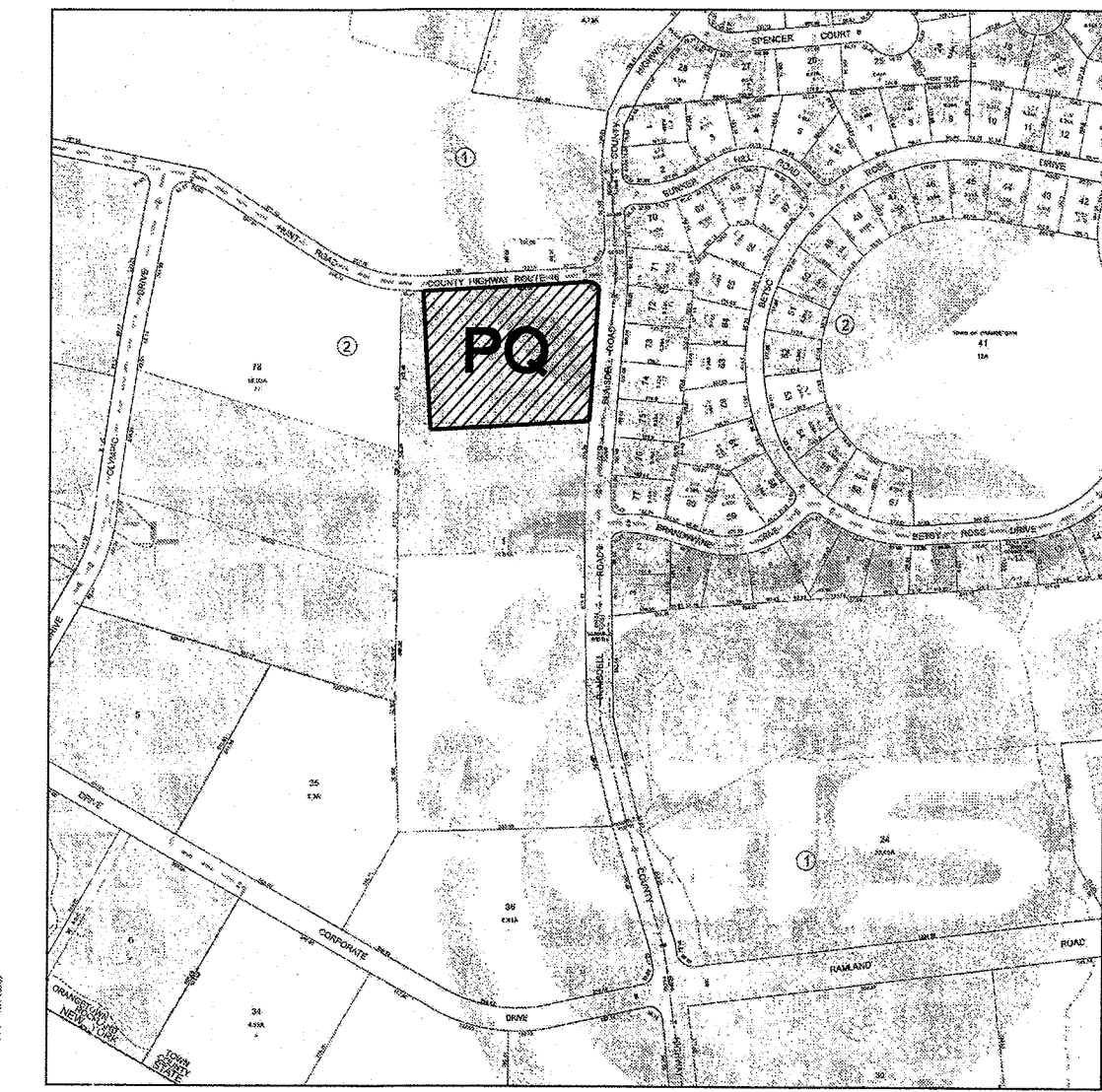


# PROPOSED SITE MODIFICATIONS at: DYNAMIC EVENT GROUP, INC.

300 Blaisdell Road  
Orangeburg, New York 10962



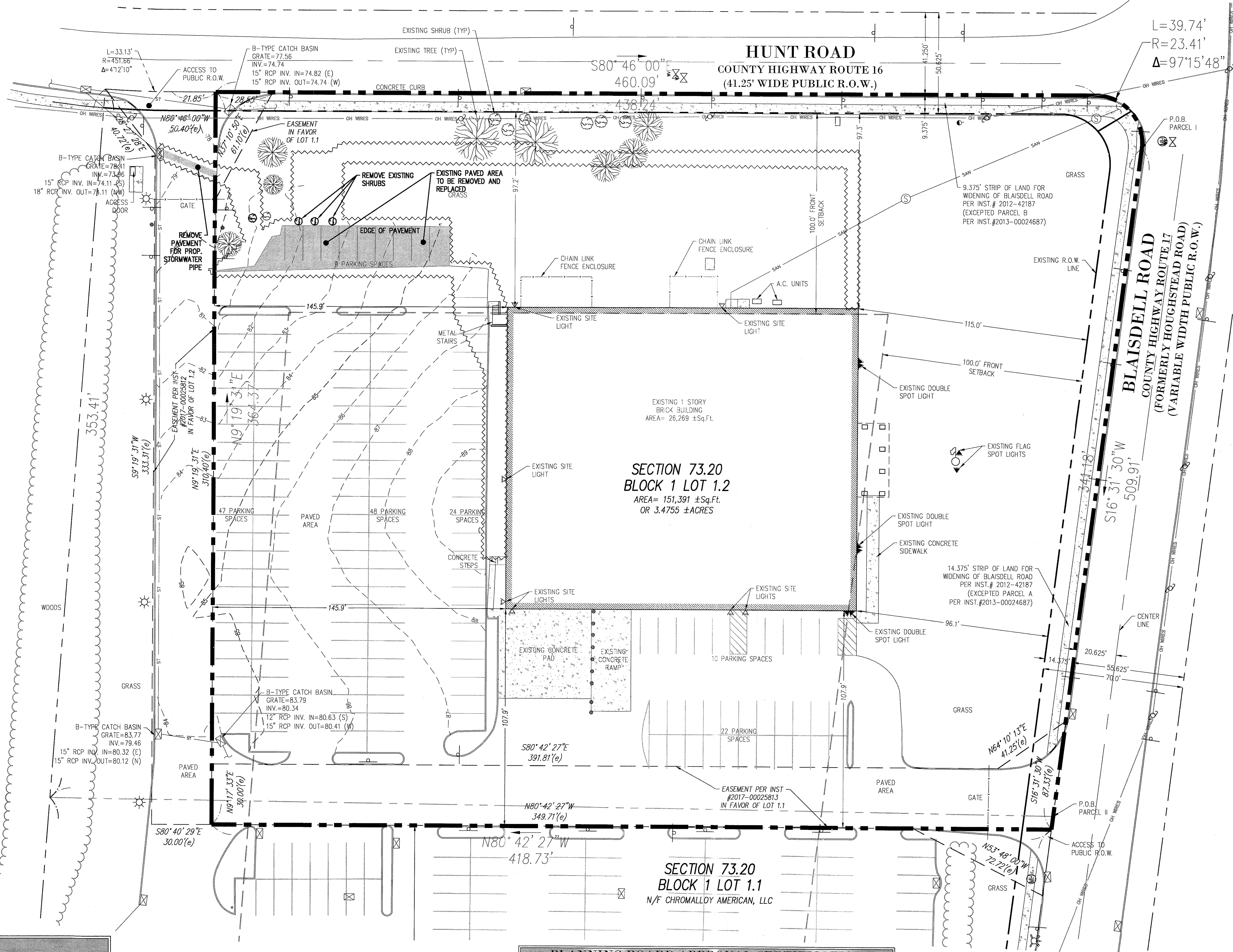
MATTHEW M. WEBB, PLS  
PROFESSIONAL LAND SURVEYOR License No. 020851-1

*Matthew Webb*

RONALD M. PANICCI, P.E.  
PROFESSIONAL ENGINEER License No. 725800-1

*Ronald M. Panicci*

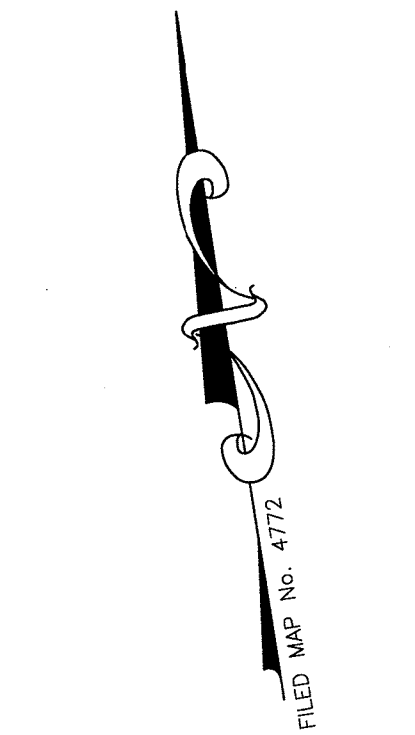
DRAWING INDEX	
SP.11	EXISTING & DEMOLITION SITE PLAN
SP.21	PROPOSED SITE PLAN
SP.31	PROPOSED DRAINAGE PLAN
SC.01	SOIL EROSION & SEDIMENT CONTROL PLAN



TAX MAP  
1" = 500'

LEGEND			
TRAVERSE	△	UNKNOWN MANHOLE	●
MONUMENT	□	ELECTRIC MANHOLE	⊙
IRON PIPE	○	SANITARY MANHOLE	⊕
BOOK	BK	CLEAN OUT	⊖
PAGE	PG	TELEPHONE MANHOLE	⊗
RIGHT OF WAY	R.O.W.	STORM MANHOLE	⊘
SIGN	⊠	CATCH BASIN	⊙
FLAGPOLE	⊡	FLARED END SECTION	⊙
MAILBOX	⊠	LIGHT POLE	⊙
DUMPSTER	⊠	WALL-MOUNTED SPOT LIGHT	⊙
HANDICAP SYMBOL	⊠	SITE LIGHT	⊙
TREE	⊠	BOLLARD	⊙
PROPERTY LINE (PO)	---	WATER LINE	W
PROPERTY LINE	---	GAS LINE	G
SETBACK LINE	---	ELECTRIC LINE	E
WETLANDS BOUNDARY	---	TELEPHONE LINE	T
STREAM OR BROOK	---	OVERHEAD WIRES	OH
TREE LINE	---	SANITARY SEWER	SAN
CHAIN LINK FENCE	---	STORM SEWER	ST
WOOD FENCE	---	GUIDE RAIL	---

- Revisions:
- 04/02/18 ADDED EXISTING CONDITIONS PLAN.
  - 01/31/19 RESPONSE TO ORZPAE DIRECTOR COMMENTS.
  - 06/25/19 PLANNING BOARD SUBMISSION.
  - 06/09/19 PLANNING BOARD RESUBMISSION.
  - 07/27/20 REV. PER PLANNING BOARD COMMENTS.



SCALE : 1" = 30'

SURVEY REFERENCES	
1.	INSTRUMENT #2013-00024687 INST. #2012-42187
2.	MAP ENTITLED "MINOR SUBDIVISION FOR SALISBURY DEVELOPMENT CORP." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON FEBRUARY 24, 1975 IN BOOK 88 PAGE 23 AS MAP NO. 4584 AS AMENDED BY FILED MAP NO. 4772 IN BOOK 90 PAGE 54.
3.	MAP ENTITLED "SURVEY FOR LITTON SYSTEMS IN ORANGETOWN" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JUNE 14, 1988 IN BOOK 71 OF MAPS AT PAGE 56 AS MAP NO. 3461.
4.	MAP ENTITLED "SUBDIVISION OF TAX LOT 26-345-18.6, ROCKLAND CORPORATE PARK" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 17, 1988 AS MAP NO. 5833, BOOK 104 PAGE 64.
5.	MAP ENTITLED "SUBDIVISION OF TAX LOT 26-345-18.3, ROCKLAND CORPORATE PARK" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON OCTOBER 3, 1988 AS MAP NO. 5857 IN BOOK 106 PAGE 38.
6.	TOPOGRAPHIC SURVEY WAS PERFORMED BY LAN ASSOCIATES ENGINEERING-PLANNING-ARCHITECTURE, LLP, WILLIAM T. MANNING, PLS. L.C. NO. 050388 ON JUNE 20, 2000.
7.	MAP ENTITLED "CHROMALLOY MINOR SUBDIVISION SECTION 73.20 BLOCK 1 LOT 1" RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPTEMBER 5, 2017 AS MAP NO. 6376.

PLANNING BOARD APPROVAL CERTIFICATION

APPROVED FOR FILING: \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED AS A FINAL PLAT BY A RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF ORANGETOWN

CHAIRMAN OF THE ROCKLAND COUNTY DRAINAGE AGENCY \_\_\_\_\_ DATE \_\_\_\_\_

OWNER CERTIFICATION

I/WE, OWNER(S), HEREBY GIVE CONSENT TO THE FILING OF THIS MAP.

AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

APPLICANT & PROPERTY INFORMATION

OWNER/APPLICANT:  
DYNAMIC EVENT GROUP, INC.  
300 BLAISDELL ROAD  
ORANGETOWN, NY 10962

PROPERTY LOCATION:  
SECTION 73.20 - BLOCK 1 - LOT 1.2  
TOWN OF ORANGETOWN, COUNTY OF ROCKLAND, NEW YORK.  
AREA OF PROPERTY= 151,391 ± SQ. FT. OR 3.4755 ± ACRES

*Sept 9, 2020  
Planning Board file  
73.20-1-1*

LAN ASSOCIATES  
engineering • planning • architecture • surveying  
262 MAIN STREET, GOSHEN, NEW YORK 10924 (645)615-0350

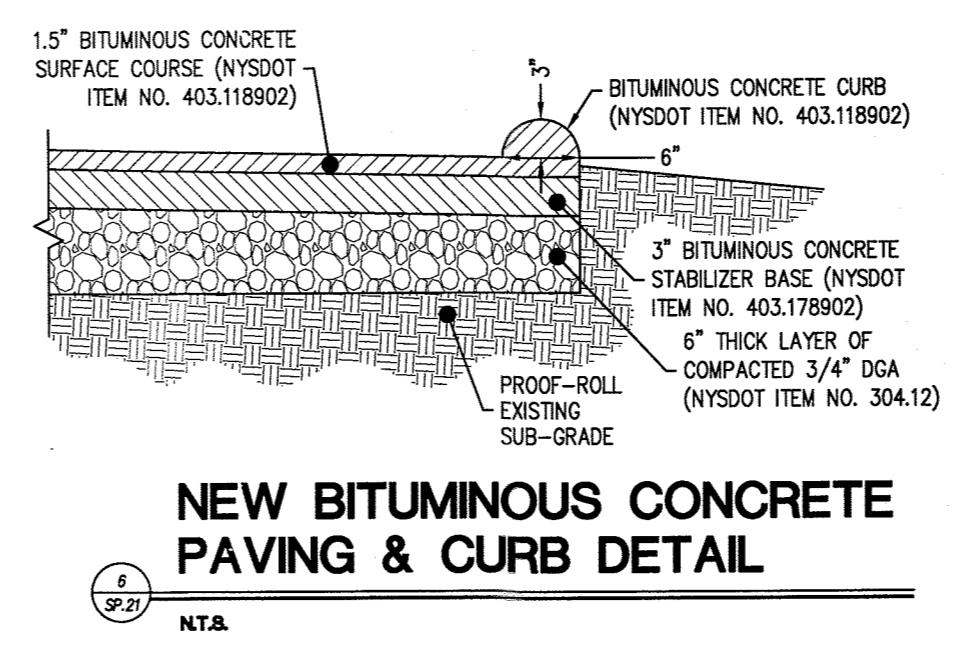
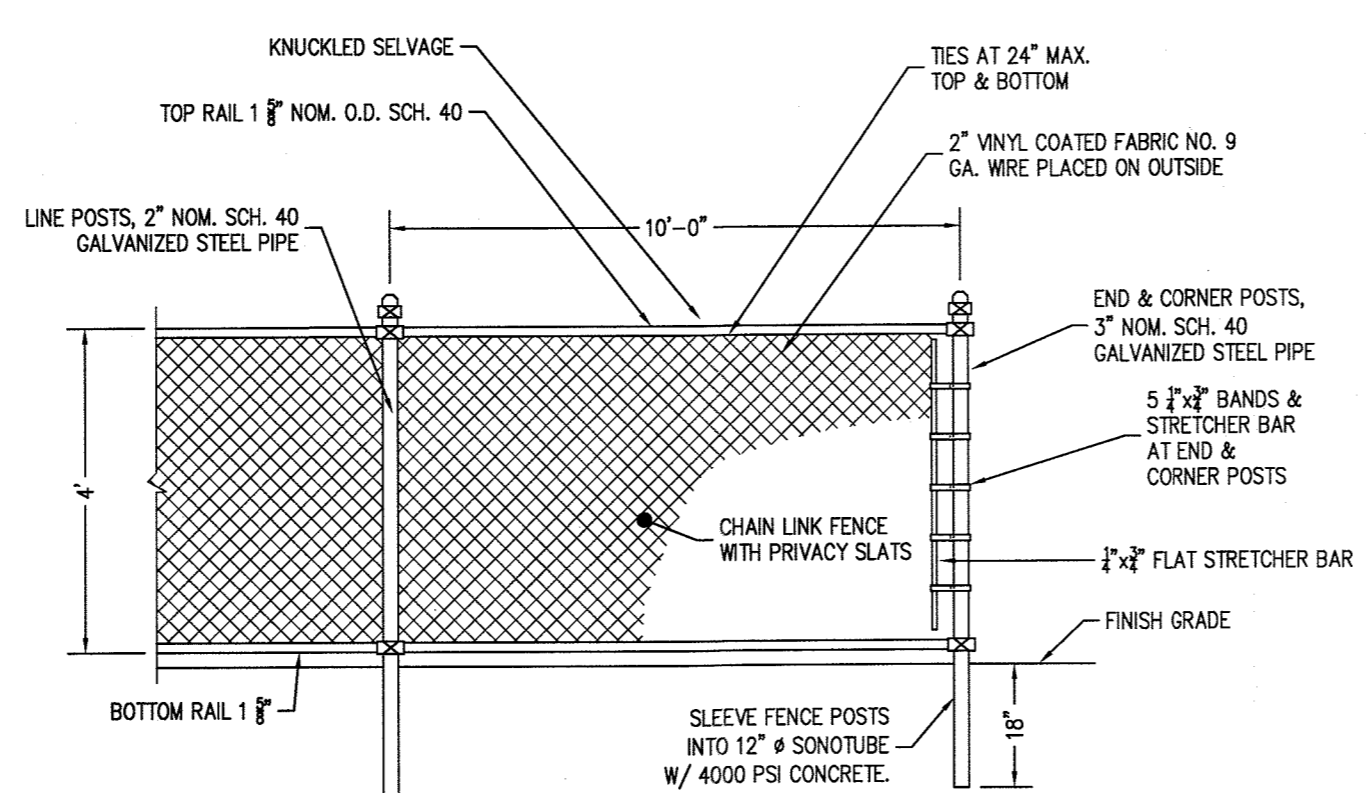
EXISTING & DEMOLITION SITE PLAN  
SECTION 73.20 - BLOCK 1 - LOT 1.2  
300 BLAISDELL ROAD  
DYNAMIC EVENT GROUP, INC.  
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

SP.11



ZONING REQUIREMENTS			
ZONE DISTRICT L10 (LIGHT INDUSTRIAL-OFFICE) GROUP CC	REQUIRED	EXISTING	PROPOSED
<b>MINIMUM LOT REQUIREMENTS</b>			
MINIMUM LOT AREA (SQUARE FEET)	87,120	151,391	NO CHANGE
MINIMUM LOT AREA (ACRES)	2	3.475	NO CHANGE
MINIMUM LOT WIDTH (FEET)	300	358.2 (BLAISDELL)	NO CHANGE
MINIMUM STREET FRONTAGE (FEET)	150	372.4 (BLAISDELL)	NO CHANGE
MINIMUM OPEN SPACE (PERCENT)	25	39.52	38.26
<b>MINIMUM YARD REQUIREMENTS (PRINCIPAL BUILDING)</b>			
MINIMUM FRONT YARD (FEET)	100	96.1 (E)	96.1 (E)
MINIMUM SIDE YARD (FEET)	100	97.2	95.9 (V)
MINIMUM TOTAL SIDE YARD (FEET)	200	N.A.	N.A.
MINIMUM REAR YARD (FEET)	100	145.9	NO CHANGE
<b>MAXIMUM LOT REQUIREMENTS</b>			
MAXIMUM FLOOR AREA RATIO	0.40	0.174	NO CHANGE
MAXIMUM BUILDING HEIGHT (FEET)	25	24	NO CHANGE

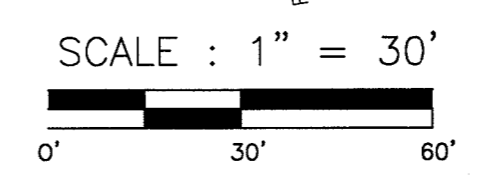
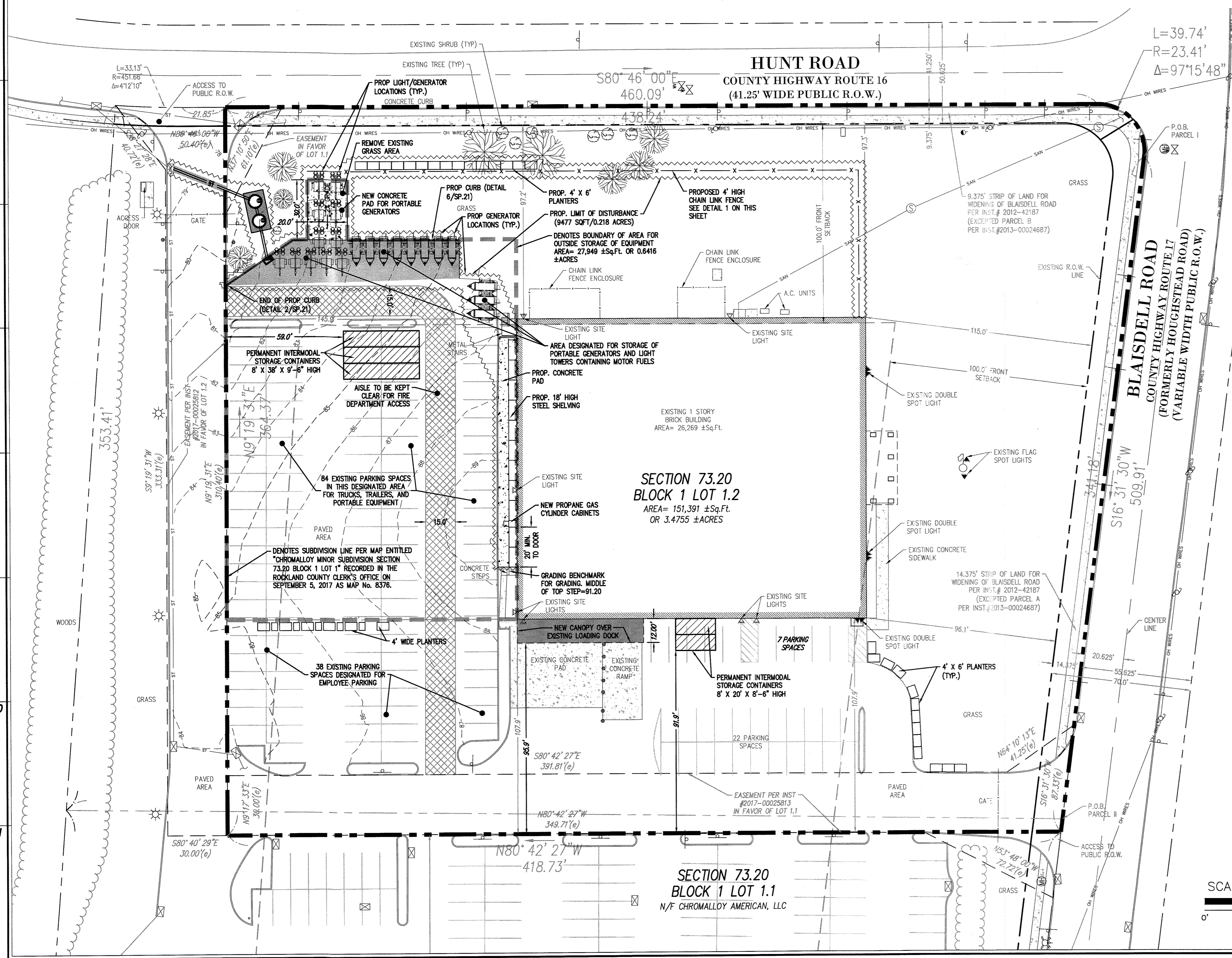
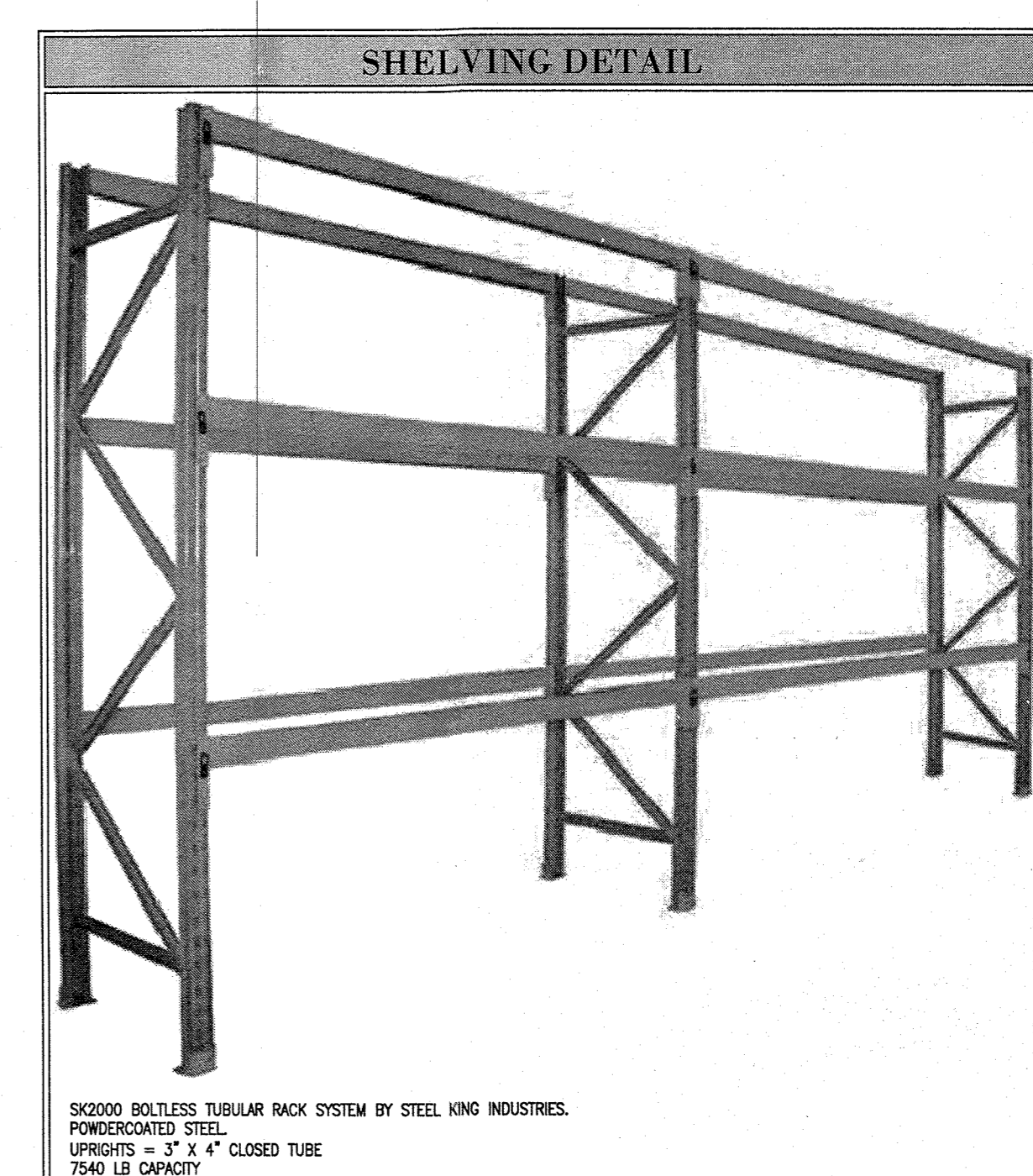
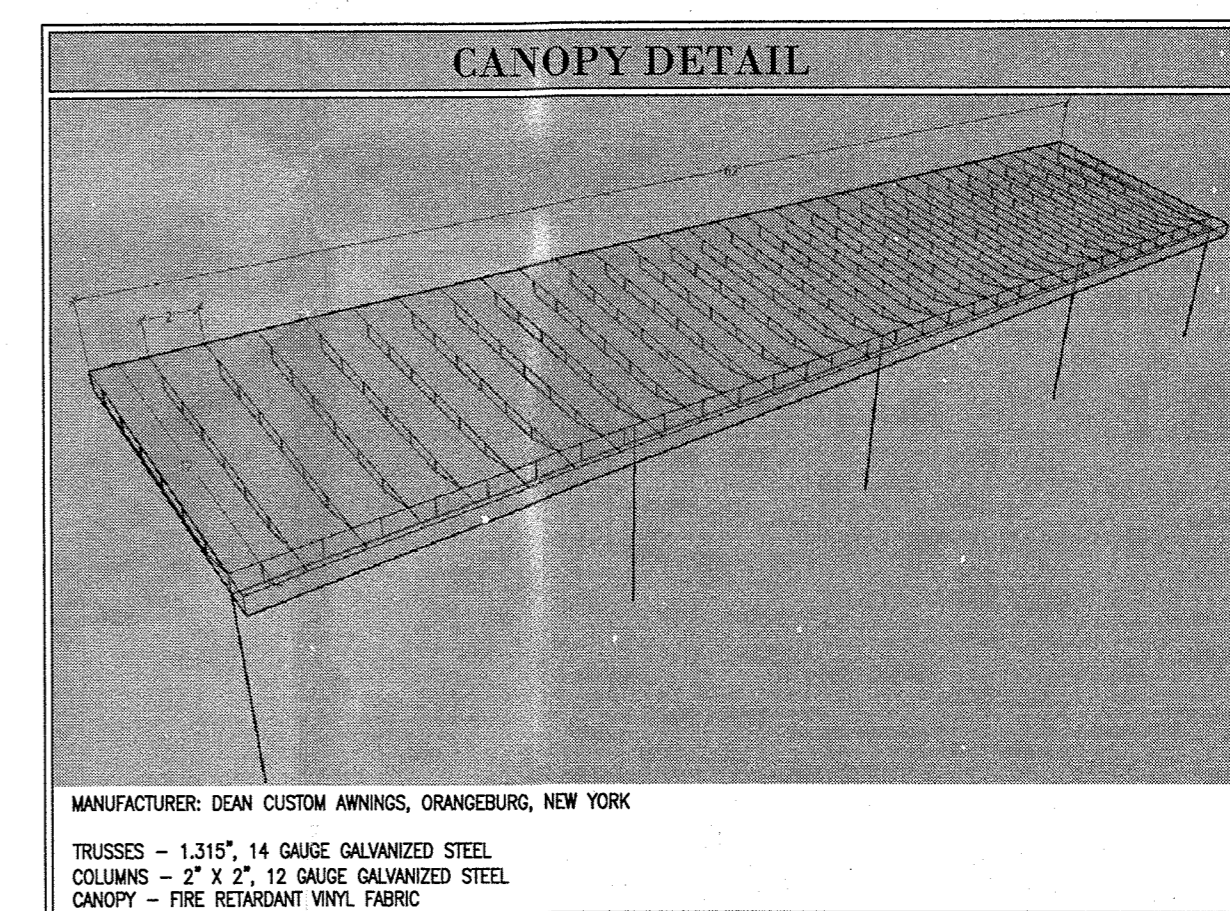
(E) PRE-EXISTING NON-CONFORMING  
(V) VARIANCE REQUIRED



DECREASE IN OPEN SPACE	
NEW SIDEWALK & SHELVES	= 1134 SF
NEW PAVEMENT	= 172 SF
NEW CONCRETE PAD	= 602 SF
<b>TOTAL INCREASE</b>	<b>= 1908 SF</b>
TOTAL INCREASE	= 1.26%
EXISTING %	= 39.52%
PROPOSED % = 39.52 - 1.26	= 38.26%

FLOOR AREA RATIO BREAK DOWN	
FLOOR AREA RATIO	= (TOTAL FLOOR AREA)/(LOT AREA)
	= (28,269)/(151,391)
FLOOR AREA RATIO	= 0.174

REQUIRED PARKING SPACES	
1 PARKING SPOT : 200 SQFT OFFICE SPACE	8,289 SQFT OFFICE SPACE = 42 SPACES
1 PARKING SPOT : 2 EMPLOYEES OR 300 SQFT PRODUCTION EQUIPMENT STORAGE	16,000 SQFT PRODUCTION EQUIPMENT STORAGE SPACE = 60 SPACES
	26 EMPLOYEES = 13 SPACES
<b>TOTAL REQUIRED SPACES = 55 SPACES</b>	
TOTAL OFFICE AND PRODUCTION EMPLOYEES = 34 SPACES	PROVIDED = 67 SPACES



Date: 03/15/18  
Checked: RP  
Drawn: JP

**MATTHEW M. WEBB, PLS**  
PROFESSIONAL LAND SURVEYOR License No. 050851-1

**RONALD M. PANICUCCI, P.E.**  
PROFESSIONAL ENGINEER License No. 179600-1

- Revisions:**
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**PROPOSED SITE PLAN**  
SECTION 73.20 - BLOCK 1 - LOT 1.2  
300 BLAISDELL ROAD  
DYNAMIC EVENT GROUP, INC.  
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

Job No. 2.30096.01  
File No. 3009601C1

**SP.21**





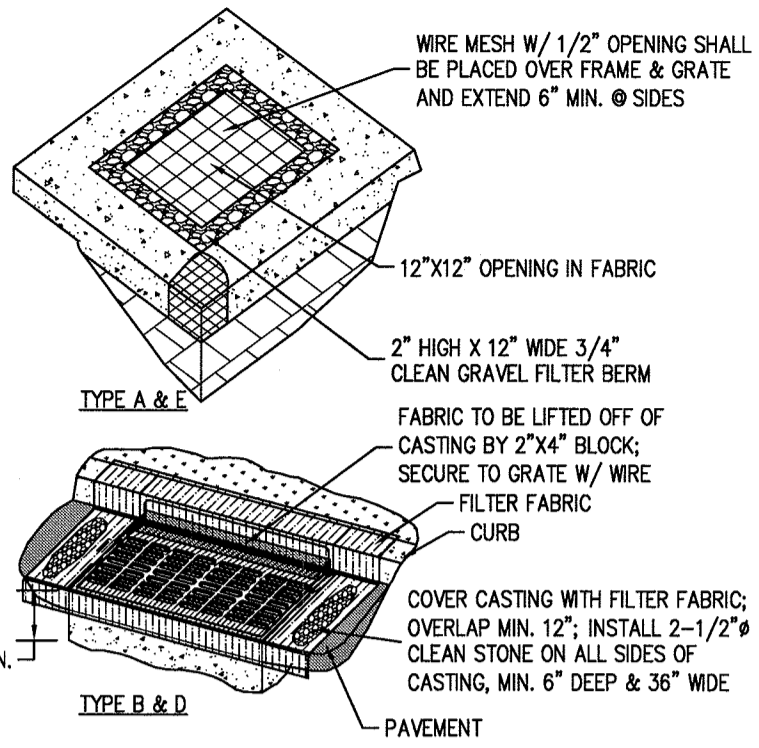


**STANDARD EROSION CONTROL NOTES**

1. AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE.
2. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT THE KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
3. ALL DISTURBED AREAS, EXCEPT BROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SF. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
4. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES, EXCLUDING CATCH-BASIN MEASURES, SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND/OR UTILITIES.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/TO STABILIZED.

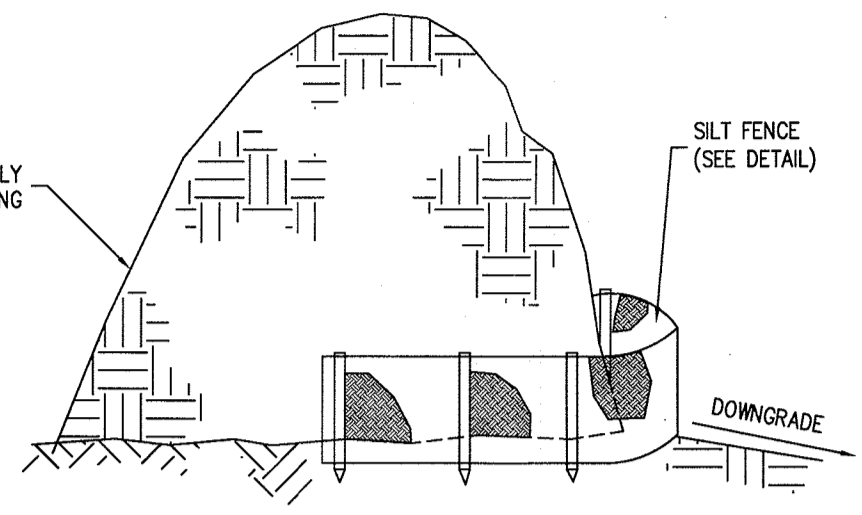
**LAND GRADING CONSTRUCTION SPECIFICATIONS**

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLURPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOIL, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
15. CONTRACTOR SHALL LIMIT ACCESS OF HIGH-IMPACT EARTH MOVING EQUIPMENT.
16. CONTRACTOR SHALL NOT OVER-EXCAVATE.
17. CONTRACTOR SHALL USE DE-COMPACTATION PRACTICES TO RESTORE THE SOILS ORIGINAL INFILTRATION PRACTICES.
18. THE CONTRACTOR SHALL CONSTRUCT THE STORMWATER BASINS AND OTHER STORMWATER INFRASTRUCTURE PER THE REQUIREMENTS AND RECOMMENDATIONS WITHIN THE NYS DEC STORMWATER DESIGN MANUAL (2010 VERSION).
19. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL SHALL BE TOPSOILED, SEED, MULCHED, AND STABILIZED.
20. ANY AREAS CONSIDERED CRITICAL FOR SEEDING AND STABILIZATION SHALL BE PROTECTED USING EROSION CONTROL MATS.

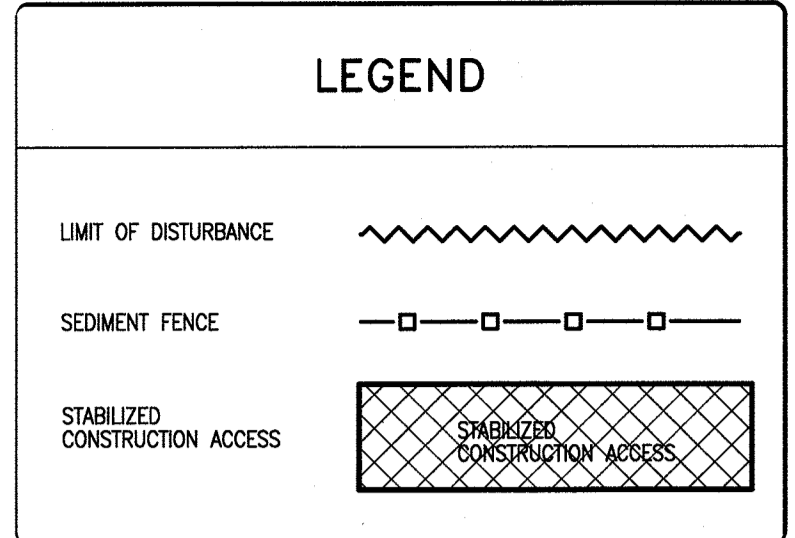


- NOTE:** PROTECTION DEVICE DESIGNED TO CAPTURE AND FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC STONE & LUMBER JUST PRIOR TO PAVING.
  3. FABRIC TO BE MIRAFI 100X OR EQUIVALENT.
  4. ALL PROTECTED INLETS (OR MANHOLES) SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS WHICH DRAIN TO THEM ARE STABILIZED.

**INLET FILTER DETAIL**

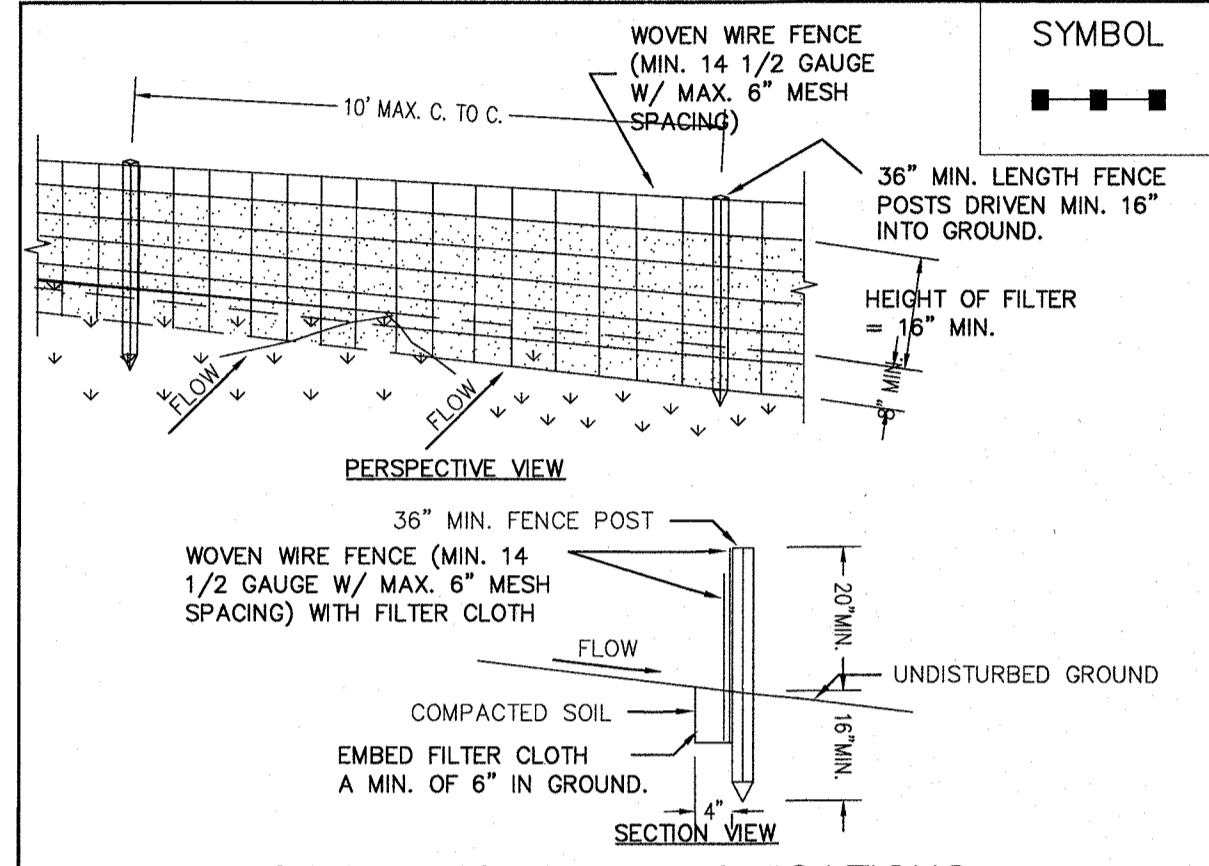


**TYPICAL TOPSOIL STOCKPILE**



**EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE**

1. AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO INCLUDE OWNER, ENGINEER, SCHOOL REPRESENTATIVES, & CONTRACTOR.
2. PRIOR TO LAND DISTURBANCE, INSTALL NEW SILT FENCES, INLET PROTECTION, AND PREPARE STABILIZED CONSTRUCTION ACCESS.
3. CONSTRUCT NEW CONCRETE PADS AND STORAGE SHELVING.
4. PLACE NEW PLANTERS, STORAGE CONTAINERS, AND PROPANE GAS CYLINDER CABINETS.
5. STRIP AND STOCKPILE TOPSOIL AS REQUIRED.
6. PERFORM ROUGH GRADING OF NEW PAVEMENT AND CONCRETE AREAS.
7. CONSTRUCT NEW CATCH BASIN WITH FILTER, SEEPAGE PITS, AND REQUIRED PIPING.
8. CONSTRUCT NEW CHAIN LINK FENCING.
9. INSTALL NEW CANOPY OVER LOADING DOCK.
10. CONSTRUCT NEW PAVEMENT AREAS AND CURBING.
11. PERFORM FINAL STABILIZATION.
12. REMOVE SCD MEASURES (SILT FENCE, ETC.) AFTER FINAL SITE STABILIZATION.

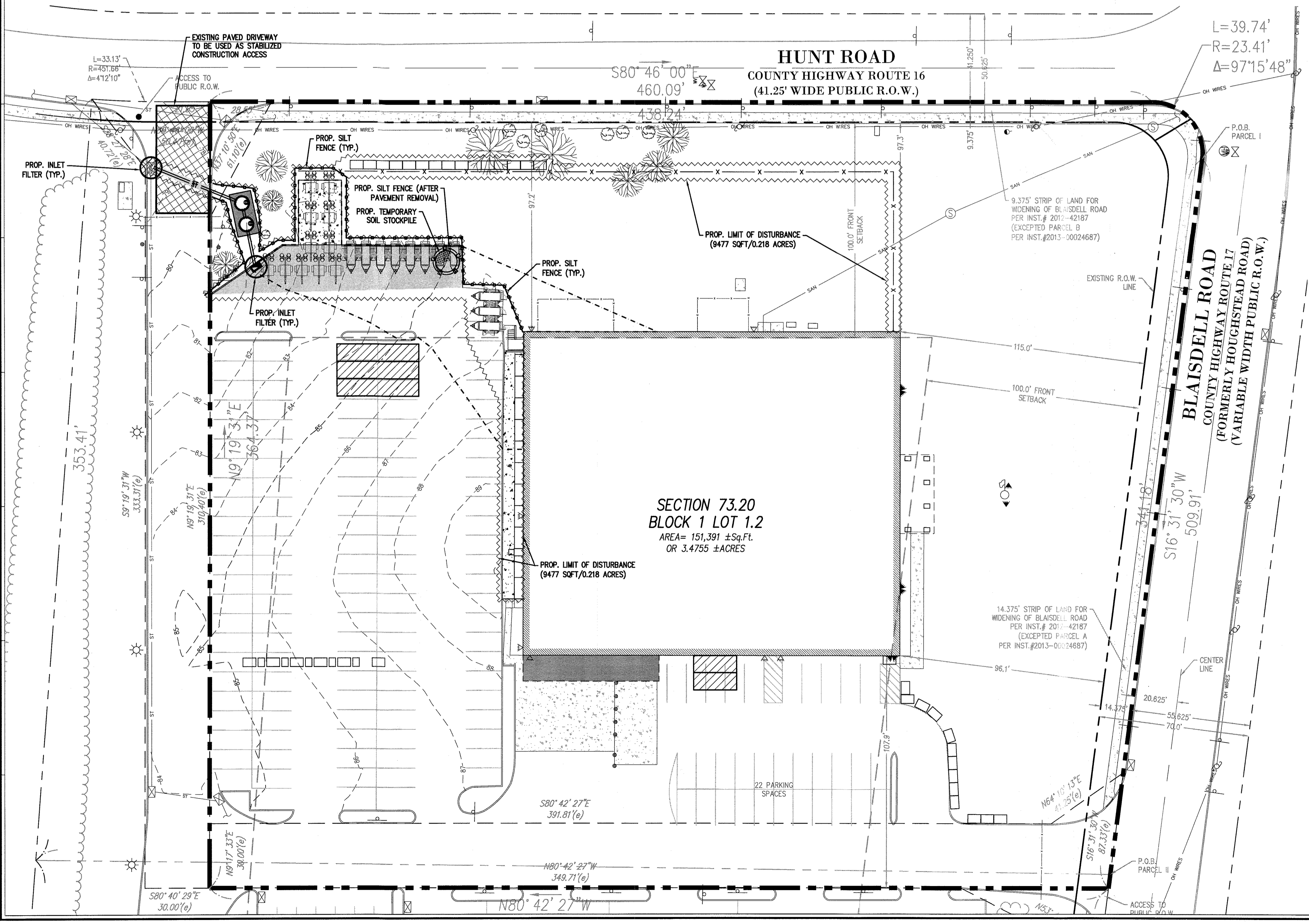


**CONSTRUCTION SPECIFICATIONS**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



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**SC.01**