

June 15, 2020 Board Items:

New Items:

PB #20-28: Bethany Mar Thoma Church Plan

Final Site Plan Review
90 Old Orangeburg Road, Orangeburg
74.09/1/64; R-80 zoning district

PB #20-29: Karayal Site Plan - Critical Environmental Area

Final Site Plan Review
1071 Route 9W, Nyack
71.09/1/10; R-22 zoning district

Continued Item from January 15, 2020

PB #20-03: Chefman Site Plan – continued item

Prepreliminary/Preliminary Site Plan and SEQRA Review
29 Corporate Drive, Orangeburg
73.19/1/8; LIO zoning district

Continued Items from June 1, 2020

PB#20-21: SQ Properties Site Plan

Prepreliminary/Preliminary Site Plan and SEQRA Review
8 Olympic Drive, Orangeburg
73.15/1/16; LIO zoning district

PB#20-22: 119 Tweed Boulevard Site Plan

Critical Environmental Area
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review
119 Tweed Boulevard, Upper Grandview
71.17/1/19; R-22 zoning district

Continued Item from May 27, 2020 Planning Board Meeting:

PB#20-19: Onyx Management/ Amazon Delivery Center Plans

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review
200 & 400 Oritani Drive & 877 Western Highway, Blauvelt,
65.18/1/1 & 22 and 70.06/1/1.12; LO zoning district

Updated: June 10, 2020

Dated: June 3, 2020



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962**

**Jane Slavin, RA
Director**

(845) 359-8410

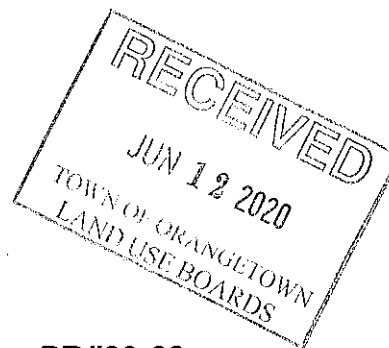
Fax: (845) 359-8526

Date: June 15, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **Chefman Site Plan**
Prepreliminary/Preliminary Site Plan and SEQRA
29 Corporate Drive, Orangeburg
73.19-2-8; LIO zoning district.



PB#20-03

Submission Reviewed:

Site Plan Dated last revised March 25, 2020 as prepared by Lanc and Tully, PC.

Applicant has still not addressed the items from my January 13, 2020 memo as follows:

- 1) Clearly delineate drainage easements.
- 2) Existing 15-foot drainage easement along south and the east property lines shall be shown.
- 3) Applicant must confirm compliance with ZBA decision #92-20, shipping and receiving and truck traffic of any kind only permitted from 5:00 am until 11:00 pm.
- 4) The following variances are required:

Per Chapter 43, Table 3.12, Bulk Regulations:

Front Yard required 100', 129.0' existing and 57' proposed.

Side Yard required 100', 100.4' existing and 57' proposed.

Rear Yard required 100', 66' existing and 1' proposed (to required 100' buffer)

Building Height permitted 14.25' with 27.8' proposed.

- 5) Floor plans and building elevations must be provided.
- 6) Is there any additional lighting proposed?

- 7) Existing and proposed mechanical equipment must be shown.
- 8) Indicate trees to be removed for the proposed work.
- 9) ACABOR review and approval is required for the building addition, site and the new pylon sign.
- 10) EAF – Part 1, number 2 should be marked YES as approval from The Zoning Board of Appeals is required. Part 1, number 10 and 11 should be marked Yes and confirmation of system capacity provided, Part 1, number 17 should be marked YES.
- 11) Permit number 31919, dated 7-31-01 for a new rooftop HVAC unit is expired. Applicant must contact building department to obtain required inspections and close out.

JS 6-15-2020



Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

May 28, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk



PB# 20-03

Re: Chefman Site Plan

Gentlemen:

This Department has the following comments/ recommendations.
(This letter supersedes our letter of 1/10/20)

1. The total area of disturbance (a.o.d.) shall be clearly defined on the plans and stated in the required SWPPP.
2. The applicant's engineer is advised that the SWPPP shall be prepared, submitted AND approved **PRIOR** to this site plan receiving Final Approval. The letter supplied by the applicant's engineer, contains no backup or calculations so its conclusions cannot be verified. The SWPPP shall be prepared and sealed by a NYS Licensed Professional Engineer, in compliance with the *NYS Stormwater Management Design Manual (NYS SMDM)*, the NYS SPDES General Permit for Stormwater Discharges from Construction Activities (SPDES GP-0-20-001), the *NYS Standards and Specifications for Erosion and Sediment Control* ("Blue Book") and Town of Orangetown Town Code (Chapters 30C & 30D), shall be prepared for the proposed site plan. The SWPPP shall include water quality and water quantity measures, pre and post stormwater runoff calculations utilizing the current rainfall intensity values for this area (example 100 yr. – 9.07 inches/hour.) It shall also include pollution control measures, calculations/ breakdown of all proposed land disturbances, showing how the total a.o.d. was determined, etc. The SWPPP/ calculations shall design onsite storage to achieve zero net increase in runoff as well as describe by explanation and calculation, how Chapters 6 (Green Infrastructure) and 9 (Redevelopment) of the NYS SMDM are satisfied by the stormwater management design.
3. The SWPPP shall also include the following:
 - a.) The SWPPP shall be bound by a 3-ring binder.
 - b.) The introduction to the SWPPP and the drawings shall clearly identify the specific type of infiltration pond that is being proposed using the naming system spelled out in the NYSDEC Stormwater Management Design Manual.
 - c.) The beginning of the SWPPP shall include a table showing elevation vs. area vs volume numbers for the proposed infiltration pond system & WQ practices.
 - d.) The drainage calculations shall contain year storm vs volume vs elevation tables for all of the proposed stormwater systems and WQ features.
 - g.) The drainage calculations shall also include storage- elevation tables and

curves for the stormwater infiltration system and water quality (WQ) practices. Pre and post hydrographs shall also be provided in the calculations. It is recommended that the pre and post calculations and hydrographs be separated into separate appendices.

4. Soil borings, perc tests and determination of groundwater elevations shall be performed at all of the stormwater system locations. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The tests shall be performed in the spring when the ground water table is typically at its highest.

5. Safety benches, aquatic benches, sediment depth markers, 25 foot buffer designation from high water mark, low flow channels, pond drains, plantings, and plaques/ signs indicating SPDES number for the proposed stormwater forebay/ bio-retention basin and stormwater storage pond shall be added to the basin plans.

6. A 12 foot wide maintenance path shall be clearly depicted around the proposed forebay/ bioretention area and stormwater storage pond. The path shall be placed in order to reach all critical components: spillways, inlet & outlet structures, emergency spillway, etc.

7. "Blow ups" of the proposed forebay/ bioretention area and stormwater storage pond shall be added to the plans. Cross-sections depicting the elevations at all the year storms designed for, plus their related storage volumes, shall be included in said profiles.

8. The proposed limit of disturbance shall be clearly defined on the drawings. A suggestion would be to have only two drawings showing the "google" view of the property (one existing conditions and one proposed.) All other drawings shall be "standard," as per "Site Plan" previously submitted.

9. Rip rap, or other approved energy dissipating device, shall be depicted at all drainage exhaust piping including the stormwater basin exhaust. Details for same shall be added to the drawings.

10. The location of the 100 yr. flood zone and any flood zones shall be clearly shown, if applicable.

11. This revised Site Plan contains less information than the site plan submitted for the January 15, 2020 Planning Board meeting. For example, the existing drainage easement along the front and east side of the property is not depicted on the current drawing. All existing and proposed easements (with the associated utilities/ improvements) and dedications, shall be shown on the drawings.

12. The existing 5.56 x 3.6 RCP oval stormwater drainage line, along the north east side of the property, appears to be outside of the existing Town drainage easement (as depicted on the previous site plan submission.) The applicant shall prepare and show a widening of the existing easement to encompass this stormwater drainage line. The easement shall extend at least 10 feet beyond the "southern side" of the stormwater

drainage line. The proposed easement shall be submitted to the Town Attorney's office and this Department for review and approval.

13. The monument sign is located directly over the 5.56 x 3.6 RCP oval stormwater drain line. This is unacceptable. The sign must be relocated away from the drainage line and outside of the easement requested above.

14. The existing storm drain line, located in the northern parking area, appears to just be cut off due to the installation of the new addition. More detail shall be provided as to what is to happen with that drainage line.

15. Separate drainage plans shall be added to the drawings showing all modifications to the existing system as well as how/ where runoff from the new impervious areas shall be handled/ mitigated. See comment #2.

16. With the new 18 inch HDPE drainage line being constructed along the southern property line, will the existing drain facilities (catch basins, piping, headwall, be removed? If so, they shall be labeled as such.

17. Profiles shall be added to the drawing set for all existing and proposed storm drain lines.

18 The proposed contours are shown "tying into" the existing contours at right angles. This is unacceptable. The proposed contours shall tie into the existing contours in line/ gradually.

19. A proposed grading plan shall be added to the drawing set.

20. Copies of all correspondence (including any and all approvals) with the New York State Department of Environmental Conservation, U.S. Army Corps. of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed subdivision, shall be supplied to the Planning Board and this Department, prior to signing the map.

21. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems shall be submitted to this Department and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to this Department, etc.

22. Soil erosion and sediment control plans and details shall be added to the application drawing and submitted to this Department for review and approval.

23. Because the project description states that approximately 15-20 new employees will occupy the building, sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. The applicant/ applicant's engineer is advised that the added number of employees may require addition facilities and sewer unit charges.

24. Details and a profile shall be added for the proposed sewer (sanitary) line replacement called for on the drawing.

25. The existing Town owned sanitary force main shall be shown in its entirety and labeled on the plan.

26. The page and liber (or instrument number), ownership for **ALL** easements and dedications shall be given on the plans (not just the filed map number.)

27. Legends shall be added to all of the plans. They shall clearly identify and distinguish between all existing and proposed features.

28. The source bench, with elevation, for the referenced datum shall be added to the plan.

29. Typical details, curbing, pavement, catch basin, outlet structure, inlet structure, etc. shall be added to the drawings.

Very truly yours,



A handwritten signature in black ink, appearing to be 'Bos', is written over a horizontal line.

cc: Highway file
Sewer file



BROOKER ENGINEERING, PLLC

NY OFFICE

74 Lafayette Avenue
Suite 501
Suffern, NY 10901

845.357.4411 Tel.
845.357.1896 Fax

NJ OFFICE

22 Paris Avenue
Suite 105
Rockleigh, NJ 07647

201.750.3527 Tel.

June 12, 2020

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: Chefman Site Plan (tax lot 73.19-1-8)
Planning Board Drainage Review (for June 15, 2020 Planning Board meeting)
BBE #OTN0144



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the Chefman Site Plan application to the Town of Orangetown Planning Board:

Information Reviewed

1. "Site Plan Prepared for Chefman", prepared by Lanc & Tully, PC, signed and sealed by David Edward Higgins, PE, Sheet 1 of 1, last revised 03/25/2020
2. "Stormwater Pollution Plan Summary", prepared by Lanc & Tully, PC, signed by David Higgins, PE, dated March 20, 2020
3. Project Application dated 08/19/2019

Project Description

This is our second drainage review report for this application; our last review was dated January 14, 2020. The property is located at southwest side of Corporate Drive about 1500 feet east of the intersection with Blaisdel Road. There is an existing warehouse building located in the middle of the property. The size of the building addition has been increased to 47,335 SF for this submission; it is proposed along the north, south, and west sides of the building. A small portion of the parking lot will be removed to accommodate the building expansion; expansion of the parking lot is proposed along the northern portion on the property.

The property has an east/west ridge and stormwater runoff flows from the ridge north towards Corporate Drive and south from the ridge towards the corporate limits with New Jersey. stormwater runoff from the new building will be directed to the new stormwater management basin near Corporate Drive.

Post construction stormwater detention facilities have been added for this submission. The stormwater management facility can provide storage of approximately seven inches of rainfall runoff over the new building and 4.8 inches of rainfall runoff from the new impervious areas. Summaries have been provided that demonstrate a reduction in peak runoff rates for the 1-year, 10-year, and 100-year design storms.

Project Comments

1. Show door locations at the building addition.
2. Show the locations of the existing and proposed roof drains.
3. Show proposed grades at all corners of the building addition.
4. Show positive drainage away from the building on the north side
5. Show the existing contours in the parking lot.
6. Provide full drainage calculations for the stormwater management basin. Include stage versus storage and stage versus discharge calculations.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	
Hillary Chadwick, P.E.	Vincent Kane, P.E.	Nestor Celiz, P.E.	Benjamin Levitz, P.E.

7. Provide construction details for the outlet structure and drainage structures.
8. Verify the stormwater management pond has horizontal separation to the new building per NYSDEC requirements.
9. The drainage calculations should account for any off-site subareas from the west that are directed to the new stormwater management basin.
10. Test pits to verify soil percolation rate and separation to groundwater are required.

Drainage Review Recommendation





The proposed action has provided information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Chefman Site Plan be approved for drainage subject to the above Project Comments.

Very truly yours,



BROOKER ENGINEERING, P.L.L.C.
Kenneth DeGennaro, P.E.

Planning Board Review Summary

Project Data						
Job Name Chefman	Owner Mreic Orangeburg NY LLC			Address 29 Corporate Drive	Tax Lot Number 73.19-1-8	
Job Description: 47,335 SF building addition				Planning Board No. N/A	BBE Number OTN0138	
Planning Board Data						
Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
01/15/2020	08/12/2019	-	01/14/2020		X	
06/15/2020	03/25/2020	03/20/2020	06/12/2020			X
Construction Data						
Area of Disturbance:				>1.0 acre		
Erosion Control Plan Required:				Yes		
SWPPP Required:				Yes		
Post Construction Stormwater Quantity Required:				Yes		
Post Construction Stormwater Quality Required:				Yes		
Description of Required Stormwater Management:				Bio retention (23,402 CF of storage)		
Photographs						
						
Description: Entrance to the site from Corporate Drive.				Description: View to the front of the site. Standing at the east corner of the property, looking northwest.		
Date: 02/27/2020				Date: 02/27/2020		
						
Description: View to the northwest side of the building. Standing at the north corner of the site, looking southwest.				Description: View to rear of the site. Standing at the west corner of the property, looking southeast.		
Date: 02/27/2020				Date: 02/27/2020		



Description: Rear of the building. Multiple sinkholes were noted at the time of the visit.

Description: View to the southeast side of the site. Standing at the east corner of the site, looking southwest.

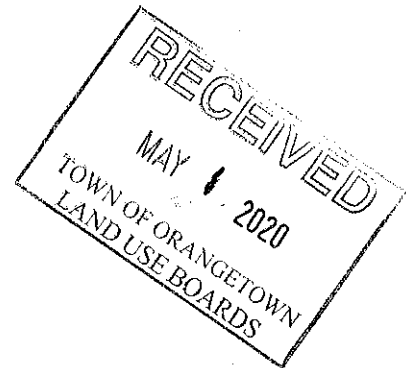
Date: 02/27/2020

Date: 02/27/2020

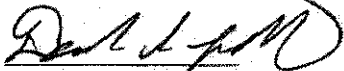
Town of Orangetown
Bureau of Fire Prevention
20 Greenbush Road
Orangeburg, N.Y. 10962
Ph (845)365-0204*fax (845)365-0241

May 1, 2020

Chef man site plan



1. We request that the driveway/parking area on the north side of the building by the office area be extended to the full length of the proposed addition for fire apparatus access. The minimum clear width must be 26 feet and a height of 13 feet 6 inches, and all areas other than designated new and existing parking spots be striped and signed as fire lane.
2. On the south east corner of the building an area shall be designated fire lane with a clear width of 26 feet and have clear access from corporate drive to the southernmost curb. This area will be designated fire lane and stripped and signed.
3. What is the reason for re locating the fire department sprinkler connection as shown on the plan? This connection must also be changed to a 4 inch storz connection.


Douglas A. Sampath
Fire Inspector
Town of Orangetown
dsampath@orangetown.com

Project Review Committee Report - January 8, 2020
TO: Town of Orangetown Planning Board
RE: Planning Board Meeting of January 15, 2020

*already Read
into Record.*

Continued Item from the July 17, 2019 Meeting:

PB #14-39: Jay and Joe Construction LLC Subdivision Plan

Prepreliminary/ Preliminary Subdivision Plan and SEQRA Review; 80 South Middletown Road, Pearl River; 69.17/1/76; RG zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

New Items:

PB #20-01: Sambrotto Subdivision

Request for two 90-day extensions to file the Subdivision Plan with Rockland County Clerk's Office; 34 Clausland Mountain Road, Blauvelt; 70.15/2/11; R-40 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

PB#20-02: Natelli Conservation Easement Relocation Plan

Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review; 230 South Greenbush Road, Orangeburg; 70.19/1/27.1; R-15 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

~~PB #20-03: Chelmer Site Plan~~

~~Prepreliminary/Preliminary Site Plan and SEQRA Review; 29 Corporate Drive, Orangeburg; 73.19/1/8; LIO zoning district~~

- ~~1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.~~

PB #20-04: Lander Minor Subdivision Plan

Prepreliminary/ Preliminary/ Final Subdivision Plan and SEQRA Review; 1 Duryea Place, Nanuet; 63.19/1/5; R-22 zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

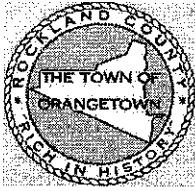
PB #20-05: The Club West at Pearl River Phase II Site Plan

Final Site Plan Review; 661 West Blue Hill Road, Pearl River; 73.10/1/5; OP-PAC zoning district

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

Attendees: J. Slavin, B. Peters, J. Dean, R. Pakola, M. Bettmann
Non-Member: M. Mandel, D. Sampath

*Continued - rev. Plan + needs
drainage*



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

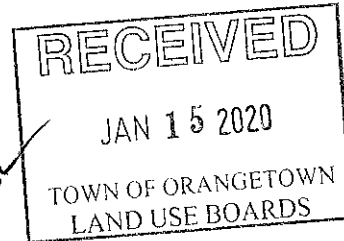
(845) 359-8410

Fax: (845) 359-8526

Date: January 13, 2020

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



Subject: **Chefman Site Plan** **PB#20-03**
Prepreliminary/Preliminary Site Plan and SEQRA
29 Corporate Drive, Orangetown
73.19-2-8; LIO zoning district.

Submission Reviewed:

Site Plan Dated August 12, 2019 as prepared by Lanc and Tully, PC.

- 1) Application is for an expansion of an existing building to add warehouse space.
- 2) Clearly delineate drainage easements.
- 3) Existing 15-foot drainage easement along south property line shall be shown.
- 4) Provide appropriate excavation limits at proposed additions.
- 5) Applicant must confirm compliance with ZBA decision #92-20, shipping and receiving and truck traffic of any kind only permitted from 5:00 am until 11:00 pm.
- 6) The following variances are required:

Per Chapter 43, Table 3.12, Bulk Regulations:

Front Yard required 100', 129.0' existing and 57' proposed.

Side Yard required 100', 100.4' existing and 57' proposed.

Rear Yard required 100', 66' existing and 1' proposed (to required 100' buffer)

Building Height permitted 14.25' with 27.8' proposed.

- 7) Floor plans and building elevations must be provided.
- 8) Is there any additional lighting proposed?

- 9) Existing and proposed mechanical equipment must be shown.
- 10) Indicate extent of tree clearing required for proposed addition.
- 11) ACABOR review and approval is required for the building addition, site and the new pylon sign.
- 12) EAF – Part 1, number 2 should be marked YES as approval from The Zoning Board of Appeals is required. Part 1, number 10 and 11 should be marked Yes and confirmation of system capacity provided, Part 1, number 17 should be marked YES.
- 13) Permit number 31919, dated 7-31-01 for a new rooftop HVAC unit is expired. Applicant must contact building department to obtain required inspections and close out.

JS 1-13-2020



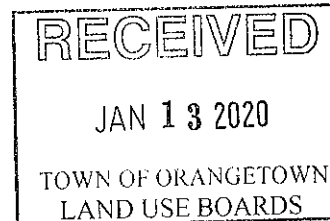
Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangetown New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

January 13, 2020

Planning Board
Town of Orangetown
1 Greenbush Road
Orangetown, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk

Re: Chefman Site Plan



PB# 20-03

Gentlemen:

This Department has the following comments/ recommendations.

1. The total area of disturbance (a.o.d.) shall be listed on the plan. The applicant's engineer is reminded that the total area of disturbance shall include any and all land disturbances for the proposed site plan – building construction, utility extensions/ relocations, pavement/ parking expansions/ improvements, the monument sign that has already been installed and all utilities that feed it, any required fire lanes around the building, etc.
2. As per the applicant's engineer's letter of 11/1/19, a SWPPP shall be provided for this application. The SWPPP shall include pre and post construction stormwater calculations, pollution control measures, calculations/ breakdown of all proposed land disturbances, showing how the total a.o.d. was determined, etc. The applicant's engineer shall design onsite storage to achieve a zero increase in runoff from the proposed site.
3. The previously mentioned engineer's letter states that the applicant's intent is to keep the a.o.d. under 1 acre. If the current site plan a.o.d., including all the items yet to be shown/ added to the a.o.d. - listed in comment #1 above, surpasses 1 acre, a full SWPPP shall be prepared including water quality and quantity measures, drainage calculations, green infrastructure, and redevelopment features and shall be designed in accordance with the NYS Stormwater Management Design Manual. etc. If the applicant is intent on keeping the a.o.d. under 1 acre, one way to possibly lower the a.o.d. would be to reduce the size of the proposed addition.
4. The proposed limit of disturbance appears to run right along the new building footprint, along the northern and southern building lines. This is not practical as foundation will need to be constructed for the new building addition and they will extend beyond the proposed building walls, The Limit of disturbance shall be adjusted accordingly.
5. The existing 5.56 x 3.6 RCP oval stormwater drainage line, along the north east side of the property, appears to be outside of the existing Town drainage easement. The applicant shall prepare and show a widening of the existing easement to encompass this stormwater drainage line. The easement shall extend at least 10 feet beyond the "southern side" of the

stormwater drainage line. The proposed easement shall be submitted to the Town Attorney's office and this Department for review and approval.

6. The monument sign is located directly over the 5.56 x 3.6 RCP oval stormwater drain line. This is unacceptable. The sign must be relocated away from the drainage line and outside of the easement requested above.

7. The existing storm drain line, located in the northern parking area, appears to just be cut off due to the installation of the new addition. More detail shall be provided as to what is to happen with that drainage line.

8. Drainage plans shall be added to the drawings showing all modifications to the existing system as well as how/ where runoff from the new impervious areas shall be handled/ mitigated. See comment #2.

9. Soil erosion and sediment control plans and details shall be added to the application drawing and submitted to this Department for review and approval.

10. A proposed grading plan shall be added to the drawings.

11. Because the project description states that approximately 15-20 new employees will occupy the building, sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. The applicant/ applicant's engineer is advised that the added number of employees may require addition facilities and sewer unit charges.

12. The existing Town owned sanitary forcemain shall be shown in its entirety and labeled on the plan.

13. The page and liber (or instrument number), ownership for **ALL** easements and dedications shall be given on the plans (not just the filed map number.)

14. A legend shall be added to the plan that clearly identifies and distinguishes between all existing and proposed features on the site plan.

15. The source bench, with elevation, for the referenced datum shall be added to the plan.

16. Typical details shall be added to the drawings.

Very truly yours,



cc: Highway file
Sewer file

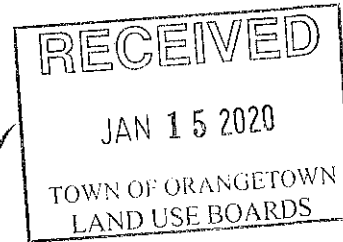


NY OFFICE
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NJ OFFICE
22 Paris Avenue
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Rockleigh, NJ 07647

201.750.3527 Tel.



January 14, 2020

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: Chefman Site Plan (tax lot 73.19-1-8)
Planning Board Drainage Review (for January 15, 2020 Planning Board meeting)
BBE #OTN0144

Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the Chefman Site Plan application to the Town of Orangetown Planning Board:

Information Reviewed

1. "Site Plan Prepared for Chefman", prepared by Lanc & Tully, PC, signed and sealed by David Edward Higgins, PE, Sheet 1 of 1, dated 08/12/2019
2. Project Application dated 08/19/2019

Project Description

This is our first drainage review report for this application. The property is located at southwest side of Corporate Drive about 1500 feet east of the intersection with Blaisdel Road. There is an existing warehouse building located in the middle of the property. The 36,683 SF building addition is proposed along the north, south, and west sides of the building. A small portion of the parking lot will be removed to accommodate the building expansion; no other increases in parking are proposed.

The property has an east/west ridge and stormwater runoff flows from the ridge north towards Corporate Drive and south from the ridge towards the corporate limits with New Jersey. It is not clear what direction stormwater runoff from the new building will be directed.

No post construction stormwater detention facilities are proposed for this submission. Please note if stormwater facilities are proposed outside the limits of disturbance, the overall limit of disturbance will most likely be increased to over one acre. Drainage design calculations for mitigation of stormwater quantity impacts can be provided at this time in lieu of a full SWPPP.

Project Comments

1. Provide the finished floor elevation for the addition.
2. Show door locations at the building addition.
3. Show the locations of the existing and proposed roof drains.
4. Show stormwater mitigation measures for increases in stormwater runoff.
5. Show the foundation drain for the addition.
6. Show proposed grades at all corners of the building addition.
7. Revise the grading along the west side of the building. It appears there may be an unnecessary berm along the elevation 78 contour. Provide a typical swale detail for this area.
8. Show the existing contours in the parking lot.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E. Eve Mancuso, P.E., C.M.E. Ken DeGennaro, P.E., C.F.M. Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E. Dennis Rocks, P.E., C.F.M. John Bezuyen, P.L.S.
Hillary Chadwick, P.E. Vincent Kane, P.E. Nestor Cellz, P.E. Benjamin Levitz, P.E.

Drainage Review Recommendation

The proposed action has not provided information that demonstrates that potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the Chefman Site Plan not be approved for drainage at this time.

Very truly yours,



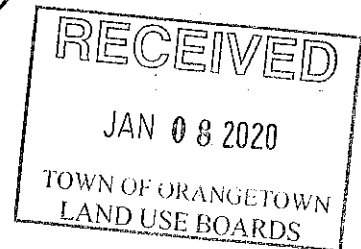
BROOKER ENGINEERING, P.L.L.C.

Kenneth DeGennaro, P.E.


Town of Orangetown
Bureau of Fire Prevention
20 Greenbush Road
Orangeburg, N.Y. 10962
Ph (845)365-0204*fax (845)365-0241

January 8, 2020

Chef man site plan



1. We request that the driveway/parking area on the north side of the building by the office area be extended to the full length of the proposed addition for fire apparatus access. The minimum clear width must be 26 feet and all areas other than designated new and existing parking spots be striped and signed as fire lane.
2. On the south east corner of the building an area shall be designated fire lane with a clear width of 26 feet and have clear access from corporate drive to this area.


Michael B. Bettmann
Chief Fire Inspector
Town of Orangetown
mbettmann@orangetown.com

 **Rockland County**
Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING
Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Arlene R. Miller
Deputy Commissioner

November 18, 2019



To: Town of Orangetown Planning Bd.
From: Arlene Miller, Principal Planner
Re: **CHEFMAN SITE PLAN (73.19-1-8)**

Please be advised that we are returning the enclosed GML review as it is not in our jurisdiction.

ARM/eb

Enclosure

Rockland County HEALTH

CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health
Prevent. Promote. Protect.

EDWIN J. DAY
County Executive

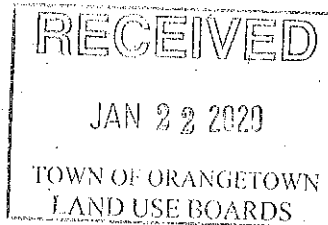
PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAFP
Commissioner of Health

SAMUEL RULLI, PE
Director, Environmental Health

January 14, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: Chefman Site Plan
Building Addition
Tax lot 73.19-1-8



Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (EAF), other supporting documentation and plans as prepared by Lanc & Tully Engineering & Surveying, P.C. dated August 12, 2019, for the above referenced project. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. Other comments are as follows:

1. Should the Board require a stormwater management system to remediate the increase in impervious surface, application is to be made to the RCDOH for review of the system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, do not hesitate to call.

Very truly yours,

Elizabeth Mello, P.E.
Senior Public Health Engineer
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning
Lanc & Tully Engineering & Surveying, P.C.



Rockland County

Ed Day, Rockland County Executive

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340

Orangeburg, New York 10962

Phone: (845) 365-6111 Fax: (845) 365-6686

RCSD@co.rockland.ny.us

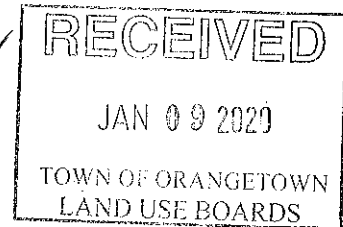
George Hoehmann
Chairman

Michael R. Saber, P.E.
Assistant Director/Acting Executive Director

January 7, 2020

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 South Greenbush Road
Orangeburg, NY 10962

Re: Chefman Site Plan
29 Corporate Drive, Orangeburg
Tax Lot 89/73.19-1-8 (formerly 20-26-345.18/6/2)



Dear Ms. Coopersmith:

Our office has received and reviewed a site plan that was last revised on August 12, 2019, which Lanc & Tully Engineering and Surveying prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

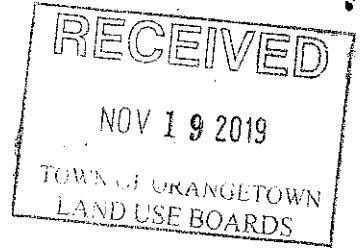
Very truly yours,

Joseph LaFiandra
Engineer II

cc: M. Saber
Helen Kenny-Burrows – Rockland County Department of Planning

File: TOO 73.19-1-8 – 29 Corporate Drive
Reader

Rocklandgov.com



Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, January 15, 2020
Meeting Time: 7:30 p.m.
Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

On behalf of Rockland County Hwy Dept. (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as _____ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 11.19.19

Rockland County Hwy Dept.

Agency Name

By: [Signature]

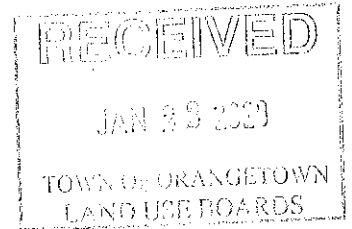
Signature

Dyan Rajasingham

Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail:

ccoopersmith@aol.com



Town of Orangetown Planning Board
Planning Board Meeting: Wednesday, January 15, 2020
Meeting Time: 7:30 p.m.
Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

On behalf of Rockland County Health Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

- CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.
- DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.
- TAKES NO POSITION on Lead Agency designation in this matter

Dated: 1/14/2020

RC Health Dept
 Agency Name
 By: [Signature]
 Signature Liz Mello
 Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

Town of Orangetown Planning Board

Planning Board Meeting: Wednesday, January 15, 2020

Meeting Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

**Response to request that the Town of Orangetown Planning Board
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

On behalf of Orangetown ZBA (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that _____ serve as _____ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 11/20/19

Orangetown ZBA

Agency Name

By

Signature

Patricia Castelli, Acting Chair

Printed Name of Signer

Please return within 30 days by Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

() Comments Attached (or to be provided prior to Meeting date noted above).

() No Comments at this time. Please send future correspondence for review.

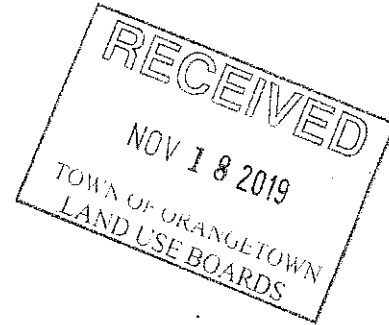
No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

() This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11/20/19

Orangetown ZBA
Agency Name
By: [Signature]
Please Print Name
Patricia Castelli, Acting
Chair

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**



Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

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- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11/18/19

Agency Name _____
By: Allen Beers
Please Print Name _____

Rockland County Division of
Environmental Resources
50 Sanatorium Road
Building A- 6th Floor
Pomona, NY.10970

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

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- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
 - Email to Planning Board at ccoopersmith@orangetown.com, or
 - Fax to the Town of Orangetown Planning Board @845 359-8526
- () Comments Attached (or to be provided prior to Meeting date noted above)
- () No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

Dated: 12/31/19

SUEZ

Agency Name

By: BILL PREHODA

Please Print Name

Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

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If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at ccoopersmith@orangetown.com, or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 1/14/2020

RC Health Dept
Agency Name
By: Liz Melto
Please Print Name

**Town of Orangetown
20 South Greenbush Road
Orangeburg, New York 10962**

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

() Comments Attached (or to be provided prior to Meeting date noted above)

() No Comments at this time. Please send future correspondence for review.

() No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

() This project is out of the jurisdiction of this agency and has no further comments.

Dated: 11.19.19

Rockland County Hwy Dept.
Agency Name
By: Dyan Rajasingham
Please Print Name

RECEIVED
JAN 22 2020
TOWN OF ORANGETOWN
LAND USE BOARDS

TOWN OF ORANGETOWN
20 South Greenbush Road
Orangeburg, New York 10962

Planning Board Meeting of January 15, 2020

Project Name: Chefman Site Plan

Location of Parcel: The site is located at 29 Corporate Drive, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 73.19, Block 1, Lot 8, LIO zone.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
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- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 1/14/2020

RC Health Dept
Agency Name
By: [Signature] Liz Melto
Please Print Name

January 10, 2020

PB#20-03

Submitted by Larry DelBaggio
@ 1-15-2020 PB #3

Larry DelBaggio
2 Corrigan Way
Old Tappan, NJ 07675
201-960-0026
larrydelbag@gmail.com

Michael Young
51 Greenwoods Drive
Old Tappan, NJ 07675
201-574-5182

Re: Site Plan for Chefman
Tax Lot 7319-1-8
29 Corporate Drive

Chairman Warren and Members of the Orangetown Planning Board;

Regarding the proposed Chefman footprint expansion, please consider the following concerns and comments:

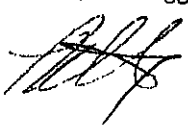
1. **Drainage and water runoff.** Our properties are located directly behind and at a lower elevation than the Chefman site, any additional building structure would create a situation that would reduce the ground area that currently absorbs water and would push more water toward our properties. We see there are plans for a drainage system, however we would like an assurance that this proposed drainage system will service all of the new proposed structure as well as the existing structure and that all rain water runoff will be channeled to the waterway that eventually runs and feeds into the reservoir.
2. **Width of proposed building facing (Bergen County) residential areas.** We request that the Orangetown Zoning Code be followed, that is; "3 inches height of building permitted for every 1 foot from property line. Therefore given the existing and proposed building height of 27' 10", that would require the buffer from our property line be 111 feet instead of the proposed 100 feet. (Proposed 27'10" building height = 334" / 3" allowed height per 1' = 111' buffer from property line.)
3. **Natural camouflage.** We request that a line of tall evergreen trees be planted along the entire width of the back of the south side of the proposed building for aesthetic considerations and in order to compensate for any current trees that may be lost due to the proposed construction.
4. **Color of proposed building extension.** The existing building is a 2 toned building where the red color is quite visible from our properties, we request that the entire extension be a more neutral gray color to blend into the environment, similar to the gray of the bottom of the existing building.

Please consider these requests so each side can continue to be good neighbors, prosper and live in harmony as we have for more than the past 20 years.

Thank you,

Sincerely

Larry DelBaggio



Michael Young

