WHAT IS SHOWN ON THE ENGINEERED PROJECT PLANS AS THEY PERTAIN TO EXISTING WATERCOURSES, GROUND COVER, TOPOGRAPHY, WETLANDS, SHOULD BE NOTED AND REPORTED TO THE DESIGN ENGINEER.
3. NOTIFY THE DESIGN ENGINEER OF ANY OTHER DISCREPANCIES NOTED IN THE FIELD.
4. BARRIER ON-SITE AND DOWNSTREAM SURFACE WATER BODIES AND INSTALL CONTROLS TO PREVENT THEM FROM SEDIMENTATION.
5. CONSTRUCTION MAY NOT DISTURB MORE THAN FIVE ACRES OF SOIL UNLESS SPECIFICALLY PERMITTED BY THE PROJECT'S SWPPP. ANY SIGNIFICANT DEVIATION TO THE PROJECT PHASING PLAN MUST BE REVIEWED BY THE OWNER OR OPERATOR AND THE DESIGN ENGINEER TO IDENTIFY IF NOTIFICATION TO NIDECOR OR MUNICIPALITY'S ENGINEER IS REQUIRED TO AMEND THE SWPPP OR THE APPROVED PHASING PLAN.

CONSTRUCTION ACTIVITIES FOR ALL STAGES

- 1. ESTABLISH A TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER THE LATEST EDITION OF THE "NEW YORK STATE STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL" (BLUE BOOK), TO CAPTURE MUD AND DEBRIS FROM THE TREES OF CONSTRUCTION VEHICLES.
2. INSTALL PERIMETER SEDIMENT CONTROL, FENCE A MAXIMUM OF FIVE (5) FEET DOWN-SLOPE OF AREAS TO BE DISTURBED.
3. CLEAR TREES AND BRUSH FROM WITHIN THE PROPOSED STORMWATER MANAGEMENT AREAS.
4. NOTIFY DESIGN ENGINEER FOR INSPECTION OF TEMPORARY SEDIMENT TRAPS/STORMWATER MANAGEMENT AREAS FOR APPROVAL, BEFORE CONTINUING WITH EARTH DISTURBING ACTIVITIES.
5. STABILIZE TEMPORARY SEDIMENT TRAPS AND STORMWATER MANAGEMENT AREAS WITH SEED AND MULCH PER NEW YORK STATE STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL AND PROJECT PLANS.
6. CLEAR THE MINIMUM AMOUNT OF BRUSH AND TREES WITHIN THE DEVELOPMENT AREA THAT WILL ALLOW PERFORMANCE OF THE WORK.
7. CONSTRUCT TEMPORARY MATERIAL STORAGE AND SOIL STOCKPILE AREAS.
8. AS CONCRETE IS DELIVERED AND PLACED ON SITE, A CENTRALLY LOCATED CONCRETE WASHOUT AREA APPROXIMATELY 15'-FEET SQUARE AND 2.5'-FEET DEEP SHALL BE PROVIDED. THIS WASHOUT AREA SHALL BE ENCLOSED BY SILT FENCE LOCATED NEAR TO A PAVED ROAD AND SITUATED A MINIMUM OF 50'-FEET FROM A WATERCOURSE. IF REQUIRED, TEMPORARY DIVERSION DIKES SHALL BE INSTALLED AROUND WASHOUT AREA TO PREVENT STORMWATER FROM ENTERING WASHOUT LOCATION.
9. WASTE MATERIAL FROM CONCRETE WASHOUT OPERATIONS SHALL BE PERIODICALLY REMOVED AND LEGALLY DISPOSED OF WHEN TWO-THIRD OF THE WASHOUT STORAGE AREA HAS ACCUMULATED WITH MATERIAL AT THE END OF CONSTRUCTION. ALL MATERIAL FROM THE WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF.
10. STABILIZE TOPSOIL STOCKPILE AREAS WITH SEED AND MULCH.
11. PERFORM REQUIRED GRADING AND EARTHWORK (CUT AND FILL) OPERATIONS. INSTALL RIP RAP STABILIZATION WHERE INDICATED ON CONSTRUCTION PLANS.
12. STABILIZE DISTURBED AREAS WITH SEED AND MULCH OUTSIDE AREAS TO RECEIVE PAVEMENT.
13. CLEAN, RE-GRADE AND STABILIZE TEMPORARY SEDIMENT TRAP FOR CONVERSION TO PERMANENT PRACTICE.
14. REMOVE PERIMETER SILT FENCE WHEN A STABILIZING PERMANENT STAND OF VEGETATION IS ACHIEVED.

EROSION AND SEDIMENT CONTROL MEASURES:

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", AUGUST 2005.
2. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
3. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
4. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVICTION" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
6. SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
9. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

- PERMANENT AND TEMPORARY VEGETATION: INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RE-STABILIZED IMMEDIATELY.
STABILIZED CONSTRUCTION ENTRANCE: INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REMOVE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.
SILT FENCE: INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
SOIL STOCKPILE: INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
DUST CONTROL: SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.
SNOW AND ICE CONTROL: PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE, AND NATIONAL BUILDING AND SAFETY CODES AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT.
2. IN CASE OF ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED.
3. WORK UNDER THE CONTRACT SHALL INCLUDE, UNLESS OTHERWISE NOTED, ALL LABOR, MATERIAL, FINISHES, EQUIPMENT AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE ENGINEER PROJECT PLANS AND INSTALLING COMPLETE ALL WORK REQUIRED UNDER THE CONTRACT DOCUMENTS.
4. WHERE MANUFACTURER'S RECOMMENDATIONS OR INSTRUCTION ARE REFERENCED, WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH SAME, UNLESS AT VARIANCE WITH CODES, OR MORE STRINGENT REQUIREMENTS SPECIFIED.
5. CONTRACTOR SHALL HAVE ON THE JOBSITE, AT ALL TIMES, AND SHALL WORK FROM, A COMPLETE SET OF FINAL CONTRACT DOCUMENTS/DRAWINGS AND ANY CONTRACT MODIFICATIONS.
6. THE GENERAL CONTRACTOR SHALL COORDINATE WORK INVOLVING DIFFERENT TRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCY OR REQUIREMENT PRIOR TO START OF CONSTRUCTION. ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS ARE SCHEMATIC AND PROPER FIELD COORDINATION SHALL BE DONE BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
7. PRIOR TO BID THE CONTRACTOR SHALL EXAMINE ALL PROJECT DOCUMENTS TO DEVELOP A COMPLETE UNDERSTANDING OF THE PROJECT SCOPE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY TO PERFORM ALL WORK REQUIRED AND AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL UPON REVIEW OF THE CONTRACT DOCUMENTS, IMMEDIATELY BRING TO THE ENGINEER'S ATTENTION ANY DISCREPANCIES WHICH WILL AFFECT THE WORK REQUIRED.
8. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW, CHECK, AND VERIFY ALL DIMENSIONS AND DETAILS ON THE DRAWINGS FOR CORRECTNESS AND COMPATIBILITY WITH ALL PHASES OF WORK. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE SUBMITTING A BID. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION IMMEDIATELY.
9. THE CONTRACTOR WILL BE REQUIRED TO CHECK ALL DRAWINGS ISSUED TO HIM/HER AGAINST CONDITIONS AT THE SITE. HIS/HER (OR THE CONTRACTOR) IS REQUIRED TO IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY BETWEEN THE DRAWINGS AND EXISTING CONDITIONS. NO ALLOWANCE FOR ADDITIONAL PAYMENT WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO VERIFY ALL EXISTING SITE CONDITIONS WITH THE CONTRACT DOCUMENTS.
10. ALL TESTS AND INSPECTIONS REQUIRED BY THE LOCAL, STATE AND GOVERNING AGENCIES SHALL BE CONDUCTED AND THE CONTRACTOR/SUBCONTRACTOR RESPONSIBLE FOR THE WORK SHALL NOTIFY THE GOVERNING AGENCY AND THE ENGINEER A MINIMUM OF 24 HOURS PRIOR TO CONDUCTION OF THE TEST AND/OR INSPECTION.
11. CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATING.
12. THE CONTRACTOR IS RESPONSIBLE FOR SAFEKEEPING OF MATERIALS INCLUDING THOSE SUPPLIED BY THE OWNER.
13. DETAILS MAY SHOW SELECTED REQUIRED FASTENER TYPES, SIZES AND LOCATIONS. WHERE FASTENERS ARE SETBACK OR SCHEDULED, SUCH FASTENERS SHALL NOT BE CONSIDERED A COMPLETE REPRESENTATION OF ALL FASTENING REQUIRED.
14. ALL MATERIALS AND SHAPES INDICATED IN SECTIONS ARE CONTINUOUS UNLESS SPECIFICALLY NOTED OTHERWISE.
15. ALL PRODUCTS AND CONSTRUCTION INDICATED ON THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BEE NEW UNLESS SPECIFICALLY NOTED AS EXISTING OR REUSED.
16. ALL MATERIALS SHALL BE AS SPECIFIED OR EQUAL, AS APPROVED BY ENGINEER. SPECIFIC MATERIALS SPECIFIED IS MEANT TO INDICATE QUALITY INTENT WHICH WILL BE USED AS A BASIS FOR COMPARISON WITH SUBSTITUTES SUBMITTED FOR APPROVAL. THE DECISION AS TO WHAT IS EQUAL IS TO BE DETERMINED BY THE ENGINEER.
17. CONTROL OCCUPATION OF WASTE MATERIALS AND RUBBISH DURING CONSTRUCTION; PERIODICALLY DISPOSE OF ALL WASTE. PERFORM A FINAL CLEANING AT THE COMPLETION OF THE CONTRACT.

EXISTING UTILITIES, STRUCTURES, AND SITE CONDITIONS

- 1. ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATION ONLY. THEIR EXACT LOCATION SHALL BE CHECKED BY THE CONTRACTOR AT THE SITE BEFORE CONSTRUCTION BEGINS.
2. CONTRACTOR SHALL TAKE PHOTOGRAPHS OF SITE CONDITION PRIOR TO DISTURBANCE. PHOTOGRAPHS SHALL DEPICT CONDITION AND LOCATION OF ASSETS WITHIN THE PROJECT LIMITS AND ADJACENT ASSETS THAT MAY BE INFLUENCED/AFFECTED BY CONSTRUCTION ACTIVITIES. ALL REASONABLE EFFORTS SHALL BE MADE BY CONTRACTOR TO IDENTIFY AND BRING TO ATTENTION OF ENGINEER ANY ASSETS THAT ARE DAMAGED PRIOR TO SITE DISTURBANCE. CONTRACTOR IS ENCOURAGED TO VIDEO/TAPE CONDITION OF SITE AND ADJACENT ASSETS PRIOR TO SITE DISTURBANCE.
3. CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, WALKS, CURBS, FENCES ETC. TO A CONDITION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED.
4. ANY AND ALL EXISTING UTILITIES IF DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND WITH NEW MATERIALS AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.

LANDSCAPING NOTES

- 1. THE QUANTITIES INDICATED ON THE DRAWINGS AND ON THE PLANT MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
2. NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF BOTH THE OWNER AND THE PROJECT LANDSCAPE ARCHITECT.
3. THE PLANT SIZES SHOWN ARE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZE IS GIVEN, 75% OF THE PLANTS SUPPLIED SHALL MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE OWNER PROVIDED THE DESIGN ENGINEER APPROVES. THE PLANTS SUPPLIED SHALL CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE OWNER PROVIDED THE DESIGN ENGINEER APPROVES. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE OWNER PROVIDED THE DESIGN ENGINEER APPROVES. ALL PLANTS SHALL BE PROVIDED WITH HEIGHT, HEIGHT AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z-60.1. ALL OTHER QUALITY REQUIREMENTS OF THE PLANT MATERIAL MUST ALSO BE ADHERED.
4. ALL PLANTS SHALL BE NURSERY GROWN, BALL AND BURLAPED (B&B) OR CONTAINER GROWN AS SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL MAY BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE OWNER PRIOR TO INSTALLATION. ALL PLANT MATERIALS SHALL CONFORM WITH ANSI Z-60.1, LATEST EDITION. PLANTS SHALL BE PROVIDED WITH HEIGHT, HEIGHT AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z-60.1. ALL OTHER QUALITY REQUIREMENTS OF THE PLANT MATERIAL MUST ALSO BE ADHERED.
5. THE PLANTS VEGETATIVE CANOPY SHALL BE SYMMETRICAL AND FREE OF LARGE VOID OR FLAT SURFACE AREAS ON ONE SIDE.
6. SHRUBS MOVED DURING PERIODS OF HIGH TRANSPORTATION SHALL BE SPRAYED WITH AN ANTI-DESICCANT PRIOR TO MOVING. APPLY AND REMOVE ANTI-DESICCANTS PER THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL PLANTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
8. PRIOR TO COMMENCEMENT OF INSTALLATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE OWNER. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER.
9. PLANTING PIT SHALL BE 100% FINELY CHIPPED NATIVE SOIL.
10. ALL PLANT BEDS SHALL BE THOROUGHLY ROTTO-FILLED A MINIMUM OF TWELVE INCHES (12"), UNLESS OTHERWISE NOTED, PRIOR TO PLANT INSTALLATION. AMENDMENTS, IF REQUIRED BASED ON SITE-SPECIFIC SOIL TEST RESULTS, SHALL BE THOROUGHLY FILLED INTO THE SOIL BASED ON THE TEST RESULT RECOMMENDATIONS.
11. THE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE. ALL TOPSOIL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
12. NO PLANTS SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR TESTING SUSPECT PLANT TYPES PRIOR TO PLANT INSTALLATION.
13. ALL PLANTS SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE ADJONER WHENEVER POSSIBLE.
14. ALL PLANTS SHALL BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
15. PRE-EMERGENT HERBICIDES, TRIFLURAL, PRELEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL PLANTING BEDS PRIOR TO MULCHING. APPLY PER MANUFACTURER'S RECOMMENDATIONS. HERBICIDE SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
16. APPLY ORGANIC ROOT STIMULATOR, CONTAINING MYCORRHIZAE, TO ALL PLANTS PRIOR TO BACKFILLING. APPLY PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE OWNER'S REPRESENTATIVE FOR APPROVAL, PRIOR TO USE.
17. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE OWNER. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL PLANTINGS, TREES, SHRUBS, GROUNDCOVERS, ANNUALS, PERENNIALS AND SEEDED AREAS.
18. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF FINAL ACCEPTANCE BY THE OWNER.
19. MULCH ALL BEDS WITH 3" DEPTH, SHREDED HARDWOOD BARK MIXTURE, IN GROUPINGS OF SHRUBS, MULCH ENTIRE BED.
20. ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE OF PLANT MATERIAL BY OWNER.
21. PROTECT ALL TREES TO REMAIN.



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Consultants

Legend

Notes

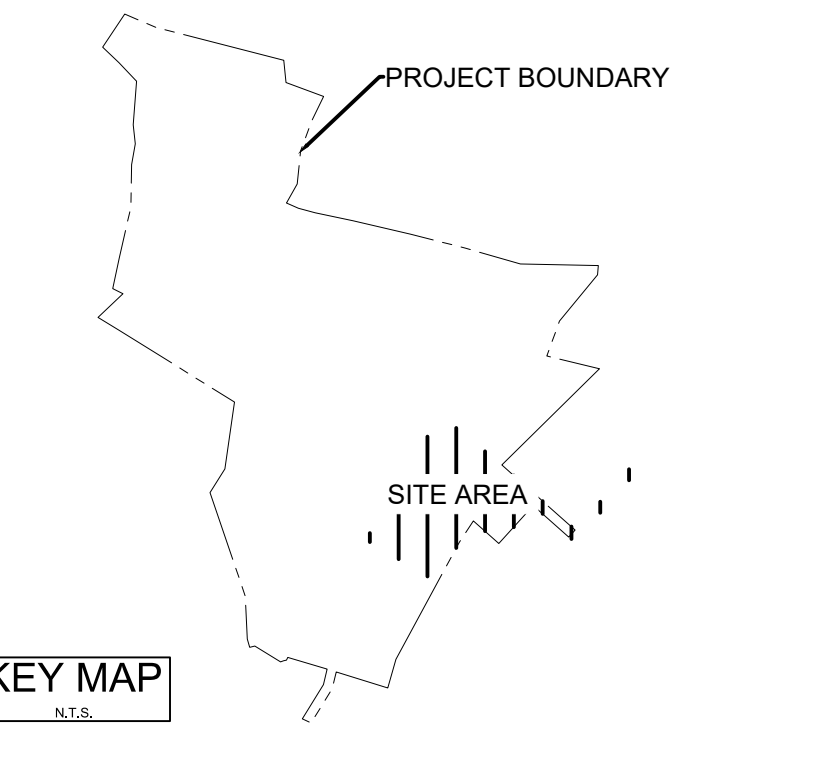


Table with columns: No., Description, Date, By, Appr.

File Name: Phase 1 Drainage Improvement-Eng-GC1
Dwn: GCT
Chk: YJAM.DD



Client/Project
UJA FEDERATION OF NEW YORK

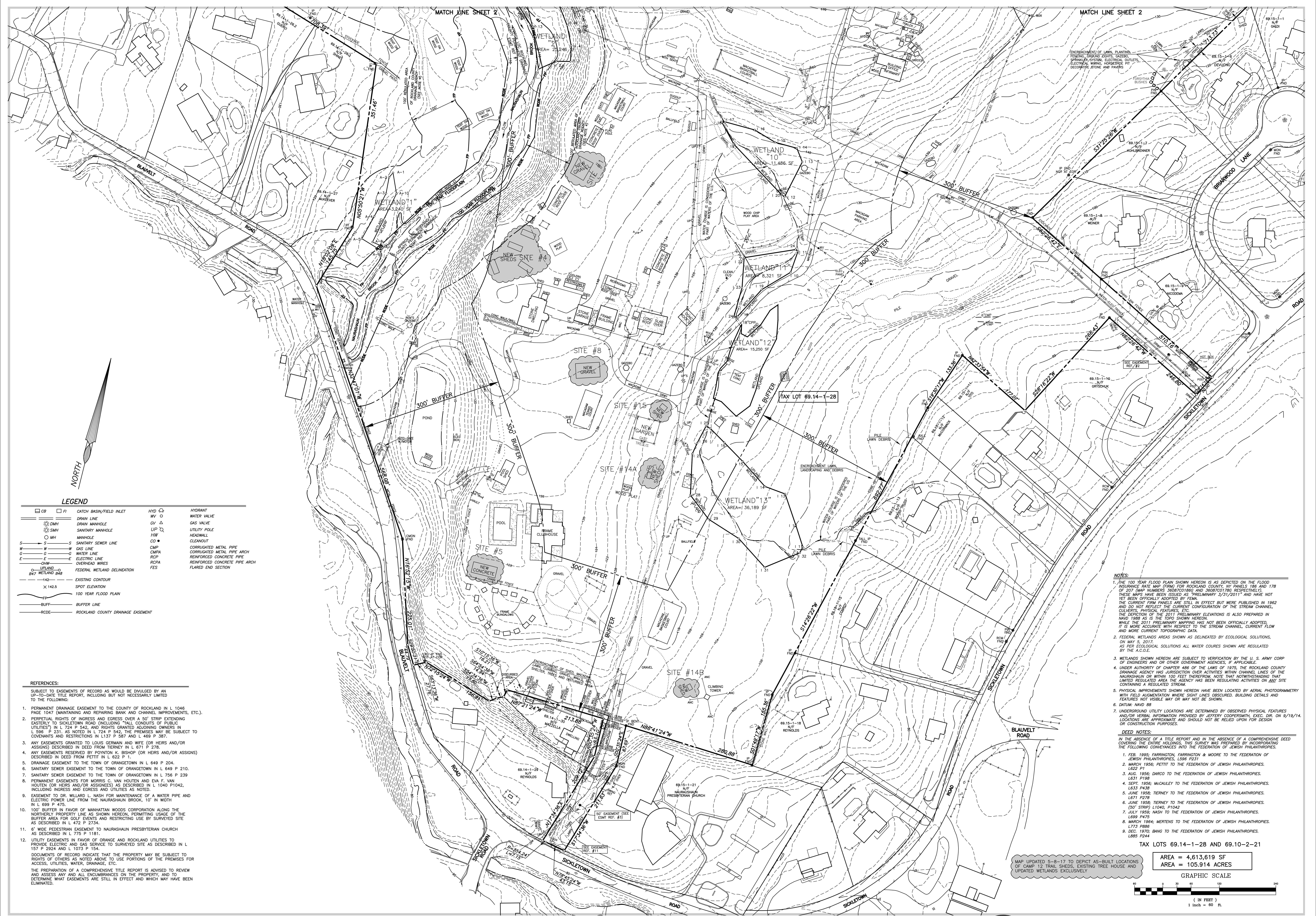
UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title

**GENERAL NOTES
SW MANAGEMENT IMPROVEMENTS**

Table with columns: Project No., Scale, Drawing No., Sheet, Revision

C-001-SW 1 of 10 4



LEGEND

CB	FI	CATCH BASIN/FIELD INLET	HYD	HYDRANT
DL	DL	DRAIN LINE	WV	WATER VALVE
DMH	DMH	DRAIN MANHOLE	GV	GAS VALVE
SMH	SMH	SANITARY MANHOLE	UP	UTILITY POLE
MH	MH	MANHOLE	HW	HEADWALL
SS	SS	SANITARY SEWER LINE	CO	CLEANOUT
W	W	GAS LINE	CMP	CORRUGATED METAL PIPE
G	G	WATER LINE	CPA	CORRUGATED METAL PIPE ARCH
E	E	ELECTRIC LINE	RCP	REINFORCED CONCRETE PIPE
OHW	OHW	OVERHEAD WIRES	ROPA	REINFORCED CONCRETE PIPE ARCH
FWL	FWL	FEDERAL WETLAND DELINEATION	FES	FLARED END SECTION
142	142	EXISTING CONTOUR		
X 142.5	X 142.5	SPOT ELEVATION		
100	100	100 YEAR FLOOD PLAN		
BUFF	BUFF	BUFFER LINE		
RCDE	RCDE	ROCKLAND COUNTY DRAINAGE EASEMENT		

REFERENCES:

SUBJECT TO EASEMENTS OF RECORD AS WOULD BE DIVULGED BY AN UP-TO-DATE TITLE REPORT, INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

- PERMANENT DRAINAGE EASEMENT TO THE COUNTY OF ROCKLAND IN L 1046 PAGE 1047 (MAINTAINING AND REPAIRING BANK AND CHANNEL IMPROVEMENTS, ETC).
- PERPETUAL RIGHTS OF INGRESS AND EGRESS OVER A 50' STRIP EXTENDING EASTERLY TO SICKLETOWN ROAD (INCLUDING "ALL CONDUITS OF PUBLIC UTILITIES") IN L 724 P 542, AND RIGHTS GRANTED ADJOINING OWNERS IN L 596 P 211, AS NOTED IN L 724 P 542, THE PREMISES MAY BE SUBJECT TO COVENANTS AND RESTRICTIONS IN L137 P 587 AND L 469 P 387.
- ANY EASEMENTS GRANTED TO LOUIS GERMAN AND WIFE (OR HEIRS AND/OR ASSIGNS) DESCRIBED IN DEED FROM PETTIT IN L 622 P 1.
- ANY EASEMENTS RESERVED BY POYNTON K. BISHOP (OR HEIRS AND/OR ASSIGNS) DESCRIBED IN DEED FROM PETTIT IN L 622 P 1.
- DRAINAGE EASEMENT TO THE TOWN OF ORANGETOWN IN L 649 P 204.
- SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN IN L 649 P 210.
- SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN IN L 756 P 239.
- PERMANENT EASEMENTS FOR MORRIS C. VAN HOUTEN AND EVA F. VAN HOUTEN (OR HEIRS AND/OR ASSIGNS) AS DESCRIBED IN L 1040 P1042, INCLUDING INGRESS AND EGRESS AND UTILITIES AS NOTED.
- EASEMENT TO DR. WILLARD L. NASH FOR MAINTENANCE OF A WATER PIPE AND ELECTRIC POWER LINE FROM THE NAURASHAUN BROOK, 10' IN WIDTH IN L 699 P 475.
- 100' BUFFER IN FAVOR OF MANHATTAN WOODS CORPORATION ALONG THE NORTHERLY PROPERTY LINE AS SHOWN HEREON, PERMITTING USAGE OF THE BUFFER AREA FOR GOLF EVENTS AND RESTRICTING USE BY SURVEYED SITE AS DESCRIBED IN L 472 P 2734.
- 6' WIDE PEDESTRIAN EASEMENT TO NAURASHAUN PRESBYTERIAN CHURCH AS DESCRIBED IN L 775 P 1181.
- UTILITY EASEMENTS IN FAVOR OF ORANGE AND ROCKLAND UTILITIES TO PROVIDE ELECTRIC AND GAS SERVICE TO SURVEYED SITE AS DESCRIBED IN L 157 P 2924 AND L 1073 P 154.

DOCUMENTS OF RECORD INDICATE THAT THE PROPERTY MAY BE SUBJECT TO RIGHTS OF OTHERS AS NOTED ABOVE TO USE PORTIONS OF THE PREMISES FOR ACCESS, UTILITIES, WATER, DRAINAGE, ETC.

THE PREPARATION OF A COMPREHENSIVE TITLE REPORT IS ADVISED TO REVIEW AND ASSESS ANY AND ALL ENCUMBRANCES ON THE PROPERTY, AND TO DETERMINE WHAT EASEMENTS ARE STILL IN EFFECT AND WHICH MAY HAVE BEEN ELIMINATED.

NOTES:

- THE 100 YEAR FLOOD PLAN SHOWN HEREON IS AS DEPICTED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ROCKLAND COUNTY, NY PANELS 156 AND 178 OF 207 (MAP NUMBERS 368207086 AND 368207178 RESPECTIVELY). THESE MAPS HAVE BEEN ISSUED AS "PRELIMINARY 3/31/2011" AND HAVE NOT YET BEEN OFFICIALLY ADOPTED BY FEMA. THESE MAPS ARE STILL IN EFFECT BUT WERE PUBLISHED IN 1992 AND DO NOT REFLECT THE CURRENT CONFIGURATION OF THE STREAM CHANNEL, CALLED BY PHYSICAL FEATURES, ETC. THE DEPICTION OF THE 2011 PRELIMINARY ELEVATIONS IS ALSO PREPARED IN WAD 1998 AS IS THE TOPO SHOWN HEREON. WHILE THE 2011 PRELIMINARY MAPPING HAS NOT BEEN OFFICIALLY ADOPTED, IT IS MORE ACCURATE WITH RESPECT TO THE STREAM CHANNEL, CURRENT FLOW AND MORE CURRENT TOPOGRAPHIC DATA.
- FEDERAL WETLANDS AREAS SHOWN AS DELINEATED BY ECOLOGICAL SOLUTIONS, ON MAY 5, 2017, AS PER ECOLOGICAL SOLUTIONS ALL WATER COURSES SHOWN ARE REGULATED BY THE 4-C.O.C.
- WETLANDS SHOWN HEREON ARE SUBJECT TO VERIFICATION BY THE U. S. ARMY CORP OF ENGINEERS AND OR OTHER GOVERNMENT AGENCIES, IF APPLICABLE.
- UNDER AUTHORITY OF CHAPTER 486 OF THE LAWS OF 1975, THE ROCKLAND COUNTY DRAINAGE AGENCY HAS JURISDICTION OVER ACTIVITIES WITHIN CHANNEL LINES OF THE NAURASHAUN OR WITHIN 100 FEET THEREFROM. NOTE THAT NOTWITHSTANDING THAT LIMITED REGULATED AREA THE AGENCY HAS BEEN REGULATING ACTIVITIES ON ANY SITE CONTAINING A REGULATED STREAM.
- PHYSICAL IMPROVEMENTS SHOWN HEREON HAVE BEEN LOCATED BY AERIAL PHOTOGRAMMETRY ON MAY 5, 2017.
- UNDERGROUND UTILITY LOCATIONS ARE DETERMINED BY OBSERVED PHYSICAL FEATURES AND/OR VERBAL INFORMATION PROVIDED BY JEFFERY COOPERSMITH, EXEC. DIR. ON 9/19/14. LOCATIONS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON FOR DESIGN OR CONSTRUCTION PURPOSES.

DEED NOTES:

IN THE ABSENCE OF A TITLE REPORT AND IN THE ABSENCE OF A COMPREHENSIVE DEED COVERING THE ENTIRE HOLDINGS, THIS SURVEY WAS PREPARED BY INCORPORATING THE FOLLOWING COVENANCES INTO THE FEDERATION OF JEWISH PHILANTHROPIES:

- FEB. 1955; FARRINGTON, FARRINGTON & MOORE TO THE FEDERATION OF JEWISH PHILANTHROPIES, L596 P231
- MARCH 1956; PETTIT TO THE FEDERATION OF JEWISH PHILANTHROPIES, L622 P1
- AUG. 1956; DARCO TO THE FEDERATION OF JEWISH PHILANTHROPIES, L631 P198
- SEPT. 1956; MACAULEY TO THE FEDERATION OF JEWISH PHILANTHROPIES, L633 P438
- JUNE 1958; TERNEY TO THE FEDERATION OF JEWISH PHILANTHROPIES, L671 P278
- JUNE 1958; TERNEY TO THE FEDERATION OF JEWISH PHILANTHROPIES, L689 P475
- JULY 1959; NASH TO THE FEDERATION OF JEWISH PHILANTHROPIES, L773 P886
- DEC. 1970; BANG TO THE FEDERATION OF JEWISH PHILANTHROPIES, L885 P244

TAX LOTS 69.14-1-28 AND 69.10-2-21

AREA = 4,613.619 SF
AREA = 105.914 ACRES

GRAPHIC SCALE

(IN FEET)
1 inch = 80 ft.

• BOUNDARY AND TOPOGRAPHIC SURVEY •
HENRY KAUFMANN CAMPGROUNDS
TOWN OF ORANGETOWN

JAY A. GREENWELL, PLS, LLC

85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
PHONE 845-357-0830 FAX 845-357-0756

DATE	REVISIONS
6/8/17	WETLANDS REVISIONS
5/8/17	SHEDS/TREE HSE
1/20/15	POOL AREA
8/21/14	TENNIS COURTS
5/14/14	REVISIONS
2/25/14	WETLAND "F"

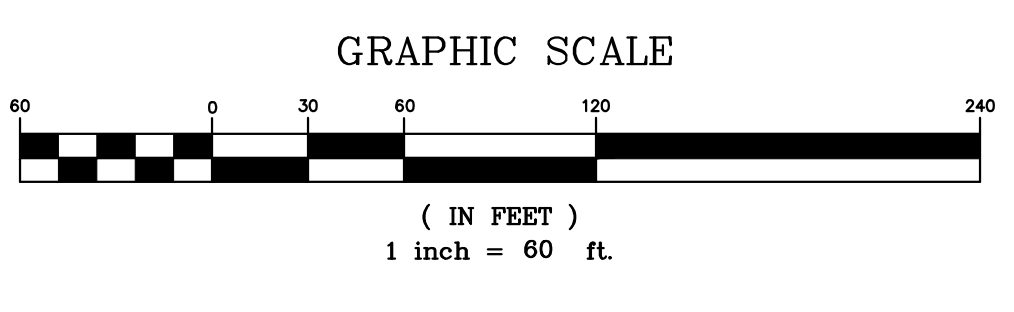
JOB NO. 2443
DATE: 08-10-12
FILE: 2443 STANTEC
SCALE: 1"=60'
SHEET 1



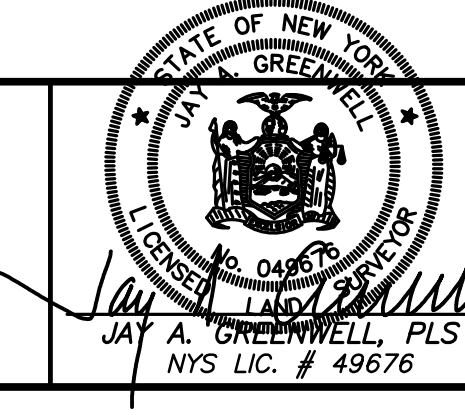
MAP UPDATED 5-8-17 TO DEPICT AS-BUILT LOCATIONS OF CAMP 12 TRAIL SHEDS, EXISTING TREE HOUSE AND UPDATED WETLANDS EXCLUSIVELY

LEGEND

CB	CATCH BASIN/FIELD INLET	HYD	HYDRANT
DL	DRAIN LINE	WV	WATER VALVE
DMH	DRAIN MANHOLE	GV	GAS VALVE
SMH	SANITARY MANHOLE	UP	UTILITY POLE
MH	MANHOLE	HWM	HIGHWALL
S	SANITARY SEWER LINE	CO	CLEANOUT
W	WATER LINE	CMP	CORRUGATED METAL PIPE
G	GAS LINE	CMPA	CORRUGATED METAL PIPE ARCH
E	ELECTRIC LINE	RCF	REINFORCED CONCRETE PIPE
OW	OVERHEAD WIRES	RCFA	REINFORCED CONCRETE PIPE ARCH
UPLAND	FEDERAL WETLAND DELINEATION	FES	FLARED END SECTION
142	EXISTING CONTOUR		
X 142.5	SPOT ELEVATION		
100	100 YEAR FLOOD PLAN		
BUFF	BUFFER LINE		
RCDE	ROCKLAND COUNTY DRAINAGE EASEMENT		



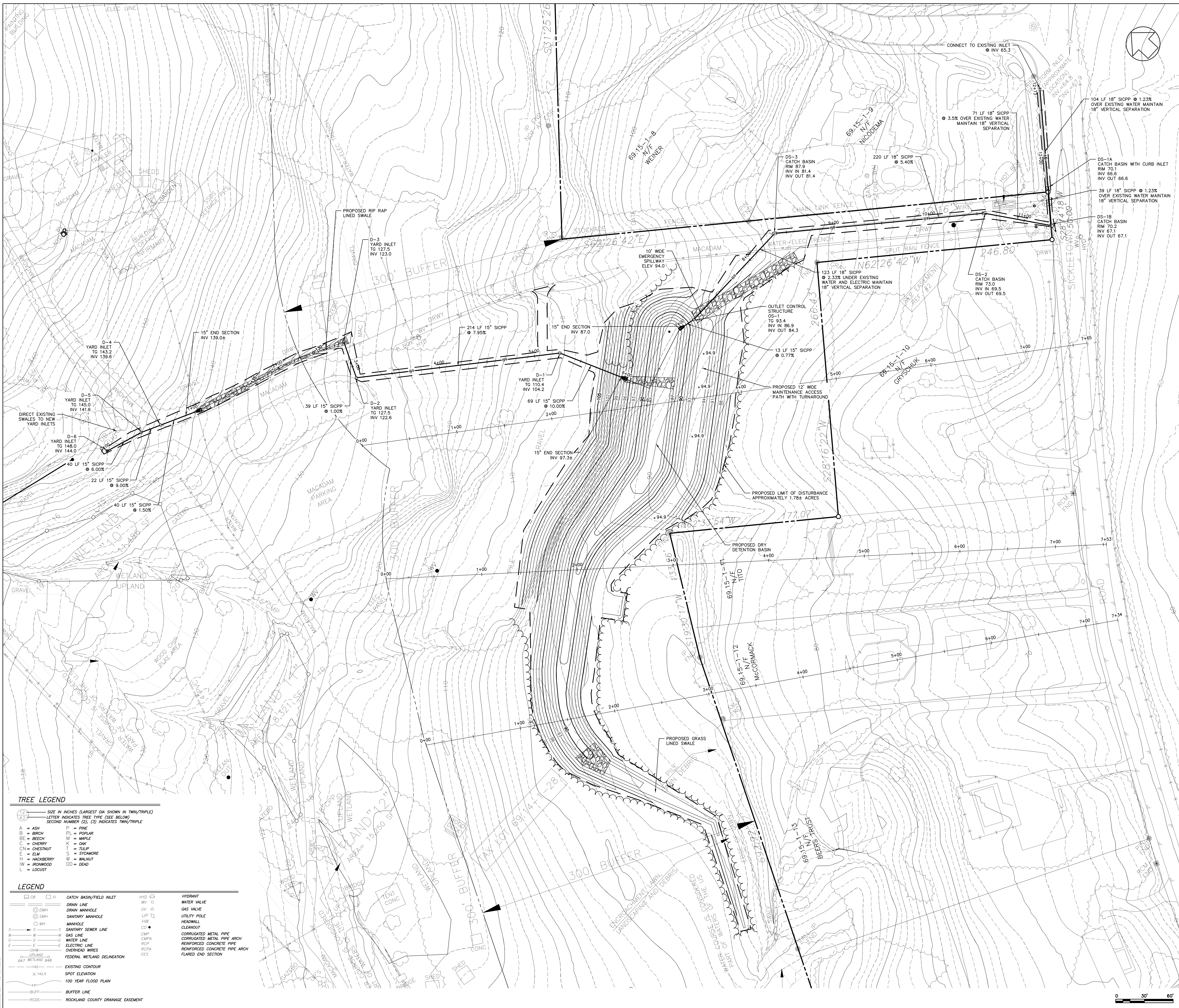
• BOUNDARY AND TOPOGRAPHIC SURVEY •
HENRY KAUFMANN CAMPGROUNDS
 TOWN OF ORANGETOWN



DATE	REVISIONS
6/8/17	WETLANDS REVISIONS
5/8/17	SHEDS/TREE HSE
1/20/15	POOL AREA
8/21/14	TENNIS COURTS
5/14/14	REVISIONS
2/25/14	WETLAND 'F'

JAY A. GREENWELL, PLS, LLC
 SURVEYING - LAND PLANNING
 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
 PHONE 845-357-0830 FAX 845-357-0756

JOB NO. 2443
 DATE: 08-10-12
 FILE: 2443 STANTEC
 SCALE: 1"=60'
 SHEET 2



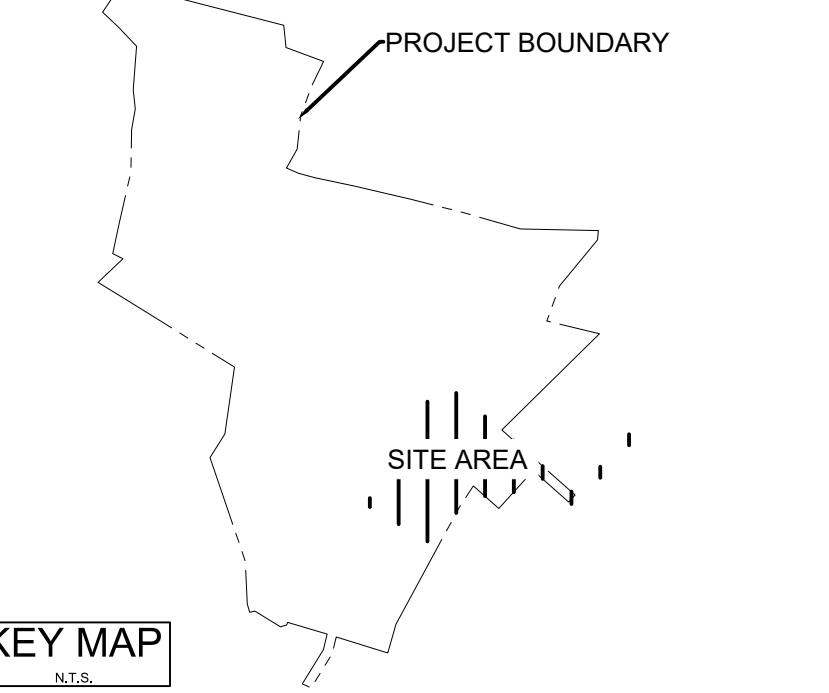
TREE LEGEND

SIZE IN INCHES (LARGEST DIA SHOWN IN THW/TRIPLE)
LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWN/TRIPLE

A = ASH	P = PINE
B = BIRCH	PL = POPLAR
BE = BEECH	M = MAPLE
C = CHERRY	K = OAK
ON = CHESTNUT	T = TULIP
E = ELM	S = Sycamore
H = HACKBERRY	W = WALNUT
IW = IRONWOOD	DD = DEAD
L = LOCUST	

LEGEND

CB	CATCH BASIN/FIELD INLET	HYD	HYDRANT
DMH	DRAIN MANHOLE	WV	WATER VALVE
SMH	SEWERY MANHOLE	GV	GAS VALVE
SMH	MANHOLE	UP	UTILITY POLE
S	SANITARY SEWER LINE	HW	HEADWALL
W	WATER LINE	CW	CLEANOUT
G	GAS LINE	CMP	CORRUGATED METAL PIPE
E	ELECTRIC LINE	CMRPA	CORRUGATED METAL PIPE ARCH
OW	OVERHEAD WIRE	RCR	REINFORCED CONCRETE PIPE
OW	FEDERAL WETLAND DELINEATION	RCRPA	REINFORCED CONCRETE PIPE ARCH
W	EXISTING CONTOUR	FES	FLARED END SECTION
X	SPOT ELEVATION		
F	100 YEAR FLOOD PLAIN		
BUFT	BUFFER LINE		
RCDE	ROCKLAND COUNTY DRAINAGE EASEMENT		



Revision

4	REVISED PER TOWN COMMENTS	GCT	TAW	2016.03
3	REVISED FOR PERMITS	GCT	TAW	19.11.17
2	REVISED BASIN LAYOUT	GCT	TAW	19.10.11
1	REVISED BASIN	GCT	TAW	19.07.11

Revision

4	TOWN SUBMISSION	GCT	TAW	19.06.20
3	TOWN PLANNING BOARD SUBMISSION	GCT	TAW	19.11.06
4	ISSUED TO CLIENT	GCT	TAW	19.10.11
3	TOWN SUBMISSION	MJC	TAW	19.09.16
2	ISSUED TO CLIENT	GCT	TAW	19.07.11
1	TOWN SUBMISSION	GCT	TAW	19.06.20

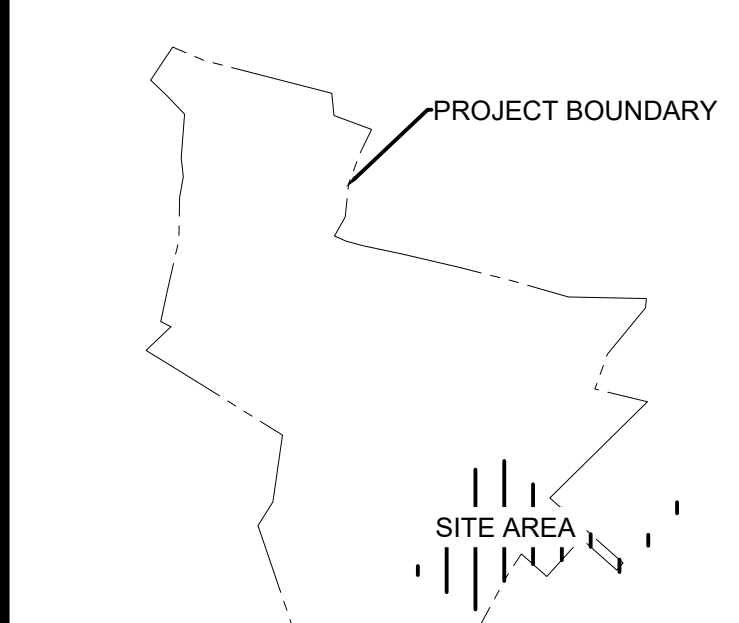
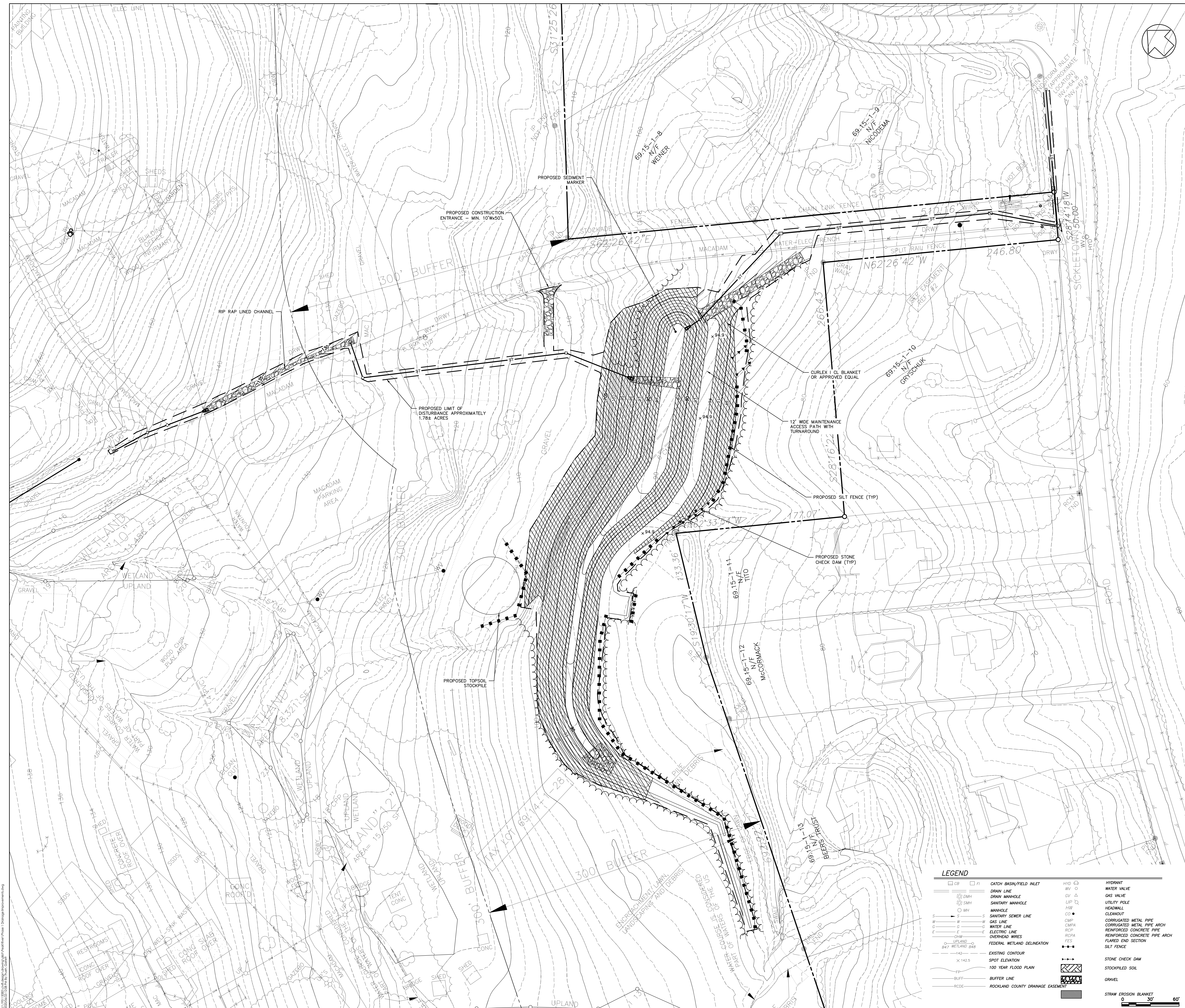
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Drawn:		Chk:	Dgr:	TYAMA.DD



Client/Project
UJA FEDERATION OF NEW YORK
UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title
SITE, DRAINAGE & GRADING PLAN
SW MANAGEMENT IMPROVEMENTS
Project No. 195115085 Scale 1"=30'
Drawing No. C-200-SW Sheet 5 of 10 Revision 4



KEY MAP

4	REVISED FOR TOWN COMMENTS	GCT	TAW	20.06.23
3	REVISED FOR OWNER	GCT	TAW	19.11.17
2	REVISED BASH LAYOUT	GCT	TAW	19.10.11
1	REVISED BASH	GCT	TAW	19.07.11
4	TOWN SUBMISSION	GCT	TAW	19.06.20
3	TOWN PLANNING BOARD SUBMISSION	GCT	TAW	19.11.06
4	ISSUED TO CLIENT	GCT	TAW	19.10.11
3	TOWN SUBMISSION	MJC	TAW	19.09.16
2	ISSUED TO CLIENT	GCT	TAW	19.07.11
1	TOWN SUBMISSION	GCT	TAW	19.06.20

Issued By: TAW, DD

File Name: Phase 1 Drainage Improvements.dwg GCT TAW 19.06.20
Dwn: GCT Dgr: TAW, DD

Permit/Seal



Client/Project
UJA FEDERATION OF NEW YORK

UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title

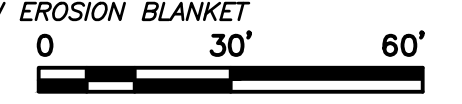
EROSION & SEDIMENT CONTROL PLAN
SW MANAGEMENT IMPROVEMENTS

Project No. 195115085 Scale 1"=30'

Drawing No. C-300-SW Sheet 6 of 10 Revision 4

LEGEND

CB	CATCH BASIN/FIELD INLET	HYD	HYDRANT
DMH	DRAIN MANHOLE	WV	WATER VALVE
SMH	SANITARY MANHOLE	GV	GAS VALVE
MH	MANHOLE	UP	UTILITY POLE
S	SANITARY SEWER LINE	HW	HEADWALL
W	WATER LINE	CO	CLEANOUT
G	GAS LINE	CMP	CORRUGATED METAL PIPE
E	ELECTRIC LINE	CMPA	CORRUGATED METAL PIPE ARCH
OHV	OVERHEAD WIRES	RCP	REINFORCED CONCRETE PIPE
UPLAND	FEDERAL WETLAND DELINEATION	RCPA	REINFORCED CONCRETE PIPE ARCH
142	EXISTING CONTOUR	FES	FLARED END SECTION
X 142.5	SPOT ELEVATION	SILT	SILT FENCE
BUFT	BUFFER LINE	SCD	STONE CHECK DAM
RDCD	ROCKLAND COUNTY DRAINAGE EASEMENT	SS	STOCKPILED SOIL
		GRV	GRAVEL
		SEB	STRAW EROSION BLANKET



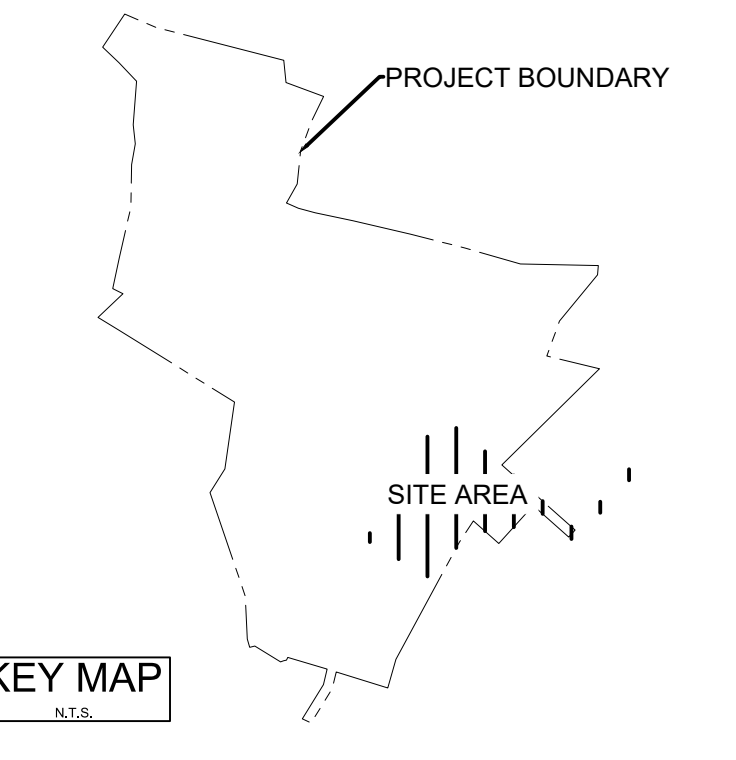
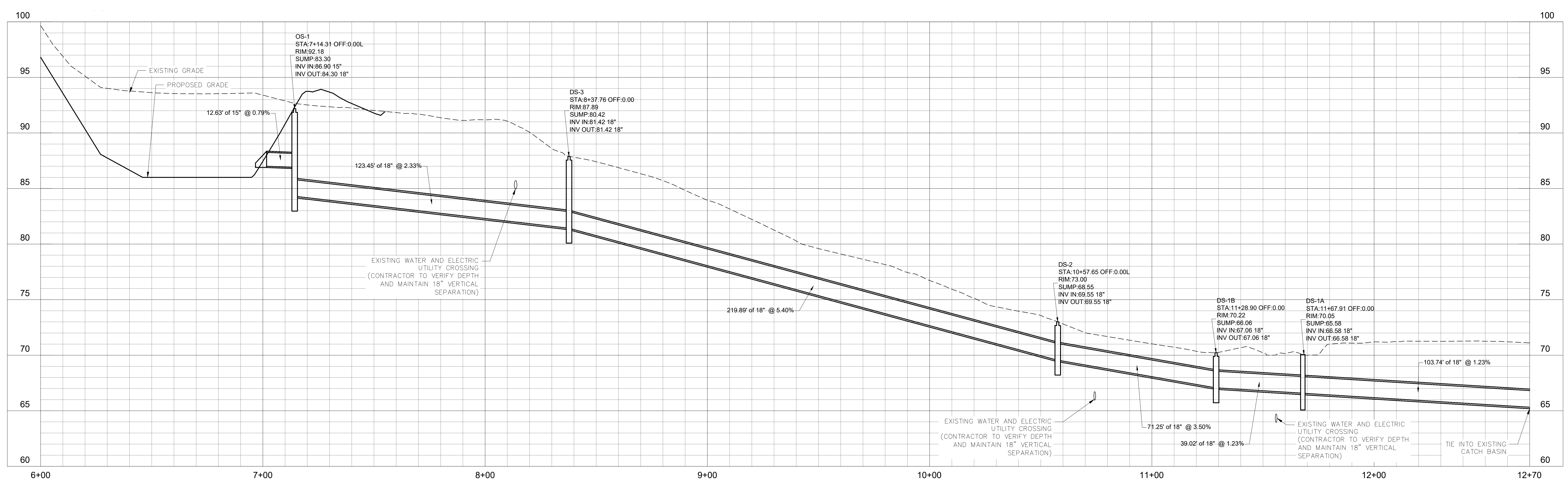
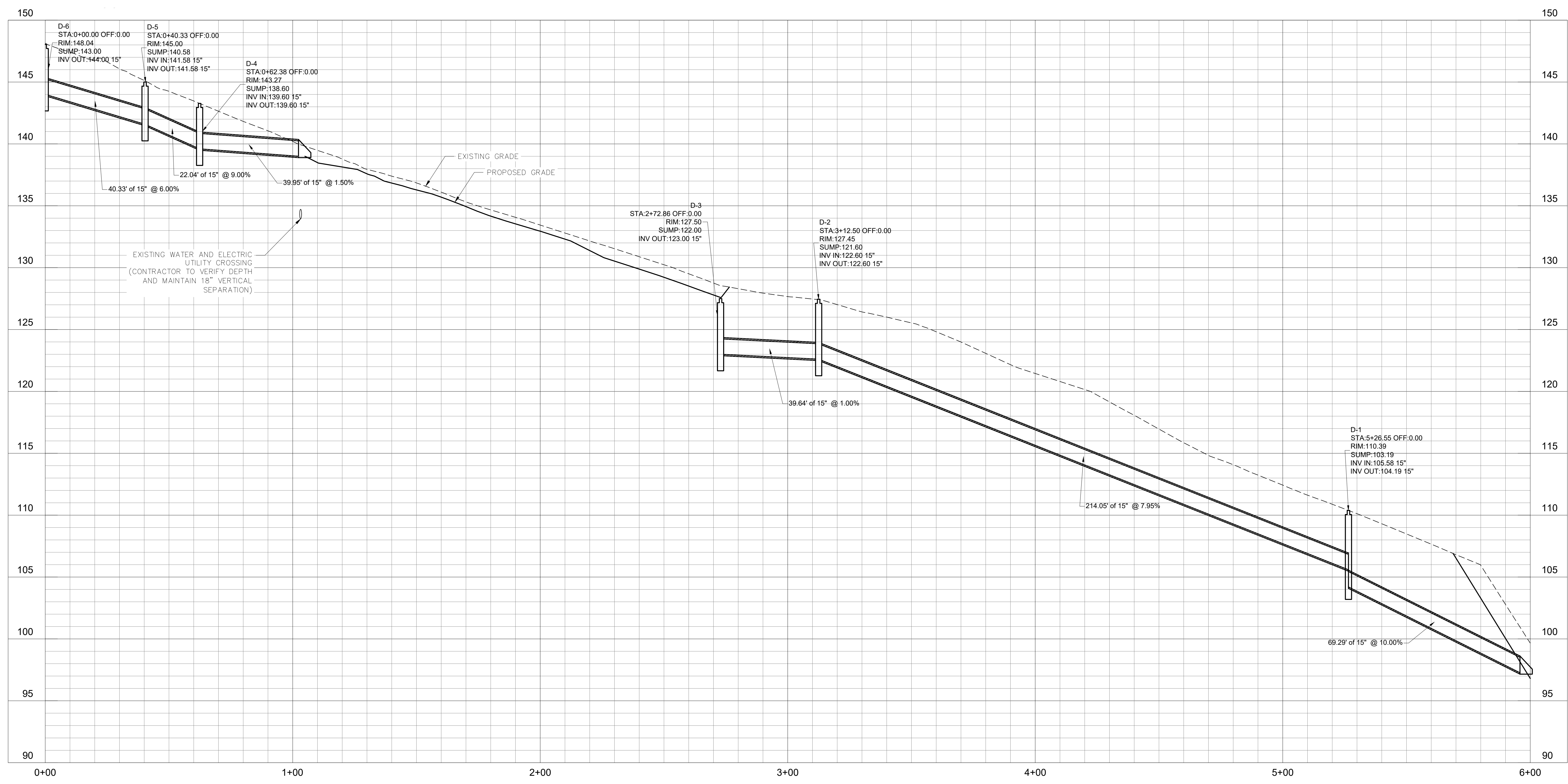
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Consultants

Legend

Notes



Revision	By	Appr.	Date
4	GCT	TAW	20.06.23
3	GCT	TAW	19.11.17
2	GCT	TAW	19.10.11
1	GCT	TAW	19.07.11
4	By	Appr.	19.06.20
3	GCT	TAW	20.06.23
2	GCT	TAW	19.11.26
1	GCT	TAW	19.10.11
3	MJC	TAW	19.08.16
2	GCT	TAW	19.07.11
1	GCT	TAW	19.04.25
Issued	By	Appr.	19.04.25

File Name: Phase 1 Drainage Improvements.dwg GCT TAW 19.04.25
Dwn. Chk. Dgn. YAWA.DD

Permit-Seal



Client/Project
UJA FEDERATION OF NEW YORK

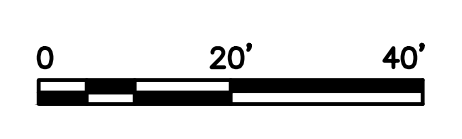
UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title
STORMWATER UTILITY PROFILES
SW MANAGEMENT IMPROVEMENTS

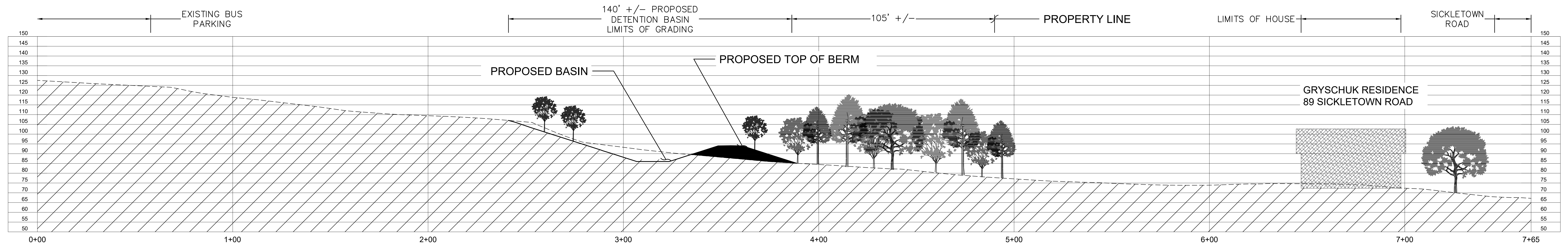
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Drawing No. 7 of 10 Sheet Revision

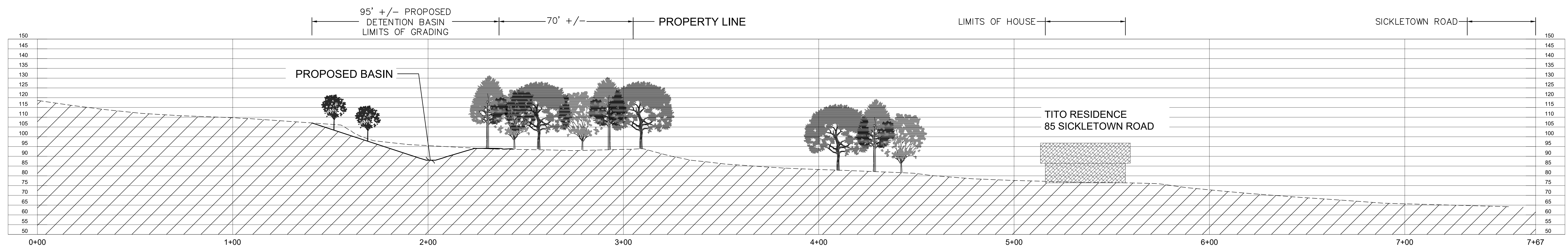
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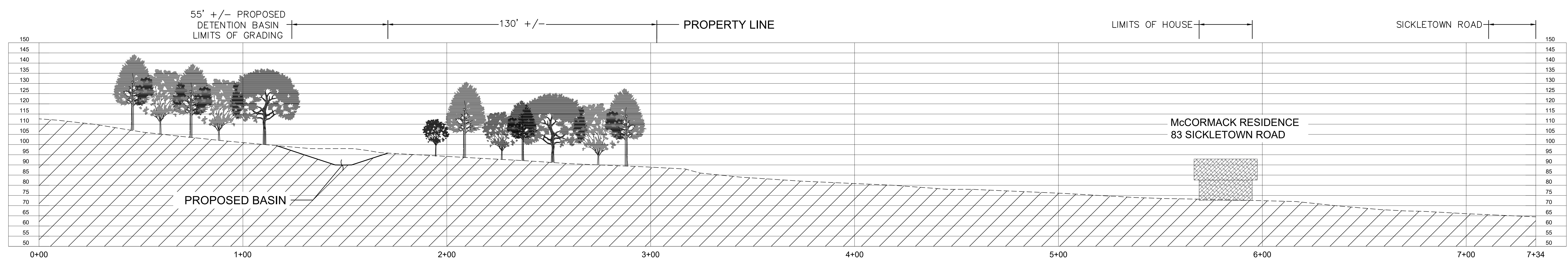
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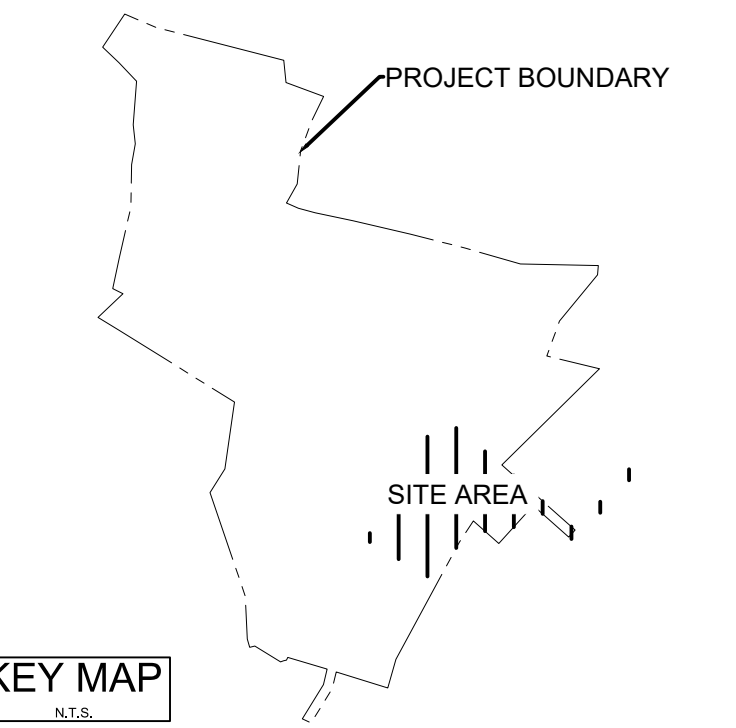
DRY DETENTION BASIN CROSS SECTION 1



DRY DETENTION BASIN CROSS SECTION 2



DRY DETENTION BASIN CROSS SECTION 3



Revision	By	Appr.	Date	
4	REVISION FOR TOWN COMMENTS	GCT	TAW	20.06.23
3	REVISION FOR TOWN COMMENTS	GCT	TAW	19.11.17
2	REVISED BASIN LAYOUT	GCT	TAW	19.10.11
1	REVISED BASIN	GCT	TAW	19.07.11
4	TOWN SUBMISSION	GCT	TAW	20.06.23
3	TOWN PLANNING BOARD SUBMISSION	GCT	TAW	19.11.26
4	ISSUED TO CLIENT	GCT	TAW	19.10.11
3	TOWN SUBMISSION	MJC	TAW	19.09.16
2	ISSUED TO CLIENT	GCT	TAW	19.07.11
1	TOWN SUBMISSION	GCT	TAW	19.04.23

Permit-Seal



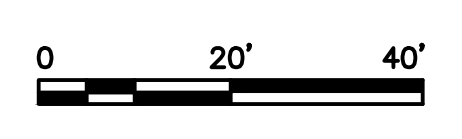
Client/Project
UJA FEDERATION OF NEW YORK

UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title
DRY DETENTION BASIN CROSS SECTIONS
SW MANAGEMENT IMPROVEMENTS

Project No. 195115085 Scale 1"=20'

Drawing No. 8 of 10 Sheet 4



PROPOSED PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT/SIZE/CAL.	CONTAINER	SPACING
LT	14	LIRIODENDRON TULIPIFERA	TULIP TREE	1-1.5" CAL.	B & B	AS SHOWN
PG	9	PICEA GLAUCA	WHITE SPRUCE	8-10' HEIGHT	B & B	AS SHOWN
PS	8	PRINUS SIRIBUS	EASTERN WHITE PINE	8-10' HEIGHT	B & B	AS SHOWN
QA	13	QUERCUS ALBA	WHITE OAK	1-1.5" CAL.	B & B	AS SHOWN
QM	13	QUERCUS MONTANA	CHESTNUT OAK	1-1.5" CAL.	B & B	AS SHOWN
TT	12	TILIA TOMENTOSA 'STERLING'	SILVER LINDEN	1-1.5" CAL.	B & B	AS SHOWN

SEED MIXES
SEED MIX SHALL BE RIGHT-OF-WAY NATIVE WOODS MIX W/ANNUAL RYEGRASS AS SUPPLIED BY EARNS SEEDS OF MEADVILLE, PA; WWW.ERNSTSEED.COM

NOTES

- THE INTENT OF THE PLANT SCREENING AT THE DETENTION BASIN IS TO ENHANCE THE EXISTING NATIVE LANDSCAPE WITH ADDITIONAL STRATEGICALLY PLACED NATIVE PLANTS. THE QUANTITIES AND GENERAL LOCATIONS OF THE PLANTINGS HAVE BEEN SHOWN FOR BIDDING PURPOSES. THE CONTRACTOR SHALL FIELD LOCATE PLANTS, AVOIDING EXISTING UNDERSTORY VEGETATION AND TREES, WITH THE OVERSIGHT AND DIRECTION OF THE LANDSCAPE ARCHITECT.
- APPLY SEED MIX DURING THE SEASON AND AT A RATE RECOMMENDED BY THE SUPPLIER.
- PROVIDE TEMPORARY IRRIGATION (15 GALLON MIN. SLOW RELEASE WATERING BAG WITH MULTIPLE RELEASE POINTS PER BAG THAT DRAINS IN A MINIMUM OF 5H; REFILL ONCE PER WEEK; GATOR BAGS OR APPROVED EQUAL) FOR ALL TREES UNTIL ESTABLISHED.

LEGEND

CB	CATCH BASIN/FIELD INLET	UPLAND	FEDERAL WETLAND DELINEATION	HYD	HYDRANT
□	CATCH BASIN/FIELD INLET	WETLAND	EXISTING CONTOUR	WV	WATER VALVE
○	DRAIN MANHOLE	142.5	SPOT ELEVATION	GV	GAS VALVE
○	SANITARY MANHOLE	X 142.5	100 YEAR FLOOD PLAIN	UP	UTILITY POLE
○	MANHOLE	CB	BUFFER LINE	HW	HEADWALL
S	SANITARY SEWER LINE	CB	CLEARCUT	CMP	CORRUGATED METAL PIPE
W	WATER LINE	RCDE	ROCKLAND COUNTY DRAINAGE EASEMENT	CMPA	CORRUGATED METAL PIPE ARCH
G	GAS LINE			RCP	REINFORCED CONCRETE PIPE
E	ELECTRIC LINE			RCPA	REINFORCED CONCRETE PIPE ARCH
OWH	OVERHEAD WIRES			FES	FLARED END SECTION

TREE LEGEND

- PROPOSED OVERSTORY TREE
 - PROPOSED EVERGREEN TREE
 - EXISTING CONDITIONS ARE TAKEN FROM A SURVEY PREPARED BY JAY A. GREENWELL, PLS, LLC, LAST UPDATED AUGUST 2019.
 - SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
 - TREE TO BE REMOVED
- | | |
|---------------|--------------|
| A = ASH | P = PINE |
| B = BIRCH | PL = POPLAR |
| BE = BEECH | M = MAPLE |
| C = CHERRY | K = OAK |
| CH = CHESTNUT | T = TULIP |
| E = ELM | S = SYCAMORE |
| H = HACKBERRY | W = WALNUT |
| IR = IRONWOOD | DD = DEAD |
| L = LOCUST | |



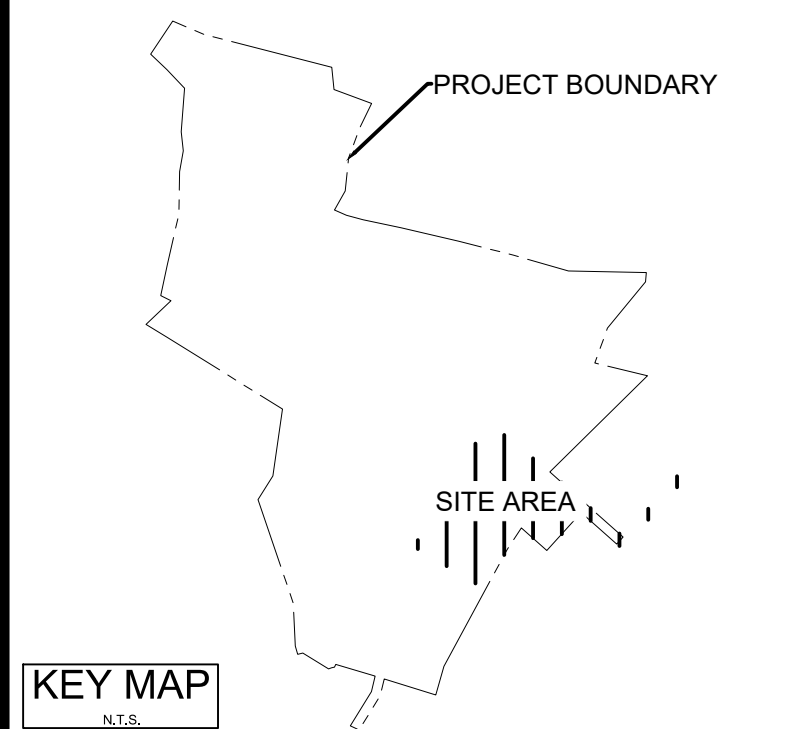
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Consultants

Legend

Notes



KEY MAP

4	REVISED PER TOWN COMMENTS	GCT	TAW	20.06.23
3	REVISED FOR TOWN	GCT	TAW	19.11.17
2	REVISED BASIN LAYOUT	GCT	TAW	19.10.11
1	REVISED BASIN	GCT	TAW	19.07.11
Revision				
4	TOWN SUBMISSION	By	Appr.	19.06.20
3	TOWN PLANNING BOARD SUBMISSION	GCT	TAW	20.06.23
2	ISSUED TO CLIENT	GCT	TAW	19.11.06
1	TOWN SUBMISSION	MJC	TAW	19.09.16
2	ISSUED TO CLIENT	GCT	TAW	19.07.11
1	TOWN SUBMISSION	GCT	TAW	19.04.23
Issued				
By	Appr.			19.06.20
File Name: Phase 1 Drainage Improvements.dwg GCT TAW 19.04.23				
Dwn. Crk. Dgn. YJAWA.DD				

Permit-Seal



Client/Project
UJA FEDERATION OF NEW YORK

UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

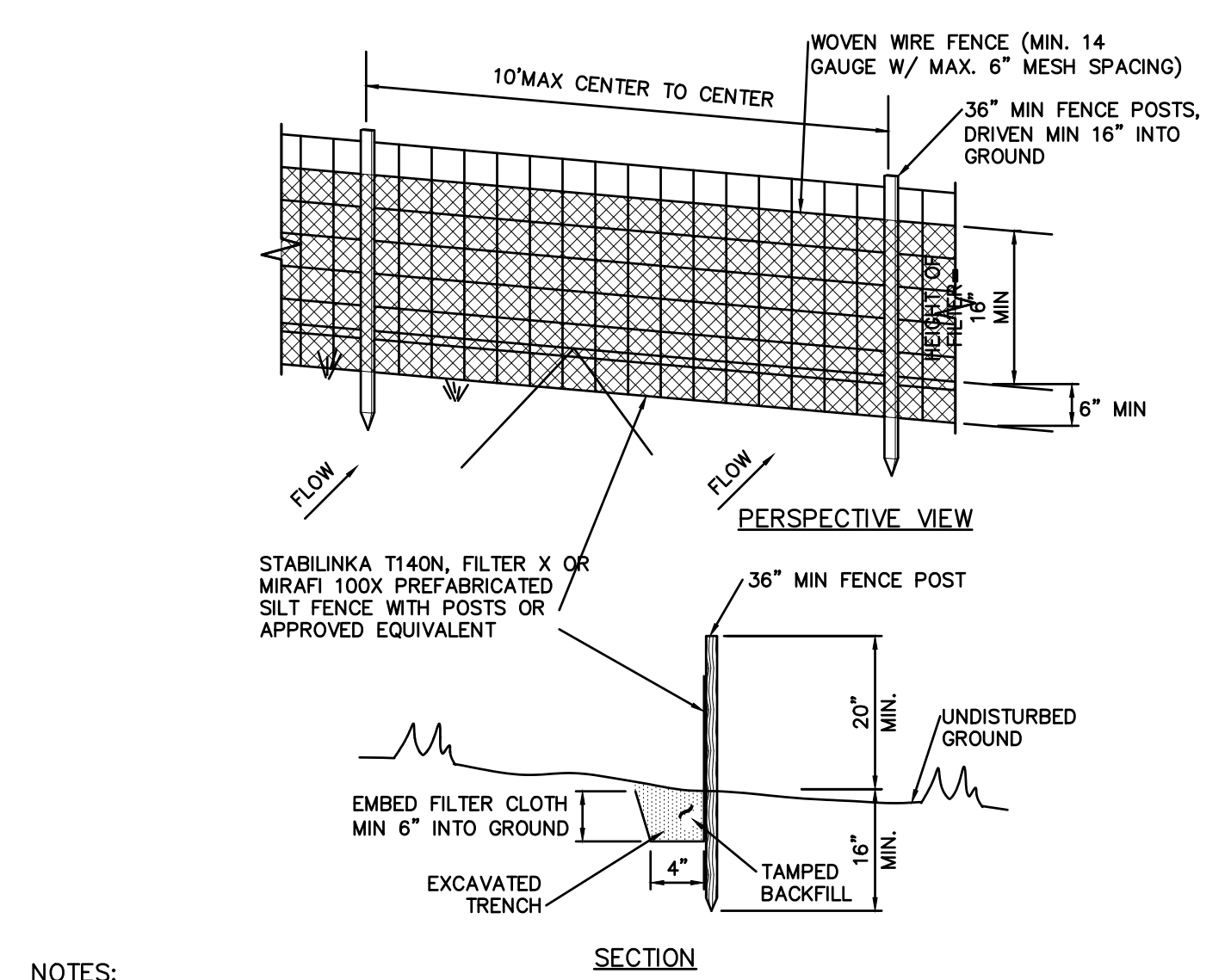
Title

LANDSCAPE PLAN
SW MANAGEMENT IMPROVEMENTS

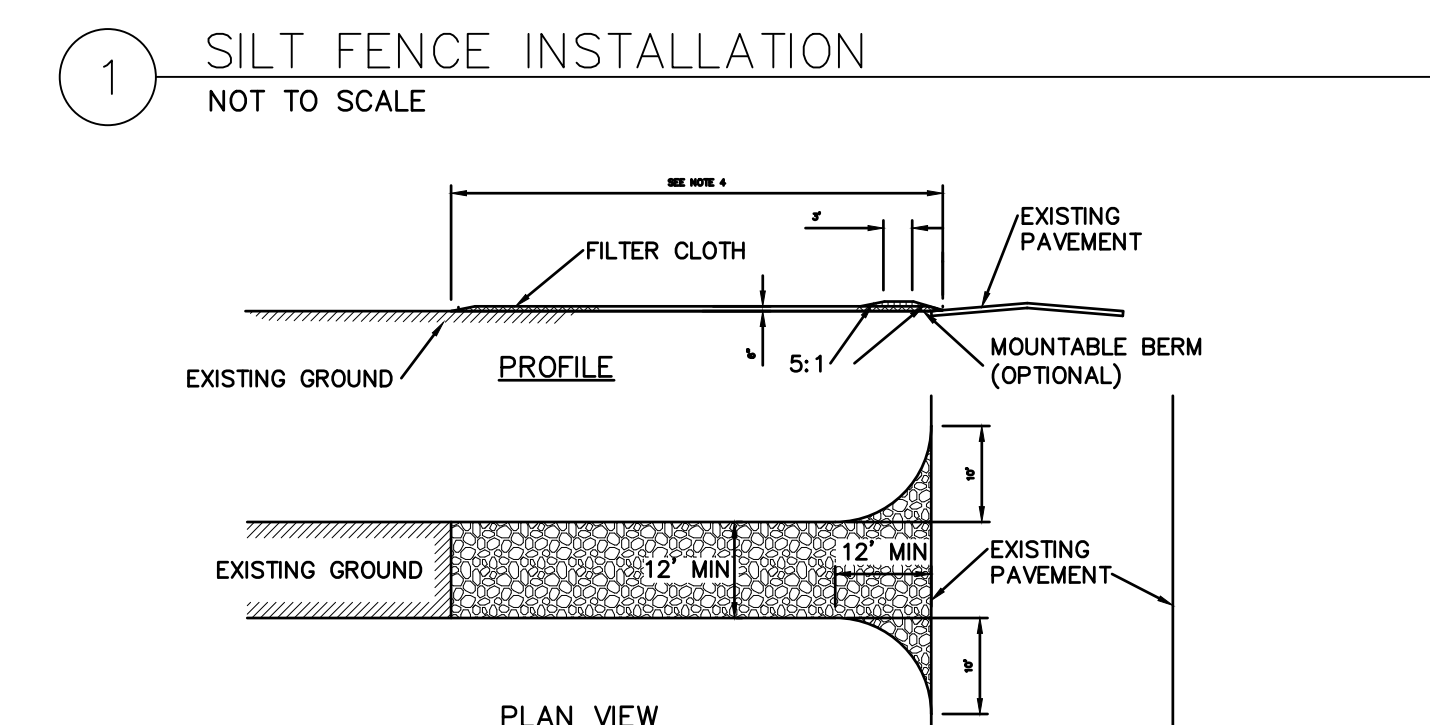
Project No. 195115085 Scale 1"=30'

Drawing No. Sheet Revision

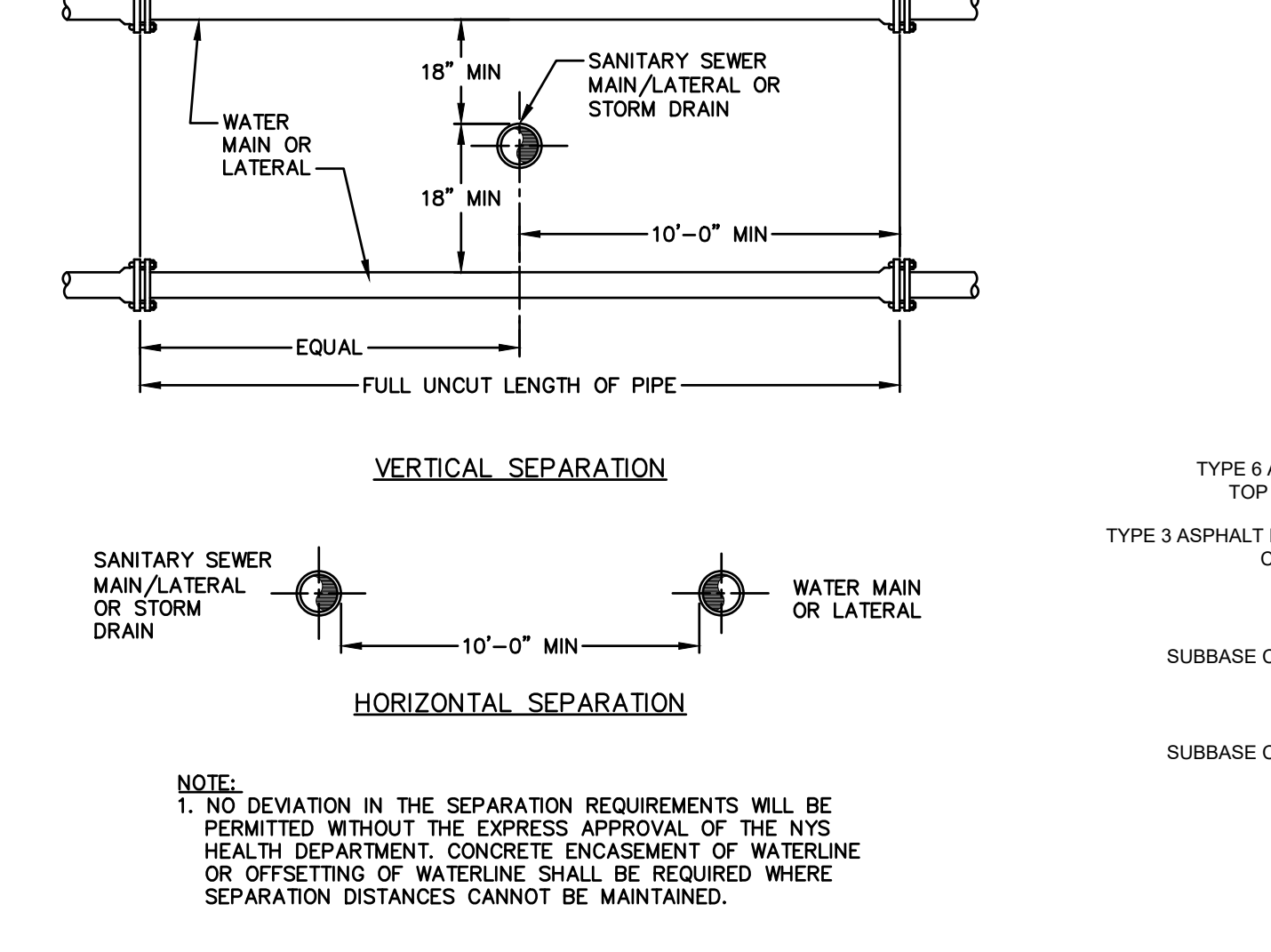
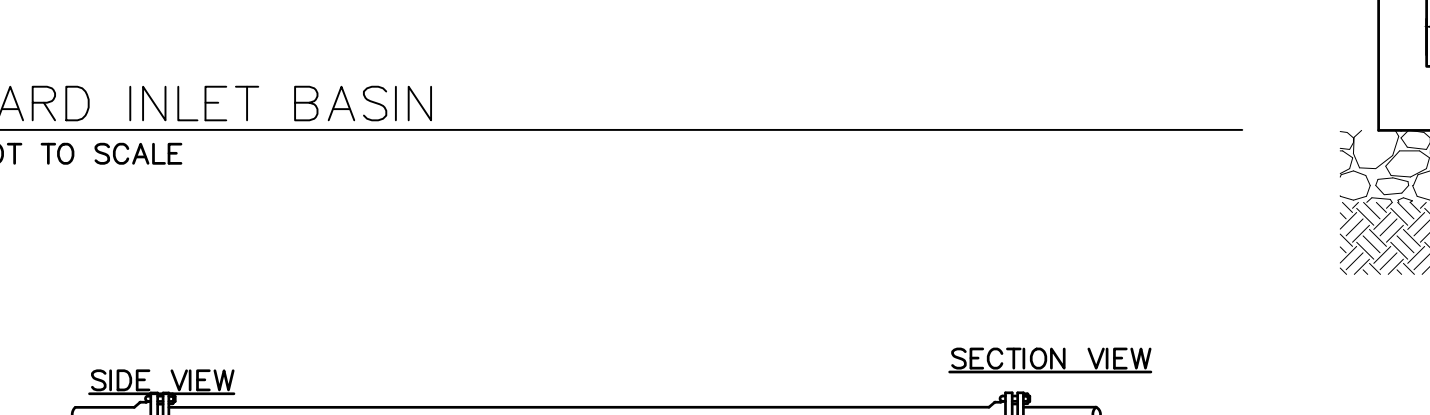
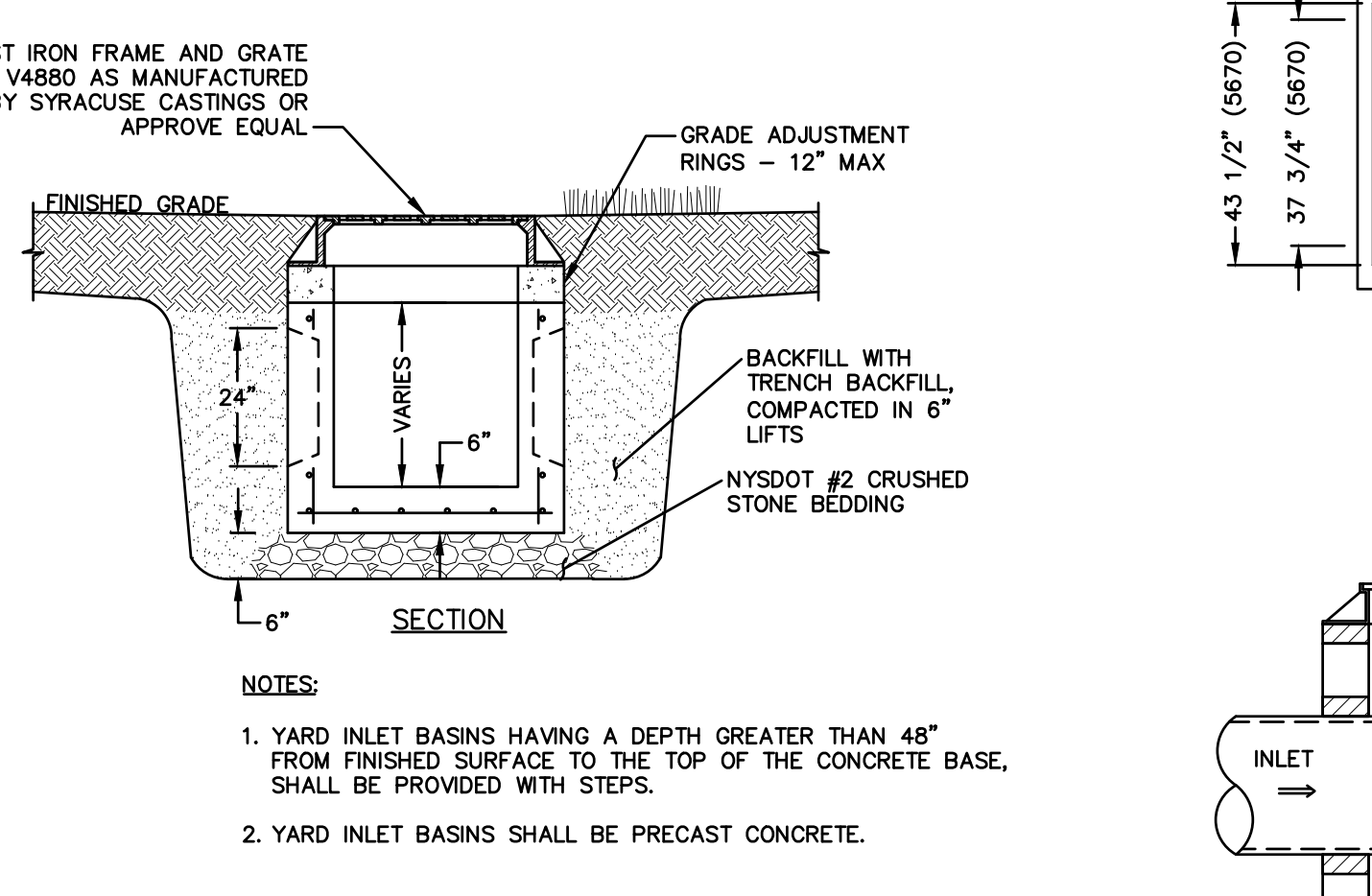
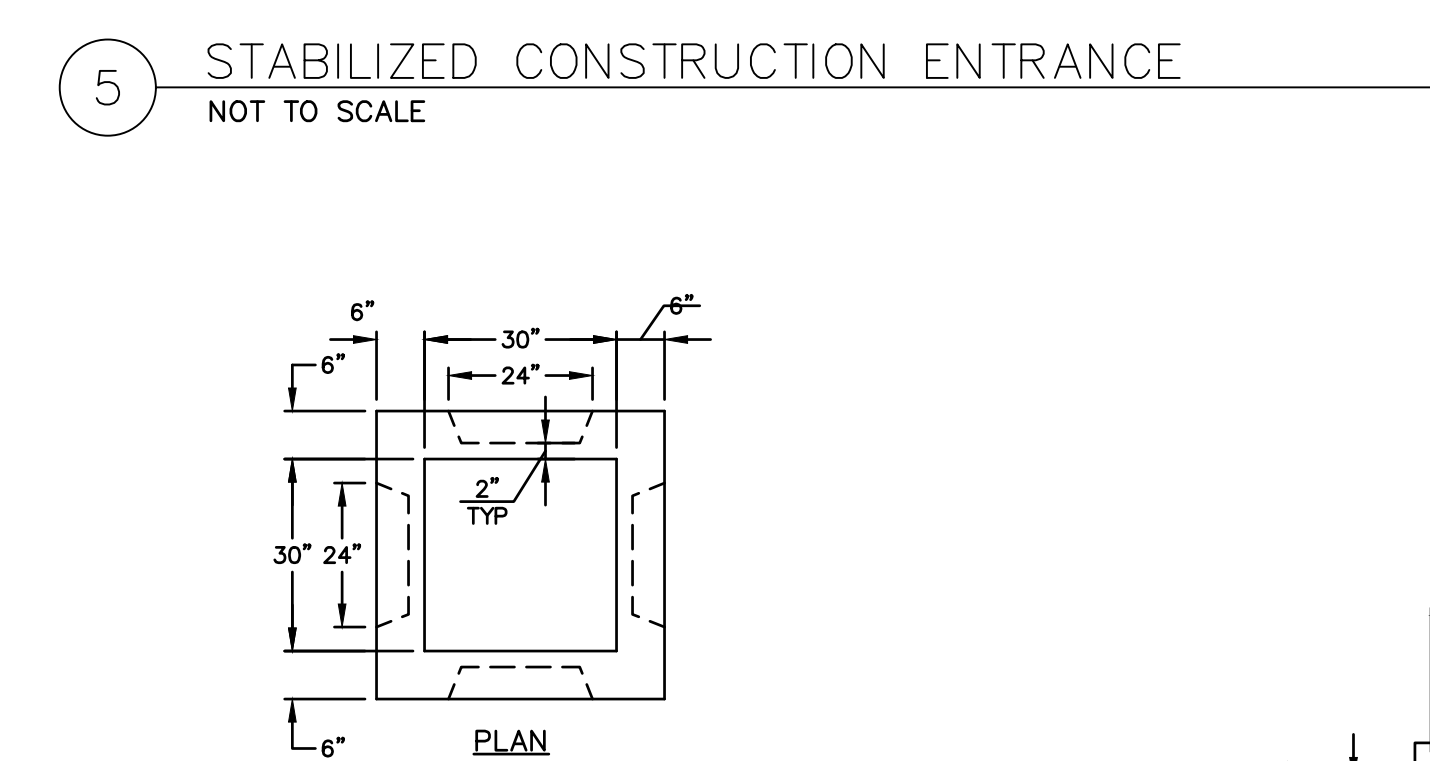
C-500-SW 9 of 10 4



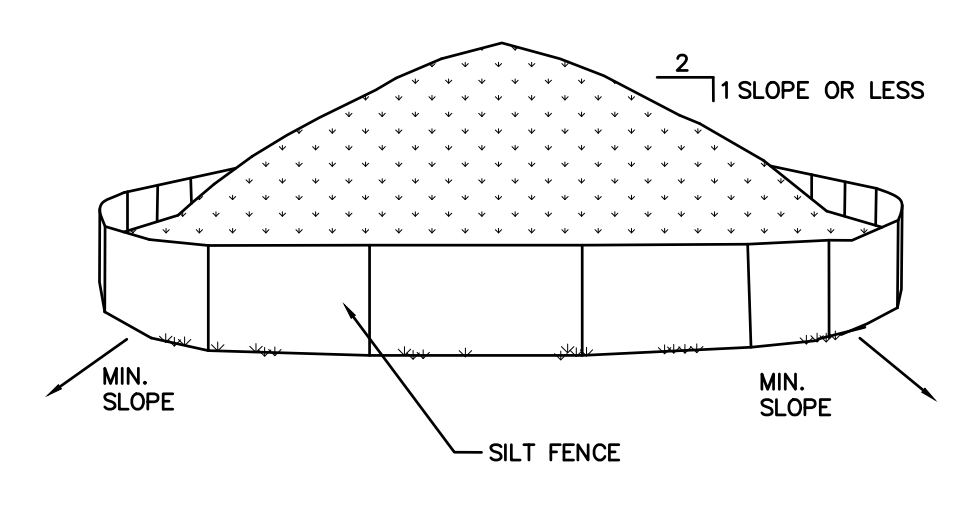
- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL 1\"/>
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6\"/>
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGED" DEVELOP IN THE SILT FENCE.
 - MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
 - SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
 - SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
 - MAXIMUM ALLOWABLE SLOPE LENGTHS CORRELATING RUN-OFF TO A SILT FENCE ARE:
- | | |
|-----------------|---------------------------|
| SLOPE STEEPNESS | MAXIMUM SLOPE LENGTH (FT) |
| 2:1 | 50 |
| 4:1 | 75 |
| 5:1 OR FLATTER | 100 |



- CONSTRUCTION ENTRANCE SPECIFICATIONS:**
- STONE SIZE - USE 2\"/>
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FOOT 6\"/>
 - LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO LAYING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

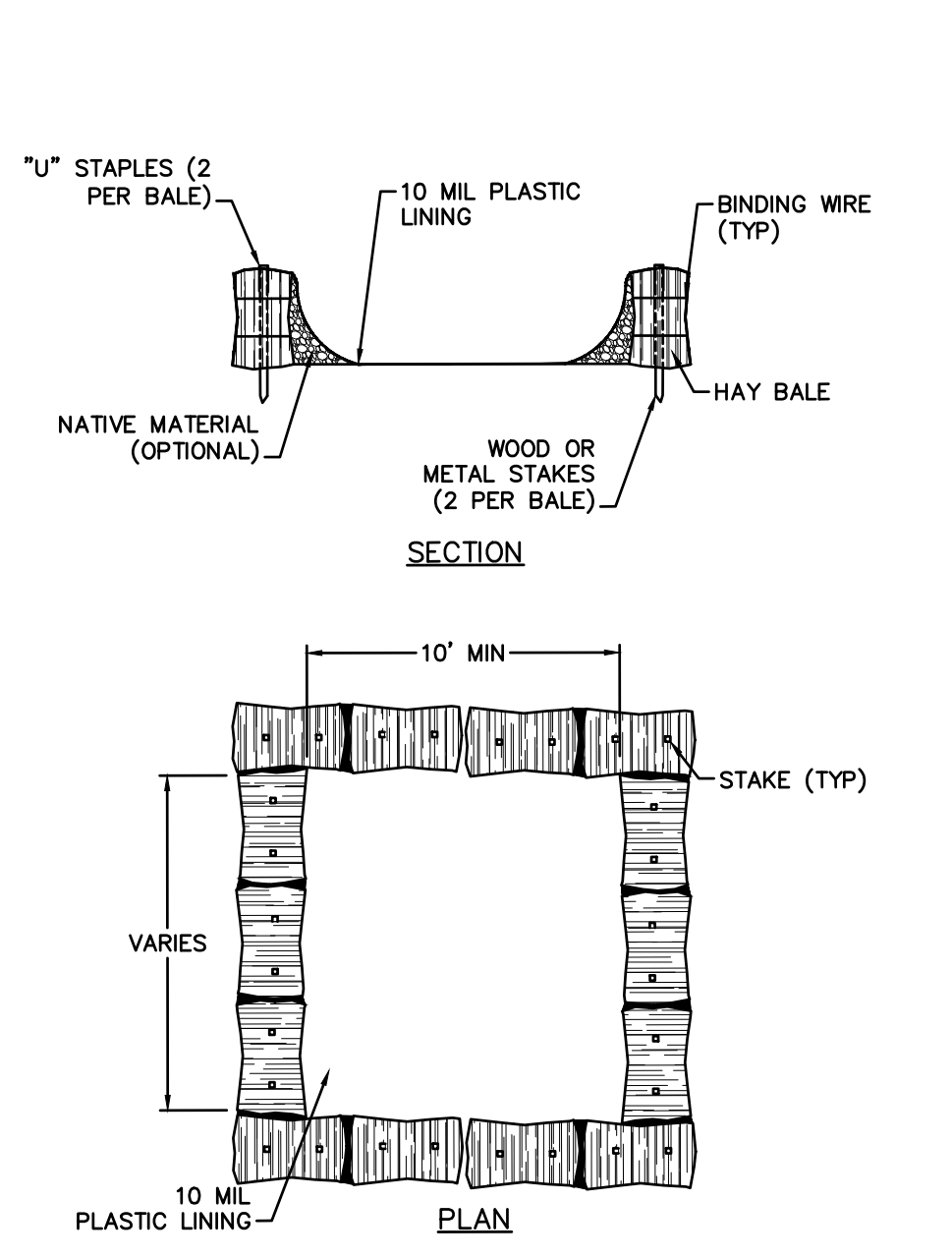


14 SANITARY/STORM & WATERMAIN SEPARATION NOT TO SCALE



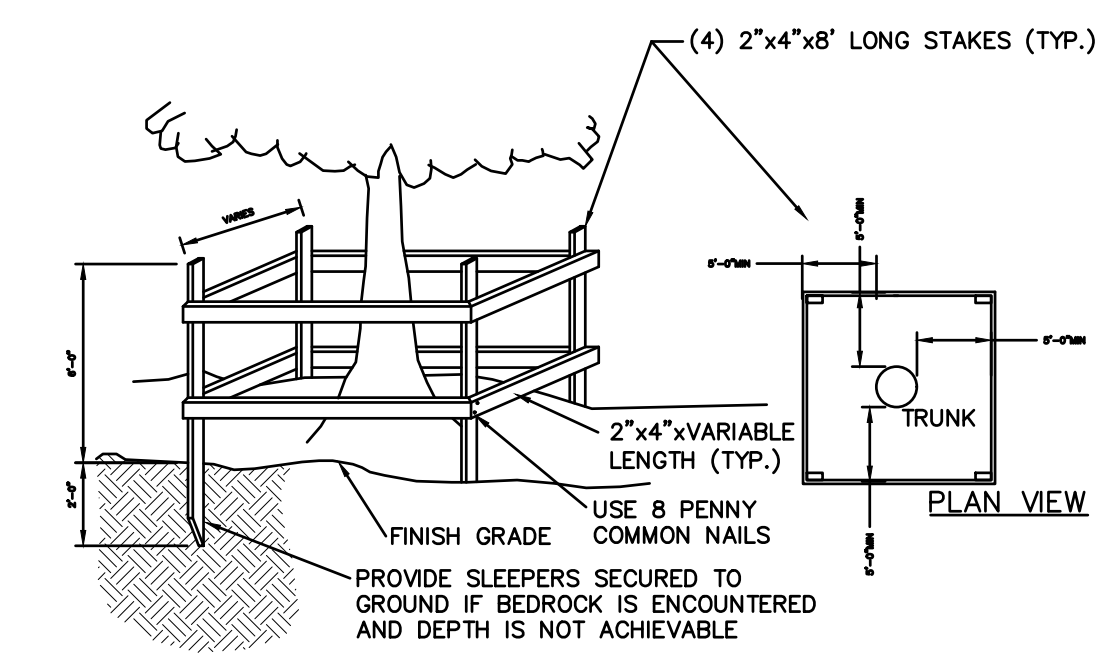
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

2 TEMPORARY SOIL STOCKPILE NOT TO SCALE



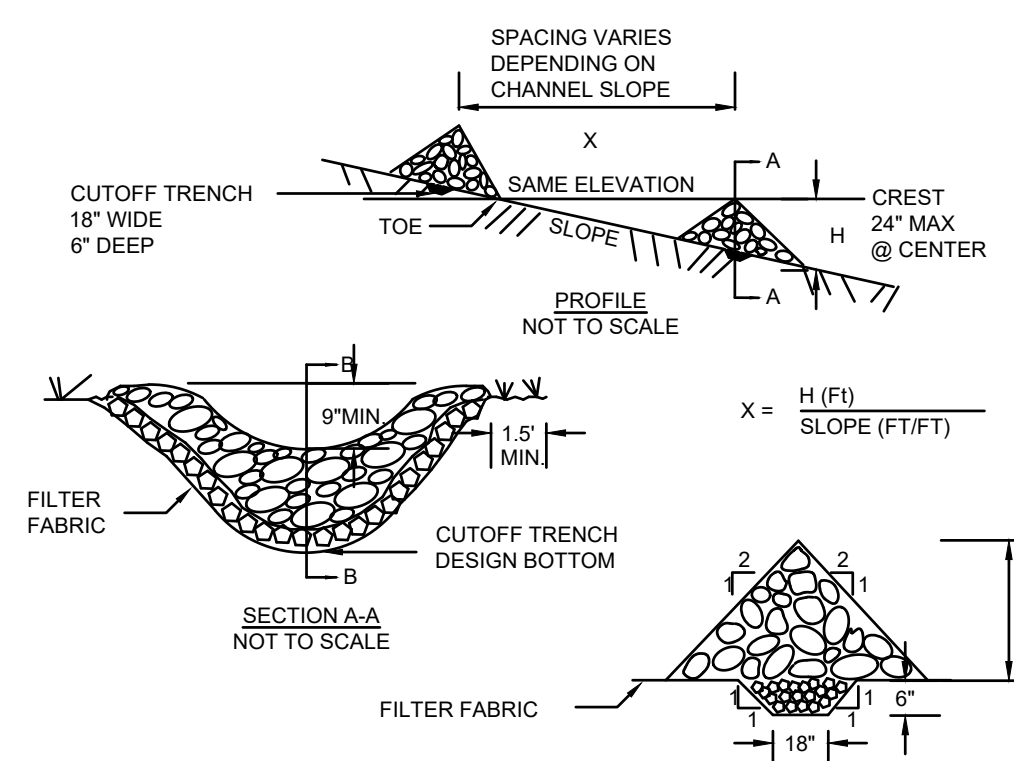
- NOTES:**
- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - REMOVE HARDEN CONCRETE WHEN WITHIN 4\"/>
 - CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 - LINEARS, HAYBALES, ETC SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

6 ABOVE-GROUND TEMPORARY CONCRETE WASHOUT FACILITY NOT TO SCALE



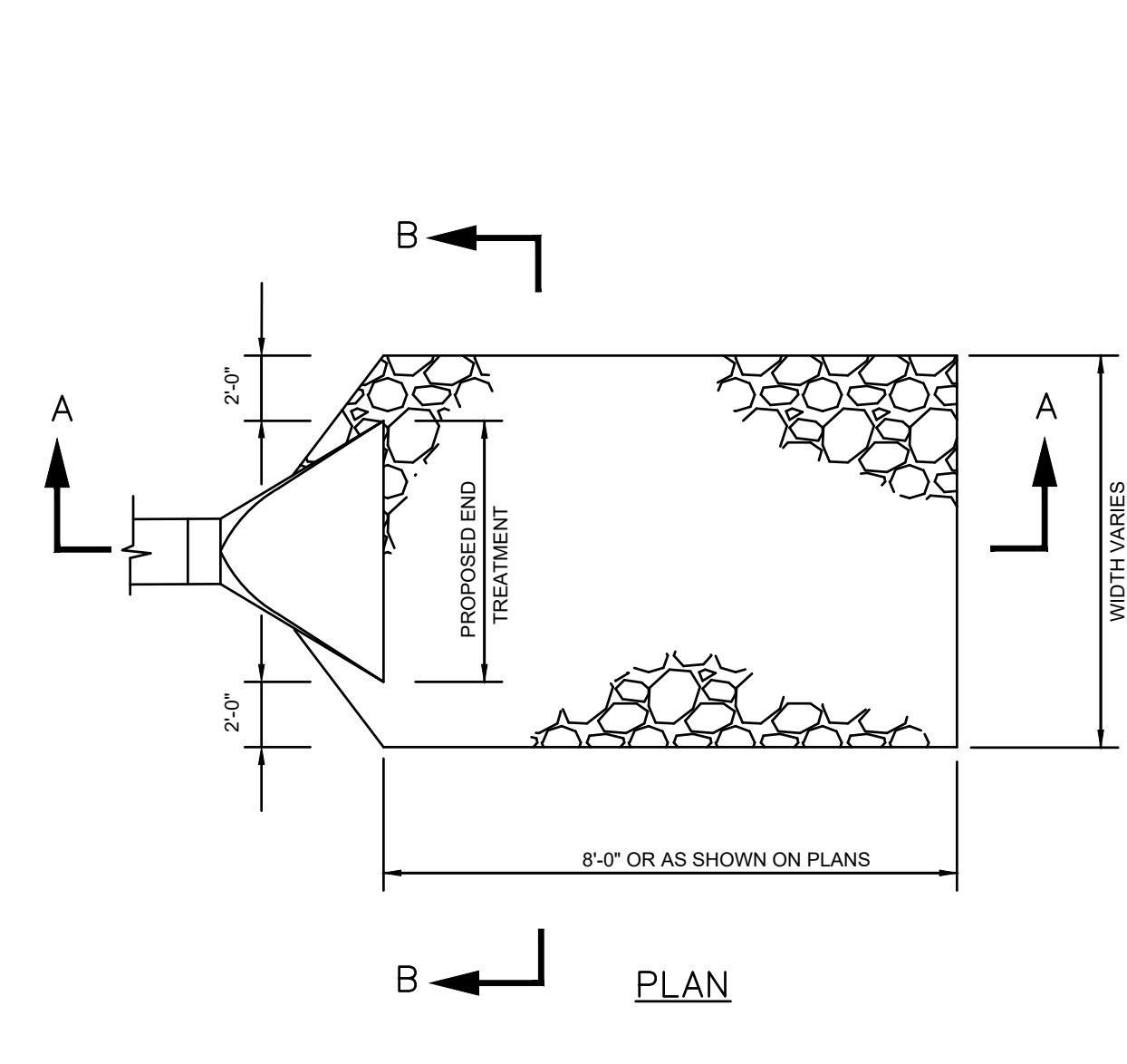
- NOTE:**
- SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

3 TEMPORARY TREE PROTECTION NOT TO SCALE

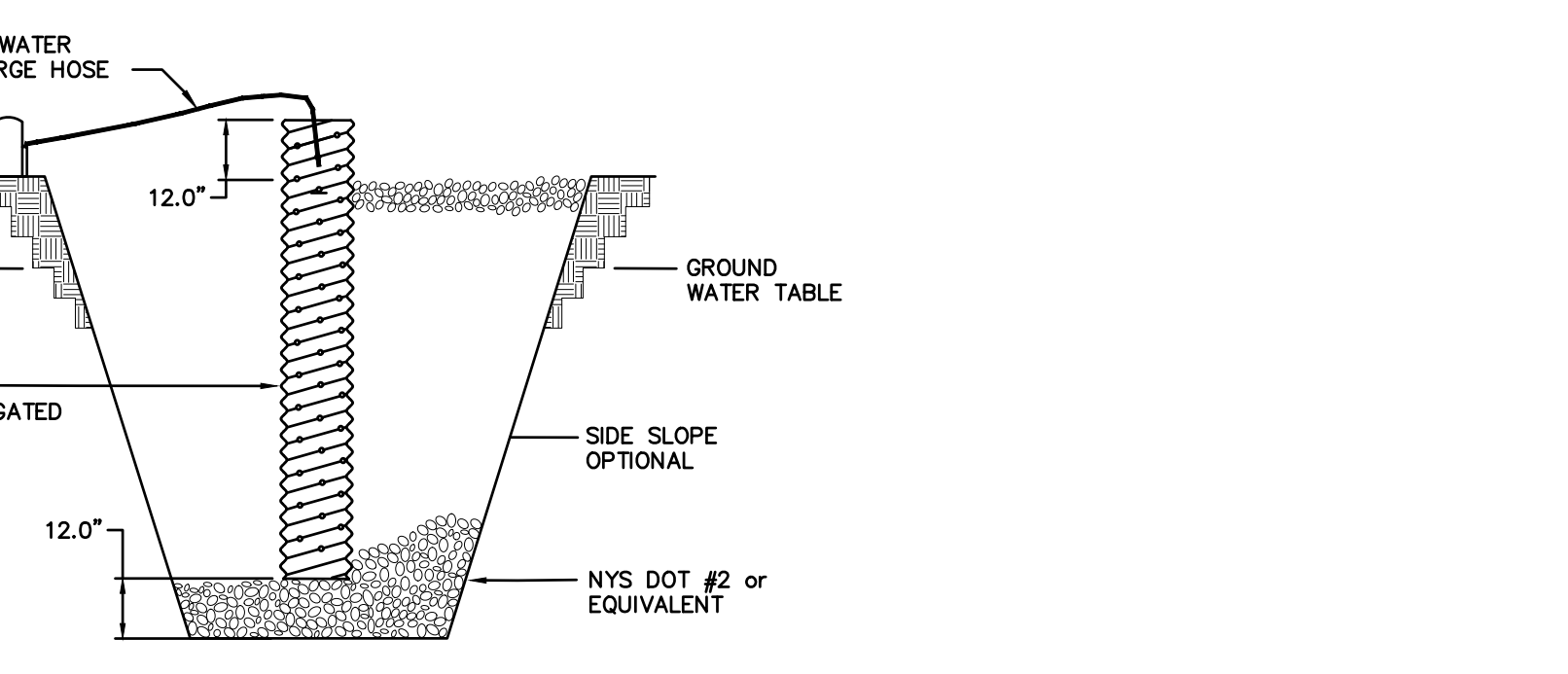


- CHECK DAM SPECIFICATIONS:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APURTENANCES SUCH AS CULTIVATOR ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRE.

7 CHECK DAM NOT TO SCALE

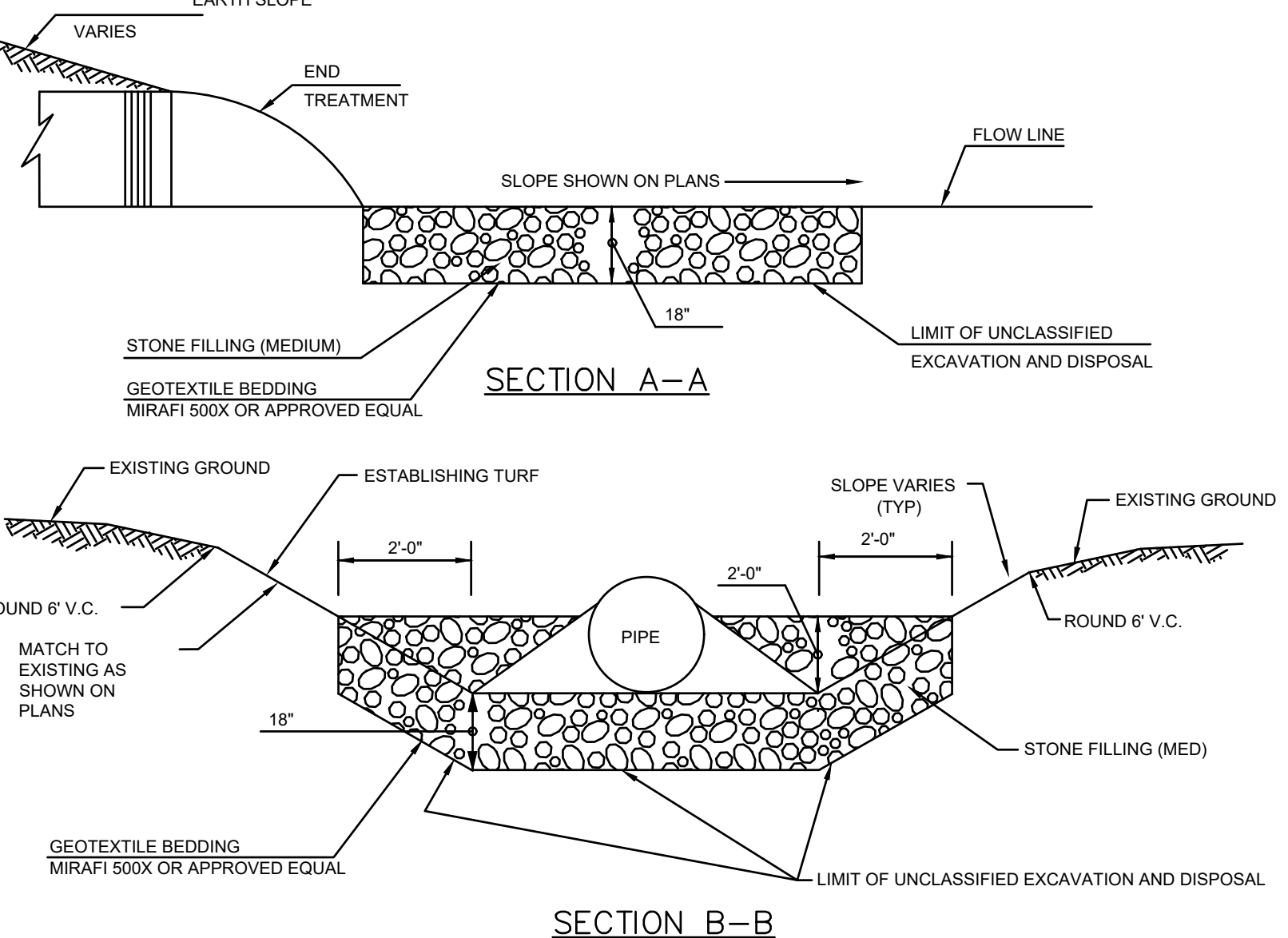


8 INLET/OUTLET CULVERT RIP-RAP APRONS NOT TO SCALE

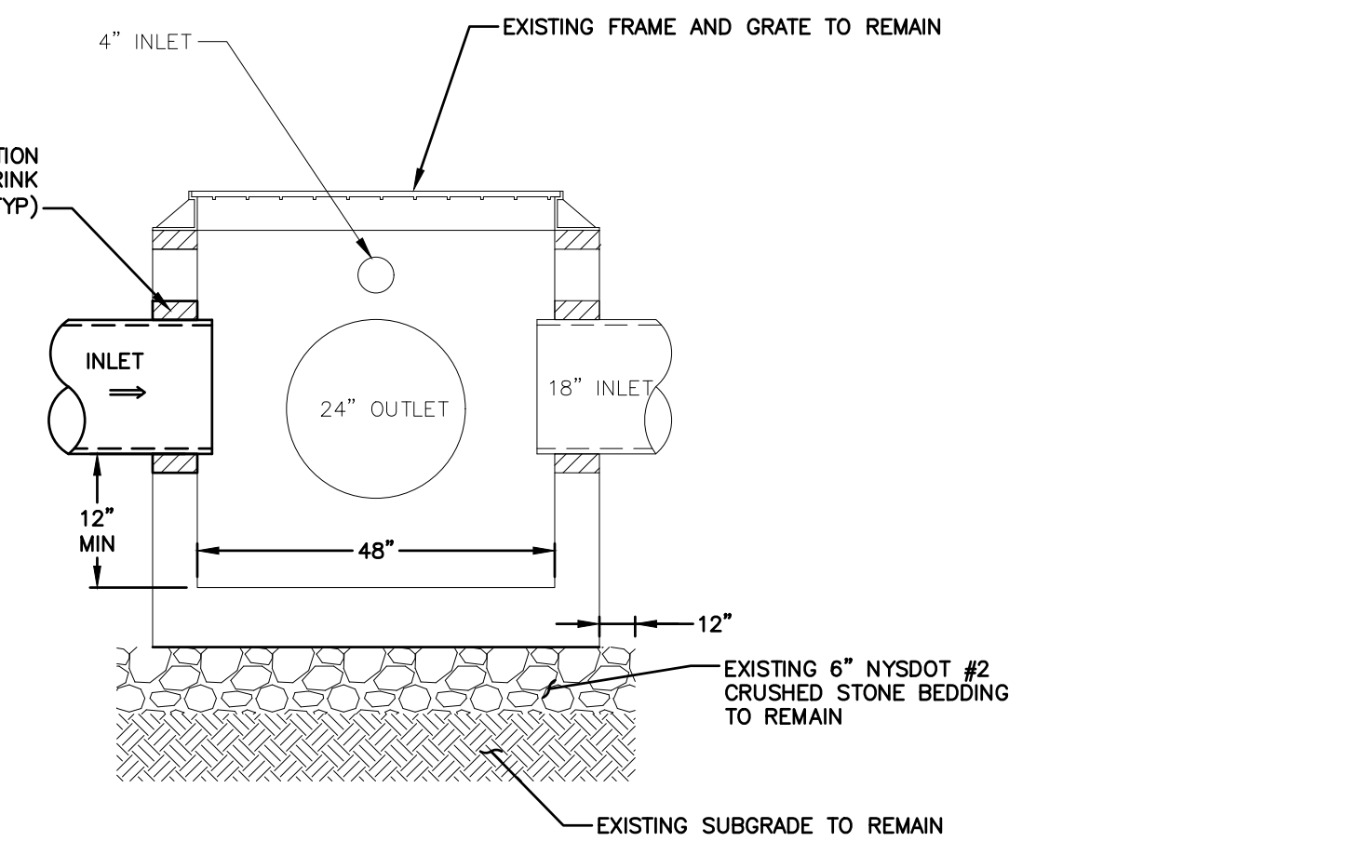


- CONSTRUCTION SPECIFICATIONS:**
- PIT DIMENSIONS ARE OPTIONAL.
 - THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12-24\"/>
 - A BASE OF 2\"/>
 - THE STANDPIPE SHOULD EXTEND 12-18\"/>
 - IF DISCHARGE WILL BE PUMPED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANDPIPE SHOULD BE WRAPPED WITH FILTERCLOTH BEFORE INSTALLATION. IF DESIRED, 1/4\"/>

4 SUMP PIT NOT TO SCALE



8 INLET/OUTLET CULVERT RIP-RAP APRONS NOT TO SCALE



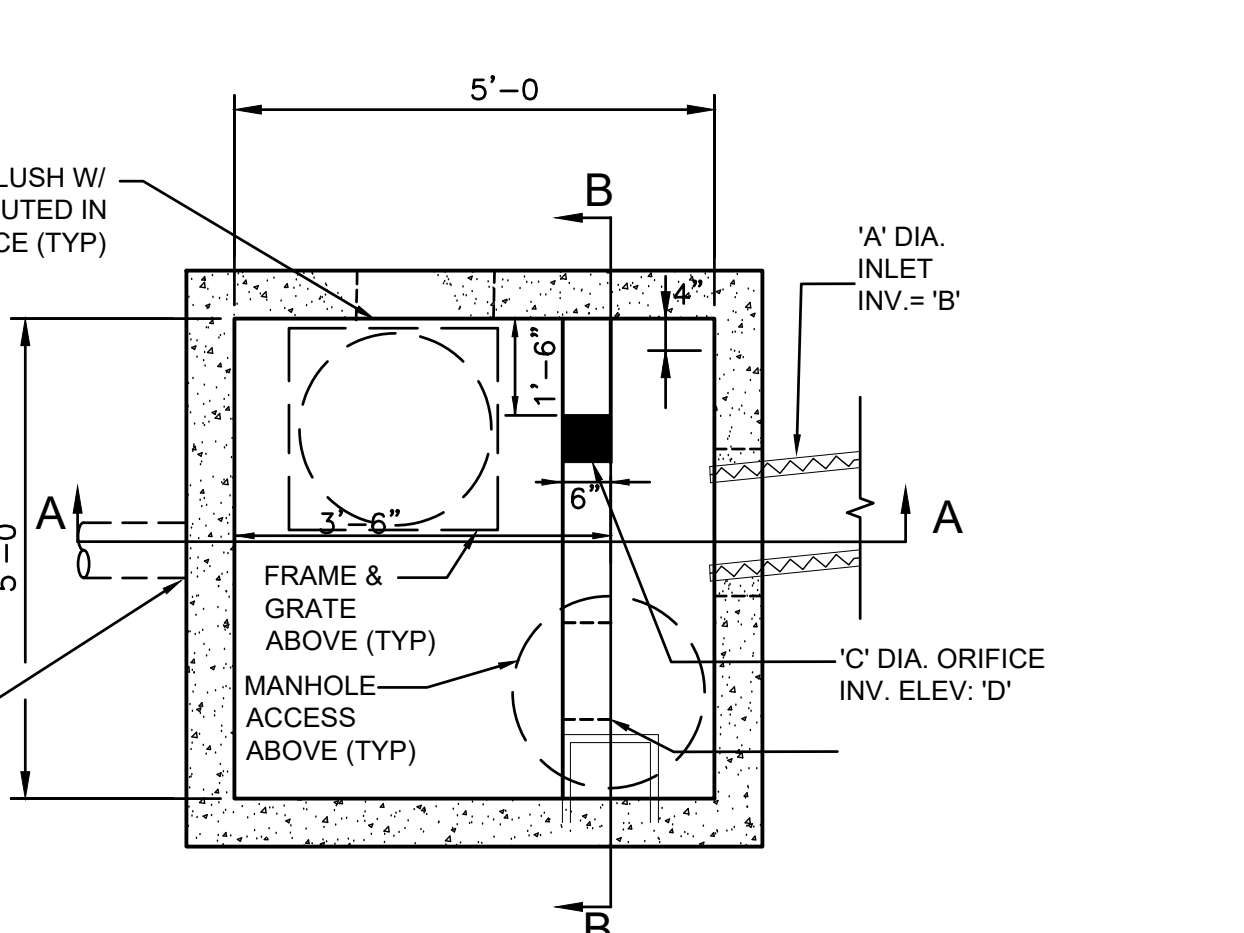
100 EXISTING CATCH BASIN TIE IN NOT TO SCALE

DRAINAGE BASIN

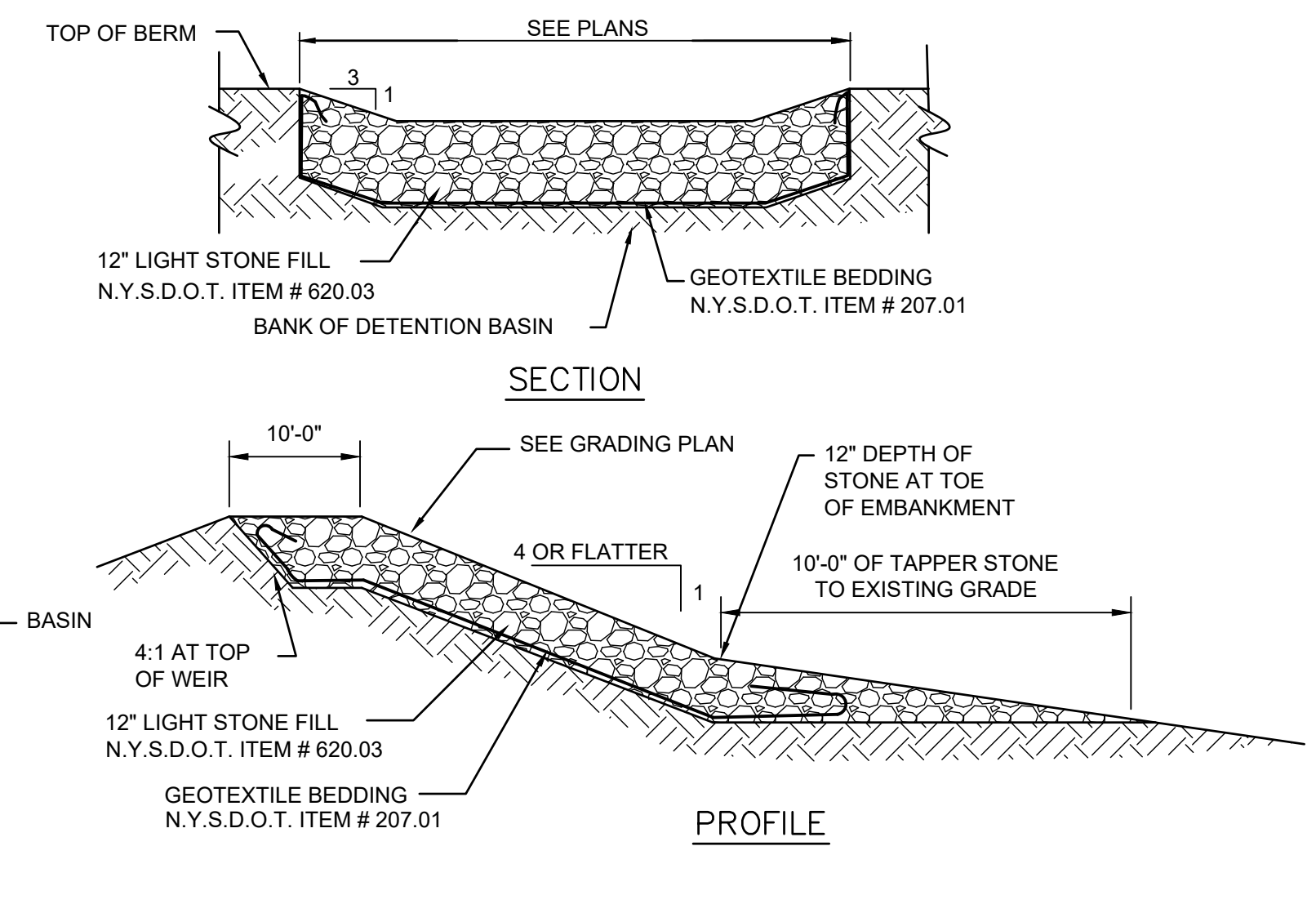
STRUCTURE	A	B	C	D	E	F	G	H	I
OS-1	15'	86.0	3.5'	86.0	92.0	8'	18'	84.3	93.4

- NOTES:**
- WEIR SHALL BE STRUCTURALLY ANCHORED TO STRUCTURE WALLS.
 - REQUIRED LOADING: HS-20
 - HEAVY-DUTY FRAME & COVER SHALL BE "CAMPELLE" PATTERN #1009A OR APPROVED EQ. WITH "STORM"
 - PROVIDE REINFORCED POLYPROPYLENE STEPS @ 12\"/>
 - PROVIDE PRECAST RISER AS REQUIRED
 - SEE GRADING & DRAINAGE PLAN FOR PIPE ORIENTATION AND ADDITIONAL INFORMATION.

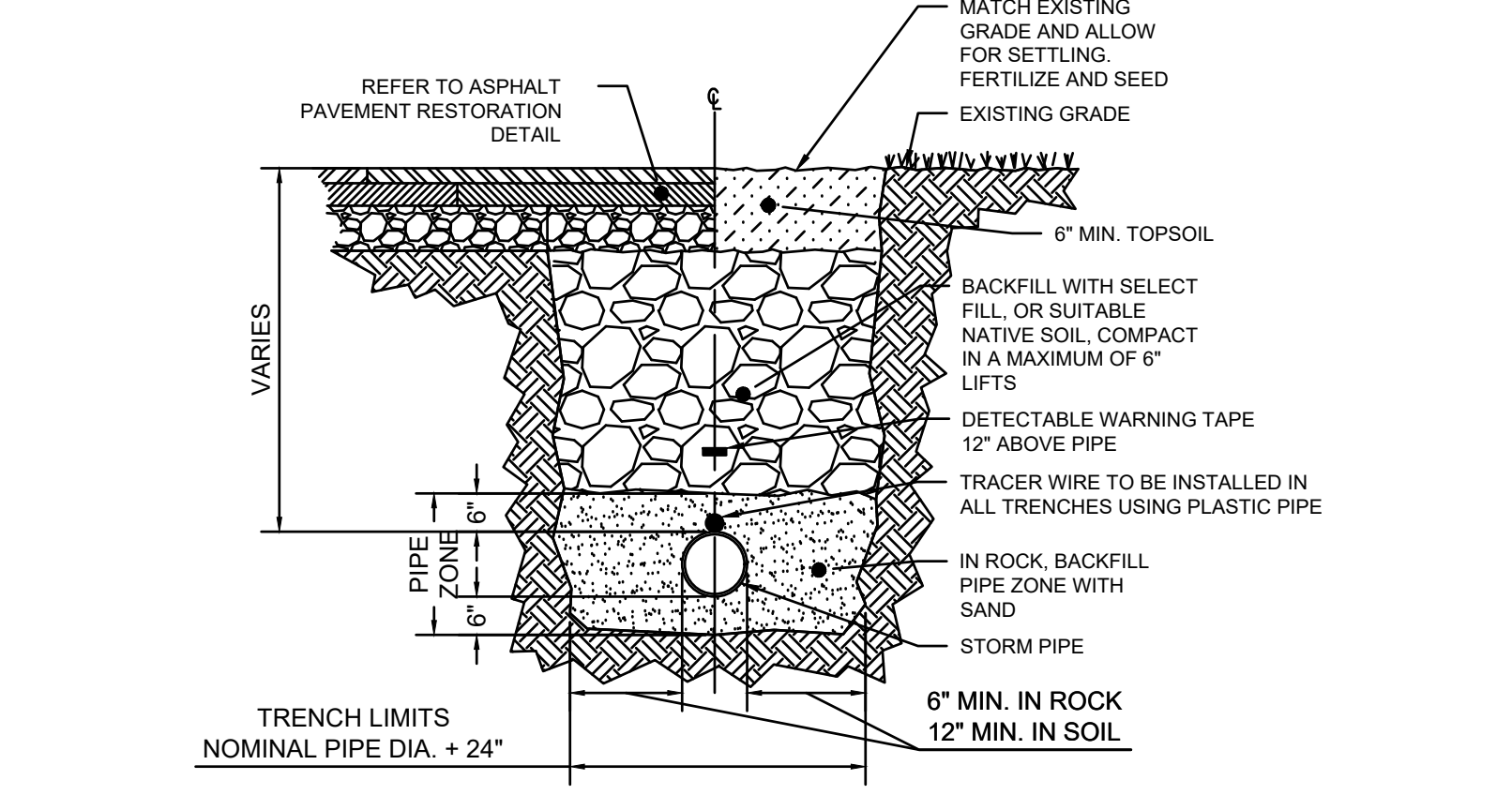
11 OUTLET CONTROL STRUCTURE NOT TO SCALE



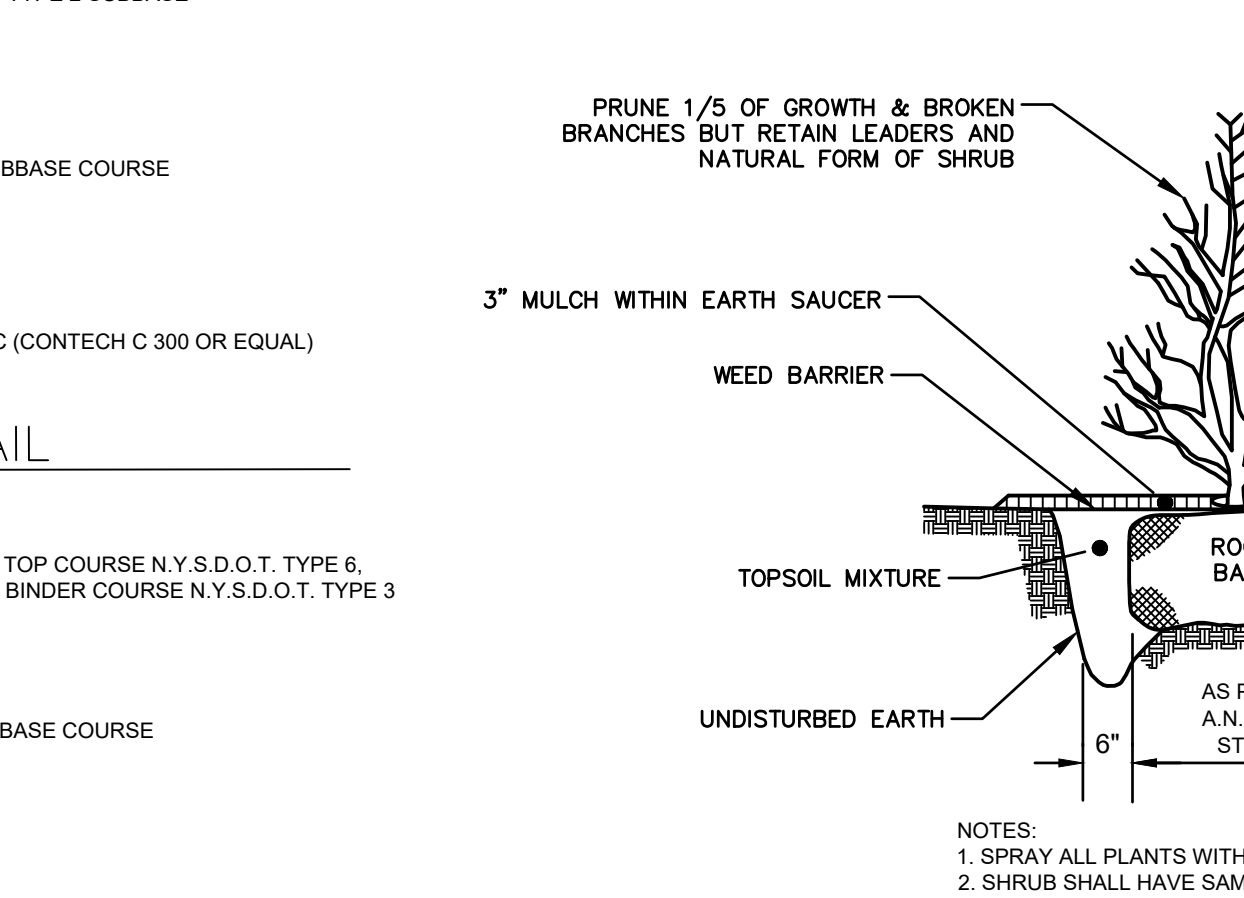
11 OUTLET CONTROL STRUCTURE NOT TO SCALE



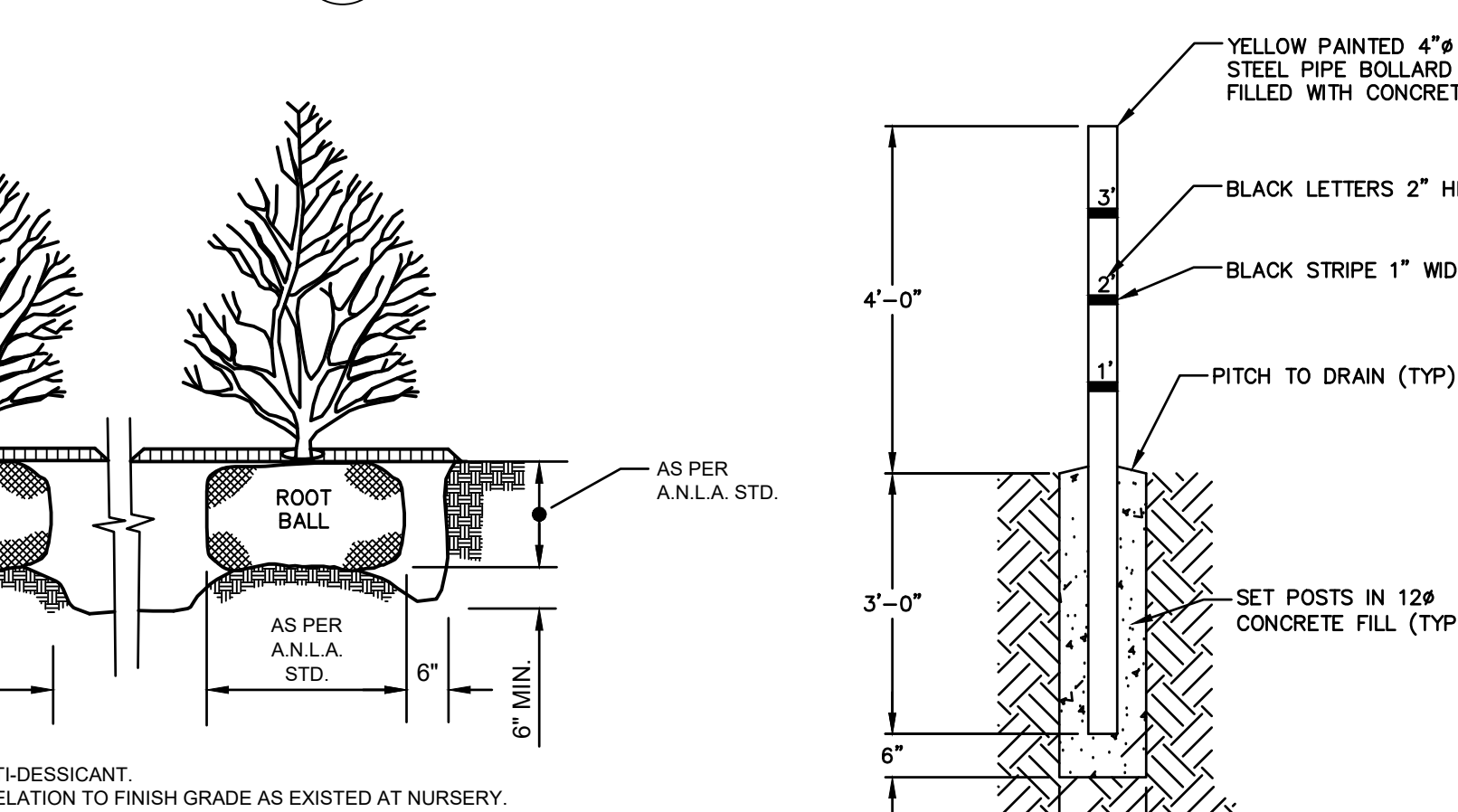
12 EMERGENCY SPILLWAY NOT TO SCALE



13 PIPE TRENCH DETAIL NOT TO SCALE



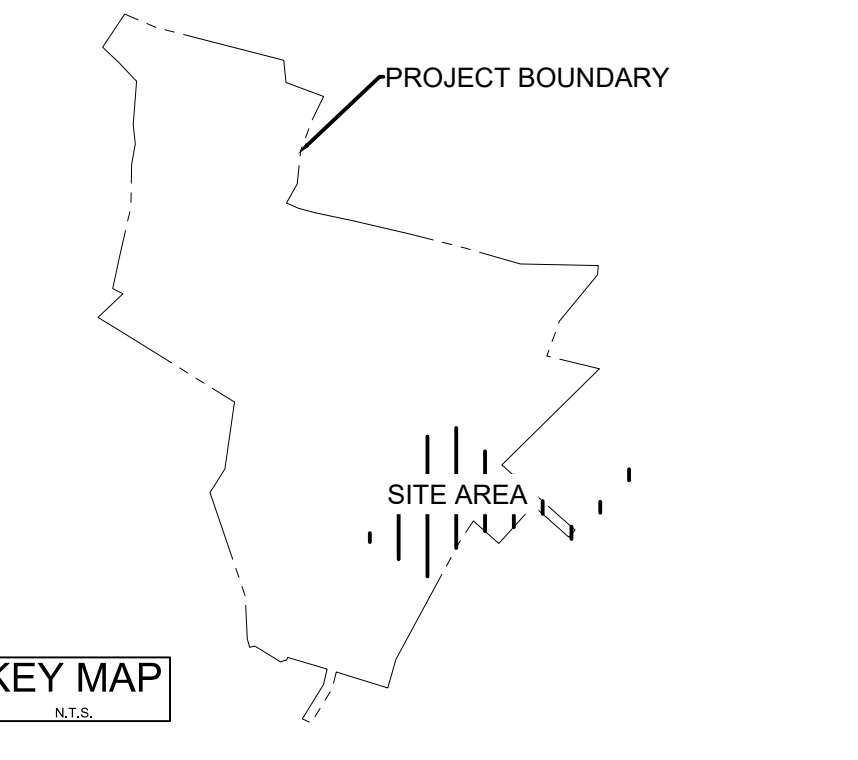
17 GRAVEL PARKING DETAIL NOT TO SCALE



19 DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE

18 ASPHALT PAVING DETAIL NOT TO SCALE

20 SEDIMENT DEPTH MARKER NOT TO SCALE



KEY MAP

4	REVISED PER TOWN COMMENTS	GCF	TAW	2016.03
3	REVISED FOR DATE	GCF	TAW	19.11.17
2	REVISED BASIN LAYOUT	GCF	TAW	19.10.11
1	REVISED BASIN	GCF	TAW	19.07.11
Revision				
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2	ISSUED TO CLIENT	GCF	TAW	19.11.26
1	TOWN SUBMISSION	MJC	TAW	19.09.16
2	ISSUED TO CLIENT	GCF	TAW	19.07.11
1	TOWN SUBMISSION	GCF	TAW	19.04.25
Issued				
				19.AM.20

Permit/Seal



Client/Project
UJA FEDERATION OF NEW YORK
UJA Pearl River Day Camp
Proposed Improvements
Orangetown, New York

Title
DETAILS
SW MANAGEMENT IMPROVEMENTS
Project No. 195115085
Scale AS SHOWN
Drawing No. Sheet
Revision