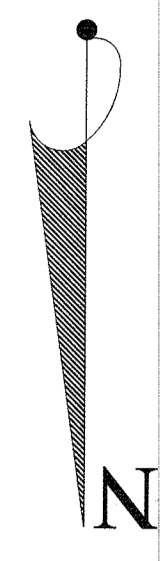


CONSTRUCTION LEGEND

	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL - SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR



HAWK'S VIEW LOT 4
 South Boulevard
 UPPER GRANDVIEW,
 N.Y. 10960

KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

**FIRST & SECOND FLOOR
 PLAN**



SCALE AS SHOWN
 DATE AUGUST 3, 2020
 JOB NO. 202026
 REVISIONS:

SHEET NO.

A-2

1 FIRST FLOOR PLAN
 A2 1/4" = 1 FOOT

FIRST FLOOR AREA 1460 GSF
 SECOND FLOOR AREA 2000 GSF
 GARAGE FLOOR AREA 986 GSF
 PORCH AREA 118 GSF
 TOTAL FLOOR AREA FOR FAR 5,056 GSF

1PFT CEILING AT FIRST FLOOR

DECK
 IPE DECKING

FOYER
 OPEN ABOVE

FAMILY ROOM
 1920-6

LIVING ROOM
 1419-3

BREAKFAST AREA

KITCHEN

DINING ROOM
 1419-3

MUDROOM

PANTRY

BATH

UTILITY

CLOSET

CLOSET

CLOSET

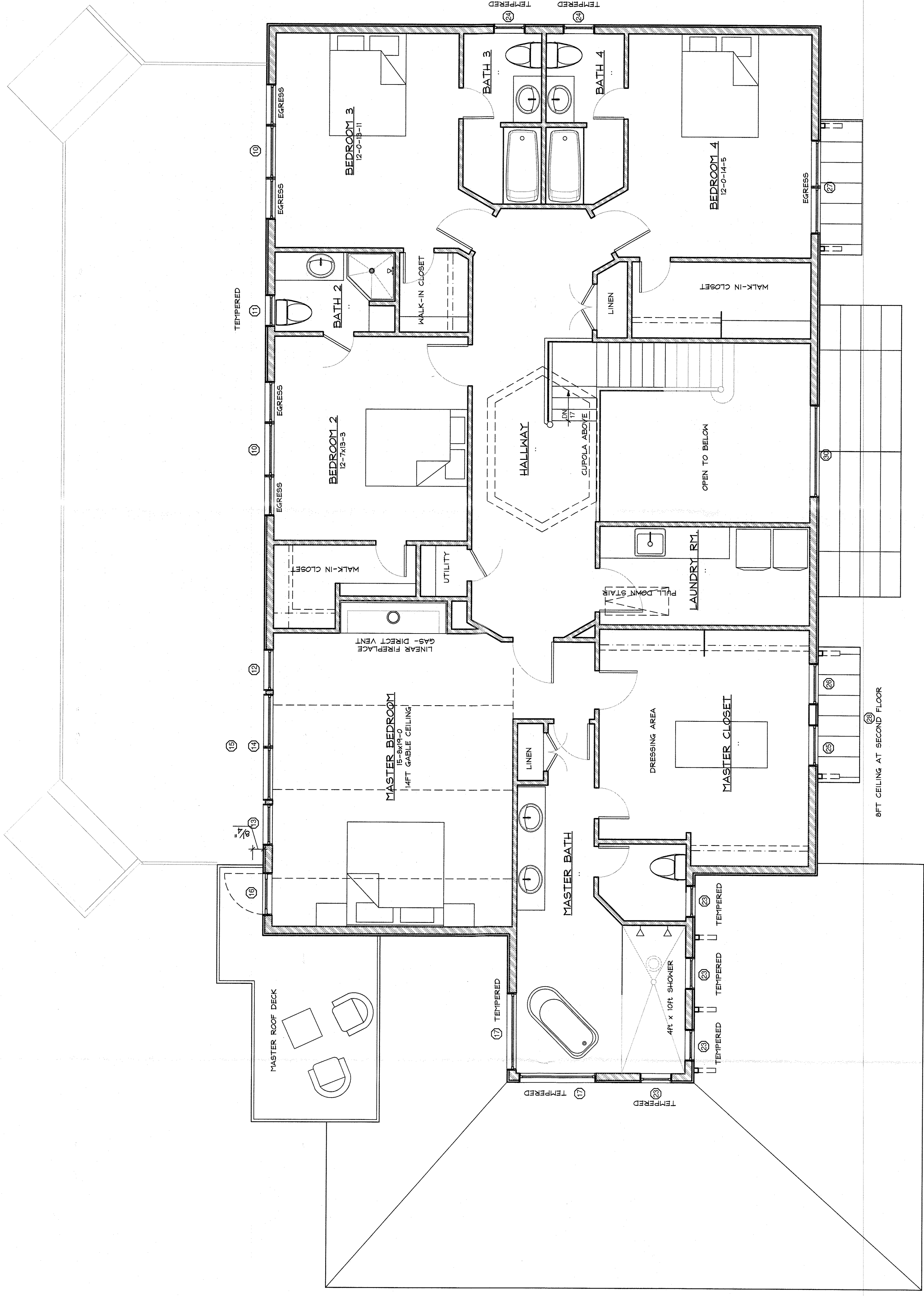
CLOSET

CLOSET

CLOSET

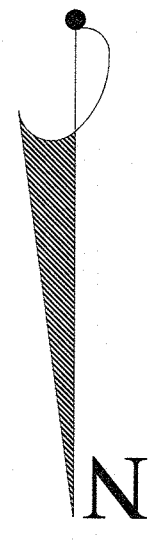
CLOSET

CLOSET



CONSTRUCTION LEGEND

	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL SEE NOTES THIS SHEET
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	HARDWIRED SMOKE DETECTOR



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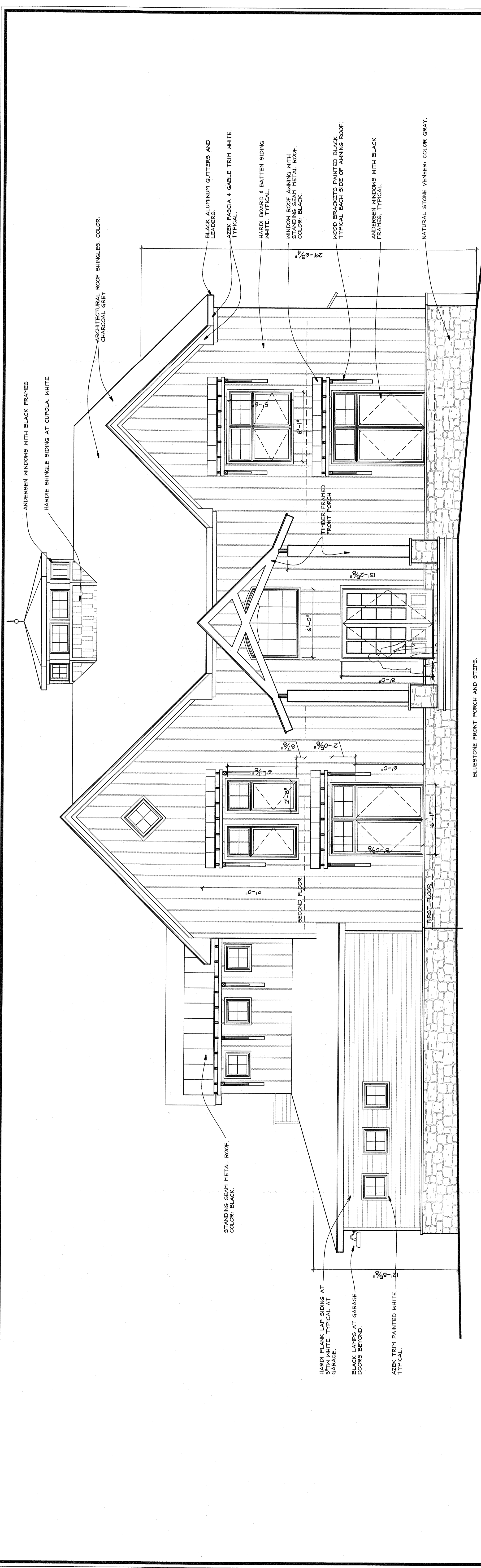
NY LICENSE # 15938

SECOND FLOOR PLAN

SCALE AS SHOWN
 DATE AUGUST 3, 2020
 JOB NO. ACABOR
 REVISIONS: SHEET NO.

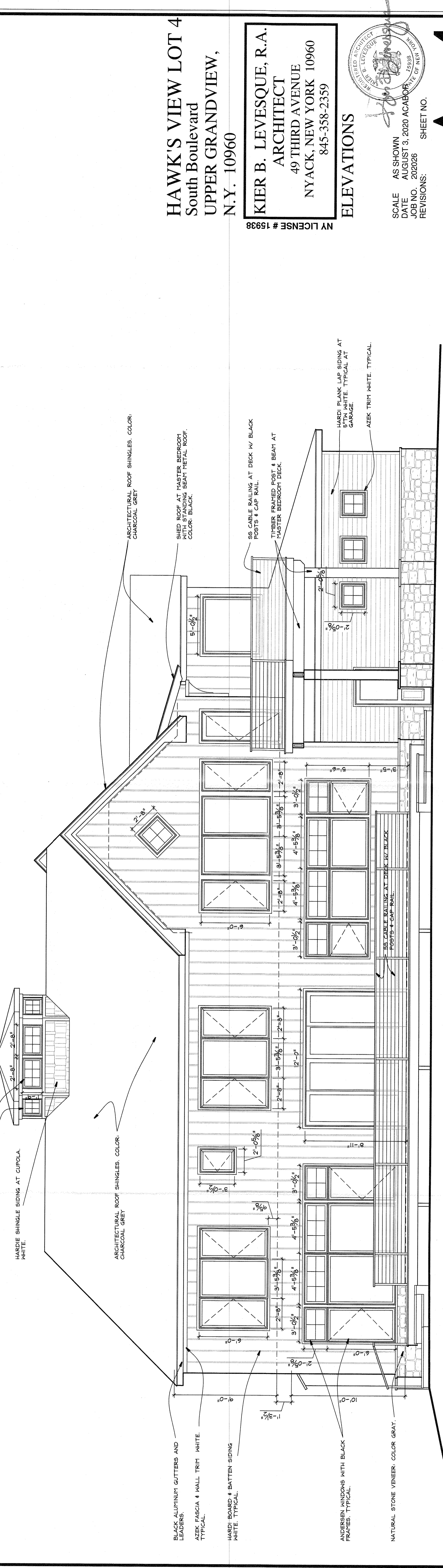
1 SECOND FLOOR PLAN
 A3 1/4" = 1 FOOT

A-3



BLUESTONE FRONT PORCH AND STEPS.

A STREET/ WEST ELEVATION
 1/4" = 1 FOOT



B RIVER/ EAST ELEVATION
 1/4" = 1 FOOT

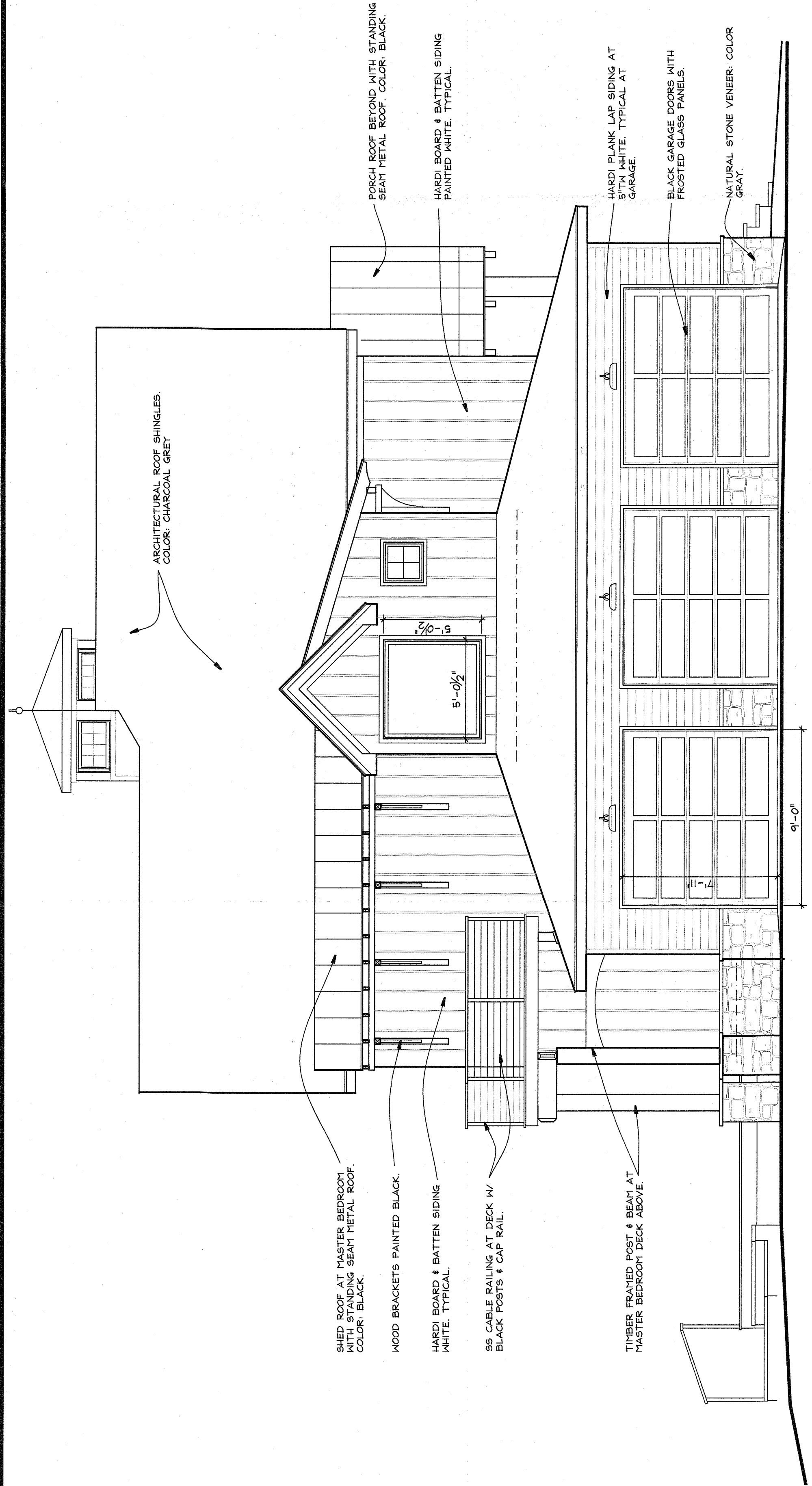
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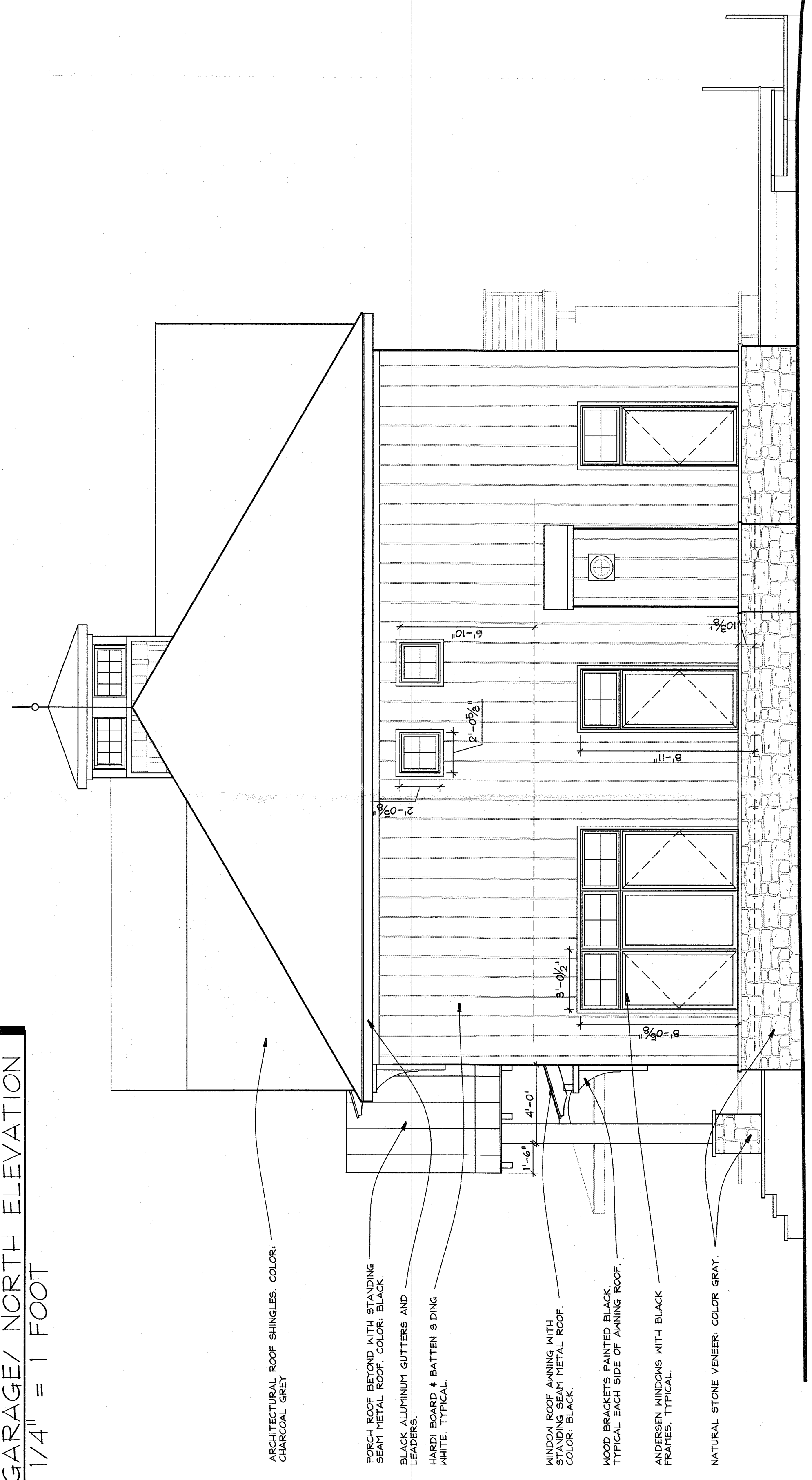
ELEVATIONS

SCALE AS SHOWN
 DATE AUGUST 3, 2020 ACABOR 25938
 JOB NO. 202026
 REVISIONS:
 SHEET NO.

A-4



C GARAGE/ NORTH ELEVATION
 A5 1/4" = 1 FOOT



D SOUTH ELEVATION
 A5 1/4" = 1 FOOT

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ELEVATIONS

SCALE AS SHOWN
 DATE AUGUST 3, 2020
 JOB NO. ACABOR 23939
 REVISIONS:
 SHEET NO.

A-5