

**ZONE R-40**

Land Survey  
 For  
**"ASSUMMA"**  
 Tappan  
 Town of Orangetown Rockland County, NY  
 Scale: 1" = 40' Area = 1.49 Ac.  
 January 14, 2020  
 February 26, 2020 - Topo

Tax Lot Desig.: Section 77.06 Block 2 Lot 73

Certified to:  
 \* Ann Marie Assumma

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.

Lic. 49162  
 Robert E. Sorace, PLS  
 135 South Main Street  
 New City, NY 10956  
 845-638-1498

**Town Of Orangetown**  
 MEETING OF:  
**JUL 23 2020**  
 ARCHITECTURE & COMMUNITY  
 APPEARANCE BRD OF REVIEW

**DRYWELL CALCULATIONS**  
 DEP. WESTCHESTER DEPARTMENT OF HEALTH  
 BEST PRACTICES GUIDELINES

PROPOSED ROOF AREA 3450 SF

100YR STORM = 9" (.75 ft) OF RAINFALL PER SF  
 Underdeveloped SCS 70 = runoff depth of 5.33"  
 Developed SCS 95 = runoff depth of 8.76"  
 $8.76 - 5.33 = 3.43"$  (0.28 ft)  
 $0.28 \text{ ft} \times 3450 \text{ SF} = 1000 \text{ CF}$

1000 CF CAPACITY DRYWELL REQUIRED

Percolation Rate Calculations  
 Area of Percolation  
 $A_c = \pi D_h \text{ Avg} = 3.14(11) \times 8.5 \text{ in}/12 \text{ in/ft} = 2.23 \text{ ft}$   
 $A_b = 3.14(2) \times 3.14(5) = 785 \text{ sf}$   
 $A_p = A_c + A_b = 2.23 + 0.785 = 3.01 \text{ sf}$

24 Hour Volume of Percolation  
 $V_p = 0.785 \text{ SF} \times 3^7/12 \text{ in/ft} = 0.196 \text{ cf}$   
 $S_p = 0.196/3.01 \text{ SF}/97 \text{ min} = .001142$   
 $.001142 \times 60 \text{ min} \times 24 \text{ hr} = 1.645 \text{ cf/d/day}$

Soil Percolation Rate  
 $S_r = 1.645 \text{ 25\% (glogging factor)}$   
 $S_r = 1.645 - 0.41 = 1.235 \text{ cf/d/day}$

24 Hour Volume per Drywell  
 $V_d = 79.29 \text{ cf}$   
 $V_p = 7.0 \text{ ft} \times 4.33 \text{ ft} \times 1.235 = 37.4 \text{ cf/chamber}$   
 $V_t = 79.29 \text{ cf} + 37.4 \text{ cf} = 116.69 \text{ cf/chamber}$

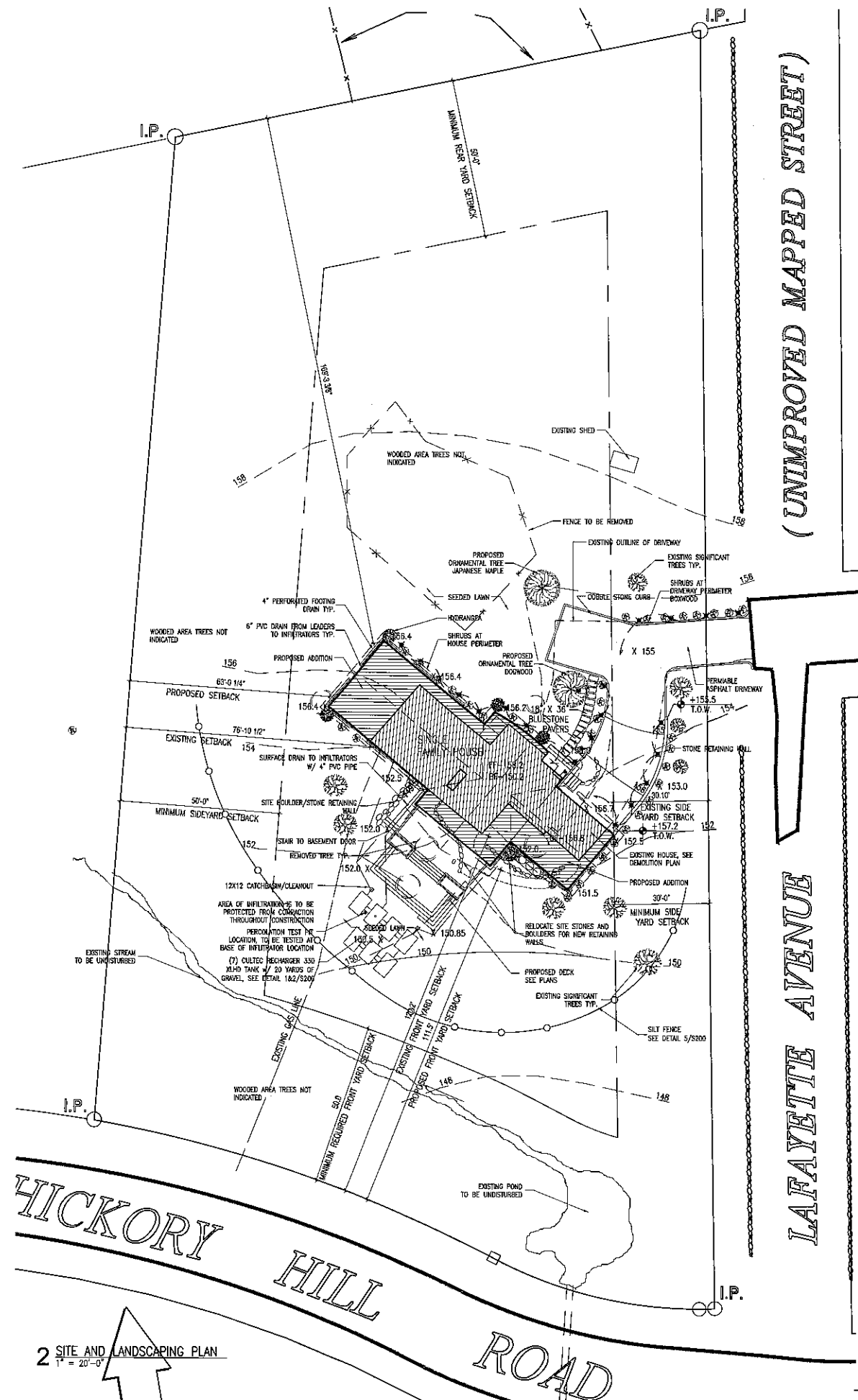
1,000 CF CAPACITY REQUIRED  
 (7) 330XL CULTEC TANK REQUIRED  
 SURROUNDED BY 20 YARDS MIN OF DRAINAGE GRAVEL  
 540 cf of gravel x 408 voids = 216 cf  
 (7)117 = 819 of chambers + 216 cf = 1,035 of capacity

**STORMWATER RETENTION SYSTEM NOTES:**  
 The area of the proposed infiltration system shall be protected from compaction during construction.  
 The infiltration system is not to be connected until all construction is complete and the site is stabilized.  
 The storm water management system shall be inspected periodically and shall be maintained in working order per the Westchester Department of Health requirements.  
 Utility locations shall be verified prior to excavation. Code 753 shall be performed prior to excavation.  
 All excavations shall comply with OSHA regulation 1926.550 with regard to excavations over 4 feet.  
 The grades should pitch away from the building but not cause any deleterious ponding on this property or adjacent property. Any ponding shall be corrected.  
 \* SCS values per TR55 Table 2.1

- SITE PLAN NOTES:**
- NO ROCK BLASTING IS REQUIRED
  - THE TOWN ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
  - AS BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY
  - FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
  - AS BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY
  - ALL UNDERGROUND UTILITY LINES ARE TO BE MARKED PRIOR TO START OF CONSTRUCTION. WATER AND GAS LINES ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION
  - THERE IS TO BE NO INCREASED RUNOFF TO ADJACENT PROPERTIES AS A RESULT OF THE PROPOSED WORK. ALL RE-GRADING SHALL INSURE THAT RUNOFF TO ADJACENT PROPERTIES IS NOT INCREASED OR ALTERED FROM EXISTING CONDITIONS. ANY NATURAL RUNOFF OF SITE SHALL NOT BE INCREASED OR CREATE ON SITE PONDING.
  - THE PROPOSED INFILTRATION SYSTEM SHALL NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETED AND THE CONTRIBUTING AREA IS STABILIZED

- INFILTRATION ACCESS PORTS ARE TO BE SHOWN ON THE AS-BUILT**
- CONSTRUCTION SEQUENCE:**
- INSTALLATION OF EROSION CONTROLS
  - SITE CLEARING/ DEMOLITION
  - EXCAVATION
  - ADDITION CONSTRUCTION
  - SITING
  - FINAL GRADING, PLANTING
- THE GENERAL CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT INSPECTIONS MAY BE PERFORMED
- START OF CONSTRUCTION
  - INSTALLMENT OF SEDIMENT AND EROSION CONTROL
  - COMPLETION OF SITE CLEARING
  - COMPLETION OF ROUGH GRADING
  - INSTALLMENT OF SMO'S
  - COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.
  - CLOSURE OF CONSTRUCTION
  - COMPLETION OF FINAL LANDSCAPING

**Town Of Orangetown**  
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UNIMPROVED MAPPED STREET

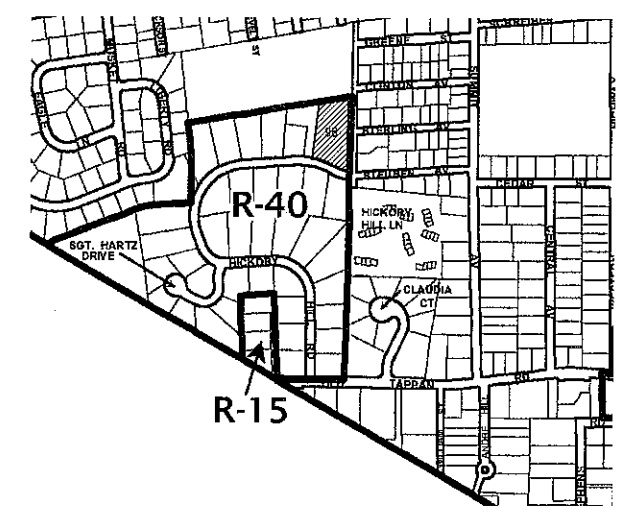
LAFAYETTE AVENUE

2 SITE AND LANDSCAPING PLAN  
 1" = 20'-0"

ZONING/ BULK CALCULATIONS	
98 HICKORY HILL, TAPPAN, NY	
TAX LOT	SECTION 77.06 BLOCK 2 LOT 73
ZONING DISTRICT	R-40
EXISTING OCCUPANCY	SINGLE FAMILY
PROPOSED OCCUPANCY	SINGLE FAMILY
MINIMUM LOT AREA	40,000 SQ.FT.
EXISTING LOT AREA	64,800 SQ.FT.
MINIMUM FRONTAGE / WIDTH	100 FT / 150FT
EXISTING FRONTAGE / WIDTH	202 FT/180 LF
REQUIRED MINIMUM SIDEYARD SETBACKS	30.0 FT ONE 80.0 FT TWO
EXISTING SIDE YARD SETBACKS	30.1 FT 107.2 FT
PROPOSED SIDE YARD SETBACK	30.0 93.02 FT
REQUIRED FRONT YARD SETBACK	50.0 FT
EXISTING FRONT YARD SETBACKS	120.2 FT
PROPOSED FRONT YARD SETBACK	111.5 FT
REQUIRED REAR YARD SETBACK	50.0 FT
EXISTING REAR SETBACKS	185.5 FT
PROPOSED REAR YARD SETBACK	169.26 FT
MAXIMUM BUILDING HEIGHT PERMITTED	8' X 111.5 = 74 FT
EXISTING BUILDING HEIGHT	12 FT 1 STORES + BASEMENT
PROPOSED BUILDING HEIGHT	23 FT 1 STORES + BASEMENT
EXISTING BUILDING COVERAGE	1,682 SQ.FT. (02.60 %)
PROPOSED BUILDING COVERAGE	2,783 SQ.FT. (04.31 %)
MAXIMUM F.A.R.	0.15
PROPOSED BUILDING F.A.R.	0.046 (2,952 SQ.FT./64,800 SF)

- DRAWING INDEX:**
- S100 SITE PLAN ZONING STORMWATER
  - S200 SITE DETAILS
  - SP100 GENERAL NOTES AND SPECIFICATIONS
  - SP101 GENERAL NOTES AND SPECIFICATIONS
  - SP200 PRODUCT SCHEDULES
  - D100 DEMOLITION PLANS
  - A100 CONSTRUCTION PLANS
  - A101 CONSTRUCTION PLANS
  - ST100 STRUCTURAL PLANS
  - ST101 STRUCTURAL PLANS
  - ME100 MECHANICAL/ ELECTRICAL PLANS
  - ME101 MECHANICAL/ELECTRICAL PLANS
  - A200 EXTERIOR ELEVATIONS
  - A201 EXTERIOR ELEVATIONS
  - A300 BUILDING SECTIONS
  - A400 INTERIOR ELEVATIONS
  - A401 INTERIOR ELEVATIONS
  - A402 INTERIOR ELEVATIONS
  - A500 INTERIOR DETAILS
  - A510 EXTERIOR DETAILS
  - A511 EXTERIOR DETAILS

SITE INFORMATION FROM SURVEY BY ROBERT E. SORACE, PLS NYS LIC #049182



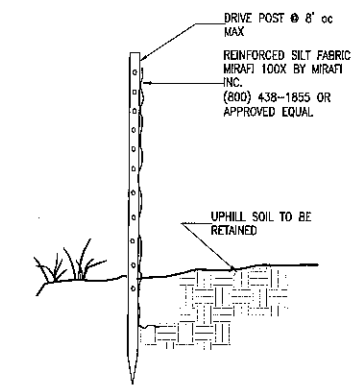
1 KEY PLAN  
 NTS



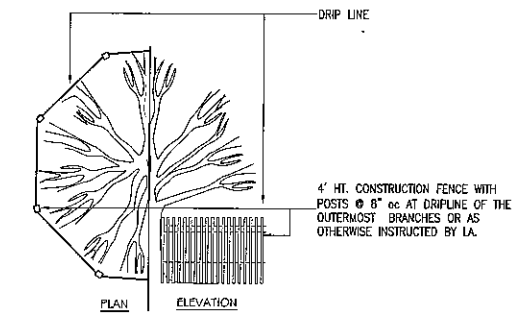
**ASSUMMA**  
 ALTERATION  
 98 HICKORY HILL  
 TAPPAN, NY

CONSTRUCTION  
 DOCUMENTS  
 DATE: MARCH 18, 2020  
 REV: JUNE 19, 2020

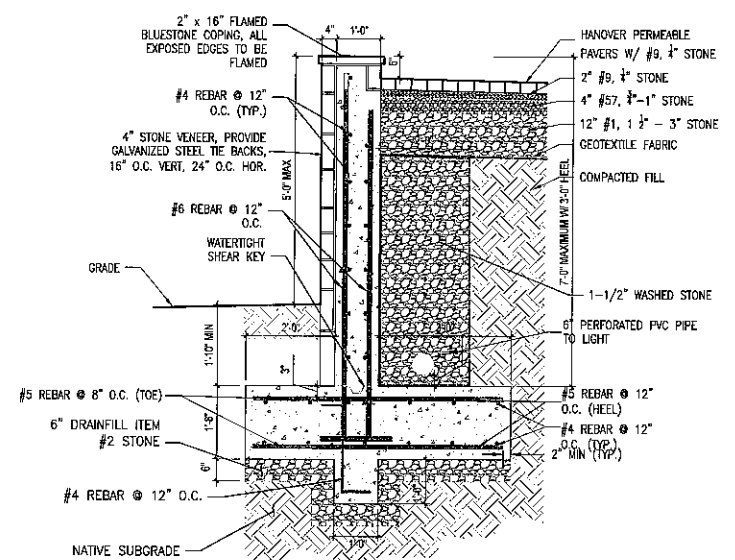
SITE PLAN



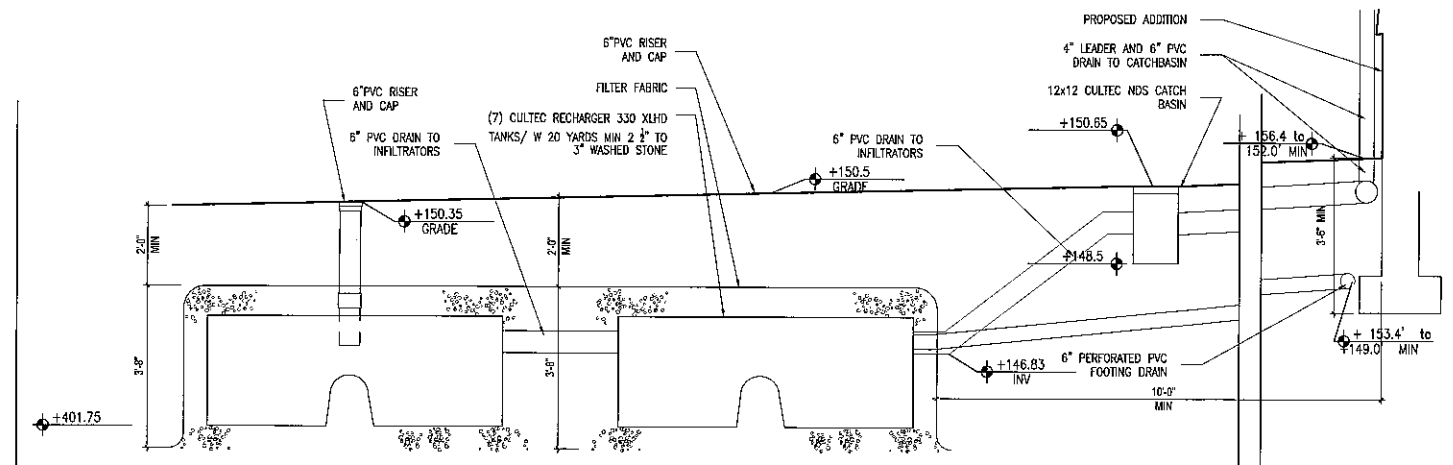
5 SILT FENCE CONSTRUCTION LIMIT  
NTS



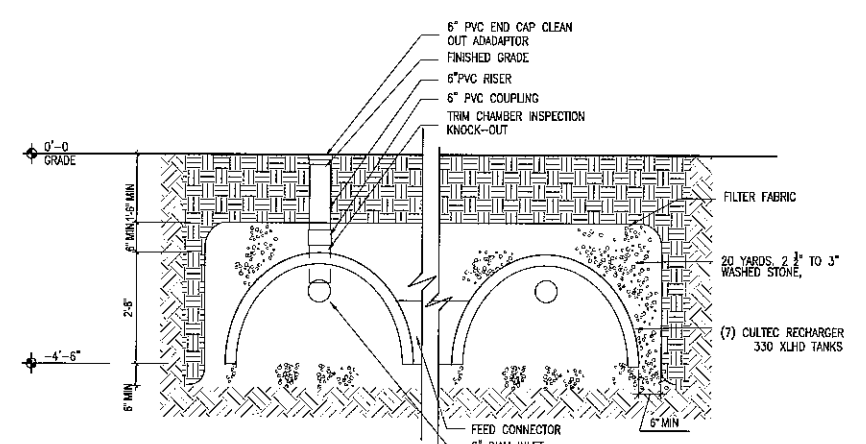
4 TREE PROTECTION FENCE  
NTS



3 SECTION DETAIL AT RETAINING WALL  
1/2" = 1'-0"



2 SECTION DETAIL AT INFILTRATORS  
1/2" = 1'-0"



1 SECTION DETAIL AT INFILTRATORS  
1/2" = 1'-0"

ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
DOCUMENTS

Date  
MARCH 18, 2020

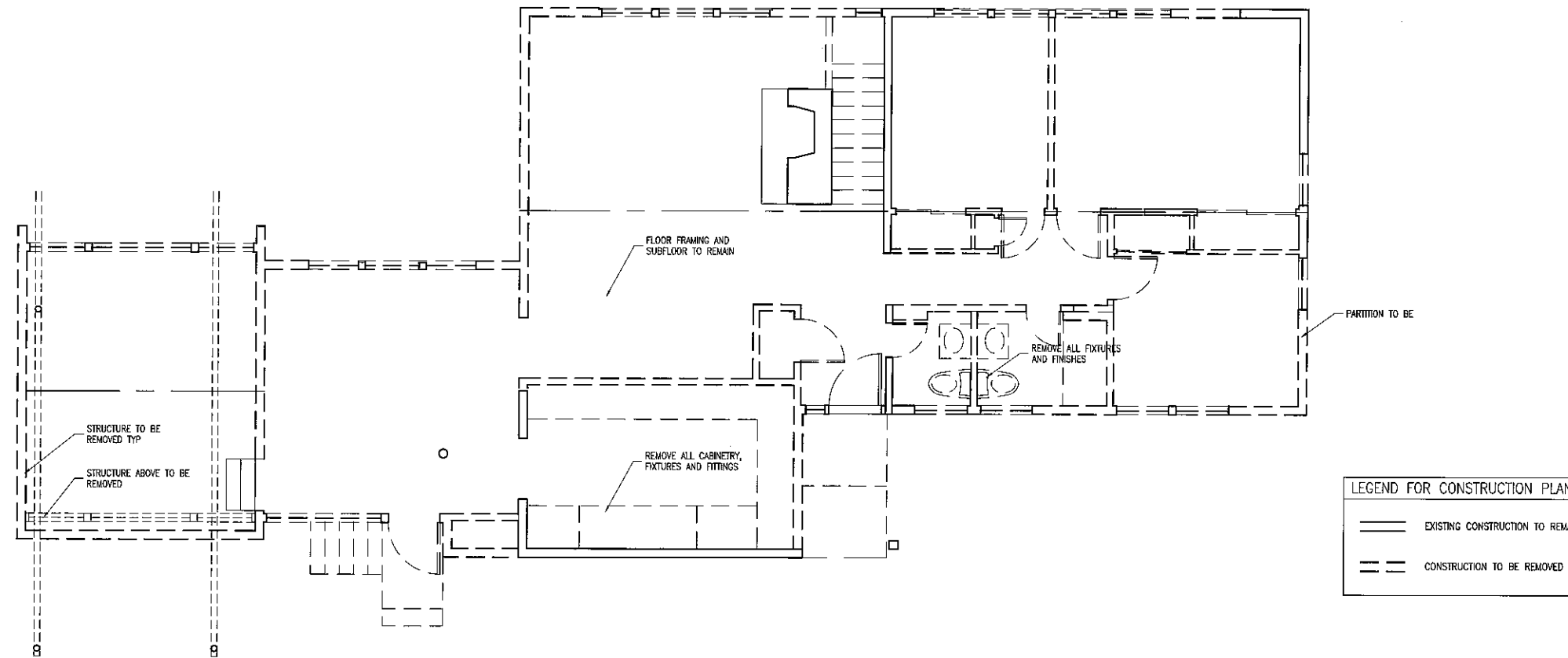
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

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Title  
SITE DETAILS

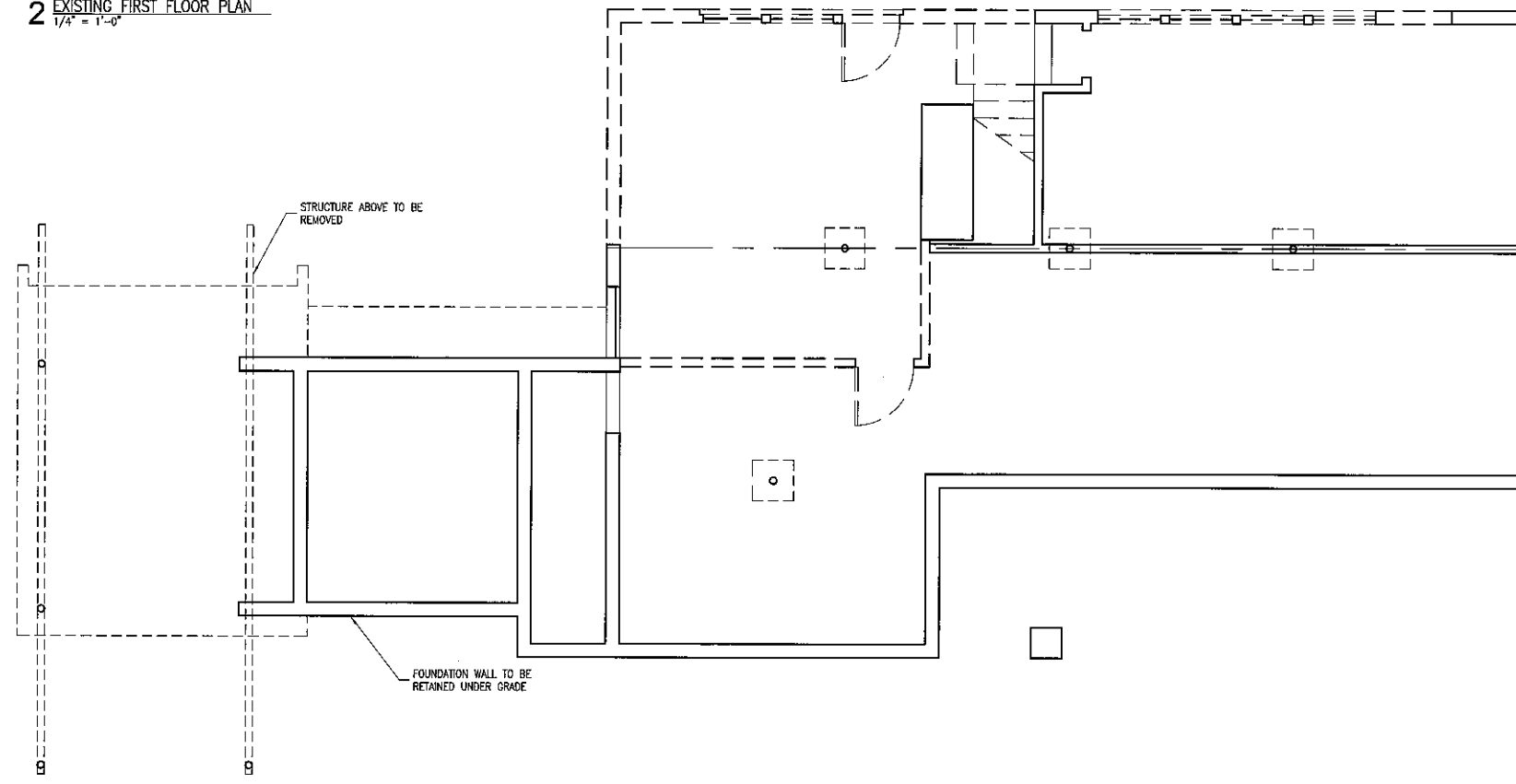
Number

S200



LEGEND FOR CONSTRUCTION PLAN	
	EXISTING CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE REMOVED

2 EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



1 EXISTING LOWER LEVEL PLAN  
1/4" = 1'-0"

ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
DOCUMENTS  
DATE  
MARCH 18, 2020

Drawn by:

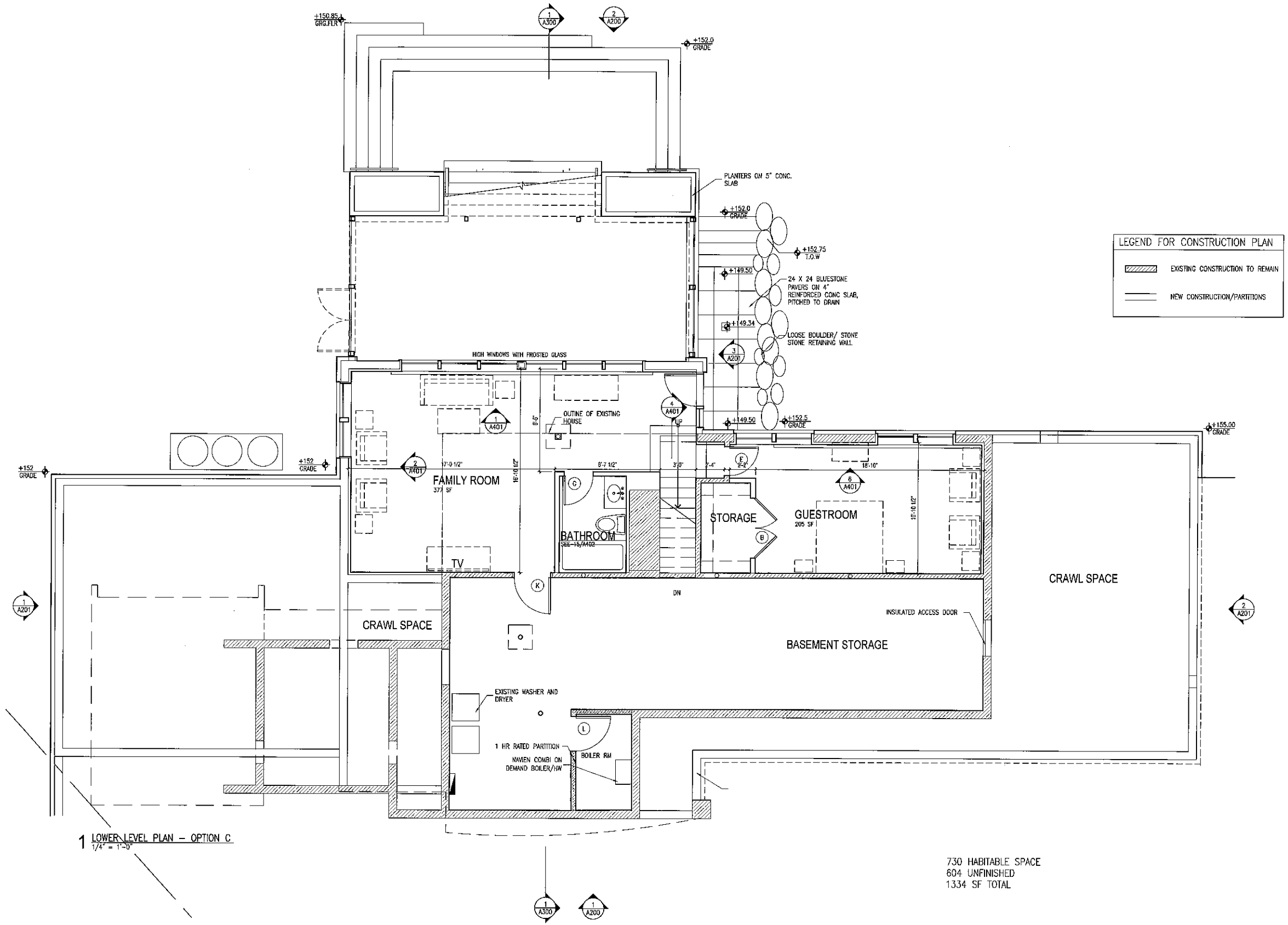
Scale  
1/4" = 1'-0"

Title:

DEMOLITION PLANS

Number:

D100



LEGEND FOR CONSTRUCTION PLAN

	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION/PARTITIONS

1 LOWER LEVEL PLAN - OPTION C  
1/4" = 1'-0"

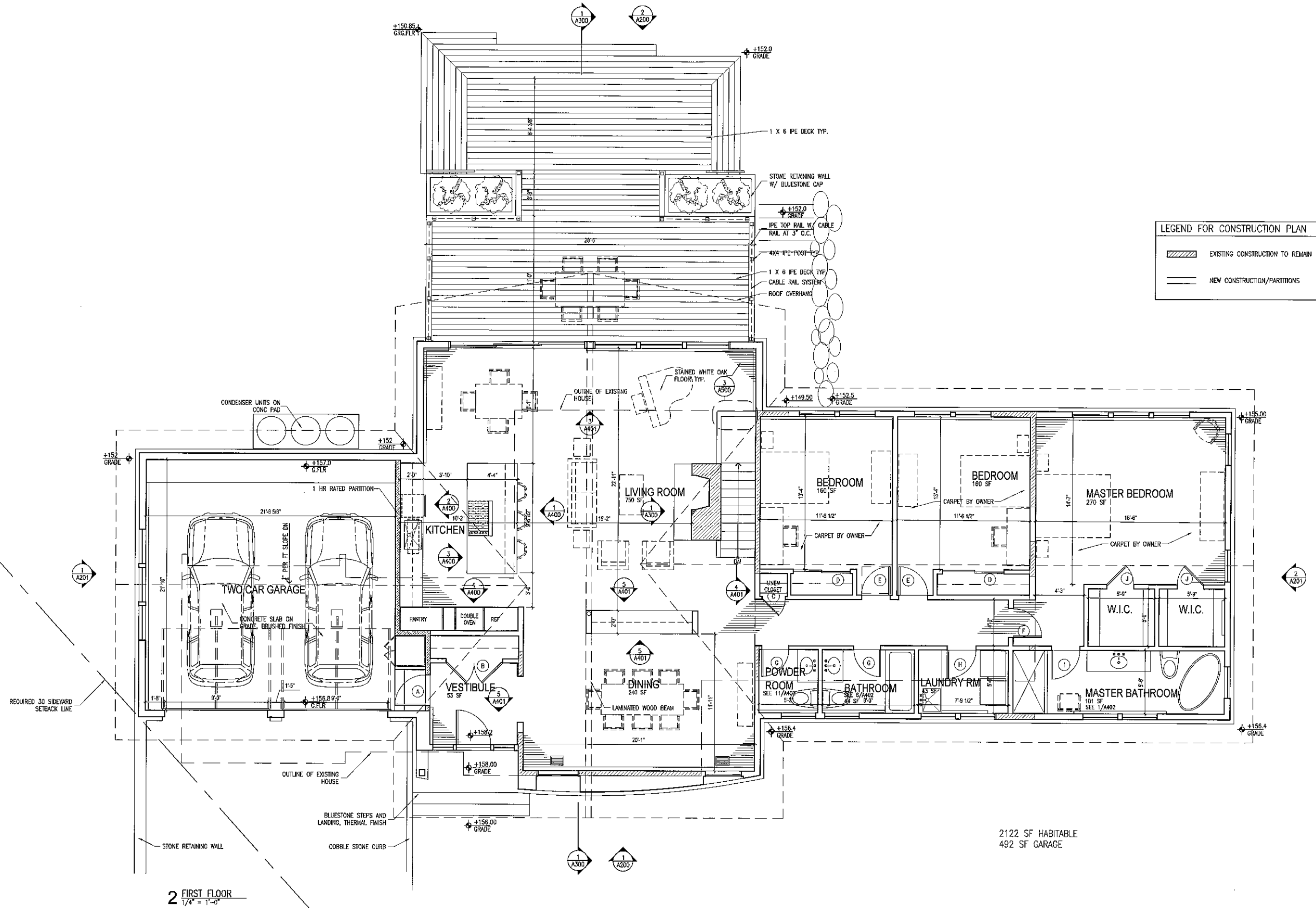
730 HABITABLE SPACE  
604 UNFINISHED  
1334 SF TOTAL

ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
DOCUMENTS  
DATE  
MARCH 18, 2020

drawn by  
scale  
1/4" = 1'-0"  
title  
BASEMENT  
PLAN

number  
A100



ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

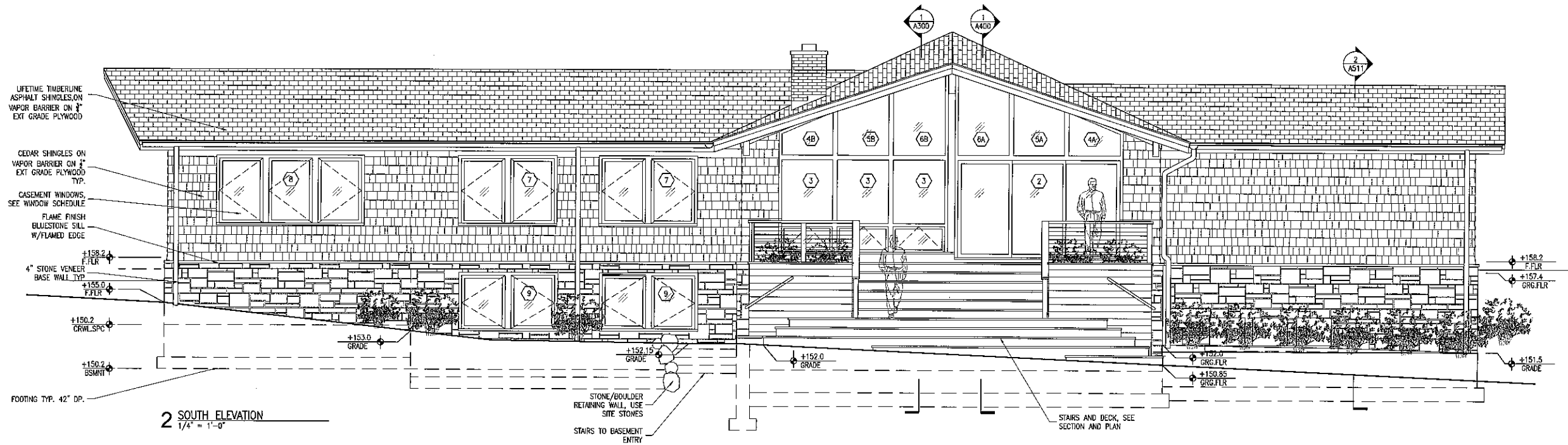
CONSTRUCTION  
DOCUMENTS

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MARCH 18, 2020

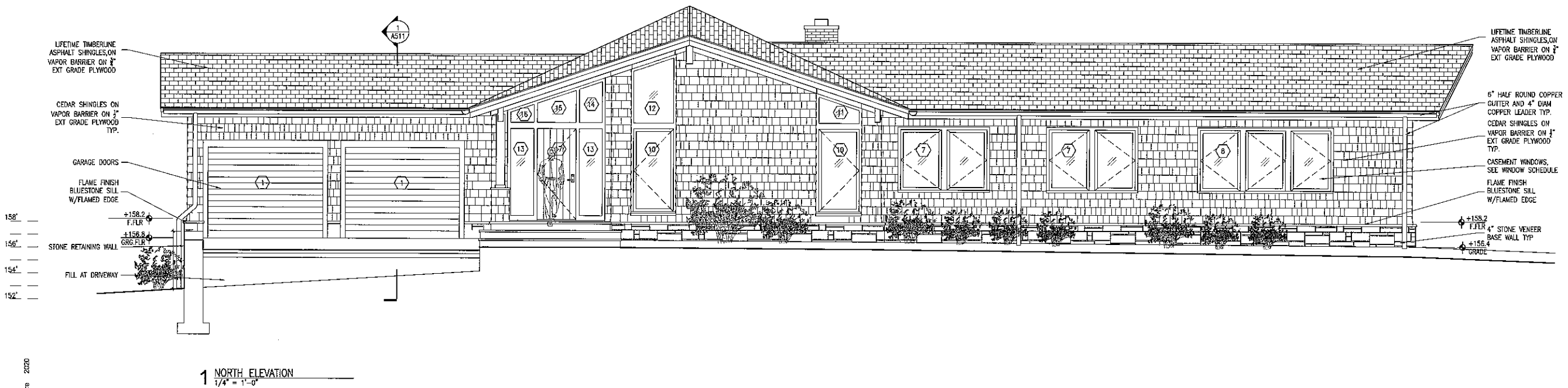
SCALE  
1/4" = 1'-0"

TITLE  
FIRST FLOOR PLAN

NUMBER  
A101



2 SOUTH ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"

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TAPPAN, NY

CONSTRUCTION  
DOCUMENTS

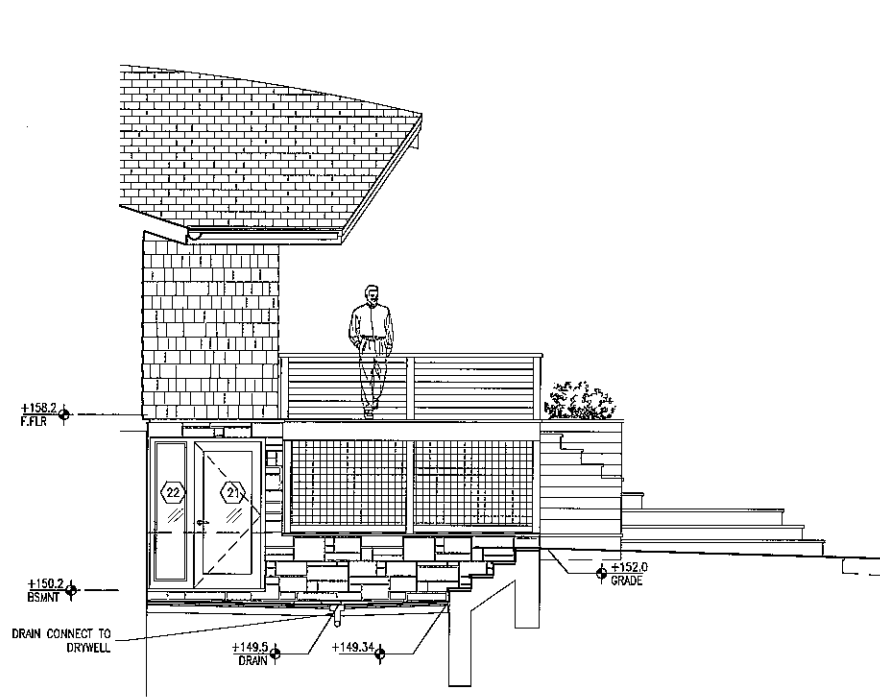
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MARCH 18, 2020

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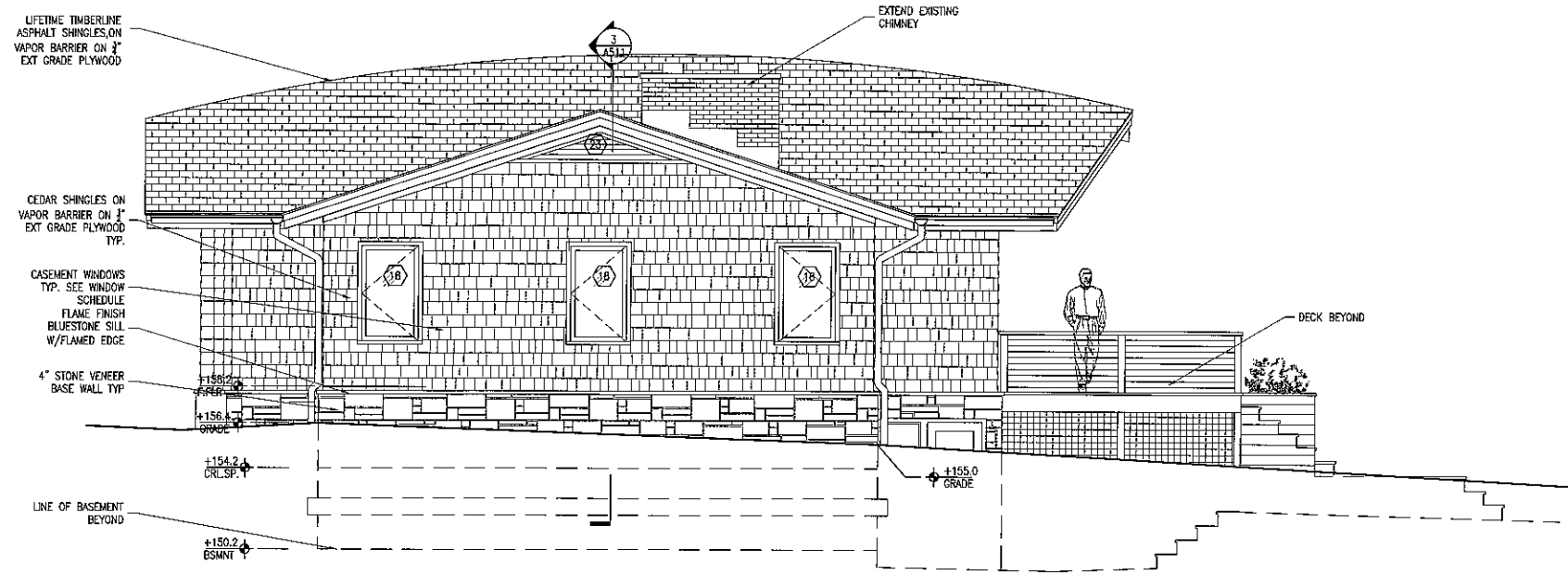
SITE  
EXTERIOR  
ELEVATIONS

NUMBER

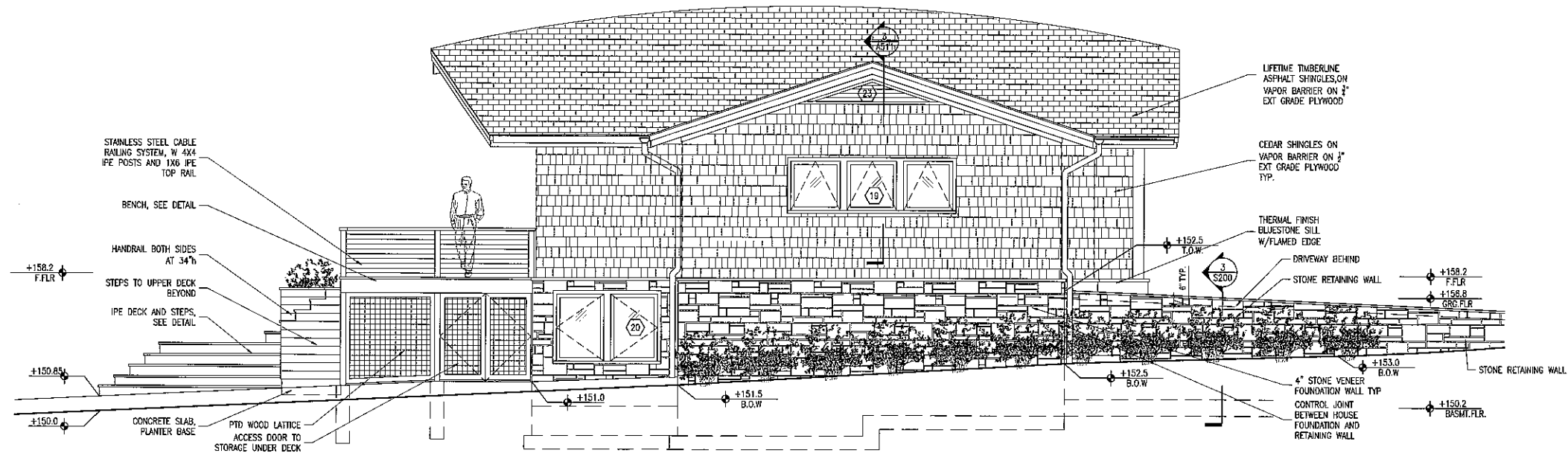
A200



3 EXTERIOR ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"

ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
DOCUMENTS

DATE  
MARCH 18, 2020

DRAWN BY

SCALE  
1/4" = 1'-0"

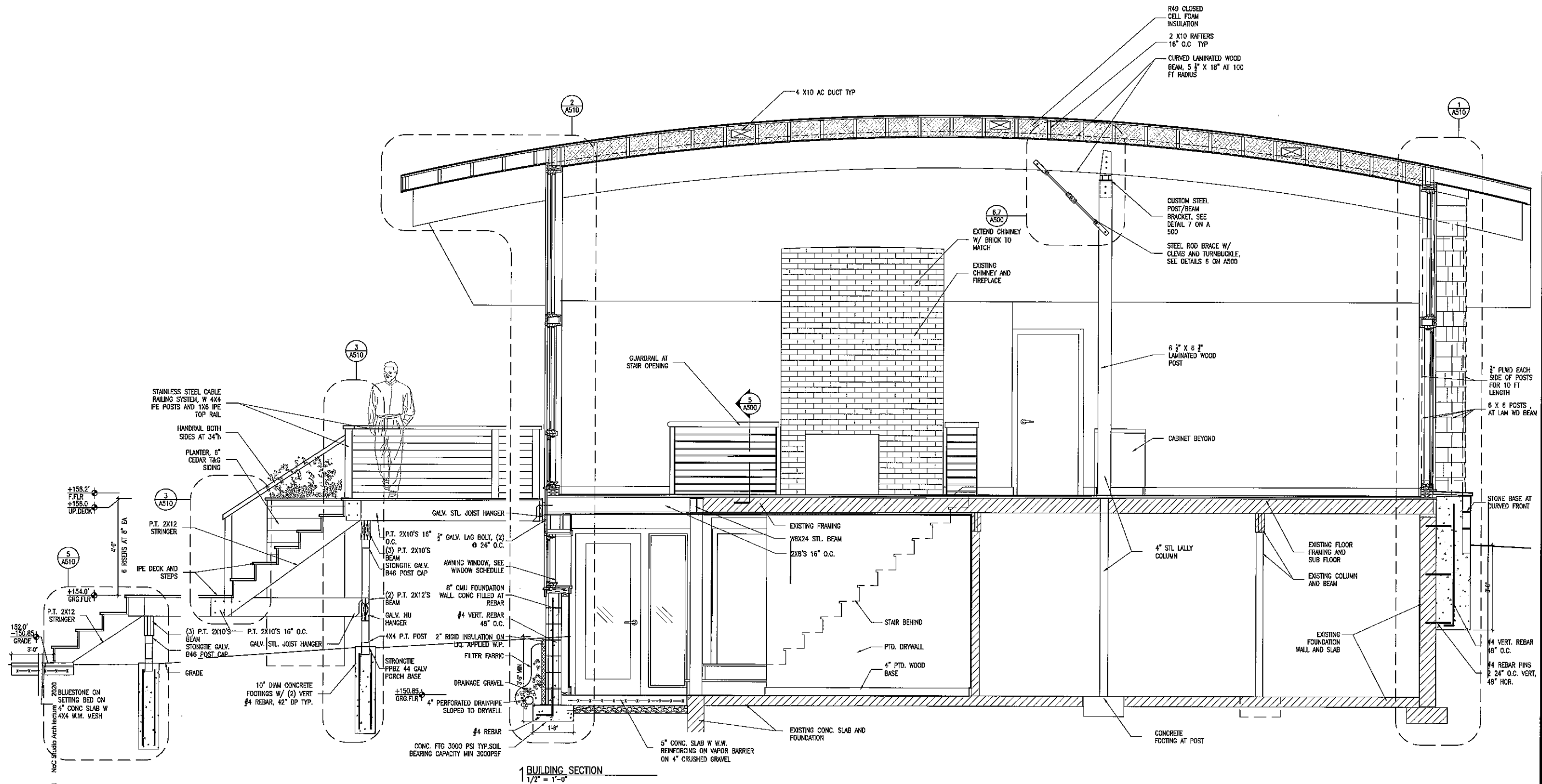
TITLE

FIRST FLOOR PLAN

NUMBER

A201





ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
DOCUMENTS

DATE:  
MARCH 18, 2020

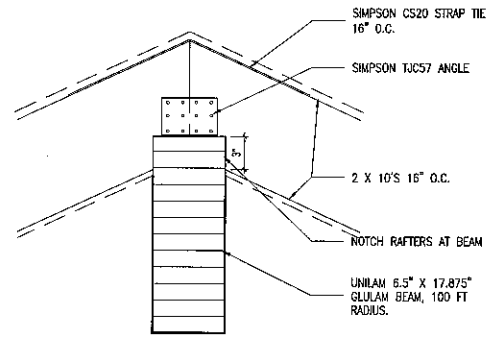
DESIGNED BY:

SCALE:  
1/2" = 1'-0"

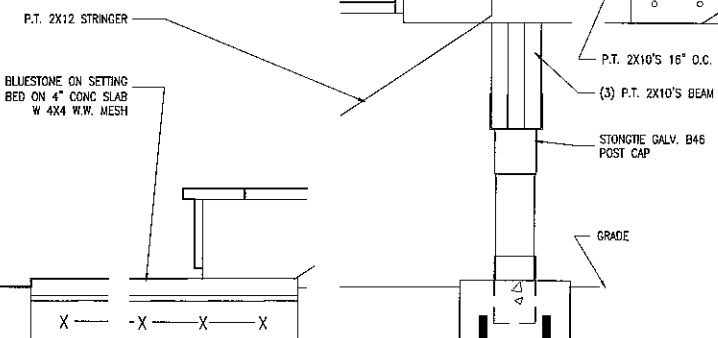
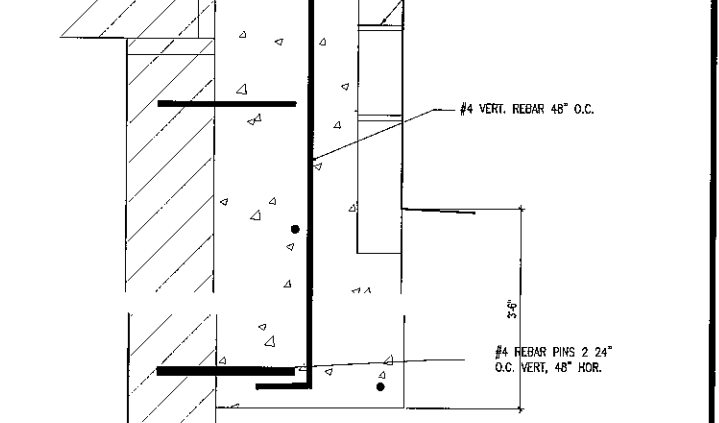
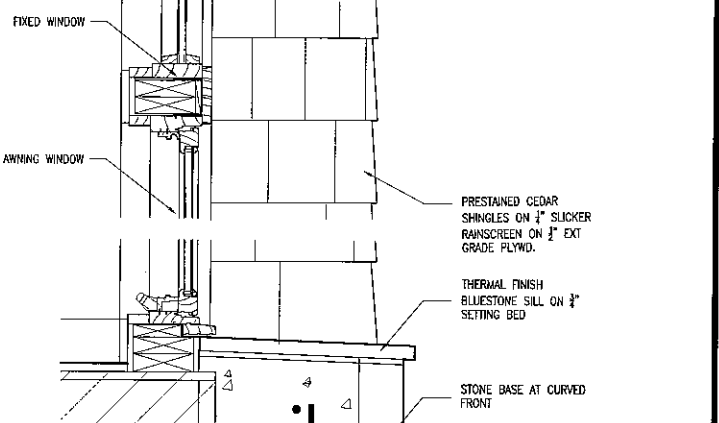
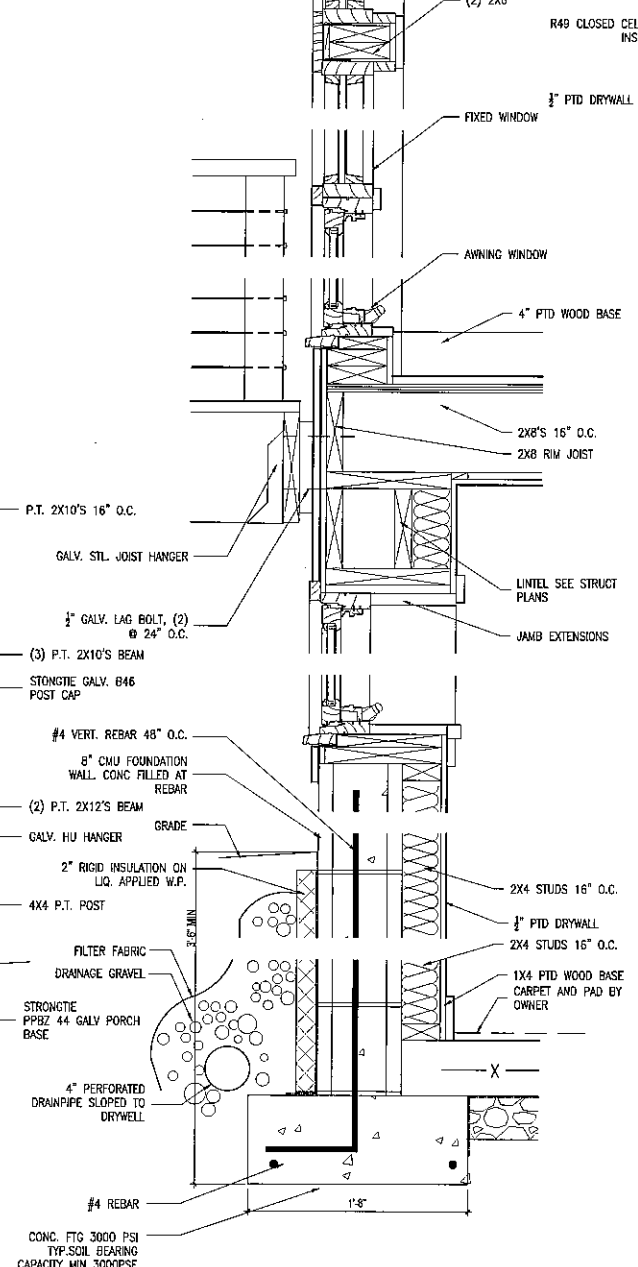
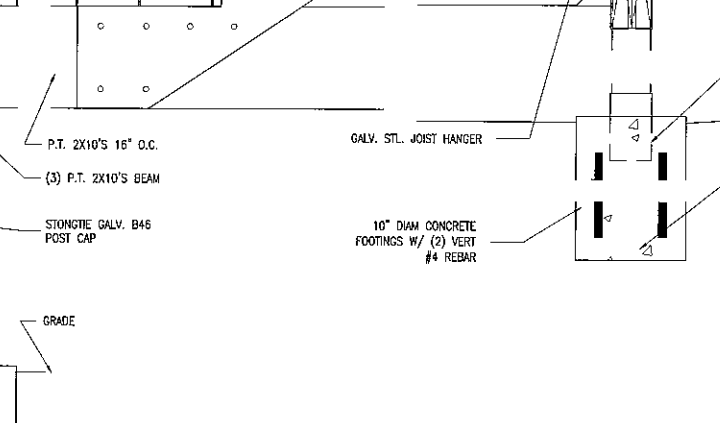
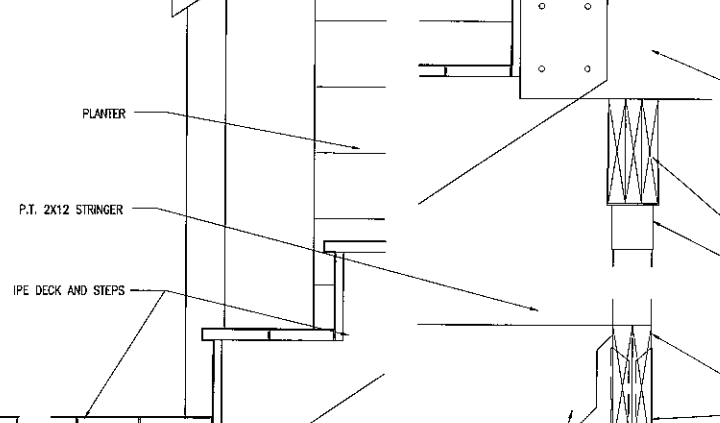
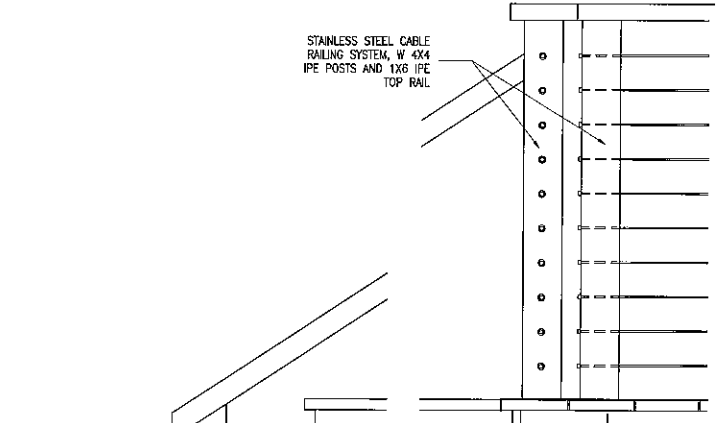
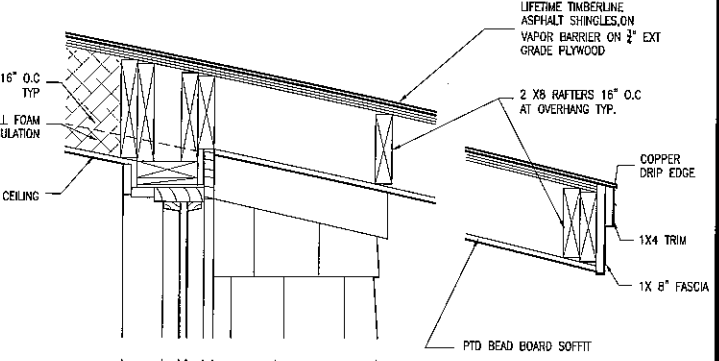
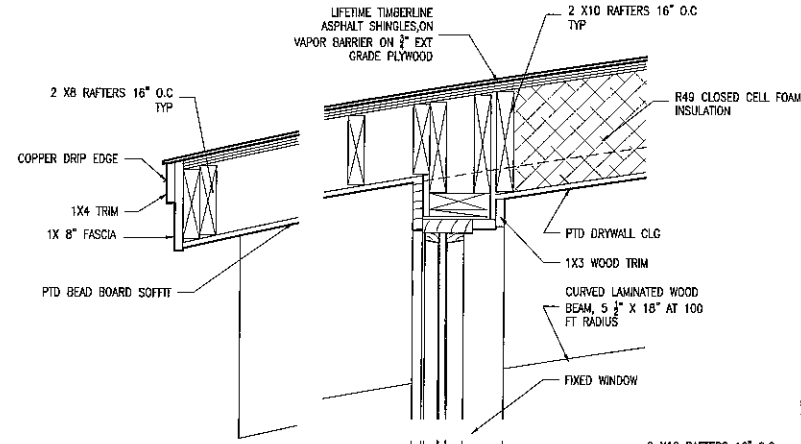
TITLE:  
BUILDING SECTION

NUMBER:

A300



**6 SECTION DETAIL AT RIDGE BEAM**  
1 1/2" = 1'-0"



**5 SECTION DETAIL AT DECK**  
1 1/2" = 1'-0"

**4 SECTION DETAIL AT DECK**  
1 1/2" = 1'-0"

**3 SECTION DETAIL AT DECK**  
1 1/2" = 1'-0"

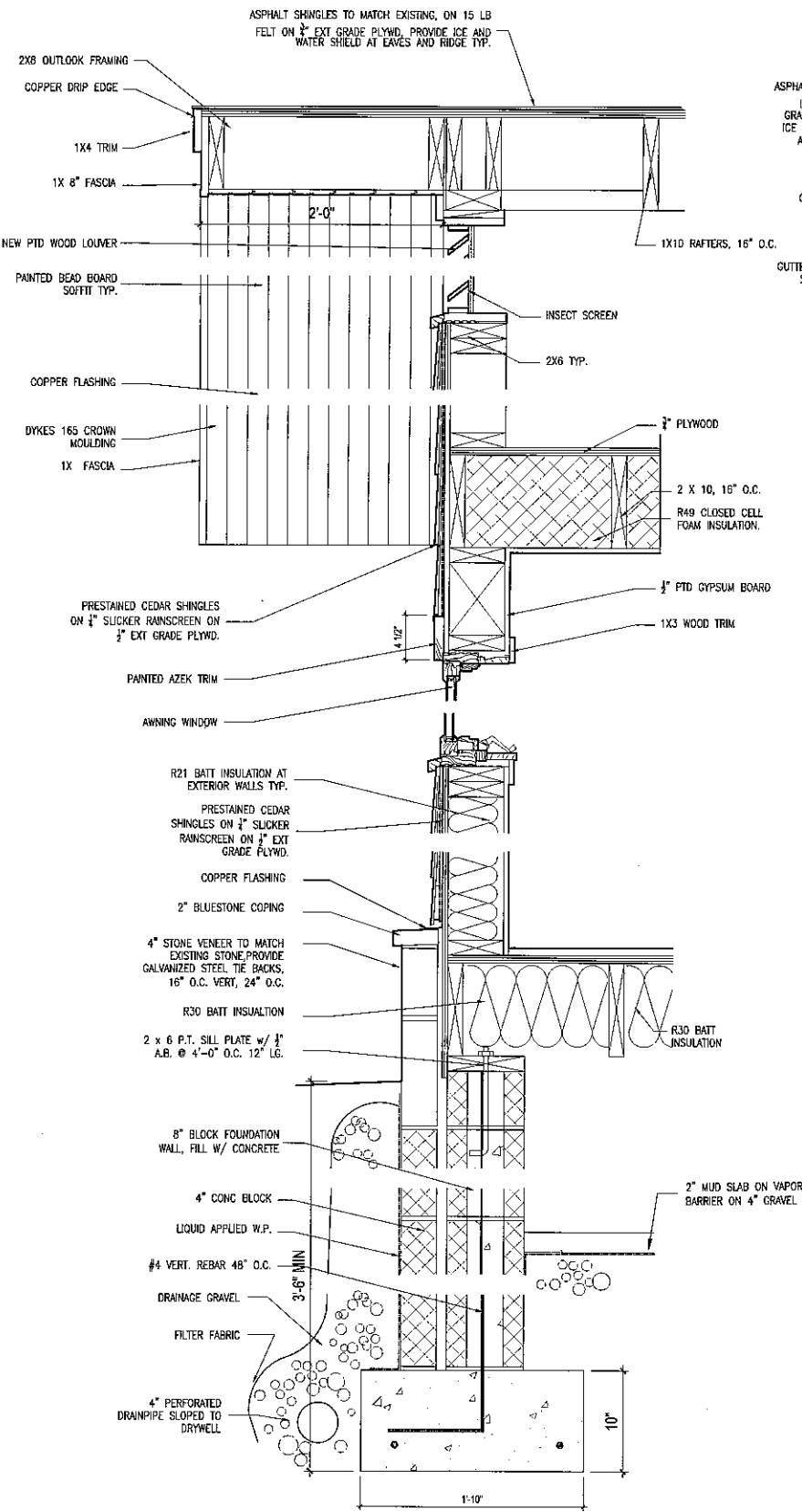
**2 SECTION DETAIL AT EXTERIOR WALL**  
1 1/2" = 1'-0"

**1 SECTION DETAIL AT EXTERIOR WALL**  
1 1/2" = 1'-0"

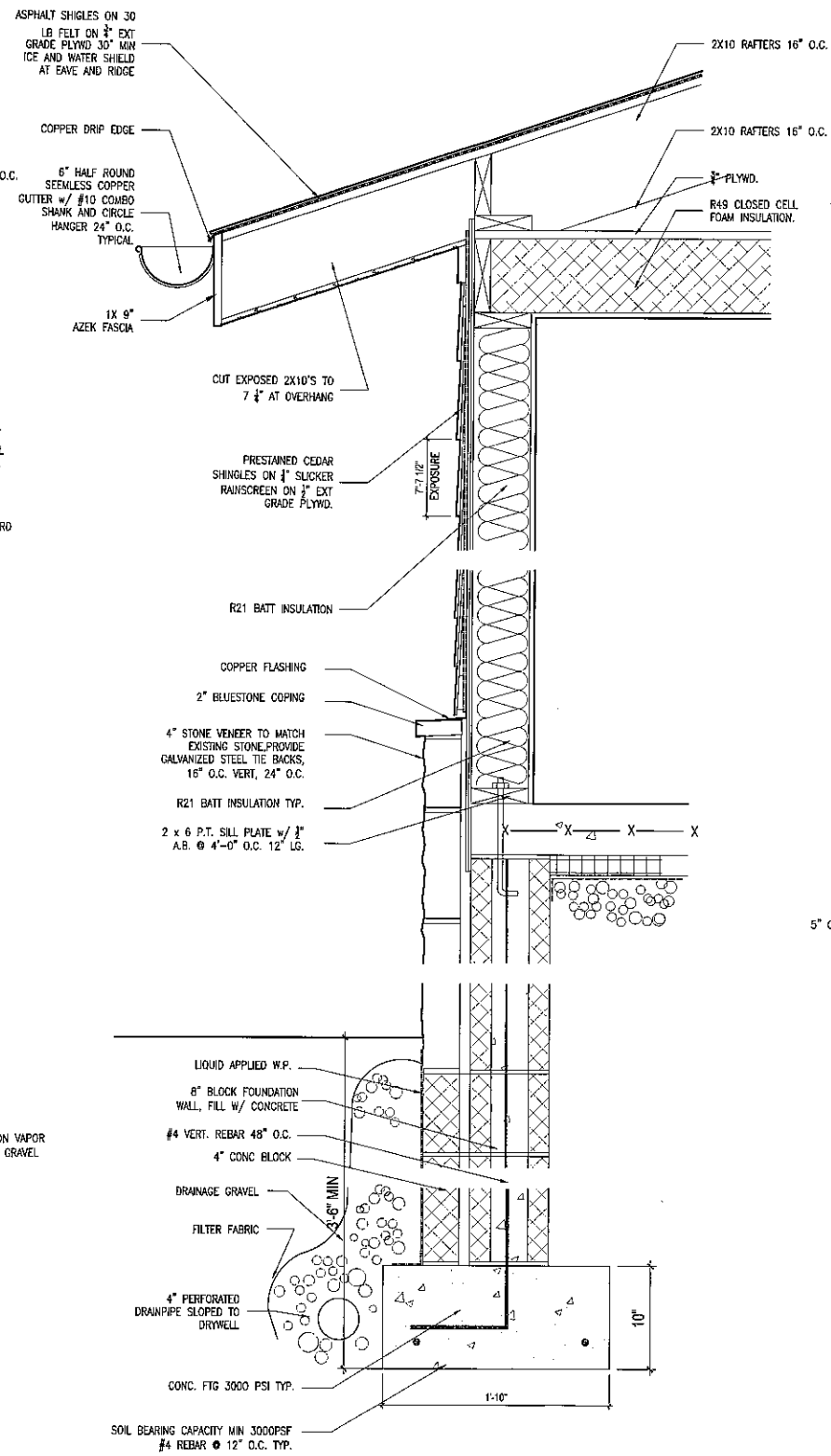
ASSUMMA  
ALTERATION  
98 HICKORY HILL  
TAPPAN, NY

CONSTRUCTION  
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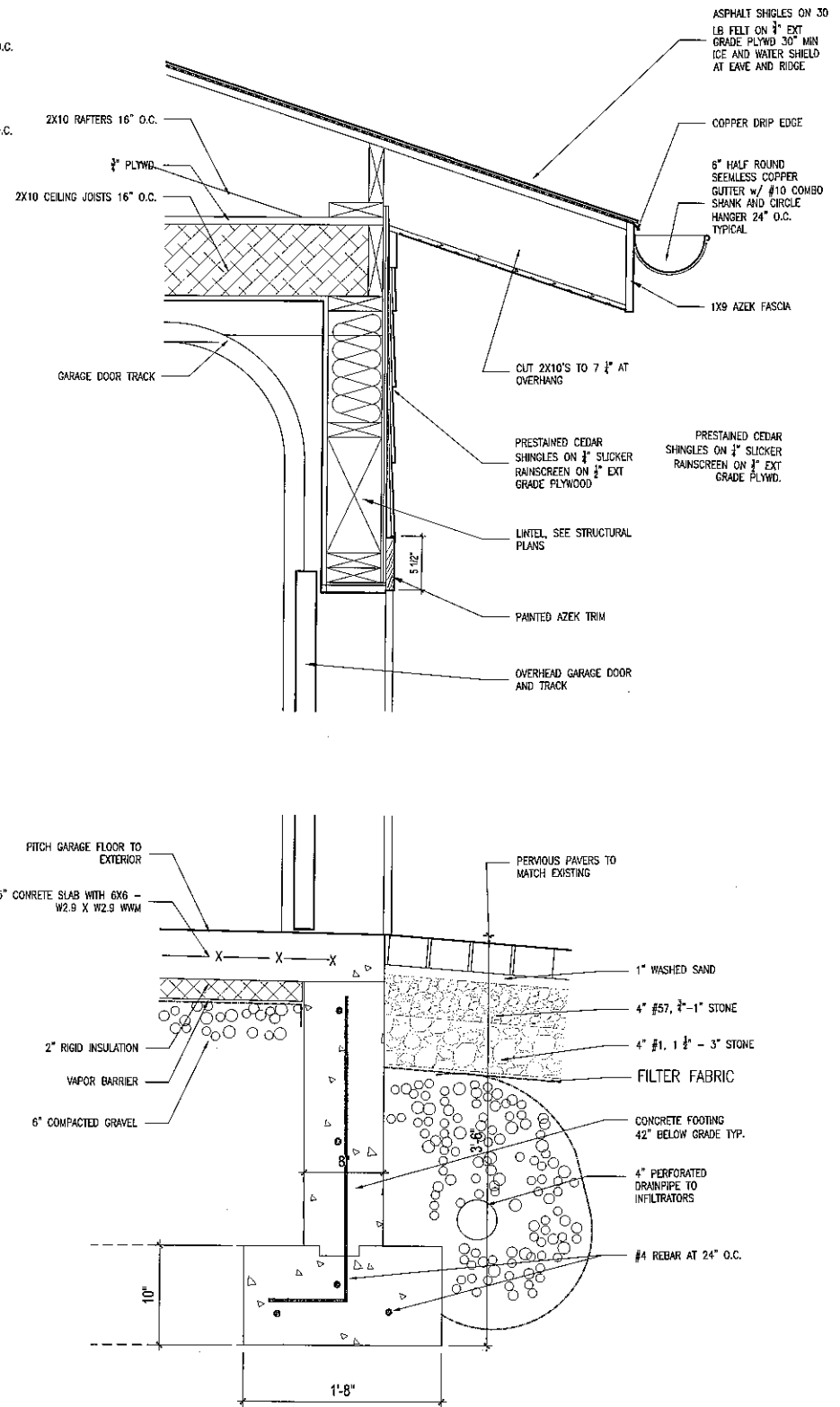
SCALE  
1 1/2" = 1'-0"  
JOB  
EXTERIOR  
DETAILS



**3 WALL SECTION DETAIL**  
1 1/2" = 1'-0"



**2 GARAGE WALL SECTION DETAIL**  
1 1/2" = 1'-0"



**1 GARAGE WALL SECTION DETAIL**  
1 1/2" = 1'-0"

ASSUMMA  
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DATE  
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Drawn by

Scale  
1 1/2" = 1'-0"

Title  
EXTERIOR DETAILS

Number

A511