

VICINITY MAP

SCALE: 1 IN = 100 FT.

— DENOTES FIRE HYDRANT LOCATION

DRAWING LIST

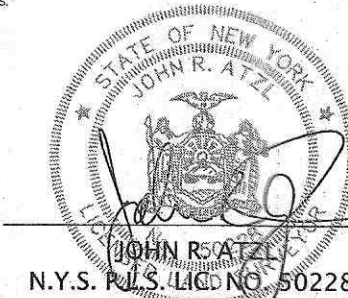
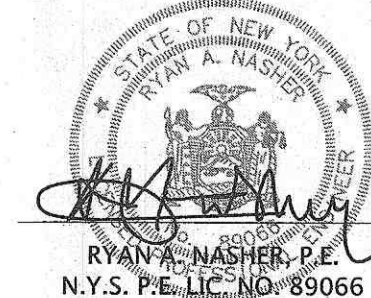
| DRAWING No. | TITLE |
|-------------|-----------------------------------|
| DRAWING 1 | EXISTING SITE |
| DRAWING 2 | SITE DEVELOPMENT PLAN |
| DRAWING 3 | PROPOSED RETAINING WALL PLAN |
| DRAWING 4 | EROSION AND SEDIMENT CONTROL PLAN |

LEGEND

| | |
|-------------|--------------------------------------|
| --- 362 --- | EXISTING 2' CONTOUR |
| --- 360 --- | EXISTING 10' CONTOUR |
| □ CBG | EXISTING CATCH BASIN GRATE |
| + 360.0 | EXISTING SPOT ELEVATION |
| ○ 3UP | EXISTING UTILITY POLE |
| —○—○—○— | EXISTING WOOD FENCE |
| ==== | EXISTING RAILROAD TIE RETAINING WALL |

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 4, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATION INDICATED HERE ON SIGNED THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED HEREON AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.



ACASD
file 7/23/2020

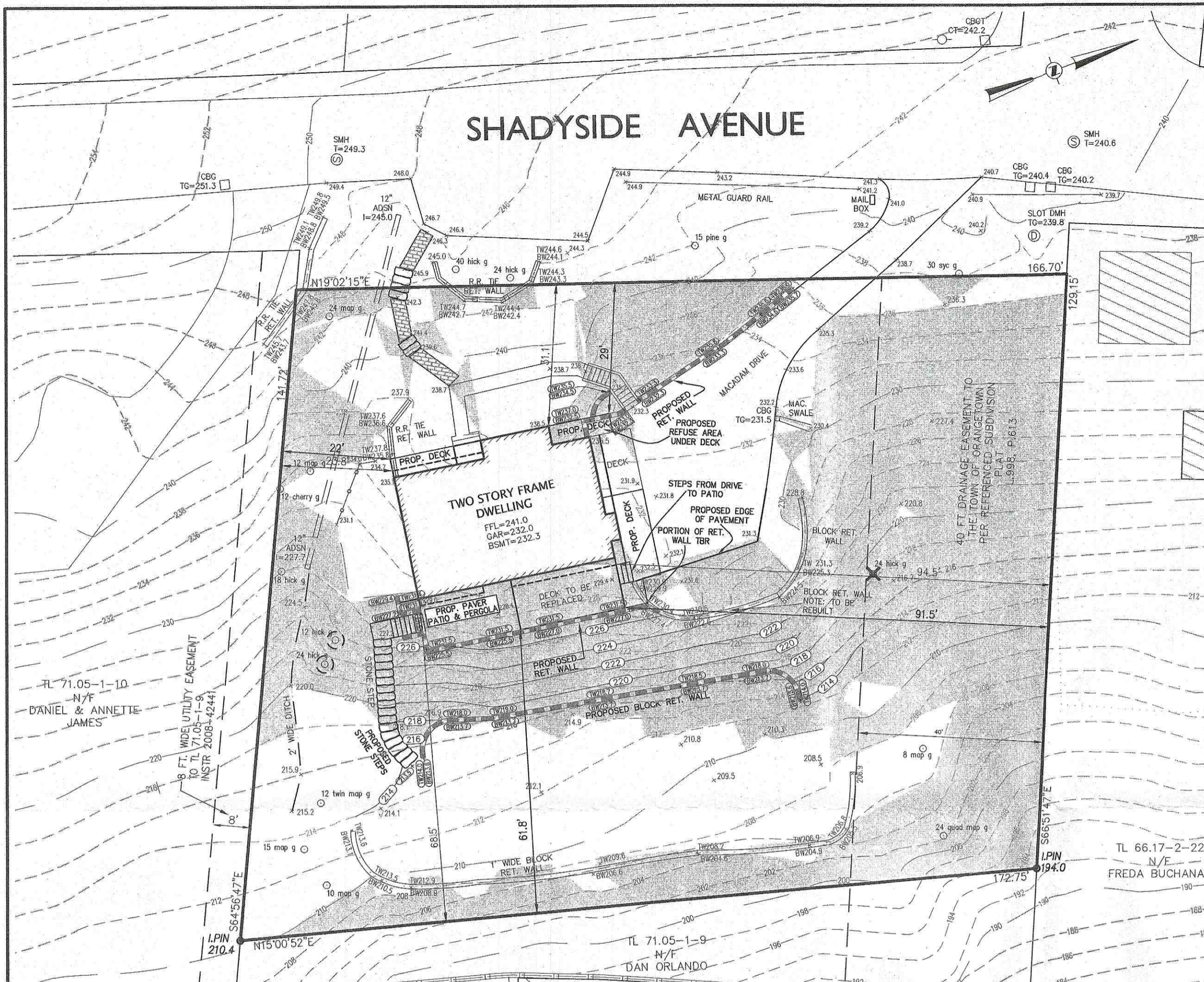
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| 5 | 7-2-20 | REMOVE PROP. GARAGE & EAST RET. WALL |
| 4 | 2-10-20 | RESUBMISSION |
| 3 | 8-29-19 | ADD PROPOSED FINISHED GRADES |
| 2 | 7-18-19 | REVISED SUBMISSION |
| 1 | 6-16-17 | REV. BULK TABLE FOR ZBA SUBMISSION |

AN&Z
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PROJECT: **MANDELL RESIDENCE**
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **EXISTING SITE**

| | |
|-------------------------|-----------------------|
| DRAWN BY: LF | CHECKED BY: JRA |
| DATE: APRIL 17, 2017 | SCALE: 1 IN. = 20 FT. |
| PROJECT NO: 4326 | DRAWING NO: 1 |



- NOTES:**
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FOLLOW UNDERGROUND UTILITIES CALL CENTER GUIDELINES.
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
 - LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
 - DATUM: U.S.G.S.—BENCHMARK—CBG WEST SIDE ROUTE 9W, 75± FT. SOUTH OF SITE.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
 - DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
 - ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH TO BE INSTALLED AFTER FINAL GRADING. SAID PINS SHOWN THIS:
 - THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
 - TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR THE CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFURNISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCH WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PERMANENT VEGETATION COVER SPECIFICATIONS:
LAWN AREA — PER 1,000 S.F.
15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
70 LBS. GRANULATE LIMESTONE
4 LBS. SEED MIXTURE
40% KENTUCKY BLUE
40% RED FESCUE
20% PERENNIAL RYEGRASS
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-1.6M OF THE GENERAL MUNICIPAL LAW.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

- 2. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:**
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
LIGHT TO HEAVY IMPACTS — MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
LIGHT IMPACTS ONLY — INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- 2. ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.**
- 2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.**

LOT AREA CALCULATION:

| GROSS AREA | - 50% OF 25%+ SLOPE | NET AREA |
|----------------|---------------------|----------------|
| 22,790 SQ. FT. | 6,300 SQ. FT. | 16,490 SQ. FT. |

OWNER & APPLICANT
EDUARD MANDELL
26 SHADYSIDE AVE.
NYACK, NY 10960

TAX MAP REFERENCE
TOWN OF ORANGETOWN
SECTION 71.05, BLOCK 1, LOT 8

LOT AREA:
22,790 SQ. FT. (GROSS)
(NET)

SUBDIVISION REFERENCE:
SUBDIVISION ENTITLED "MARK VANDERBILT" FILED IN ROCKLAND COUNTY CLERK'S OFFICE ON FEBRUARY 20, 1973, BOOK 85, PAGE 26, MAP NO. 4373.

- SLOPE LEGEND:**
- SLOPE = 25%+
- TREE LEGEND**
- NOTES TREE TO REMAIN
 - ✗ NOTES TREE TO BE REMOVED
 - ⊙ NOTES TREE PROTECTION

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PROJECT:

MANDELL RESIDENCE

**TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK**

TITLE:

SITE DEVELOPMENT PLAN

| | |
|----------------------|-----------------------|
| DRAWN BY: LF | CHECKED BY: JRA |
| DATE: APRIL 17, 2017 | SCALE: 1 IN. = 20 FT. |
| PROJECT NO: | DRAWING NO: |
| 4326 | 2 |

BULK REQUIREMENTS:

| ZONE R-22 USE GROUP "1" | REQUIRED | EXISTING | PROPOSED |
|--------------------------|---------------------------------------|--------------------------------------|--------------------------------------|
| MAXIMUM FLOOR AREA RATIO | 0.20 | 0.15 | 0.15 |
| MINIMUM LOT AREA | 22,500 SQ.FT. | 22,790 SQ.FT. G 16,490 SQ.FT. N * | 22,790 SQ.FT. G 16,490 SQ.FT. N * |
| MINIMUM LOT WIDTH | 125 FT. | 166 FT. | 166 FT. |
| MINIMUM STREET FRONTAGE | 75 FT. | 168 FT. | 168 FT. |
| MINIMUM FRONT YARD | 40 FT. | 31.1 FT. * | 29 FT. ** |
| MINIMUM SIDE YARD | 25 FT. | 23.8 FT. * | 22 FT. ** |
| MINIMUM TOTAL SIDE YARD | 60 FT. | 119.1 FT. | 113.5 FT. |
| MINIMUM REAR YARD | 45 FT. | 61.8 FT. | 70 FT. GARAGE |
| MAXIMUM BUILDING HEIGHT | 9 IN. FT. FROM DESIGNATED STREET LINE | 29 FT. | 29 FT. TO HIGHEST POINT OF ROOF |

* EXISTING NON-COMFORMING
** VARIANCE GRANTED BY ZONING BOARD OF APPEALS ON JUNE 17, 2020, AS ZBA#20-25.

- DISTRICTS:**
- SCHOOL DISTRICT — NYACK UNION FREE SCHOOL DISTRICT
 - FIRE DISTRICT — UPPER GRANDVIEW
 - WATER DISTRICT — UPPER GRANDVIEW
 - SEWER DISTRICT — ORANGETOWN SEWER DISTRICT
 - LIGHTING DISTRICT — UPPER GRANDVIEW

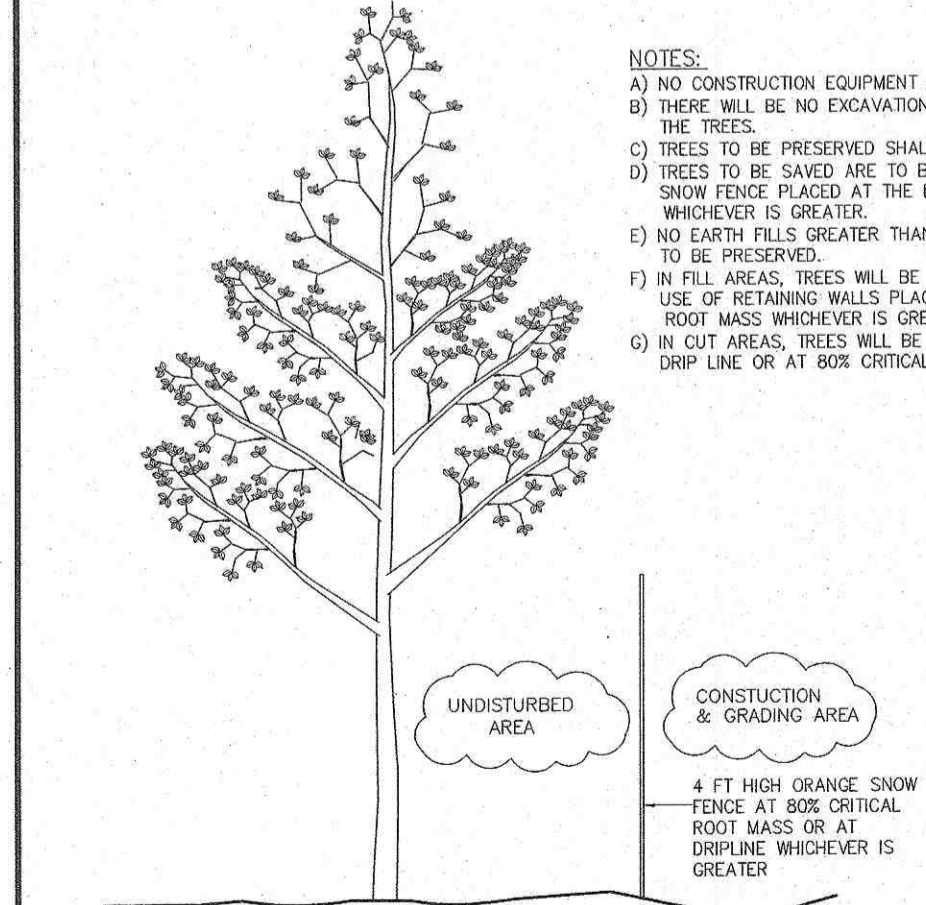
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 - + 360.0 EXISTING SPOT ELEVATION
 - UP EXISTING UTILITY POLE
 - EXISTING WOOD FENCE
 - ==== EXISTING RAILROAD TIE RETAINING WALL

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THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. DAYS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

STATE OF NEW YORK
RYAN A. NASHNER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 50228



TREE PROTECTION DETAIL
N.T.S.

A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

NOTES:

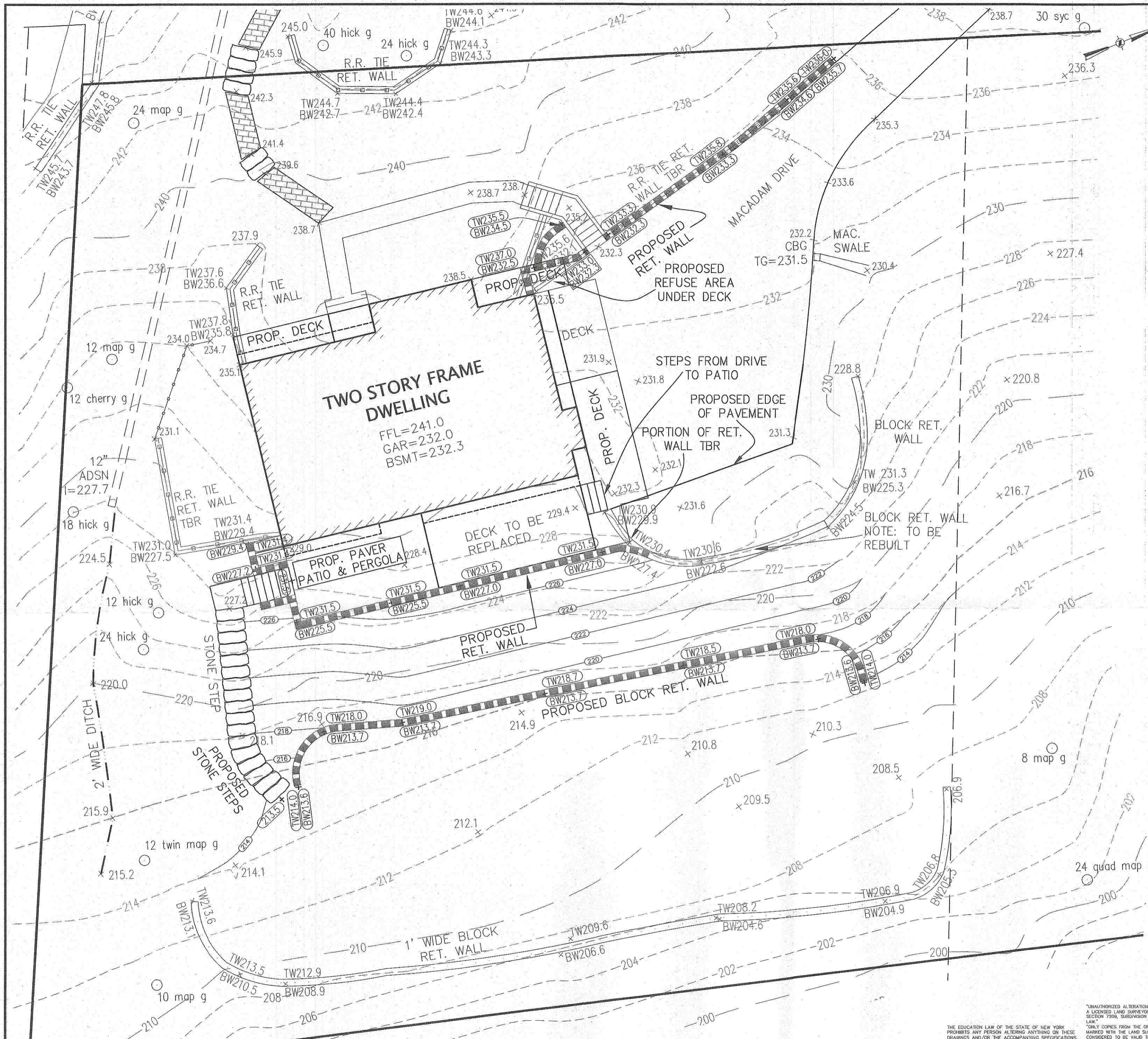
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- THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
- TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
- TREES TO BE SAVED ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
- IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.

CALL BEFORE YOU DIG OR BLAST
IT'S THE LAW!
1-800-962-1967

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

OWNER OR REPRESENTATIVES APPROVAL FOR FILING

OWNER OR REPRESENTATIVE _____ DATE _____



NOTE:

- PERCOLATION TEST SHALL BE PERFORMED AT EL. 209.0 PRIOR TO THE INSTALLATION OF THE PROPOSED UNDERGROUND STORAGE SYSTEM. MINIMUM ACCEPTABLE PERCOLATION RATE IS 6 IN./HR.
- DEEP TEST HOLE SHALL BE PERFORMED TO A DEPTH OF EL. 206.0 PRIOR TO THE INSTALLATION OF THE PROPOSED UNDERGROUND STORAGE SYSTEM. MAXIMUM ACCEPTABLE GROUND WATER ELEVATION IS 206.0.

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ONLY COPIES FROM THE ORIGINAL DRAWING, WHEN MARKED WITH THE LAND SURVEYOR'S OR ARCHITECT'S SEAL, SHALL BE CONSIDERED TO BE VALID TRUE COPIES. ANY OTHER COPIES, REPRODUCTIONS OR ALTERATIONS OF THIS SURVEY MAP OR SPECIFICATIONS SHALL BE VOID AND WITHOUT EFFECT. THE SURVEYOR'S OR ARCHITECT'S SEAL SHALL BE PLACED IN THE MIDDLE OF THE DRAWING. THIS SURVEY MAP OR SPECIFICATIONS SHALL RUN ONLY TO THE ORIGINAL SURVEYOR'S OR ARCHITECT'S SEAL AND SHALL NOT BE TRANSFERRED TO ANY OTHER PERSON OR INSTITUTION, WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR OR ARCHITECT.

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

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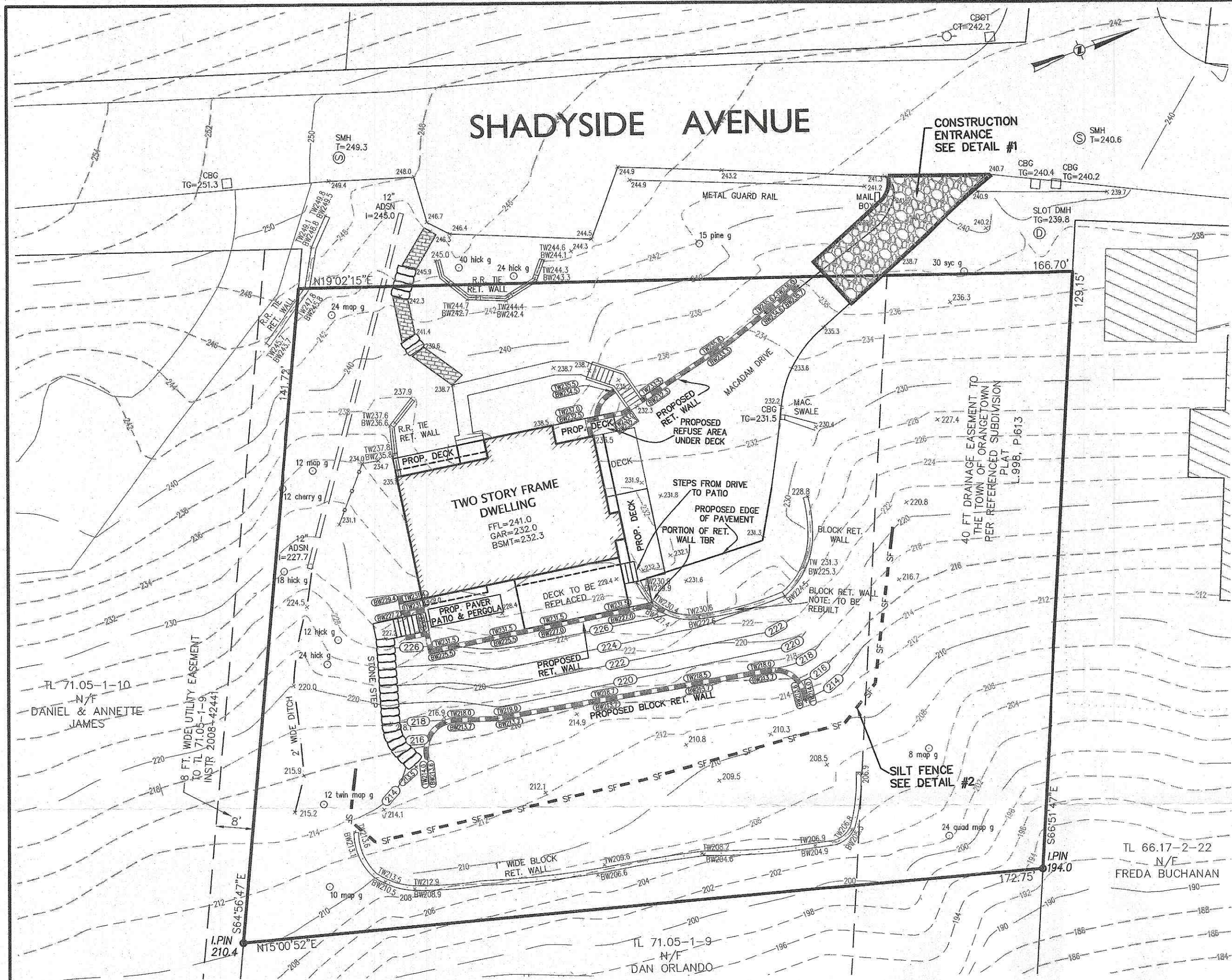
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PROJECT:
MANDELL RESIDENCE

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

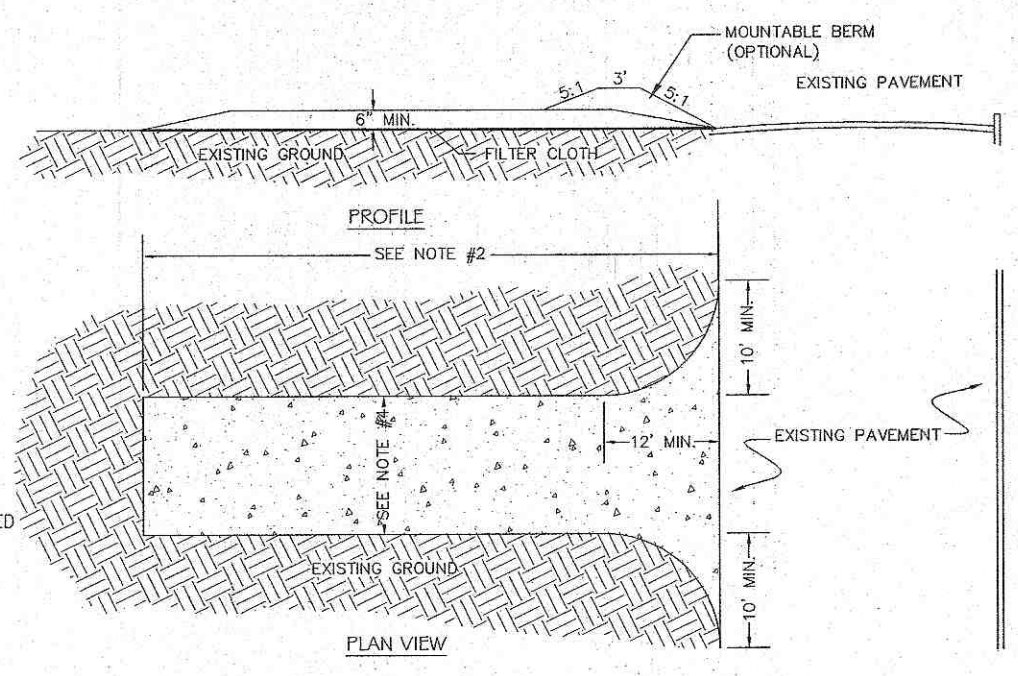
TITLE:
**PROPOSED
 RETAINING WALL PLAN**

| | |
|----------------------|-----------------------|
| DRAWN BY: LF | CHECKED BY: JRA |
| DATE: APRIL 17, 2017 | SCALE: 1 IN. = 10 FT. |
| PROJECT NO: 4326 | DRAWING NO: 3 |



SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

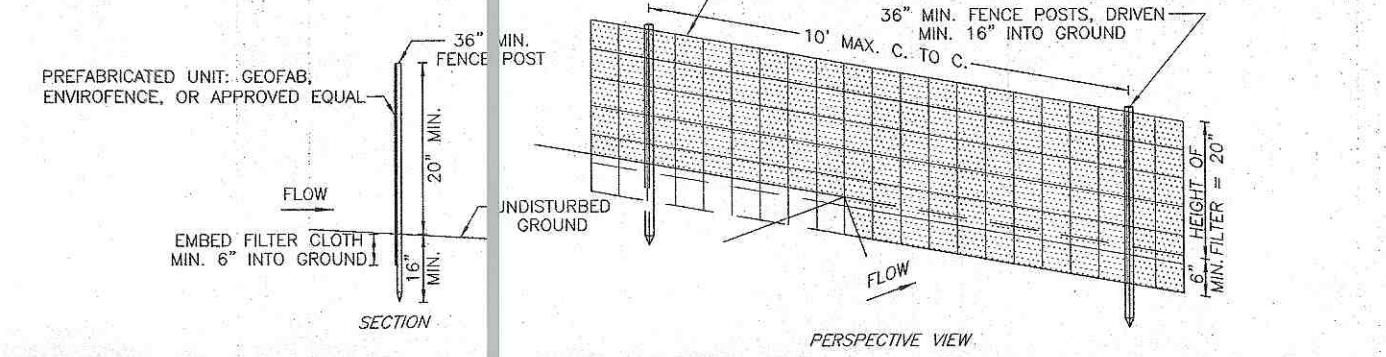
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6 IN.
4. WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTIRE ENTRANCE TO SITE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



DETAIL #1 CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



DETAIL #2 SILT FENCE
N.T.S.

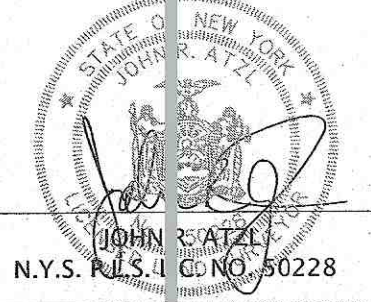
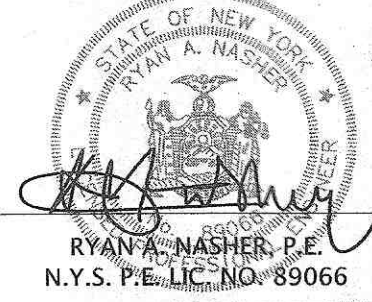
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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL TITLE OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATIONS ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)

CERTIFICATION INDICATED HEREON IS PREPARED IN ACCORDANCE WITH THE SUBSCRIPTIONS ADOPTED BY THE GEOTECHNICAL SOCIETY OF PROFESSIONAL ENGINEERS AND ARCHITECTS ASSOCIATION, INC. (GSA) AND THE PROFESSIONAL ENGINEERS AND ARCHITECTS ASSOCIATION OF NEW YORK STATE (PEANYS). THESE CERTIFICATIONS ARE NOT TRANSFERABLE TO OTHER INDIVIDUALS OR INSTITUTIONS, THEIR SUCCESSORS OR OWNERS.



| REVISION | DATE | DESCRIPTION |
|----------|---------|--------------------------------------|
| 5 | 7-2-20 | REMOVE PROP. GARAGE & EAST RET. WALL |
| 4 | 2-10-20 | RESUBMISSION |
| 3 | 8-29-19 | ADD PROPOSED FINISHED GRADES |
| 2 | 7-18-19 | REVISED SUBMISSION |
| 1 | 6-16-17 | REV. BULK TABLE FOR ZBA SUBMISSION |

AN&Z
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PROJECT:
MANDELL RESIDENCE

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

TITLE:
EROSION AND SEDIMENT CONTROL PLAN

| | |
|----------------------|-----------------------|
| DRAWN BY: LF | CHECKED BY: JRA |
| DATE: APRIL 17, 2017 | SCALE: 1 IN. = 20 FT. |
| PROJECT NO: 4326 | DRAWING NO: 4 |