

June 15, 2020 Board Items:

New Items:

PB #20-28: Bethany Mar Thoma Church Plan

Final Site Plan Review
90 Old Orangeburg Road, Orangeburg
74.09/1/64; R-80 zoning district

PB #20-29: Karayal Site Plan - Critical Environmental Area

Final Site Plan Review
1071 Route 9W, Nyack
71.09/1/10; R-22 zoning district

Continued Item from January 15, 2020

PB #20-03: Chefman Site Plan – continued item

Prepreliminary/Preliminary Site Plan and SEQRA Review
29 Corporate Drive, Orangeburg
73.19/1/8; LIO zoning district

Continued Items from June 1, 2020

PB#20-21: SQ Properties Site Plan

Prepreliminary/Preliminary Site Plan and SEQRA Review
8 Olympic Drive, Orangeburg
73.15/1/16; LIO zoning district



PB#20-22: 119 Tweed Boulevard Site Plan

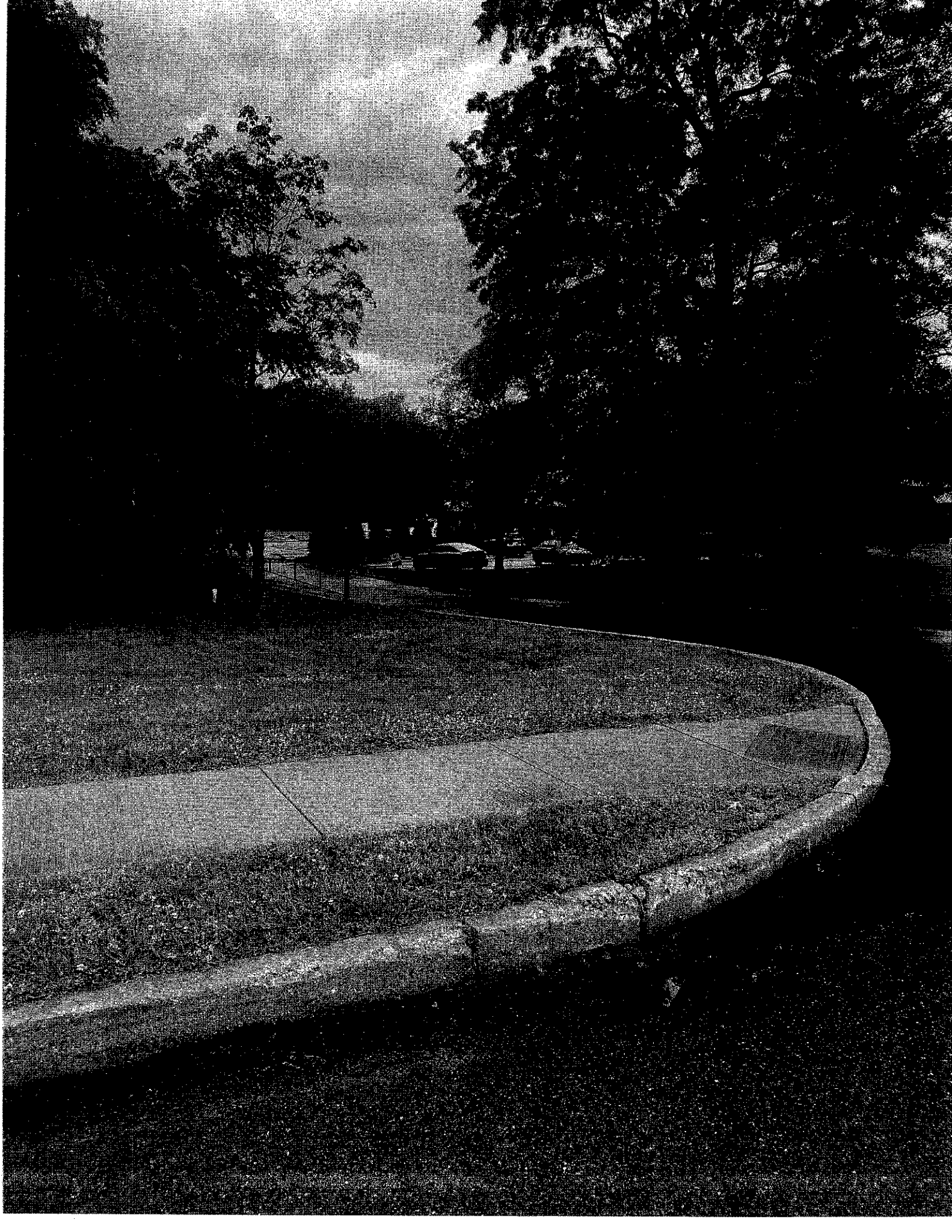
Critical Environmental Area
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review
119 Tweed Boulevard, Upper Grandview
71.17/1/19; R-22 zoning district

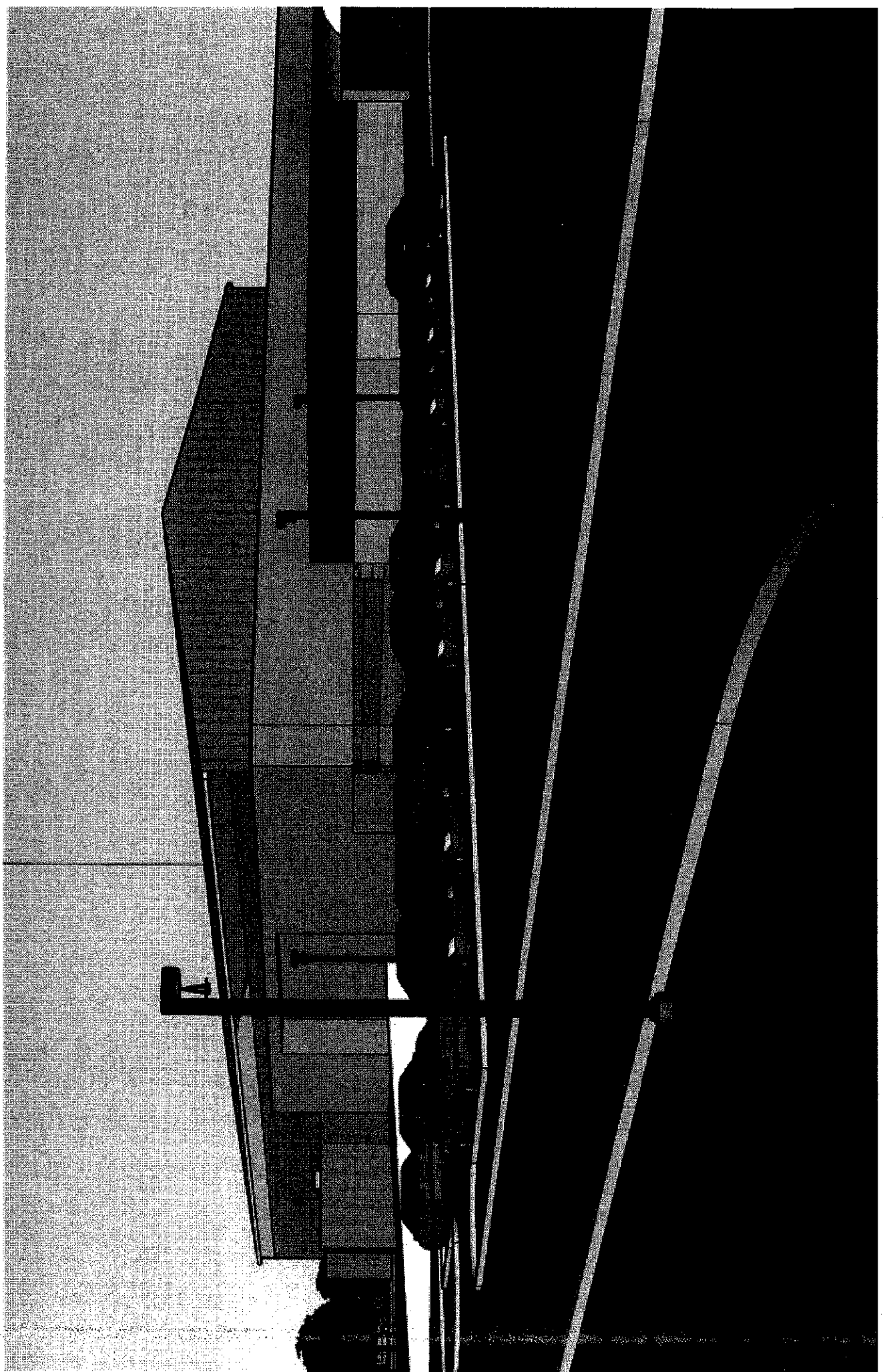
Continued Item from May 27, 2020 Planning Board Meeting:

PB#20-19: Onyx Management/ Amazon Delivery Center Plans

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review
200 & 400 Oritani Drive & 877 Western Highway, Blauvelt,
65.18/1/1 & 22 and 70.06/1/1.12; LO zoning district

Dated: June 3, 2020







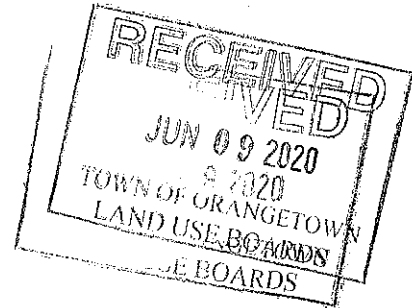
BROOKER ENGINEERING, PLLC

NY OFFICE
74 Lafayette Avenue
Suite 501
Suffern, NY 10901

845.357.4411 Tel.
845.357.1896 Fax

NJ OFFICE
22 Paris Avenue
Suite 105
Rockleigh, NJ 07647

201.750.3527 Tel.



June 8, 2020

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: SQ Properties Site Plan, 8 Olympic Drive (tax lots 73.15-1-16)
Planning Board Drainage Review (For June 15, 2019 meeting)
BBE #OTN0151

Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the SQ Properties Site Plan application to the Town of Orangetown Planning Board:

Information Reviewed

1. "Site Plan for SQ Properties, LLC", prepared by Jay A. Greenwell, PLS, LLC, signed and sealed by Jay A. Greenwell, PLS and Glenn McCreedy, PE, Sheets 1-3, last revised 12,11,2019
2. "SQ Properties Planting Plan", prepared by Yost Design Landscape Architecture, Sheets L-702 and L-801, dated December 11, 2019
3. "Drainage Analysis prepared for SQ Properties", prepared by Civil Design Works, signed and sealed by Glenn McCreedy, PE., dated December 2019

Project Description

This is our first drainage review report for this application. The site is located on the west side of Olympic Drive, about 450 feet north of Corporate Drive. There is an existing one-story building on the east side of the property, with parking along the north and south sides of the building. The project proposes a building addition of 280 feet by 124 feet attached to the rear of the existing building. The driveway access roads will be expanded to provide drive thru lanes within the building for the assembly use.

Stormwater runoff flows southeasterly through the property. There is an existing depression in the front yard that will be enlarged and used as an infiltration basin. Stormwater overflows from the infiltration basin flow southeast toward a piped drainage system in Olympic Drive. The basin will provide storage of 5.5 inches of stormwater runoff from the existing and proposed impervious areas directed to the basin at the 100-year peak stage. The development occurs on an existing meadow with a moderate slope.

Project Comments

1. Proposed DA-2 is the drainage subarea that is directed to the infiltration basin. The subarea limits should be revised to reflect the proposed conditions topography.
2. Include an alternate in the proposed conditions hydrologic model to break down the Proposed DA-2 into a subarea of the large directly connected impervious area (with an unweighted CN) and a subarea of the remaining pervious area.
3. Existing conditions off-site runoff from the west should be evaluated to determine if this area contributes to the subarea entering the infiltration basin.
4. The design is proposing an infiltration basin with about eight feet of cut from existing grade. Soil percolation tests should be performed to verify the assumed percolation rate and deep hole test pits should be performed to verify separation of the bottom of the proposed basin to the groundwater table.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

| | | | |
|------------------------|----------------------------|-----------------------------|----------------------------|
| Brian Brooker, P.E. | Eve Mancuso, P.E., C.M.E. | Ken DeGennaro, P.E., C.F.M. | Stuart Strow, P.E., C.F.M. |
| Anthony Riggi, P.E. | Dennis Rocks, P.E., C.F.M. | John Bezuyen, P.L.S. | |
| Hillary Chadwick, P.E. | Vincent Kane, P.E. | Nestor Celiz, P.E. | Benjamin Levitz, P.E. |

5. Capacity of the outlet pipe to convey the 100-year discharge from the routed outflow hydrograph should be verified.
6. Provide freeboard between the top of the 18-inch pipe in the open channel at the southeastern corner of the site and the top of the open channel.
7. Show the footing drain for the proposed building.
8. Revise the grading in the southwest corner of the new building to show positive drainage away from the building.
9. Revise the grading along the center asphalt area of south bay to provide the 1% slope.

Drainage Review Recommendation

The proposed application has provided sufficient drainage information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the SQ Properties, LLC Site Plan be approved for drainage at this time.

Very truly yours,



BROOKER ENGINEERING, P.L.L.C.
Kenneth DeGennaro, P.E.

Planning Board Review Summary

Project Data

| | | | |
|--|-----------------------------|-------------------------------|------------------------------|
| Job Name SQ Properties Site Plan | Owner SQ Properties, LLC | Address 8 Olympic Drive | Tax Lot Number 73.15-1-16 |
| Job Description: Expand existing manufacturing building and driveway access. Add 85,237 SF of new impervious area. Provide new 72,769 CF of infiltration stormwater management basin. | | Planning Board No. N/A | BBE Number OTN0151 |

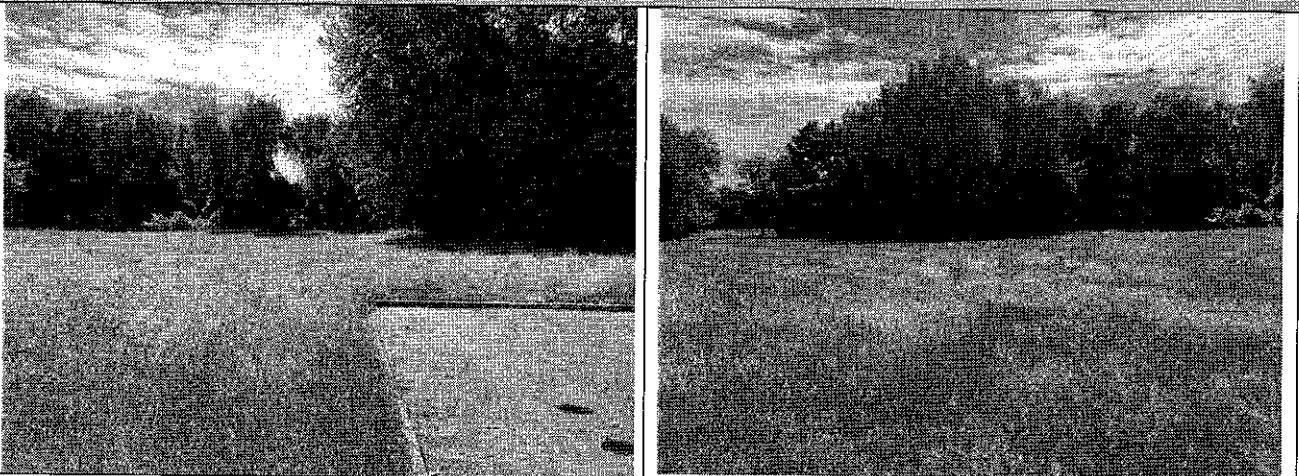
Planning Board Data

| Date of: | | | | Drainage: | | |
|------------|------------|-----------------|-------------------|-----------|--------------|------------------------|
| PB meeting | Site Plans | Drainage Calcs. | BBE Review Letter | Approved | Not Approved | Approved w/ Conditions |
| 06/15/2020 | 12/19/2019 | Dec. 2019 | 06/08/2020 | | | X |
| | | | | | | |

Construction Data

| | |
|---|--------------------|
| Area of Disturbance: | >1.0 acre |
| Erosion Control Plan Required: | Yes |
| SWPPP Required: | Yes |
| Post Construction Stormwater Quantity Required: | Yes |
| Post Construction Stormwater Quality Required: | Yes |
| Description of Required Stormwater Management: | Infiltration Basin |

Photographs

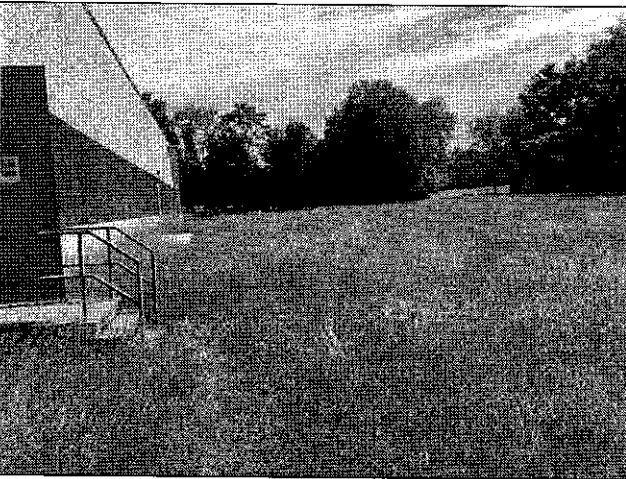


Description: Standing at the western edge of the northern driveway, looking west at the location of the driveway expansion and building expansion.

Description: Standing at the northwest corner of the existing building, looking west at the area of the new building.

Date: 06/05/2020

Date: 06/05/2020

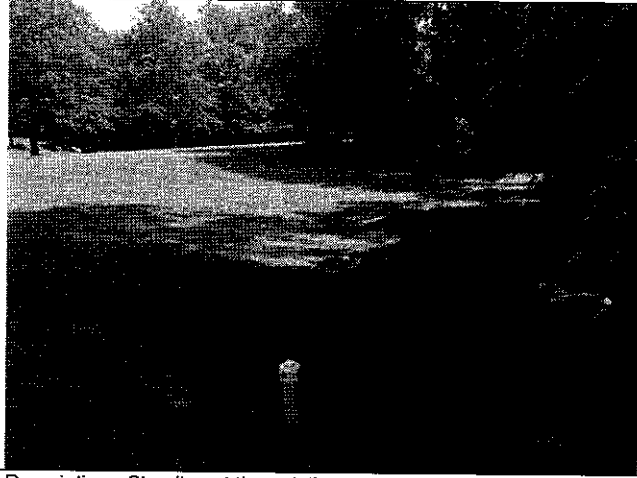


Description: Standing at the northwest corner of the existing building, looking south at the location of the proposed building expansion.

Description: Standing at the west end of the southern driveway, looking northwest at the location of driveway expansion.

Date: 06/05/2020

Date: 06/05/2020



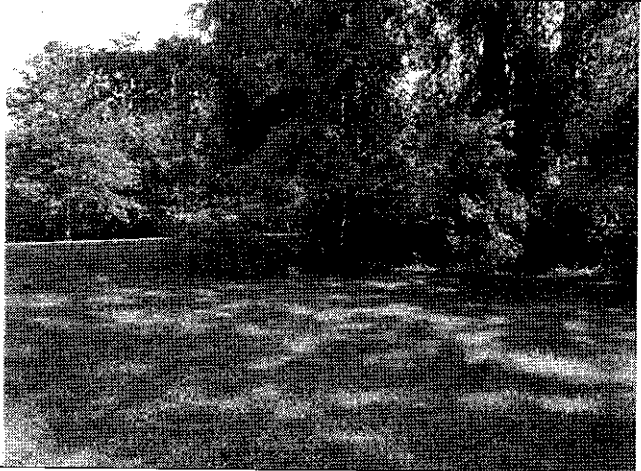
Description: Standing at the existing southern driveway, looking southeast at the location of the proposed open channel at the stormwater management basin outfall.

Date: 06/02/2020



Description: Standing near the northeast corner of the existing building, looking east at the location of the proposed stormwater management basin.

Date: 06/02/2020



Description: Standing near the northeast corner of the existing building, looking northeast at the location of the proposed stormwater management basin.

Date: 06/02/2020



Description: Standing in the existing southern driveway, looking north at the location of the proposed stormwater management basin.

Date: 06/02/2020

Planning Board Review Summary

Project Data

| | | | |
|---|------------------------------------|---------------------------|------------------------------------|
| Job Name Tappan Plaza Site Plan and Subdivision | Owner LIDL U.S. Operations, LLC | Address 3-58 Route 303 | Tax Lot Number 77.15-1-33-37&41 |
| Job Description: Remove portion of existing commercial building, build new commercial building along the north side of the lot. Reconfigure parking lot. | | Planning Board No. N/A | BBE Number OTN0150 |

Planning Board Data

| Date of: | | | | Drainage: | | |
|------------|------------|-----------------|-------------------|-----------|--------------|------------------------|
| PB meeting | Site Plans | Drainage Calcs. | BBE Review Letter | Approved | Not Approved | Approved w/ Conditions |
| 06/2020 | 02/17/2020 | None | 06/08/2020 | | X | |
| | | | | | | |

Construction Data

| | |
|---|------------------|
| Area of Disturbance: | Not Provided |
| Erosion Control Plan Required: | Yes |
| SWPPP Required: | To be determined |
| Post Construction Stormwater Quantity Required: | To be determined |
| Post Construction Stormwater Quality Required: | To be determined |
| Description of Required Stormwater Management: | To be determined |

Photographs

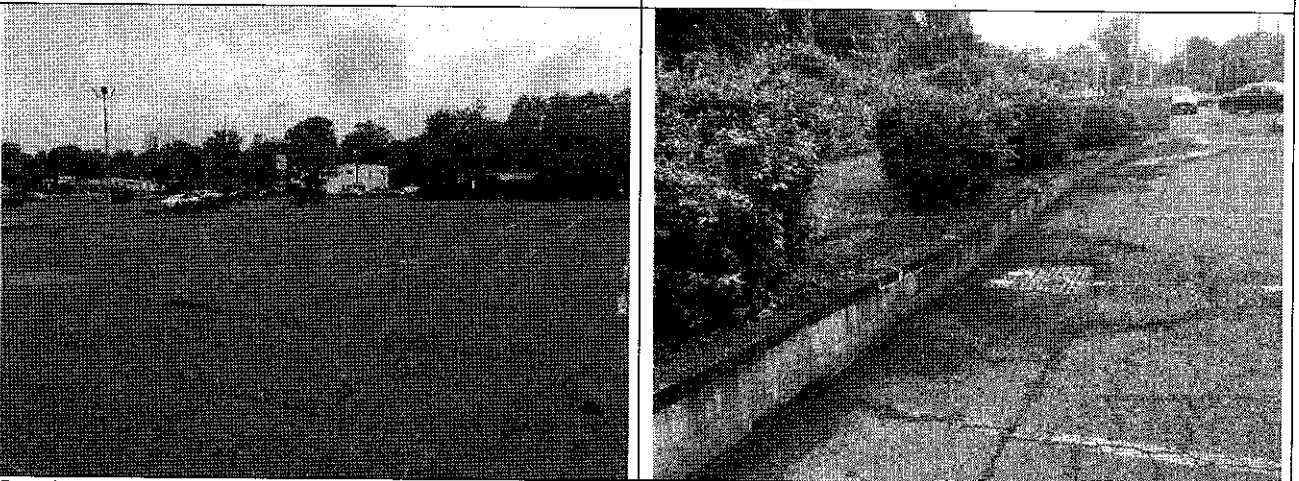


Description: Standing in the middle of the existing parking lot, looking north at the location of the new commercial building.

Description: Standing in the middle of the existing parking lot, looking east at the existing Bon Fahyr Buffet restaurant to be removed.

Date: 06/05/2020

Date: 06/05/2020

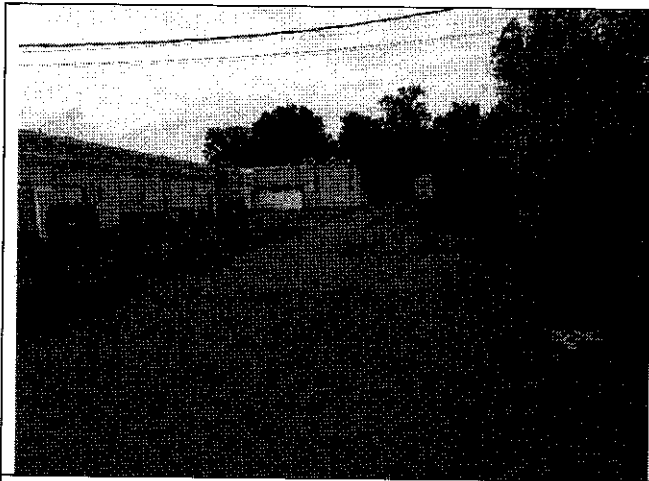


Description: Standing along the northeast corner of the lot, looking southwest at the location of the new building and reconfigured parking lot.

Description: Standing along the south side of the parking lot, looking at the downhill field inlet that discharges to the Sparkill Brook.

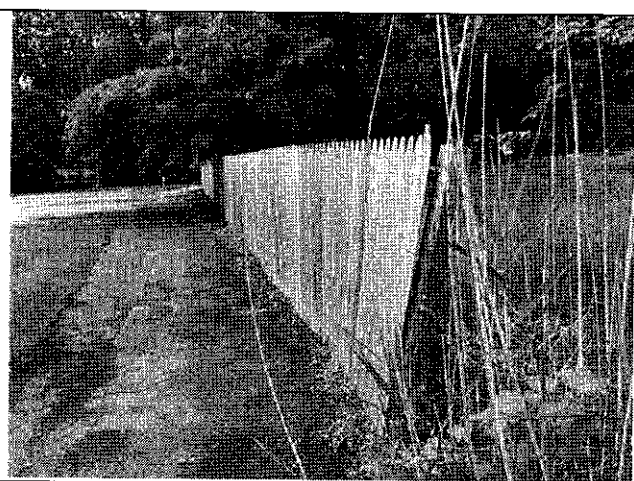
Date: 06/05/2020

Date: 06/05/2020



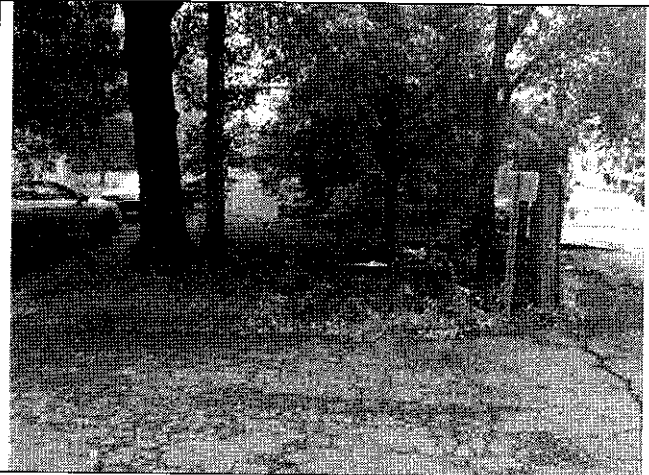
Description: Standing along southeast side of property, looking north along edge of pavement and wetlands.

Date: 06/05/2020



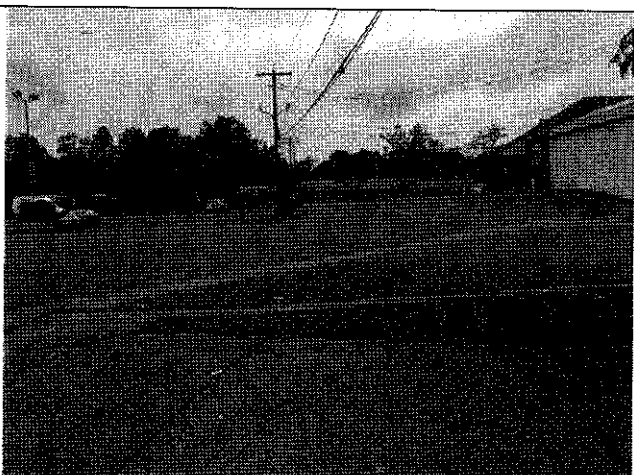
Description: Standing at the property line with the existing residence, looking north at the fence to be removed and the location of the driveway widening.

Date: 06/05/2020



Description: Standing near Birchtree Road, looking south at location of new driveway adjacent to existing residential driveway.

Date: 06/05/2020



Description: Standing along northeast side of property, looking west towards new building footprint.

Date: 06/05/2020

June 1, 2020 Board Items:

PB#20-20: SMK Greene Subdivision Plan

Prepreliminary/Preliminary Subdivision Plan and SEQRA Review
318 Western Highway, Tappan
74.18-2-34, R-15 zoning district

PB#20-21: SQ Properties Site Plan

Prepreliminary/Preliminary Site Plan and SEQRA Review
8 Olympic Drive, Orangeburg
73.15/1/16; LIO zoning district

PB#20-22: 119 Tweed Boulevard Site Plan

Critical Environmental Area
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review
119 Tweed Boulevard, Upper Grandview
71.17/1/19; R-22 zoning district

PB#20-23: Henry Kaufman Campgrounds Masterplan

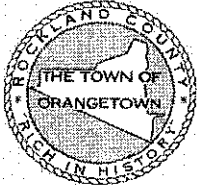
Final Masterplan Review
667 Blauvelt Road, Pearl River
69.14/1/28 & 69.10/2/21; R-80 zoning district

PB#20-24: Henry Kaufman Campgrounds Site Plan – Bronx House

Final Site Plan Review – Bronx House
667 Blauvelt Road, Pearl River
69.14/1/28 & 69.10/2/21; R-80 zoning district

Dated: May 27, 2020

to June 15, 2020
continued - already
Record into
the record



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: May 29, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **SQ Properties Site Plan**
Prepreliminary/Preliminary Site Plan and SEQRA Review
8 Olympic Drive, Orangeburg
73.15/1/16; LIO zoning district



Submission Reviewed:

Site Plan as prepared by Jay A. Greenwell, PLS Last Revised 12/11/2019.

The applicant is proposing an addition to an existing building.

- 1) Per Chapter 43, table 3.11, Column 7, Additional use regulations, number 2, "*accessory storage shall be within completely enclosed buildings.*" The applicant is proposing outdoor storage areas. Variance required.
- 2) Per Chapter 43, table 3.11, Column 7, Additional use regulations, number 3, "*No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be given at the time of site review, or at the time of the approval of a commercial subdivision or conditional use approval.*"
- 3) ACABOR review and approval is required.
- 4) The SEAF seems to be in order.

JS 5/29/2020

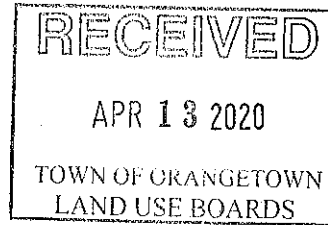


Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

April 3, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk



PB# 20-18

Re: SQ Properties, LLC Site Plan

Gentlemen:

This Department has the following comments/ recommendations.

1. A full SWPPP (in a 3-ring binder with labeled separation tabs), with accompanying drainage calculations, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. The existing detention basin shall be upgraded/ modified to treat both stormwater quality and quantity. The basin shall be designed in accordance with the current NYS Stormwater Management Design Manual. As per the Design Manual, green infrastructure practices and redevelopment guidelines shall be included in the stormwater management design.
2. Soil borings, perc tests and determination of groundwater elevations shall be performed at the stormwater basin location. These tests/ investigations shall be performed in the spring when the ground water table is typically at its highest. This shall be done **prior** to this proposal receiving final approval and the information/ test results/ elevations shall be added to the SWPPP. Copies of all correspondence related to this issue shall be submitted to this Department.
3. The drainage calculations and SWPPP shall include sizing calculations for the existing basin, the modifications required for the basin to handle the increased volume, modifications required for stormwater quality controls, etc. The drainage calculations shall also include dimensions, sizing calculations, material specifications, installation details, inflow and outflow hydrographs as well as maintenance requirements and procedures and inspection procedures for post construction maintenance of the private stormwater facilities.
4. The total area of disturbance (a.o.d.) shall be listed on the drawings as well as well as in the SWPPP narrative and stormwater design sections. Also, a table summarizing the pre and post construction impervious areas shall also be added to the SESC drawing and the SWPPP narrative.
5. The forebays, as shown on the drawings, are not designed in accordance with the "NYSDEC Stormwater Management Design Manual." The forebays/ stormwater basin shall be redesigned in accordance with the stormwater manual.

6. A “blow-up” of the stormwater basin shall be provided on the drawings. Cross-sections, storage volume vs. elevation vs design storm, outlet structure details (with elevations), 25 foot pond buffer, underdrain details, profiles with elevations, outlet pipe details, safety bench, aquatic bench, forebay, main pond, 12 foot wide maintenance path (that reaches the forebay/ main pool/outlet structure/ emergency spillway), permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc. shall also be provided in the blow-up section and on the drawings.
7. Material specifications, design details, installation information and post construction maintenance requirements for the stormwater infiltration pond shall be added to the drawings as well as being discussed in other appropriate sections of the SWPPP.
8. Profiles for all existing and proposed drainage piping and the upgraded/ modified stormwater basin shall be provided on the drawings.
9. The rainfall intensity data provided in the drainage calculations, page 6, is out of date for the larger storms. The current rainfall intensities for the 25yr. and 100 yr. storms are 6.39 inches and 9.07 inches respectively.
10. The drawings indicate an 18 inch RCP drainage pipe to be abandoned in place and only a section removed. This is not acceptable. ALL drainage piping that is to be abandoned shall be removed and labeled as such on the plans. The drainage/ stormwater basin/ outlet structure calculation shall be revised accordingly.
11. An emergency overflow spillway shall be designed for the proposed stormwater basin.
12. Pre and post drainage area maps shall be provided with the required SWPPP/ updated drainage calculations.
13. NYSDEC compliant symbols shall be used on the SESC plan.
14. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems shall be submitted to this Department and the Town Attorney’s office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to this Department, etc.
15. The datum for the contours shall be given
16. A note shall be added to the Site Plan indicating the source benchmark for the referenced datum (including the BM elevation.)
17. All existing and proposed easements and dedications shall be shown on the plan, including page and liber or instrument number, intent/ purpose and ownership.

18. Copies of all correspondence (including any and all approvals) with the New York State Department of Environmental Conservation, U.S. Army Corps. of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning Board and this Department, as they are received.

Very truly yours,



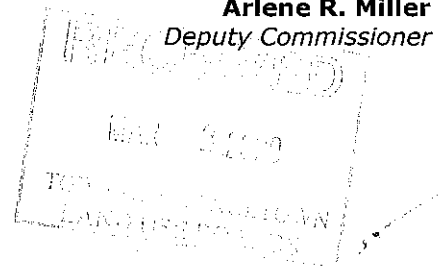
cc: Highway File
Sewer File

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner



February 25, 2020

Orangetown Planning Board
21 Greenbush Road
Orangeburg, NY 10962

Tax Data: 73.15-1-16

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M
Map Date: 12/11/2019

Date Review Received: 2/6/2020

Item: *SQ PROPERTIES (O-1169YYYYY)*

Site plan for a 35,400 SF addition to an existing 20,200 SF commercial building to be used for assembling and warehousing of glass storefront material. The parcel is located on 6.947 acres in the LIO zoning district. Planning Board approval is required for parking within the required side yards.
West side of Olympic Drive, approximately 535 feet south of Hunt Road

Reason for Referral:

County Highway Depot

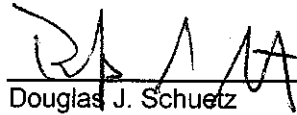
The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

- 1 A review must be done by the Rockland County Department of Health to ensure compliance with the Rockland County Sanitary Code, Article XIX, Mosquito Control.
- 2 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.
- 3 There shall be no net increase in the peak rate of discharge from the site at all design points.
- 4 Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed NYS Professional Engineer.
- 5 The status of the Right of Way shall be determined. If it has not yet been eliminated, the Town must be ensured that the Right of Way is not needed for future use.

SQ PROPERTIES (O-1169YYYYY)

6 Map note #6 refers to Section 239 L & N of New York State General Municipal Law. This shall be corrected to Section 239 L & M.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown
Rockland County Department of Highways
Rockland County Department of Health
Jay A. Greenwell, PLS, LLC

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

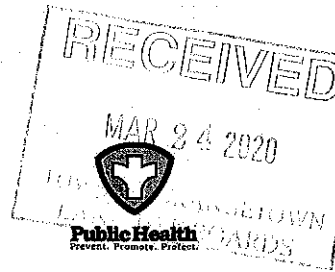


Rockland County

HEALTH

CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



EDWIN J. DAY
County Executive

PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP
Commissioner of Health

SAMUEL RULLI, PE
Director, Environmental Health

March 16, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: SQ Properties Site Plan
Building Addition
Tax lot 73.15-1-16

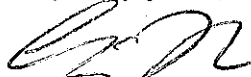
Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (EAF), other supporting documentation and plans as prepared by Jay A. Greenwell, PLS, LLC revised through December 11, 2019 for the above referenced project. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. Other comments are as follows:

1. Application is to be made to the RCDOH for review of the storm water management system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,



Elizabeth Mello, P.E.
Senior Public Health Engineer
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning
Jay A. Greenwell, PLS, LLC



Rockland County

Ed Day, Rockland County Executive

47

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

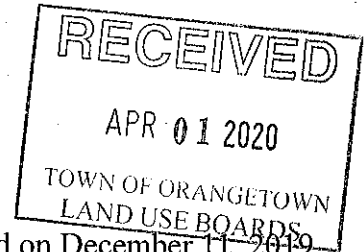
George Hoehmann
Chairman

Michael R. Saber, P.E.
Assistant Director/Acting Executive Director

March 19, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 South Greenbush Road
Orangeburg, NY 10962

Re: SQ Properties Site Plan
8 Olympic Drive, Orangeburg
Tax Lot 89/73.15-1-16 (formerly 20-26-345.18/3/4)



Dear Ms. Coopersmith:

Our office has received and reviewed a site plan that was last revised on December 11, 2019, which Jay A. Greenwell, PLS prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

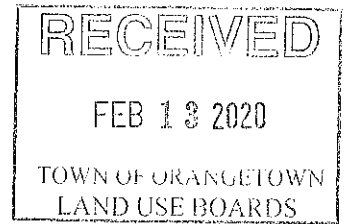
Very truly yours,

Joseph LaFiandra
Engineer II

cc: M. Saber
Helen Kenny-Burrows – Rockland County Department of Planning
Elizabeth Mello, P.E. – Rockland County Department of Health

File: TOO 73.15-1-16 – Icco II LLC
Reader

Rocklandgov.com



**Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, March 25, 2020**

**Location: Greenbush Auditorium, 20 South Greenbush Road,
Orangeburg, New York 10962**

Project Name: SQ Properties Site Plan

Location of Parcel: The site is located at 8 Olympic Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.15, Block 1, Lot 16 in the LIO zoning district.

**Response to request that the Town of Orangetown Planning Board
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

On behalf of Rockland County Planning Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 2/13/2020

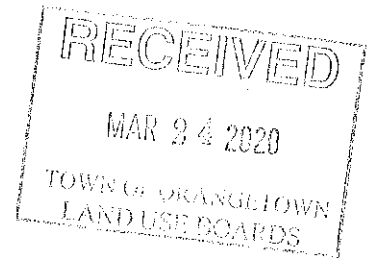
Rockland County Planning Dept
Agency Name

By: [Signature]
Signature

Michael Keizer
Printed Name of Signer

Please return within 30 days by
Fax: (845) 359-8526
E-mail: ccoopersmith@aol.com

Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, March 25, 2020



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Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

On behalf of RC Health Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

- CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

- DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

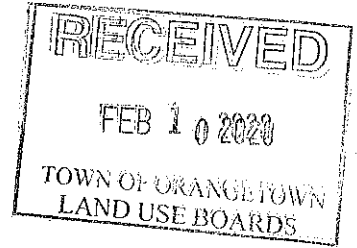
- TAKES NO POSITION on Lead Agency designation in this matter.

Dated: 3/16/2020

RC Health Dept
Agency Name
By: [Signature]
Signature Liz Mello
Printed Name of Signer

Please return within 30 days by
Fax: (845) 359-8526
E-mail: ccoopersmith@aol.com

**Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, March 25, 2020**



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**Response to request that the Town of Orangetown Planning Board
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**
On behalf of Rockland County Army Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 02.11.20

Rockland County Army Dept:
Agency Name
By: [Signature]
Signature
Dyan Rijasmigham
Printed Name of Signer

Please return within 30 days by
Fax: (845) 359-8526
E-mail: ccoopersmith@aol.com

Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, March 25, 2020

**Location: Greenbush Auditorium, 20 South Greenbush Road,
Orangeburg, New York 10962**

Project Name: SQ Properties Site Plan

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**Response to request that the Town of Orangetown Planning Board
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

On behalf of Orangetown ZBA (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

- CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.
- DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.
- TAKES NO POSITION on Lead Agency designation in this matter

Dated: 2/19/2020

Orangetown ZBA
Agency Name
By: [Signature]
Signature
Trish Castelli
Printed Name of Signer

Acting Chair

Please return within 30 days by
Fax: (845) 359-8526
E-mail: ccoopersmith@aol.com

**Planning Board Meeting of March 25, 2020
Town of Orangetown**

Project Name: **SQ Properties Site Plan**

Location of Parcel: The site is located at 8 Olympic Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.15, Block 1, Lot 16 in the LIO zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

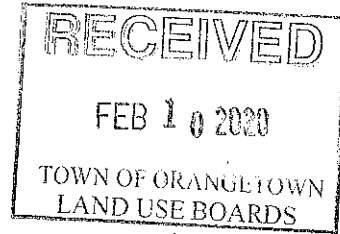
If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at ccoopersmith@orangetown.com, or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: 3/9/20

SOEZ
Agency Name
By: BILL PREIFODA
Please Print Name



**Planning Board Meeting of March 25, 2020
Town of Orangetown**

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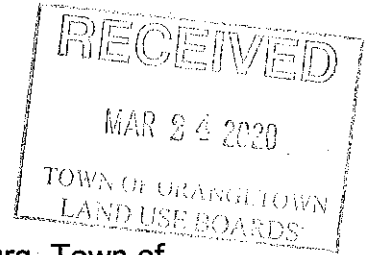
- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

This project is out of the jurisdiction of this agency and has no further comments.

Dated: 02.11.20

Rockland County Hwy Dept.
Agency Name
By: Dyan Rajasingham
Please Print Name

**Planning Board Meeting of March 25, 2020
Town of Orangetown**



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- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 3/16/2020

RC Health Dept
Agency Name
By: Liz Mello
Please Print Name