

**Town of Orangetown Planning Board**  
**Planning Board Meeting: March 25, 2020**

**Location:** Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York      **Time:** 7:30 P.M.

**Project:** 27 Greenbush Road Site Plan: Continued item from October 7, 2019 meeting, PB #19-64

**Location of Parcel:** The site is located at 27 Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

**Distribution:**

**Rockland County:**

- *Planning Department*
- *Highway Department*
- Park Commission
- Environmental Resources
- *Drainage Age*
- *Health Dept.*
- Sewer #1

**Town of Orangetown:**

- *Drainage Consultant Digital*
- *OBZPA*
- *DEME*
- *Highway*
- *DTA*
- *Fire Prevention Digital*
- *Traffic Advisory Board Digital.*
- ZBA

**Other:**

- *New York State Department of Transportation: Permits Digital*
- *New York State Department of Environmental Conservation*
- *U.S. Army Corp of Engineers*
- *Orange and Rockland Utilities*
- Suez

**Project Description:** Prepreliminary/ Preliminary/ Site Plan

Please forward your completed review to this office by date of the Meeting. **If your comments are not received by this date, the Board assumes your agency does not have any comments.**

**Town of Orangetown  
20 South Greenbush Road  
Orangeburg, New York 10962**

**Planning Board Meeting of Wednesday, March 25, 2020  
Project: 27 Greenbush Road Site Plan-Continued item from  
October 7, 2019 meeting, PB #19-64**

**Location of Parcel:** The site is located at 27 Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.**

**If your agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- **U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962**
- **Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or**
- **Fax to the Town of Orangetown Planning Board @845 359-8526**

- ( ) **Comments Attached (or to be provided prior to Meeting date noted above)**
- ( ) **No Comments at this time. Please send future correspondence for review.**
- ( ) **No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.**
- ( ) **This project is out of the jurisdiction of this agency and has no further comments.**

**Dated:** \_\_\_\_\_

\_\_\_\_\_  
**Agency Name**  
**By:** \_\_\_\_\_  
**Please Print Name**

*MICHAEL J. CALISE, P.E. P.C. & ASSOCIATES*

Civil Engineering and Land Planning Consultants  
Pearl River, New York 10965

*Continued from  
from Oct. 7, 2019  
PB # 19-64*

Narrative Summary

Prepare for:

27 Greenbush Road Site Plan  
(74.11-1-12)

The "27 Greenbush Road Site Plan" is designated on the Town of Orangetown tax maps as Section 74.11, Block 1, Lot 12. The site is located on the north side of Greenbush Road approximately two-hundred forty-five (245') west of New York State Route 303 in the Hamlet of Orangeburg. The site is in the Light-Industrial (LI) zoning district and contains 1.04 acres.

The site was previously approved by the Planning Board being approved for filing on June 23, 1993. A building permit was obtained, and the shell of the building was erected but not completed. The site remains uncompleted.

The property was purchased by the applicant and is being submitted for Planning Board review at the request of the Building Department. The parking lot, building access and 100-year flood plain information have been updated. The parking lots have been re-configured to not be in the 100-year flood plain. This has reduced the amount of parking from thirty-six (36) spaces to twenty (20) spaces and subsequently reduce the amount of impervious surface. The building access has been revised to provide vehicle access ramps into the building.

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: July 22, 2019

**2019 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input checked="" type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Zoning Board of Appeals		<input type="checkbox"/> Historical Board
		<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision		<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots		<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan		<input checked="" type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Final
		<input type="checkbox"/> Interpretation
<input type="checkbox"/> Special Permit		
<input type="checkbox"/> Variance		
<input type="checkbox"/> Performance Standards Review		
<input type="checkbox"/> Use Variance		
<input checked="" type="checkbox"/> Other (specify): <u>re-approval</u>		

PERMIT#: \_\_\_\_\_  
ASSIGNED \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_  
Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: 27 Greenbush Road

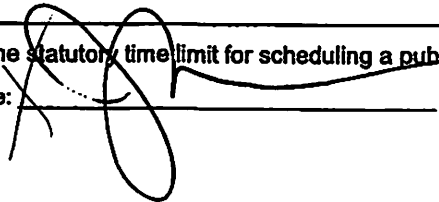
Street Address: 27 Greenbush Road, Orangeburg, NY 10962

Tax Map Designation:  
Section: 74.11 Block: 1 Lot(s): 12  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:  
On the North side of Greenbush Road, approximately 245 feet West of the intersection of N.Y.S. Route 303, in the Town of ORANGETOWN in the hamlet/village of Orangeburg.

Acreage of Parcel <u>1.04 Acres</u>	Zoning District <u>LI</u>
School District <u>South Orangetown</u>	Postal District <u>Orangeburg (10962)</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>FD 002</u>
Water District <u>Orangeburg</u>	Sewer District <u>Orangetown Sewer District</u>

Project Description: *(If additional space required, please attach a narrative summary.)*  
See Attached Narrative Summary

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: July 22, 2019 Applicant's Signature: 

**APPLICATION REVIEW FORM**

**Applicant:** John Mc Intyre Phone # (845) 398-3032

**Address:** 25 Greenbush Road, Orangeburg, New York 10962  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** John Mc Intyre Phone # (845) 398-3032

**Address:** 25 Greenbush Road, Orangeburg, New York 10962  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Michael J. Calise, P.E. Phone # (845) 629-3743

**Address:** 41 East Nauraushaun Avenue, Pearl River, New York 10965  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** Donald Brenner Phone # (845) 359-2210

**Address:** 4 Independence Avenue, Tappan, New York 10983  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** John Mc Intyre Phone # (845) 398-3032

**Address:** 25 Greenbush Road, Orangeburg, New York 10962  
Street Name & Number (Post Office) City State Zip Code

**GENERAL MUNICIPAL LAW REVIEW:**

This property is within 500 feet of:  
*(Check all that apply)*

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park     |
| <input type="checkbox"/> Long Path                       | <input checked="" type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary              | <input type="checkbox"/> County Facility          |

List name(s) of facility checked above:  
New York State Route 303 & Route 340, Orangeburg Road, Sparkill Creek

**Referral Agencies:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input checked="" type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input checked="" type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority                  | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality                  |  |
| <input type="checkbox"/> Other                                  |  |

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? Not Applicable
- 2) Is any open space being offered? x If so, what amount? Not Applicable
- 3) Is this a standard or average density subdivision? Not Applicable

### If site plan:

- 1) Existing square footage 7,154 +/-
- 2) Total square footage No change
- 3) Number of dwelling units Not Applicable

If special permit, list special permit use and what the property will be used for.

Not Applicable

### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area None

Are there streams on the site? If yes, please provide the names. None

Are there wetlands on the site? If yes, please provide the names and type:  
None

### Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Site Plan approval previously received with Chairman's endorsement June 23, 1993. A building permit for the building that was partially constructed and not completed.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

74.11-1-13

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

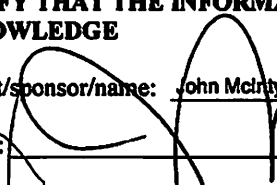
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

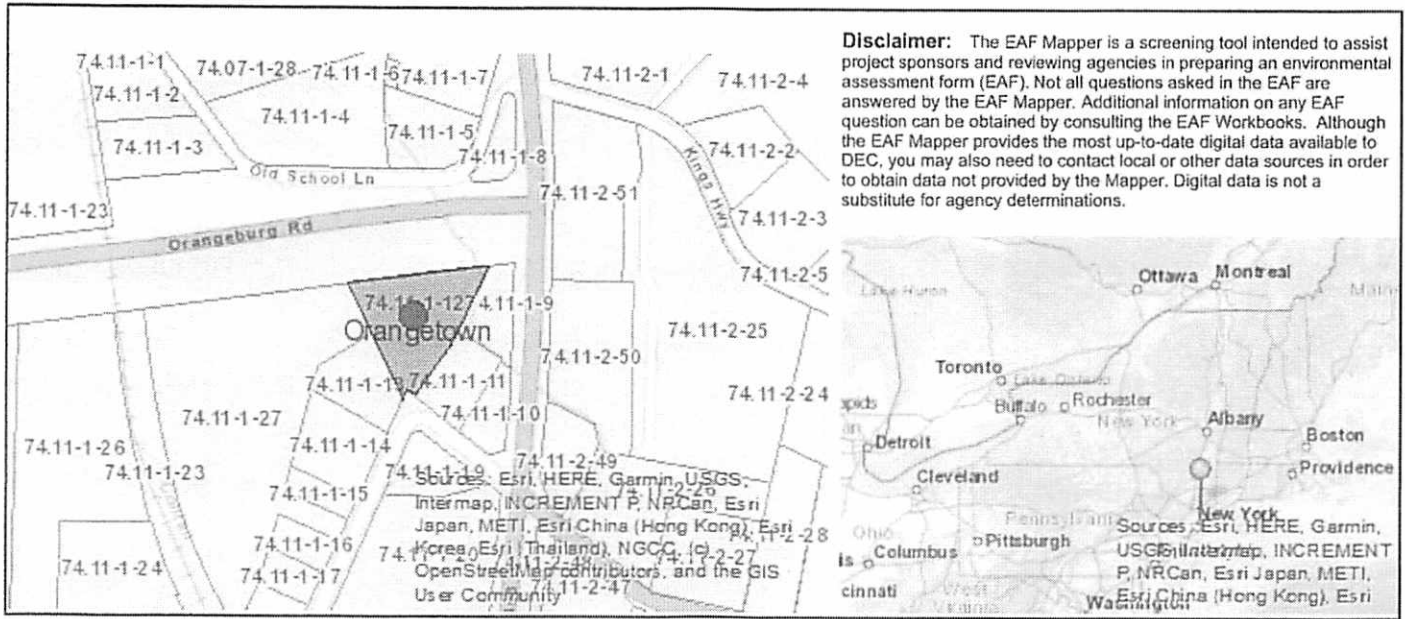
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: <p style="text-align: center;">27 Greenbush Road Site Plan</p>				
Project Location (describe, and attach a location map): <p style="text-align: center;">27 Greenbush Road, Orangeburg, New York 10962 (Town of Orangetown Tax Lot 74.11-1-12)</p>				
Brief Description of Proposed Action: Site Plan previously approved, building partially constructed and then left unfinished since, approximately 1993. Parking lot and building access being re-configured to remove areas from 100-year flood plain.				
Name of Applicant or Sponsor: John Mc Intyre		Telephone: (845) 398-3032 E-Mail: edgelandscaping@aol.com		
Address: 25 Greenbush Road				
City/PO: Orangeburg		State: New York	Zip Code: 10962	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.04 +/- acres		
b. Total acreage to be physically disturbed?		0.4 +/- acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.54 +/- acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ Public water system available	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



<b>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:</b> <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
<b>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</b>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>16. Is the project site located in the 100-year flood plan?</b>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>17. Will the proposed action create storm water discharge, either from point or non-point sources?</b> If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: <hr/> Existing drainage system on-site, previously approved to be used as point of discharge as per Original Planning Board approval		
<b>18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?</b> If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</b> If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</b> If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
No hazardous material know to be on-site. Adjacent property (Lowes, Stop & Shop, etc) remediation completed.		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>John McIntyre</u>	Date: <u>July 22, 2019</u>	
Signature: 	Title: <u>Owner</u>	



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	Yes

74.11-1-12

EMailed 10/23/19 to  
Michael Calise + S. Brommer

Town of Orangetown  
Bureau of Fire Prevention  
20 Greenbush Road  
Orangeburg, N.Y. 10962  
Ph (845)365-0204\*fax (845)365-0241



October 15, 2019

**27 Greenbush Road, Orangeburg, NY**

1. Provide an NFPA 72 approved fire alarm system with direct connection to Rockland County 44-Control.(fire alarm plans must be approved by this office prior to installation)
2. Provide emergency lighting, exit signs and egress as per chapter 10 of the NYS building code.(show on plan)
3. Provide a Supra box for FD access. (Ordering information available from this office).
4. Install fire extinguishers in locations to be determined on building plan.
5. Aerial fire apparatus access is required to be 26 feet wide at a minimum and not located within the collapse zone of the building. This is to be provided at the south side of the building. The parking area / roadway appears to be in excess of 150 feet requiring a turnaround for fire apparatus.
6. Locations of fire lanes will include all paved areas other than approved parking spaces and will be stripped and signed per NYS Fire and Town Fire Code.
7. Truss signs will be required in locations to be determined by this office.
8. A certificate of compliance fire safety must be applied for and maintained.
9. What will be stored in the building? Equipment, trucks, hazardous materials etc..??

*Michael B Bettmann*  
 Michael B Bettmann  
 Chief Fire Inspector  
 Town of Orangetown  
[mbettmann@orangetown.com](mailto:mbettmann@orangetown.com)

Project Review Committee Report - October 2, 2019 RE: Meeting of October 7, 2019

**Karalay Site Plan - Critical Environmental Area**  
Preparatory/ Preliminary/ Final Site Plan and SEQRA Review  
1071 Route 9W, Nyack; 71.09/11/10; R-22 zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Rubano Resubdivision Plan - Critical Environmental Area**  
Preparatory/ Preliminary/ Final Resubdivision Plan and SEQRA Review  
1129 & 1131 Route 9W, Upper Grandview 71.05/2/24 & 29; RG zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Anda Site Plan - Final Site Plan Review**  
153 East Central Avenue, Pearl River; 68.16/6/39; CS zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Nice Pak Site Plan - Final Site Plan Review**  
2 Nice Pak Park, Orangeburg; 74.07/11/16; LIO zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**27 Greenbush Road Site Plan**  
Preparatory/ Preliminary Site Plan and SEQRA Review  
27 South Greenbush Road, Orangeburg; 74.11/11/12; LI zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Bless Enterprises Auto Shop Site Plan**  
Route 303 Overlay Zone - Final Site Plan Review  
187 Route 303, Orangeburg; 74.15/1/8; LI zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**South Orangetown Ambulance Corp Site Plan**  
Preparatory/ Preliminary Site Plan  
70 Independence Avenue, Tappan; 74.18/3/39 & 40; R-15 zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**South Orangetown Ambulance Corp Resubdivision Plan**  
Preparatory/ Preliminary/ Final Resubdivision Plan and SEQRA Review  
70 Independence Avenue, Tappan; 74.18/3/39 & 40; R-15 zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**South Orangetown Ambulance Corp Site Plan**  
Preparatory/ Preliminary Site Plan  
335 Western Highway, Tappan; 74.18/3/48; R-15 zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

**Camp Shanks Homes for Hero's Site Plan**  
Preparatory/ Preliminary Site Plan, Conditional Use Permit and SEQRA Review  
335 Western Highway, Tappan; 74.18/3/48; R-15 zoning district  
1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

Attendees: B. Peters, J. Dean, J. Slavin, M. Bettmann, R. Pakola  
Non-Members: M. Mandel, D. Sampath

*continued: needs language  
read into the  
Record*

X



**OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962**

**Jane Slavin, RA  
Director**

**(845) 359-8410**

**Fax: (845) 359-8526**

**Date:** October 4, 2019

**To:** Cheryl Coopersmith, Chief Clerk  
Planning Board

**From:** Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



**Subject:** 27 Greenbush Road Site Plan  
Prepreliminary/Preliminary Site Plan and SEQRA Review  
27 South Greenbush Road, Orangetown  
74.11/1/12  
CC zoning district

**PB#19-64**

**Submission Reviewed:**

Preliminary Site plan drawing as prepared by Michael J. Calise, P.E., last revised 7/20/19.

This parcel originally received Final Planning Board approval on May 27, 1992 (PB#92-45) known as "Bushburg Plaza" for a one story 7,200 square foot building for retail tire sales. The prior owner began construction of the building without a valid building permit. The foundation, steel frame and roof currently exist. The current owner wants to complete the building.

1. Per the town Zoning Map, the parcel is located in the CC zoning district. The Bulk Table indicates LI. The application submitted and the bulk table must be revised to indicate the correct zoning information and bulk requirements.
2. What is the proposed use of the building? The use must be indicated on the plans.
3. The application must comply with current applicable codes, rules and regulations.
4. ACABOR review and approval is required as proposed facade and site design differ from what was previously approved.
5. Review and approval from RCDA and all applicable agencies must be obtained and all supporting documentation provided to the Board Clerk.
6. A full set of construction plans must be submitted incorporating all applicable agency and board comments.

7. A final certificate of compliance from a NYS licensed professional will be required at the completion of the project in order for a C of O to be issued.
8. The SEAF is currently under review.

JS  
10-4-19

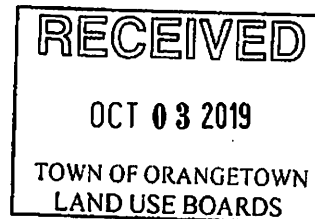


## Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962  
Tel: (845) 359-6502 • Fax: (845) 359-6951

October 3, 2019

Planning Board  
Town of Orangetown  
1 Greenbush Road  
Orangeburg, New York 10962  
Attn: Cheryl Coopersmith, Chief Clerk



**Re: 27 Greenbush Road Site Plan**

**PB# 19-64**

Gentlemen:

This Department has the following comments/ recommendations.

1. The total area of disturbance (a.o.d.) shall be added to the plan. The applicant/ applicant's engineer is reminded that if the a.o.d. exceeds one (1) acre, a full SWPPP shall be submitted to this Department for review and approval.
2. Drainage calculations, prepared and signed by a NYS licensed Professional Engineer, shall be submitted to this for review and approval.
3. The required drainage calculations shall demonstrate a zero net increase in runoff for the proposed project. This may require stormwater facilities to capture any increase in runoff.
4. The proposed drainage system shall exhaust outside of the 100 yr. flood plain. The piping and flared end section shall be removed from inside the 100 yr. flood boundary.
5. A note shall be added to the plans indicating how, when and by whom the location of the 100 yr. flood plain was determined.
6. The FEMA map number that shows this site shall be added to the notes.
7. The applicant's engineer shall describe, in the required drainage calculations, what limitations and actions need to be taken during and after construction, as a portion of proposed building improvements on this site are located in flood zone "X", as it is labeled on the plan.
8. The delineated 100 yr. floodplain line (elevation 76.8) appears to cross over existing elevation 74 at the south east corner of the lot, how is this possible?
9. The proposed sanitary building connection, with detail and elevations shall be shown on the drawing. Cleanouts, with invert elevations, shall be shown along sanitary building

connection at all changes in direction and at the property line (where the connection "leaves" the property.)

10. Soil erosion and sediment control plans and details shall be added to the drawings.
11. There is a seemingly standalone field inlet shown along the northern side of the lot, what is its purpose? What is it connected to? Is it to remain?
12. Profiles for the proposed drainage piping shall be added to the plans.
13. All proposed grading shall be shown on the plan.
14. The width of the proposed driveway entrance onto South Greenbush Road shall be reduced to 20 feet wide.
15. A note shall be added to the plans stating that the Town of Orangetown Sewer Inspector shall be notified at least 48 hours in advance of any and all proposed sanitary work/ improvements/ installations.
16. All existing and proposed easements, with metes and bounds, page and liber number (instrument number) and ownership, shall be shown on the plan
17. Copies of all correspondence, including any and all approvals, with the New York State Department of Environmental Conservation, U.S. Army Corps. Of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning board and this Department, prior to signing the map.
18. Standard details shall be added to the drawing (pavement, catch basin, grasscrete pavers, sidewalk, curbing, etc.)
19. All proposed utilities shall be shown on the plan.
20. The source benchmark for the referenced datum shall be shown on the drawings.
21. A Legend shall be added to plan.
22. Iron pins shall be shown and labeled at all property corners.

Very truly yours,

  
\_\_\_\_\_

cc: Highway file  
Sewer file





# BROOKER ENGINEERING, PLLC

**NY OFFICE**  
74 Lafayette Avenue  
Suite 501  
Suffern, NY 10901

845.357.4411 Tel.  
845.357.1896 Fax

**NJ OFFICE**  
22 Paris Avenue  
Suite 105  
Rockleigh, NJ 07647

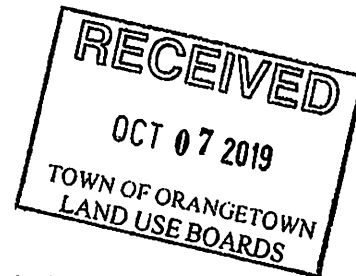
201.750.3527 Tel.

October 5, 2019

Town of Orangetown Planning Board  
20 Greenbush Road  
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: 27 Greenbush Road Site Plan (tax lot 74.11-1-12)  
Planning Board Drainage Review (for October 7, 2019 Planning Board meeting)  
BBE #OTN0134



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the 27 Greenbush Road Site Plan application to the Town of Orangetown Planning Board:

### Information Reviewed

1. "Preliminary Site Plan prepared for 27 Greenbush Road", Sheet 1 of 4, dated May 1, 2019, prepared by Michael J. Calise, P.E. & Associates, P.C., not signed and sealed
2. Project Application dated 7/22/2019

### Project Description

The project consists of the development of a partially developed commercial site used as a contractor's storage yard located on the north side of Greenbush Road, west of Route 303. The Sparkill Creek floodplain is located on the property. There is an existing building shell on the property that is to be reused for this project. The building will remain and be enclosed; a new floor slab will be proposed that elevates the building to above the Sparkill Creek floodplain elevation. A new parking lot is proposed in front of the building with a storm drainage system that outlets to the west of the building. No stormwater management systems are shown on the site plan.

### Project Comments

1. The delineation of the 100-year floodplain on the property should follow the existing condition contours. It appears that the 100-year floodplain elevation of 76.8 results in a larger floodplain than what is shown on the plan.
2. The survey datum should be provided in NAVD 88 to be consistent with the Flood Insurance Study for the Town of Orangetown.
3. An elevation certificate should be provided for proposed conditions.
4. Rockland County Drainage Agency permit should be provided.
5. Proposed contours should be added to the Site Plan. The contours should show how the fill ties into existing grade and demonstrate no adverse impacts to the properties to the west and south.
6. The catch basin at the southeast corner of the new parking lot is located at a high point. A catch basin should be provided at the proposed low point at the northeast corner of the parking lot.
7. The exact finished floor elevation of the new slab should be provided on the Site Plan and the freeboard above the 100-year floodplain should be demonstrated.
8. As per Rockland County mapping, there is a swale along the northwest side of the property that receives stormwater runoff from properties to the south and conveys this runoff to the Sparkill Creek. This appears to be outside the limits of the proposed parking lot. The site plan should demonstrate that this flow pattern will remain and no adjacent properties will be adversely impacted. Map notes should be added to the site plan with drainage arrows indicating this swale.

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E.	Eve Mancuso, P.E., C.M.E.	Ken DeGennaro, P.E., C.F.M.	Stuart Strow, P.E., C.F.M.
Anthony Riggi, P.E.	Dennis Rocks, P.E., C.F.M.	John Bezuyen, P.L.S.	
Hillary Chadwick, P.E.	Vincent Kane, P.E.	Nestor Celiz, P.E.	Benjamin Levitz, P.E.

9. The outlet of the existing field inlet west of the building should be shown.
10. Soil stockpiles west of the building were present on the site north at the time of our site visit. These should be included on the Site Plan and the proposed ground cover in this area should be noted.
11. Total land disturbance should be provided. The limit of disturbance line should be added to the plan.
12. Existing and proposed impervious surfaces should be quantified and stormwater mitigation measures should be provided.
13. A Sediment and Erosion Control Plan should be prepared.

**Drainage Review Recommendation**

No information has been provided with respect to mitigation for potential significant impacts with respect to drainage. We therefore recommend that the 27 Greenbush Road Site Plan not be approved for drainage at this time.

Very truly yours,



**BROOKER ENGINEERING, P.L.L.C.**  
Kenneth DeGennaro, P.E.

## Planning Board Review Summary

### Project Data

Job Name 27 Greenbush Road Site Plan	Owner John McIntyre	Address 27 Greenbush Road	Tax Lot Number 74.11-1-12
Job Description: New parking lot for existing building shell to be used for contractor's storage yard. Sparkill Creek floodplain located on property.		Planning Board No. N/A	BBE Number OTN0134

### Planning Board Data

Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
10/07/2019	05/01/2019	None	10/05/2019		X	

### Construction Data

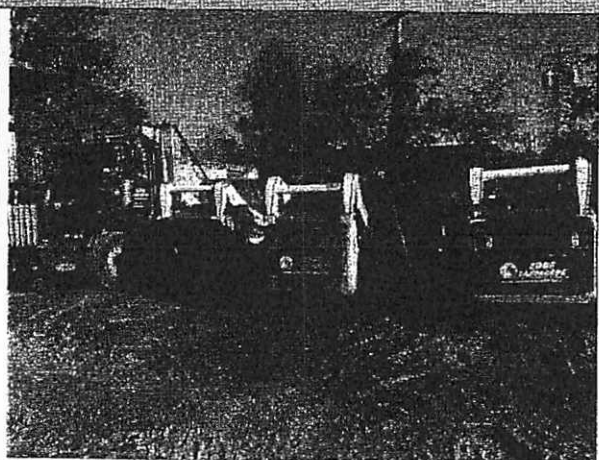
Area of Disturbance:	Not provided
Erosion Control Plan Required:	Yes
SWPPP Required:	To be determined
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	To be determined
Description of Required Stormwater Management:	None provided.

### Photographs



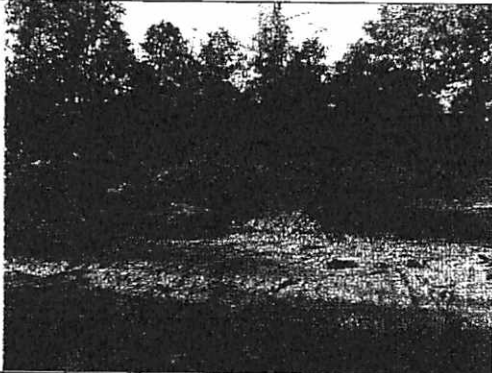
Description: Standing along southern property line, looking north at existing building.

Date: 10/05/2019



Description: Standing along southeast corner of site, looking east at proposed parking area.

Date: 10/05/2019



Description: Standing along southern portion of site, looking west at soil stockpiles.

Date: 10/05/2019



Description: Standing along southern portion of site, looking northwest at area of proposed parking lot.

Date: 10/05/2019



# Rockland County

Ed Day, Rockland County Executive

## DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building T  
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

**Douglas J. Schuetz**  
Acting Commissioner

**Arlene R. Miller**  
Deputy Commissioner

September 23, 2019

Orangetown Planning Board  
21 Greenbush Road  
Orangeburg, NY 10962

Tax Data: 74:11-1-12

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M  
Map Date: 5/1/2019

Date Review Received: 8/21/2019

Item: **27 GREENBUSH ROAD (O-331N)**

Site plan for the reconfiguration of a parking lot and building access to an existing 7,153.79 SF unfinished building located on 1.04 acres in the CC zoning district.

North side of Greenbush Road, south side of Orangeburg Road, approximately 82 feet west of NYS Route 303

### Reason for Referral:

NYS Route 303, NYS Route 340, Orangeburg Road (CR 20), Sparkill Creek

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

### *\*Disapprove*

- 1 The applicant must specify the proposed use of the site for our department to be able to provide a thorough analysis and to determine what use group should be used for the project. Until the proposed use is provided, it cannot be determined if the project complies with the applicable bulk standards, including parking requirements.
- 2 The bulk table indicates the bulk requirements for the site must comply with the CC Group of the LI zoning district. However, there is no CC Group for this district. The bulk requirements provided belong to the JJ Group for the CC zoning district. The bulk table must be corrected to reflect the correct zoning district and use group.
- 3 The County's GIS zoning map for Orangetown, last adopted by them on December 11, 2018, show that this parcel is located in the CC zoning district, not the LI zoning district. The site plan and all application materials must be corrected to reflect that the parcel is located within the CC zoning district. If the public hearing notice is incorrect, it will have to be corrected and re-issued.

**27 GREENBUSH ROAD (O-331N)**

4 A parking calculation based on the applicable district standards must be provided to ensure that adequate parking can be achieved.

The following comments address our additional concerns about this proposal:

5 A review must be completed by the County of Rockland Drainage Agency, any comments or concerns addressed, and all required permits obtained.

6 A review must be completed by the New York State Department of Transportation, any comments or concerns addressed, and all required permits obtained.

7 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and any required permits obtained.

8 A review must be completed by the County of Rockland Department of Highways, any comments or concerns addressed, and all required permits obtained.

9 The floodplain Administrator for the Town of Orangetown shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.

10 If there is any encroachment into the Federal wetlands, a review must be completed by the United States Army Corps of Engineers and all required permits obtained.

11 A recent site visit showed active and parked construction vehicles and equipment on the site. Construction cannot occur before an approval is obtained, and any vehicles stored on the site must be removed. In addition, vehicles from adjacent properties appear to be encroaching onto the subject site. These also must be removed.

12 It appears that access to the site for the construction vehicles currently parked have been through tax parcel 74.11-1-13. If it is intended to continue to use this parcel for access, then an easement must be provided, and indicated on the site plan.

13 Areas designated for snow removal must be clearly delineated on the site plan so that the plow drivers will know where to place the snow piles. In addition, providing specific locations on the site for the snow piles will reduce the loss of available parking spaces meant to be utilized by the new users.

14 Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Standards for Urban Erosion and Sediment Control.

15 There shall be no net increase in the peak rate of discharge from the site at all design points.

16 A landscaping plan shall be provided for the site.

17 A lighting plan shall be provided that shows fields of illumination. This plan must demonstrate that the intensity of the candle lumens is less than 0.1 at the property line.

18 A signage plan that conforms to the Town's standards must be submitted for review.

19 Map note #16 mentions Section 239-k of the New York State General Municipal Law. This shall be corrected to Sections 239-l & m, as Section 239-k no longer exists.

20 The map notes jump from #1 to #10. Notes #2-9 must be included or, if the notes were misnumbered, the numbering shall be corrected.

**27 GREENBUSH ROAD (O-331N)**

21 We request the opportunity to review any variances that may be needed to implement the proposed site plan, as required by New York State General Municipal Law, Section 239-m (3)(a)(v).

  
\_\_\_\_\_  
Douglas J. Schuetz  
Acting Commissioner of Planning

cc: Supervisor Chris Day, Orangetown  
Rockland County Department of Health  
Rockland County Department of Highways  
Rockland County Drainage Agency  
New York State Department of Transportation  
United States Army Corps of Engineers  
  
Michael J. Calise, P.E. & Associates, P.C.

John McIntyre

Rockland County Planning Board Members

*\*NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

*The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

*In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.*

*Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.*

*Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.*

 **Rockland County**  
HEALTH

**CENTER FOR ENVIRONMENTAL HEALTH**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building D  
Pomona, New York 10970  
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health  
Protect. Promote. Prevent.

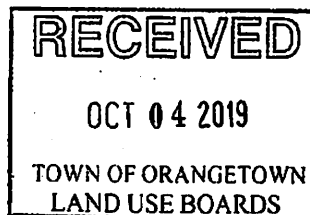
**EDWIN J. DAY**  
County Executive

**PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAFP**  
Commissioner of Health

**SAMUEL RULLI, PE**  
Director, Environmental Health

Revised October 1, 2019  
September 26, 2019

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 Greenbush Road  
Orangetown, NY 10962




Re: 27 Greenbush Road Site Plan  
Tax Lot 74.11-1-12

Dear Ms. Coopersmith:

We have received a Notification of Intent to Act as Lead Agency, a Short Environmental Assessment Form (SEAF) and other supporting documentation for the above referenced project. This office has no objection to the Town of Orangetown Planning Board acting as Lead Agency for this project. All comments from our previous review letters have been adequately addressed.

If you have any questions, do not hesitate to contact the undersigned.

Very truly yours,



Elizabeth Mello, P.E.  
Senior Public Health Engineer  
(845) 364-2616

cc: Arlene Miller, Rockland County Department of Planning

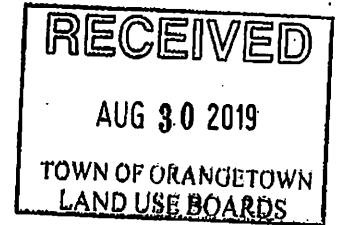


# Rockland County

Ed Day, Rockland County Executive

**HIGHWAY DEPARTMENT**  
23 New Hempstead Road  
New City, New York 10956  
Phone: (845) 638-5060 Fax: (845) 638-5037  
Email: highway@co.rockland.ny.us

**Charles H. "Skip" Vezzetti**  
*Superintendent of Highways*



August 28, 2019

Ms. Cheryl Coopersmith  
Chief Clerk Boards and Commission  
Planning Board  
Town of Orangetown  
20 South Greenbush Road  
Orangeburg, NY 10962

**RE: Site Plan Review for a Commercial Building  
27 Greenbush Road in Orangeburg, NY  
Tax Lot #74.11-1-12; LI Zoning District**

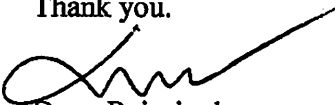
Dear Ms. Coopersmith:

The Rockland County Highway Department (RCHD) was in receipt of the referenced site plan prepared by Michael J. Calise, P.E. & Associates, P.C., dated 07.20.19, together with other information as part of the GML review process. The review has been complete now and we find the following comments for consideration.

1. The RCHD consents that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action.
2. A drainage report shall be prepared for the proposed development. The report shall satisfy the County's drainage requirement of "no net increase in the peak rate of discharge from the site at all design points".

We appreciate you for the opportunity to review the site plan. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham  
Engineer III

CC: Rockland County Department of Planning



**Michael J. Calise & Associates, P.C.**

# Rockland County

Ed Day, Rockland County Executive

## DRAINAGE AGENCY

### DIVISION OF THE HIGHWAY DEPARTMENT

23 New Hempstead Road

New City, New York 10956

Phone: (845) 638-5081 Fax: (845) 708-7116

Email: [highway@co.rockland.ny.us](mailto:highway@co.rockland.ny.us)

**Charles H. "Skip" Vezzetti**  
Superintendent of Highways  
Chairman, Drainage Agency

**Vincent Altieri**  
Executive Director

Via email: [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com)

September 27, 2019

Planning Board

Town of Orangetown

20 Greenbush Road

Orangeburg, NY 10962

Attn.: Cheryl Coopersmith

**Re:** 27 Greenbush Road Site Plan  
27 Greenbush Road, Orangeburg  
Section 74.11, Block 1, Lot 12.  
Tax Map: Town of Orangetown  
Resource: Sparkill Creek



Dear Mrs. Coopersmith,

The Rockland County Drainage Agency ("RCDA") has reviewed the above-referenced proposal included with your the referral as prepared by: Michael J Calise P.E., dated/last revised July 20, 2019.

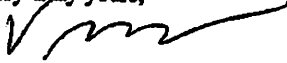
The RCDA has previously reviewed the site and determined that it is within the jurisdiction of the RCDA. Therefore, a permit or a determination otherwise from the RCDA, pursuant to the Rockland County Stream Control Act, is required for any developments within this site. Please note that an application for a different project was received by the RCDA from a different applicant; however, a Stream Control Act Permit was NOT issued. Please have the applicant provide a new permit application with updated information to the RCDA. Copies of permit application form and Chapter 846: Rockland County Stream Control Act are being mailed to the property owner/applicant with a copy of this letter, which is also available at the County website, under Highway Department, Drainage Division.

By copy of this letter, the RCDA is hereby notifying the municipal land use boards and departments that the project site is within the jurisdiction of the RCDA. Any further decisions or determinations made by the municipal land use boards and departments regarding this site should indicate that it is within the jurisdiction of the RCDA and that a permit or a determination otherwise from the RCDA is required for any developments at this site. The RCDA recommends that the municipal land use boards and/or departments ensure the applicant has secured the necessary permits and approvals from all interested and involved agencies and no outstanding violations prior to granting any final approval.

The Rockland County Drainage Agency ("RCDA") does not object to the Planning Board assuming responsibilities of lead agency for SEQRA purposes in the above-referenced matter.

Please contact Shajan S. Thottakara, P.E., CFM, at (845) 638-5081 or by e-mail: [thottaks@co.rockland.ny.us](mailto:thottaks@co.rockland.ny.us), if you have any questions regarding this matter.

Very truly yours,



Vincent Altieri  
Rockland County Drainage Agency

encl./attach.

c: John McIntyre

Property Owner 25 Greenbush Road, Orangeburg, NY 10962  
(By regular mail and Certified Mail, Article No. : 7018 1130 0602 0685 4464)

(w/o encl./attach.):

Building Department                      Town of Orangetown  
Zoning Board of Appeals                Town of Orangetown  
Rockland County Highway Department  
Rockland County Planning Department  
Shajan S. Thottakara, P.E., CFM

[OBZPAE@orantown.com](mailto:OBZPAE@orantown.com)  
[darbolino@orantown.com](mailto:darbolino@orantown.com)  
(by e-mail)

(File: 19 OSR 53 )



# Rockland County

Ed Day, Rockland County Executive

## ROCKLAND COUNTY SEWER DISTRICT NO. 1

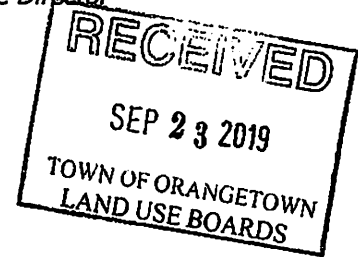
4 Route 340  
Orangeburg, New York 10962  
Phone: (845) 365-6111 Fax: (845) 365-6686  
RCSD@co.rockland.ny.us

**George Hoehmann**  
*Chairman*

**Dianne T. Philipps, P.E.**  
*Executive Director*

September 12, 2019

Ms. Cheryl Coopersmith  
Town of Orangetown Planning Board  
20 South Greenbush Road  
Orangeburg, NY 10962



Re: 27 Greenbush Road Site Plan  
Tax Lot 89/74.11-1-12 (formerly 30-77-750.1)

Dear Ms. Coopersmith:

Our office has received and reviewed a preliminary site plan that was last revised on July 20, 2019, which Michael J. Calise, P.E. & Associates prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the Planning Board serving as lead agency for this review.
2. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Joseph LaFiandra  
Engineer II

cc: D. Philipps                      M. Saber  
Helen Kenny-Burrows – Rockland County Department of Planning  
Shajan Thottakara, P.E. – Rockland County Drainage Agency  
Dyan Rajasingham – Rockland County Highway Department

File: TOO 74.11-1-12 – 27 Greenbush Road  
Reader

**Rocklandgov.com**

Town of Orangetown Planning Board  
Planning Board Meeting:

Oct 7, 2019

Meeting Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South  
Greenbush Road, Orangeburg, New York

Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

Project: 27 Greenbush Road Site Plan

Location of Parcel: The site is located at 27 Greenbush Road, Orangeburg,  
Town of Orangetown, Rockland County, New York, and as shown on the  
Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

On behalf of Orangetown ZBA (involved  
agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead  
Agency for coordinated environmental review of the proposed action, and  
requests that the undersigned continue to be notified of SEQR  
determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's  
serving as Lead Agency for coordinated environmental review of the Lead  
Agency. To contest the requested Lead Agency, the undersigned  
proposed action and wishes that \_\_\_\_\_ serve as  
intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 9/18/19

Orangetown ZBA  
Agency Name

By: [Signature]  
Signature

Dan Sullivan, Chairman  
Printed Name of Signer

Please return within 30 days by

Fax: (845) 359-8526 E-mail: [ccoopersmith@aol.com](mailto:ccoopersmith@aol.com)



**Town of Orangetown Planning Board  
Planning Board Meeting:**

*Oct 7, 2019*

**Meeting Time: 7:30 p.m.**

**Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York**

**Response to request that the Town of Orangetown Planning Board  
BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:**

**Project: 27 Greenbush Road Site Plan**

**Location of Parcel:** The site is located at 27 Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

On behalf of Rockland County Dept. of Planning (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

**CONSENTS** that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

**DOES NOT CONSENT** to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as \_\_\_\_\_ intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

**TAKES NO POSITION** on Lead Agency designation in this matter

Dated: 9/5/2019

Rockland County Dept. of Planning

Agency Name

By: *Michael Kezar*

Signature  
*Michael Kezar*

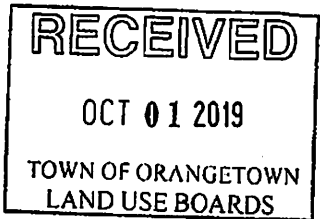
Printed Name of Signer

Please return within 30 days by

Fax: (845) 359-8526 E-mail: ccoopersmith@aol.com

Town of Orangetown Planning Board  
Planning Board Meeting:

Oct 7, 2019



Meeting Time: 7:30 p.m.

Location: Town of Orangetown, Greenbush Auditorium, 20 South Greenbush Road, Orangeburg, New York

Response to request that the Town of Orangetown Planning Board BE DESIGNATED TO SERVE AS LEAD AGENCY FOR THE:

Project: 27 Greenbush Road Site Plan

Location of Parcel: The site is located at 27 Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

On behalf of Rockland County Health Dept (involved agency), I acknowledge receipt of the Lead Agency Notice in this matter.

The above named involved agency hereby (please check one):

CONSENTS that the Town of Orangetown Planning Board serve as Lead Agency for coordinated environmental review of the proposed action, and requests that the undersigned continue to be notified of SEQR determinations, Proceedings and hearings in this matter.

DOES NOT CONSENT to the Town of Orangetown Planning Board's serving as Lead Agency for coordinated environmental review of the Lead Agency. To contest the requested Lead Agency, the undersigned proposed action and wishes that \_\_\_\_\_ serve as intends to follow the procedures outlined in Title 6 Part 617.6(b) (5) NYCC.

TAKES NO POSITION on Lead Agency designation in this matter

Dated: 9/26/19

RC Health Dept

Agency Name

By:

Signature

[Signature]  
Liz Mello

Printed Name of Signer

Please return within 30 days by

Fax: (845) 359-8526 E-mail: [ccoopersmith@aol.com](mailto:ccoopersmith@aol.com)

Town of Orangetown  
20 South Greenbush Road  
Orangeburg, New York 10962

Planning Board Meeting of

Oct 7, 2019



Project: 27 Greenbush Road Site Plan

Location of Parcel: The site is located at 27 Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 1, Lot 12 in the LI zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at [ccoopersmith@orangetown.com](mailto:ccoopersmith@orangetown.com), or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- ( ) Comments Attached (or to be provided prior to Meeting date noted above)
- ( ) No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

Dated: 8/30/19

SUEZ  
Agency Name  
By: BILL FREHODA  
Please Print Name



New-  
for  
March 25, 2020

Narrative Summary  
Prepared for  
27 Greenbush Road Site Plan  
(PB #19-64)  
February 10, 2020



The "27 Greenbush Road Site Plan" is designated on the Town of Orangetown tax maps as Section 74.11, Block 1, Lot 12. The site is located on the north side of Greenbush Road approximately two-hundred forty-five (245') west of New York State Route 303 in the Hamlet of Orangeburg. The site is in the Retail-Commerce (CC) zoning district, Use Group JJ and contains 1.04 acres.

The site was previously approved by the Planning Board May 27, 1992 known as "Bushburg Plaza". A building permit was obtained, and the shell of the building was erected but not completed. The site has remained uncompleted since.

The property was purchased by the applicant and is being submitted for Planning Board review at the request of the Building Department. The parking lot, building access and 100-year flood plain information have been updated. The parking lots have been re-configured to not be in the 100-year flood plain. This has reduced the amount of parking from thirty-six (36) spaces to twenty (20) spaces and subsequently reduce the amount of impervious surface. The building access has been revised to provide vehicle access ramps into the building.

The project was before the Project Review Committee (October 2, 2019) and the Planning Board (October 7, 2019) at which time comments, correspondence and was received. The comments are addressed as follows:

**A. Town of Orangetown - Office of Building, Zoning, Planning Administration and Enforcement letter dated October 4, 2019 comments are addressed as follows:**

1. Comment noted, the plans have been revised to reflect the Retail Commerce (CC) zoning district information.
2. The proposed use of the building shall be contractor's storage, as stated by the owner at the October 7, 2019 Planning Board meeting.
3. Comment noted.
4. Comment noted.
5. Comment noted, review and approval of the Rockland County Drainage Agency (RCDA) and all other applicable agencies shall be obtained.
6. Comment noted, included with this submission are revised construction plans for your consideration.
7. Comment noted, a "final certificate of compliance" will be provide when applying for a certificate of occupancy
8. Comment noted.

**B. Town of Orangetown - Department of Environmental Management and Engineering letter dated October 3, 2019 comments are addressed as follows:**

1. Comments noted, the total area of disturbance (a.o.d.) was calculated to be 0.54 acres (or 23,523± square-feet), well less than the 1-acre threshold. This information has been expressed on the plans, as requested.
2. Comment noted, a drainage study prepared by a New York State licensed Professional Engineer will be submitted via separate cover.
3. Comment noted, calculations to demonstrate a zero-net increase in runoff will be shown in the drainage study, as requested
4. Comment noted, the drainage system shown was the originally approved system. the plans have been revised to exhausting outside the 100- year flood plain and all previously shown drainage piping removed from inside the flood boundary.
5. Comment noted, the flood plain was determined by Edward T. Gannon, L.S. a note has been added to the plan as requested.
6. Comment noted, the FEMA map number 36087C0187G effective date 03/03/2014 has been expressed on the plan as requested.
7. Comment noted,
8. Comment noted, topography was field checked, reviewed and revised accordingly.
9. Comment noted, the sanitary connection is unchanged from the May 27, 1992 "Bushburg Plaza" approval (PB# 92-45). T
10. Comment noted, a Soil Erosion Control plan has been included in this submission for review.
11. The existing standalone field inlet shown on the plans has been and is currently inaccessible, further investigation is being scheduled with the owner.
12. Comment noted, profiles will be presented as required.
13. Comment noted, proposed grading is shown on the "Grading and Drainage Plan" included with this submission for review.
14. Comment noted, the driveway width has been revised to twenty (20') feet, as requested.
15. Comment noted, note added to plan as requested.
16. Comment noted, owner to provide title report for review and if necessary, plan revision.
17. Comment noted.
18. Comment noted, details are being presented for review.
19. Comment noted, see response #9.
20. Comment noted, datum added to plans as requested.
21. Comment noted, legend added as requested.
22. Comment noted, plans revised to show property corners to be set.

**C. Brooker Engineering letter dated October 5, 2019 comments are addressed as follows:**

1. Comments noted, topography was field checked, reviewed and plans revised.
2. Survey datum shown, as requested. A note has been added to the plan to express the datum information.
3. Comment noted, an elevation certificate will be prepared once construction is completed.
4. Comment noted, the Rockland County Drainage Agency and all required permits will be obtained.
5. Comment noted, the proposed contours have been added as requested.
6. Comment noted, catch basins expressed on the plans were based on the originally approved site plan.
7. The finished floor elevation was noted on the original plan at elevation <79.0'>. the freeboard is <2.2'>.
8. Comment noted no disturbances are planned outside the defined limit of disturbance (L.O.D.) expressed on the plans.
9. The standalone field inlet shown on the plans has been and is currently inaccessible. Further investigation is being scheduled with the owner.
10. The soil stockpiles have been removed by the Owner.
11. Comment noted, note added to plan as requested.
12. Comment noted, information requested will be presented in drainage report via separate cover.
13. Comment noted, drainage report will be submitted via separate cover.
14. Comment noted, soil erosion control plan presented for review.

**D. Rockland County Department of Planning letter dated September 23, 2019 comments are addressed as follows:**

1. The proposed use of the building shall be contractor's storage, as stated by the owner at the October 7, 2019 Planning Board meeting.
2. Comment noted, correction made as requested.
3. Comment noted.
4. Comment noted, parking requirements provided.
5. Comment noted, the Rockland County Drainage Agency and all required permits will be obtained.
6. Comment noted, all required permits will be obtained.
7. Comment noted, all required permits will be obtained.
8. Comment noted, all required permits will be obtained.
9. Comment noted, flood plain Administrator has commented on the reviewed and commented on the proposed application.
10. Comment noted.
11. No construction is being performed on-site. The site is currently used as storage.
12. No easement is required, both parcels are independent. The access off Greenbush Road has been blocked by the owner to prevent illegal dumping.

**D. Rockland County Department of Planning (Continued):**

13. Comment noted, snow storage will be shown on plans.
14. Comment noted, an Erosion Control plan has been submitted for Town review.
15. Comment noted.
16. Comment noted, a landscaping and lighting plan is to be submitted to the Town via separate cover.
17. Comment noted, see response # 16.
18. Comment noted.
19. Comment noted, reference corrected.
20. Comment noted, note numbering corrected.
21. Comment noted.

- Rockland County Department of Planning consented to the Town of Orangetown Planning Board serving as Lead Agency.

**D. Rockland County Drainage Agency Division of the Highway Department letter dated September 27, 2019 comments are addressed as follows:**

1. A permit application will be submitted for review and approval, as requested.

**E. Rockland County Sewer District #1 letter dated September 12, 2019 comments are addressed as follows:**

1. Rockland County Sewer District #1 consents to the Town of Orangetown Planning Board serving as Lead Agency.
2. Comment noted, no affect to County facilities. No further correspondence required.

**F. Rockland County Highway Department letter dated August 28, 2019 comments are addressed as follows:**

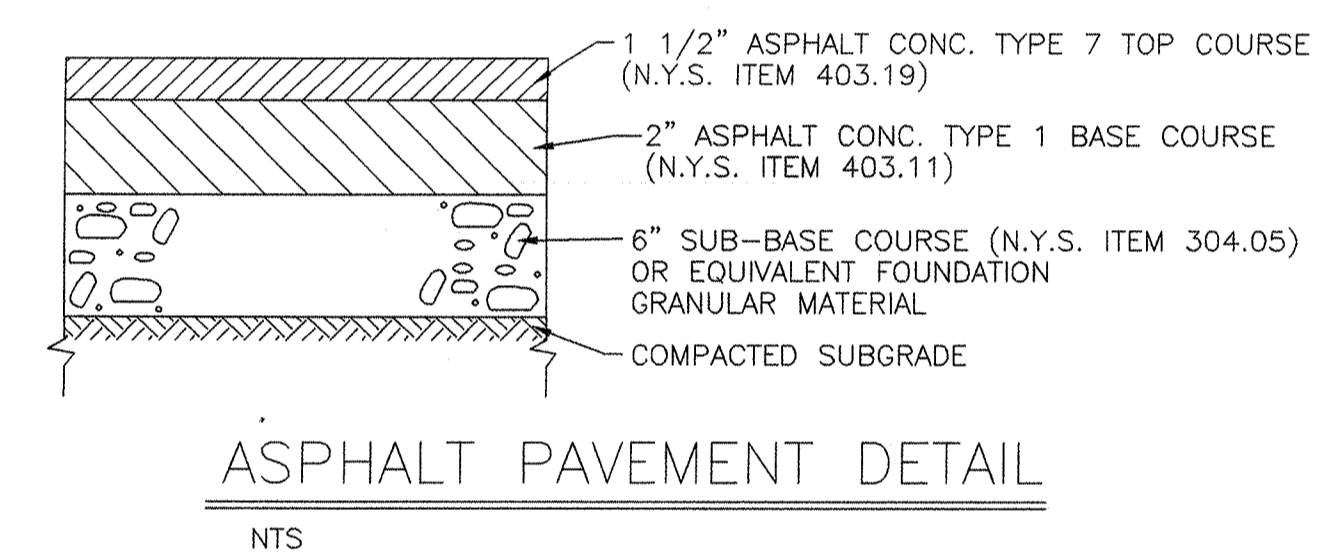
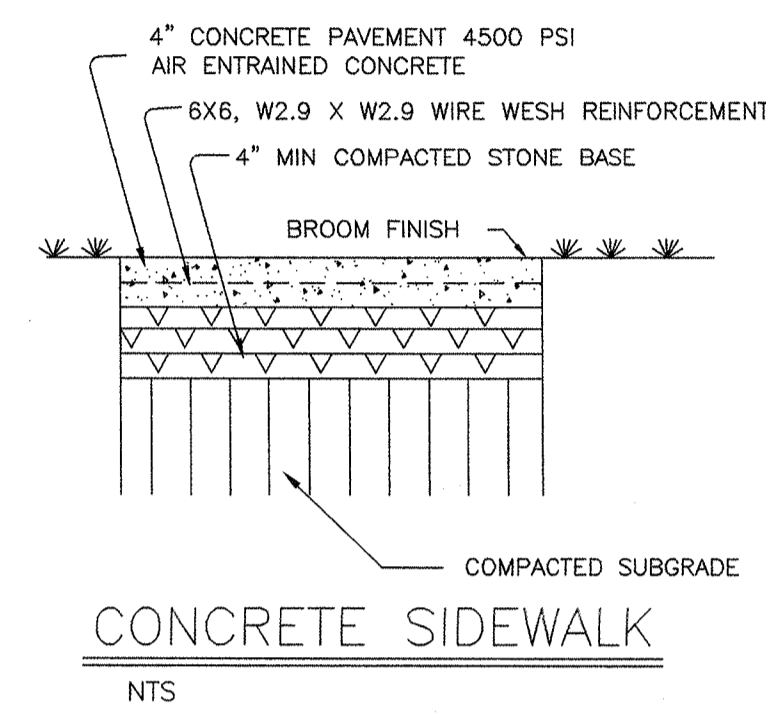
1. Rockland County Highway Department consents to the Town of Orangetown Planning Board serving as Lead Agency.
2. Comment noted, no net increase in runoff shall be provided.

**G. Rockland County Health Department Environmental Health letter dated October 1, 2019 comments are addressed as follows:**

1. Rockland County Health Department Environmental Health consents to the Town of Orangetown Planning Board serving as Lead Agency.
2. Comment noted.

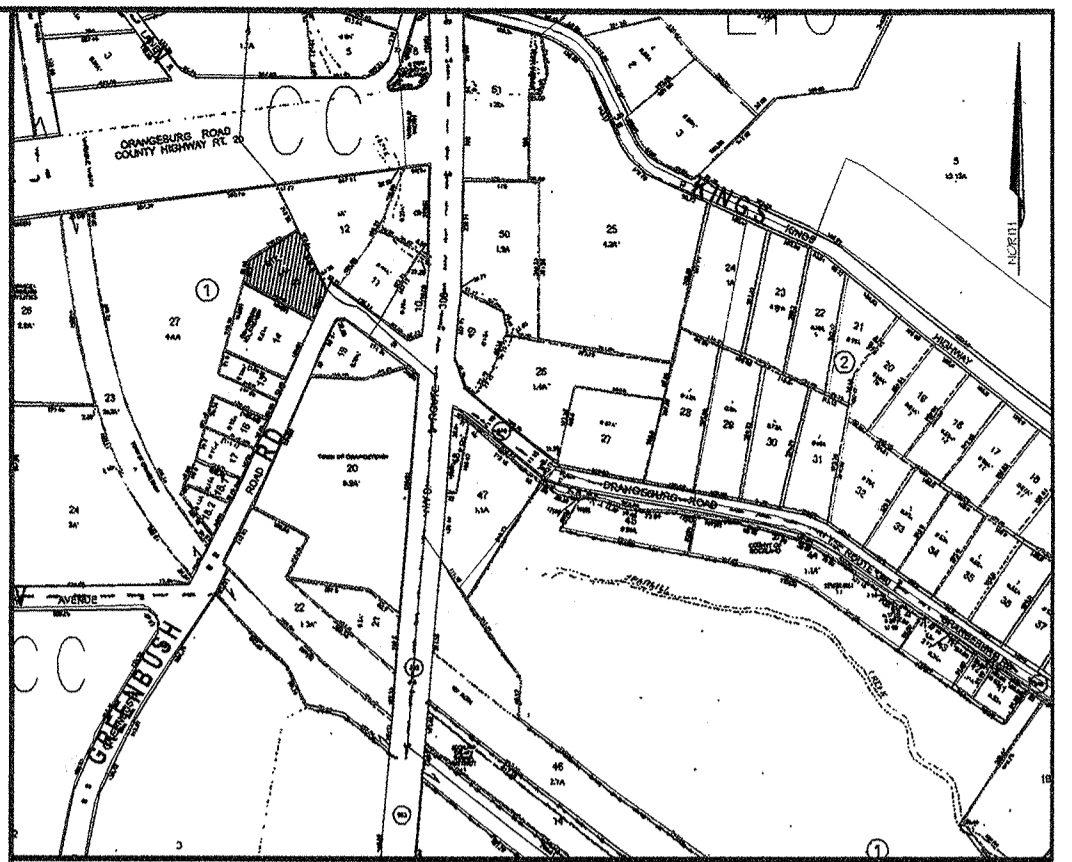
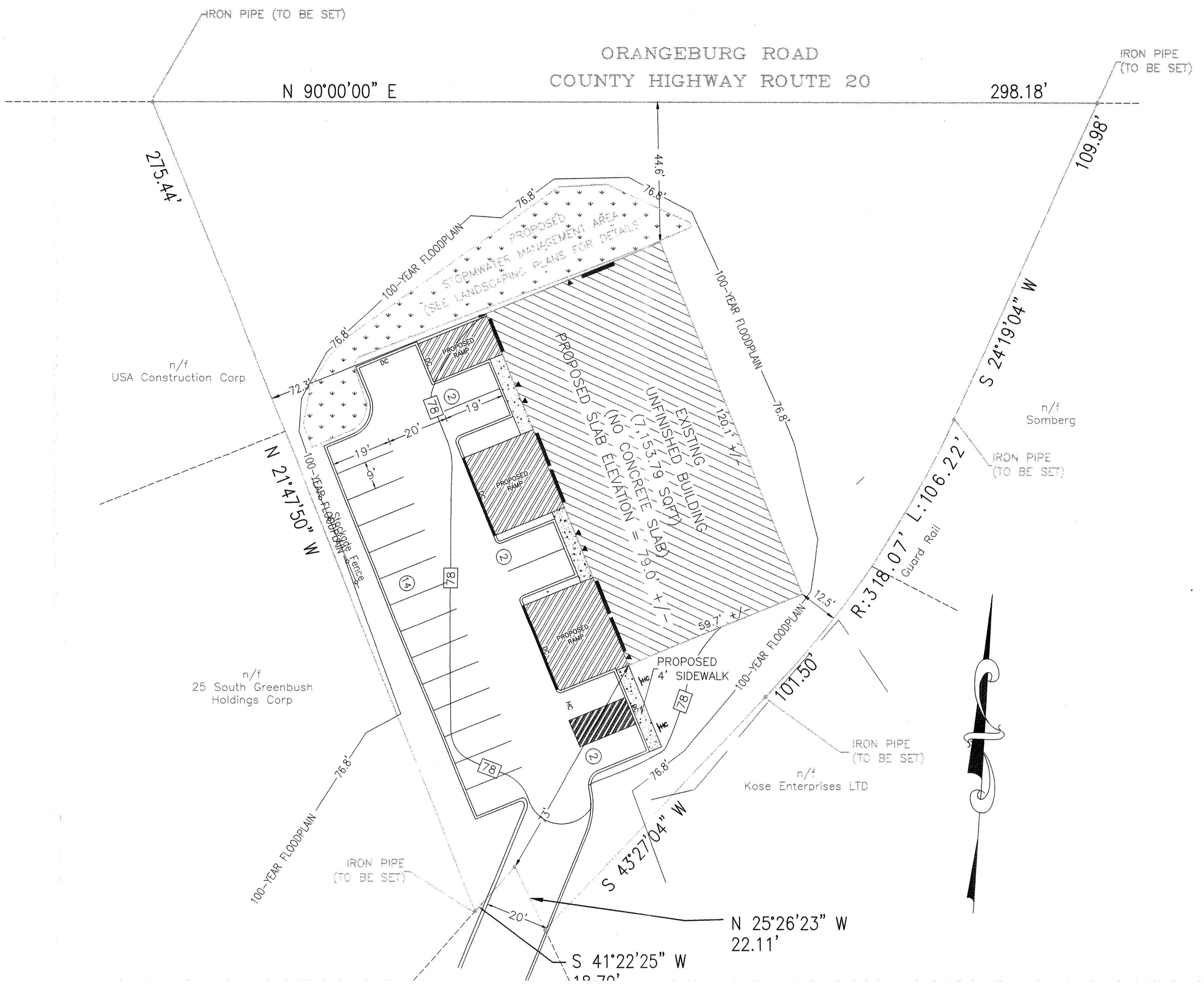
**LEGEND**

625.0(T)	DENOTES EXISTING "TOP OF CURB" GRADE	UD	DENOTES EXISTING UTILITY POLE
625.0(C)	DENOTES EXISTING "DROP CURB" GRADE	CS	DENOTES EXISTING CONCRETE SURFACE
WV	DENOTES EXISTING WATER VALVE	625.0+	DENOTES EXISTING SPOT GRADE
GV	DENOTES EXISTING GAS VALVE	---	DENOTES EXISTING WETLANDS LIMIT LINE
WMH	DENOTES EXISTING WATER MANHOLE	---	DENOTES EXISTING CONTOUR LINE
TMH	DENOTES EXISTING TELEPHONE MANHOLE	-----	DENOTES EXISTING STONE WALL
LP	DENOTES EXISTING LIGHT POLE	UD	DENOTES EXISTING UTILITY POLE
CB	DENOTES EXISTING CATCH BASIN	---	DENOTES PROPOSED STONE
EC	DENOTES EXISTING OVERHEAD WIRES	EC	DENOTES EXISTING UNDERGROUND ELECTRIC & CABLE SERVICE
+217.6	DENOTES EXISTING SPOT GRADE	G	DENOTES PROPOSED GAS SERVICE
FP-1	DENOTES TEST PIT	W	DENOTES PROPOSED UNDERGROUND WATER SERVICE
PH-2	DENOTES PERCOLATION TEST	SPT	DENOTES PROPOSED SPLT RAIL FENCE
		HC	DENOTES PROPOSED HANDICAPPED PARKING SIGN
		7'x7'2"	DENOTES PROPOSED NO PARKING FIRE ZONE SIGN



**SITE AREA:**  
1.04 Acres (45,315.5 Square-feet)

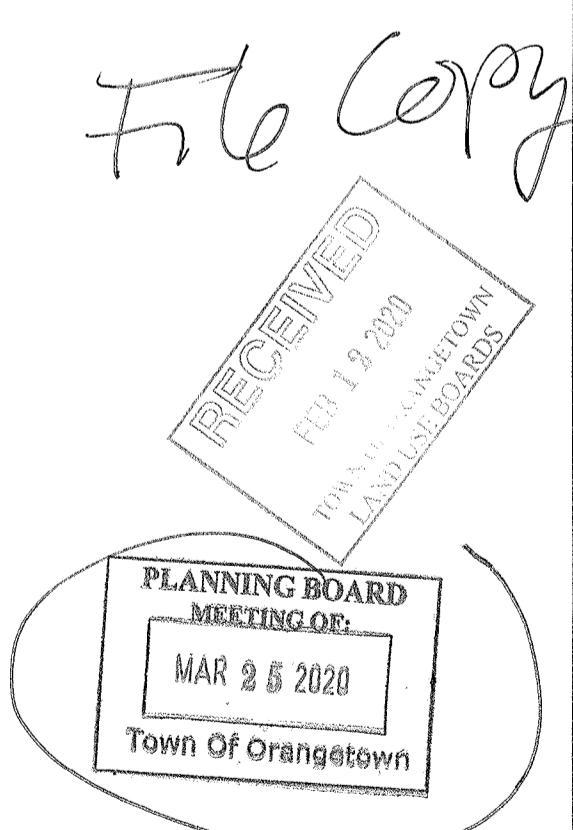
**TOTAL DISTURBED AREA:**  
0.54 Acres (22,523 square-feet)



**VICINITY MAP**  
SCALE: 1"=400'

- SITE NOTES:**
1. THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT 74.11-1-12 AS SHOWN ON THE TOWN OF ORANGETOWN.
  2. RECORD OWNER AND APPLICANT: 27 GREENBUSH ROAD CORPORATION c/o JOHN McINTYRE 25 GREENBUSH ROAD ORANGETOWN, NEW YORK 10962
  3. SITE ADDRESS: 27 GREENBUSH ROAD ORANGETOWN, NEW YORK 10962
  4. AREA OF PARCEL: 1.04± ACRES
  5. PROPERTY IS LOCATED IN THE RETAIL COMMERCE (CC) ZONING DISTRICT USE GROUP JJ, OTHER USES ALLOWED IN CC DISTRICT.
  6. PROPERTY LINE INFORMATION BASED ON BOUNDARY SURVEY PREPARED BY EDWARD T. GANNON, L.S. DATED MAY 2, 2019.
  7. TOPOGRAPHIC INFORMATION BASED ON TOPOGRAPHY PREPARED BY EDWARD T. GANNON, L.S. DATED MAY 2, 2019. NAVD 88 DATUM.
  8. FLOOD PLAIN ELEVATIONS DETERMINED BY EDWARD T. GANNON, L.S. ON MAY 2, 2019 USING GPS. DATUM USED NAVD 88.
  9. FLOOD ZONE LINES TAKEN FROM MAP NUMBER 36087C0187G FROM THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) WITH AN EFFECTIVE DATE OF MARCH 3, 2014.
  10. THE 100-YEAR FLOOD PLAIN ELEVATION = 76.8'
  11. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-1 & m OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  12. THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST 18" IN LENGTH, INSTALLED AFTER INSTALLATION OF FINAL GRADING.
  13. PROPOSED DISTURBED AREA = 23,523± SQUARE-Feet (0.54± ACRES)

- GENERAL NOTES:**
1. ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
  2. CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, SEWER DIVISION.
  3. LOT DRAINAGE SHOWN ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
  4. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
  5. DATUM: U.S.G.S. - NAVD 88
  6. TOWN OF ORANGETOWN SEWERINSPECTOR SHALL BE NOTIFIED AT LEAST 48-HOURS IN ADVANCE OF ANY AND ALL PROPOSED SANITARY SEWER WORK/ IMPROVEMENTS/ INSTALLATIONS.
  7. DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A FABRIC FILTER.
  8. ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
  9. THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST 18" IN LENGTH, INSTALLED AFTER INSTALLATION OF FINAL GRADING.
  10. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH ORANGETOWN HIGHWAY DEPARTMENT SPECIFICATIONS, WHERE REQUIRED.
  11. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALS, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  12. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2lb OR RYE GRASS OR MULCHED WITH 100lbs. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
  13. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
  14. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- LAWN AREA - 1,000 S.F.  
15lbs 10.6.4 50% SLOW RELEASE FERTILIZER  
70lbs GRANULATE LIMESTONE  
4 lbs. SEED MIXTURE  
40% KENTUCKY BLUE



**BULK REQUIREMENTS:**

MINIMUM:	REQUIRED:	PROPOSED:	REMARKS:
LOT AREA:	2,500 S.F.	45,404 S.F.*	*OK AS PER PREVIOUS APPROVAL.
LOT WIDTH:	25'	40.89'	*OK AS PER PREVIOUS APPROVAL.
FRONT YARD:	0'/45'	73'	*OK AS PER PREVIOUS APPROVAL.
SIDE YARD:	0'/12'	12.5'	*OK AS PER PREVIOUS APPROVAL.
SHALL SIDE YARD:	0'/25'	64.9'	*OK AS PER PREVIOUS APPROVAL.
REAR YARD:	25'	44.6'	*OK AS PER PREVIOUS APPROVAL.
FRONTAGE:	25'	40.81'	*OK AS PER PREVIOUS APPROVAL.

**BULK TABLE NOTES:**  
DENOTES AS PER MAY 27, 1992 PLANNING BOARD APPROVAL AS "GREENBUSH PLAZA" (P92-45)

**MAXIMUM:**

FLOOR AREA RATIO	0.30	0.158±	*OK AS PER PREVIOUS APPROVAL.
BUILDING HEIGHT	25'	45'	*OK AS PER PREVIOUS APPROVAL.

**DISTRICTS:**  
FIRE DISTRICT: FD 002  
WATER DISTRICT: ORANGETOWN  
SEWER DISTRICT: ORANGETOWN SEWER DISTRICT  
SCHOOL DISTRICT: SOUTH ORANGETOWN  
LIGHTING DISTRICT: TOWN OF ORANGETOWN

**OWNER:** JOHN McINTYRE  
25 GREENBUSH ROAD  
ORANGETOWN, NEW YORK 10962

**APPLICANT:** JOHN McINTYRE  
25 GREENBUSH ROAD  
ORANGETOWN, NEW YORK 10962

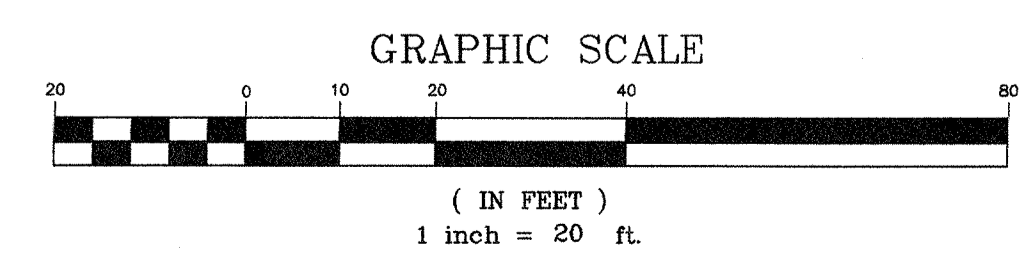
**PARKING REQUIREMENTS:**

ORIGINALLY APPROVED: 36 SPACES  
ORIGINALLY PROVIDED AS PER 1992 APPROVAL: 36 SPACES

PROPOSED: 20 SPACES  
CURRENTLY PROPOSED PARKING\*: 20 SPACES

\* REDUCTION IN PARKING TO REMOVE SPACES FROM 100-YEAR FLOOD PLAN.

APPROVED TOWN OF ORANGETOWN:  
APPROVED FOR FILING:  
DATE: \_\_\_\_\_  
OWNER: \_\_\_\_\_



October 7, 2019  
PB & PRC  
Comments

July 20, 2019  
B.I. Comments

REVISIONS

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS. COPIES OF THIS PLAN BEARING THE EMBOSSED SEAL OF THE PROFESSIONAL ENGINEER, THE NEW YORK STATE EDUCATION LAW, SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW, SHALL BE VALID.

PLANNING BOARD MEETING: MAR 26 2020  
Town Of Orangetown

MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO: 074611

**SITE PLAN**  
PREPARED FOR:  
TAX LOT # 74.11-1-12

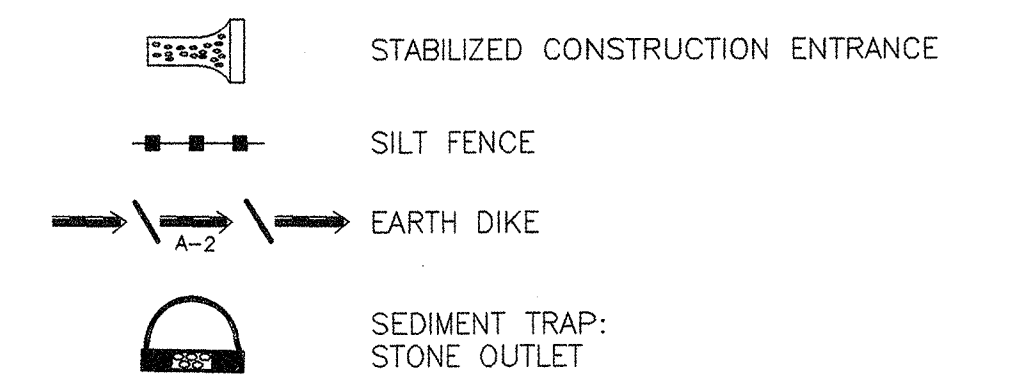
**27 GREENBUSH ROAD**  
HAMLET OF ORANGETOWN  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
41 East Naurauschaun Avenue  
Pearl River, New York 10965  
Phone (845) 629-3743

TAX LOT No.: 74.11-1-12  
AREA: 1.04± ACRES  
JOB No.: 19-008  
SCALE: 1"=20'  
DATE: May 1, 2019  
SHEET: SP-1

LEGEND			
625.0(C)	625.0(C)	625.0+	625.0+
WV	WV	W	W
GV	GV	WMH	WMH
TMH	TMH	LP	LP
OB	OB	EC	EC
+217.8	+217.8	G	G
TP-1	TP-1	W	W
PH-2	PH-2	S	S

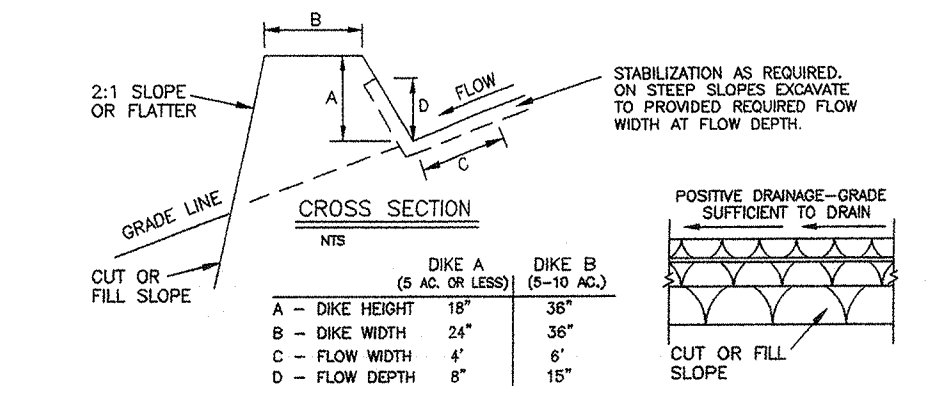
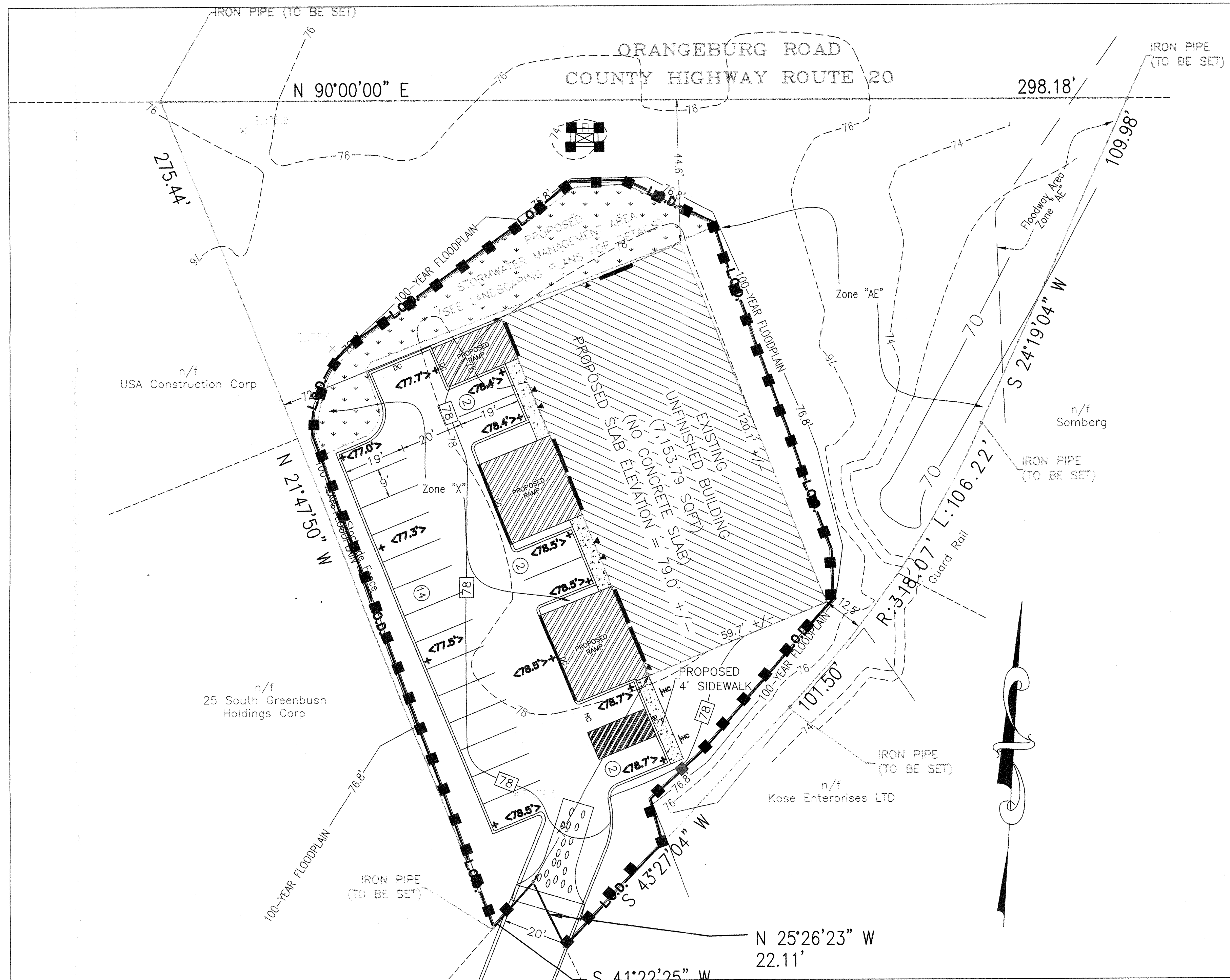
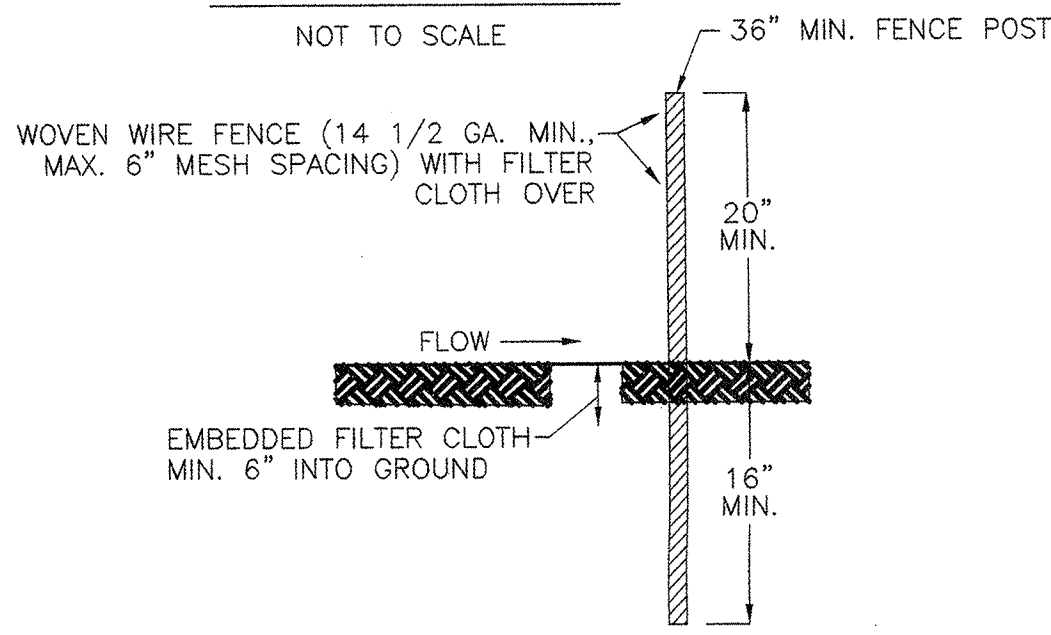
**LEGEND FOR EROSION CONTROL MEASURES REQUIRED AT THE TIME OF CONSTRUCTION**



**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL**

- A. CONSTRUCT AND MAINTAIN CONSTRUCTION ENTRANCE.
- B. INSTALL ALL EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN AND NOTED IN THE "LEGEND FOR EROSION CONTROL DURING CONSTRUCTION". ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- C. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED. STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
- D. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE AS SHOWN ON THE PLAN.
- E. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR A PERIOD OF 15 DAYS, OR MORE, AS PER NOTE 4 OF "GRADING NOTES".
- F. AFTER COMPLETION OF THE SITE CONSTRUCTION, FILL, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 10, 11 AND 12 OF "GRADING NOTES".
- G. AFTER LOT STABILIZATION HAS TAKEN PLACE: PAVE (BASE COURSE) DRIVEWAYS. CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.
- H. MAINTAIN ALL SEED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- I. SILT THAT HAS BEEN ACCUMULATED IN SILT RETENTION BASINS TO BE REMOVED WHEN BASIN IS FILLED IN TO 50% OF PROVIDED DEPTH.
- J. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LAIDEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.

**SILT FENCE DETAIL**



**CONSTRUCTION SPECIFICATIONS**

1. ALL DIKES SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZED A STABILIZED SAFE OUTLET.
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR A SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH IF NOT IN SEEDING SEASON. (B) FLOW CHANNEL AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION			
TYPE OF TREATMENT	TYPE OF GRADE	DIKE A	DIKE B
1	0.5-3%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5%	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELISOR; SOD; 2" STONE
3	5.1-8%	SEED WITH JUTE, OR SOD; 2" STONE	LINED RIPRAP 4"-8"
4	8.1-20%	LINED RIPRAP 4"-8"	ENGINEERING DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.  
B. RIPRAP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.  
C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.

7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**EARTH DIKE**

THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY.

**CONSTRUCTION SPECIFICATIONS**

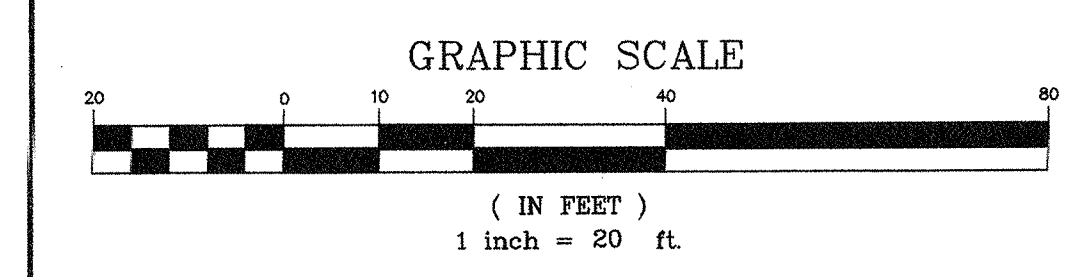
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**

NTS

<b>SITE AREA:</b> 1.04 Acres (45,315.5 Square-feet)
<b>TOTAL DISTURBED AREA:</b> 0.54 Acres (22,523 square-feet)

APPROVED TOWN OF ORANGETOWN:	APPROVED FOR FILING:
OWNER:	DATE:

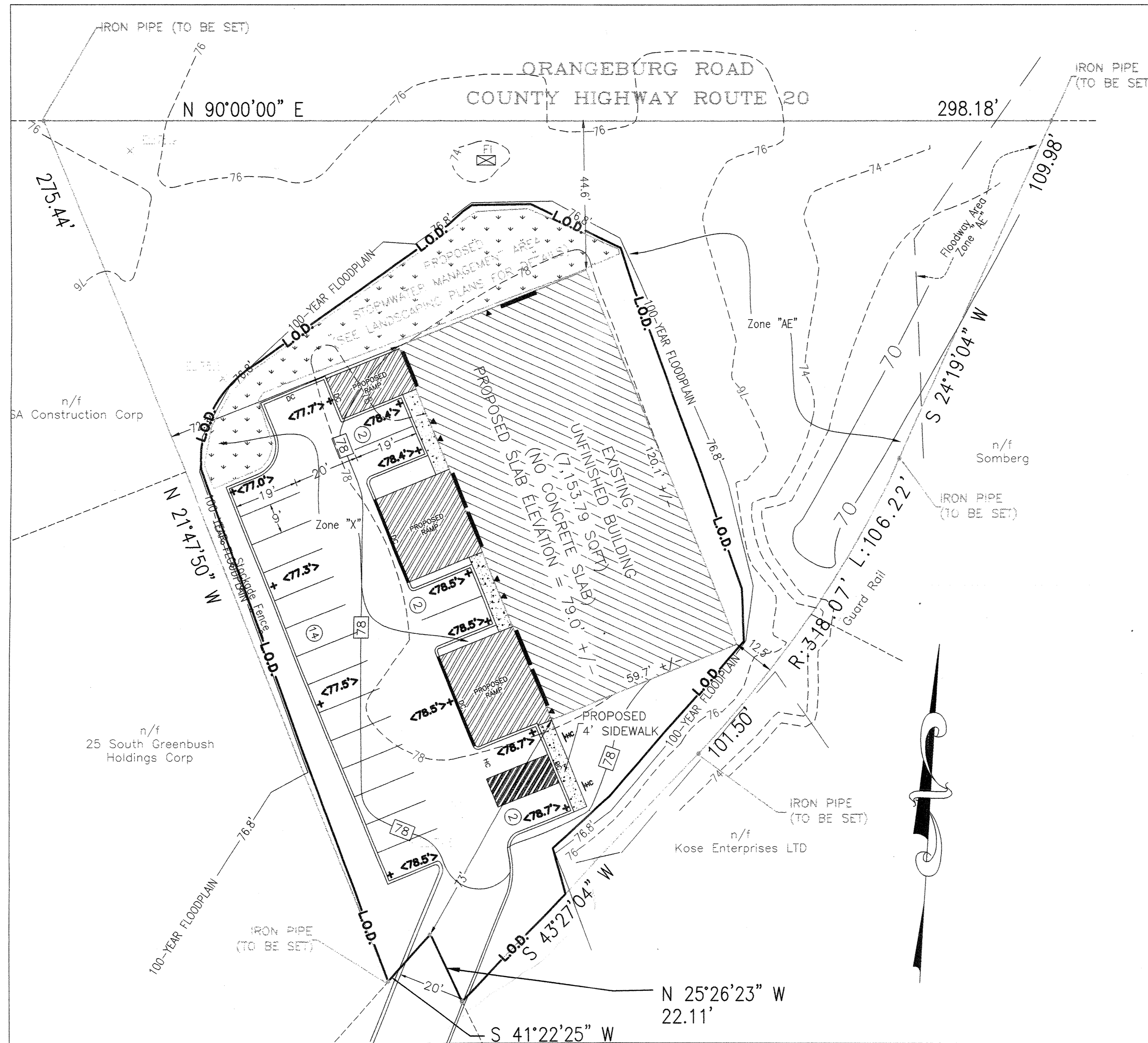


THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

October 7, 2019 PB & PRC Comments	UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN ARE NOT VALID UNLESS THEY BEAR THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER. THIS PLAN IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER.
July 20, 2019 B.I. Comments	
REVISIONS	

<b>EROSION CONTROL PLAN</b>	TAX LOT No.:
PREPARED FOR:	74.11-1-12
TAX LOT # 74.11-1-12	AREA:
<b>27 GREENBUSH ROAD</b>	1.04± ACRES
HAMLET OF ORANGETOWN	JOB No.:
TOWN OF ORANGETOWN	19-008
ROCKLAND COUNTY NEW YORK	SCALE:
<b>Michael J. Caise, P.E. &amp; Associates, P.C.</b>	1"=20'
Civil Engineering & Land Planning Consultants	DATE:
41 East Naurashaun Avenue	May 1, 2019
Pearl River, New York 10965	SHEET:
Phone (845) 629-3743	EC-1

LEGEND			
625.0(70)	625.0(70) DENOTES EXISTING "TOP OF CURB" GRADE	---○---	DENOTES EXISTING UTILITY POLE
625.0(00)	625.0(00) DENOTES EXISTING "TOP OF CURB" GRADE	---■---	DENOTES EXISTING CONCRETE SURFACE
WV	DENOTES EXISTING WATER VALVE	---○---	DENOTES EXISTING SPOT GRADE
OV	DENOTES EXISTING GAS VALVE	---○---	DENOTES EXISTING WETLANDS LIMIT LINE
WMH	DENOTES EXISTING WATER MANHOLE	---○---	DENOTES EXISTING CONTOUR LINE
TMH	DENOTES EXISTING TELEPHONE MANHOLE	---○---	DENOTES EXISTING STONE WALL
LP	DENOTES EXISTING LIGHT POLE	---○---	DENOTES EXISTING UTILITY POLE
CB	DENOTES EXISTING CATCH BASIN	---○---	DENOTES PROPOSED STONE
EC	DENOTES EXISTING UNDERGROUND ELECTRIC & CABLE SERVICE	---	
+217.8	DENOTES EXISTING OVERHEAD WIRES	---	
+	DENOTES EXISTING SPOT GRADE	---	
TP-1	DENOTES TEST PIT	---	
PH-2	DENOTES PERCOLATION TEST	---	
---	DENOTES PROPOSED GAS SERVICE	---	
---	DENOTES PROPOSED UNDERGROUND WATER SERVICE	---	
---	DENOTES PROPOSED SPLIT RAIL FENCE	---	



- GRADING NOTES:**
- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
  - TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROP. CONSTRUCTION AND REQUIRED GRADING.
  - PROVIDE EROSION CONTROL SHOWN ON "EROSION CONTROL PLAN".
  - DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2LB. RYE GRASS OR MULCHED WITH 100LBS. OF STRAW OR HAY PER 1,000 SQ. FT. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
  - STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
  - TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
  - ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE MUNICIPALITY WHICH APPROVED THE PLANS, AND/OR THAT TOWN OR VILLAGE HAVING JURISDICTION OVER THIS PLOT.
  - THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:  
 KENTUCKY BLUEGRASS ... 100lbs / ACRE ... (2.0 lb./ 1000 SQ. FT.)  
 CREEPING RED FESCUE ... 30lbs / ACRE ... (0.5 lb./ 1000 SQ. FT.)  
 PERENNIAL RYE GRASS ... 23lbs / ACRE ... (0.7 lb./ 1000 SQ. FT.)
  - THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING:  
 LIME IS TO BE APPLIED TO A pH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS/ACRE (STANDARD GRADE LIMESTONE).  
 FERTILIZER TO BE APPLIED AT A RATE OF 800 lbs. TO 900 lbs./ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHORUS-POTASSIUM)
  - SOD MAY BE USED INSTEAD OF SEED.

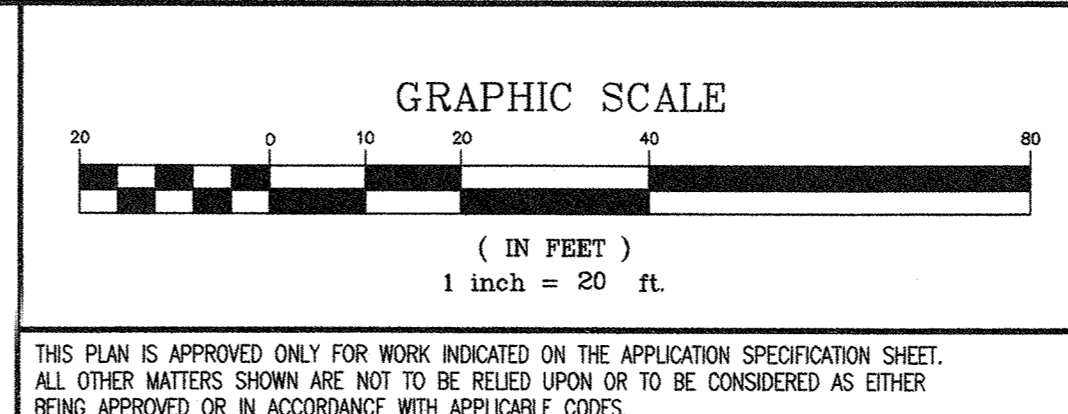
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APPROVED TOWN OF ORANGETOWN: \_\_\_\_\_

APPROVED FOR FILING: \_\_\_\_\_

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_



REVISIONS
October 7, 2019 PB & PRC Comments
July 20, 2019 B.I. Comments

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PLAN FOR REVIEW FOR PROPOSED GRADING AND DRAINAGE PLAN FOR 27 GREENBUSH ROAD, ORANGETOWN, NY

MICHAEL J. CALISE, P.E.  
No. 07461  
NEW YORK STATE E.C. No. 074611

GRADING & DRAINAGE PLAN  
PREPARED FOR:  
TAX LOT # 7411-1-12  
**27 GREENBUSH ROAD**  
HAMLET OF ORANGETOWN  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY NEW YORK

Michael J. Calise, P.E. & Associates, P.C.  
Civil Engineering & Land Planning Consultants  
41 East Naurauschaun Avenue  
Pearl River, New York 10965  
Phone (845) 629-3743

TAX LOT No.: 74.11-1-12  
AREA: 1.04± ACRES  
JOB No.: 19-008  
SCALE: 1"=20'  
DATE: May 1, 2019  
SHEET: 1 of 4