

4-26-2020

Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, May 27, 2020

**Location: Town of Orangetown, Greenbush Auditorium, 20 South
Greenbush Road, Orangeburg, New York Time: 7:30 P.M.**

Project Name:

**Chefman Site Plan: Continued item from the January 15, 2020 Planning
Board Meeting; PB#20-03**

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg,
Town of Orangetown, Rockland County, New York, and as shown on the
Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Town of Orangetown:

- ***Drainage Consultant***
- ***OBZPA***
- ***DEME***
- ***Highway***
- ***DTA***
- ***Fire Prevention***
- ***Traffic Advisory Board***

Project Description: Prepreliminary/ Preliminary Site Plan Review

Please forward your completed review to this office by date of the Meeting. **If
your comments are not received by this date, the Board assumes your
agency does not have any comments.**

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting: Wednesday, May 27, 2020

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York Time: 7:30 P.M.

Project Name:

**Chefman Site Plan: Continued item from the January 15, 2020
Planning Board Meeting; PB#20-03**

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: _____

Agency Name

By: _____

Please Print Name

Project Review Committee Report - January 8, 2020
TO: Town of Orangetown Planning Board
RE: Planning Board Meeting of January 15, 2020

*already Read
into Record.*

Continued Item from the July 17, 2019 Meeting:

PB #14-39: Jay and Joe Construction LLC Subdivision Plan

Prepreliminary/ Preliminary Subdivision Plan and SEQRA Review; 80 South Middletown Road, Pearl River; 69.17/1/76; RG zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

New Items:

PB #20-01: Sambrotto Subdivision

Request for two 90-day extensions to file the Subdivision Plan with Rockland County Clerk's Office; 34 Clausland Mountain Road, Blauvelt; 70.15/2/11; R-40 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

PB#20-02: Natelli Conservation Easement Relocation Plan

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review; 230 South Greenbush Road, Orangeburg; 70.19/1/27.1; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

~~PB #20-03: Chefman Site Plan~~

X Prepreliminary/Preliminary Site Plan and SEQRA Review; 29 Corporate Drive, Orangeburg; 73.19/1/8; LIO zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

PB #20-04: Lander Minor Subdivision Plan

Prepreliminary/ Preliminary/ Final Subdivision Plan and SEQRA Review; 1 Duryea Place, Nanuet; 63.19/1/5; R-22 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

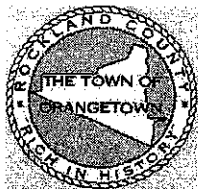
PB #20-05: The Club West at Pearl River Phase II Site Plan

Final Site Plan Review; 661 West Blue Hill Road, Pearl River; 73.10/1/5; OP-PAC zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

Attendees: J. Slavin, B. Peters, J. Dean, R. Pakola, M. Bettmann
Non-Member: M. Mandel, D. Sampath

*Continued - rev. Plan + needs
drainage*



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

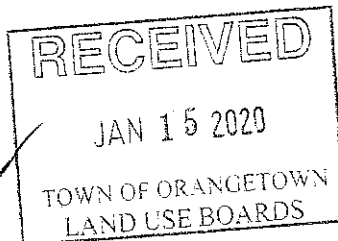
Fax: (845) 359-8526

Date: January 13, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **Chefman Site Plan** **PB#20-03**
Prepreliminary/Preliminary Site Plan and SEQRA
29 Corporate Drive, Orangetown
73.19-2-8; LIO zoning district.



Submission Reviewed:

Site Plan Dated August 12, 2019 as prepared by Lanc and Tully, PC.

- 1) Application is for an expansion of an existing building to add warehouse space.
- 2) Clearly delineate drainage easements.
- 3) Existing 15-foot drainage easement along south property line shall be shown.
- 4) Provide appropriate excavation limits at proposed additions.
- 5) Applicant must confirm compliance with ZBA decision #92-20, shipping and receiving and truck traffic of any kind only permitted from 5:00 am until 11:00 pm.
- 6) The following variances are required:
 - Per Chapter 43, Table 3.12, Bulk Regulations:
 - Front Yard required 100', 129.0' existing and 57' proposed.
 - Side Yard required 100', 100.4' existing and 57' proposed.
 - Rear Yard required 100', 66' existing and 1' proposed (to required 100' buffer)
 - Building Height permitted 14.25' with 27.8' proposed.
- 7) Floor plans and building elevations must be provided.
- 8) Is there any additional lighting proposed?

- 9) Existing and proposed mechanical equipment must be shown.
- 10) Indicate extent of tree clearing required for proposed addition.
- 11) ACABOR review and approval is required for the building addition, site and the new pylon sign.
- 12) EAF – Part 1, number 2 should be marked YES as approval from The Zoning Board of Appeals is required. Part 1, number 10 and 11 should be marked Yes and confirmation of system capacity provided, Part 1, number 17 should be marked YES.
- 13) Permit number 31919, dated 7-31-01 for a new rooftop HVAC unit is expired. Applicant must contact building department to obtain required inspections and close out.

JS 1-13-2020

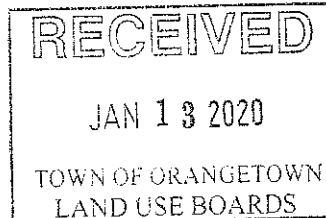


Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

January 13, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk



PB# 20-03

Re: Chefman Site Plan

Gentlemen:

This Department has the following comments/ recommendations.

1. The total area of disturbance (a.o.d.) shall be listed on the plan. The applicant's engineer is reminded that the total area of disturbance shall include any and all land disturbances for the proposed site plan – building construction, utility extensions/ relocations, pavement/ parking expansions/ improvements, the monument sign that has already been installed and all utilities that feed it, any required fire lanes around the building, etc.
2. As per the applicant's engineer's letter of 11/1/19, a SWPPP shall be provided for this application. The SWPPP shall include pre and post construction stormwater calculations, pollution control measures, calculations/ breakdown of all proposed land disturbances, showing how the total a.o.d. was determined, etc. The applicant's engineer shall design onsite storage to achieve a zero increase in runoff from the proposed site.
3. The previously mentioned engineer's letter states that the applicant's intent is to keep the a.o.d. under 1 acre. If the current site plan a.o.d., including all the items yet to be shown/ added to the a.o.d. - listed in comment #1 above, surpasses 1 acre, a full SWPPP shall be prepared including water quality and quantity measures, drainage calculations, green infrastructure, and redevelopment features and shall be designed in accordance with the NYS Stormwater Management Design Manual. etc. If the applicant is intent on keeping the a.o.d. under 1 acre, one way to possibly lower the a.o.d. would be to reduce the size of the proposed addition.
4. The proposed limit of disturbance appears to run right along the new building footprint, along the northern and southern building lines. This is not practical as foundation will need to be constructed for the new building addition and they will extend beyond the proposed building walls; The Limit of disturbance shall be adjusted accordingly.
5. The existing 5.56 x 3.6 RCP oval stormwater drainage line, along the north east side of the property, appears to be outside of the existing Town drainage easement. The applicant shall prepare and show a widening of the existing easement to encompass this stormwater drainage line. The easement shall extend at least 10 feet beyond the "southern side" of the

stormwater drainage line. The proposed easement shall be submitted to the Town Attorney's office and this Department for review and approval.

6. The monument sign is located directly over the 5.56 x 3.6 RCP oval stormwater drain line. This is unacceptable. The sign must be relocated away from the drainage line and outside of the easement requested above.

7. The existing storm drain line, located in the northern parking area, appears to just be cut off due to the installation of the new addition. More detail shall be provided as to what is to happen with that drainage line.

8. Drainage plans shall be added to the drawings showing all modifications to the existing system as well as how/ where runoff from the new impervious areas shall be handled/ mitigated. See comment #2.

9. Soil erosion and sediment control plans and details shall be added to the application drawing and submitted to this Department for review and approval.

10. A proposed grading plan shall be added to the drawings.

11. Because the project description states that approximately 15-20 new employees will occupy the building, sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. The applicant/ applicant's engineer is advised that the added number of employees may require addition facilities and sewer unit charges.

12. The existing Town owned sanitary forcemain shall be shown in its entirety and labeled on the plan.


13. The page and liber (or instrument number), ownership for ALL easements and dedications shall be given on the plans (not just the filed map number.)

14. A legend shall be added to the plan that clearly identifies and distinguishes between all existing and proposed features on the site plan.

15. The source bench, with elevation, for the referenced datum shall be added to the plan.

16. Typical details shall be added to the drawings.

Very truly yours,



cc: Highway file
Sewer file



BROOKER ENGINEERING, PLLC

NY OFFICE

74 Lafayette Avenue
Suite 501
Suffern, NY 10901

845.357.4411 Tel.
845.357.1896 Fax

NJ OFFICE

22 Paris Avenue
Suite 105
Rockleigh, NJ 07647

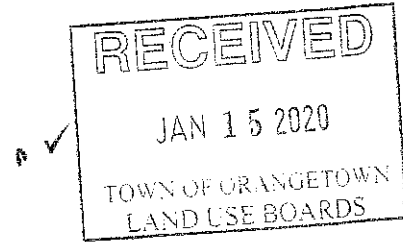
201.750.3527 Tel.

January 14, 2020

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: Chefman Site Plan (tax lot 73.19-1-8)
Planning Board Drainage Review (for January 15, 2020 Planning Board meeting)
BBE #OTN0144



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the Chefman Site Plan application to the Town of Orangetown Planning Board:

Information Reviewed

1. "Site Plan Prepared for Chefman", prepared by Lanc & Tully, PC, signed and sealed by David Edward Higgins, PE, Sheet 1 of 1, dated 08/12/2019
2. Project Application dated 08/19/2019

Project Description

This is our first drainage review report for this application. The property is located at southwest side of Corporate Drive about 1500 feet east of the intersection with Blaisdel Road. There is an existing warehouse building located in the middle of the property. The 36,683 SF building addition is proposed along the north, south, and west sides of the building. A small portion of the parking lot will be removed to accommodate the building expansion; no other increases in parking are proposed.

The property has an east/west ridge and stormwater runoff flows from the ridge north towards Corporate Drive and south from the ridge towards the corporate limits with New Jersey. It is not clear what direction stormwater runoff from the new building will be directed.

No post construction stormwater detention facilities are proposed for this submission. Please note if stormwater facilities are proposed outside the limits of disturbance, the overall limit of disturbance will most likely be increased to over one acre. Drainage design calculations for mitigation of stormwater quantity impacts can be provided at this time in lieu of a full SWPPP.

Project Comments

1. Provide the finished floor elevation for the addition.
2. Show door locations at the building addition.
3. Show the locations of the existing and proposed roof drains.
4. Show stormwater mitigation measures for increases in stormwater runoff.
5. Show the foundation drain for the addition.
6. Show proposed grades at all corners of the building addition.
7. Revise the grading along the west side of the building. It appears there may be an unnecessary berm along the elevation 78 contour. Provide a typical swale detail for this area.
8. Show the existing contours in the parking lot.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	
Hillary Chadwick, P.E.	Vincent Kane, P.E.	Nestor Celiz, P.E.	Benjamin Levitz, P.E.

Drainage Review Recommendation

The proposed action has not provided information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Chefman Site Plan not be approved for drainage at this time.

Very truly yours,

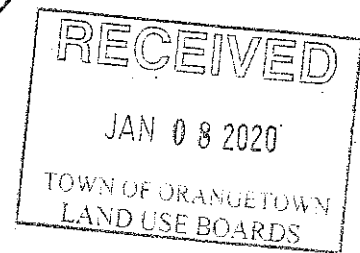


BROOKER ENGINEERING, P.L.L.C.
Kenneth DeGennaro, P.E.

Town of Orangetown
Bureau of Fire Prevention
20 Greenbush Road
Orangeburg, N.Y. 10962
Ph (845)365-0204*fax (845)365-0241

January 8, 2020

Chef man site plan



1. We request that the driveway/parking area on the north side of the building by the office area be extended to the full length of the proposed addition for fire apparatus access. The minimum clear width must be 26 feet and all areas other than designated new and existing parking spots be striped and signed as fire lane.
2. On the south east corner of the building an area shall be designated fire lane with a clear width of 26 feet and have clear access from corporate drive to this area.

Michael B. Bettmann
Chief Fire Inspector
Town of Orangetown
mbettmann@orangetown.com



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

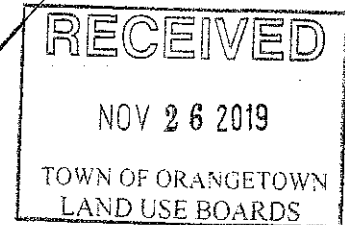
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

November 18, 2019

To: Town of Orangetown Planning Bd.
From: Arlene Miller, Principal Planner
Re: **CHEFMAN SITE PLAN (73.19-1-8)**



Please be advised that we are returning the enclosed GML review as it is not in our jurisdiction.

ARM/eb

Enclosure

Rockland County HEALTH

CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health
Prevent. Promote. Protect.

EDWIN J. DAY
County Executive

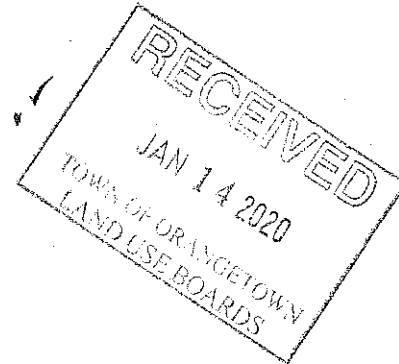
PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP
Commissioner of Health

SAMUEL RULLI, PE
Director, Environmental Health

January 14, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: Chefman Site Plan
Building Addition
Tax lot 73.19-1-8




Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (EAF), other supporting documentation and plans as prepared by Lanc & Tully Engineering & Surveying, P.C. dated August 12, 2019, for the above referenced project. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. Other comments are as follows:

1. Should the Board require a stormwater management system to remediate the increase in impervious surface, application is to be made to the RCDOH for review of the system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,



Elizabeth Mello, P.E.
Senior Public Health Engineer
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning
Lanc & Tully Engineering & Surveying, P.C.



Rockland County

Ed Day, Rockland County Executive

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

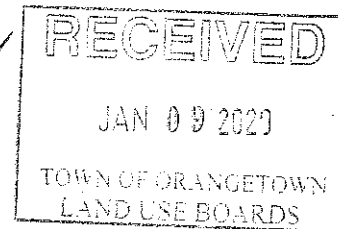
George Hoehmann
Chairman

Michael R. Saber, P.E.
Assistant Director/Acting Executive Director

January 7, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 South Greenbush Road
Orangeburg, NY 10962

Re: Chefman Site Plan
29 Corporate Drive, Orangeburg
Tax Lot 89/73.19-1-8 (formerly 20-26-345.18/6/2)



Dear Ms. Coopersmith:

Our office has received and reviewed a site plan that was last revised on August 12, 2019, which Lanc & Tully Engineering and Surveying prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,

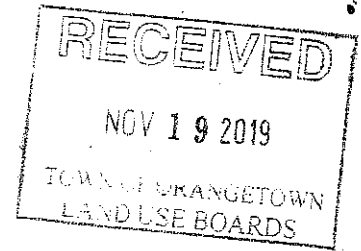


Joseph LaFiandra
Engineer II

cc: M. Saber
Helen Kenny-Burrows – Rockland County Department of Planning

File: TOO 73.19-1-8 – 29 Corporate Drive
Reader

Rocklandgov.com



Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, January 15, 2020
Meeting Time: 7:30 p.m.
Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

On behalf of Rockland County Hwy Dept. (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

- CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.
- DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as _____ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.
- TAKES NO POSITION on Lead Agency designation in this matter

Dated: 11.19.19

Rockland County Hwy Dept.

Agency Name

By: [Signature]

Signature

Dyan Rajasingham

Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

Town of Orangetown Planning Board

Planning Board Meeting: Wednesday, January 15, 2020

Meeting Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

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Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

On behalf of Rockland County Health Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 1/14/2020

RC Health Dept
Agency Name

By: [Signature]

Signature Liz Mello

Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

**Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, January 15, 2020**

Meeting Time: 7:30 p.m.

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On behalf of Orangetown ZBA (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

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DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as _____ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 11/20/19

Orangetown ZBA
Agency Name
By: [Signature]
Signature
Patricia Castelli, Acting Chair
Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

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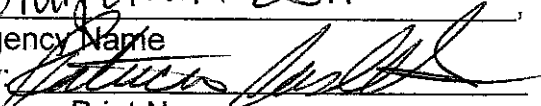
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If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

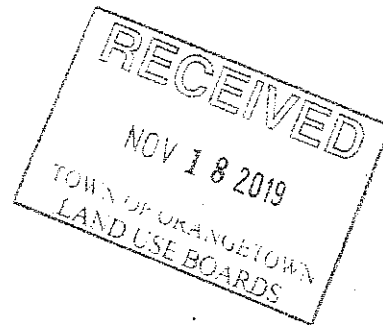
- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11/20/19

Orangetown ZBA
Agency Name
By: 
Please Print Name
Patricia Castelli, Acting
Chair

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**



Planning Board Meeting of January 15, 2020

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() No Comments at this time. Please send future correspondence for review.

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This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11/18/19

Agency Name _____
By: Allen Beers
Please Print Name _____

Rockland County Division of
Environmental Resources
50 Sanatorium Road
Building A- 6th Floor
Pomona, NY.10970

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
 - Email to Planning Board at ccoopersmith@orangetown.com, or
 - Fax to the Town of Orangetown Planning Board @845 359-8526
- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: 12/31/19

SUEZ
Agency Name
By: BILL PREHODA
Please Print Name

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

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Dated: 1/14/2020

RC Health Dept
Agency Name
By: Liz Melto
Please Print Name

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**

Planning Board Meeting of January 15, 2020

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This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11.19.19

Rockland County Hwy Dept.
Agency Name
By: Dyan Rajasingham
Please Print Name