

Town of Orangetown Planning Board
Planning Board Meeting: Tuesday, April 7, 2020

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York **Time: 7:30 P.M.**

Project Name: Instrumentation Laboratory Site Plan

Location of Parcel: The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Distribution:

Rockland County:

- *Planning Department*
- *Highway Department*
- *Park Commission*
- *Environmental Resources*
- *Drainage Agency*
- *Health Dept.*

Town of Orangetown:

- *Drainage Consultant*
- *OBZPA*
- *DEME*
- *Highway*
- *DTA*
- *Fire Prevention*
- *Traffic Advisory Board*

Other:

- *New York State Department of Transportation: Permits*
- *Orange and Rockland Utilities*
- *Suez*

Project Description: Final Site Plan Review

Please forward your completed review to this office by date of the Meeting. If your comments are not received by this date, the Board assumes your agency does not have any comments.

Section 70.19, Block 1, Lot 45

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**

Planning Board Meeting of April 7, 2020

Project Name: Instrumentation Laboratory Site Plan

Location of Parcel: The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at ccoopersmith@orangetown.com, or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: _____

Agency Name
By: _____
Please Print Name

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 2/26/2020

2019 LAND USE BOARD APPLICATION

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Zoning Board of Appeals		<input type="checkbox"/> Historical Board
		<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision		<input type="checkbox"/> Consultation
<input checked="" type="checkbox"/> Number of Lots		<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan		<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use		<input checked="" type="checkbox"/> Final
		<input type="checkbox"/> Interpretation
<input type="checkbox"/> Special Permit		
<input type="checkbox"/> Variance		
<input type="checkbox"/> Performance Standards Review		
<input type="checkbox"/> Use Variance		
<input type="checkbox"/> Other (specify): _____		

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Instrumentation Laboratory - Expansion

Street Address: 526 Route 303
Orangeburg, NY 10962

Tax Map Designation:
Section: 70.19 Block: 1 Lot(s): 45
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the west side of Route 303, approximately 0 feet of the intersection of Glenshaw St, in the Town of ORANGETOWN in the hamlet/village of Blauvelt.

Acreage of Parcel <u>8.817</u>	Zoning District <u>LO</u>
School District <u>South Orangetown</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Orangeburg</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Building and parking expansion and approval of accessory structures

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 5/29/19 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Instrumentation Laboratory Phone # 845-365-8000

Address: 526 Route 303 Orangeburg NY 10962
Street Name & Number (Post Office) City State Zip Code

Property Owner: Instrumentation Laboratory Phone # 845-365-8000

Address: 526 Route 303 Orangeburg NY 10962
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: EI Associates Phone # 973-775-7777

Address: 8 Ridgedale Ave Cedar Knolls NJ 07927
Street Name & Number (Post Office) City State Zip Code

Attorney: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

Contact Person: Donald Brenner Phone # 845-359-2210

Address: 4 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input checked="" type="checkbox"/> State or County Road
<input type="checkbox"/> Long Path
<input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> State or County Park
<input type="checkbox"/> County Stream
<input type="checkbox"/> County Facility |
|---|---|

List name(s) of facility checked above:
N.Y.S. Route 303

Referral Agencies:

- | | |
|---|---|
| <input type="checkbox"/> RC Highway Department
<input type="checkbox"/> RC Drainage Agency
<input type="checkbox"/> NYS Dept. of Transportation
<input type="checkbox"/> NYS Thruway Authority
<input type="checkbox"/> Adjacent Municipality
<input type="checkbox"/> Other _____ | <input type="checkbox"/> RC Division of Environmental Resources
<input type="checkbox"/> RC Dept. of Health
<input type="checkbox"/> NYS Dept. of Environmental Conservation
<input type="checkbox"/> Palisades Interstate Park Commission |
|---|---|

February 25, 2020
EG 8381.00

Donald Brenner, P.E., LL.B
4 Independence Avenue
Tappan, New York 10983
(845) 359-2210

Subject: **Permit # 48870**
Building and Parking Addition – Final Site Plan Documents
Instrumentation Laboratory, Inc.
526 Route 303
Town of Orangetown, Rockland County, NY

Dear Mr. Brenner:

Enclosed please find the following documents for the above referenced project application:

1. Three (3) signed and sealed copies of the following drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev.</u>	<u>Date</u>
CT01	Title Sheet	H	2-25-2020
C01	Existing Conditions & Site Demolition Plan	H	2-25-2020
C02	Site Plan	H	2-25-2020
C03	Site Improvement Details	H	2-25-2020
C04	Grading and Drainage Plan	H	2-25-2020
C04.1	Drainage Profiles	H	2-25-2020
C05	Drainage Details	H	2-25-2020
C06	Site Lighting Plan	H	2-25-2020
C07	Landscape Plan and Details	H	2-25-2020
C08	Soil Erosion Control Plan	H	2-25-2020
C09	Erosion Control Details & Notes	H	2-25-2020

2. Two (2) signed and sealed copies of the Stormwater Pollution Prevention Plan (SWPPP), dated February 25, 2020.

The enclosed documents have been revised in accordance with the July 31, 2019 Conditions of the Preliminary Site Plan Approval as outlined below.

1. General Note #1 has been added to Drawing No. CT01.
2. General Note #2 has been added to Drawing No. CT01.
3. General Note #3 has been added to Drawing No. CT01.
4. The Landscaped Berm Section, Detail #4, on Drawing No. 7 has been revised to indicate a berm height of 3'-9". The berm has been extended southward toward the main entrance from Route 303 and an additional berm is shown on the south side of the main entrance. These berm modifications are reflected by the proposed contours shown on drawing No. C04 and C07.

5. Drawing No. C02 has been updated to show the existing building dimensions, existing building setback distances, easement lines, bearings and distances and survey reference notes.
6. The Zoning Data Table on Drawing No. CT01 has been updated to agree with the dimensions shown on Drawing C01 and C02 for the existing and proposed rear yard setback.
7. Zoning variance granted at November 16, 2019 public hearing and noted on Drawing CT01 under “Planning & Land Development Approval Notes”.
8. Zoning variance granted at November 16, 2019 public hearing and noted on Drawing CT01 under “Planning & Land Development Approval Notes”.
9. Zoning variance granted at November 16, 2019 public hearing and noted on Drawing CT01 under “Planning & Land Development Approval Notes”.
10. Parking is not proposed within a drainage easement.
11. Building mounted site lighting has been added to Drawing No. C06.
12. Floor Plans have been previously submitted. Zoning Board Performance Standards Review has been approved.
13. Building Elevation Drawings have been previously submitted.
14. ACABOR approval was granted on February 6, 2020.
15. See attached SWPPP, dated 2-25-2020.
16. See attached SWPPP, dated 2-25-2020.
17. See attached SWPPP, dated 2-25-2020. The existing culvert under the main driveway must be replaced.
18. See Appendix F of the SWPPP for the geotechnical investigation.
19. A forebay has been added to the detention basin.
20. The area of soil disturbance is listed on Drawing No. C08 and in the SWPPP.
21. Additional drainage inlets have been added to the northern parking area.
22. Profiles of the detention basin have been added to Drawing No. C04.1.
23. The maintenance access path for the detention basin is shown on Drawing No. C04.
24. The drainage collection system within the existing paved parking lot has been modified as well as the drainage system downstream of the detention basin.
25. Drawing No. C08 will be revised to utilize the standard NYSDEC soil erosion control symbols.
26. The limit of soil disturbance occurs within the limits of the property.
27. Stormwater profiles are shown on Drawings No. C04.1.
28. A copy of the draft maintenance and easement agreement is provided in Appendix D of the SWPPP.
29. We have requested the reference datum and bench mark information from the survey, which will be added to the plan.
30. Brooker Engineering Comments:
 1. No net increase in runoff, therefore, no change required.
 2. The stormwater culvert and open channel south of the detention basin is currently undersized for the existing conditions and is proposed to be modified to convey existing and proposed peak runoff rates.
 3. The culvert underneath the main driveway will be replaced.

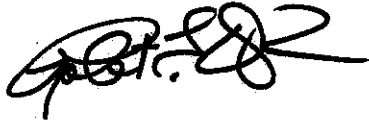
4. The swale on the east side of the landscape berm will drain to a new storm inlet south of the detention basin.
 5. The grading and drainage east of the existing and proposed loading dock has been revised to provide a minimum slope of 1% to storm drainage inlets.
 6. The grading and drainage east of the existing and proposed loading dock has been revised to provide a minimum slope of 1% to storm drainage inlets
 7. Refer to Appendix F of the SWPPP for the geotechnical investigation.
 8. The Hydraflow routing calculations contained in Appendix C of the SWPPP contains a Pond Report with the stage/storage/discharge tabulation.
31. Rockland County Department of Planning Comments:
1. Plans and SWPPP will be submitted to NYSDOT for review.
 2. Plans and SWPPP will be submitted to Rockland County Department of Health for review.
 3. Drawing No. C08 and C09 have been prepared in accordance with the NYSDEC Soil Erosion control Standards.
 4. There is no net increase in peak runoff rate.
 5. Drawing No. C06 provided a point by point site lighting analysis.
 6. Plans were approved by Zoning Board for the Route 303 Overlay Zone District.
 7. The parking layout has been revised to provide 313 spaces.
 8. Snow removal area have been shown on drawing No. C07.
32. Rockland County Highway Department Comment:
1. The SWPPP will be submitted for review.
33. An application will be submitted to the Rockland County Health Department for review of the SWPPP.
34. Rockland County Sewer District 31 had no comments.
35. Town of Orangetown Bureau of Fire Prevention comments:
1. The parking aisle on the north side of the building addition was revised to be 26-feet wide.
 2. The fire truck circulation is illustrated on Drawing No. C07.
 3. Building Plans will be submitted to the Bureau of Fire Prevention to address the proposed interior use, fire sprinkler coverage, fire alarms and emergency lighting, exit signs and egress.
36. Rockland County Drainage Agency (RCDA) review is not required.
37. Planning Board is lead agency.
38. Applicant will comply with conditions of Final Site Plan approval.
39. The Planning & Land Development Approval Notes listed on Drawing No. CT01 will be updated as agency approvals are received.
40. Tree Protection Notes have been added to Drawing No. C01.
41. See Landscape Notes on Drawing No. C07.
42. See Soil Erosion Control Notes on Drawing No. C08.
43. See General Notes on Drawing No. CT01.
44. See General Notes on Drawing No. CT01.
45. See Soil Erosion Control Notes on Drawing No. C08.
46. See General Notes on Drawing No. CT01.
47. See General Notes on Drawing No. CT01.

Donald Brenner, P.E., LL.B
Permit # 48870
Building and Parking Addition – Final Site Plan Documents
Instrumentation Laboratory, Inc.
February 25, 2020
Page 4 of 4

48. See General Notes on Drawing No. CT01.

If you have any questions or require additional information, please contact the undersigned at robert_walsh@eiassociates.com or (908) 720-4553.

Sincerely yours,
EI Associates

A handwritten signature in black ink, appearing to read 'R. Walsh', with a stylized flourish extending to the right.

Robert E. Walsh, PE, PP
Chief Civil & Environmental Engineer

CC: Instrumentation Laboratory, Inc
Attachments

ACABOR #19-51
Instrumentation Laboratories Plans
Approved as Presented

Permit #48870

Town of Orangetown – Architecture and Community Appearance
Board of Review Decision
February 6, 2020
Page 1 of 2

TO: Donald Brenner, 4 Independence Avenue, Tappan, New York
10983

FROM: Orangetown Planning Board

RE: Instrumentation Laboratory Plans: The application of Instrumentation Laboratory, owner, for the review of Site, Structure and Landscaping Plans at a site known as "Instrumentation Laboratory Plans", in accordance with Article 16 of the Town Law of the State of New York and Chapter 2 of the Code of the Town of Orangetown. The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Heard by the **Architecture and Community Appearance Board of Review** of the Town of Orangetown at a meeting held **Thursday, February 6, 2020** at which time the Board made the following determinations:

Donald Brenner, Richard Basta, William Glaser and Randall Vlasak appeared and testified.

The Board received the following communications:

A. A Building Permit Referral dated May 8, 2019, prepared by Rick Oliver, Deputy Building Inspector.

B. Copies of PB #18-06, Preliminary Site Plan Approval Subject to Conditions, dated December 12, 2018 and **Zoning Board of Appeals #19-94, Variances Approved,** dated November 6, 2019.

C. Material Specification Sheet.

D. Plans prepared by EI Associates Architects and Engineers, dated April 10, 2018, last revised August 23, 2019, unless noted:

- T01: Title Sheet
- C01: Existing Conditions & Site Demolition Plan
- C02: Site Plan
- C03: Site Improvement Details
- C04: Grading & Drainage Plan & Drainage Profiles
- C05: Drainage Details
- C06: Site Lighting Plan
- C07: Landscape Plan & Details
- C08: Soil Erosion Control Plan
- C09: Soil Erosion Control Details & Notes
- A30: Elevations, dated September 11, 2018, last revised September 11, 2019
- A11: First Floor Plan, dated September 11, 2018, last revised September 11, 2019
- A12: Second Floor Plan, dated May 28, 2019, last revised September 11, 2019

TOWN CLERK'S OFFICE
2020 FEB 12 A 11:38
TOWN OF ORANGETOWN

ACABOR #19-51
Instrumentation Laboratories Plans
Approved as Presented

Permit #48870

Town of Orangetown – Architecture and Community Appearance
Board of Review Decision
February 6, 2020
Page 2 of 2

FINDINGS OF FACT:

1. The Board found that the applicant proposed to expand the existing parking facility and construct a building addition at an existing site. The façade of the building addition would be similar to the existing structure, in an EIFS system, or equal, in white, cream and tan colors. The roof would be a three ply built up roof in Tremco, or equal, in a similar color as the existing structure. The air conditioning units would be located on the roof of the building. The windows would have white trim with insulated tinted glazing. Parking Lot lighting would be as noted on the site plan.
2. The Board found that in the front of the Building, a retention pond would be construction with extensive planting along Route 303, as noted on the plan.

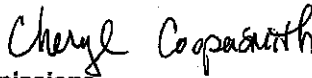
The hearing was then opened to the Public. There being no one to be heard from the public, the Public Hearing portion of the meeting was closed.

DECISION: In view of the foregoing and the testimony before the Board, the application was **Approved as Presented**.

The foregoing resolution was presented and moved by Brian Aitcheson and seconded by Shirley Goebel Christie and carried as follows:
Christopher Dunnigan, Chair, aye; Shirley Goebel Christie, aye;
Deborah Stuhlweissenburg, aye; Brian Aitcheson, aye; Kenyatta Jones Arietta, aye; Sharon Burke, absent and Joseph Milillo, absent.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **Decision** and file a certified copy in the Office of the Town Clerk and the Office of the Architecture and Community Appearance Board of Review.

Dated: February 6, 2020
Cheryl Coopersmith
Chief Clerk Boards and Commissions



TOWN OF ORANGETOWN
2020 FEB 12 A 11:38
TOWN CLERK'S OFFICE

DECISION

SECTION 13.10 B (14) ABOVE GROUND DETENTION WITHIN BUFFER, SECTION 5.224 PARKING IN FRONT YARD; REAR YARD, SECTION 5.22 YARDS SHALL BE UNOBSTRUCTED; SECTION 5.153 ACCESSORY STRUCTURE SHOULD BE 15' FROM PRINCIPAL STRUCTURE; VARIANCES APPROVED

To: Donald Brenner (Instrumentation Labs)
526 Route 303
Orangeburg, New York 10964

ZBA #19-94
Date: November 6, 2019
Permit # 48870

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA# 19-94: Application of Instrumentation Laboratory Site Plan for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, LO District, Section 13.10 B (14): (In no case shall the above ground detention basin be sited within any buffer area or within any front yard setback area or within the designated street line), Section 5.224, Table 3.11, LO District, Column 7 #3 (No parking is permitted in any yard: parking is proposed in front yard), Section 3.11, Column 11 (Rear Yard; 100' required, 58' proposed) for the new 1-story addition at the south-west corner; Section 5.22 (All required yards shall be unobstructed. 100' rear yard setback required with 47.1' proposed to the existing wooden lean-to structure; and from Section 5.153 (No accessory structure shall be closer to any principal building or to any other accessory building or structure than a distance equal to the height of such accessory building or structure, and in no event less than 15 feet, unless it is attached to and is a part of such principal building: variance is required for wooden lean-to structure, 15' required, 14' proposed and to the pre-fab canopy over dumpster 15' required, 7.2' proposed) for site plan approval for Instrumentation Laboratory. The premises are located at 526 Route 303, Orangeburg, New York and are identified on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, November 6, 2019 at which time the Board made the determination hereinafter set forth.

Donald Brenner, Attorney, Robert Walsh, P.E., and Randy Vlasak, appeared and testified.

The following documents were presented:

1. EI Associates Architects & Engineers, PC plans labeled "Instrumentation Laboratory Orangeburg, NY Facility Expansion" dated May 29, 2019 with the last revision date of September 12, 2019 A11, A12, A30; signed and sealed by Richard F. Basta, Architect.
2. EI Associates Architects & Engineers, PA, dated April 10, 2018 with the latest revision date of August 23, 2019 labeled " Instrumentation Laboratory Building & Parking Addition" T01 C01, C02, C03, C04, C05, C06, C07, C08, C09 signed and sealed by Robert E. Walsh, P.E..
3. Planning Board Decision #19-45 dated July 31, 2019.
4. Memorandums dated August 28, 2019 and July 12, 2019 from Jane Slavin, Architect, Director, OBZPAE, Orangetown.
5. A letter dated October 2, 2019 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Director of Planning.
6. A letter dated October 7, 2019 from the Rockland County Health Center for Environmental Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.

TOWN CLERK'S OFFICE
2019 NOV 14 P 12:05
TOWN OF ORANGETOWN

7. A letter dated September 23, 2019 from the Rockland County Highway Department signed by Dyan Rajasingham, Engineer III.
8. A letter dated September 19, 2019 from the Rockland County Sewer District No. 1 signed by Joseph LaFiandra, Engineer II.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Denise Sullivan, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination that since the Planning Board noticed its intent to declare itself Lead Agency and distributed that notice of intention to all Involved Agencies, including the ZBA who consented or did not object to the Planning Board acting as Lead Agency for these applications, pursuant to coordinated review under the State Environmental Quality Review Act Regulations § 617.6 (b)(3); and since the Planning conducted SEQRA reviews and, on July 31, 2019 (as set forth in PB# 19-45 Instrumentation Laboratory Site Plan) rendered environmental determinations of no significant adverse environmental impacts to result from the proposed land use actions (i.e. a "Negative Declarations" or "Neg Dec."), the ZBA is bound by the Planning Board's Neg Dec and the ZBA cannot require further SEQRA review pursuant to SEQRA Regulations § 617.6 (b)(3). The motion was seconded by Ms. Castelli and carried as follows: Mr. Quinn, aye; Ms. Salomon, aye; Ms. Castelli, aye; and Mr. Sullivan, aye. Mr. Bosco was absent.

Donald Brenner testified that this project has been before the Planning Board and received a preliminary approval and a neg dec; that the Rockland County Highway Department should not have jurisdiction because the property is not located on a county road; that this business has been there long before the Route 303 Overlay was created; that the parking has always existed in the front yard; that the proposed shed is for the worker that smoke to have a place to go to do that; that they are proposing a cover over the dumpster; and that he would request that the Board override #1 of Rockland County Planning's letter dated October 2, 2019.

Randy Vlasak testified that the business has been steadily growing; that they expect to have 90 new high tech scientific employees in the next ten years; that the cover over the dumpster was a suggestion from the EPA ; that the shifts overlap and the parking is needed to accommodate the employees; and that the building was used as a scientific research building since 1973 and one of the previous tenants was Fischer Diagnostics and Instrumentation took over in 1991.

Robert Walsh, P.E. testified that the building needed to be expanded to accommodate the businesses success; that the parking exists in the front of the building already; that the expansion of the building is triggering the need for the detention basin and the basin is proposed in this location because it is located in the lower area of the lot; that the property has two front yards and the rear yard meets the railroad right of way; that there is an un-named tributary to the Sparkill Creek on the property; that it is not a regulated waterway but they are being respectful of it because it is a tributary to the Sparkill Creek; that they have done geo-technical testing and

TOWN OF ORANGETOWN
2019 NOV 14 P 12:05
TOWN CLERK'S OFFICE

along Glenshaw is very shallow; that the 8-10' ground water where the system is being proposed will permit 10.5" of water per hour into the basin; that the basin will not be holding water for very long; that there is a berm proposed to shield the water and the optimal amount of stormwater will be managed because of the proposed location of the basin; that there is a 25' drainage easement on the western side of the property that ends where the northern parcel is and that will not be affected by the additional parking proposed.

Public Comment:

No public comment

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested Section 13.10B (14) above ground detention basin within buffer, Section 5.224 Parking in front yard; rear yard, Section 5.22 yards should be unobstructed, and Section 5.153 Accessory structures shall be 15' from the principal structure variances will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Scientific Research companies have existed in this location since the 1970's. This applicant is proposing to expand the building and improve the site. There has always been parking in the front of the building and the addition of the basin to collect stormwater and the additional landscaping will improve the aesthetics of the lot.
2. The requested Section 13.10B (14) above ground detention basin within buffer, Section 5.224 Parking in front yard; rear yard, Section 5.22 yards should be unobstructed, and Section 5.153 Accessory structures shall be 15' from the principal structure variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. Scientific Research companies have existed in this location since the 1970's. This applicant is proposing to expand the building and improve the site. There has always been parking in the front of the building and the addition of the basin to collect stormwater and the additional landscaping will improve the aesthetics of the lot.

TOWN CLERK'S OFFICE

2019 NOV 14 P 12:05

TOWN OF ORANGETOWN

3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.
4. The requested Section 13.10B (14) above ground detention basin within buffer, Section 5.224 Parking in front yard; rear yard, Section 5.22 yards should be unobstructed, and Section 5.153 Accessory structures shall be 15' from the principal structure variances, although somewhat substantial, afford benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. Scientific Research companies have existed in this location since the 1970's. This applicant is proposing to expand the building and improve the site. There has always been parking in the front of the building and the addition of the basin to collect stormwater and the additional landscaping will improve the aesthetics of the lot.
5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.
6. The Board made a motion to override #1 of the Rockland County Planning Department's letter dated October 2, 2019 because parking has existed in the front of the building since at least 1970 and site constraints limit the location of available parking; and the proposed location of the detention basin at the northerly end of the property is to mitigate stormwater runoff and where it will be able to collect 10.5" of water per hour, and is located a distance away from the tributary to the Sparkill Creek.

DECISION: In view of the foregoing and the testimony and documents presented, the Board RESOLVED to OVERRIDE Comment #1 of the Rockland County Department of Planning letter dated October 2, 2019 and to APPROVE the application for the requested Section 13.10B (14) above ground detention basin within buffer, Section 5.224 Parking in front yard; rear yard, Section 5.22 yards should be unobstructed, and Section 5.153 Accessory structures shall be 15' from the principal structure variances; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

TOWN CLERK'S OFFICE
2019 NOV 14 P 12:05
TOWN OF ORANGETOWN

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

TOWN CLERK'S OFFICE

2019 NOV 14 P 12:06

TOWN OF ORANGETOWN

Instrumentation Labs
ZBA#19-94
Page 6 of 6


Permit #48870

The foregoing resolution to override Comment #1 of the Rockland County Department of Planning letter dated October 2, 2019 and to APPROVE the application for the requested Section 13.10B (14) above ground detention basin within buffer, Section 5.224 Parking in front yard; rear yard, Section 5.22 yards should be unobstructed, and Section 5.153 Accessory structures shall be 15' from the principal structure variances; was presented and moved by Mr. Sullivan, seconded by Ms. Castelli and carried as follows: Mr. Quinn, aye; Mr. Sullivan, aye; Ms. Salomon, aye; and Ms. Castelli, aye. Mr. Bosco was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: November 6, 2019

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OHZPAE
BUILDING INSPECTOR-M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
2019 NOV 14 P 12:06
TOWN CLERK'S OFFICE

DECISION

**CONFORMANCE TO TOWN PERFORMANCE STANDARDS ACCEPTED WITH
CONDITIONS**

To: Donald Brenner (Instrumentation Labs)
4 Independence Avenue
Tappan, New York 10983

ZBA #19-112
Date: December 4, 2019
Permit # 48870

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#19-112: Application of Instrumentation Laboratory requesting the Zoning Board of Appeals' review, and determination, of conformance with the Town of Orangetown Zoning Code (Orangetown Code Chapter 43) Section 4.12 Performance Standards review of in-vitro diagnostics reagents and controls and expansion of the existing building. The premises are located at 526 Route 303, Orangeburg, New York and is identified on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, December 4, 2019 at which time the Board made the determination hereinafter set forth.

Donald Benner, Attorney, Randy Vlasak, Senior Plant Engineering Manager, and Robert Walsh, P.E., appeared and testified.

The following documents were presented:

1. Instrumentation laboratory building & parking site plan dated April 10, 2019 last revised August 23, 2019 signed and sealed by Robert E. Walsh P.E. T01, C01, C02, C03, C04, C05, C06, C07, C08, C09.
2. Instrumentation Laboratory First Floor Plan A11 dated May 29, 2019 last revised Sept. 11, 2019; Second Floor Plan, same dates; Building Elevations, same dates; signed and sealed by Richard F. Basta, N.Y.S. Licensed Architect.
3. Safety Data Sheets (38 pages).
4. Instrumentation Laboratory Raw Material Chemical Inventory and Classification (6 pages).
5. Short Environmental assessment Form Part 1 and 2.
6. Hazardous Materials Certificate of Registration for years 2019 -2022.
7. Town of Orangetown Department of Environmental Management and Engineering Industrial Wastewater Permit NO.2019-004 signed by Michael Weber, Chief Plant Operator dated December 24, 2018.
8. New York State Department of Environmental Conservation resource screening dated January 9, 2019 signed by Michael Grosso, Division of Environmental Permits Region 3.
9. Standard Operating Procedures Instrumentation Laboratory Orangeburg Air Emission ID System.
10. Resume of Operations (15 pages).
11. Memorandum dated December 3, 2019 from Eamon Reilly, P.E., Commissioner, Department of Environmental Management and Engineering, Town of Orangetown.

TOWN CLERK'S OFFICE
2019 DEC 10 A 11:18
TOWN OF ORANGETOWN

12. Memorandum dated December 2, 2019 from Michael Weber, Industrial Treatment Coordinator, Department of Environmental Management and Engineering, Town of Orangetown with one page attachment.
13. Memorandum dated November 27, 2019 from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Department of Environmental Management and Engineering, Town of Orangetown.
14. A memorandum dated November 26, 2019 from Bruce Peters, Engineer III, Department of Environmental Management and Engineering, Town of Orangetown with a letter dated July 10, 2019 addressed to the Planning board attached.
15. A memorandum dated November 27, 2019 from Michael Bettmann, Chief Fire Safety Inspector, Town of Orangetown.
16. A letter dated November 15, 2019 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
17. A letter dated November 20, 2019 from the Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II.
18. A letter dated December 2, 2019 from Rockland County Department of Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
19. Thirteen pages of the Premier Brands of America Inc. introduction to the company packet.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Mr. Bosco and carried unanimously.

On advice of Denise Sullivan, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination, based upon the testimony heard by this Board and the facts as presented in the application submissions and in the record, that since the application seeks a Performance Standards Review for a proposed expansion to the technology center Hemostasis and blood gas reagents business in a zoned LO lot, the application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.6 (c) (25) and /or (34); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Mr. Quinn, aye; Mr. Sullivan, aye; Ms. Salomon, aye; and Ms. Castelli, aye.

Donald Brenner, Attorney, testified that the application received a preliminary approval and a neg dec a few weeks ago; that they were before this Board for variances for the building a short time ago; that he spoke Mr. Eamon Reilly and he said that there would be no problem with the approval with conditions of answering their questions prior to issuance of permit and that the County read the plans wrong the building is two story.

Randy Vlasak, Senior Plant Engineering Manager handed out papers labeled "Expansion Project Overview" and explained that the company has been opened and operating since 1959 and in Orangeburg since 1989 and with Werfren since 1991; that they run 1.1 million patient samples using their products every day; that they are expanding because of their continued growth but will continue with the same operation that has been reviewed by the Board three years ago; that they are not adding cooling towers, that there will be new plumbing and air for the addition and they are removing one of the existing three generators (30kw) and replacing it with a 60kw

TOWN CLERK'S OFFICE

2019 DEC 10 A 11:18

TOWN OF ORANGETOWN

The Board reviewed the Performance Standards and Fire Supplement forms.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all of the documents submitted, the Board found and concluded that:

Based upon the information contained in the applicant's Resume of Operations and Equipment, and the Fire Prevention Supplement; the reports dated December 2, 2019 from Michael Weber, Chief Operator and Bruce Peters, Engineer III, memo dated November 26, 2019 & July 10, 2019, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); memo dated November 27, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the Memorandum dated December 3, 2019 from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); the report dated November 27, 2019 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P.); Rockland County Department of Planning dated November 15, 2019 signed by Douglas J. Schuetz, Acting Commissioner of Planning; the other documents submitted to the Board, and the testimony of Applicant's representatives, the Board finds and concludes that the application conforms with the Performance Standards set forth in Zoning Code Section 4.1, subject to compliance with the orders, rules and regulations of the Orangetown Office of Building, Zoning & Planning Administration & Enforcement, D.E.M.E., B.F.P., and all other departments having jurisdiction of the premises.

TOWN CLERK'S OFFICE

2019 DEC 10 A 11:18

TOWN OF ORANGETOWN

DECISION: In view of the foregoing and the testimony and documents submitted, the Board: RESOLVED that the Application for Performance Standards Conformance, pursuant to Zoning Code § 4.1, is APPROVED with the following SPECIFIC CONDITIONS that the Applicant: (1) Submit a revised Resume of Operations that complies with the comments contained in: (2) memo dated December 2, 2019 from Michael Weber, Chief Operator and Bruce Peters, Engineer III, memo dated November 26, 2019, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (3) memo dated November 27, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated December 3, 2019, from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated November 27, 2019 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P); Rockland County Planning letter dated November 15, 2019 signed by Douglas J. Schuetz, Acting Commissioner of Planning; AND FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance, Performance Standards Conformance, or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance, Performance Standards Conformance, or Special Permit by the Board is limited to the specific variance, Performance Standards Conformance, or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any Performance Standards Conformance, variances, or Special Permit being requested.

TOWN CLERK'S OFFICE
2019 DEC 10 A 11: 18
TOWN OF ORANGETOWN

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance, Performance Standards Conformance, or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any approved variance, Performance Standards Conformance, or Special Permit will lapse if any contemplated construction of the project or any use for which the variance, Performance Standards Conformance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision, or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

TOWN OF ORANGETOWN
2019 DEC 10 A 11: 18
TOWN CLERK'S OFFICE

The foregoing Resolution, to approve the application for the requested conformance to Performance Standards with the following conditions that the applicant: (1) memo dated December 2, 2019 from Michael Weber, Chief Operator and Bruce Peters, Engineer III, memo dated November 26, 2019, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (3) memo dated November 27, 2019, from Dylan Hofstiss, Junior Public Health Engineer and Zoning Enforcement Officer, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (4) the Memorandum dated December 3, 2019, from Eamon Reilly, PE, Commissioner, Town of Orangetown Department of Environmental Management and Engineering (D.E.M.E.); (5) the report dated November 27, 2019 from Michael B. Bettmann, Chief Fire Inspector, Town of Orangetown Bureau of Fire Prevention (B.F.P); Rockland County Planning letter dated November 15, 2019 signed by Douglas J. Schuetz, Acting Commissioner of Planning; was presented and moved by Mr. Sullivan, seconded by Mr. Quinn and carried as follows: Mr. Bosco, aye; Mr. Quinn, aye; Mr. Sullivan, aye; Ms. Salomon, aye, and Ms. Castelli, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: December 4, 2019

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbofino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBJPAE
BUILDING INSPECTOR M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
2019 DEC 10 A 11: 18
TOWN CLERK'S OFFICE

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan)
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.

Permit #48870
Supersedes Permit #46508

Town of Orangetown Planning Board Decision
July 31, 2019
Page 1 of 13

TO: Donald Brenner, 4 Independence Avenue, Tappan, New York 10983
FROM: Orangetown Planning Board

RE: Instrumentation Laboratory Site Plan: The application of Instrumentation Laboratory, owner, for Prepreliminary/ Preliminary/ Final Site Plan Review for the review of existing accessory structures, existing parking expansion and building expansions at a site known as "**Instrumentation Laboratory Site Plan**", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

Heard by the Planning Board of the Town of Orangetown at meetings held **Wednesday, July 17 & 31, 2019**, the Board made the following determinations:

July 17, 2019

Donald Brenner, Rob Walsh and Randall Vlasak appeared and testified.

The Board received the following communications:

1. A Project Review Committee Review dated July 10, 2019.
2. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R. A., A.I.A., Director, dated July 12, 2019.
3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated July 10, 2019.
4. Letters from Brooker Engineering signed by Kenneth DeGennaro, P.E., dated July 1 & 17, 2019.
5. A letter from the Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated July 2, 2019.
6. Letters from the Rockland County Department of Highways, signed by Dyan Rajasingham, Engineer II, dated June 25, 2019 and Joseph Arena, dated July 5, 2019.
7. Letters from the Rockland County Department of Health, signed by Elizabeth Mello, P.E., Senior Public Health Engineer, dated July 5, 2019.
8. An Email from the Rockland County Drainage Agency, Shajan Thottakara, dated December 20, 2017.
9. A letter from the Rockland County Sewer District No.1, signed by Joseph LaFindra, Engineer I, dated July 28, 2019.

TOWN CLERK'S OFFICE

2019 SEP -4 P 2:20

TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) **Permit #48870**
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec. **Supersedes Permit #46508**

Town of Orangetown Planning Board Decision
July 31, 2019
Page 2 of 13

10. An Interdepartmental memorandum from the Bureau of Fire Prevention, Town of Orangetown, signed by Douglas Sampath, Fire Inspector, dated July 5, 2019.
11. A Short Environmental Assessment Form, signed by Randall Vlasak, dated June 10, 2019.
12. A Project Narrative prepared by Donald Brenner, dated June 7, 2019.
13. A cover letter prepared by Donald Brenner, dated January 10, 2019 with an attachment of a letter from the New York State Department of Environmental Conservation, dated January 9, 2019, signed by Michael Grosso, Division of Environmental Permits, Region 3.
14. A Building Permit Referral dated May 8, 2019, prepared by Rick Oliver, Deputy Building Inspector.
15. A copy of PB #18-06, Preliminary Site Plan Approval Subject to Conditions, dated December 12, 2018.
16. Plans prepared by EI Associates Architects and Engineers, dated April 10, 2018, last revised April 10, 2019, unless noted:
 - T01: Title Sheet
 - C01: Existing Conditions & Site Demolition Plan
 - C02: Site Plan
 - C03: Site Improvement Details
 - C04: Grading & Drainage Plan & Drainage Profiles
 - C05: Drainage Details
 - C06: Site Lighting Plan
 - C07: Landscape Plan & Details
 - C08: Soil Erosion Control Plan
 - C09: Soil Erosion Control Details & Notes
 - A30: Elevations, dated September 11, 2018, last revised February 14, 2019

The Board reviewed the plans. The hearing was then opened to the Public.

The applicant requested a **Continuation**.

July 31, 2019

Donald Brenner, Rob Walsh and Randall Vlasak appeared and testified.

The Board received the following communications:

1. A Project Review Committee Review dated July 17, 2019.
2. Plan prepared by EI Associates Architects and Engineers, dated July 19, 2019, last revised July 24, 2019.

The Board reviewed the plans. The hearing was then opened to the Public.

TOWN OF ORANGETOWN
2019 SEP -4 P 2:20
TOWN CLERK'S OFFICE

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec. **Permit #48870 Supersedes Permit #46508**

**Town of Orangetown Planning Board Decision
July 31, 2019
Page 3 of 13**

There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Stephen Sweeney seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, absent; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, aye; Bruce Bond, absent and Stephen Sweeney, aye.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, absent; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, aye; Bruce Bond, absent and Stephen Sweeney, aye the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely EI Associates, and having heard from the following offices, officials and/or Departments: (Town of Orangetown): The Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Sewer District No. 1, Rockland County Drainage Agency No. 1, Rockland County Department of Health, and having reviewed proposed Site Plan by prepared by EI Associates, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;

TOWN OF ORANGETOWN
2019 SEP -4 P 2:20

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) **Permit #48870**
Preliminary Site Plan Approval Subject **Supersedes Permit #46508**
to Conditions/ Neg. Dec.

Town of Orangetown Planning Board Decision
July 31, 2019
Page 4 of 13

- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown's Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, absent; Michael McCrory, aye; Michael Mandel, aye; Robert Dell, aye; Bruce Bond, absent and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting".
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.

TOWN CLERK'S OFFICE
2019 SEP -4 P 2:20
TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan **Permit #48870**
(526 Route 303 Site Plan) **Supersedes Permit #46508**
Preliminary Site Plan Approval Subject
to Conditions/ Neg. Dec.

Town of Orangetown Planning Board Decision
July 31, 2019
Page 5 of 13

3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.
4. Increase the berm along Route 303 by 6 inches for a total height of 3 feet 9 inches. Bring the berm in a southerly direction before it turns for a distance of 60 to 70 feet. Consider for visual unity, a small mound or berm on the southerly side (not to interfere with sight distance) closer to the driveway; make a nice fish tale on the berm.
5. All required setback dimensions shall be shown on the Site Plan.
6. The rear yard setback indicated on the Bulk Table is 25.4' however, the plan shows 25'. The applicant shall review and revise accordingly.
7. The applicant is proposing a detention basin in the front yard along Route 303. Chapter 43, Article XIII, Route 303 Overlay District applies; Per 13.10.10 B (14), *In no case shall the above ground detention basin be sited within any buffer area or within any front yard setback area or within the designated street line.* A zoning variance shall be sought from the Town of Orangetown Zoning Board of Appeals.
8. Per Chapter 43, Article V, Section 5.224, Table 3.11, LO district, Column 7, Number 3, *No parking is permitted in any yard.* A zoning variance shall be sought from the Town of Orangetown Zoning Board of Appeals.
9. Per Chapter 43, Article V, Section 5.22; all required yards shall be unobstructed. Variances are required for the existing wooden lean-to structure as it is located within the 100' setback. Dimensions to the structure and the pre-fab canopy over the dumpster shall be shown.
10. No parking is permitted in the 25' drainage easement.
11. Note if there is any building mounted lighting proposed and indicate on the site lighting plan and elevations.
12. Floor plans must be submitted showing the proposed use, layout and equipment. The applicant is required to make application to the Town of Orangetown Zoning Board of Appeals for Performance Standards Review.
13. The height of the existing and proposed building shall be indicated on the elevations.
14. The site, landscaping and architectural plans shall be reviewed by the Town of Orangetown Architecture and Community Appearance Board of Review.

TOWN OF ORANGETOWN
2019 SEP 14 2:20
TOWN CLERK'S OFFICE

**PB#19-45: Instrumentation Laboratory Site Plan
(526 Route 303 Site Plan)
Preliminary Site Plan Approval Subject
to Conditions/ Neg. Dec.**

**Permit #48870
Supersedes Permit #46508**

**Town of Orangetown Planning Board Decision
July 31, 2019
Page 6 of 13**

15. A full SWPPP including drainage calculations shall be prepared for this site plan, and submitted to DEMA for review and approval. The applicant's engineer is reminded that the SWPPP/ drainage calculations must address water quality and water quantity. Also, the SWPPP shall clearly describe how the proposed stormwater design meets the requirements for green infrastructure/ new construction and redevelopment and be designed in accordance with the January 2015, including any and all updates, version of the New York State Stormwater Management Design Manual (NYSDEC SMDM.) The applicant's engineer is also reminded that in accordance with the NYSDEC SMDM no more than 5 acres of disturbance can be undertaken at one time without special permission from the MS4 (Town of Orangetown.) Disturbances over 5 acres require additional design and inspection measures that need to be spelled out in the required SWPPP.
16. The SWPPP shall describe in detail the maintenance requirements and procedures for the proposed stormwater system. These written procedures shall be made part of the post construction stormwater maintenance agreement in tandem with the inspection checklists.
17. The SWPPP/ drainage calculations shall include an analysis of the receiving headwall & piping to which the stormwater basin will outlet to. By calculation, it shall be determined if the existing piping is adequate to receive stormwater flow, for up to the 100yr. storm discharge, from the basin. This analysis may indicate that the receiving headwall & piping needs to be upsized.
18. Soil borings, perc tests and determination of ground water elevations shall be performed at the subsurface detention system location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The tests shall be performed in the spring when the ground water table is typically at its highest.
19. The proposed stormwater basin, as shown on the drawings does not contain a forebay, how will stormwater quality be achieved?
20. The area of disturbance shall be listed on the drawings and listed in the SWPPP narrative.
21. Additional drainage structures (catch basins and piping) shall be added to the northern parking area. It appears that the current design will be inadequate to handle a large scale storm and the overland runoff created by the new/ expanded parking area. Also, there are no structures (catch basins and piping) along the eastern side of the proposed parking lot. However, the proposed grading will direct runoff there.

TOWN OF ORANGETOWN
SEP - 11 2:20
TOWN CLERK'S OFFICE

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan)
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.

Permit #48870
Supersedes Permit #46508

Town of Orangetown Planning Board Decision
July 31, 2019
Page 7 of 13

- 22.** Cross-sections through the proposed stormwater pond shall be added to the drawings. This cross section shall include water quality/ channel protection/ overbank protection/ extreme flood control elevations, low flow channel and corresponding storage volumes, as well as outlet control structure outlets with corresponding elevations, emergency spillway with elevation, maintenance access path with elevation, etc.
- 23.** The stormwater pond maintenance path and emergency spillway shall be labeled on the basin, on the plans. Also, the maintenance path shall be 12 feet wide, in accordance with the NYSDEC-SMDM. Also, the drawings shall clearly indicate how/ where the maintenance path shall be accessed.
- 24.** The unnamed catch basin, along the eastern side of the existing parking lot in front of the current building (which is connected by piping to inlet #12), shows an exhaust pipe that will exhaust it flow into the side of the proposed FES #11 and it piping. This is unacceptable. This confluence of exhausted stormwater runoff area shall be redesigned.
- 25.** The soil erosion and sediment control plan shall utilize standard NYSDEC symbols.
- 26.** It appears on drawing C08 that the proposed limit of disturbance runs outside of the actual property, along NYS Route 303, in order to construct the stormwater pond as presently shown. This is unacceptable. All of the proposed work shall be fully contained on the site.
- 27.** Profiles for all proposed drainage piping shall be added to the drawings.
- 28.** A post construction stormwater maintenance agreement, in accordance with NYSDEC Phase II Regulations, for the proposed stormwater systems, shall be submitted to DEMA and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to DEMA, etc.
- 29.** The datum for the contours shall be given. Also, a note shall be added to the Site Plan indicating the source benchmark for the referenced datum, including the BM elevation.

TOWN CLERK'S OFFICE
2019 SEP -4 P 2:20
TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec. **Permit #48870 Supersedes Permit #46508**

**Town of Orangetown Planning Board Decision
July 31, 2019
Page 8 of 13**

30. Drainage Review Recommendation - Brooker Engineering

Drainage calculations have been provided for this submission that demonstrates that potential significant adverse impacts with respect to stormwater runoff can be mitigated and therefore recommends that the 526 Route 303 Site Plan be approved for drainage subject to the following conditions.

Project Description

Brooker Engineering previously reviewed this site for drainage for the approval of additional parking spaces and site modifications made since the approved 1986 Site Plan. No new exterior work was proposed at the time of that application and the Drainage Consultant approved for drainage subject to no conditions in the July 7, 2018 report.

This is the second drainage review report for this new project consisting of a building addition and parking lot expansion; the last review was dated July 1, 2019. A 68 feet by 321 feet building addition is proposed on the north side of the building and an approximately 260 feet by 116 feet parking lot expansion is proposed at the northeast corner of the property. An additional parking lot expansion is proposed along the eastern parking lot. A stormwater management basin is proposed in the existing grass lawn area along the east side of the property fronting Route 303.

Additional Information Reviewed

Since the last drainage review report, the applicant has submitted a Stormwater Pollution Prevention Plan that contains calculations to support the sizing of the stormwater management basin. Drainage calculations have been provided that demonstrate that the stormwater management basin is adequately sized to produce no net increases in peak stormwater runoff rates. The project increases impervious surfaces by 1.54 acres; this occurs over an existing grassy area. The basin provides storage for 6.6 inches of stormwater runoff over the proposed new impervious areas and reduces peak flows by about 50%.

Project Comments

1. Drainage calculations shall be provided that demonstrate that the stormwater management basin is adequately sized to produce no net increases in peak stormwater runoff rates.
2. The Sparkill Creek is located on the east side of Route 303 in the vicinity of the site. There is no mapped FEMA floodplain on the property, but there is a tributary to the Sparkill along the southern property line. There is a drainage ditch located from the local storm system to the tributary. A hydrologic and hydraulic analysis of the tributary shall be performed to demonstrate the proposed stormwater management system will not be surcharged by the tributary and provide the presumed stormwater runoff volume intended for the local runoff.

TOWN CLERK'S OFFICE

2019 SEP - 4 P 2:20

TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) **Permit #48870**
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec. **Supersedes Permit #46508**

Town of Orangetown Planning Board Decision
July 31, 2019
Page 9 of 13

Continuation of Condition #30...

3. Provide additional information for the existing storm drainage pipe that crosses under the existing driveway from the proposed stormwater management basin to the drainage ditch. It appears the ditch is back pitched with sedimentation occurring along the channel, thereby reducing the capacity of the ditch. The ditch shall be evaluated and improvements may be required.
4. A swale is proposed along Route 303 that concentrates stormwater runoff to about the location of the existing driveway entrance to Route 303. Provide more detail for the path of stormwater at this location.
5. It appears the limit of disturbance along the northeastern side of the existing parking lot, near proposed catch basin inlet #12, may create a low point along the limit of disturbance that will result in ponding. Provide more detail in this location to demonstrate the drainage pattern.
6. Provide more detail along the east side of the existing east parking lot (near the high point with elevation 99.06) to demonstrate the drainage pattern at this location.
7. Provide soil testing data to support the use of an infiltration basin to provide water quality mitigation.
8. Provide the supporting calculations for the stage versus storage and stage versus discharge curves in the SWPPP.
31. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:
 - A review shall be completed by the New York State Department of Transportation, and any comments or concerns addressed.
 - A review must be done for the stormwater management system by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.
 - Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.
 - There shall be no net increase in the peak rate of discharge from the site at all design points.

TOWN CLERK'S OFFICE
2019 SEP -4 P 2:20
TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan **Permit #48870**
(526 Route 303 Site Plan) **Supersedes Permit #46508**
Preliminary Site Plan Approval Subject
to Conditions/ Neg. Dec.

Town of Orangetown Planning Board Decision
July 31, 2019
Page 10 of 13

Continuation of Condition #31...

- The lighting plan shall be amended to demonstrate that the intensity of the candle lumens is less than 0.1 at the property line.
 - The proposed plans shall comply with Article XIII, Section 13.10B for the Route 303 Overlay Zoning District to the extent applicable.
 - The site plan indicates 301 parking spaces are required for this property; however 320 are to be provided. Justification for why 19 extra spaces are necessary shall be included.
 - Area designated for snow removal must be clearly delineated on the site plan so that the plow drivers will know where to place the snow piles. This will help to protect the proposed landscaping from damage due to the weight of the snow and salt intrusion. In addition, providing specific locations on the site for the snow piles will reduce the loss of available parking spaces meant to be used by employees.
- 32. Based upon the plans and information received, Rockland County Highway Department requested the following; a drainage report for the proposed improvement shall be submitted to the Highway Department for review.**
- 33. The Rockland County Health Department reviewed the submitted information and found that application is to be made to the Health Department for review of the stormwater system for compliance with the County Mosquito Code.**
- 34. The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District and request no future correspondence for this site.**
- 35. The Town of Orangetown Bureau of Fire Prevention had the following comments which are incorporated herein as conditions of approval:**
- A fire lane must be provided on the north side of 2 story addition at a minimum width of 26 feet.
 - Provide a site plan showing a fire apparatus with the following dimensions navigating the north, east and south sides of the building; the overall length 48 feet, length from center of front axle to center of rear axle 285 inches.
 - Clarify the proposed use of the 2 and 1 story additions.
 - NFPA 13 compliant fire sprinkler coverage must be provided.
 - NFPA 72 compliant fire alarm coverage must be provided.
 - Emergency lighting, exit signage and an egress plan must be provided per chapter 10 of the New York State Fire Code.

TOWN CLERK'S OFFICE

2019 SEP -4 P 2:21

TOWN OF ORANGETOWN

**PB#19-45: Instrumentation Laboratory Site Plan
(526 Route 303 Site Plan)
Preliminary Site Plan Approval Subject
to Conditions/ Neg. Dec.**

**Permit #48870
Supersedes Permit #46508**

**Town of Orangetown Planning Board Decision
July 31, 2019
Page 11 of 13**

36. Based upon Rockland County Drainage Agency (RCDA) evaluation of available mapping and information submitted, it has been determined that the proposed activity is outside the jurisdiction of the RCDA. Therefore, a permit from the RCDA pursuant to the Rockland County Stream Control Act, Chapter 846, is not required based upon its review of the information provided.

37. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Town of Orangetown Zoning Board of Appeals
- Rockland County Sewer District No. 1
- Rockland County Department of Health
- Rockland County Highway Department

38. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decisions prior to signing the final plans.

39. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

40. **TREE PROTECTION:** The following note shall be placed on the Site Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:

- One (1) foot radius from trunk per inch DBH
- Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:
 - Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
 - Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan)
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.

Permit #48870
Supersedes Permit #46508

Town of Orangetown Planning Board Decision
July 31, 2019
Page 12 of 13

41. All landscaping shown on the site plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.
42. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.
43. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.
44. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).
45. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.
46. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications
47. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

TOWN CLERK'S OFFICE

2019 SEP -4 P 2:21

TOWN OF ORANGETOWN

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) **Permit #48870**
Preliminary Site Plan Approval Subject **Supersedes Permit #46508**
to Conditions/ Neg. Dec.

Town of Orangetown Planning Board Decision
July 31, 2019
Page 13 of 13

48. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and/or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

The foregoing Resolution was made and moved by Stephen Sweeney and seconded by Michael Mandel and carried as follows: Thomas Warren, Chairman, aye; William Young, Vice Chairman, absent; Bruce Bond, absent; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye and Stephen Sweeney, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: July 31, 2019 *Cheryl Coopersmith*
Cheryl Coopersmith, Chief Clerk Boards and Commissions
Town of Orangetown Planning Board

attachment

TOWN OF ORANGETOWN
2019 SEP -4 P 2:21
TOWN CLERK'S OFFICE

NEGATIVE DECLARATION
Notice of Determination of Non-Significance

PB#19-45: Instrumentation Laboratory Site Plan (526 Route 303 Site Plan) **Permit #48870**
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec. **Supersedes Permit #46508**

Town of Orangetown Planning Board Decision
July 31, 2019

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

NAME OF ACTION: Instrumentation Laboratory Site Plan: Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.

SEQR STATUS: Type I _____ Unlisted XXXXXX

CONDITIONED NEGATIVE DECLARATION: Yes _____ No XXXXXX

DESCRIPTION OF ACTION: Site Plan Review

LOCATION: The site is located at 526 Route 303, in the Route 303 Overlay Zone, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 70.19, Block 1, Lot 45 in the LO zoning district.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown's Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

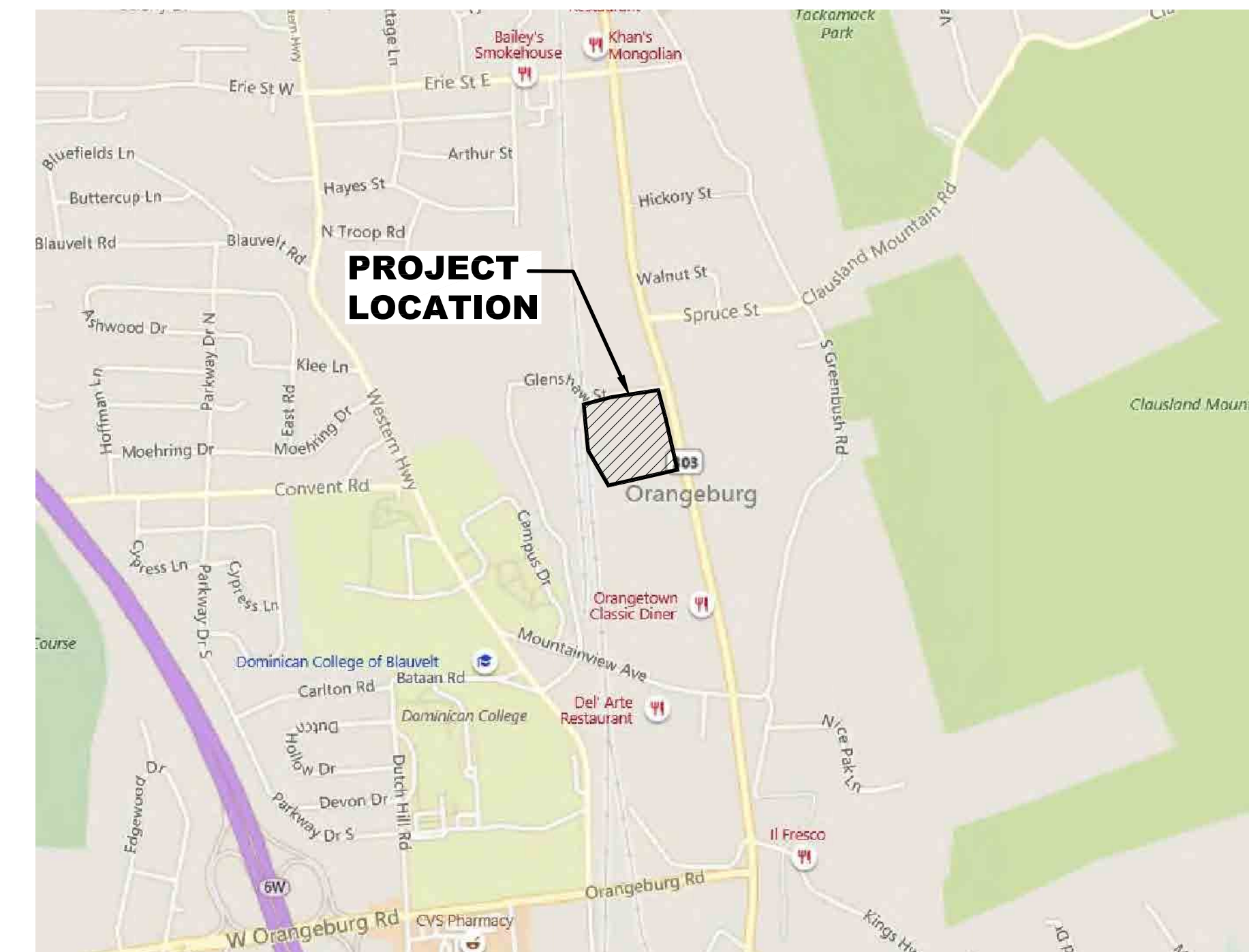
Office of Building, Zoning and Planning
Administration and Enforcement
Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice

TOWN CLERK'S OFFICE
2019 SEP -4 P 2:21

TOWN OF ORANGETOWN

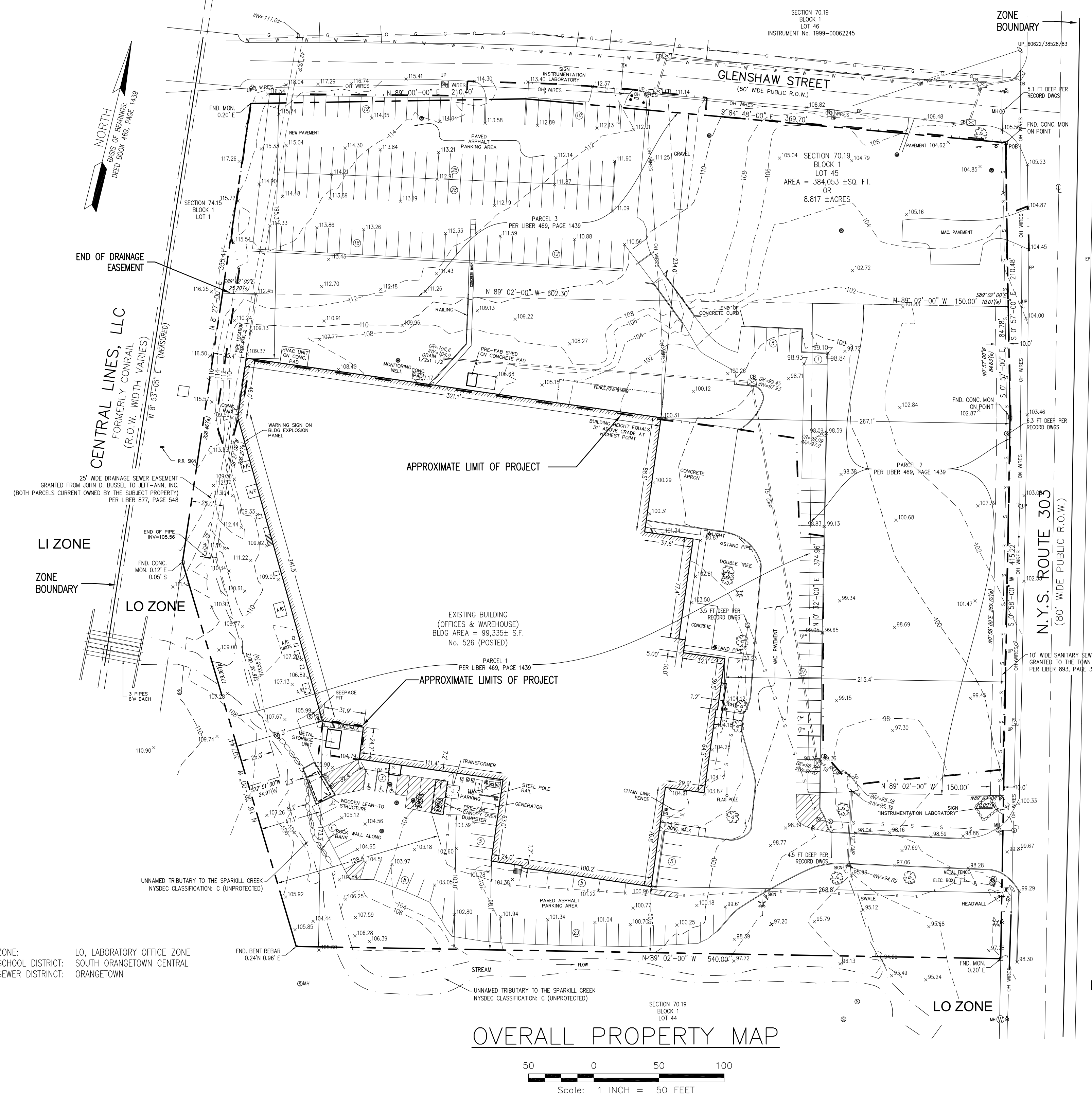
INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION SITE PLAN 526 ROUTE 303, ORANGETOWN, ROCKLAND COUNTY, NEW YORK



LOCATION MAP
Scale: 1 INCH = 1000 FEET

GENERAL NOTES

- AT LEAST ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- STORMWATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INDICATING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 A.M.
- IF A CONTRACTOR'S TRAILER IS PROPOSED BY THE APPLICANT, IT SHALL BE SHOWN ON THE PLANS AND OBTAIN APPROVAL FROM THE PLANNING BOARD.
- IF THE APPLICANT DURING CONSTRUCTION ENCOUNTERS UNFORESEEN CONDITIONS SUCH AS POOR SOILS, IMPROPER DRAINAGE, EXCESSIVE GROUNDWATER, THESE CONDITIONS SHALL BE REPORTED TO THE DEME IMMEDIATELY.
- AT LEAST 2 WEEKS PRIOR TO PLACING ANY ROAD OR PARKING SUB-BASE MATERIAL, THE APPLICANT SHALL NOTIFY THE ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME.
- THE PLANNING BOARD RETAINS JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- ALL CONDITIONS OF THE PLANNING BOARD APPROVAL SHALL BE BINDING UPON THE OWNER OF THE SUBJECT PROPERTY, ITS SUCCESSORS AND/OR ASSIGNS.



OVERALL PROPERTY MAP
Scale: 1 INCH = 50 FEET

PLANNING & LAND DEVELOPMENT APPROVAL NOTES:

- PRELIMINARY SITE PLAN APPROVED GRANTED 7/31/2019.
- ZBA#19-94 VARIANCES APPROVED 11/16/2019.
- PERFORMANCE APPROVAL GRANTED DECEMBER 2019.
- ARCHITECTURE AND COMMUNITY APPEARANCE BOARD OF REVIEW (ACABOR) APPROVAL GRANTED 2-6-2020.

ZONING DATA: LO - LABORATORY-OFFICE ZONE DISTRICT

ITEM	REQUIRED	EXISTING	PROPOSED
FLOOR AREA RATIO (FAR)	0.40	0.26	0.36
MIN. LOT AREA	2 ACRES	384,053 S.F. 8.817 ACRES	384,053 S.F. 8.817 ACRES
MIN. LOT WIDTH	300 FT.	535.79 FT.	535.79 FT.
MIN. STREET FRONTAGE	626 FT.	626 FT.	626 FT.
FRONT YARD	100 FT	195.3 FT	195.3 FT
SIDE YARD	100 FT	50.6 FT	50.6 FT
TOTAL SIDE YARD	200 FT	50.6 FT	50.6 FT
REAR YARD	100 FT	25.4 FT (1)	25.4 FT (1)
MAX. BUILDING HEIGHT	31.35 FT	31-FT	31-FT
PARKING SPACES	301	203	313

(1) COMPLIES WITH NOTE # 10 OF BULK REQUIREMENTS

DRAWING INDEX

CT01	TITLE SHEET
C01	EXISTING CONDITIONS & SITE DEMOLITION PLAN
C02	SITE PLAN
C03	SITE IMPROVEMENT DETAILS
C04	GRADING & DRAINAGE PLAN
C04.1	DRAINAGE PROFILES
C05	DRAINAGE DETAILS
C06	SITE LIGHTING PLAN
C07	LANDSCAPE PLAN & DETAILS
C08	SOIL EROSION CONTROL PLAN
C09	SOIL EROSION CONTROL DETAILS & NOTES

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
ARCHITECTS & ENGINEERS, PA
8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777

ROBERT E. WALSH	PROFESSIONAL ENGINEER NY STATE LICENSE No. 080247-1	CIVIL
SCALE: AS NOTED	PROJECT: INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	EIA DRAWING NO.
DRAWN BY: [Signature]	526 ROUTE 303	CT01
DESIGNED BY: [Signature]	SECTION 70.19, BLOCK 1, LOT 45	
CHECKED BY: [Signature]	TOWN OF ORANGETOWN	FILE NO. 18-816
APPROVED BY: [Signature]	ROCKLAND COUNTY NEW YORK	EIA PROJECT NO. EG 8381.00
PROJECT MANAGER: [Signature]	TITLE SHEET	



OWNER'S SIGNATURE: _____ DATE: _____
APPLICANT/OWNER:
 INSTRUMENTATION LABORATORY
 526 ROUTE 303
 ORANGETOWN, NEW YORK 10962

GENERAL NOTES:

- ALL SOIL TO BE IMPORTED TO THE SITE SHALL BE TESTED IN ACCORDANCE WITH THE STATE STANDARDS TO VERIFY THAT SOIL IS CONTAMINANT FREE.
- ALL UTILITIES MUST BE MARKED OUT IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL CALL 811 FOR UTILITY MARK-OUT. FOLLOWING "ONE CALL" MARK-OUT, CONTRACTOR SHALL RETAIN THE SERVICES OF A FIRM SPECIALIZING IN THE LOCATION OF UNDERGROUND UTILITIES SO THAT ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT ARE MARKED OUT IN THEIR ENTIRETY.
- CONTRACTOR SHALL VERIFY EXISTING GRADE ELEVATIONS AND SETUP TEMPORARY BENCHMARKS TO BE USED DURING CONSTRUCTION TO RE-ESTABLISH EXISTING GRADES.
- ALL SIDEWALKS, PAVEMENT AND CURBS TO BE REMOVED SHALL BE SAW CUT. CONTRACTOR SHALL COORDINATE PHASING OF WORK WITH OWNER TO ALLOW FOR CONTINUED USE OF THE SITE THROUGHOUT DURATION OF PROJECT. NOTE THAT ALL WORK SHALL BE ACCOMPLISHED WITHIN THE TIME FRAME SPECIFIED BY OWNER.
- ANY LAWN AREAS DISTURBED AS A RESULT OF THE CONSTRUCTION ACTIVITY SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS LISTED ON THE SOIL EROSION CONTROL DETAIL SHEET.
- CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS THAT MAY BE REQUIRED FOR THIS PROJECT.

KEY

REFER TO DEMOLITION WORK SCOPE ITEM

DEMOLITION WORK ITEMS:

- REMOVE EXISTING PAVEMENT.
- REMOVE DRAINAGE STRUCTURE.
- REMOVE STORM DRAINAGE PIPING.
- REMOVE CONC. WALKWAYS.
- REMOVE RAILING.
- REMOVE CURB.
- REMOVE TIMBER RETAINING WALLS.
- UTILITY POLE & OVERHEAD LINES.
- REMOVE FENCE.
- REMOVE CONCRETE PAD & EQUIPMENT.
- REMOVE STRUCTURE.
- REMOVE GRAVEL APRON.
- MAINTAIN MONITORING WELL.
- RESTRIPE PARKING SPACES.

TREE PROTECTION NOTES:

THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN AS FOLLOWS:

- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDERNEATH A TREE CANOPY.
- THERE WILL BE NO EXCAVATION OR STOCKPIILING OF EARTH BENEATH A TREE CANOPY.
- TREES TO REMAIN SHALL BE MARKED.
- TREE PROTECTION ZONE SHALL BE ESTABLISHED IN ACCORDANCE WITH TOWNSHIP STANDARDS.

SURVEY NOTES

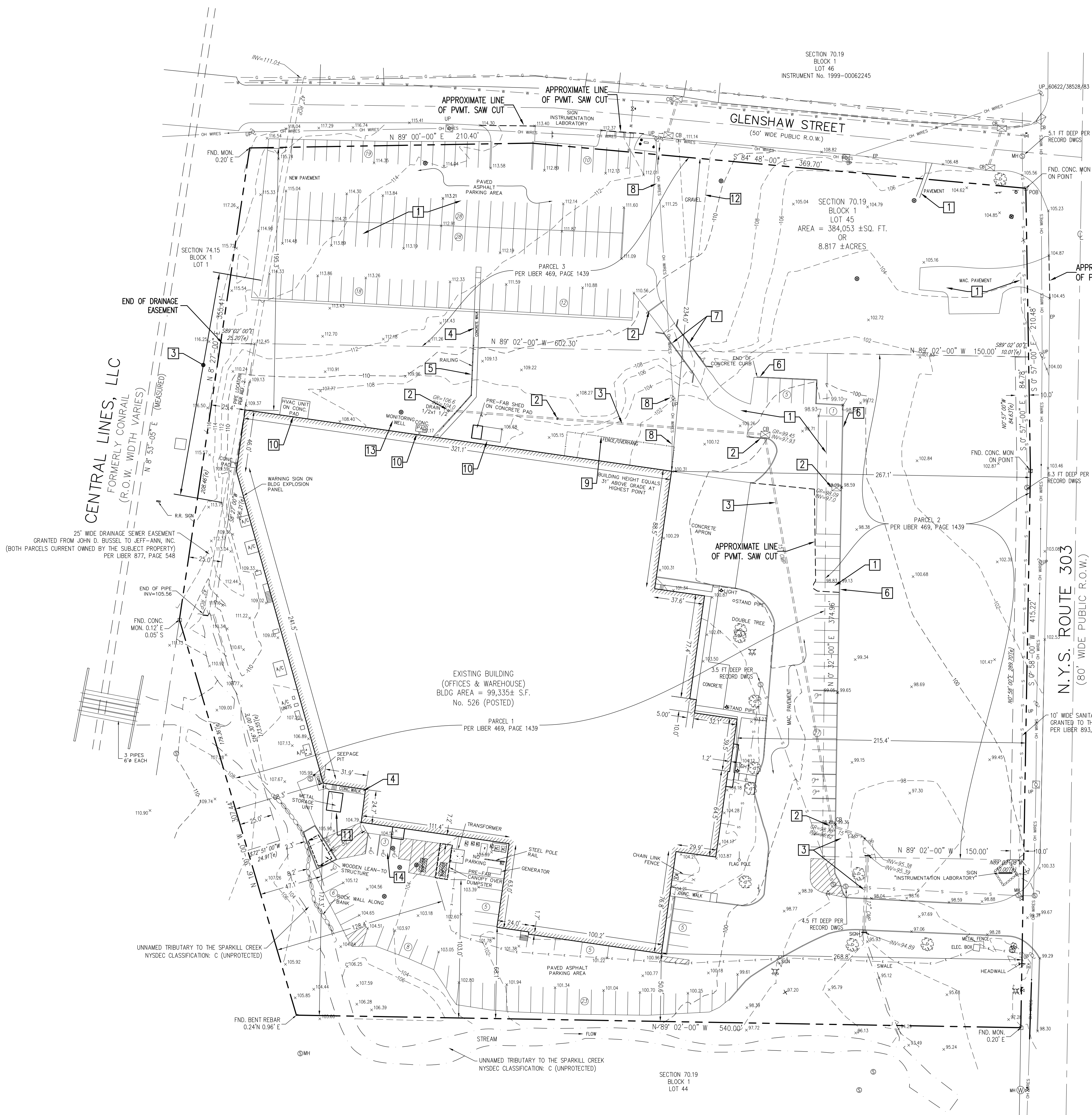
- PROPERTY SUBJECT TO DOCUMENTS OF RECORD.
- THE SUBJECT PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, OR EXCEPTIONS, OR CONVEYANCES THAT MAY EXIST.
- ONLY SURFACE CONDITIONS ARE SHOWN. NO RESPONSIBILITY IS TAKEN FOR BURIED PIPES, SEPTIC, WELLS, UST'S, ETC.
- THE SUBJECT PROPERTY IS SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTION OF SAID PROPERTY LYING WITHIN THE RIGHTS OF WAY OF THE ROADS SHOWN.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS ON THE SUBJECT PROPERTY.
- THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED TO THE BEST OF OUR KNOWLEDGE, AND AVAILABLE FROM CONTROLLING JURISDICTION.
- THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL OR CEMETERY.
- ALL UTILITIES APPEAR TO ENTER THE PROPERTY VIA A PUBLIC RIGHT-OF-WAY OR VIA AN EASEMENT.
- THE PROPERTY APPEARS TO DRAIN INTO A PUBLIC RIGHT-OF-WAY OR INTO THE ADJACENT STREAM.
- ALL CALLS HEREON ARE MEASURED AND RECORDED UNLESS OTHERWISE NOTED.
- THE ADDRESS OF THE PROPERTY, 526 N.Y.S. ROUTE 303, WAS PROVIDED PER RECORD DOCUMENTS. AT THE TIME OF THE SITE VISIT, THE ADDRESS WAS POSTED AND OBSERVED AT THE SITE.
- THERE IS DIRECT PHYSICAL ACCESS TO THE SUBJECT PROPERTY VIA N.Y.S. ROUTE 303 AND GLENSHAW STREET, BOTH BEING PUBLIC RIGHT-OF-WAYS.
- THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY.
- THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THIS SURVEY MAP AND AS DESCRIBED IN THE LEGAL DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/-0.1 FOOT.
- THE BOUNDARY LINES OF THE PROPERTY ARE COINCIDENT WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD.
- THE PROPERTY CONSISTS OF THREE CONTIGUOUS PARCELS WHICH MAKE UP ONE TAX PARCEL.

SURVEY REFERENCES

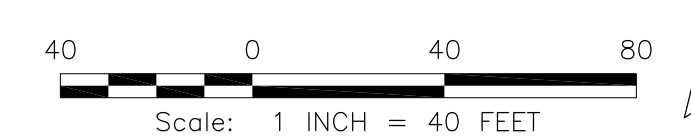
- DEED BOOK 469, PAGE 1439
- DEED BOOK 877, PAGE 549
- DEED BOOK 893, PAGE 375
- DEED BOOK 878, PAGE 542
- DEED BOOK 892, PAGE 313
- DEED BOOK 896, PAGE 595
- MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, INSTRUMENTATION LABORATORIES, LOT 45, BLOCK 1, SECTION 70.19, 526 STATE ROUTE 303, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY" PREPARED BY WILLIAM T. MANNING, PLS., DATED APRIL 10, 2001 AND BEARING A LATEST REVISION DATE OF JUNE 26, 2007.
- MAP ENTITLED "PROPERTY SURVEY SECTION 80 BLOCK 744 LOTS 12, 13, 14 FOR FISHER SCIENTIFIC CO." BY ADLER & YOUNG PC, DATED 11/25/85.
- COMPILED MAP OF GLENSHAW STREET MAP NO. 2804 IN THE ROCKLAND C.C.O.
- GS BASE MAP, COUNTY OF ROCKLAND, NEW YORK.

LEGEND

MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
FILED MAP	TELEPHONE MANHOLE	WELL
RIGHT OF WAY	STORM MANHOLE	IRRIGATION CONTROL VALVE
SIGN	CATCH BASIN	GAS VALVE
FLAGPOLE	LIGHT POLE	GAS METER
MAILBOX	WALL-MOUNTED LIGHT	UTILITY POLE
DUMPSTER	BOLLARD	GUY WIRE
HANDICAP SYMBOL	TREE	ELECTRIC METER
PROPERTY LINE (PO)	WATER LINE	
PROPERTY LINE	GAS LINE	
SETBACK LINE	ELECTRIC LINE	
WETLANDS BOUNDARY	TELEPHONE LINE	
STREAM OR BROOK	OVERHEAD WIRES	
TREE LINE	SANITARY SEWER	
CHAIN LINK FENCE	STORM SEWER	
WOOD FENCE	GUIDE RAIL	



FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3401070102, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 22, 1999 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
ARCHITECTS & ENGINEERS, P.A.
8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777



ROBERT E. WALSH PROFESSIONAL ENGINEER
NY STATE LICENSE No. 080247-1

CIVIL

SCALE: AS NOTED
PROJECT: INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION
526 ROUTE 303
SECTION 70.19, BLOCK 1, LOT 45
TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

EIA DRAWING NO.
C01

APPROVED BY: [Signature]
PROJECT MANAGER: [Signature]

FILE NO. 18-816
EIA PROJECT NO. EG 8381.00

EXISTING CONDITIONS & SITE DEMOLITION PLAN

PARKING CALCULATION

Building Area Breakdown						
Existing Building Area	Existing Required Parking	Rate	Proposed Additional Area	Proposed Additional Required Parking		
Office =	11500	S.F.	58	1/200 s.f.	8250 S.F.	41.25
Laboratory =	18800	S.F.	63	1/300 s.f.	7000 S.F.	23
Manufacturing =	27600	S.F.	92	1/300 s.f.	7000 S.F.	23
Lockers & Restrooms =	1700	S.F.				
Warehouse =	26500	S.F.			16066 S.F.	
Circulation =	13600	S.F.				
Total =	99700	S.F.	213		38316 S.F.	88

Employee Breakdown By Shift					
Existing Employee Count & Shifts	Rate	Existing Required Parking	Proposed Additional Employee Count & Shifts	Proposed Additional Required Parking	
First Shift =					
Full time Regular	184	1 per 2	80		
Full time Temp.	15	Empl.	6		
Subtotal =	199		86	43	
Second Shift =					
Full time Regular	43	1 per 2	20		
Full time Temp.	11	Empl.	2		
Subtotal =	54		22	11	
Third Shift =					
Full time Regular	3	1 per 2	2		
Full time Temp.	0	Empl.	0		
Subtotal =	3		2	1	
Total # of Employees =	256		129	55	184 Required Spaces

EXISTING & PROPOSED PARKING

EXISTING PARKING = 203
 PROPOSED PARKING:
 SOUTH SIDE OF EXISTING BUILDING = 54 SPACES
 EAST SIDE OF BUILDING = 22 SPACES
 NEW PARKING AT NORTH SIDE = 237 SPACES
 TOTAL = 313 SPACES

SURVEY NOTES

- PROPERTY SUBJECT TO DOCUMENTS OF RECORD.
- THE SUBJECT PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, OR EXCEPTIONS, OR CONVEYANCES THAT MAY EXIST.
- ONLY SURFACE CONDITIONS ARE SHOWN, NO RESPONSIBILITY IS TAKEN FOR BURIED PIPES, WIRES, SEPTIC, WELLS, LISTS, ETC.
- THE SUBJECT PROPERTY IS SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTION OF SAID PROPERTY LYING WITHIN THE RIGHTS OF WAY OF THE ROADS SHOWN.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS ON THE SUBJECT PROPERTY.
- THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED TO THE BEST OF OUR KNOWLEDGE, AND AVAILABLE FROM CONTROLLING JURISDICTION.
- THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL OR CEMETERY.
- ALL UTILITIES APPEAR TO ENTER THE PROPERTY VIA A PUBLIC RIGHT-OF-WAY OR VIA AN EASEMENT.
- THE PROPERTY APPEARS TO DRAIN INTO A PUBLIC RIGHT-OF-WAY OR INTO THE ADJACENT STREAM.
- ALL CALLS HEREON ARE MEASURED AND RECORDED UNLESS OTHERWISE NOTED.
- THE ADDRESS OF THE PROPERTY, 526 N.Y.S. ROUTE 303, WAS PROVIDED PER RECORD DOCUMENTS AT THE TIME OF THE SITE VISIT, THE ADDRESS WAS POSTED AND OBSERVED AT THE SITE.
- THERE IS DIRECT PHYSICAL ACCESS TO THE SUBJECT PROPERTY VIA N.Y.S. ROUTE 303 AND GLENSHAW STREET, BOTH BEING PUBLIC RIGHT-OF-WAYS.
- THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY.
- THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THIS SURVEY MAP AND AS DESCRIBED IN THE LEGAL DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/-0.1 FOOT.
- THE BOUNDARY LINES OF THE PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD.
- THE PROPERTY CONSISTS OF THREE CONTIGUOUS PARCELS WHICH MAKE UP ONE TAX PARCEL.

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
 ARCHITECTURE ENGINEERING & PLANNING
 8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777

ROBERT E. WALSH PROFESSIONAL ENGINEER
 NY STATE LICENSE No. 080247-1 CIVIL

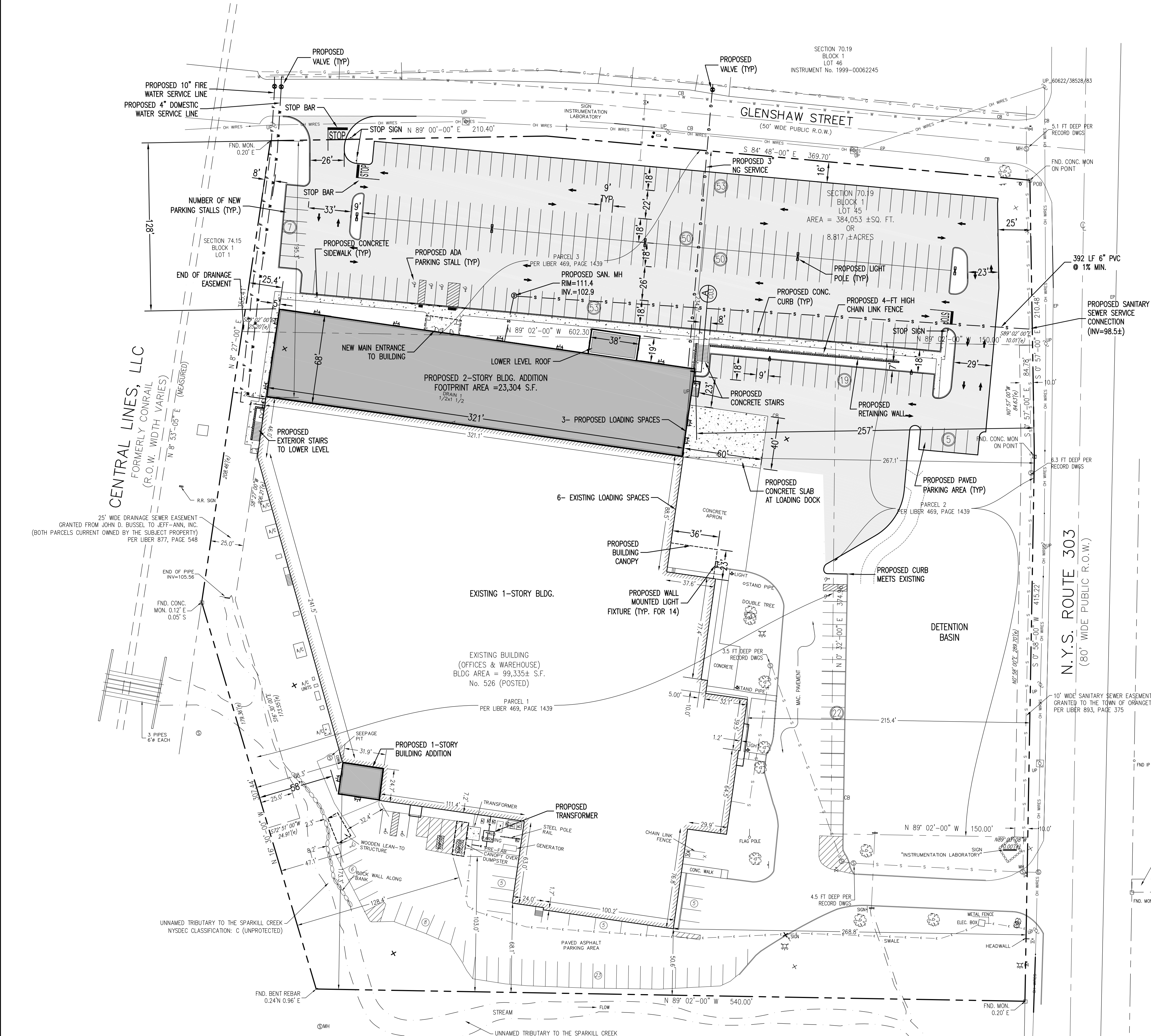


SCALE	PROJECT	EIA DRAWING NO.
AS NOTED	INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	C02
DRAWN BY: [Signature]	526 ROUTE 303	
DESIGNED BY: [Signature]	SECTION 70.19, BLOCK 1, LOT 45	
CHECKED BY: [Signature]	TOWN OF ORANGETOWN	
APPROVED BY: [Signature]	ROCKLAND COUNTY NEW YORK	
PROJECT MANAGER: [Signature]	SITE PLAN	FILE NO. 18-816 EIA PROJECT NO. EG 8381.00

EXISTING CONDITIONS ARE BASED ON A SURVEY PREPARED BY LAN ASSOCIATED DATED 4-19-2018

SURVEY REFERENCES

- DEED BOOK 469, PAGE 1439 DEED BOOK 877, PAGE 548 DEED BOOK 893, PAGE 375 DEED BOOK 878, PAGE 542 DEED BOOK 692, PAGE 313 DEED BOOK 556, PAGE 595
- MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, INSTRUMENTATION LABORATORIES, LOT 45, BLOCK 1, SECTION 70.19, 526 STATE ROUTE 303, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY" PREPARED BY WILLIAM T. MANNING, PLS, DATED APRIL 10, 2001 AND BEARING A LATEST REVISION DATE OF JUNE 26, 2007.
- MAP ENTITLED "PROPERTY SURVEY SECTION 80 BLOCK 744 LOTS 12, 13, 14 FOR FISHER SCIENTIFIC CO." BY ADLER & YOUNG PC, DATED 11/25/85.
- COMPILED MAP OF GLENSHAW STREET MAP NO. 2804 IN THE ROCKLAND C.C.O.
- GS-BASE MAP, COUNTY OF ROCKLAND, NEW YORK.



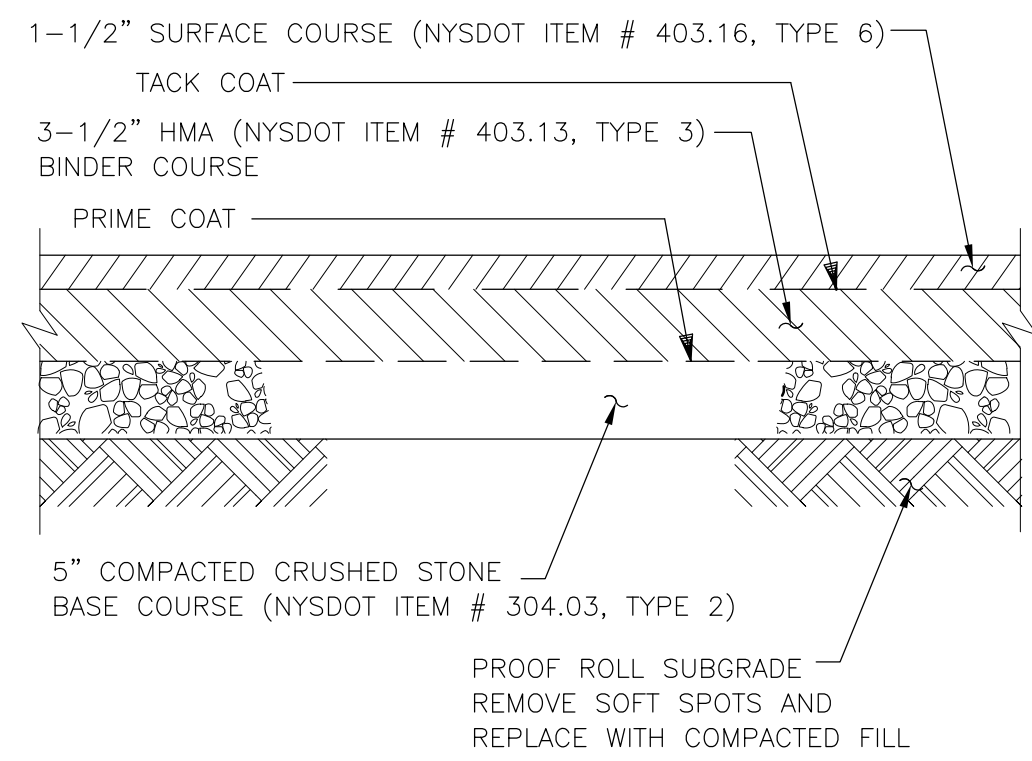
LEGEND:

- 200 --- MAJOR CONTOUR LINE
- 194 --- MINOR CONTOUR LINE
- ⊕ STORM MANHOLE
- ⊖ STORM INLET
- STORM PIPE
- FENCE
- UNDERGROUND ELECTRIC
- GAS LINE
- GUIDE RAIL
- SANITARY SEWER LINE
- WATER LINE
- UNDERGROUND TELCO
- OVERHEAD WIRES
- ⊕ HYDRANT
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ SIGN
- ⊕ SANITARY MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELCO MANHOLE
- ⊕ ADA WARNING SURFACE
- ⊕ CLEAN-OUT
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ PROPOSED CONCRETE SURFACE
- ⊕ PROPOSED FULL DEPTH ASPHALT PAVEMENT
- ⊕ PROPOSED SPOT ELEVATION
- ⊕ PROPOSED CONTOUR LINE
- ⊕ PROPOSED FENCE
- ⊕ PROPOSED STORM PIPE
- ⊕ PROPOSED FLARED END SECTION
- ⊕ PROPOSED FIELD INLET
- ⊕ PROPOSED CURB INLET
- ⊕ PROPOSED STORM MANHOLE
- ⊕ PROPOSED WATER LINE
- ⊕ PROPOSED FIRE SUPPRESSION WATER LINE
- ⊕ PROPOSED NATURAL GAS LINE
- ⊕ PROPOSED ELECTRIC LINE
- ⊕ PROPOSED SANITARY SEWER PIPE LINE
- ⊕ PROPOSED LIGHT POLE
- ⊕ PROPOSED BUILDING MOUNTED LIGHT

Call 811
 before you dig

Scale: 1 INCH = 40 FEET

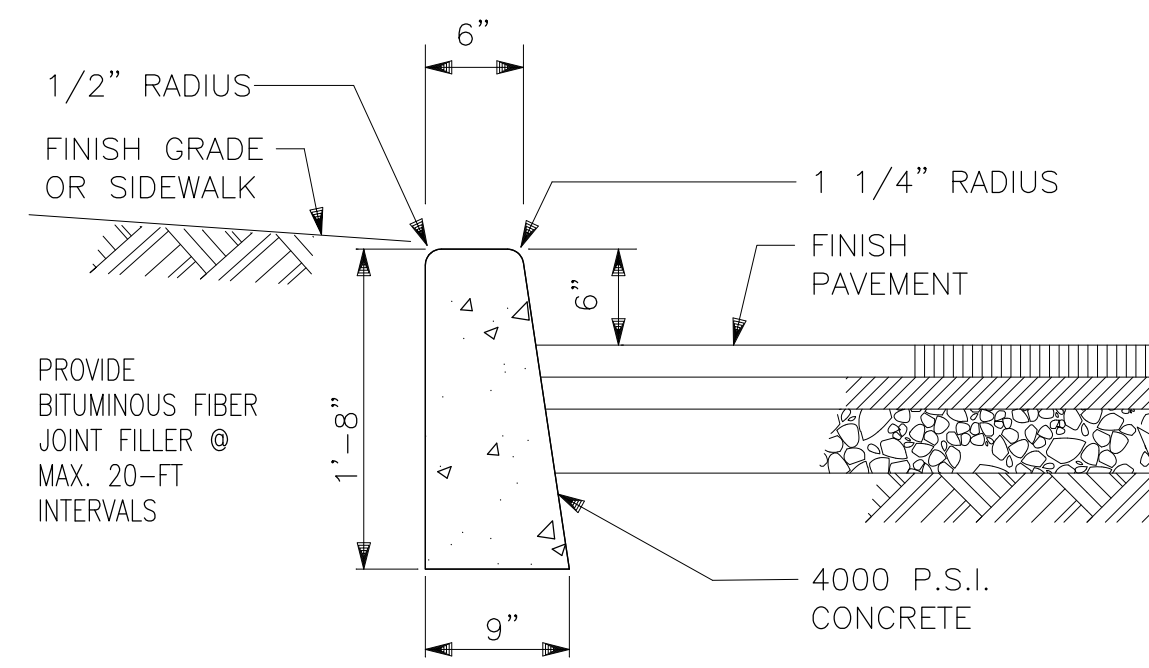




TYPICAL PAVEMENT SECTION

SCALE: NTS

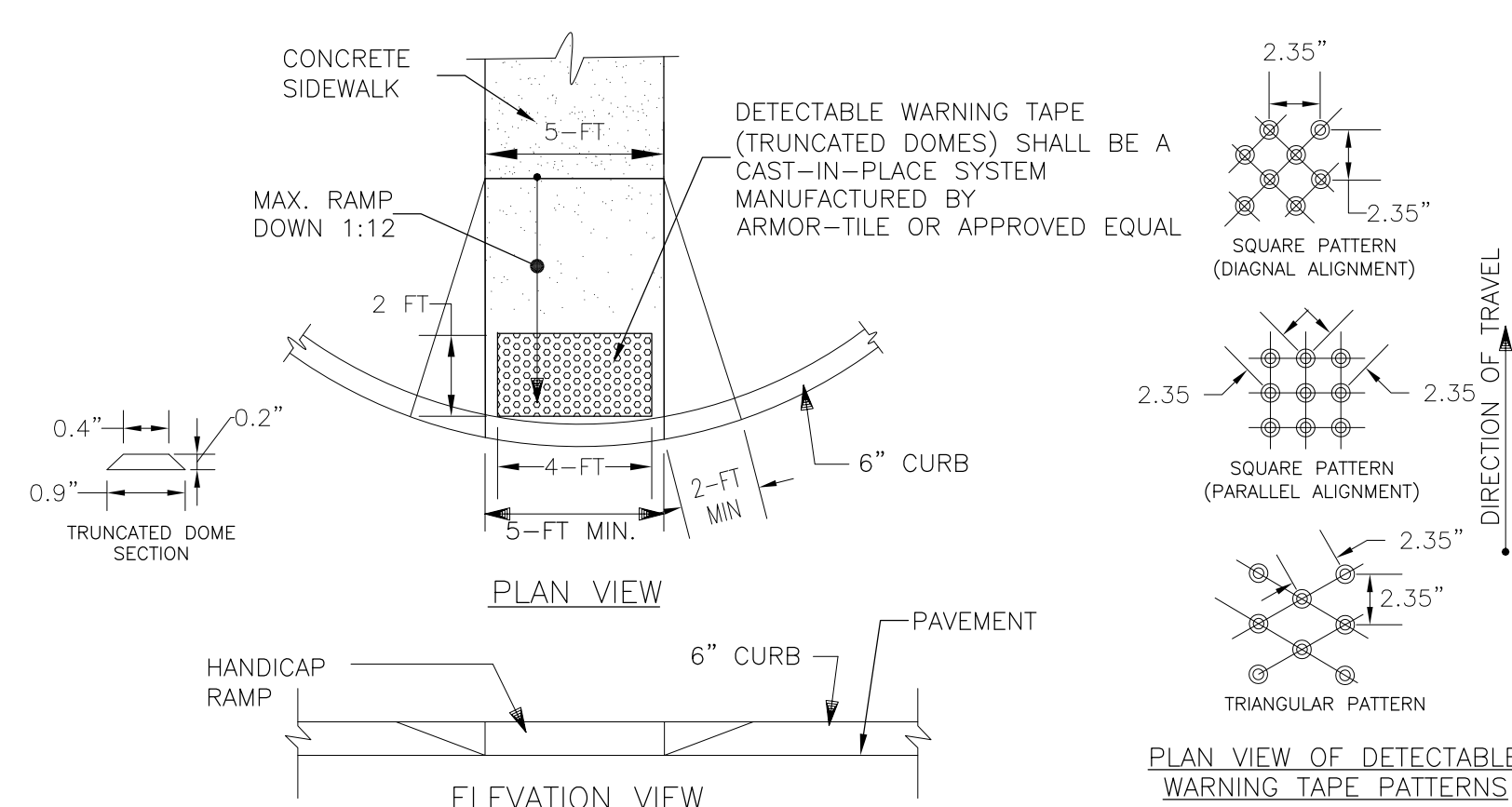
1
C03



CONCRETE CURB DETAIL

SCALE: NTS

2
C03



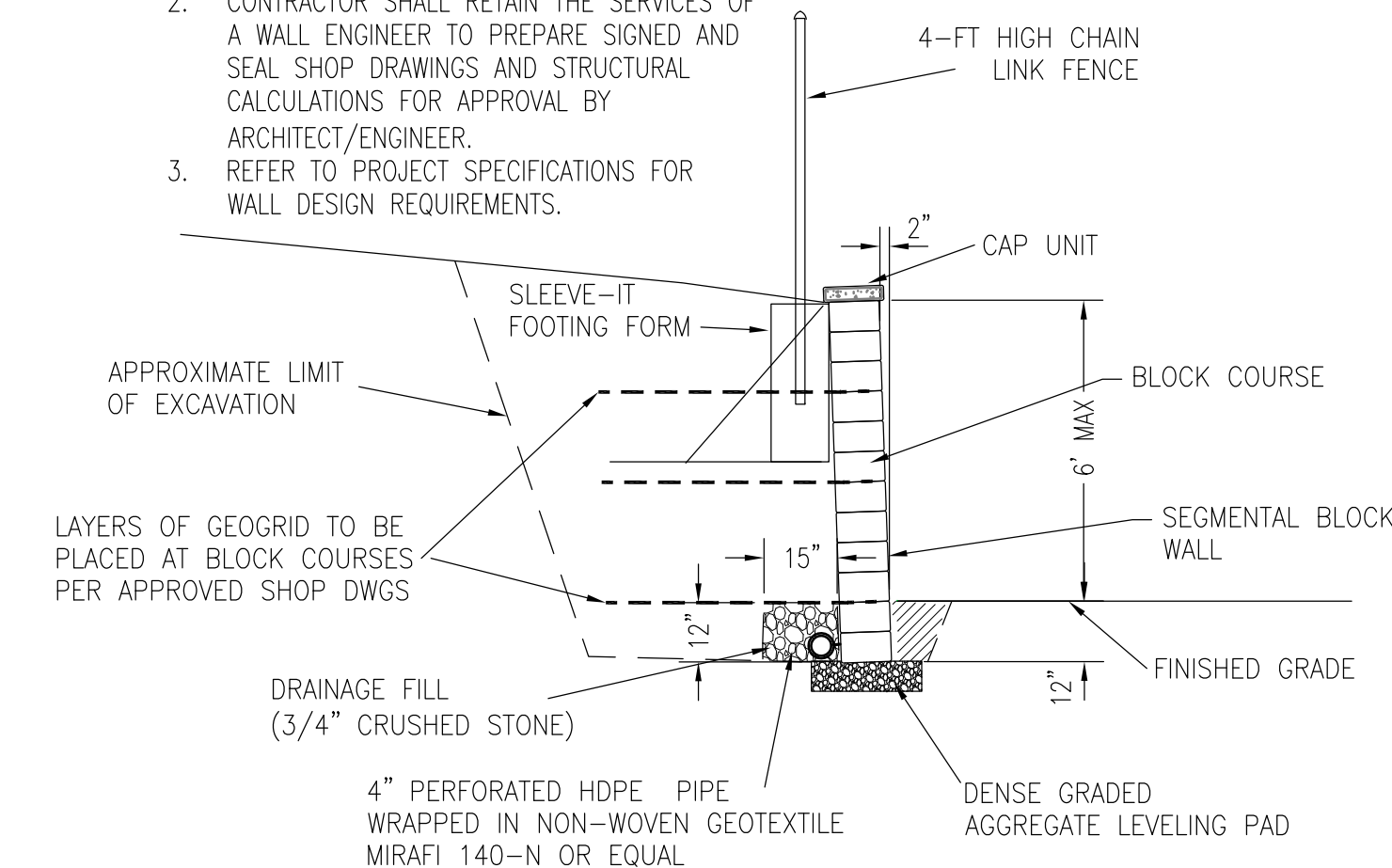
ACCESSIBLE DEPRESSED CURB DETAIL

SCALE: NTS

3
C03

NOTE:

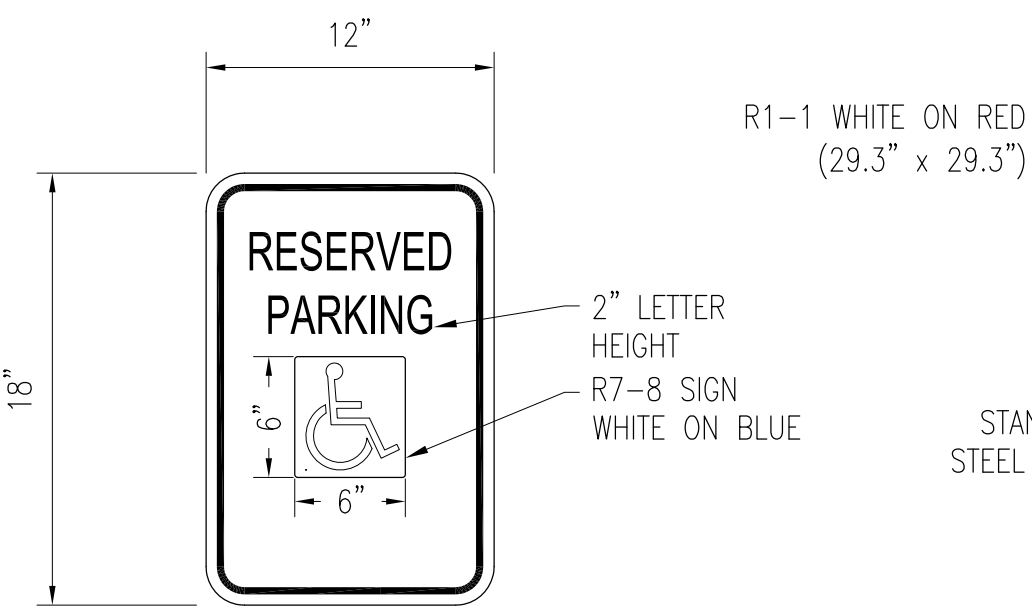
- DETAIL IS A GENERAL DEPICTION OF THE SEGMENTAL BLOCK WALL CONSTRUCTION.
- CONTRACTOR SHALL RETAIN THE SERVICES OF A WALL ENGINEER TO PREPARE SIGNED AND SEAL SHOP DRAWINGS AND STRUCTURAL CALCULATIONS FOR APPROVAL BY ARCHITECT/ENGINEER.
- REFER TO PROJECT SPECIFICATIONS FOR WALL DESIGN REQUIREMENTS.



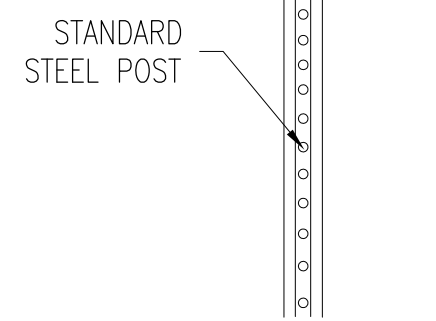
RETAINING WALL DETAIL

SCALE: NTS

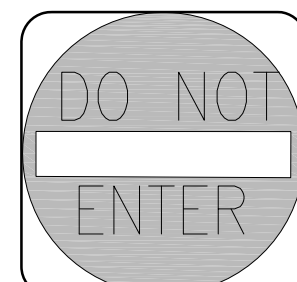
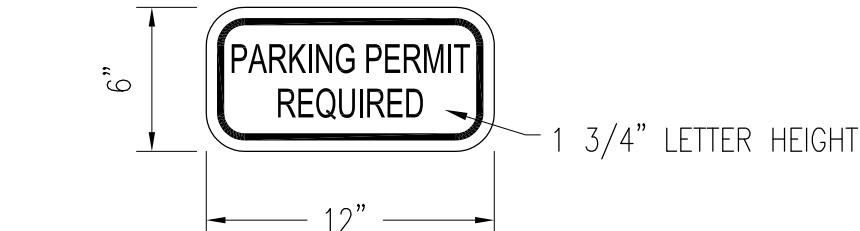
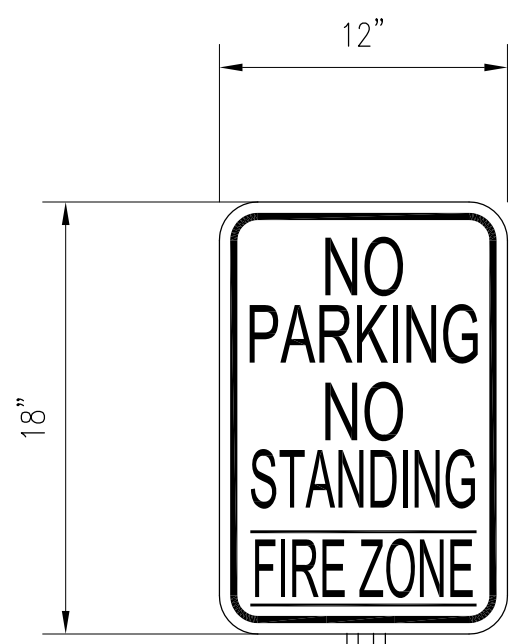
4
C03



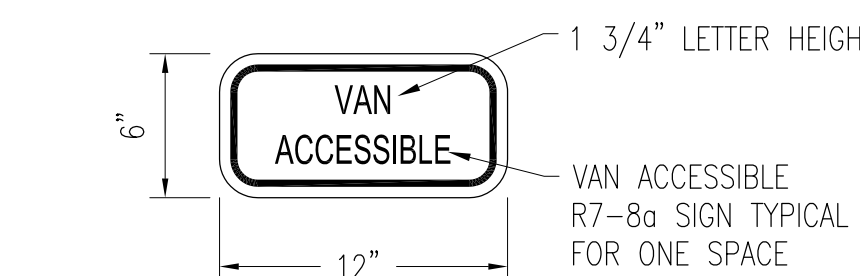
R1-1 WHITE ON RED (29.3" x 29.3")



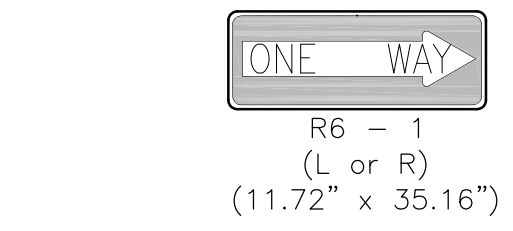
STANDARD STEEL POST



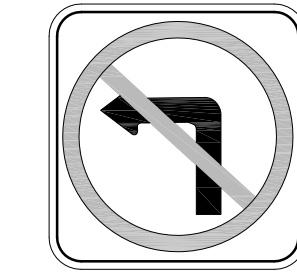
R5 - 1 (23.44" x 23.44")



VAN ACCESSIBLE R7-80 SIGN TYPICAL FOR ONE SPACE



R6 - 1 (L or R) (11.72" x 35.16")



R3 - 2 (23.44" x 23.44")

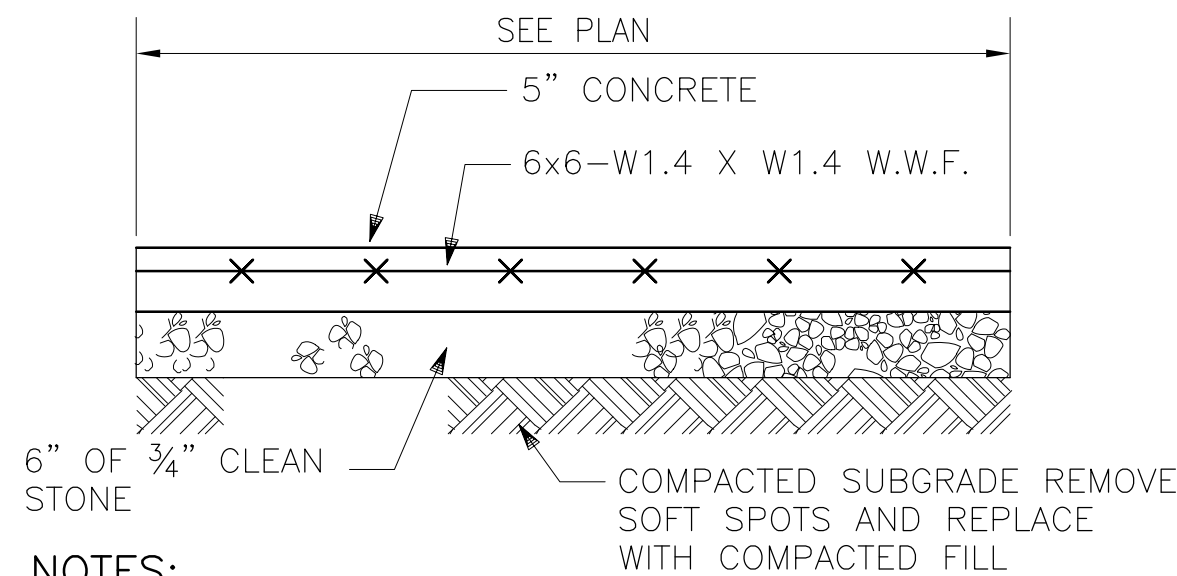
NOTES:

- ALL SIGN SIZE, COLOR, CONTENT, EMBEDMENT IN GROUND ETC. SHALL BE AS PER N.Y.S.D.O.T. STANDARDS AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- BOTTOM OF SIGNS SHALL BE 6'-0" ABOVE GRADE WHEN PERPENDICULAR TO SIDEWALK TRAVEL DIRECTION.

TRAFFIC SIGNS DETAIL

SCALE: NTS

5
C03



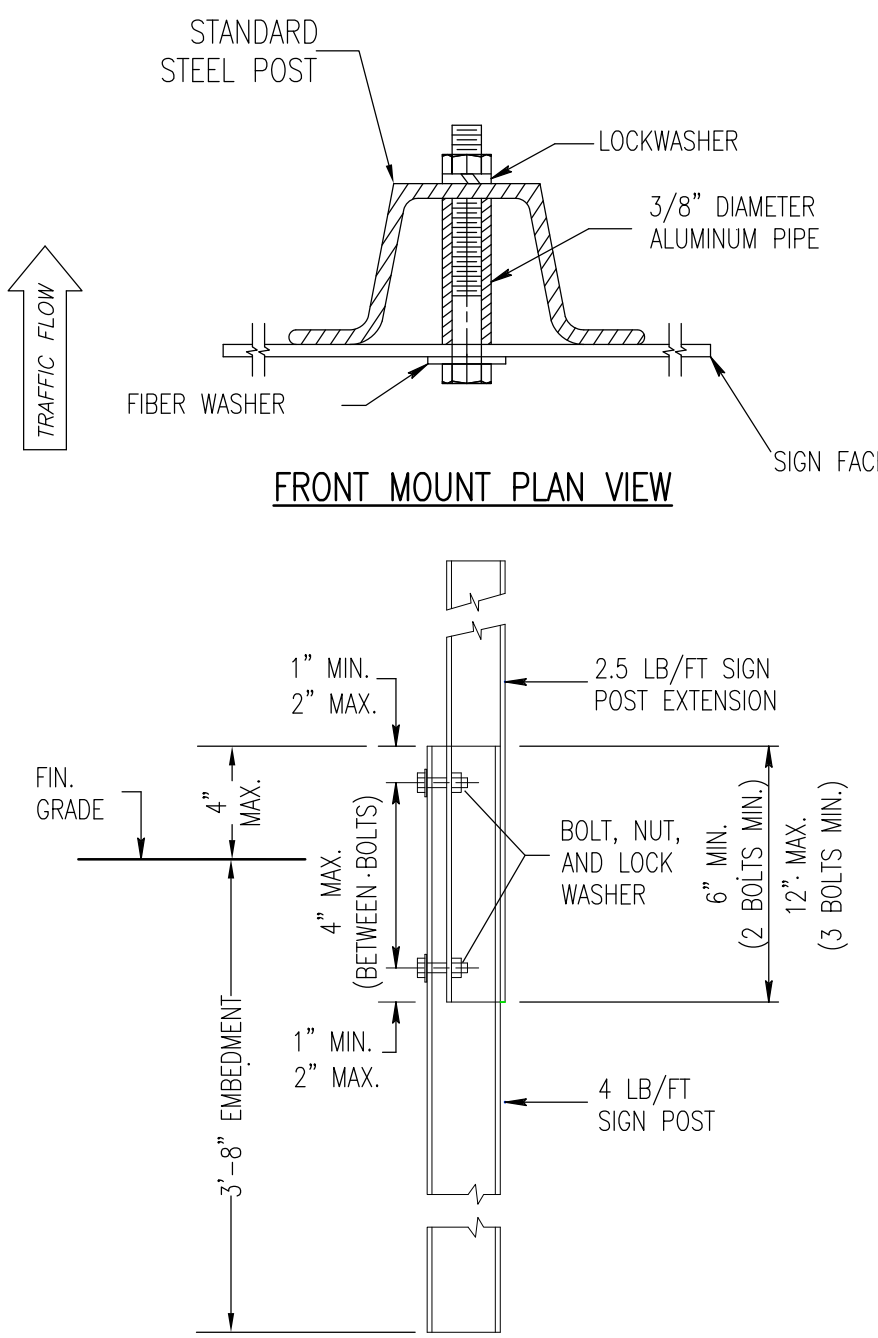
NOTES:

- SIDEWALKS SHALL BE CONSTRUCTED WITH A MINIMUM STRENGTH OF 4,000 PSI AIR-ENTRAINED CONCRETE.
- THE CROSS-SLOPE OF SIDEWALKS SHALL GENERALLY BE 2.0 % SLOPED TOWARD ADJACENT ROAD OR DRIVEWAY UNLESS OTHERWISE INDICATED REFER TO THE GRADING PLAN FOR PROPOSED CONTOURS & SPOT ELEVATIONS.
- SIDEWALK THICKNESS SHALL NOT BE LESS THAN (5) INCHES
- EXPANSION JOINTS 1/2" WIDE, SHALL BE PROVIDED AT INTERVALS OF NOT MORE THAN 20 FEET AND FILLED WITH PREFABRICATED BITUMINOUS CELLULAR TYPE JOINT FILLER. PROVIDE SIMILAR JOINT WHERE SIDEWALK ABUTS WALL. ALL JOINTS SHALL BE CAULKED.
- TRANSVERSE SURFACE GROOVES SHALL BE CUT IN SIDEWALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH. SCORING PATTERN MUST BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE FINISH SHALL BE MADE WITH A WOOD FLOAT, FOLLOWED BY BRUSHING WITH A WET SOFT-HAIR BRUSH TO A NEAT AND WORKMANLIKE SURFACE. ALL EDGES SHALL BE NEATLY ROUNDED TO 1/4".

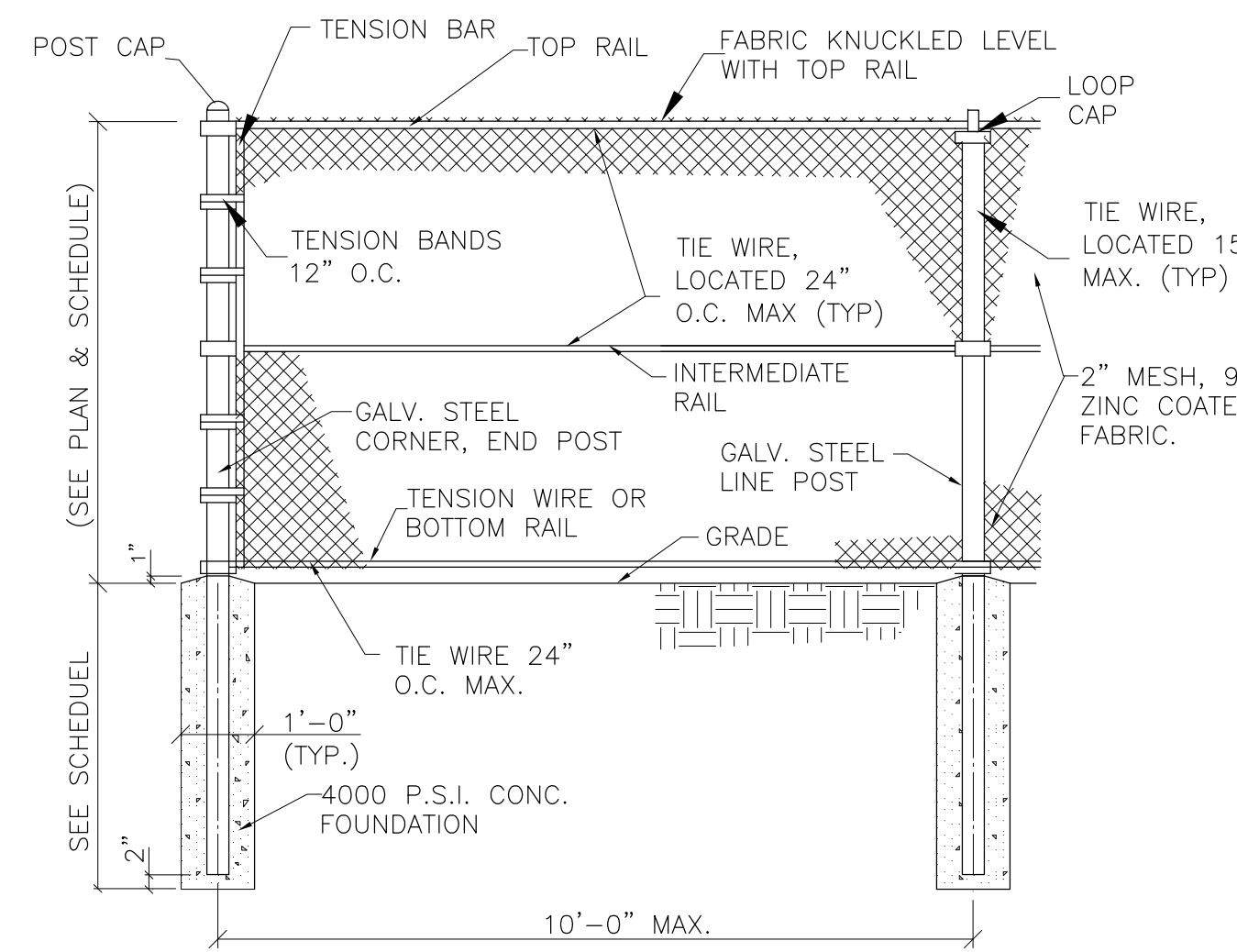
CONCRETE SIDEWALK DETAIL

SCALE: NTS

8
C03



EMBEDMENT & SPLICE DETAIL



TYPICAL CHAIN LINK FENCE DETAIL

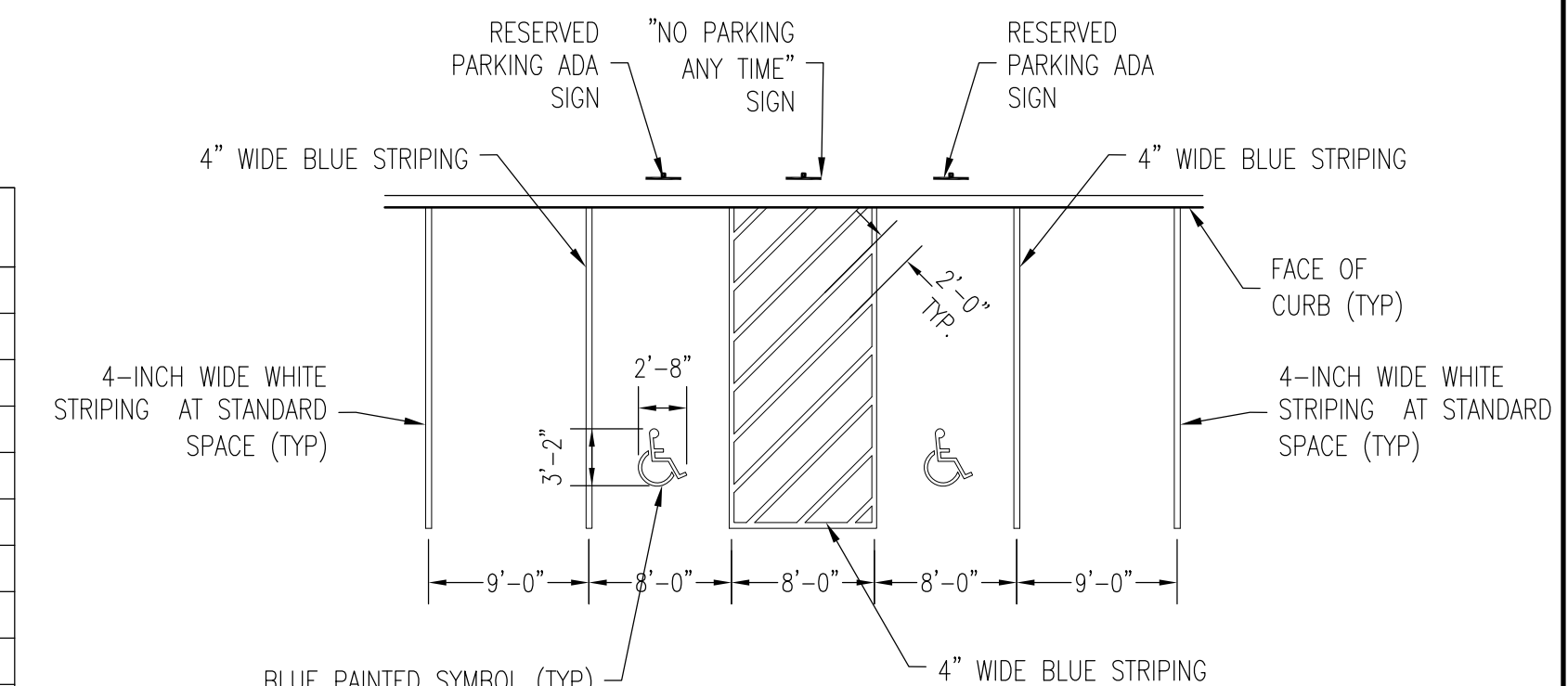
SCALE: NTS

6
C03

CHAIN LINK FENCE SCHEDULE	
TYPE OF FENCE:	AT TOP OF RETAINING WALLS
OVERALL HEIGHT (H):	4 FT.
BOTTOM BAR O.D.:	1 5/8 IN.
TOP BAR O.D.:	1 5/8 IN.
INTERMEDIATE RAIL O.D.:	NONE
CORNER POST O.D.:	2 7/8 IN.
END POST O.D.:	2 7/8 IN.
LINE POST O.D.:	2 3/8 IN.
FABRIC:	2" MESH 9 GAUGE
TIE WIRE:	10 GAUGE
STRETCHER BAR:	1/4"x3/4" BAR
FOOTING SIZE:	12"x 3'-0" DEEP

NOTES:

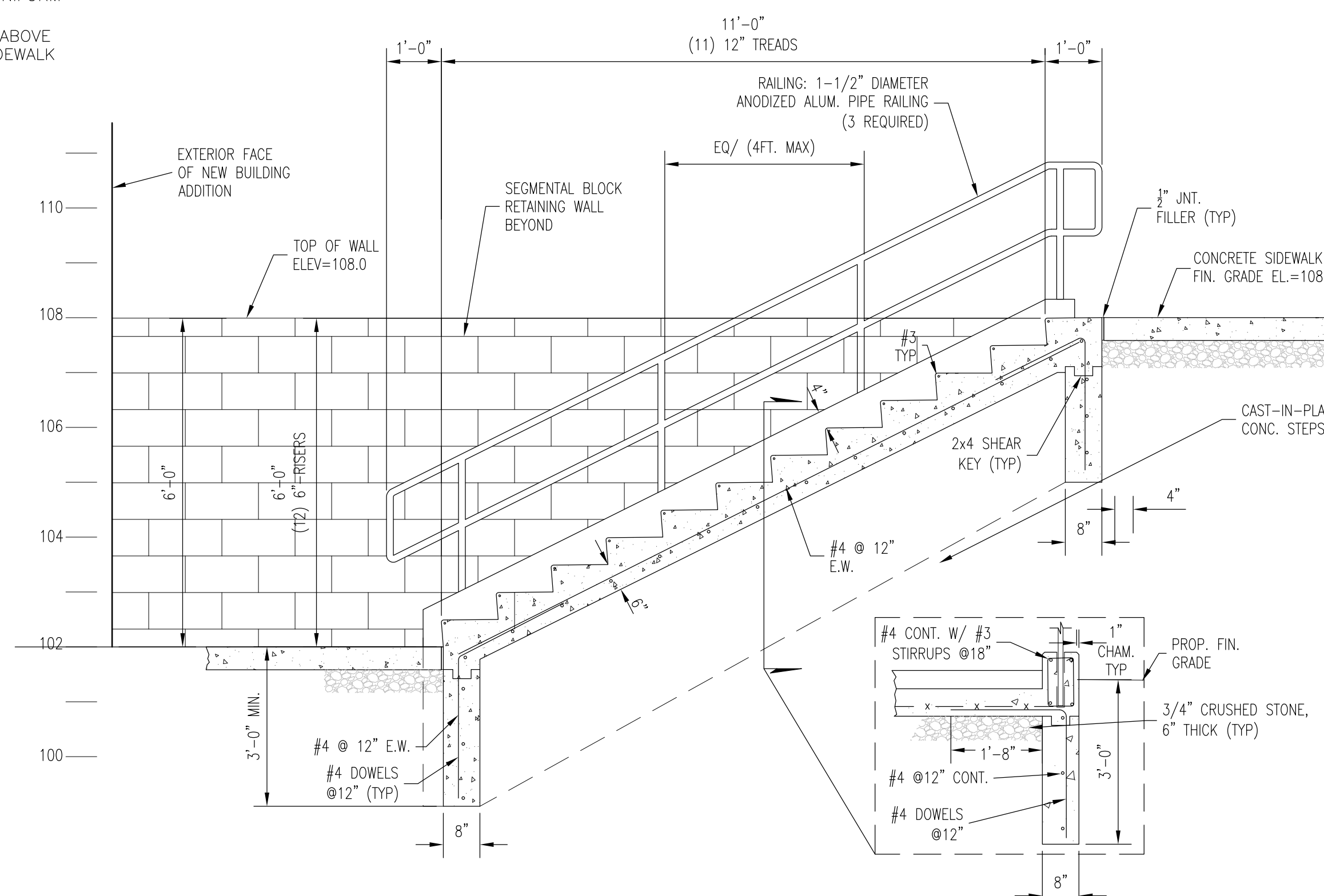
- ALL CHAIN LINK FENCING SHALL HAVE BLACK VINYL COATING PER PROJECT SPECIFICATIONS.



TYPICAL ADA PARKING STRIPING LAYOUT

SCALE: NTS

7
C03



STAIR SECTION DETAIL @ RETAINING WALL

SCALE: 1/2" = 1'-0"

A
C02

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
ARCHITECTS & ENGINEERS, P.A.
8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777

ROBERT E. WALSH PROFESSIONAL ENGINEER
NY STATE LICENSE No. 080247-1

CIVIL

SCALE	PROJECT	EIA DRAWING NO.
AS NOTED	INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	C03
DRAWN BY: JSD	526 ROUTE 303	FILE NO. 18-816
DESIGNED BY: REV	SECTION 70.19, BLOCK 1, LOT 45	EIA PROJECT NO. EG 8381.00
CHECKED BY: REV	TOWN OF ORANGETOWN	
APPROVED BY: GPC	ROCKLAND COUNTY NEW YORK	
PROJECT MANAGER: WJS	TITLE: SITE IMPROVEMENTS DETAILS	

LEGEND:

- PROPOSED FLARED END SECTION
- PROPOSED FIELD INLET
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED STORM PIPE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED FENCE
- INFILTRATION TEST LOCATION

SECTION 70.19
BLOCK 1
LOT 46
INSTRUMENT No. 1999-00062245

INFILTRATION TEST TABLE

ITP NO.	EXISTING GRADE	PROPOSED GRADE	BOTT. OF TEST PIT	DEPTH TO GW.	GWE	PERMEABILITY
1	99.0	96.9	89.0	NE	<89.0	13"/hr @ 4 ft
2	98.0	97.5	93.0	NE	<93.0	16"/hr @ 5 ft
3	100.0	97.5	90.0	9'-6"	90.5	10"/hr @ 6 ft
4	102.0	99.0	93.0	8'-0"	94.0	3"/hr @ 5 ft
5	103.0	102.5	95.0	NE	<95.0	5"/hr @ 5 ft
6	103.0	103.0	93.0	8'-0"	95.0	20"/hr @ 6 ft
7	105.0	104.5	95.0	8'-0"	97.0	24"/hr @ 6 ft
8	103.0	106.0	93.0	NE	<93.0	16"/hr @ 5 ft
9	105.0	106.5	95.0	8'-0"	97.0	2"/hr @ 4 ft
10	109.0	109.0	99.0	9'-0"	100.0	18"/hr @ 6 ft
11	109.0	110.0	99.0	5'-0"	104.0	6"/hr @ 6 ft

STORMWATER MANAGEMENT NOTES:

- STORMWATER MANAGEMENT PHASE II REGULATIONS; ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.



CENTRAL LINES, LLC
FORMERLY CONRAL
(R.O.W. WIDTH VARIES)

N.Y.S. ROUTE 303
(80' WIDE PUBLIC R.O.W.)

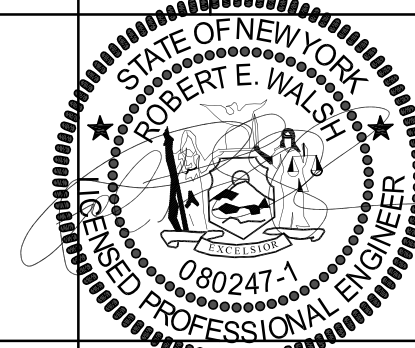


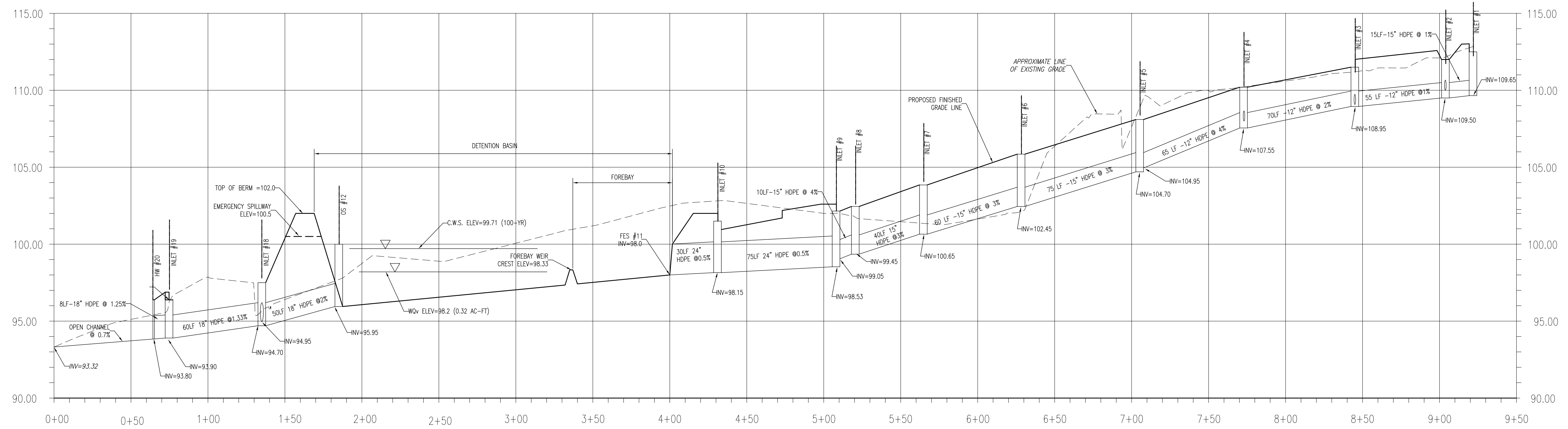
Scale: 1 INCH = 40 FEET



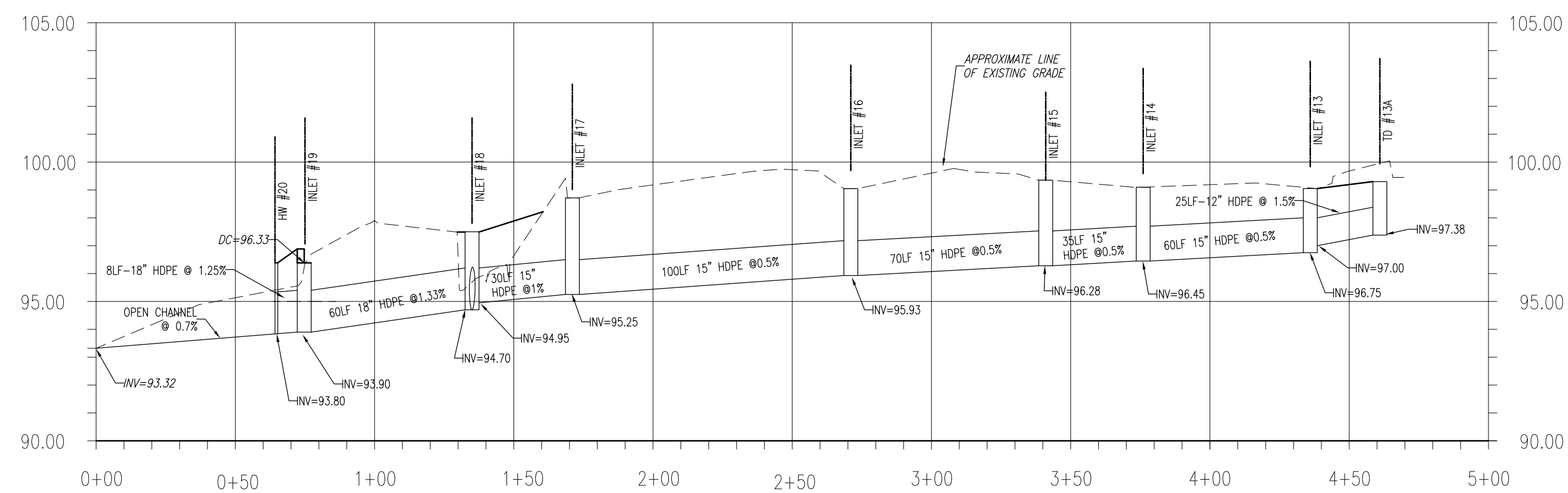
REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

<p>EI Associates ARCHITECTURE ENGINEERING PLANNING</p> <p>8 RIDGEMAN AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777</p>	<p>ROBERT E. WALSH PROFESSIONAL ENGINEER NY STATE LICENSE No. 080247-1</p>	<p>CIVIL</p>
	<p>SCALE AS NOTED</p> <p>PROJECT INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION 526 ROUTE 303 SECTION 70.19, BLOCK 1, LOT 45 TOWN OF ORANGETOWN</p> <p>ROCKLAND COUNTY NEW YORK</p> <p>TITLE GRADING & DRAINAGE PLAN</p>	
<p>FILE NO. 18-816</p> <p>EIA PROJECT NO. EG 8381.00</p>		<p>EIA DRAWING NO. C04</p>

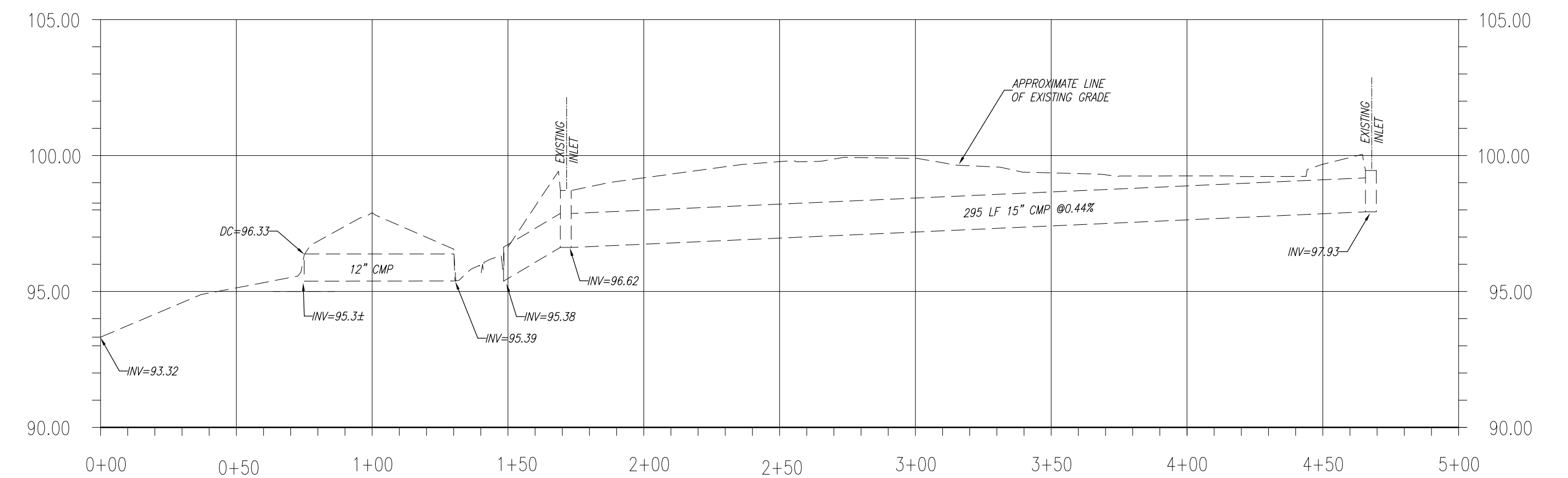




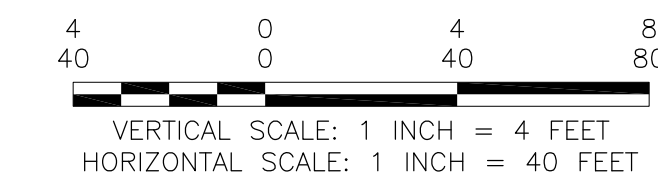
STORM DRAINAGE PROFILE (INLET #1 TO HW #20)



STORM DRAINAGE PROFILE (TD #13A TO HW #20)

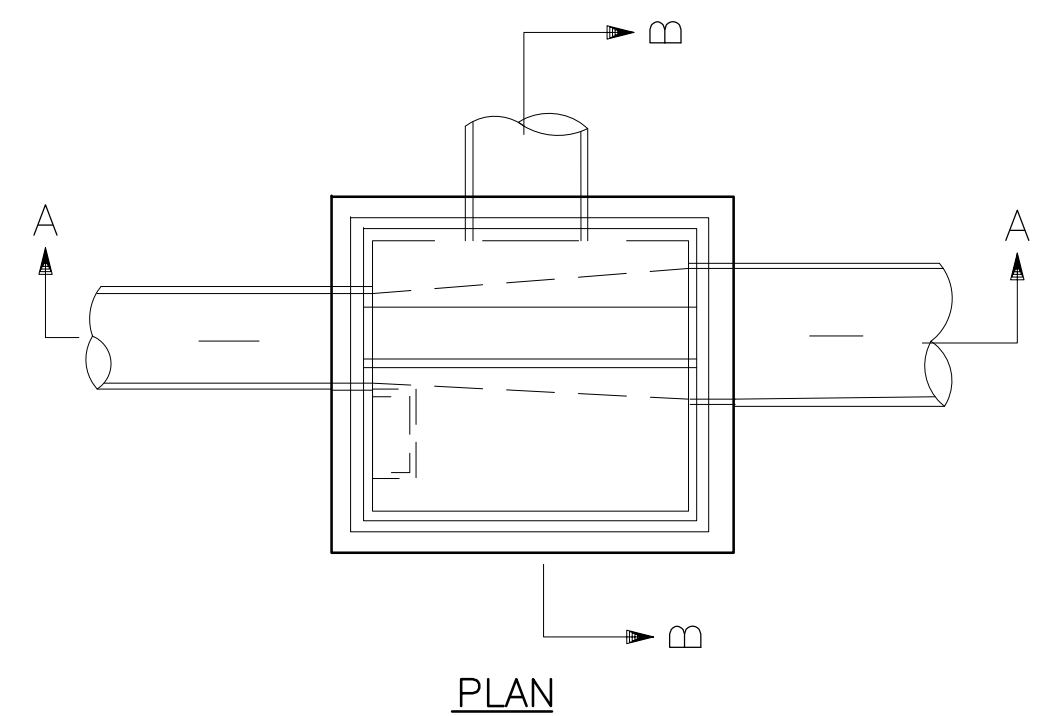
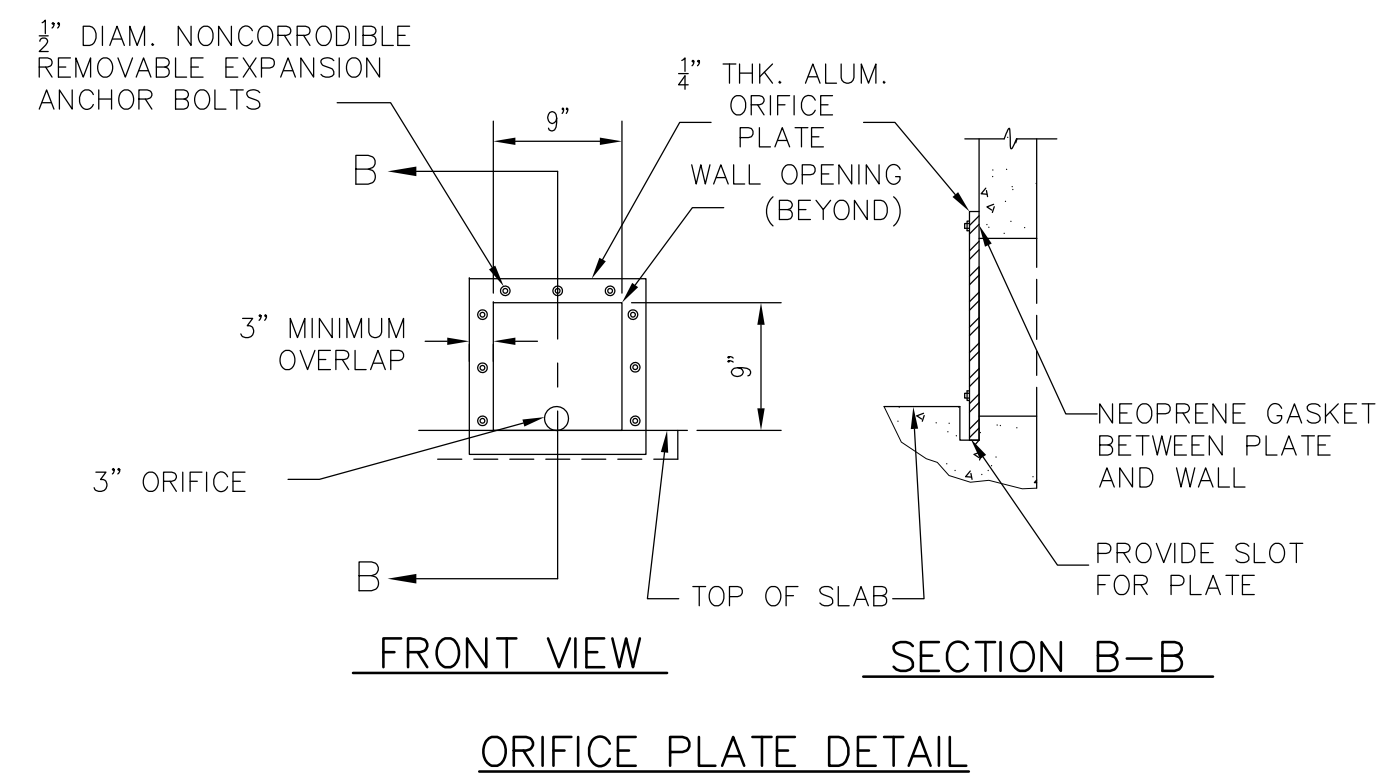
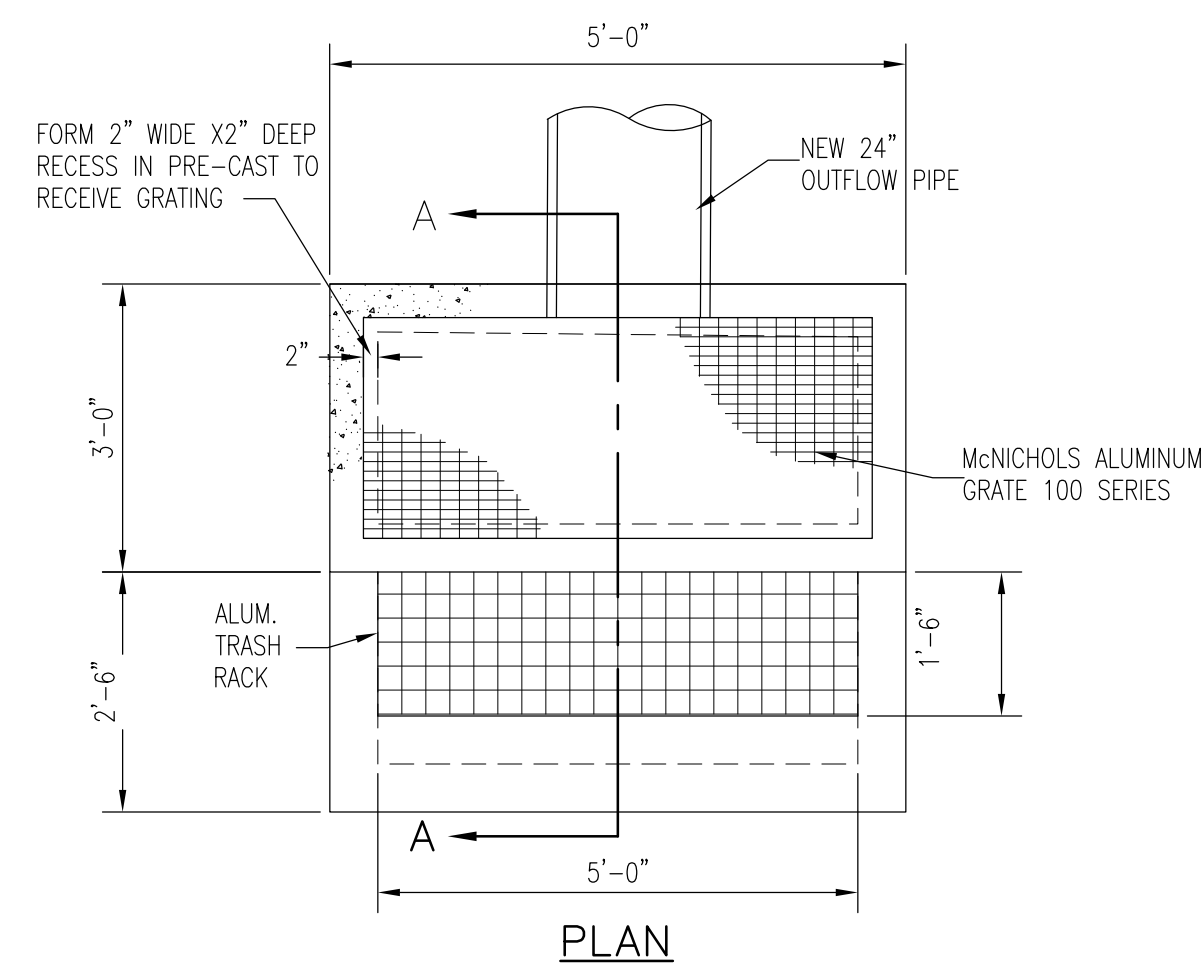


EXISTING DRAINAGE PROFILE EAST OF LOADING DOCK

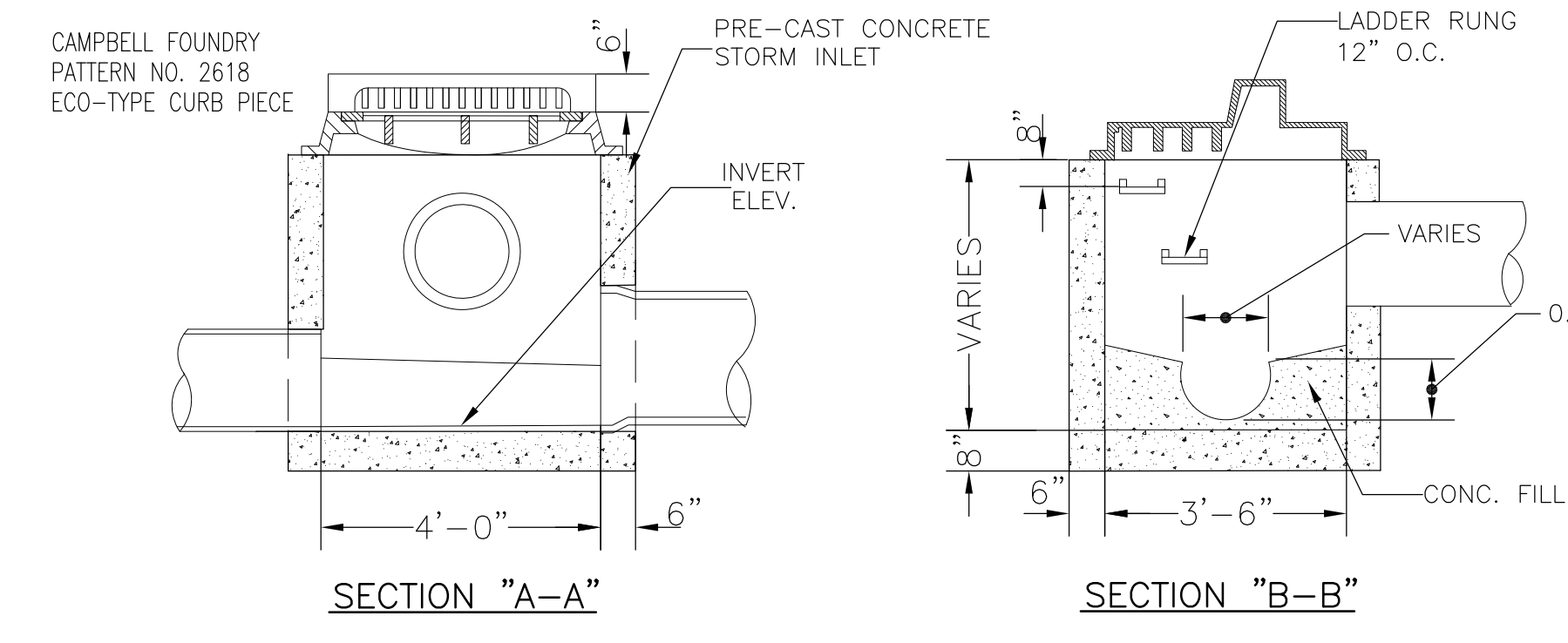
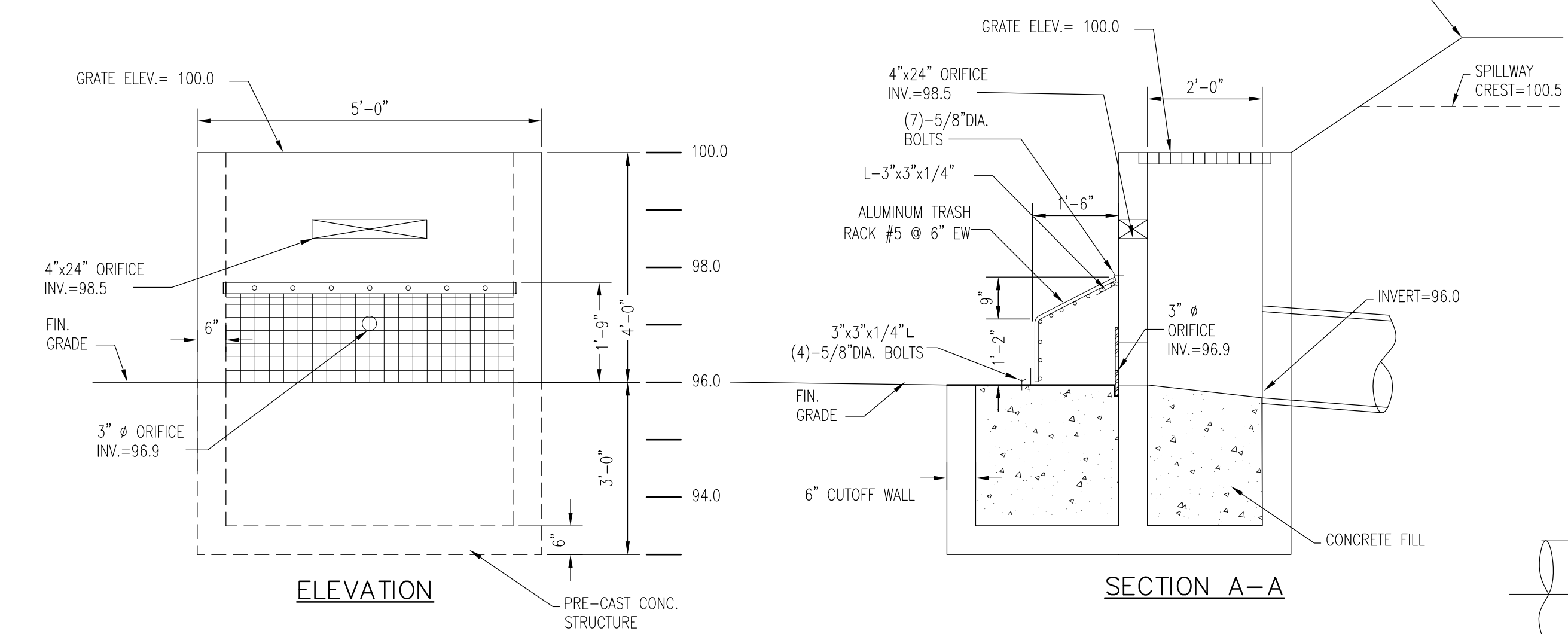
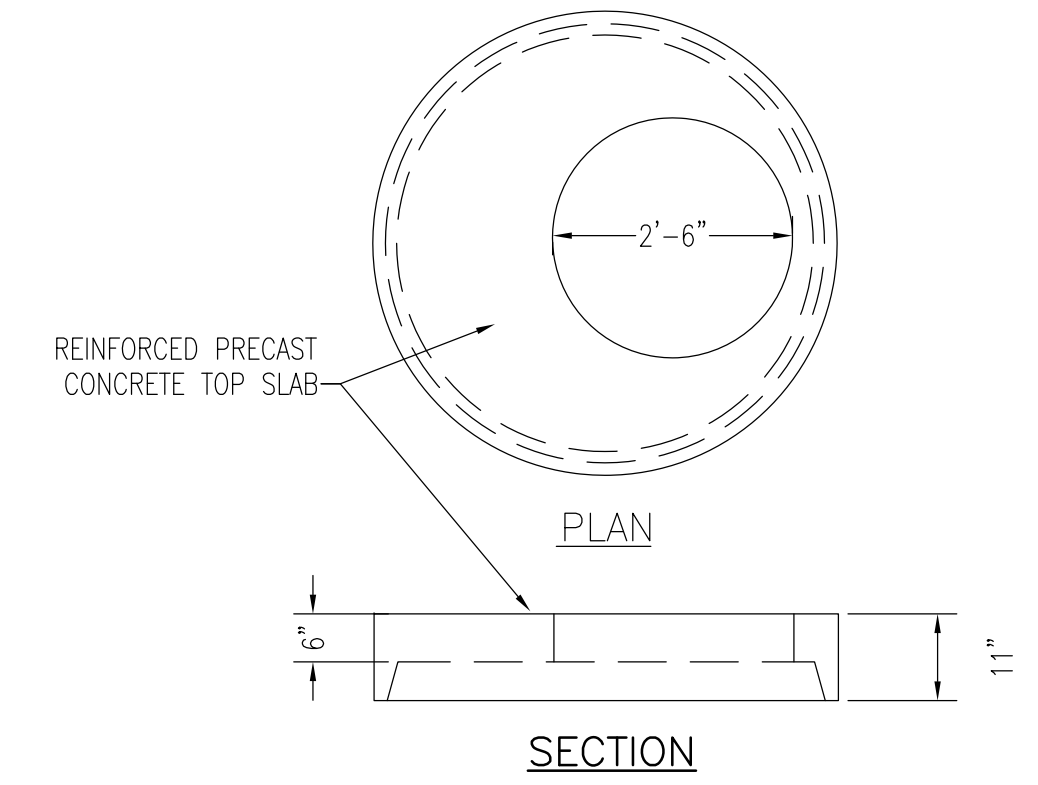


REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUN 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

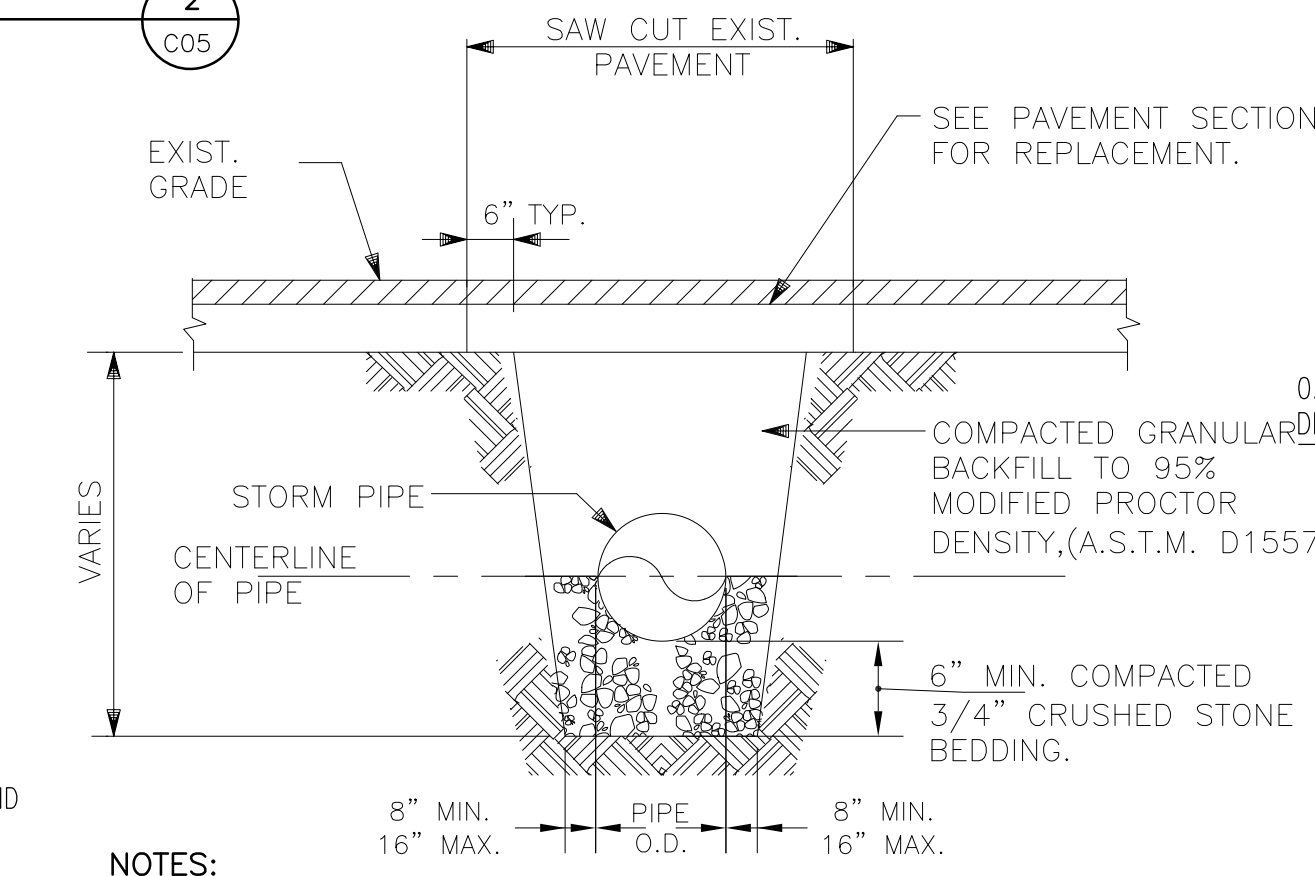
<p>EI Associates ARCHITECTURE ENGINEERING PLANNING 8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777</p>	<p>ROBERT E. WALSH PROFESSIONAL ENGINEER NY STATE LICENSE No. 080247-1</p>	<p>CIVIL</p>
	<p>STATE OF NEW YORK ROBERT E. WALSH 080247-1 REGISTERED PROFESSIONAL ENGINEER</p>	
<p>SCALE AS NOTED</p>	<p>PROJECT INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION 526 ROUTE 303 SECTION 70.19, BLOCK 1, LOT 45 TOWN OF ORANGETOWN</p>	<p>EIA DRAWING NO. C04.1</p>
<p>DRAWN BY: [Signature]</p> <p>DESIGNED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p> <p>APPROVED BY: [Signature]</p> <p>PROJECT MANAGER: [Signature]</p>	<p>ROCKLAND COUNTY NEW YORK</p> <p>TITLE DRAINAGE PROFILES</p>	<p>FILE NO. 18-816</p> <p>EIA PROJECT NO. EG 8381.00</p>



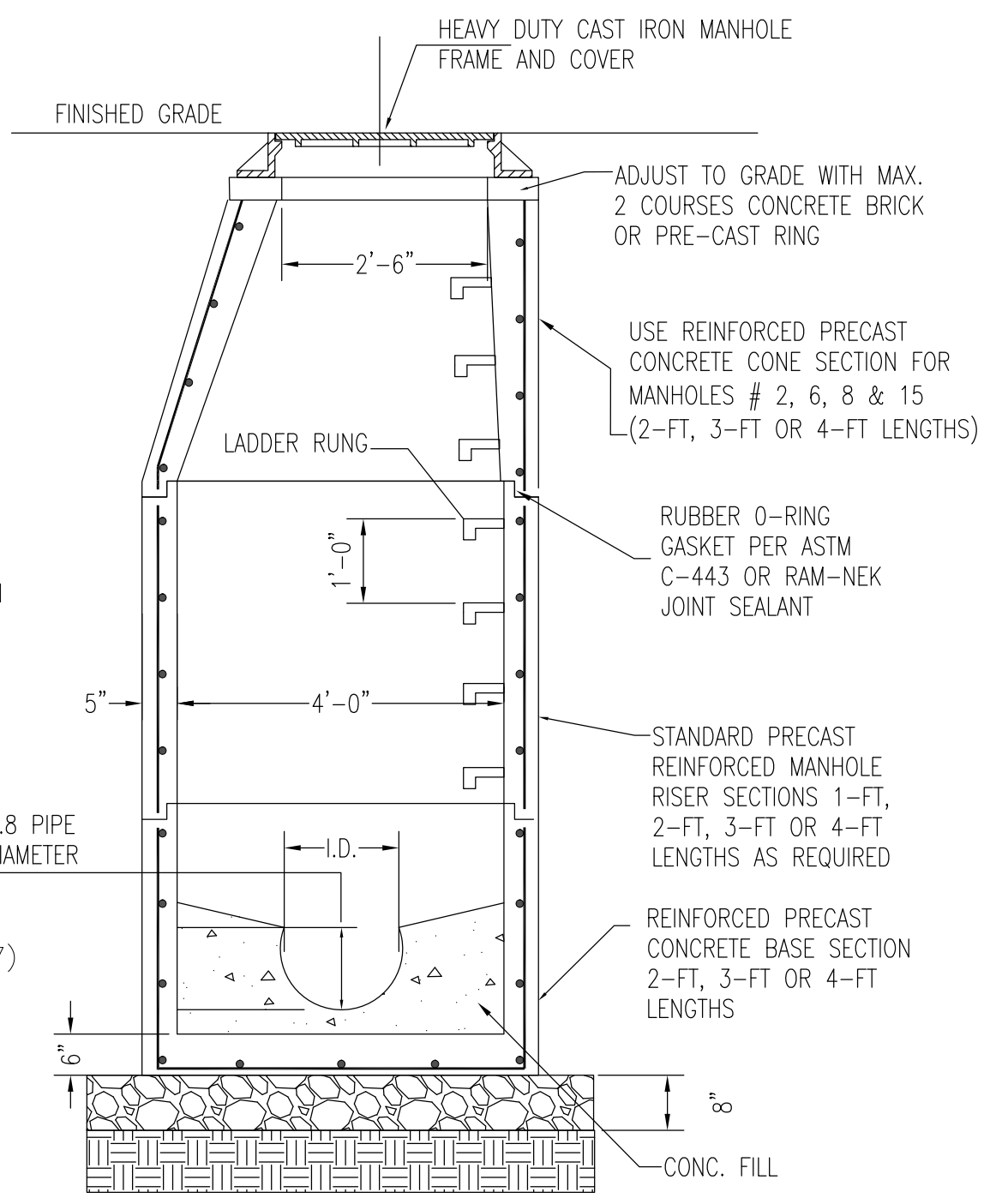
- NOTES:**
1. ALL PRE-CAST CONCRETE DRAINAGE STRUCTURES SHALL CONFORM TO ASTM-C478.
 2. PRE-CAST CONCRETE SHALL BE 4500 PSI AT 28 DAYS.
 3. CONCRETE FILL SHALL BE 3,000 PSI AIR-ENTRAINED CONC.
 4. GRATE SHALL BE CAMPBELL CASTING PATTERN NO. 2618 BICYCLE SAFETY GRATE OR APPROVED EQUAL.



CURB INLET DETAIL
SCALE: NTS

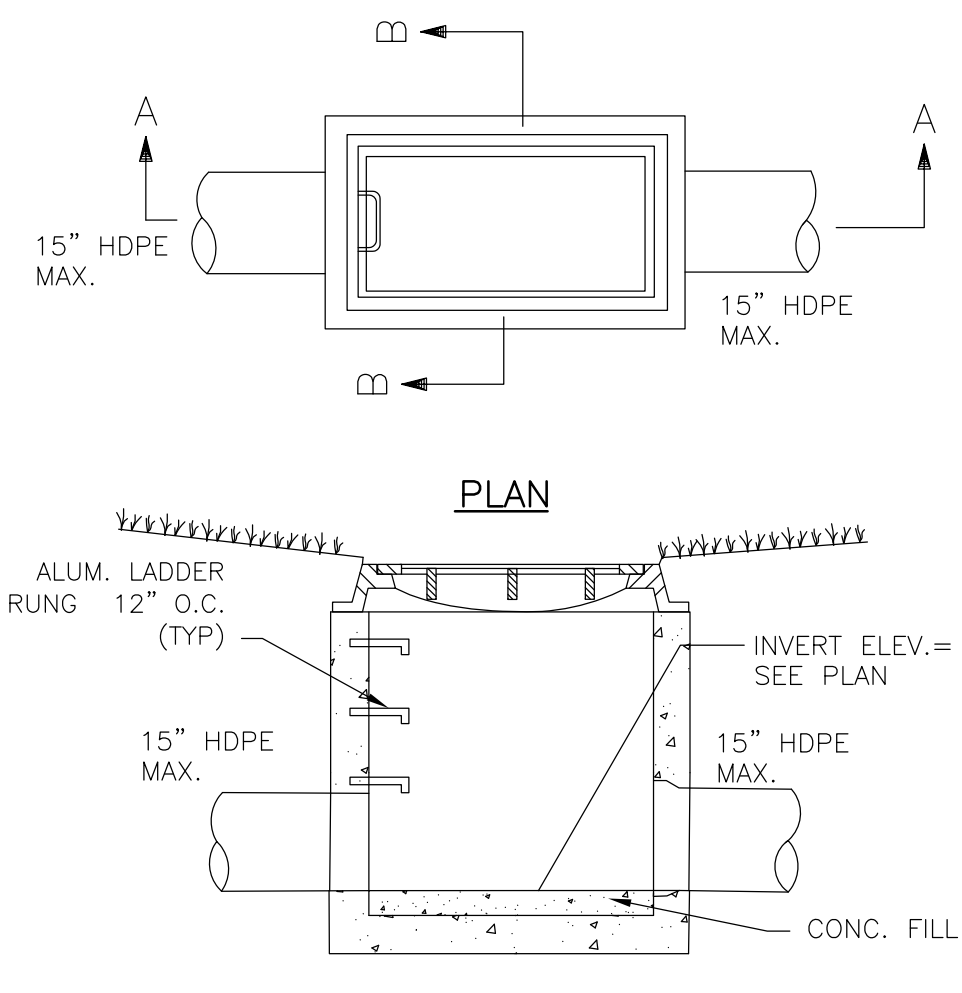


TYPICAL STORM TRENCH DETAIL
SCALE: NTS

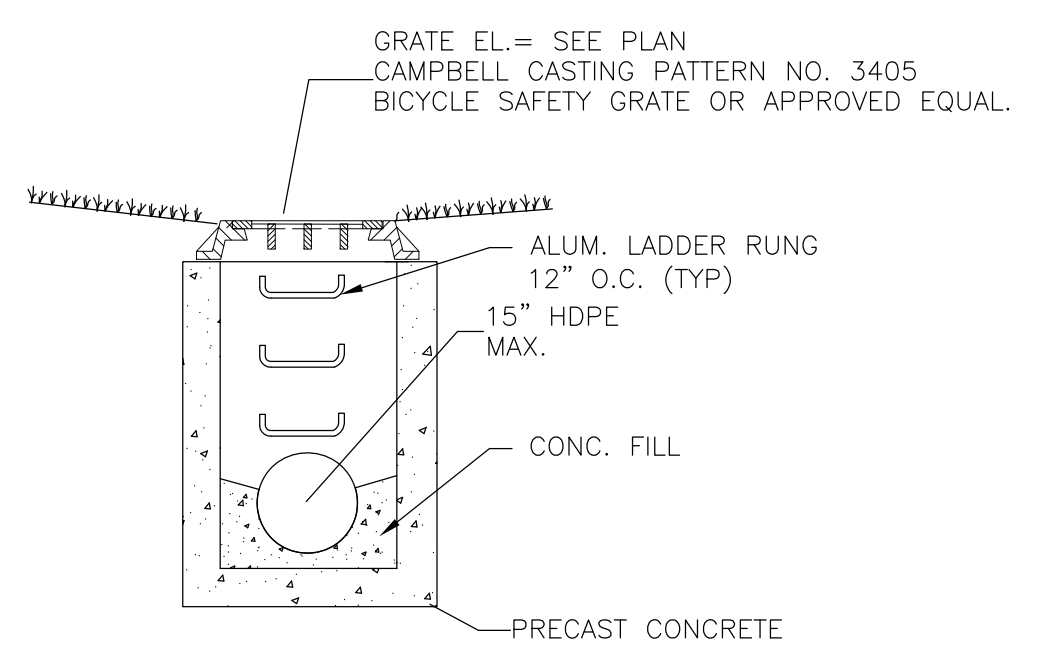


TYPICAL MANHOLE SECTION
MANHOLE DETAIL
SCALE: NTS

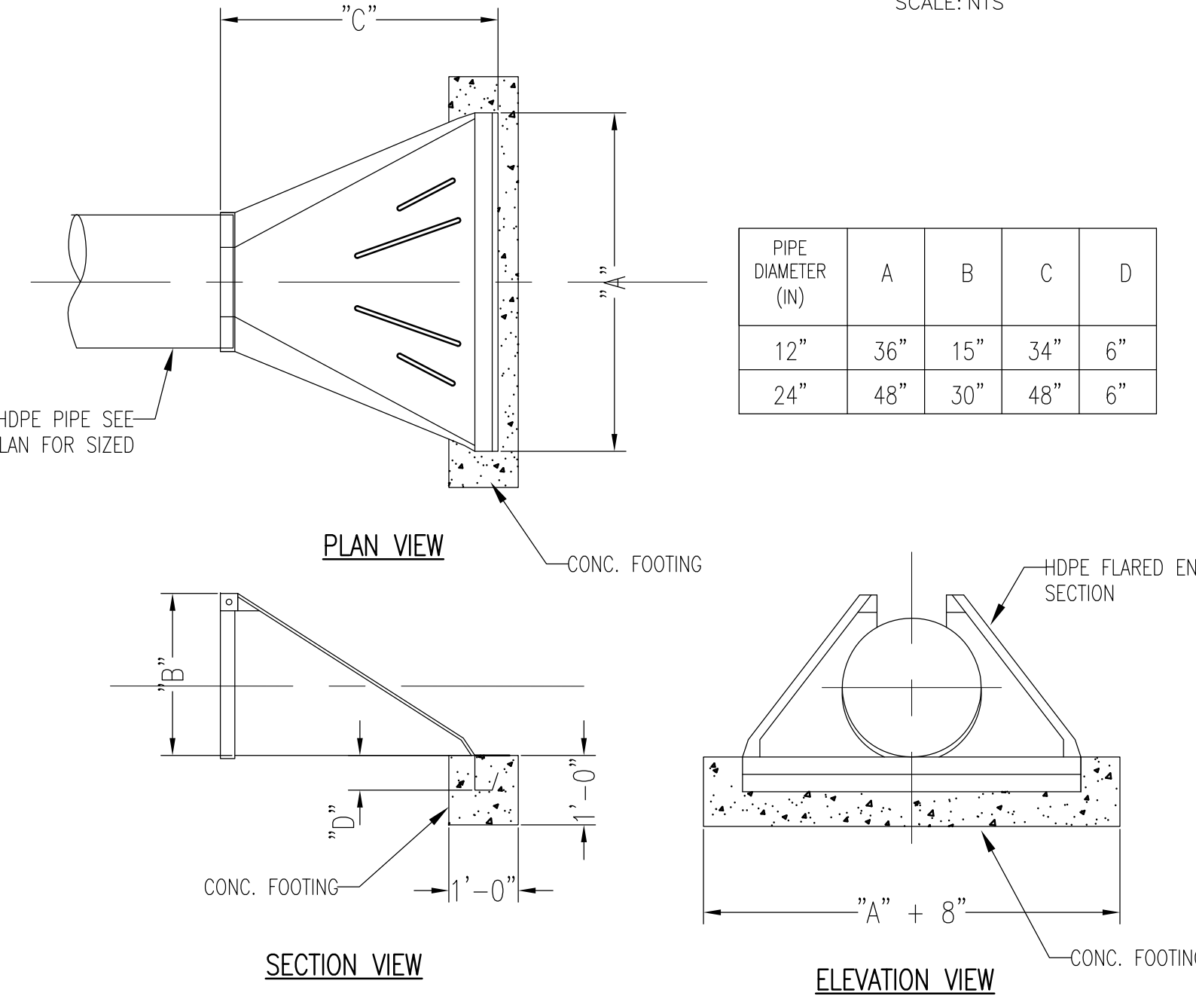
OUTLET STRUCTURE # 10 DETAIL
SCALE: NTS



SECTION "A-A"
FIELD INLET DETAIL
SCALE: NTS

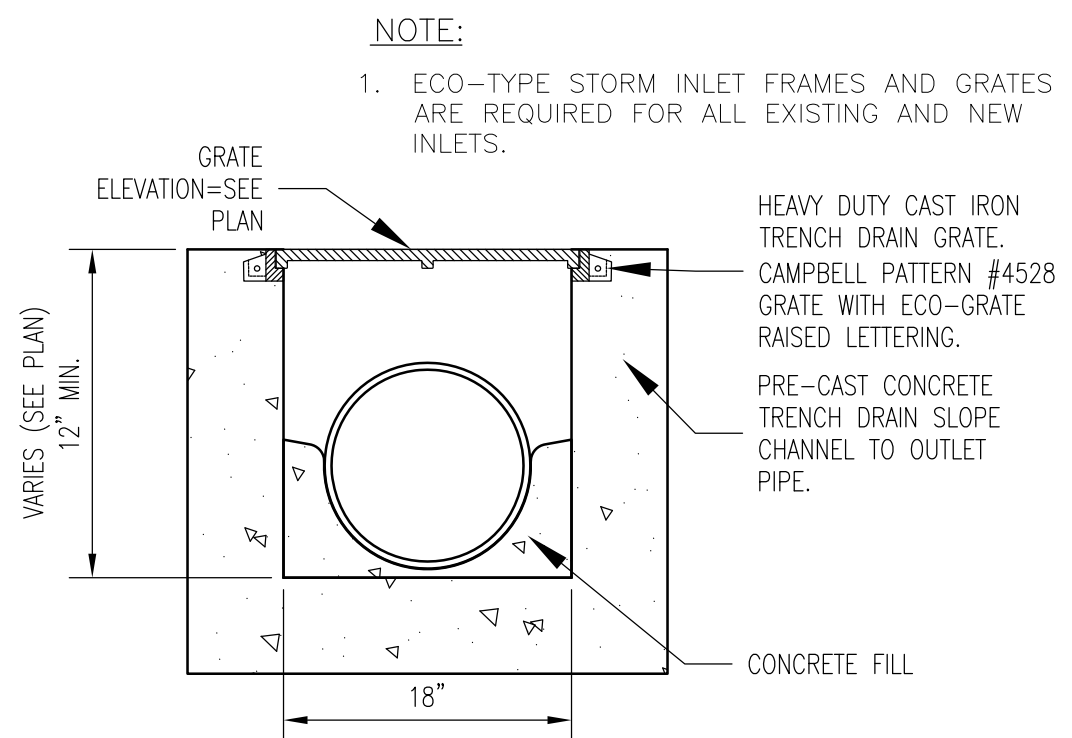


SECTION "B-B"



TYPICAL FLARED END SECTION DETAIL
NTS SCALE:

PIPE DIAMETER (IN)	A	B	C	D
12"	36"	15"	34"	6"
24"	48"	30"	48"	6"



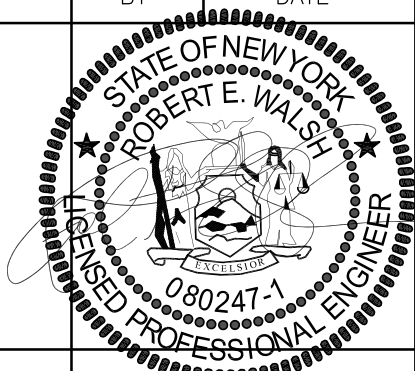
TRENCH DRAIN TYPICAL SECTIONS
SCALE: NTS

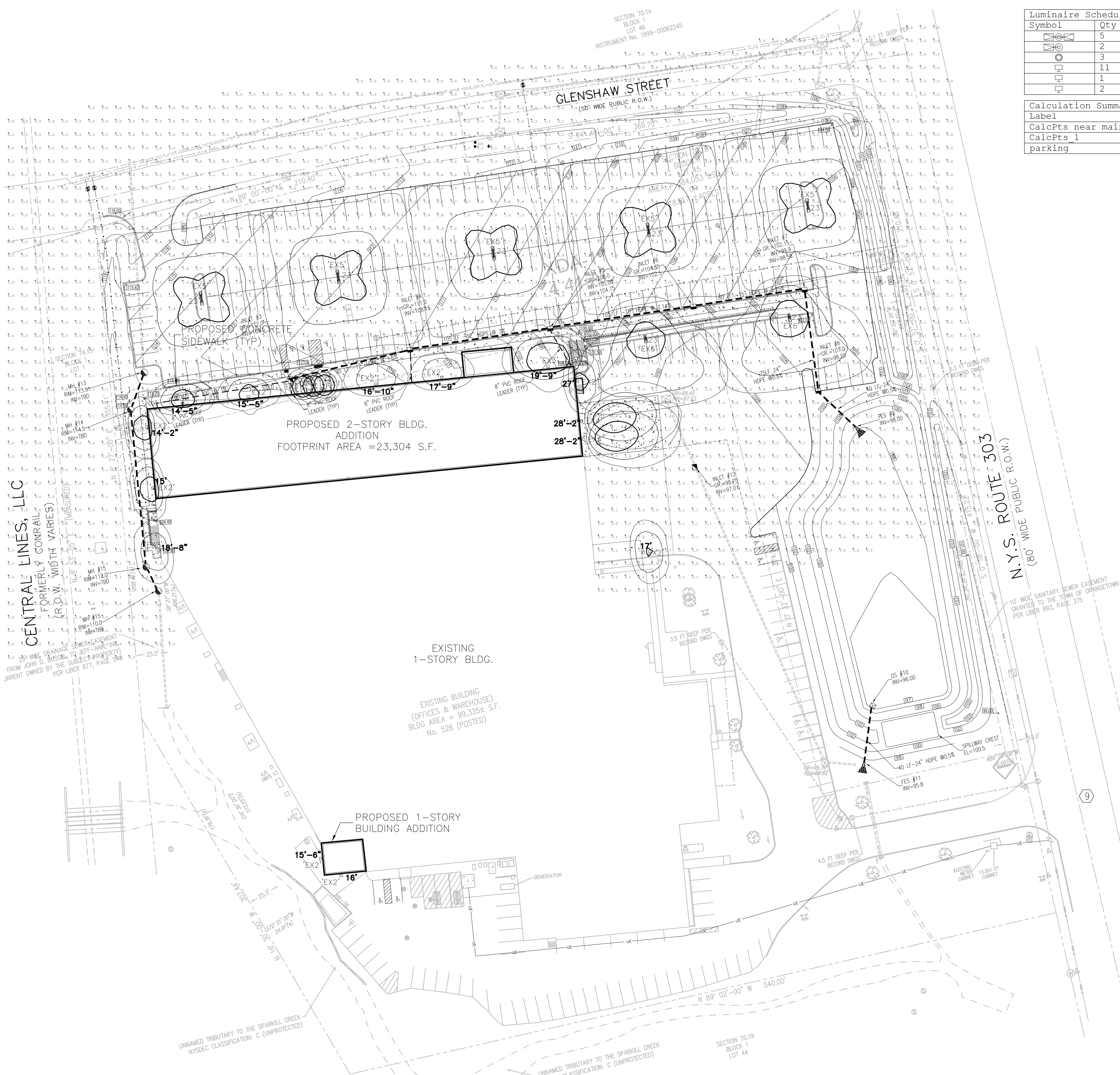
RIPRAP LOW FLOW CHANNEL SECTION
N.T.S.

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
D	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

<p>EI Associates ARCHITECTS & ENGINEERS, P.A. 8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777</p>	<p>ROBERT E. WALSH PROFESSIONAL ENGINEER NY STATE LICENSE NO. 080247-1</p>	<p>CIVIL</p>
--	---	--------------

SCALE: AS NOTED	PROJECT: INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	EIA DRAWING NO.:
DRAWN BY: [Signature]	526 ROUTE 303	C05
DESIGNED BY: [Signature]	SECTION 70.19, BLOCK 1, LOT 45	
CHECKED BY: [Signature]	TOWN OF ORANGETOWN	FILE NO. 18-816
APPROVED BY: [Signature]	ROCKLAND COUNTY NEW YORK	EIA PROJECT NO. EG 8381.00
PROJECT MANAGER: [Signature]	TITLE: DRAINAGE DETAILS	

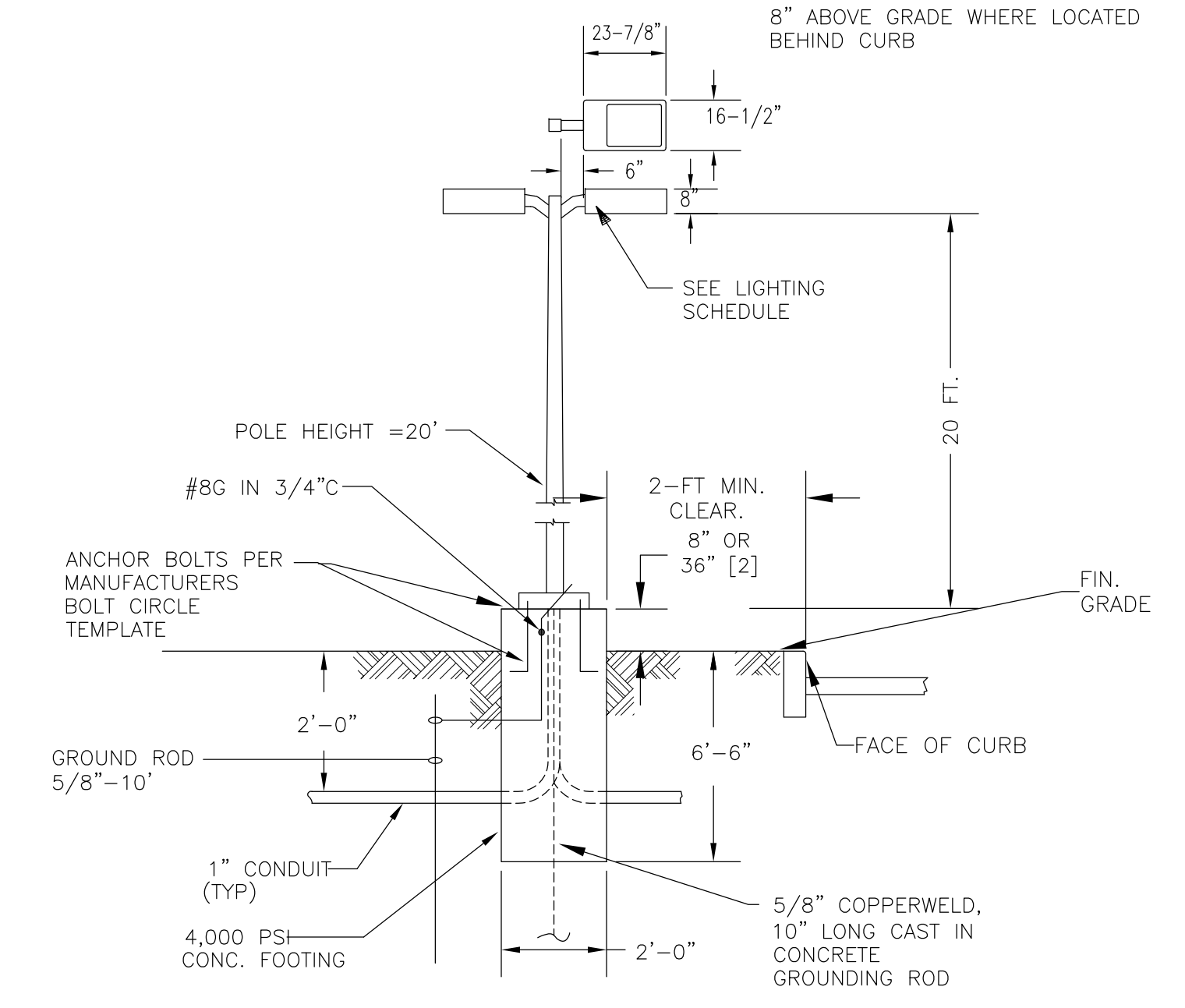




Symbol	Qty	Label	Arrangement	LLF	Description
⊗	5	A	BACK-BACK	0.925	LSI 2xMRM-LED-09L-SIL-5W-volt-DIM-40-70CRI-controls-FINISH + POLE
⊙	2	B	SINGLE	0.925	LSI MRM-LED-12L-SIL-FT-volt-DIM-40-70CRI-controls-FINISH + POLE
⊕	3	EX1	SINGLE	1.180	HEW 4DR-TL-L30-835-DIM-UNV-R-W-OF-WH-WETCC-N-F1
⊖	11	EX2	SINGLE	0.925	HEW VWMV-L20-740-T3-DBZ-SDGL-DIM-UNV
⊗	1	EX3	SINGLE	0.925	HEW VWPV-L60-740-T3-DBZ-SDGL-DIM-UNV
⊕	2	EX4	SINGLE	0.925	LSI TIFL-LED-13L-UNV-DIM-40-B2A-MOUNT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts near maintenance storage	ILLUMINANCE	Fc	0.15	2.5	0.0	N.A.	N.A.
CalcPts 1 parking	ILLUMINANCE	Fc	0.53	13.6	0.0	N.A.	N.A.
	ILLUMINANCE	Fc	1.18	3.0	0.3	3.93	10.00

- [1] CONTRACTOR SHALL SUPPLY LED LIGHT SOURCE EQUIVALENT.
- [2] FOUNDATION SHALL BE 3'-FT ABOVE GRADE IN PAVED PARKING LOTS AND 8" ABOVE GRADE WHERE LOCATED BEHIND CURB

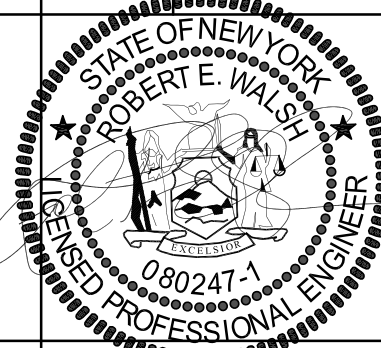


TYPICAL LIGHT POLE & FIXTURE DETAIL 1
SCALE: NTS

- LIGHTING NOTES:
- LIGHTING LAYOUT IS SCHEMATIC. FINAL LIGHTING PLAN SHALL CONFORM TO THE TOWN DESIGN CRITERIA FOR SITE LIGHTING COVERING TOTAL AVERAGE ILLUMINATION, MAXIMUM AND MINIMUM FOOTCANDLES THROUGHOUT THE PARKING AREA.
 - FIXTURE SHALL HAVE FULL CUT OFF AND BE SHIELDED FROM ADJOINING PROPERTIES.

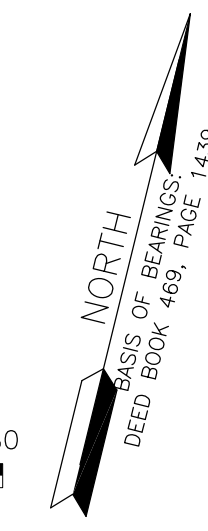
REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
ARCHITECTS & ENGINEERS, P.A.
8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777



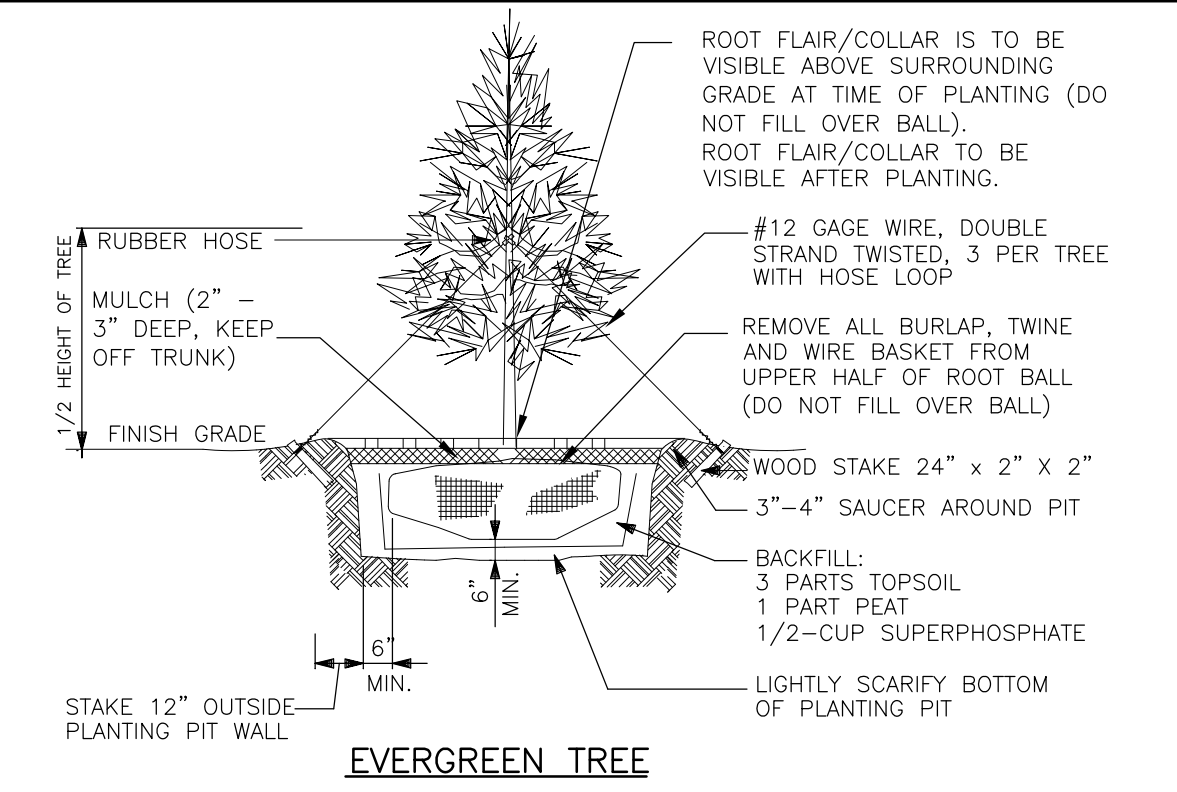
ROBERT E. WALSH PROFESSIONAL ENGINEER
NY STATE LICENSE No. 080247-1 CIVIL

SCALE	PROJECT	EIA DRAWING NO.
AS NOTED	INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	C06
DRAWN BY: MDS	526 ROUTE 303	
DESIGNED BY: RFW	SECTION 70.19, BLOCK 1, LOT 45	
CHECKED BY: RFW	TOWN OF ORANGETOWN	
APPROVED BY: RFW	ROCKLAND COUNTY NEW YORK	
PROJECT MANAGER: MDS	TITLE: SITE LIGHTING PLAN	FILE NO. 18-816
		EIA PROJECT NO. EG 8381.00

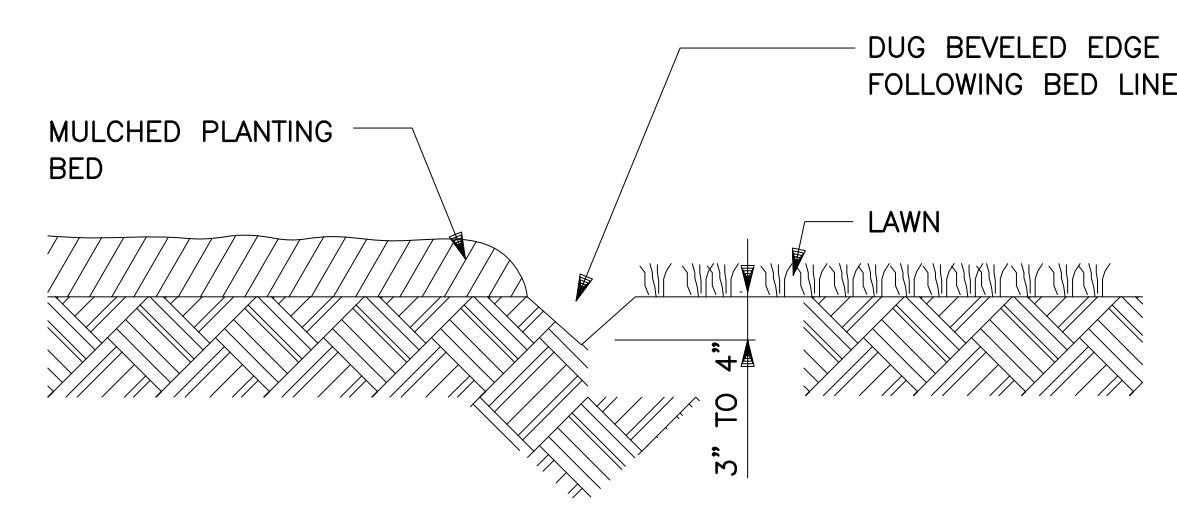




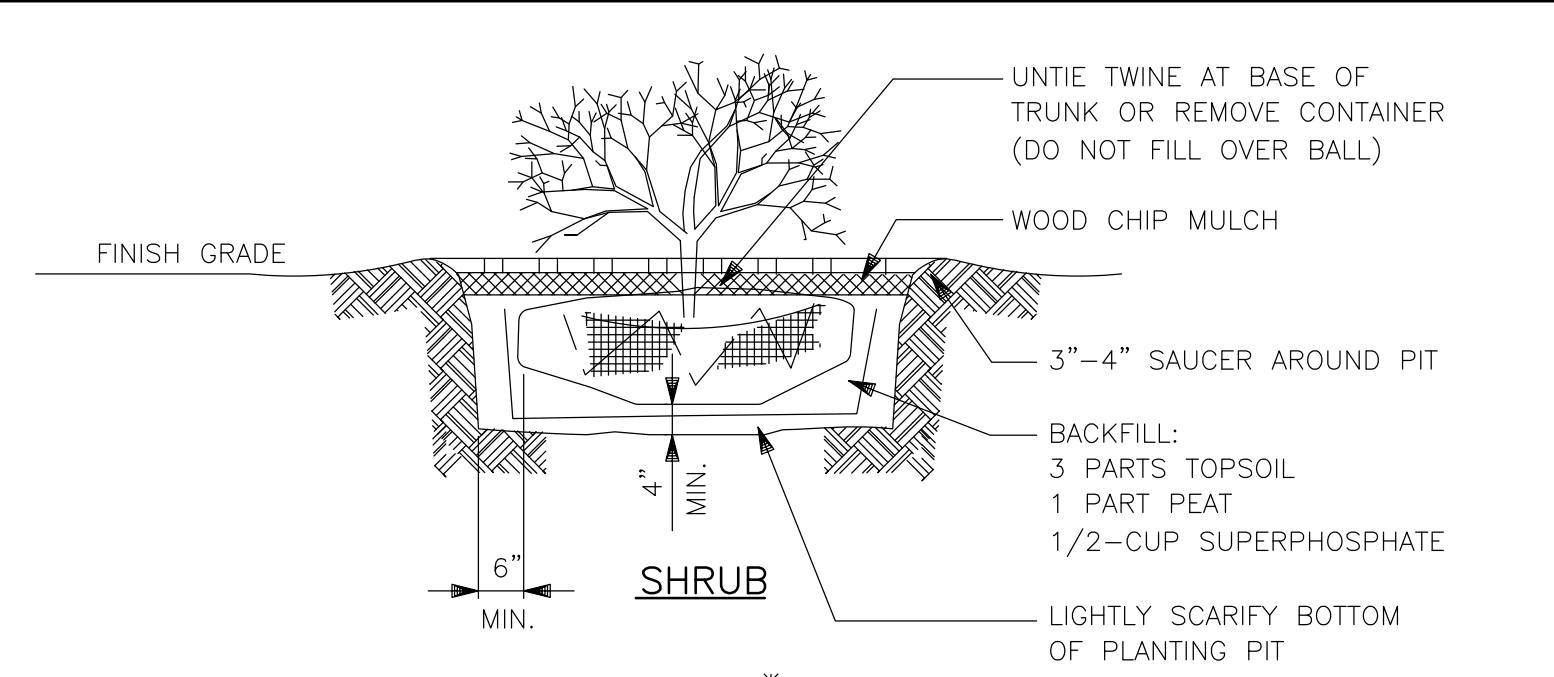
LANDSCAPE PLAN
 Scale: 1 INCH = 40 FEET



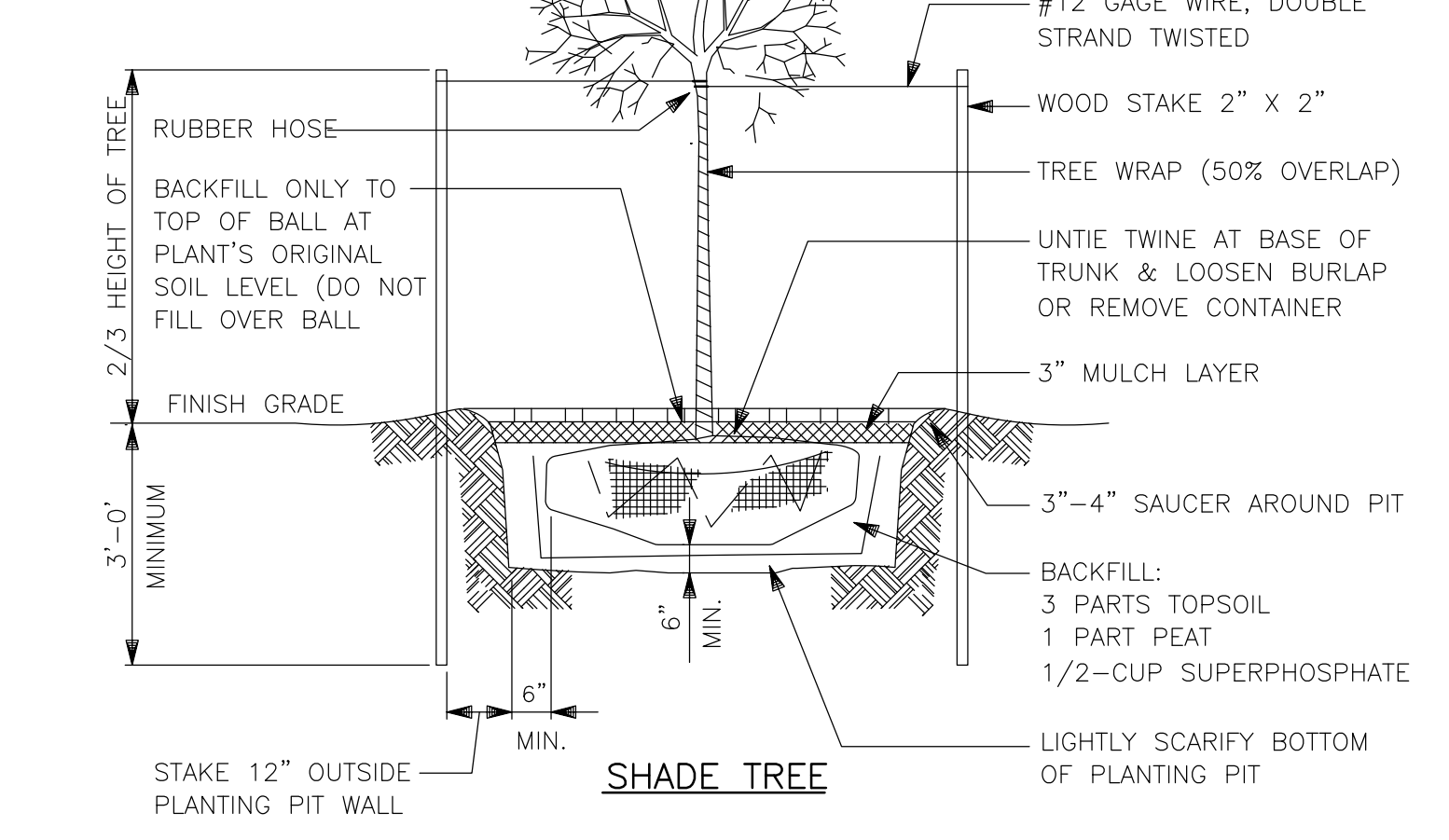
EVERGREEN PLANTING DETAIL 2
 SCALE: NTS



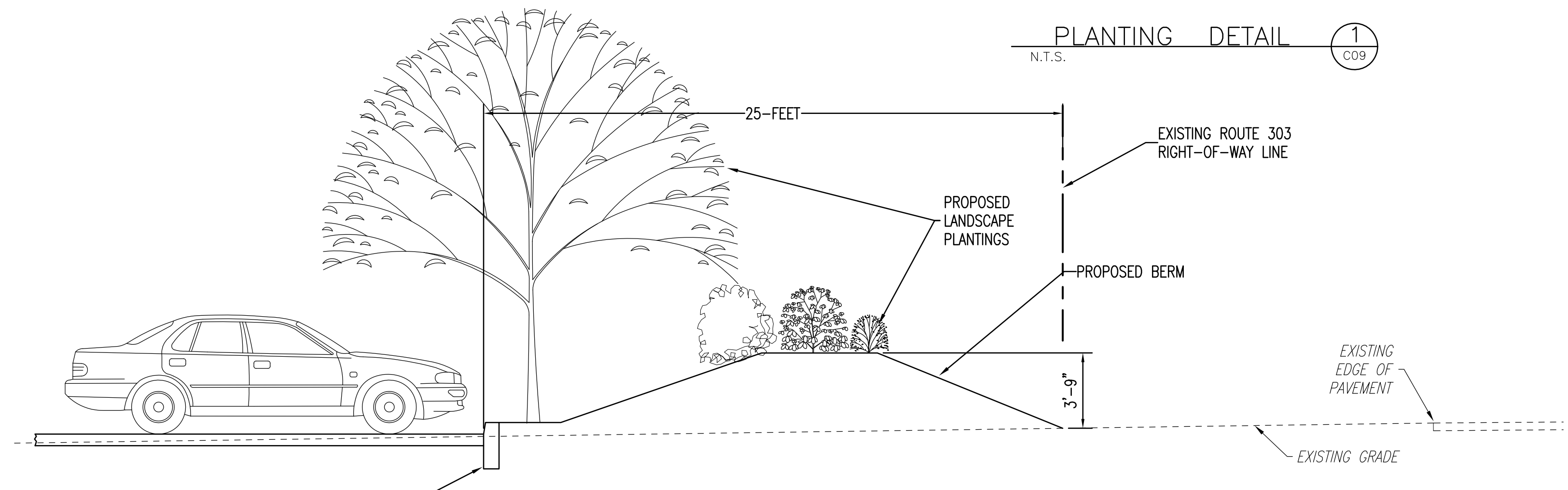
PLANTING BED EDGE DETAIL 3
 SCALE: NTS



SHRUB
 N.T.S.



SHADE TREE
 N.T.S.



LANDSCAPED BERM SECTION 4
 SCALE: 1/4" = 1'-0"

KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
TA	5	AMERICAN LINDEN, BASSWOOD	TILIA AMERICANA	3-3.5" CAL. HEIGHT= 14' TO 16', B&B
QB	9	SWAMP WHITE OAK	QUERCUS BICOLOR	3-3.5" CAL. HEIGHT= 14' TO 16', B&B
PO	3	BUTTONWOOD, SYCAMORE	PLATANUS OCCIDENTALIS	HEIGHT =10' MIN., B&B
NS	5	BLACKGUM, TUPELO	NYSSA SILVATICA	3-3.5" CAL. HEIGHT= 14' TO 16', B&B
AR	9	'OCTOBER GLORY' RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	3-3.5" CAL. HEIGHT= 14' TO 16', B&B
PA	3	NORWAY SPRUCE	PICEA ABIES	6' TALL MIN. UNLESS OTHERWISE NOTED. B & B
PL	12	SKIP LAUREL	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	6' TALL MIN. B & B
IG	73	COMPACT INKBERRY	ILEX GLABRA 'COMPACTA'	18" /#3 CAN
VR	36	LEATHER LEAF VIBURNUM	VIBURNUM RHYTIDOPHYLLUM	30"-36", B&B
RKHC	9	HINO-CRIMSON AZALEA	RHOODODENDRON KURUME X 'HINO-CRIMSON'	24", CONTAINER
RDV	3	DEL VAL AZALEA	RHOODODENDRON 'DELAWARE VALLEY WHITE'	24", CONTAINER
MS	22	MADEN GRASS	MISCANTHUS SINENSIS 'GOLD BAR'	5 GAL. CONTAINER
PAH	33	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	2 GAL. CONTAINER

LANDSCAPING NOTES:

- ALL PLANT MATERIALS SHOWN ARE AT APPROXIMATE MATURE SIZE.
- ALL PLANT MATERIALS TO BE NURSERY GROWN; TO CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO TYPE AND SIZE; AND TO BE HANDLED BY EXPERIENCED PERSONNEL, IN WAYS WHICH WILL NOT INJURE THEIR HEALTH.
- LAWN AREAS: PLACE 6" TOPSOIL OVER PREPARED SUBGRADE. FERTILIZE, SEED AND MULCH AS DESCRIBED UNDER "SUGGESTED SEEDING MIXTURES", SOIL EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS AND IN ACCORDANCE AAN STANDARDS.
- 6" LAYER SHREDED MULCH IN ALL PLANTING BED AREAS AND TREE PITS.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ALL PLANTINGS SHALL HAVE A 1-YEAR WARRANTY FROM THE DATE OF PLANTING.

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
 ARCHITECTS & ENGINEERS, P.A.
 8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777

ROBERT E. WALSH
 PROFESSIONAL ENGINEER
 NY STATE LICENSE No. 080247-1

STATE OF NEW YORK
 ROBERT E. WALSH
 LICENSED PROFESSIONAL ENGINEER
 080247-1

SCALE: AS NOTED	PROJECT: INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION	EIA DRAWING NO.:
DRAWN BY: [Signature]	526 ROUTE 303	C07
DESIGNED BY: [Signature]	SECTION 70.19, BLOCK 1, LOT 45	
CHECKED BY: [Signature]	TOWN OF ORANGETOWN	
APPROVED BY: [Signature]	ROCKLAND COUNTY NEW YORK	FILE NO. 18-816
PROJECT MANAGER: [Signature]	TITLE: LANDSCAPE PLAN & DETAILS	EIA PROJECT NO. EG 8381.00



LEGEND

- PROP. SEGMENTAL BLOCK RETAINING WALL
- PROP. CONC. SIDEWALK
- PROP. CHAIN LINK FENCE
- PROP. FLARED END SECTION & RIPRAP APRON
- PROP. STORM PIPE
- PROP. CONTOUR LINE
- PROP. LIMIT OF SOIL DISTURBANCE
- PROP. TEMPORARY SILT FENCE
- PROP. TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE PAD
- PROP. TEMPORARY ROCK FILTER BERM
- INLET PROTECTION
- CONSTRUCTION FENCE
- EROSION CONTROL MATTING
- TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE

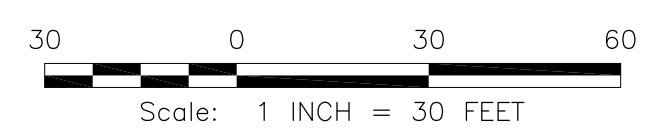
SEQUENCE OF CONSTRUCTION

1. STAKE OUT LIMITS OF CLEARING AND INSTALL CONSTRUCTION FENCE.
2. INSTALL SILT FILTER FENCE WHERE INDICATED ON PLAN.
3. INSTALL STONE STABILIZED CONSTRUCTION ENTRANCES.
4. REMOVE EXISTING TREES AND CLEAR STUMPS.
5. STRIP TOPSOIL AND STORE AT A LOCATION SUITABLE FOR REUSE TO STABILIZE DETENTION BASINS.
6. ROUGH GRADE SITE AND IMPORT CLEAN FILL IF NECESSARY TO CONSTRUCT DETENTION BASIN.
7. CONSTRUCT DETENTION BASIN, INCLUDING TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE. PERMANENT OUTFALL PIPE AND RIPRAP APRON.
8. INSTALL TEMPORARY ROCK FILTER BERMS.
9. CONSTRUCT NEW DRAINAGE PIPING AND STRUCTURES.
10. APPLY TOPSOIL, SEED AND MULCH TO DETENTION BASIN AREA.
11. INSTALL LIGHTING CONDUITS AND POLE FOUNDATIONS.
12. INSTALL CONCRETE CURBS.
13. INSTALL PAVEMENT STONE BASE AND ASPHALT PAVEMENT COURSES.
14. TOPSOIL, SEED AND MULCH ALL OTHER AREAS THAT HAVE BEEN DISTURBED.
15. INSTALL LANDSCAPE PLANTINGS.
16. STABILIZED AREAS TO RECEIVE PERMANENT STABILIZATION IMMEDIATELY UPON COMPLETION OF SUBGRADE AND TOPSOIL PLACEMENT.
17. ONCE ALL AREAS HAVE ACHIEVED FINAL STABILIZATION, REMOVE TEMPORARY SEDIMENT BASIN OUTFALL STRUCTURES AND INSTALL PERMANENT OUTFALL STRUCTURES. PERMANENTLY STABILIZED AREAS DISTURBED AS A RESULT OF INSTALLING THE PERMANENT OUTFALL STRUCTURES.
18. REMOVE EROSION CONTROL MEASURES AFTER STABILIZATION HAS MATURED AND LOCAL AGENCY HAS AUTHORIZED REMOVAL OF THE CONTROL MEASURES.

EROSION CONTROL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING TREE REMOVAL, THE APPLICANT SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT THE DEME AT LEAST 48 HOURS IN ADVANCE FOR THE INSPECTION.
2. PERMANENT VEGETATIVE COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY DAYS OF THE COMPLETION OF CONSTRUCTION.

TOTAL AREA OF SOIL DISTURBANCE= 4.5 AC.



N.Y.S. ROUTE 303
(80' WIDE PUBLIC R.O.W.)

CENTRAL LINES, LLC
FORMERLY CONRAIL
(R.O.W. WIDTH VARIES)

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

EI Associates
ARCHITECTS & ENGINEERS, PA
8 RIDGEDALE AVENUE • CEDAR KNOLLS, NJ 07927 • 973.775.7777

ROBERT E. WALSH
PROFESSIONAL ENGINEER
NY STATE LICENSE No. 080247-1

CIVIL

SCALE: AS NOTED

PROJECT: INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION
526 ROUTE 303
SECTION 70.19, BLOCK 1, LOT 45
TOWN OF ORANGETOWN

ROCKLAND COUNTY NEW YORK

TITLE: SOIL EROSION CONTROL PLAN

EIA DRAWING NO. **C08**

FILE NO. 18-816
EIA PROJECT NO. EG 8381.00

STANDARD EROSION CONTROL NOTES:

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING, AS APPLICABLE:

1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED BY UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO ENSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
2. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE EFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

DUST CONTROL NOTES:

THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE USED TO CONTROL DUST:

MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/ACRES
IONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM)-SPRAY ON	PER MANUFACT. SPEC.S	PER MANUFACT. SPEC.S	PER MANUFACT. SPEC.S
POLYACRYLAMIDE (PAM)-DRY SPREAD	NONE	COARSE SPRAY	1200

EROSION & SEDIMENT CONTROL PLAN NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (NYS STANDARD SPECIFICATIONS), AND SHALL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, AND SHALL BE INSTALLED IN THE PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND WILL NOT BE SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NYS STANDARD SPECIFICATIONS. (SEE NOTE 18 BELOW)
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. (SEE NOTE 19 BELOW)
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOIL, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 18 BELOW.
5. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER", SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BARRIERS) WILL BE INSPECTED AND MAINTAINED DAILY.
8. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE SILT FENCES PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
9. A STABILIZED CONSTRUCTION ACCESS/ENTRANCE WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
10. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORMWATER DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
13. ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO SEDIMENT FILTER AREAS. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE DEWATERING DETAIL IN STATE STANDARDS.
14. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50 %. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.

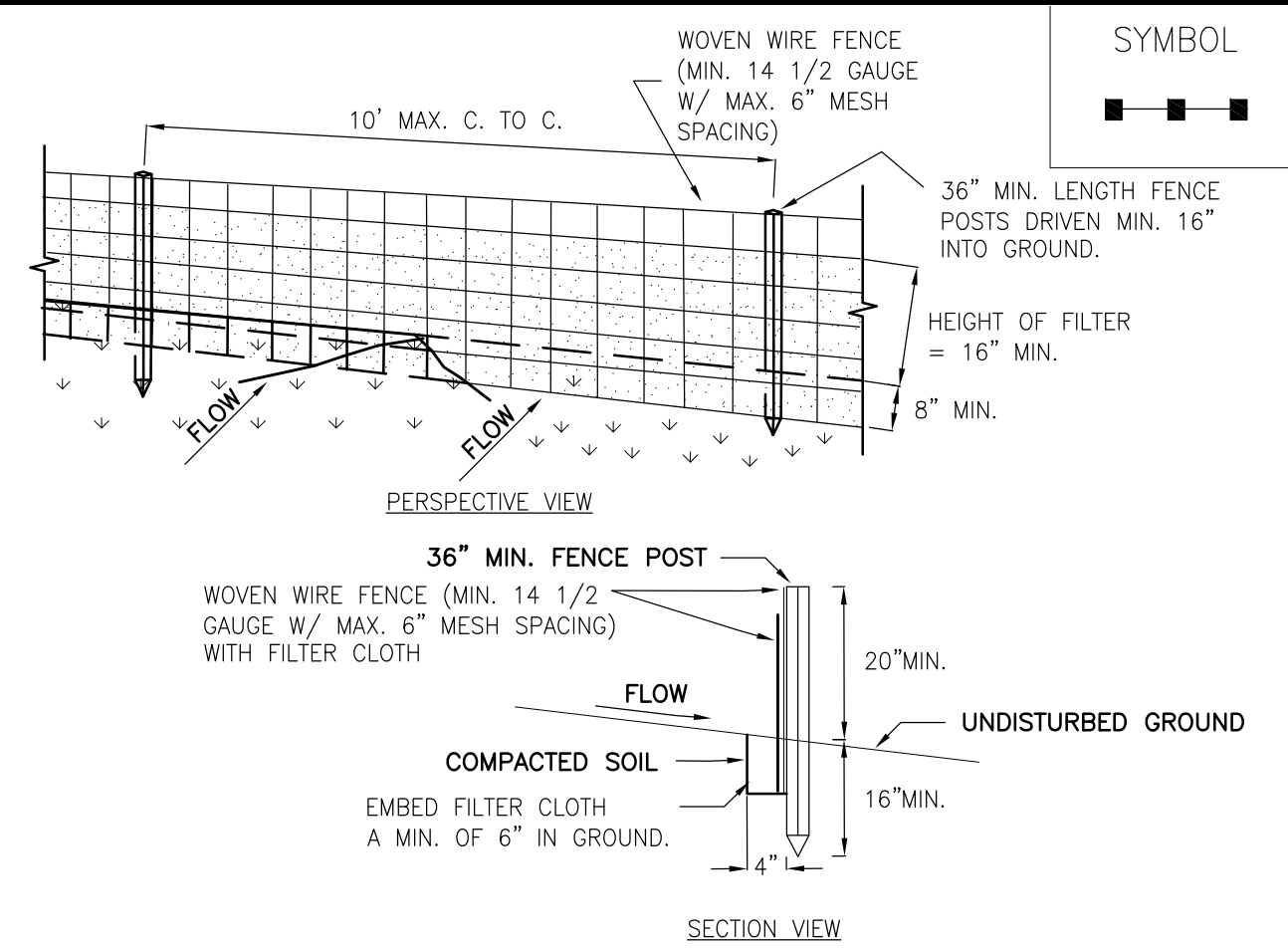
15. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER EROSION CONTROL MEASURES.

16. ALL TREES TO REMAIN ALONG THE OUTER EDGE OF THE LIMITS OF SOIL DISTURBANCE SHALL BE PROTECTED WITH TEMPORARY TREE PROTECTION FENCE.

17. TOPSOIL STOCKPILE PROTECTION:
 - A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 S.F.
 - C) APPLY PERENNIAL RYEGRASS SEED AT A RATE OF 1 LBS. PER 1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LBS. PER 1000 S.F.
 - D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 S.F.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - F) PROPERLY ENTRENCH A SILT FENCE AT BOTTOM OF STOCKPILE.

18. TEMPORARY STABILIZATION SPECIFICATIONS:
 - A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 S.F.
 - C) APPLY PERENNIAL RYEGRASS SEED AT A RATE OF 1 LBS. PER 1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LBS. PER 1000 S.F.
 - D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 S.F.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

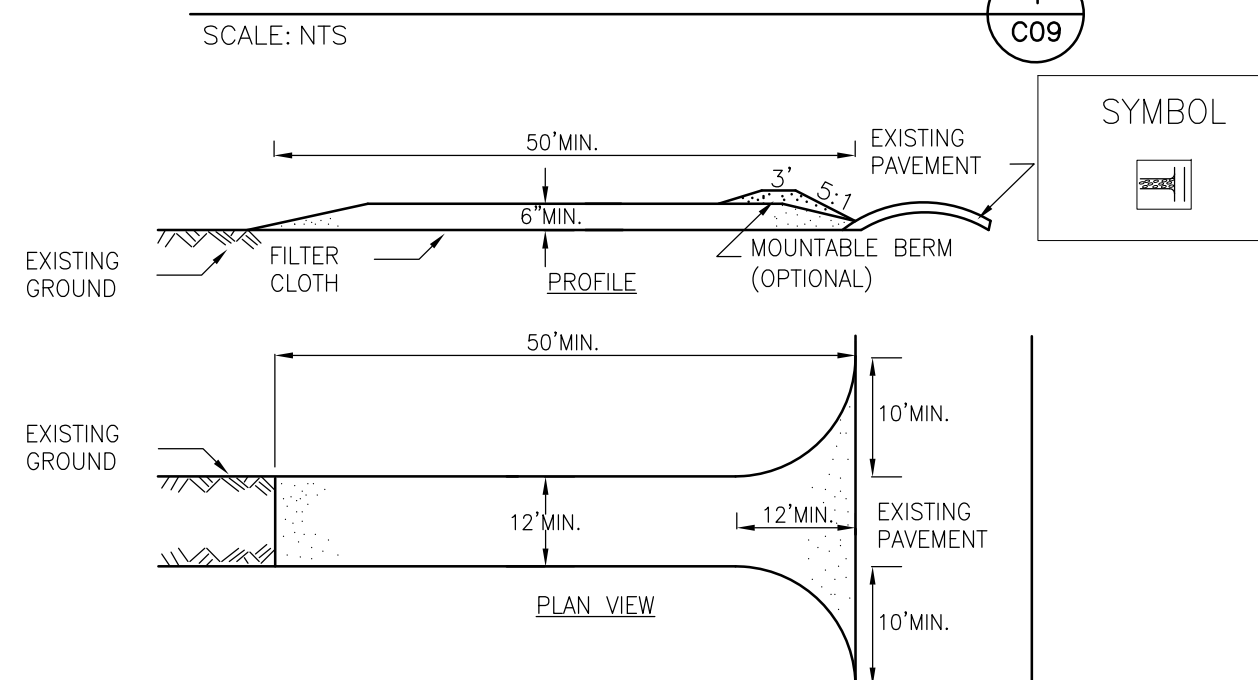
19. PERMANENT STABILIZATION SPECIFICATIONS:
 - A) APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - B) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. AND WORK FOUR INCHES INTO SOIL.
 - C) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 S.F.
 - D) APPLY HARD FESCUE SEED AT A RATE OF 2.7 LBS. PER 1000 S.F. AND CREEPING RED FESCUE AT A RATE OF 0.7 LBS. PER 1000 S.F. AND PERENNIAL RYEGRASS SEED AT A RATE OF 0.25 LBS. PER 1000 S.F.
 - E) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 S.F.
 - F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

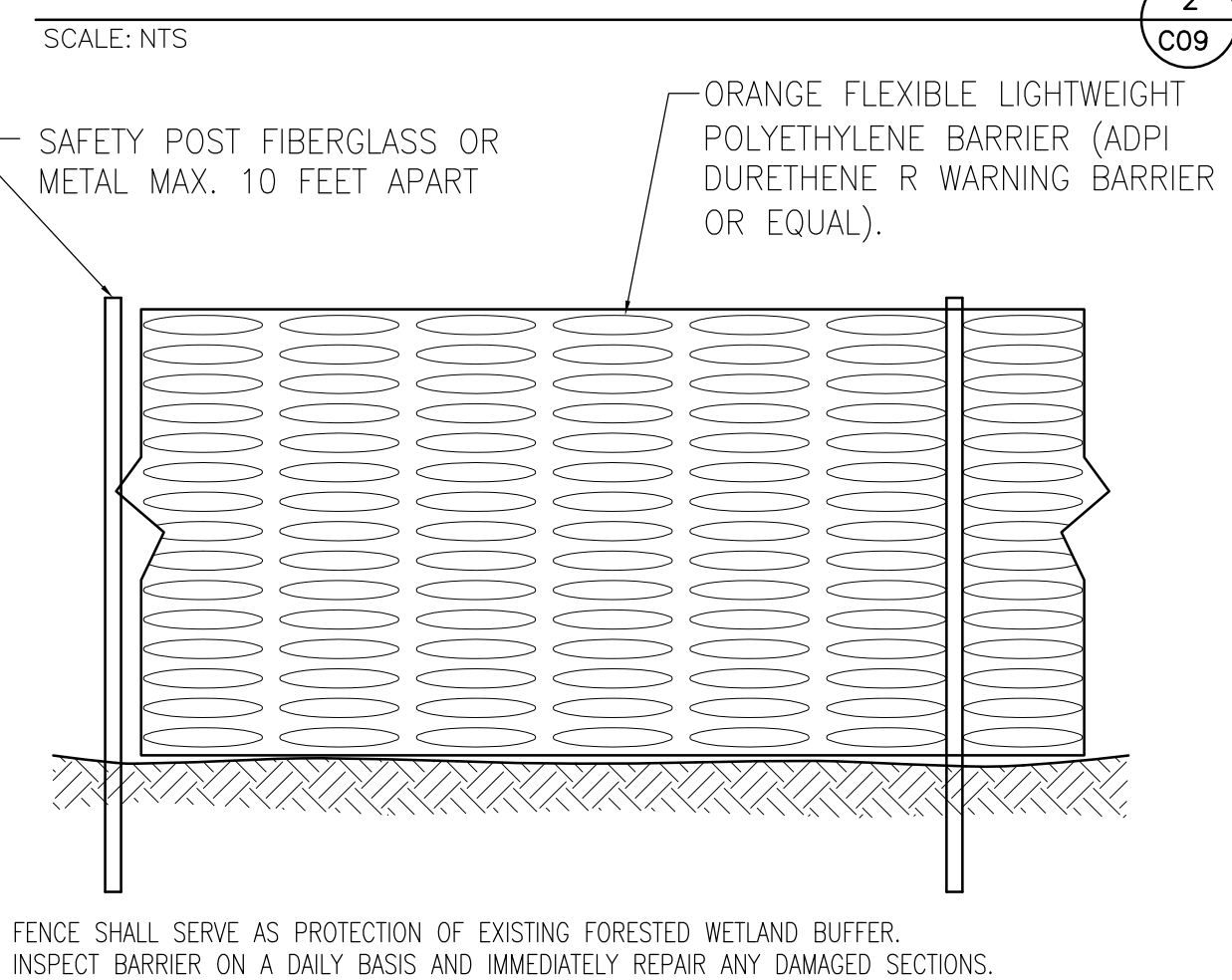
TYPICAL SILT FENCE DETAIL



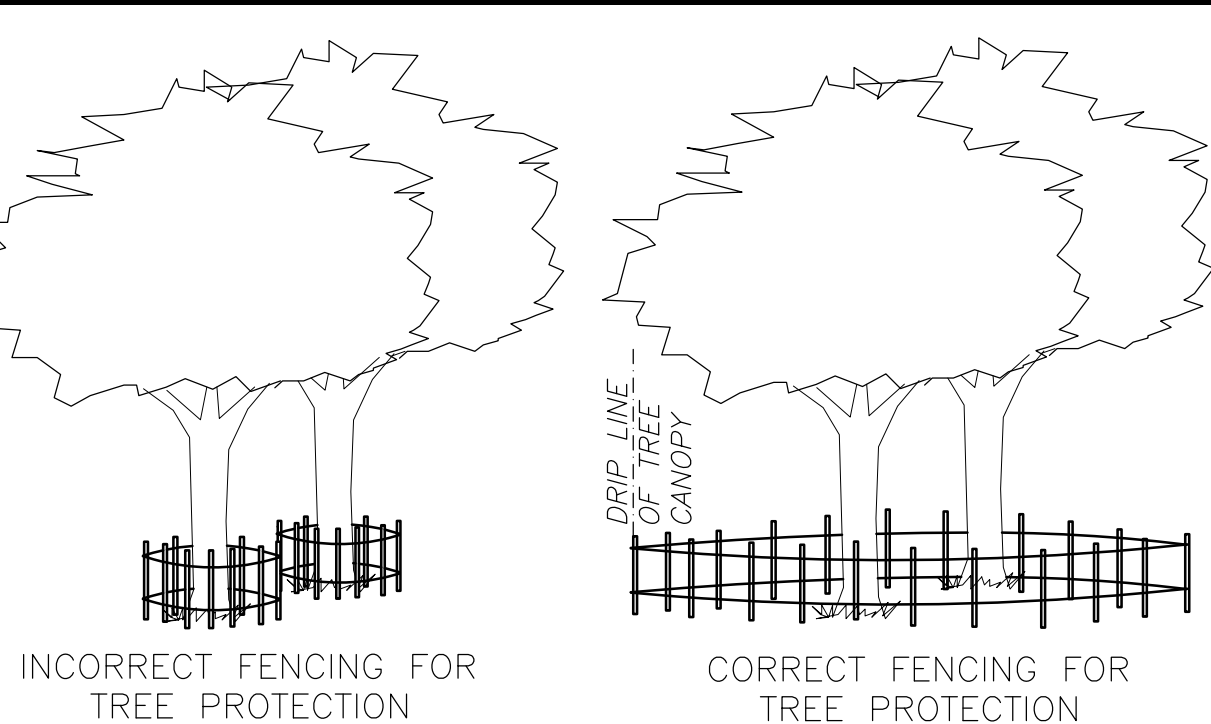
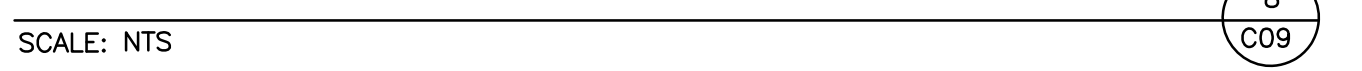
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH SHALL BE MIRAFI 100X OR APPROVED EQUAL.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED ROCK CONSTRUCTION ENTRANCE DETAIL



ORANGE CONSTRUCTION FENCE BARRIER DETAIL

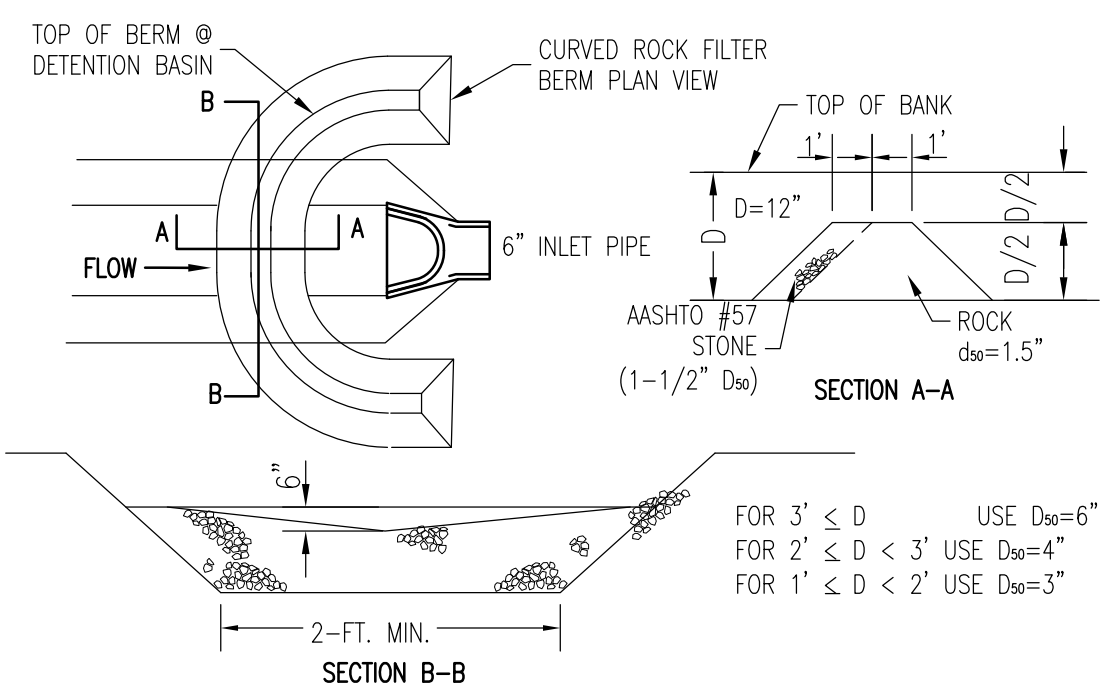


TREE PROTECTION FENCE DETAIL

TREE PROTECTION FENCE SHALL BE A 4-FT. HIGH WOOD SNOW FENCE. SLATS SHALL BE 3/8" X 1-1/2" "RED OXIDE" COLOR WOOD BINDING WIRE SHALL BE 13.5 GAUGE AT 5 EQUAL SPACES STEEL INTERMEDIATE "T" POSTS SHALL BE DRIVEN NO MORE THAN 8-FT ON CENTER TO SUPPORT FENCE MATERIAL. ALTERNATIVELY, FENCE SHALL BE ORANGE CONSTRUCTION FENCE AS PERMITTED BY VILLAGE ENGINEERING CONSULTANT.

CONSTRUCTION SPECIFICATIONS

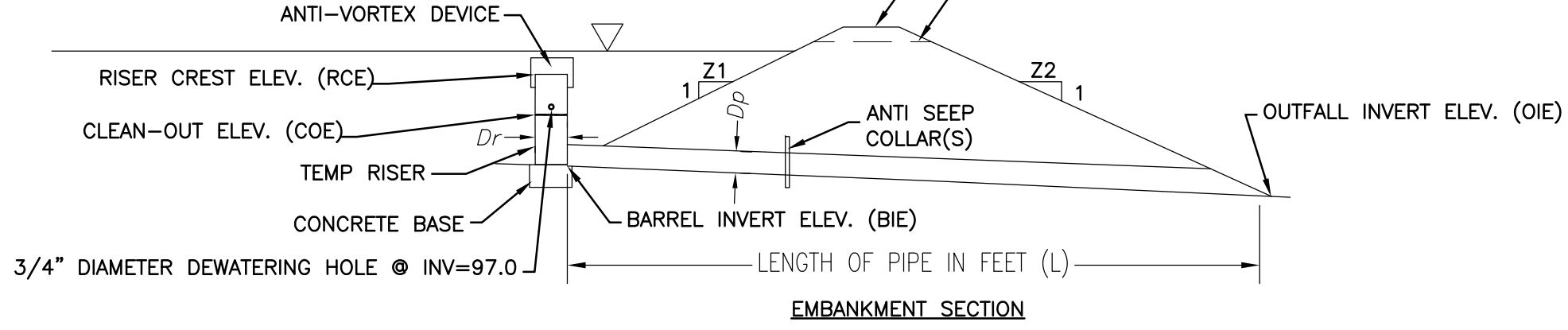
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



ROCK FILTER BERM DETAIL

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS. IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

- FOR 3' < D USE D50=6"
- FOR 2' < D < 3' USE D50=4"
- FOR 1' < D < 2' USE D50=3"

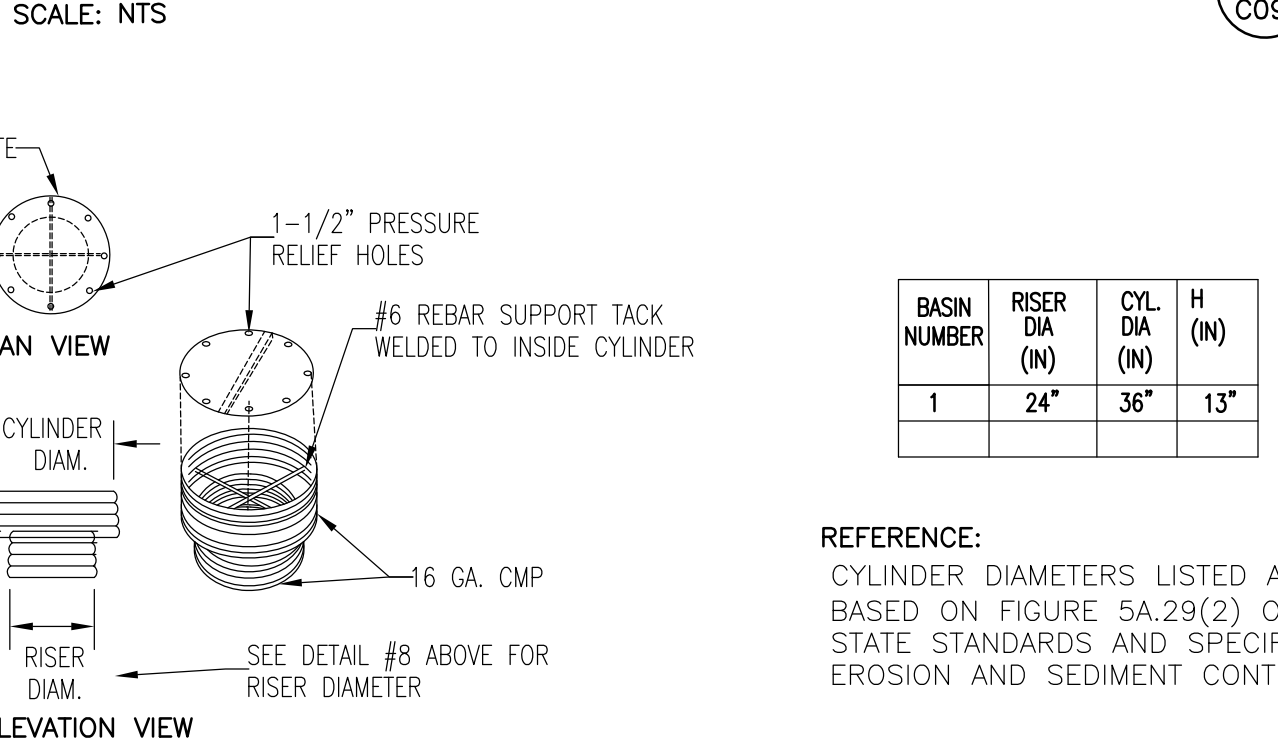


CONSTRUCTION SPECIFICATIONS

1. SEDIMENT BASINS SHALL BE KEPT FREE OF ALL TRASH, CONCRETE WASH WATER AND OTHER DEBRIS THAT POSE THE POTENTIAL FOR CLOGGING THE BASIN OUTLET STRUCTURES AND/OR POSE THE POTENTIAL FOR POLLUTION TO WATERS OF THE STATE.
2. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF A THIRD PARTY.
3. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, OR OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM LIFTS OF 12 INCHES TO A MODIFIED PROCTOR DENSITY OF 85%.

BASIN NUMBER	RISER & BARREL				EMBANKMENT/BERM				CLEAN OUT				
	DIA (N)	ELEV (FT)	RISER ELEV (FT)	BARREL DIA (N)	OUTLET ELEV (FT)	TOP ELEV (FT)	EMBANKMENT ELEV (FT)	SLOPES INT (FT)	SLOPES EXT (FT)	ELEV (FT)	ELEV (FT)		
1	24"	96.0	CMP	99.5	24"	HDPE	40.0	95.8	102.0	100.5	3	3	96.7

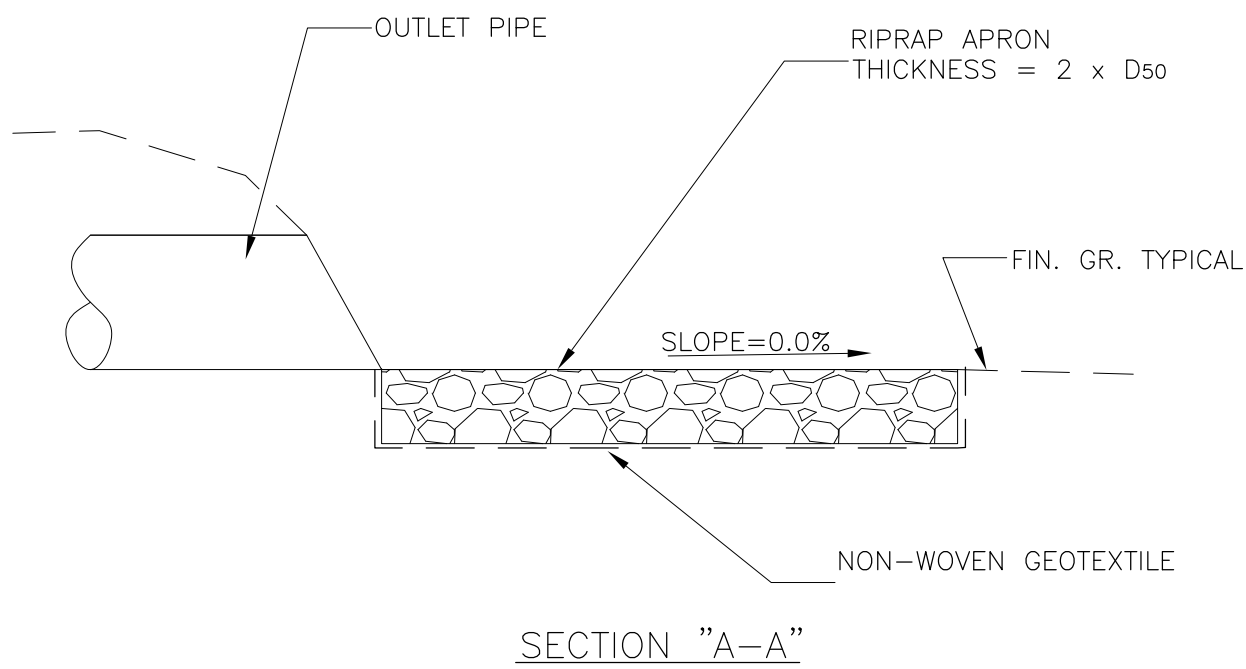
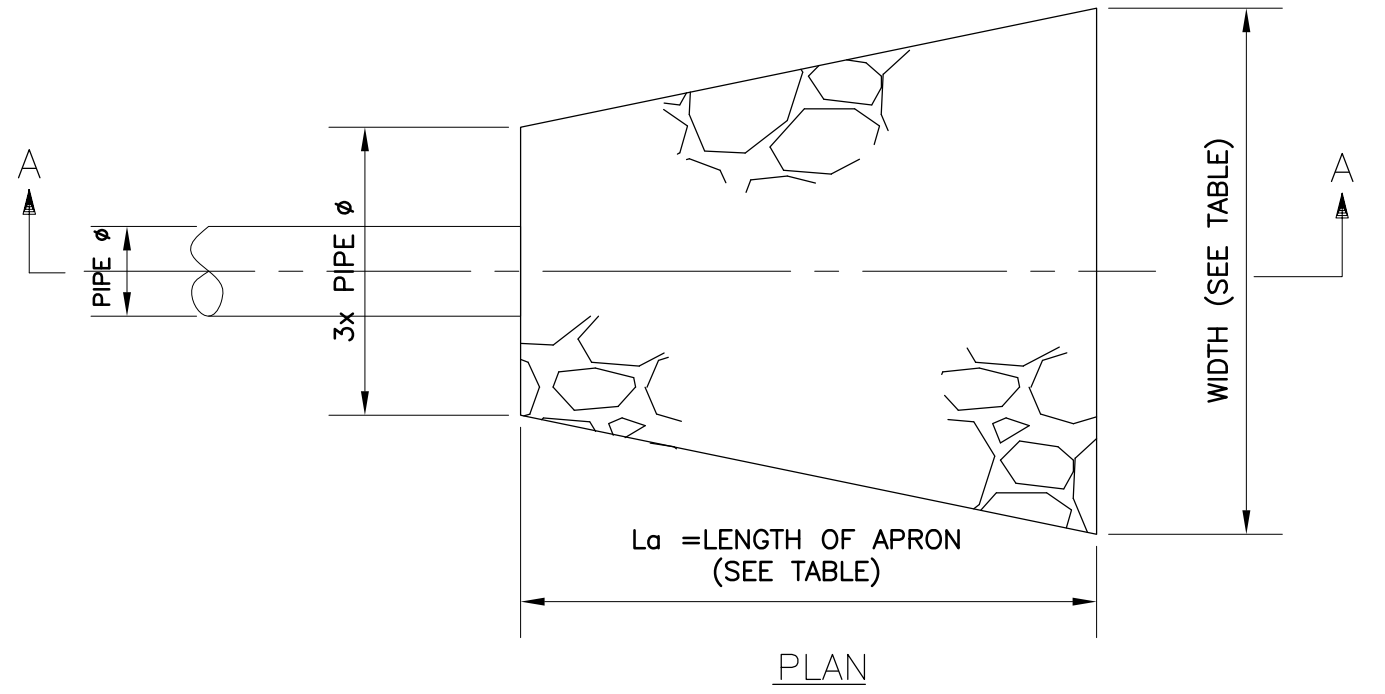
TEMPORARY SEDIMENT BASIN OUTLET PIPE DETAIL



BASIN NUMBER	RISER DIA (N)	CYL DIA (N)	H (N)
1	24"	36"	13"

REFERENCE: CYLINDER DIAMETERS LISTED ABOVE ARE BASED ON FIGURE 5A.29(2) OF THE NY STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

TEMPORARY CONCENTRIC TRASH RACK & ANTI-VORTEX DEVICE



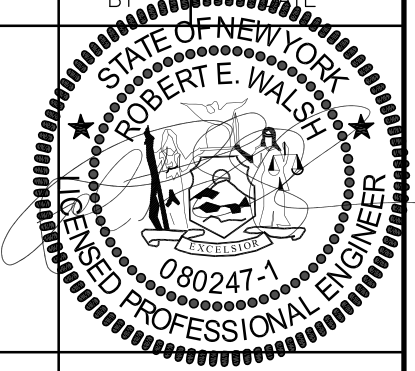
PIPE OULET PROTECTION DETAIL

STRUCTURE NO.	PIPE DIAM. (FT.)	D50 (IN.)	APRON THICKNESS (IN.)	APRON WIDTH (FT.)	APRON LENGTH (FT.)
FES #11	2.0	6	12	13	10

REV	REVISION DESCRIPTION	BY	DATE
H	REVISE PER PRELIMINARY SP APPROVAL, ISSUE FOR FINAL SP APPROVAL	WG	25 FEB 20
O	ISSUED FOR BID AND CONSTRUCTION	WG	30 JAN 20
G	ADD EXISTING DIMENSIONS, M&B DIMS AND EASEMENTS TO C02	WG	23 AUG 19
F	ADD BUILDING SETBACK DIMENSIONS	WG	21 AUG 19
E	ISSUE FOR ZONING BOARD APPROVAL	WG	9 AUG 19
D	ADD CONTOURS TO LANDSCAPE PLAN	WG	24 JUL 19
C	ADD LANDSCAPE BERM AT NORTHEAST CORNER OF SITE	WG	19 JUL 19
B	PREPARE PHASING PLAN C10	WG	10 JUN 19
A	ISSUE PLANNING BOARD APPROVAL	WG	10 APR 19

SCALE	AS NOTED	PROJECT	INSTRUMENTATION LABORATORY BUILDING & PARKING ADDITION
DRAWN BY:	AS NOTED		526 ROUTE 303
DESIGNED BY:	AS NOTED		SECTION 70.19, BLOCK 1, LOT 45
CHECKED BY:	AS NOTED		TOWN OF ORANGETOWN
APPROVED BY:	AS NOTED	ROCKLAND COUNTY	NEW YORK
PROJECT MANAGER:	AS NOTED	TITLE	EROSION CONTROL DETAILS & NOTES

ROBERT E. WALSH	PROFESSIONAL ENGINEER NY STATE LICENSE No. 080247-1	CIVIL
EIA DRAWING NO.	C09	
FILE NO.	18-816	
EIA PROJECT NO.	EG 8381.00	



EI Associates
ARCHITECTS & ENGINEERS, P.A.
8 RIDGEDALE AVENUE • CEDAR KNOLLS NJ 07927 • 973.775.7777